

**CITY OF LATHROP
PLANNING COMMISSION
Agenda**

REGULAR MEETING
WEDNESDAY, JANUARY 16, 2019 AT 6:00 P.M.
CITY COUNCIL CHAMBERS
390 TOWNE CENTRE DRIVE, LATHROP, CA 95330

1. CALL TO ORDER

2. ROLL CALL

3. PLEDGE OF ALLEGIANCE

4. DECLARATION OF CONFLICT OF INTEREST

5. PUBLIC COMMENT

Persons who wish to speak to the Commission regarding an item that is not on tonight's agenda may do so at this time. Upon recognition by the Chairperson, please step forward to the podium; state your name, city of residence and subject matter.

6. AGENDA MODIFICATIONS

Items on the agenda requested to be added, deleted or continued will be announced at this time.

7. APPROVAL OF MINUTES

7.1 December 19, 2018 – Regular Meeting

8. PUBLIC HEARING ITEMS

None

9. SCHEDULED ITEMS

9.1 Panda Express Restaurant Project Site Plan Review No. SPR-18-92

Planning Commission to consider adoption of a resolution approving the Site Plan Review for the Panda Express Restaurant Project to construct a 2,200 sq. ft. drive-through restaurant on a 0.97 acre site with related site work including landscaping, lighting, and frontage improvements.

Location: 66 E. Lathrop Road, 15031, 15099, and 15047 South Harlan Road Lathrop, CA 95330 (APNs: 196-110-01 thru -04).

ENVIRONMENTAL STATUS: Categorically Exempt according to the California Environmental Quality Act Article 19 §15332 Class 2 “In-Fill Development”.

10. STAFF COMMENTS

11. PLANNING COMMISSION COMMENTS

12. ADJOURNMENT

If you wish to appeal a decision of the Planning Commission, you must do so within ten (10) calendar days following the meeting. Please contact the Planning Division at (209) 941-7290 for information regarding the appeal procedure.

NOTE: If you challenge the nature of a proposed action in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

This agenda was posted at least 72 hours in advance of the scheduled meeting at the following locations: City Hall, Lathrop Community Center, “J” Street Fire Station and City website. To obtain a hard copy of this agenda packet, please visit the Community Development Department counter located at 390 Towne Centre Drive, Lathrop, CA 95330, or you may also call (209) 941-7290 to have it sent via mail or e-mail. The agenda packet is also available on the City of Lathrop’s website at www.ci.lathrop.ca.us.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting please call (209) 941-7290. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to the meeting (28CFR 35.102.35.104 AD Title II).

**CITY OF LATHROP
PLANNING COMMISSION
REGULAR MEETING
December 19, 2018**

MINUTES

1. CALL TO ORDER

Meeting was called to order by Commissioner Ishihara for the December 19, 2018 Regular Planning Commission meeting at 6:02 P.M.

1.1 Appointment of Chair and Vice Chair

(M) Gatto (S) Ralmilay to appoint Ishihara as Chair.

Ayes: Ishihara, Gatto, Ralmilay

Noes: None

Absent: None

Abstain: None

Motion Carries: 3-0

M) Ishihara (S) Ralmilay to appoint Gatto as Vice-Chair.

Ayes: Ishihara, Gatto, Ralmilay

Noes: None

Absent: None

Abstain: None

Motion Carries: 3-0

1.2 Presentation of Certificate of Appreciation to outgoing Commissioner Freeman

Commissioner Gatto presented the Certificate of Appreciation to outgoing Commissioner Mac Freeman. The Commissioners individually thanked Commissioner Freeman for his work and dedication through the years. Commissioner Freeman spoke briefly about his years of service.

2. ROLL CALL

PRESENT: Ishihara, Gatto, Ralmilay

ABSENT: None

Staff Present: Mark Meissner, Community Development Director; Salvador Navarrete, City Attorney; Glenn Gebhardt, City Engineer; Rick Caguiat, Senior Planner; David Niskanen and John Anderson, Contract Planners and Maria Hermosilla, Senior Administrative Assistant.

3. PLEDGE OF ALLEGIANCE

4. DECLARATION OF CONFLICT OF INTEREST

None

5. PUBLIC COMMENT

None

6. AGENDA MODIFICATIONS

None

7. APPROVAL OF MINUTES

7.1 November 28, 2018 – Special Meeting.

(M) Gatto (S) Ishihara to approve the November 28, 2018 minutes.

Ayes: Ishihara, Gatto
Noes: None
Absent: None
Abstain: Ralmilay
Motion Carries: 2-0

8. PUBLIC HEARING ITEMS

8.1 Fifth Amendment to the Development Agreement between the City of Lathrop, Califia, LLC, and River Islands Development, LLC.

Mr. Caguiat made the staff report presentation.

Chair Ishihara opened the public hearing

Mr. Ramon Batista, River Islands project, came forward to speak briefly about the project and offered to answer questions from the commission.

Chair Ishihara asked for comments or questions, hearing none, closed the public hearing.

MOTION

Moved by Commissioner Gatto, Second by Commissioner Ralmilay to adopt Resolution No. 18-32 finding consistency with the Lathrop General Plan and West Lathrop Specific Plan and recommending City Council approve the Fifth Amendment to the Development Agreement between the City Of Lathrop, Califia, LLC and River Islands Development, LLC.

Ayes: Ishihara, Gatto, Ralmilay

Noes: None

Absent: None

Abstain: None

Motion Carries: 3-0

8.2 Second Amendment to the Development Agreement (DA) and the Assignment and Assumption Agreement between the City of Lathrop, Watt-McKee LLC, Lathrop Associates, Steven R. McKee, Robert E. McKee 1997 Bypass Trust, and Western Pacific Housing Inc. regarding the Mossdale Landing East Project.

Mr. Caguiat made the staff report presentation. He added that copies of the revised DA and assignment assumption agreement has been provided to the commission.

Commissioner Ralmilay asked what are the minor changes being referred to. Mr. Caguiat replied that dates and parcel numbers were updated.

Chair Ishihara opened the public hearing

Nina Wiley, 18570 S Manthey Rd., asked if the amendment will not include additional parcels. Mr. Meissner replied that the number of parcels is as originally approved. Ms. Wiley asked there any guarantee that Golden Valley Parkway will be opened prior to the commencement of the project. Mr. Meissner replied that the project is conditioned to install the extension of Golden Valley Pkwy that will serve as a secondary access to the project.

Katherine McMahan, 18426 S Manthey Rd., spoke in objection to the project. She is concerned about the amount of traffic increase and the safety for both new and existing residents in the project vicinity. She wants to know when the apartment will be built and requested updates from staff. Mr. Meissner explained that there

is no definite date for the construction. Ms. McMahon also stated that the residents were not notified when the original development agreement was being approved. Commissioner Gatto directed staff to communicate with Ms. McMahon.

Chair Ishihara asked for any other comments or questions, hearing none, closed the public hearing.

MOTION

Moved by Commissioner Ralmilay, Second by Commissioner Gatto to adopt Resolution No. 18-33 finding consistency with the Lathrop General Plan and West Lathrop Specific Plan and recommending City Council approve the Second Amendment to the Mossdale Landing East Development Agreement between the City of Lathrop, Watt-McKee LLC, Lathrop Associates, Steven R. McKee, Robert E. McKee 1997 Bypass Trust, and Western Pacific Housing Inc. to extend the term of the DA from 15 to 25 years and to assign the DA obligations and benefits for Parcel 241-020-66 to Mossdale Landing Apartments, LLC.

Ayes: Ishihara, Gatto, Ralmilay

Noes: None

Absent: None

Abstain: None

Motion Carries: 3-0

8.3 First Amendment to the Development Agreement and the Assignment and Assumption Agreement between the City of Lathrop, Marie A. Vallentyne, and TCN Properties regarding the Mossdale Landing South Project.

Mr. Caguiat made the staff report presentation.

Chair Ishihara opened the public hearing.

Rick McMahon, resident, asked if the project involves two different parcels. Staff explained that the project involved two separate parcels that are covered by two different development agreements.

Ms. Katherine McMahon asked when the project was approved for apartments and how many other apartment projects are proposed. Mr. Caguiat replied that the project was approved in 2007. He added that, beside the project in discussion, two other apartment units on Towne Centre has been approved.

Chair Ishihara asked for any other comments or questions, hearing none, closed the public hearing.

MOTION

Moved by Commissioner Gatto, Second by Commissioner Ralmilay to adopt Resolution No. 18-34 finding consistency with the Lathrop General Plan and West Lathrop Specific Plan and recommending City Council approve the First Amendment to the Mossdale Landing South Development Agreement between the City of Lathrop, Marie A. Vallentyne, and TCN Properties to extend the term of the DA from 15 to 25 years, and an assignment and assumption agreement to assign the DA obligations and benefits for Parcel 241-020-61 to Mossdale Landing Apartments, LLC.

Ayes: Ishihara, Gatto, Ralmilay
Noes: None
Absent: None
Abstain: None
Motion Carries: 3-0

9. SCHEDULED ITEMS

9.1 **Phelan Lathrop Gateway, Minor Specific Plan Amendment No. SPA-18-71 Site Plan Review No. SPR-18-40. Location: APN's 241-400-09 thru -13, 241-400-29 thru -33 and 241-280-12 - 11 Parcels total.**

Mr. Niskanen made the staff report presentation.

Chair Ishihara opened the floor for public comments.

Dave Haugen and Mark Eshelman, applicants, came forward to talk briefly about how they responded to comments received from the previous Planning Commission meeting.

Trevor Smith, Lazares Companies, commended the applicant's efforts in trying to work with the Mendes family. He reminded the commission that the Planning Commissioners task is to determine if the site plan is consistent with the specific plan and urged the commission to support for the project.

Dave Lazares, South Lathrop LLC, majority property owner of the Gateway Specific Plan, and Andrew Lin (through written correspondence), Phase 2 property owner, urged the Planning Commission to support the project. Mr. Lazares praised Phelan Development.

Diane Dutra, 18398 S McKinley Ave., wanted assurance that the east side of McKinley will not be changed. She was dismayed that they, as property owners, were not notified on a project that can potentially have significant impacts to their

lifestyle. Staff explained that the City follows law requirements regarding property owner notification.

Mark Bergman, 18366 McKinley Ave., distributed a location map of his property to the commission. He spoke in opposition to the project stating he is dismayed on the lack of owner notification considering the scope of the project and their proximity to it. He asked about a potential fourth phase, annexation plans and a possible timeline for the widening of McKinley and incorporation of "Street B". He also asked if the City is willing to dedicate additional resources to police when traffic increases. Mr. Caguiat and Mr. Meissner responded to his questions. Mr. Eshelman also added that construction of the project is very much dependent market conditions.

Mike Lozeau, representing the Labors International Union of North America, submitted written comments to the Planning Commission. He reiterated that that an addendum is not sufficient and the project needs a new EIR because the proposal is a substantial modification to the specific plan. He claimed that substantial new information and circumstances relating to the health risk assessment and wildlife impacts require a major revision to the 2011 EIR. He asserted that the review of the impacts of the toxic air contaminants was not sufficient in the HRA and the Air District's analysis didn't address these issues as well. In addition, they found some endangered species during onsite visits that were not listed in 2011, making the Habitat Plan ineffective. He urged the commission not to vote on the item because the new information and circumstances relating to the air toxins and wildlife impacts must be further evaluated. Mr. Caguiat responded and explained the timeliness of HRA and the sufficiency of the habitat plan.

Christine Mendes, 18401 S McKinley Ave., distributed correspondence to the commission and staff. She read a letter detailing her objections and concerns about the project. She strongly opposes the project due to its impact on their property value and their quality of life. She wanted to know how the project will provide for the safety and security of her family. Ms. Mendes demanded full compensation on any and all environmental impacts resulting from the current and future development. She reiterated that she was not properly notified in a timely manner. She urged the commission to deny the project because the project has too many liabilities.

Raymond Mendes, 18401 S McKinley Ave., stated that he was never against the project but he was upset that he was annexed to the City of Lathrop against his will. He talked about his continuous problems with irrigation on both his and his father's property. He thought that the McKinley widening project should be reviewed and thought out further.

Debra Williams, 18554 S McKinley Ave., read a letter presented to the Planning Commission. She enumerated several issues and concern the project will create for them. She is concerned about the many variables and unknowns that could

potentially impact their quality of life. Ms. Williams was upset that they were not taken into consideration as homeowners as the project was being proposed. She claimed that they never receive any notifications even during the annexation process. She hopes that the commission will take all comments and consideration before approving the project.

Tom Williams, 18554 S McKinley, asked staff to provide the document stating that property owners do not need noticing. Mr. Navarrete replied that staff will provide.

Clark Morrison, applicant's lawyer, clarified that there was a Brown Act notice made on the project. He also responded to Mr. Lozeau's comments regarding the Health Risk Assessment, biological impacts and the habitat plan. He finds the HRA and the habitat plan are adequate and there is no new information in the project that is relevant with the CEQA

Mr. Navarrete agreed with Mr. Morrison that the City has complied with the Brown act in providing proper notice and publishing.

Mr. Gebhardt urged everyone to refocus on the issues at hand. The objective of the item on discussion is to determine if the site plan is consistent with the specific plan. The decision to allow industrial development in the area has been decided in 1991. On the McKinley widening, Mr. Gebhardt assured that until development is ready, no changes will be made on the east side of McKinley.

Mr. Haugen came forward to let everyone know that they agreed to install a gate as requested by Mrs. Mendes. A discussion regarding the gate ensued. Mr. Haugen and staff fielded questions throughout the discussion.

Commissioner Ralmilay asked about the timing of the project phasing. Mr. Eshelman went over the timeline of the proposed project.

Commissioners, individually commented on the project.

Hearing no other comments, Chair Ishihara asked for a motion.

MOTION

Moved by Commissioner Gatto, Second by Commissioner Ralmilay to adopt Resolution 18-22 approving the first addendum to the Lathrop Gateway Business Park Specific Plan Environmental Impact Report

Ayes: Ishihara, Gatto, Ralmilay

Noes: None

Absent: None

Abstain: None

Motion Carries: 3-0

Moved by Commissioner Ralmilay, Second by Commissioner Gatto to adopt Resolution 18-23 approving a Minor Specific Plan Amendment to the Lathrop Gateway Business Park Specific Plan for the proposed Phelan Lathrop Gateway Project (SPA-18-71)

Ayes: Ishihara, Gatto, Ralmilay
Noes: None
Absent: None
Abstain: None
Motion Carries: 3-0

Moved by Commissioner Gatto, Second by Commissioner Ralmilay to adopt Resolution 18-29 approving a Site Plan Review for the proposed Phelan Lathrop Gateway Project (SPR-18-40)

Ayes: Ishihara, Gatto, Ralmilay
Noes: None
Absent: None
Abstain: None
Motion Carries: 3-0

10. STAFF COMMENTS

Mr. Gebhardt asked if the Commission would like to proceed with the reduced cross-sections of McKinley/Yosemite. Commissioners said yes.

11. PLANNING COMMISSION COMMENTS

Commissioners Gatto and Ishihara welcomed Commissioner Ralmilay to the commission.

The commissioners thanked staff for a great job and hard work.

12. ADJOURNMENT

Chair Ishihara adjourned the meeting at 8:42 PM.



**PLANNING COMMISSION
STAFF REPORT**

DATE: January 16, 2019

APPLICATION NO: Site Plan Review No. SPR-18-92

LOCATION: 66 E. Lathrop Road, 15031, 15099, and 15047 South Harlan Road
Lathrop, CA 95330
APNs: 196-110-01 thru -04

REQUEST: Planning Commission to consider adoption of a Resolution approving the Site Plan Review for the Panda Express Restaurant Project to construct a 2,200 sq. ft. drive-through restaurant on a 0.97 acre site with related site work including landscaping, lighting, and frontage improvements.

APPLICANT: CRM Architects & Planners, Inc.
Attn: Ms. Lupe Sandoval
5800 Stanford Ranch Road
Rocklin, CA 91770

GENERAL PLAN: CC, Community Commercial

ZONING: CC, Central Commercial

CEQA STATUS: Categorically Exempt according to the California Environmental Quality Act Article 19 §15332 Class 2 “In-Fill Development”.

SUMMARY:

The applicant is requesting approval of a Site Plan Review (SPR) to construct a 2,200 square foot Panda Express Restaurant on an approximately 1-acre site. The project consists of the construction of a drive-through Panda Express Restaurant and associated on- and off-site improvements. Off-street parking includes a total of forty (40) parking spaces, including two (2) handicap accessible parking spaces. Access is provided via Old Harlan Road; no direct access to W. Lathrop Road is provided/permitted. Associated site improvements include paving, landscaping, trash enclosure, and curb-gutter and sidewalk along W. Lathrop Road and Old Harlan Road.

Staff recommends that the Planning Commission review and consider all information provided and submitted, take and consider all public testimony and, if determined appropriate, consider adoption of Resolution No. 19-01, approving Site Plan Review No. SPR-18-92 for the Panda Express Restaurant Project.

SITE DESCRIPTION:

The project site is located on Old Harlan Road, south of W. Lathrop Road and is adjacent to Interstate Highway 5. The project is bounded by W. Lathrop Road to the north, Old Harlan Road and existing commercial development to the east, commercial development to the south and Interstate Highway 5 to the west. The project site includes approximately three (3) parcels and the project is conditioned to record a Lot Line Adjustment/Lot Merger so that the Panda Express Restaurant is on its own legal parcel. As illustrated on the Vicinity Map (Attachment 3 of the Staff Report), the site is currently vacant and undeveloped, with no frontage improvements on W. Lathrop Road and Old Harlan Road. Historically, the site was utilized as a nursery business. The properties have a General Plan Land Use Designation of CC, Community Commercial and is within the CC, Central Commercial Zoning District.

ANALYSIS:

Site Plan

As previously stated, the proposed project includes the construction of a 2,200 square foot Panda Express Restaurant on an approximately 1-acre site. The proposed 2,200 sq. ft. restaurant is located on the northern portion of the project site, adjacent to W. Lathrop Road. The building meets the setbacks for the CC, Central Commercial Zoning District. Access to the project site is provided via Old Harlan Road. The entrance to the building is located on the south side.

The project is required to install curb, gutter and sidewalk on W. Lathrop Road and Old Harlan Road. In addition, the project will dedicate 1,609 square feet of property along the northern portion of the project site to accommodate the future widening of W. Lathrop Road. The area of dedication is illustrated on the Site Plan (Attachment 4).

The remaining portion of the site will be developed in the future and will require a separate Site Plan Review application(s). Trip generation rates published in the *Trip Generation 9th Edition* Institute of Transportation Engineers shows that the project would generate less than 500 total daily trips, below the threshold for Tier 2 Review by the San Joaquin Council of Governments (SJCOG). Although the Project includes the construction of a single use (Panda Express Restaurant), traffic concerns may arise in the future when the remaining portion of the site(s) are developed. For this reason, the project is conditioned to be subject to a Traffic Impact Study at which time the remaining portion of the sites are developed and to mitigate for traffic impacts associated with the Panda Express Restaurant and the future development(s). This will ensure that Old Harlan Road and adjacent businesses (primarily to the east) are not negatively impacted by the increase in traffic generated by the proposed project and future development along Old Harlan Road.

Per Chapter 17.76: *Off-Street Parking and Loading*, "Drive-In and Fast Food Restaurants" require one (1) space for each two (2) seats and one (1) space for each employee of the maximum working shift. The project is required to have thirty-five (35) parking spaces (fifty-four (54) seats plus eight (8) employees).

ITEM 9.1

As illustrated on the Site Plan (Attachment 4), the project includes forty (40) parking spaces, including two (2) handicap accessible parking spaces. In addition, the project includes a future access to the south, in anticipation of the future development of the parcels. The project includes a Condition of Approval that requires the applicant to record a Reciprocal Access and Parking Easement at which time the future development of the sites occur. This would allow vehicular and pedestrian each site and limit the access points on Old Harlan Road.

Emergency Vehicle Access (EVA) is provided via the internal drive aisles of the project and has been found adequate by Lathrop-Manteca Fire District (LMFD). In addition, the Louise Avenue entrance exceeds the twenty (20) foot minimum width per the District's requirements.

Bicycle parking is provided for two (2) bicycles, meeting the City's bicycle parking requirements. The bicycle rack is located adjacent to the entrance of the restaurant. The project includes a trash enclosure, located on the south western portion of the project site and will be designed per City requirements, with three (3) solid walls, a gate and roof.

With regards to pedestrian access, the project will install curb, gutter and sidewalk along Old Harlan Road and W. Lathrop Road. The Panda Express Restaurant is handicap accessible from Old Harlan Road and by extension of the sidewalk, W. Lathrop Road. The overall site will include ADA improvements, per State Law; see the Site Plan, Attachment 4.

Drive-Through Lane

The Panda Express Restaurant includes a drive-through lane. The City has development and design standards per Chapter 17.77: *Drive-In and Drive-Through Facilities*. These standards are summarized below:

1. Aisles shall have a minimum width of twelve (12) feet.
2. Aisles shall provide at least one hundred eighty (180) feet of stacking. Exceptions may be granted when an applicant demonstrates that the required stacking space is unnecessary.
3. Aisles shall be separated from the site's ingress and egress routes or access to a parking space.
4. Walkways shall have a clear visibility and shall be delineated by textured and colored paving and shall be clearly signed.
5. Drive-up windows and their order stations with amplified sound shall be one hundred (100) feet from residential structures measured from amplified sound source.

In reviewing the above standards, the project meets the above standards for minimum width and stacking. The drive-through lane is separated from the egress and egress route and as illustrated on the Site Plan, the walkway across the drive-through lane is clearly visible and marked. No existing residential uses are located within one hundred (100) feet of the project site.

ITEM 9.1

Landscaping and Lighting

The landscape plan is designed to enhance the property and compliment the architecture. Landscaping is proposed throughout the site and includes a variety of trees, shrubs and ground cover. Street trees will be planted along W. Lathrop Road and Old Harlan Road. As illustrated on the Landscape Plan, the corner of W. Lathrop Road and Old Harlan Road, which is outside of the project boundary, will be improved with landscaping. Accent and screen trees will be planted throughout the site. Per the LMC, the project is required to provide parking lot shade trees and one (1) tree per six (6) parking spaces. The Landscape Plan conforms to these requirements.

Lighting fixtures will be installed on the exterior of the building for general security and to provide lighting for walkways and parking areas. Light poles will be distributed appropriately throughout the site to provide sufficient lighting coverage and to not “spill” onto adjacent properties.

Landscaping and Lighting Plans are included in this Staff Report as Attachment 4.

Floor Plan

As previously stated, the project includes the construction of a 2,200 sq. ft. Panda Express Restaurant. The restaurant will include fifty-four (54) indoor seating. The floor plan includes amenities and spaces typical to a drive-through restaurant. The dining area occupies the majority of the floor plan and includes tables/chairs, booths, handicap accessible seating and two (2) restrooms. The worker area includes kitchen, servicing, drive-through, kitchen prep areas and a walk-in cooler and freezer.

Elevations and Architecture

Panda Express Restaurant is a franchised drive-through restaurant chain. As a result, the Panda Express Restaurant has a distinct architectural style and colors that are consistent with the Panda Express brand. As illustrated in the project color elevations (Attachment 4), primary exterior colors include shale grey, tan, and tudor brown. The finish includes a variety of materials, including stone, iron, stucco as well as wainscot grounding around the building. The building also features a storefront glass, particularly along the western and northern elevation. The building height is twenty-three (23) feet and is consistent with the development standards for the CC, Central Commercial Zoning District. Roof-mounted mechanical equipment, such as air conditioner unit are required to be screened from the public right-of-way.

Utilities

Water, sewer and stormwater services are to be provided by the City of Lathrop. The project will connect to the existing water main in Old Harlan Road and will have a separate irrigation meter. In addition, a separate fire water line will be installed per City of Lathrop Standards. Sewer service is to be provided via connecting to the existing sewer line within W. Lathrop Road. The project includes a series of bio-retention basins, located within the landscape areas of the project site which will ultimately drain to an underground detention system on the site. All stormwater will be contained on-site.

ITEM 9.1

General Plan and Zoning Consistency

As currently designed and conditioned, the project is a reasonable request that is consistent with the goals and policies of the General Plan and will comply with the requirements of the Zoning Ordinance. The project meets the development standards set forth in the Lathrop Municipal Code, including but not limited to, landscaping, exterior lighting, setbacks, lot coverage, and utilities.

Findings

Site Plan Review

In consideration of SPR-18-92, the Planning Commission must make certain findings contained in Section 17.100.050 of the Lathrop Municipal Code (LMC).

The findings are re-stated below and include:

1. That the site plan complies with all applicable provisions of this chapter;
2. That the site improvements listed (a. through i.) are so arranged that traffic congestion is avoided and that pedestrian and vehicular safety and welfare are protected, and there will not be adverse effect on surrounding property;
3. Proposed lighting is so arranged as to deflect the light away from adjoining properties;
4. Proposed signs will comply with all of the applicable provisions of Section 17.16.010 and Chapters 17.64 through 17.72, 17.80 and 17.84;
5. That adequate provision is made to reduce adverse or potentially adverse environmental impacts to acceptable levels.

Staff has reviewed each of the findings presented above and suggests that the proposed Panda Express Restaurant Project has been designed so that the use is compatible with surrounding land uses and will not be detrimental to the health, safety or general welfare of the City.

Drive-In and Drive-Through Facilities

Chapter 17.77: *Drive-In and Drive-Through Facilities*, require certain findings to be made in order to approve a drive-in and drive-through sales and service facility.

The findings are re-stated below and include:

1. The design and location of the facility and lane will not contribute to increased congestion on public or private streets adjacent to the property.
2. The design and location of the facility and lane will not impede access to or exit from the parking lot serving the facility nor impair normal circulation within the parking lot.
3. The design and location of the facility will not create a nuisance for adjoining properties.

ITEM 9.1

Staff has reviewed each of the findings presented above and suggests that the proposed Panda Express Restaurant Project has been designed to not impede access to or exit from the parking lot/project site, contribute to increased congestion outside of what is anticipated for the use and will not create a nuisance for adjoining properties.

Conditions of Approval

Planning staff routed the project plans to the Building Division, Public Works Department, Lathrop-Manteca Fire District, Lathrop Police Services to ensure compliance with applicable code and requirements. In addition, planning staff routed an external referral to outside agencies and departments for review and comment on September 6, 2018. The City received comments from the following agencies:

- South San Joaquin Irrigation District;
- San Joaquin Council of Governments; and
- San Joaquin County Environmental Health Department.

Planning staff has incorporated all comments into a consolidated list of conditions. Staff finds that the proposed project has been properly conditioned to meet the City's standards and requirements.

Public Notice

The Planning Commission meeting agenda was posted at the Council Chambers bulletin board and various designated posting locations in the City accessible to the public on Friday, January 11, 2019. As of the writing of this report, no comments were received in favor or against the proposed project.

CEQA REVIEW:

Categorically Exempt according to the California Environmental Quality Act Article 19 §15332 Class 2 "In-Fill Development". Class 32 consists of projects characterized as in-fill development meeting the following conditions:

- a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
- b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.
- c) The project site has no value as habitat for endangered, rare or threatened species.
- d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
- e) The site can be adequately served by all required utilities and public services.

ITEM 9.1

In this regard, the project is consistent with the General Plan Land Use Designation of CC, Community Commercial and the Zoning District of CC, Central Commercial.

The project site is approximately 1-acre in size and as shown on the Vicinity Map, is substantially surrounded by urban development and adjacent to Interstate 5 Highway. The project site has no value as habitat for endangered, rare or threatened species and is identified as “Category A Exempt – No Pay Zone” by the San Joaquin County Multi-Species Habitat Conservation and Open Space Plan. The approval of the Site Plan Review would not result in a significant effect as it relates to traffic, noise, air quality or water quality, as the site will be required to meet City standards and regulations. As previously stated, the project site can be adequately served by utilities and public services.

RECOMMENDATION:

Staff recommends the Planning Commission Adopt the following Resolution:

1. Resolution No. 19-01, approving Site Plan Review No. SPR-18-92 for Panda Express Restaurant to construct a 2,200 sq. ft. on a 0.97 acre site with related site work including landscaping, lighting, and frontage improvements.

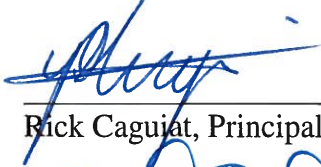
Approvals:



David Niskanen, Contract Planner

1/4/19

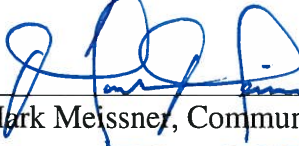
Date



Rick Caguiat, Principal Planner

1-7-19

Date



Mark Meissner, Community Development Director

1-7-19

Date



Salvador Navarrete, City Attorney

1-8-19

Date

Attachments:

1. PC Resolution No. 19-01 for Site Plan Review
2. Conditions of Approval dated January 16, 2019
3. Vicinity Map
4. Project Plans

**CITY OF LATHROP
PLANNING COMMISSION RESOLUTION NO. 19-01**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LATHROP
APPROVING A SITE PLAN REVIEW FOR A PANDA EXPRESS RESTAURANT
(SPR-18-92)**

WHEREAS, the City of Lathrop Planning Commission held a duly noticed public meeting to consider the Site Plan Review request pursuant to the Lathrop Municipal Code; and

WHEREAS, the request is for a Site Plan Review to construct a 2,200 sq. ft. on a 0.97-acre site with related site work including landscaping, lighting, and frontage improvements.; and

WHEREAS, the property is located on a portion of 66 E. Lathrop Road, 15031, 15099, and 15047 South Harlan Road (APNs: 196-110-01 thru -04); and

WHEREAS, the subject parcels are located in a Community Commercial (CC) General Plan designation and Central Commercial (CC) Zoning District; and

WHEREAS, the proposed Site Plan Review is exempt according to the California Environmental Quality Act (CEQA) Article 19 §15332 Class 2 “In-Fill Development”. This exemption is for a project that is consistent with the applicable General Plan designation and applicable Zoning designation and regulations, occurs within City limits on a project site of five (5) acres or less substantially surrounded by urban uses, has no value as habitat for endangered, rare, or threatened species, not result in any significant effects relating to traffic, noise, air and water quality and can be adequately served by all required utilities and public services.; and

WHEREAS, proper notice of this public meeting was given in all respects as required by law; and

WHEREAS, the Planning Commission has reviewed all written evidence and oral testimony presented to date.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Lathrop does hereby make the following findings:

1. Site Plan Review Findings. Pursuant to Section 17.100.050 of the Lathrop Municipal Code (LMC), the Planning Commission finds as follows:
 - a. The proposed Site Plan Review complies with all applicable provisions of Chapter 17.100;
 - b. The proposed Site Plan Review is consistent with the site improvements listed in Chapter 17.100 (a. through i.) and improvements are such that traffic congestion is avoided and pedestrian and vehicular safety and welfare are protected and there will not be adverse effects on surrounding properties;

- c. Proposed lighting for the project area is so arranged as to deflect away from adjoining properties; and
 - d. The proposed Site Plan Review is compatible with surrounding land uses and will not be detrimental to the health, safety and general welfare of the City.
2. Drive-In and Drive-Through Facilities. Pursuant to Section 17.77.040 of the Lathrop Municipal Code (LMC), the Planning Commission finds as follows:
 - a. The design and location of the facility and lane will not contribute to increased congestion;
 - b. The design and location of the facility and lane will not impede access to or exit from the parking lot serving the facility. The drive-through lane is located away from the egress/ingress point and has been designed to not impede access to or exit from the parking lot/project site.
 - c. The design and location of the facility will not create a nuisance for adjoining properties.
3. The Planning Commission finds that the proposed Panda Express Restaurant is consistent with the Community Commercial land use goals and policies in the City of Lathrop General Plan. The proposed project complies with all applicable provisions and standards for the Central Commercial Zoning designation as conditioned.
4. The Planning Commission finds that the requirements and conditions of this resolution are reasonable in preserving, protecting, providing for, and fostering the health, safety, and welfare of the citizenry in general, and the persons who work in or visit the development in particular
5. The Planning Commission finds that the proposed Site Plan Review is exempt according to the California Environmental Quality Act (CEQA) Article 19 §15332 Class 2 “In-Fill Development”. The project is consistent with the General Plan and Zoning and regulations of the parcel, and occurs within the City limits. The project site is substantially surrounded by urban uses; has no value as habitat for endangered, rare, or threatened species; does not result in any significant effects relating to traffic, noise, air and water quality; and can be adequately served by all required utilities and public services. No significant impacts are anticipated and no mitigation measures have been required; and

BE IT FURTHER RESOLVED that the Planning Commission of the City of Lathrop based on substantial evidence in the administrative record of proceedings and pursuant to its independent review and consideration, does hereby Approve Site Plan Review No. SPR-18-92 subject to the Conditions of Approval dated January 16, 2019, attached and incorporated by reference herein.

PASSED AND ADOPTED by the Planning Commission of the City of Lathrop at a regular meeting on the 16th day of January, 2019 by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Tosh Ishihara, Chair

ATTEST:

APPROVED AS TO FORM:



Mark Meissner, Secretary

Salvador Navarrete, City Attorney

Community Development Department – Planning Division

Consolidated Conditions of Approval

January 16, 2019

Project Name: Panda Express Restaurant
File Number: Site Plan Review No. SPR-18-92
Project Address: 66 E. Lathrop Road, 15031, 15099, and 15047 South Harlan Road
(APNs: 196-110-01 thru -04)

The following list of conditions shall be incorporated into the final construction plans and development phases of the project. The list of conditions are not intended to be all-inclusive or a comprehensive listing of all City or district regulations. Please note that additional comments and/or conditions may be added pending the response to the comments noted below and/or changes to the proposed project. The following comments and conditions of approval are based on the application and diagrams submitted on December 4, 2019.

PLANNING***CEQA Determination***

The City finds that the proposed Site Plan Review is exempt according to the California Environmental Quality Act (CEQA) Article 19 §15332 Class 2 “In-Fill Development”. The project is consistent with the General Plan and Zoning and regulations of the parcel, and occurs within the City limits. The project site is substantially surrounded by urban uses; has no value as habitat for endangered, rare, or threatened species; does not result in any significant effects relating to traffic, noise, air and water quality; and can be adequately served by all required utilities and public services. No significant impacts are anticipated and no mitigation measures have been required.

1. The granting of this Site Plan Review authorizes the development of a 2,200 sq. ft. Panda Express Restaurant on a 0.97-acre site with related site work including landscaping, lighting, underground stormwater detention basin, lighting, and frontage improvements.
2. The applicant shall allow a Reciprocal Access and Parking Easement between the project site and future development(s) to the south.
3. Additional development beyond the proposed Panda Express Project (future southern parcels) will require a Traffic Impact Study. The applicant or future successor of the Panda Express Project shall participate in the funding of their fair share cost of the Traffic Impact Study, and implement and fund their fair share cost of any required mitigation measures as a result of the Traffic Impact Study.
4. The Applicant shall provide a separate parcel for the project site through the Lot Line Adjustment process and submit a copy of the recorded Lot Line Adjustment to the City prior to issuance of the Building Permit.

5. Prior to any ground disturbance, the project shall consult with the San Joaquin County Multi-Species Habitat Conservation and Open Space Plan (SJMSCP) for biological coverage, mitigation and participation in the plan. Participation in the SJMSCP satisfies requirements of both the State and Federal endangered species acts, and ensures that the impacts are mitigated below a level of significance in compliance with the California Environmental Quality Act (CEQA).
6. The project shall comply with all applicable site development provisions contained in the Lathrop Municipal Code including but not limited to parking, lighting, landscaping, etc.
7. The applicant shall submit appropriate plans to the Building Department for plan check and building permit. Final site plan, floor plan, elevation, landscaping and irrigation, exterior lighting and site improvement plans and details, etc. shall be reviewed and approved by the Planning Division. Any significant change or modification to the approved plan is subject to review and approval by the Community Development Director.
8. Landscaping and irrigation must be consistent with the City's Water Conservation Requirements (LMC 17.92.060) and the State Water Efficient Landscape Ordinance (AB 1881). Provide a water efficient landscape worksheet with water budget calculations identifying the water allowance and estimated water use.
9. The entire site including landscaping areas shall be maintained in a healthy, weed free condition.
10. At a minimum, the trash enclosure shall have three solid walls, a metal gate and covered roof. Details and/or alternative designs shall be subject to review and approval of the Planning, Building and Public Works Department. The trash enclosure design, material and color shall match or compliment the main building.
11. Any building or parking area illumination including security lighting, shall be arranged to reflect away from adjoining properties.
12. A final site lighting photometric plan and information with detail specifications on fixtures, poles, and wall packs as well as a manufacture's catalogue containing photometric data, shall be submitted with the Building Permit for City review and approval. Parking lots, driveways, trash enclosure/areas shall be illuminated during the hours of darkness with a minimum maintained one foot-candle of light and an average not to exceed four foot-candles of light. The illumination shall not exceed ten (10) foot-candles in any one location.
13. Sign Design Permit for any exterior signs shall be submitted to the Planning Division for review and approval prior to installation. All signage must be in accordance with the applicable standards of the Lathrop Municipal Code.
14. Bicycle parking shall be installed consistent with Chapter 17.76.120 of the LMC.
15. Roof-mounted mechanical equipment shall be screened and not visible from the public right-of-way. Screening materials shall be compatible with the architectural style, materials and color of the building upon which the equipment is located, subject to the approval of the Community Development Director.
16. Unless otherwise specified, all conditions of approval shall be complied with prior to the issuance of any Building Permits.

17. The development for which a Site Plan Review has been approved pursuant to Chapter 17.100 of the Lathrop Municipal Code (LMC) shall commence within thirty-six (36) months of the granting of the Site Plan approval. Prior to the expiration, a building permit must be issued and construction is commenced and diligently pursued toward completion of the site or structures. The approval may be extended for an additional period not to exceed twelve (12) months upon written application to the City prior to the expiration of the first approval date.
18. The City of Lathrop may conduct annual and or spot inspections to ensure that required site improvements and conditions are being complied with and maintained.

BUILDING

1. All construction shall comply with the most recent adopted City and State building codes:
 - 2016 California Building Code
 - 2016 California Residential Code
 - 2016 California electrical Code
 - 2016 California Mechanical Code
 - 2016 California Plumbing Code
 - 2016 California Fire Code
 - 2016 California Green Code
2. Special Inspections – As indicated by California Building Code Section 1704, the owner shall employ one or more special inspectors who shall provide special inspections when required by CBC section 1704. Please contact the Building Division at time of plan submittal to obtain application for special inspections.
3. The Title Sheet of the plans shall include:
 - Occupancy Group
 - Occupant Load
 - Description of use
 - Type of Construction
 - Height of Building
 - Floor area of building(s) and/or occupancy group(s)
4. School impact fees shall be paid prior to permit issuance.
5. Dimensioned building setbacks and property lines, street centerlines and between buildings or other structures shall be designed on plot plan.
6. All property lines and easements must be shown on plot plan. A statement that such lines and easements are shown is required.
7. The project design will conform with energy conservation measures articulated in Title 24 of the California Code of Regulations and address measures to reduce energy consumption such as flow restrictors for toilets, low consumptions light fixtures, and insulation and shall use to the extent feasible draught landscaping.
8. A design professional will be required at time of construction drawings, to prepare plans for proposed improvements per the Business and Professions' Code.

9. Public and private site improvements shall be designed in accordance with the Americans with Disabilities Act and Chapter 11B of the California Building Code. Site plan shall include a site accessibility plan identifying exterior routes of travel and detailing running slope, cross slope, width, pedestrian ramp, curb ramps, handrails, signage and truncated domes. Path of travel shall be provided from the public right of way and accessible parking to building. The design professional shall ensure that the site accessibility plan is compliance with the latest Federal and State regulations.

PUBLIC WORKS

1. Applicant shall retain the services of a California licensed civil engineer to design the utility plans for sewer, water and storm drain lines and systems.
2. Applicant shall insure that all off-site and on-site improvements comply with City Standards.
3. Prior to the issuance of permits, the applicant shall insure that all offsite and onsite improvements comply with City Standards and with the Multi-Agency Post-Construction Stormwater Standards Manual. A Project Stormwater Plan (PSP) must be submitted and approved prior to the issuance of grading and/or building permits.
4. Applicant shall submit and execute a maintenance agreement and Operation & Maintenance (O&M) Plan for all onsite storm water quality treatment devices, swales and/or retention or detention basins. The Applicant and all future owners of the property will be required to submit to the City an annual self-certification for the inspections, up-keep, and maintenance of the treatment control measures specified in the maintenance agreement and O&M Plan.
5. Applicant shall pay all appropriate fees including but not limited to Capital Facilities Fees, Application, Notification, Environmental Review, Plan Check, Inspection, and NPDES Fees.
6. Applicant shall install, as part of their onsite improvement, all PSP-specified Best Management Practices (BMPs) and treatment controls for the development in accordance with City guidelines, standards, and conditions of use. The BMPs and treatment control measures must be sized and constructed per the approved PSP and be in place prior to final occupancy.
7. Prior to issuance of a grading or building permit, the applicant shall prepare and submit for review a Storm Water Pollution Prevention Plan (SWPPP) for construction activities and file a Notice of Intent (NOI) with the State Water Resources Control Board. Before the grading or building permits can be issued, the applicant must provide the City with proof of Construction General Permit coverage (the WDID number) and receive a pre-construction site inspection.
8. Prior to final occupancy, the Applicant will need to have stabilized all project-related areas of soil disturbance with the buildings, pavement, concrete, crushed rock, landscaping, or other effective soil cover. Bare soil may not be left in areas that had been disturbed due to construction activities. Prior to final occupancy, the project site will receive a post-construction site inspection and need to be approved for the satisfactory completion of the ESCP/SWPPP requirements.
9. All Storm water shall be retained onsite per City design and construction standards. Hydrology and hydraulic calculations and plans for on-site storm water system shall be submitted to the City for review and approval.
10. The applicant shall provide an erosion and sediment control plan with the building permit application.

11. Applicant shall be required to connect to sewer utility, obtain appropriate Interceptor Service Units (ISU's) and pay all applicable connection, reimbursement and Area of Benefit fees.
12. Applicant shall be required to connect to water utility and pay all applicable connection fees.
13. Applicant shall underground all overhead utilities in compliance with the Lathrop Municipal Code. Overhead power lines in excess of 34.5 KVA are not required to be undergrounded.
14. Applicant shall be required to install full street frontage improvements along Old Harlan Road to the extent of the Panda Express Restaurant property including but not limited to curb, gutter, sidewalk, street lights, landscaping, hydrants, storm drainage, paving, striping, and commercial driveways. The extent of paving shall include one half street width. Applicant shall submit the off-site plans for approval along with the applicable plan check and inspection fees. The City Engineer shall have the authority to defer construction of street improvements with a Deferred Frontage Improvement Agreement.
15. Applicant shall be required to install full street frontage improvements along Lathrop Road based on the ultimate design for Lathrop Road and the interchange including but not limited to curb, gutter, sidewalk, street lights, landscaping, hydrants, storm drainage, paving and striping. The extent of paving shall include one half street width. Applicant shall submit the off-site plans for approval along with the applicable plan check and inspection fees. The City Engineer shall have the authority to defer construction of ultimate street improvements with a Deferred Frontage Improvement Agreement. However, applicant shall install temporary frontage improvements along Lathrop Road until ultimate design improvements are constructed including landscaping, curb, gutter, curb ramp, storm drainage, street lights, paving and striping.
16. The Applicant shall obtain an encroachment permit and bond for all offsite improvements and/or utility connections within City right-of-way or public utility easement.
17. The Applicant shall dedicate all right-of-way (ROW) necessary for the ultimate ROW width of Lathrop Road. A 10-foot public utility easement (PUE) shall also be dedicated along all ROW frontages.
18. A geotechnical report shall be submitted for the project which includes groundwater elevations, percolation rates for retention basins, soil compaction requirements, and recommendations for asphalt paving.
19. As part of the Building Permit application, all existing survey monuments and markers of record within the area of work shall be researched and identified on an existing conditions or demolition plan sheet. The project surveyor shall be required to submit a pre and post construction certification that all monuments have been preserved or reset with appropriate documentation. The City Surveyor may require a corner record or record of survey be prepared if any survey monuments have the potential to be disturbed.
20. Applicant shall consider and include Caltrans I-5 interchange redesign geometry in plans to ensure that adequate ROW is provided.

LATHROP-MANTECA FIRE DISTRICT (LMFD)

1. The project must conform to the appropriate edition of the California Fire Code (currently the 2016 edition) and all related standards.
2. Permits shall be obtained from the fire code official. Permit(s) and fees, if any, shall be paid prior to issuance of any and/or all permits. Issued permits shall be kept on the premises designated therein at all times and shall be readily available for inspection by the fire code official. (Permits are to be renewed on an annual basis)
3. Approved vehicle access for firefighting shall be provided to all construction or demolition sites. Vehicle access shall be provided to within 100 feet (30 480 mm) of temporary or permanent fire department connections. Vehicle access shall be provided by either temporary or permanent roads, capable of supporting vehicle loading under all weather conditions. Vehicle access shall be maintained until permanent fire apparatus access roads are available.
4. An approved water supply for fire protection, either temporary or permanent, shall be made available prior to commencing construction beyond the foundation stage, or as soon as combustible material arrives on the site.
5. Commercial cooking equipment that produce grease laden vapors shall be provided with a Type I Hood, in accordance with the California Mechanical Code, and an automatic fire extinguishing system that is listed and labeled for its intended use as follows:
 1. Wet chemical extinguishing system, complying with UL 300
 2. Carbon dioxide extinguishing systems
 3. Automatic fire sprinkler systems

Commercial cooking equipment extinguishing system plans shall be modified under separate fire permit and shall be submitted by a licensed fire contractor, to the (AHJ) Fire District for review and approval prior to installation/modification. Deferred submittal accepted.
6. Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be of an approved type and shall contain keys to gain necessary access as required by the fire code official.
7. The Fire Department Fire Access Roads shall meet the requirements established by the San Joaquin County Fire Chief's Association.
8. Fire Department Development Fees for all new buildings must be paid in accordance with the City of Lathrop's Ordinance and Resolutions adopting the fee schedule.
9. Other fire & life safety requirements may be required at time of building plan review.
10. Final approval is subject to field inspections. Minimum 48 hour notice required prior to any life-safety fire inspections. Other conditions may apply at time of inspections and are subject to correction.

LATHROP POLICE SERVICES (LPS)

1. All conditions are subject to approval by both the Police Chief and Fire Chief collaboratively.
2. Prior to occupancy, the applicant shall install roof top address, subject to review and approval by LPS. The numbers shall be at least 3' tall, 2' wide, 9" apart, with 6" brush stroke with a color that contrasts the color of the roof top. Roof top address visible 2000' from fixed wing airplane (top of numbers/letters should point north)
3. Applicant shall install recording security camera system that is maintained and accessible to LPS.
4. EVA may be required to allow adequate space for emergency vehicles.
5. All landscaping shall comply with standard Crime Prevention Through Environmental Design (CPTED) recommendations:
 - a. Maintain natural visible surveillance to building from parking lot and street.
 - b. Plants taller than 8 feet in height shall be trimmed up 4 feet from ground.
 - c. Plants lower than 8 feet in height shall be trimmed to allow ground level surveillance.

ADMINISTRATIVE SERVICES

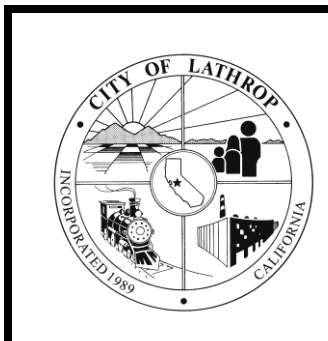
1. By exercising this approval, the applicant hereby agrees to indemnify, hold harmless and defend the City, its officers, agents, elected and appointed officials, and employees, from any and all liability or claims that may be brought against the City arising out of its approval of this Site Plan Review, to the fullest extent permitted by law.

SAN JOAQUIN COUNTY ENVIRONMENTAL HEALTH DEPARTMENT

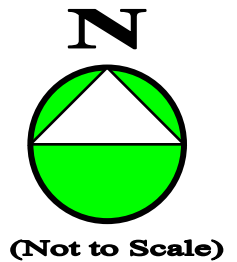
1. Submit two (2) hardcopy sets, or one (1) electronic version, of food facility plans to the Environmental Health Department for review and approval prior to issuance of building permit(s) (California Retail Food Code, Article 1, 114380). The fee will be based on the current schedule at the time of payment.



**PLANNING DIVISION
Vicinity Map**



**SPR-18-92
Site Plan Review
Panda Express Restaurant
15031, 15099 & 15047 Harlan Road and
66 Lathrop Road
APN: 196-110-01 thru -04**





RECEIVED

DEC 04 2018

CITY OF LATHROP
COM. DEV. DEPT.

December 4, 2018

City of Lathrop
Planning and Community Development

Re: Proposed Panda Express Restaurant with Drive-Thru
Location: 66 E. Lathrop Rd. 95330

Project Description

The proposed 2,216sf Panda Express Restaurant with drive-thru is to be located in the City of Lathrop, San Joaquin County, between East Lathrop Road and Old Harlan Road. The subject property is a 94,000sf lot (+/- 2.15 Acres) and is currently a landscape plant nursery. Panda Express Inc. will be developing a portion of the property.

The current proposed site layout provides one vehicular entrance into the site from Old Harlan Road with a continuous two-way vehicle circulation throughout the parking area. The proposed site improvements will include new sidewalks, pedestrian walkways, landscaping defined by planter curbs and drive-thru service lanes. The proposed new lot (+/- 40,473sf) will be developed by Panda Express; it will include 35 paved parking spaces. The property will also dedicate a portion of the area (+/- 1,609sf) for future road improvements for Lathrop Road Interchange.

As part of Panda Express' development; bicycle parking will be provided near the main front entrance with a tube steel ribbon type rack visible from with-in the restaurant. The restaurant will be open from 10am-10pm (12 hours) all days of the week. There is a maximum occupancy of 61 customers at a time; highest daily volumes would be at lunch (12pm) and dinner (6pm). There will be at 3-6 employees who will work 2 shifts. There will be service deliveries twice a week before operating hours. The restaurant uses approximately 1800 gallons of water per day from 1.5"-2" domestic and 1" landscape water service and produces no more than standard restaurant waste.

The restaurant is designed to serve Gourmet Chinese Food. Panda Restaurant Group, Inc. proposes to build a facility that will provide great operations and a casual dining experience. Panda Restaurants are designed with the customer's pleasant experience in mind when visiting the restaurants. The open stainless steel kitchen appeals to good quality and healthy food choices. The proposed restaurant will provide seating for 54 patrons. In addition to the dining area; the building plan consists of the open kitchen area with standard commercial kitchen equipment, two single accommodation restrooms, customer service for dining area and drive-thru station, a manager's area, dry storage and refrigerated storage.

The proposed architecture of the building represents Panda Restaurant Group's sleek understated brand identity utilizing a cool color palette of three neutral gray colored plaster finishes and stacked cultured stone veneer wainscot grounding the building firmly in place. The cool color palette is complimented with warm simulated wood cladding in a geometric pattern. Horizontal banding is continuous around the perimeter of the building at window head height

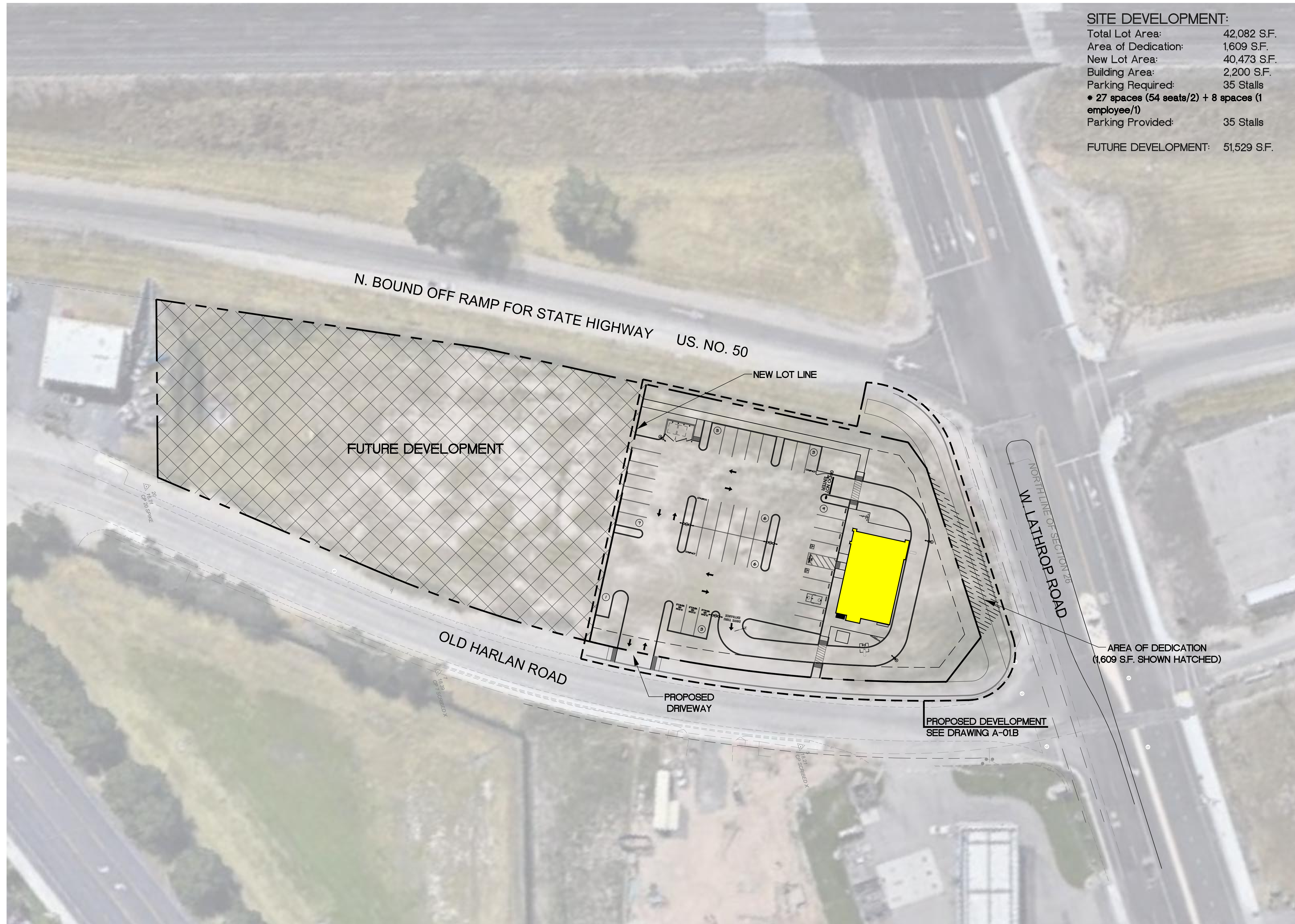
described variously with dark bronze metal frieze trim, canopies and plaster reveals. The modern Asian influenced vernacular is evident in the signage fonts and the colorful logo medallions. The buildings furnishings and decor will continue this theme to the interior to provide patrons with a casual yet elegant dining experience.

There will be 2'-6" letterset wall signs on the west elevation and a 6' logo sign on the south, west and north elevations. The contemporary and clean design elements presented in the signs are contiguous with the buildings architecture.

The proposed layout of parking, buildings and drive-thru, provide the best design for the shopping center. A fluent design that is contiguous will improve and add visual appeal to this area. The proposed design will follow all current design guidelines ordinances and resolutions as set forth by the City of Lathrop Planning Department, Building Department, Fire Department, local health department and all other municipalities.

List of Current Property Owners:

The heirs or devisees of Mark P. Kruse II, deceased, subject to the administration of the decedent's estate; and Susan Kruse and Brent R. Kruse, all as tenants in common as their interest may appear of record



SITE DEVELOPMENT:

Total Lot Area: 42,082 S.F.
 Area of Dedication: 1,609 S.F.
 New Lot Area: 40,473 S.F.
 Building Area: 2,200 S.F.
 Parking Required: 35 Stalls
 • 27 spaces (54 seats/2) + 8 spaces (1 employee/1)
 Parking Provided: 35 Stalls

FUTURE DEVELOPMENT: 51,529 S.F.



PANDA EXPRESS, INC.
 1683 Walnut Grove Ave.
 Rosemead, California
 91770
 Telephone: 626.799.9898
 Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated, or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

Δ		
Δ		
Δ		
Δ		
Δ		
Δ		
Δ		

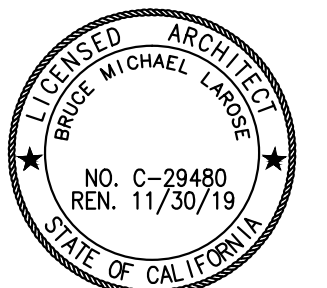
ISSUE DATE:

DRAWN BY: CRM Architects & Planners, Inc.

PANDA PROJECT #: S8-19-D6565
 ARCH PROJECT #: CRM 1820

CRM Architects & Planners, Inc.

5800 Stanford Ranch Road Suite 720
 Rocklin, CA 95765
 phone: (916) 451-1500 - fax: (916) 451-160



LATHROP CFT DEVELOPMENT

66 E. LATHROP ROAD
 LATHROP, CA 95330

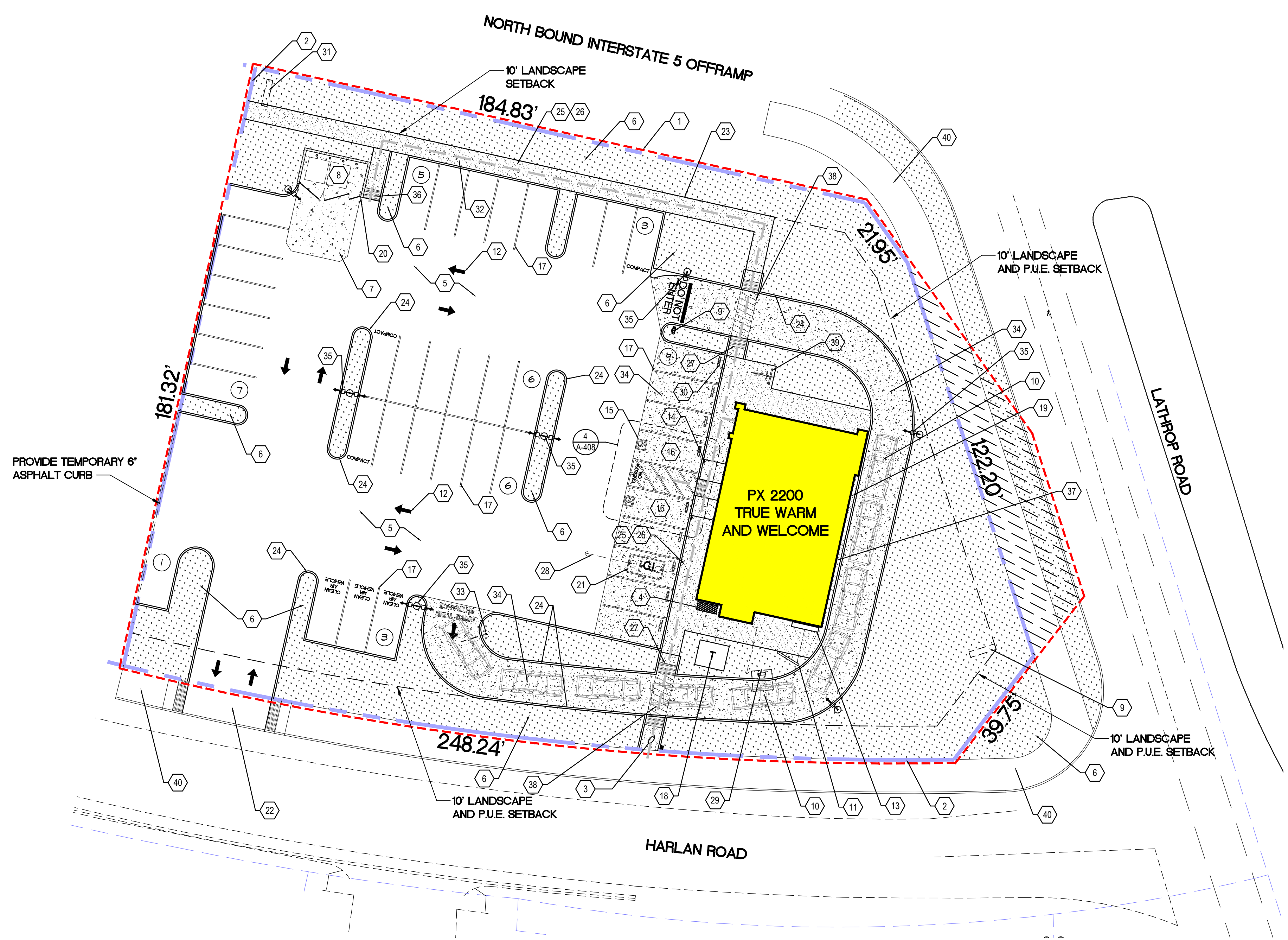
2200 PlanTrue Warm & Welcome

AERIAL SITE PLAN

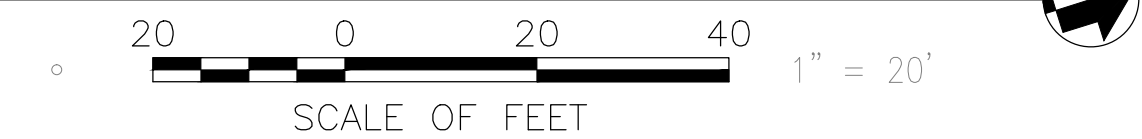
A-01.A

AERIAL SITE





PROPOSED SITE PLAN



VICINITY MAP

PROJECT INFORMATION

Project Address	15099 SOUTH HARLAN ROAD LATHROP, CA 95330
Proposed	Panda Express Restaurant
APN #	PORTIONS OF 196-110-02, 196-110-03, 196-110-04
Existing Zoning	CC - CENTRAL COMMERCIAL
Land Use	Vacant
Parking Required	35 (54 seats/2) + 8 (1 employee/1)
Parking Provided	40 (2 ADA Stalls)
SITE PLAN REQUIREMENTS	
Total Parcel Area	40,473 Sq. Ft. 100 %
Building Coverage	2,200 Sq. Ft. 5 %
Asphalt/ Conc. Coverage	27,052 Sq. Ft. 68 %
Landscaping	11,221 Sq. Ft. 27 %
Off-Site Landscaping	771 Sq. Ft. N/A

Owner:
Panda Restaurant Group,
Inc. 1683 Walnut Grove Ave.
Rosemead, CA 91770
Ph. (626) 799.9898
Fax (626) 372.8288

- GENERAL NOTES:**
- G.C. TO VERIFY AND PROVIDE ALL UNDERGROUND WIRING AND CONDUIT (INSTALLED BY LOCAL UTILITY COMPANY) FROM TRANSFORMER TO ELECTRICAL MAIN SWITCHGEAR. DRIVE THRU. MENU BOARD, BY G.C. VERIFY WITH PANDA PM.
 - WATER METER FOR IRRIGATION SHALL BE A SEPARATE METER THAN MAIN WATER METER. G.C. TO COORDINATE WITH LANDSCAPE/IRRIGATION CONTRACTOR TO INSTALL A SEPARATE METER.
 - PROVIDE & INSTALL CAGE AND COVER FOR THE BACK FLOW PREVENTER AT 4" CONCRETE CURB IN LANDSCAPE AREA. GORILLA CAGE, MANUFACTURED BY HOUSTON IRRIGATION SERVICES SPRING, TEXAS (281-708-9701). PROVIDE INSULATED COVER, 'AQUA SHIELD' MODEL # BFP1-S FOR COLDER REGIONS OF US. COORDINATE WITH PANDA PM. REFER TO DETAIL 11UA-407.
 - FOR HORIZONTAL CONTROL PLAN REFER TO CIVIL DRAWINGS
 - FOR UTILITY CONNECTIONS SEE CIVIL UTILITY PLANS
- LIMIT OF CONSTRUCTION/AREA OF WORK
 - PROPERTY LINE
 - ADA COMPLIANT PEDESTRIAN PATH OF TRAVEL
 - 600 AMPS ELECTRICAL SWITCHGEAR 120/208V 3PH 4W
 - AC PAVING
 - IRRIGATED LANDSCAPING
 - CONC. APRON, REFERENCE CIVIL DRAWINGS
 - MASONRY TRASH ENCLOSURE
 - G.C. TO COORDINATE LOCATION OF SIGN WITH SIGN CO.
 - DRIVE THRU LANE SENSOR LOOP SEE DETAIL
 - DRIVE THROUGH MENU BOARD-INSTALLED BY SIGN COMPANY. VERIFY WITH PANDA PM (SEE GENERAL NOTE ABOVE)
 - DIRECTIONAL ARROW
 - GAS METER COORDINATE W/ LOCAL UTILITY COMPANY.
 - ACCESSIBLE PARKING POLE SIGN (TYP. 2 PLACES)
 - INTERNATIONAL ACCESSIBILITY SYMBOL @ PARKING SPACE (TYP. 2 PLACES)
 - ACCESSIBLE PARKING SPACE AND LOADING ZONE
 - PAINT 4" WIDE SOLID PARKING STRIPPING W/ TWO (2) COATS HIGHWAY WHITE PAINT PER CITY OF LATHROP REQUIREMENTS
 - ELECTRICAL PAD TRANSFORMER FOR PANDA. VERIFY EXACT LOCATION WITH UTILITY COMPANY BY DEVELOPER
 - ROOF DRAIN AND OVERFLOW DRAIN FROM ROOF TO EXIT TO DAYLIGHT THRU FACE OF WALL. SEE CIVIL PLANS
 - STEEL PIPE BOLLARD. BOLLARDS TO BE PAINTED SAFETY YELLOW PRIOR TO APPLICATION OF LDPE SLEEVE.
 - UNDERGROUND GREASE INTERCEPTOR - SEE PLUMBING/CIVIL DRAWINGS COORDINATE WITH DEVELOPER FOR INSTALLATION
 - CONCRETE DRIVEWAY - SEE CIVIL DRAWING
 - EDGE OF SIDEWALK AT PLANTER
 - 6" CONCRETE CURB
 - EXPANSION JOINT @ 20'-0" O.C. MAX.
 - TOOLED JOINTS @ 5'-0"x5'-0" O.C.
EXPANSION JOINT @ 20'-0" O.C.
 - ACCESSIBLE RAMP
 - UNDERGROUND UTILITIES. CONTRACTOR TO PROVIDE FINAL COORDINATION DEVELOPER'S CONTRACT
 - ORDER CONFIRMATION BOARD OR PREFABRICATED ORDER CANOPY. VERIFY W/ PX PM. SEE SIGNAGE DWGS.
 - CONCRETE WHEEL STOPS (TYP. 3 PLACES)
 - 75'-0" HIGH POLE SIGN. SEE SIGNAGE PACKAGE
 - SEALED CONC SIDEWALK (AQUA MIX SEALER'S CHOICE GOLD). CONCRETE TO BE LIGHT BROOM TEXTURE FINISH. PROVIDE UNDER SLAB TREATMENT PER SOIL REPORT. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
 - CLEARANCE BAR INSTALLED BY SIGN VENDOR SEE ELECTRICAL DRAWING FOR ELECTRICAL REQUIREMENT. G.C. TO COORDINATE. SEE SIGNAGE PLANS.
 - 5" MINIMUM CONCRETE DRIVE SLAB WITH #4 BARS AT 18" O.C. EACH WAY. VERIFY WITH GEOTECHNICAL REPORT
 - NEW PARKING LOT POLE LIGHT (22-0) LIGHTING SCHEDULE ON E-105 (REFER TO PHOTOMETRIC PLAN SHEET E-106 FOR LIGHT POLE LOCATIONS)
 - NEW 3'-0" DEEP MINIMUM TRUNCATED DOME TACTILE WARNING WHERE PEDESTRIAN PATH OF TRAVEL ENTERS VEHICULAR WAY. (TYPICAL)
 - NEW PANDA EXPRESS RESTAURANT BUILDING.
 - PAINT CROSS WALK STRIPING W/ TWO (2) COATS HIGHWAY WHITE PAINT- BY DEVELOPER
 - EXTERIOR BICYCLE RACK (MIN. 2 BIKE STORAGE REQUIRED)
 - NEW SIDEWALK CURB & GUTTER PER CITY OF LATHROP STANDARDS. SEE CIVIL DRAWINGS



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

△	
△	
△	
△	
△	
△	
△	

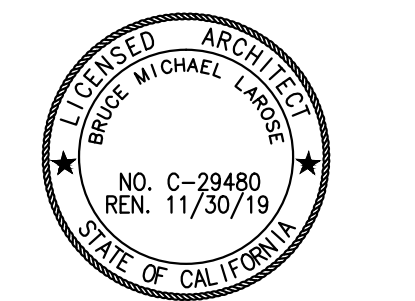
ISSUE DATE:

DRAWN BY: CRM Architects & Planners, Inc.

PANDA PROJECT #: S8-19-D6565
ARCH PROJECT #: CRM 1820

CRM Architects & Planners, Inc.

5800 Stanford Ranch Road Suite 720
Rocklin, CA 95765
phone: (916) 451-1500 - fax: (916) 451-160



**LATHROP
CFT DEVELOPMENT**
66 E. LATHROP ROAD
LATHROP, CA 95330

2200 PlanTrue Warm & Welcome

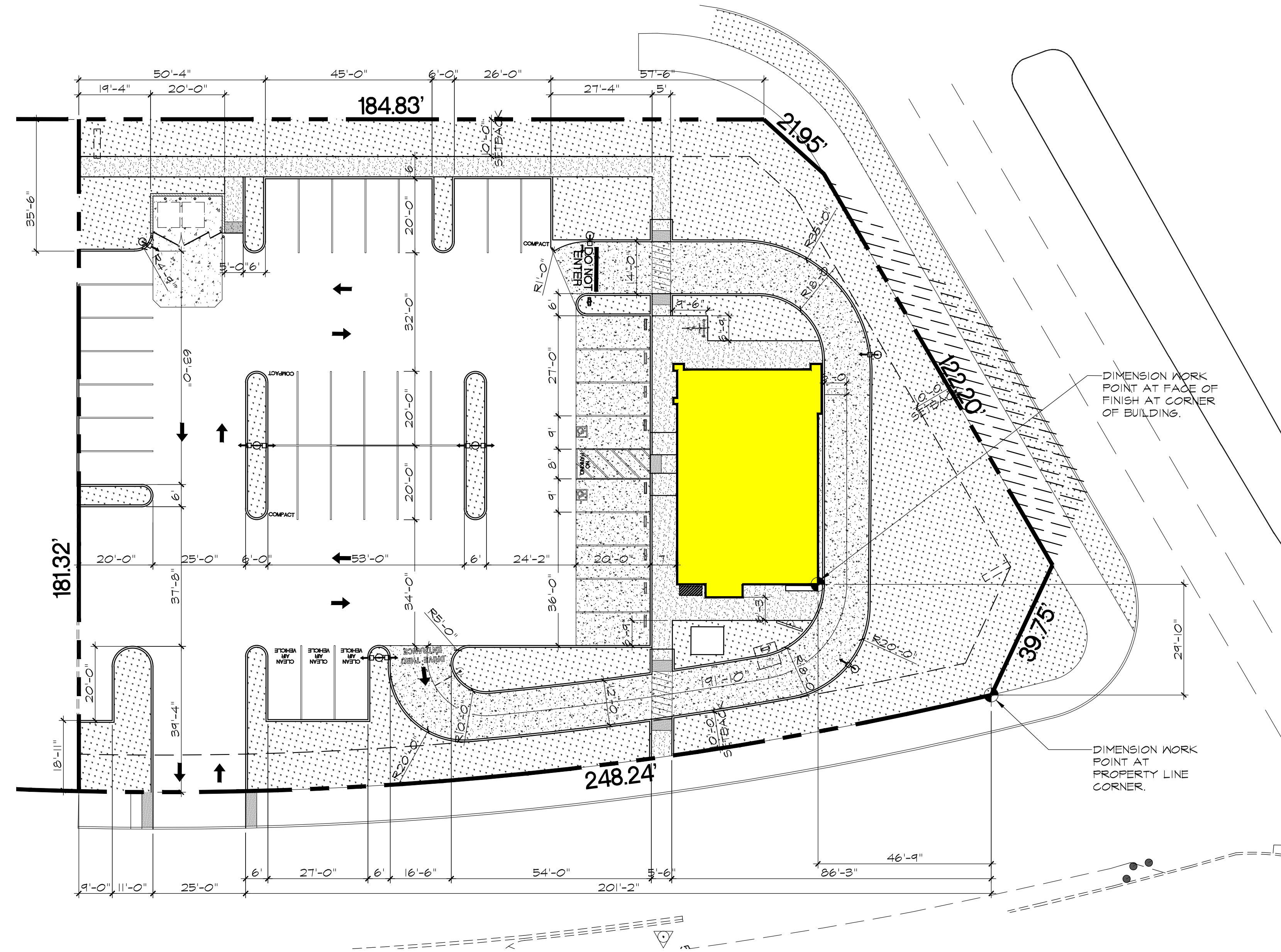
A-01.B

SITE PLAN
ARCHITECTURAL

KEY NOTES A

Scale= NTS A-100

PERMIT SUBMITTAL DWGS



DIMENSIONED SITE PLAN

20 0 20 40
SCALE OF FEET 1" = 20'



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

△		
△		
△		
△		
△		
△		

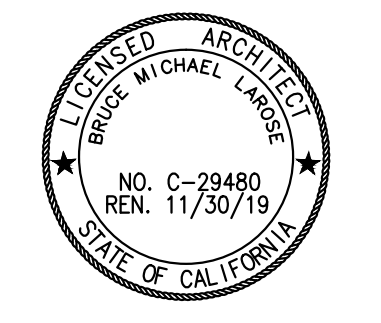
ISSUE DATE:

DRAWN BY: CRM Architects & Planners, Inc.

PANDA PROJECT #: S8-19-D6565
ARCH PROJECT #: CRM 1820

CRM Architects & Planners, Inc.

5800 Stanford Ranch Road Suite 720
Rocklin, CA 95765
phone: (916) 451-1500 - fax: (916) 451-1600



**LATHROP
CFT DEVELOPMENT**
66 E. LATHROP ROAD
LATHROP, CA 95330

2200 PlanTrue Warm & Welcome

A-01.C

SITE PLAN
DIMENSIONED

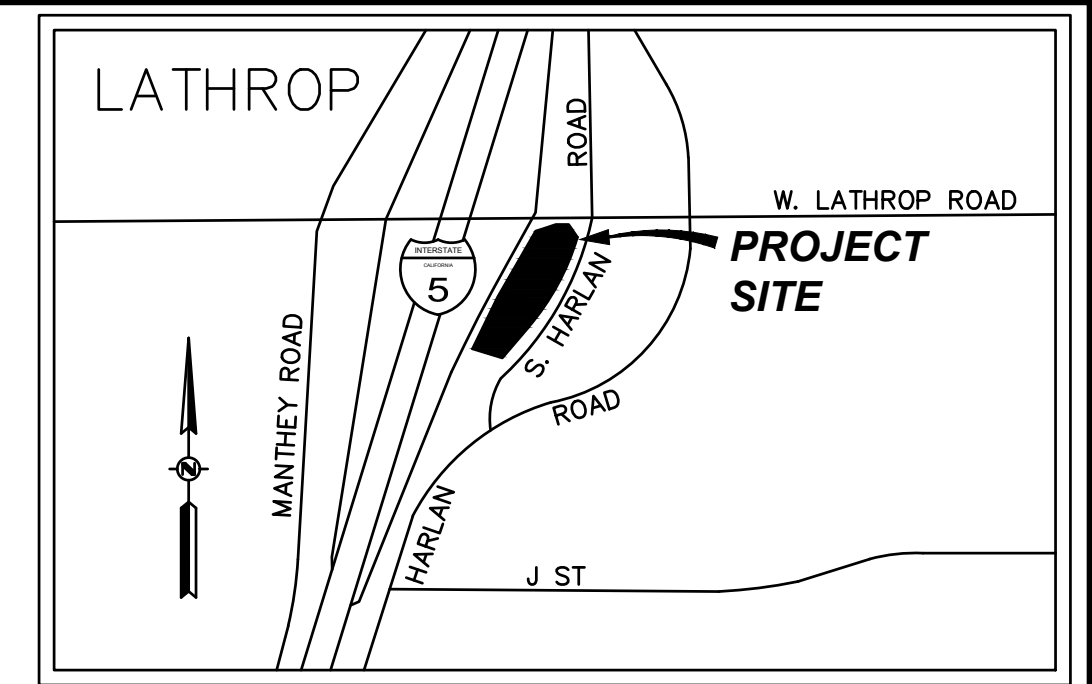
PERMIT SUBMITTAL DWGS

PRELIMINARY IMPROVEMENT PLANS FOR PANDA EXPRESS

66 EAST LATHROP ROAD

CITY OF LATHROP, STATE OF CALIFORNIA, 95330

APNs: 196-110-01, 02, 03, & 04

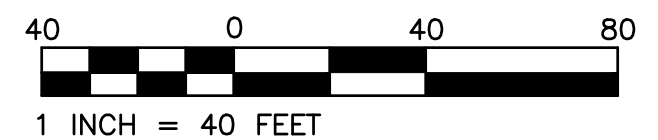
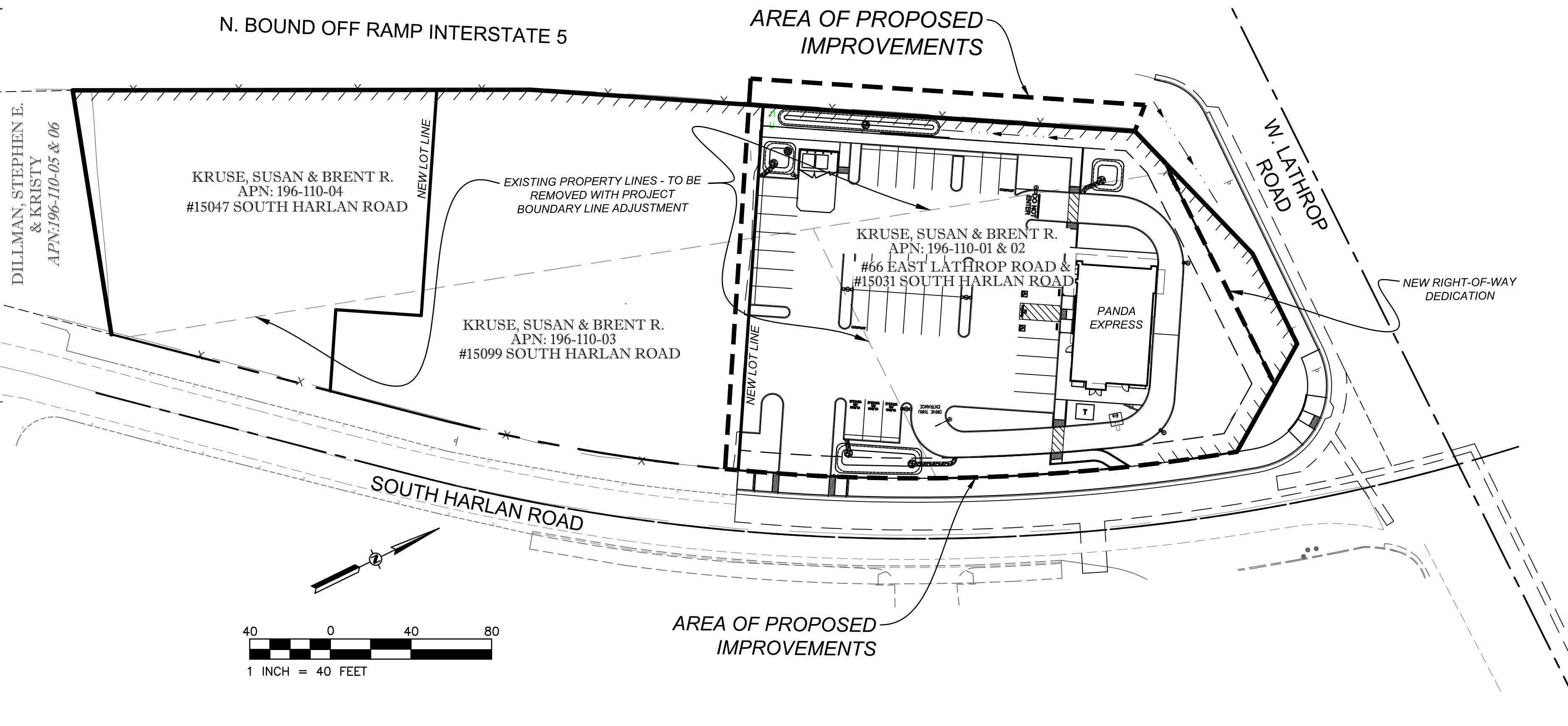


SHEET INDEX

- C1 TITLE SHEET
- C2 HORIZONTAL CONTROL PLAN
- C3.1 GRADING, DRAINAGE, AND PAVING PLAN 1
- C3.2 GRADING, DRAINAGE, AND PAVING PLAN 2
- C4 SOUTH HARLAN ROAD PLAN AND PROFILE
- C5 WEST LATHROP ROAD PLAN AND PROFILE
- C6 WATER AND SANITARY SEWER PLAN

APPROVED BY:	DATE:	REVISION:	CHECK NO.:	BY:	DATE:	REVISION:
DESIGN:	DRAWN:	QUANT.:	TSM:	RFE:	RFE:	2
0	1	1	1	1	1	2
ORIGINAL SCALE IS IN INCHES						
RFE ENGINEERING, INC. Civil Engineers - Planners - Surveyors 2280 Lodi Blvd., Suite 100, Lodi, CA 95240 Phone: (916) 772-7800 Fax: (916) 772-7804 www.RFEEngineering.com						
CRM ARCHITECTS & PLANNERS 5600 STANFORD RANCH ROAD, ROCKLIN, CA 95765 (916) 451-1500						
PANDA EXPRESS 66 EAST LATHROP ROAD LATHROP, CA 95330						
TITLE SHEET						
Drawing	Sheet					
1	C1					
of						
7	7					
11-30-2018						

DESCRIPTION	LEGEND EXISTING	PROPOSED
PROPERTY LINE	---	---
ROW	---	---
EASEMENT	---	---
LOT LINE	---	---
CENTERLINE	---	---
SW, CURB & GUTTER	---	---
DITCH / FLOWLINE	---	---
EP	---	---
STORM DRAIN	XX"SD	XX"SD
SANITARY SEWER	XX"SS	XX"SS
WATER	XX"W	XX"W
SDMH	○	○
DROP INLET	■	■
DIRECTION OF SURFACE FLOW	→	→
OVERLAND RELEASE PATH	→	→
SSMH	○	○
SSCO	○	○
FIRE HYDRANT	○	○
WATER VALVE	○	○
WATER METER	WM	WM
BACKFLOW PREVENTER	■	■
MONUMENT WELL	○	○
BOLLARD	○	○
UTILITY POLE	○	○
STREET LIGHT	○	○
SITE LIGHT	○	○
FENCE	X X	X X
INDEX CONTOUR	25	25
INTERMEDIATE CONTOURS	---	---
JUNCTION/PULL BOX	PB	PB
SIGN	---	---
GRADE BREAK LINE	GB	GB
PIPE CAP	---	---
HANDICAP RAMP	---	---
CONTROL POINT	△ 100.00 PK	△ 100.00 PK
FINISH FLOOR ELEVATION	FF: 123.00	FF: 123.00
SPOT ELEVATION (ASPHALT CONCRETE)	X 157.01 AC	X 13.34 AC
MATCH (E) GRADE ELEVATION	---	---
TRUNCATED DOMES	---	---
BUILDING	---	---
DOOR	---	---
NO ABUTTERS RIGHTS	---	---



SITE ANALYSIS:

TOTAL LOT AREA:	42,369 SF (GROSS) 40,717 SF (NET)
TOTAL BUILDING AREA:	2,216 SF
TOTAL PARKING REQUIRED:	35 STALLS
27 SPACES	
-54 SEATS / 2	
8 SPACES	
-8 TOTAL EMPLOYEES / 1	
TOTAL PARKING PROVIDED:	40 STALLS (2 ADA STALLS)

PARKING STANDARDS:

- MINIMUM STANDARD STALL DIMENSION REQUIRED:
9' WIDE x 20' LONG (90° STALL)
- MINIMUM DRIVE AISLE WIDTH REQUIRED:
24'
- MINIMUM PARKING STALL DIMENSIONS PROVIDED:
9' WIDE x 20' LONG
- MINIMUM DRIVE AISLE WIDTH PROVIDED:
24'

USE:
 EXISTING: VACANT
 PROPOSED: RESTAURANT WITH DRIVE-THRU

ZONING:
 EXISTING: CENTRAL COMMERCIAL
 PROPOSED: CENTRAL COMMERCIAL

BUILDING CODE ANALYSIS:

OCCUPANCY CLASSIFICATION: GROUP A2
 TYPE OF CONSTRUCTION: VB
 FIRE SPRINKLERS: NO
 HEIGHT: 23'-6"
 STORIES: 1
 AREA: 2,216 SQUARE FEET

GEOTECHNICAL REPORT:

TERRACON CONSULTANTS, INC.
 902 INDUSTRIAL WAY
 LODI, CA
 (209) 367-3701
 REPORT NO.: NA185090
 DATE: JULY 19, 2018

NOTE:
 ALL CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY SHALL HAVE ENCROACHMENT PERMIT FROM THE CITY OF LATHROP.

RAW EARTHWORK SUMMARY

TOTAL DISTURBED AREA: 1.32 AC	
ON-SITE	
CUT:	160 CY
FILL:	1305 CY
NET:	1,145 CY IMPORT
OFF-SITE	
CUT:	215 CY
FILL:	95 CY
NET:	120 CY EXPORT
NOTE: EARTHWORK QUANTITIES ARE ESTIMATED TO SUBGRADE AND DO NOT TAKE INTO ACCOUNT SHRINKAGE, EXCESS MATERIALS FROM TRENCHING AND MISC. UNKNOWN STRUCTURAL SECTIONS. CONTRACTOR SHOULD VERIFY EARTHWORK QUANTITIES.	

NOTICE TO CONTRACTOR - SWPPP

THIS PROJECT HAS AN APPROVED STATE GENERAL CONSTRUCTION PERMIT AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP).

WDID # XXXXXXXXXX

CONTRACTOR IS RESPONSIBLE TO HIRE A STATE CERTIFIED QSP (QUALIFIED SWPPP PRACTITIONER) TO OVERSEE IMPLEMENTATION OF THE SWPPP PRIOR TO START OF CONSTRUCTION. ALL REQUIRED INSPECTIONS, TRAINING AND REQUIRED TESTING AND REPORTING SHALL BE OVERSEEN BY THE QSP.

THE FINAL APPROVED SWPPP SHALL BE KEPT ON THE CONSTRUCTION SITE DURING CONSTRUCTION AND MAINTAINED BY THE QSP.

CONTRACTOR SHALL SEND THE FINAL SWPPP WITH ALL INSPECTION, TESTING, AMENDMENTS, REPORTS AND OTHER DOCUMENTATION TO THE OWNER ONCE CONSTRUCTION HAS BEEN COMPLETED AND THE NOTICE OF TERMINATION SUBMITTED.

CONTRACTOR SHALL HAVE A PRECONSTRUCTION MEETING AND INCLUDE THE QSP AND CIVIL ENGINEER IN THE MEETING, EITHER ON-SITE OR VIA TELEPHONE CONFERENCE.

FLOOD PLAIN:

SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X". AREAS WITHIN ZONE "X" ARE DETERMINED TO BE OUTSIDE THE 100 YEAR FLOOD PLAIN FLOOD PLAIN AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 06077C0610F DATED: 10/16/2009

UTILITY NOTES:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

UTILITY	COMPANY	CONTACT	PHONE
GAS	PG&E		800-743-5000
ELECTRIC	PG&E		800-743-5000
TELEPHONE	AT&T		800-288-2020
WATER	CITY OF LATHROP	GREG GIBSON	209-941-7296
SEWER	CITY OF LATHROP	RICK CAGUIAT	209-941-7296
U.S.A.	UNDERGROUND SERVICE ALERT		800-227-2600
FIRE	LATHROP-MANTECA FIRE DISTRICT	STEVE PICKERILL	209-941-7279
PLANNING	CITY OF LATHROP	RICK CAGUIAT	209-941-7296
REFUSE	ALLIED WASTE SERVICE		209-466-3604
CABLE	COMCAST		800-824-2000
PHONE	VERIZON		800-483-3000

NOTICE TO CONTRACTOR - ORDER OF WORK:

PRIOR TO THE START OF ANY CIVIL WORK IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES BY POTHOLES AT ALL POINTS OF POTENTIAL CONFLICT WITH PROPOSED UTILITIES OR PROPOSED POINTS OF CONNECTION WITH EXISTING UTILITIES. IF THE ACTUAL LOCATIONS OF THE EXISTING UTILITIES FOUND IN THE FIELD ARE DIFFERENT FROM WHAT IS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT RFE ENGINEERING IMMEDIATELY AND PROVIDE THE ACTUAL LOCATION INFORMATION. RFE ENGINEERING WILL VERIFY IF THERE ARE ANY CONFLICTS WITH THE IMPROVEMENTS AND WILL PROVIDE MODIFICATIONS TO THE DESIGN TO MITIGATE THE CONFLICTS IF ANY CONFLICTS EXIST.

ALTA SURVEY:

BY: RFE ENGINEERING, INC.
 DATE OF FIELD SURVEY: MAY 8, 2018

PROPERTY OWNER:

SUSAN KRUSE AND BRENT R. KRUSE
 26312 E RIVER ROAD
 ESCALON, CA 95320-9652

JURISDICTION:

CITY OF LATHROP

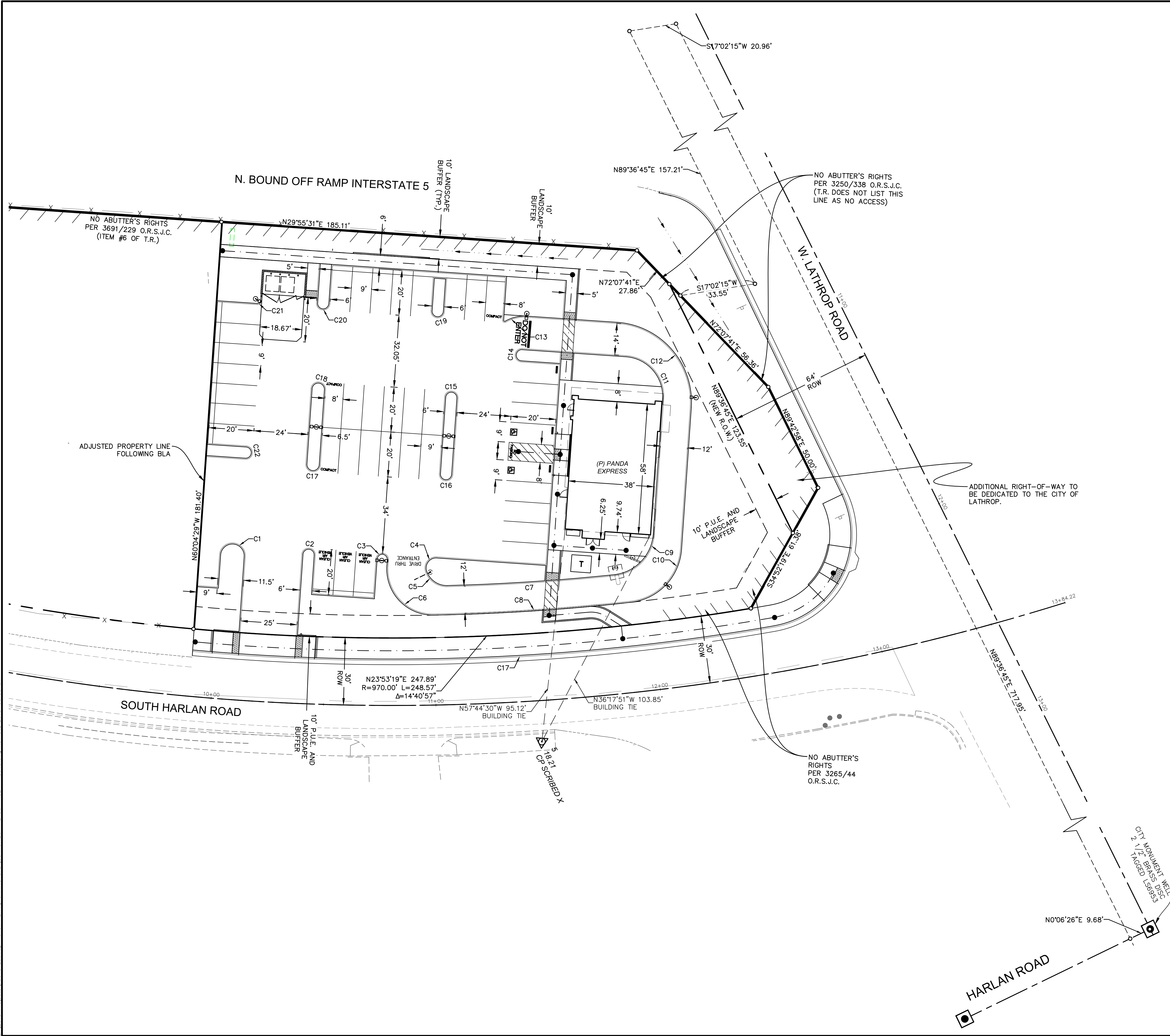
DEVELOPER:

CFT DEVELOPMENTS, LLC
 1683 WALNUT GROVE, AVE.
 ROSEMead, CA 91770

LATHROP - MANTECA FIRE DISTRICT	
APPROVED BY: _____	DATE: _____
FIRE MARSHALL	
CITY OF LATHROP COMMUNITY DEVELOPMENT DEPARTMENT	
APPROVED BY: _____	DATE: _____
COMMUNITY DEVELOPMENT DIRECTOR	
CITY OF LATHROP ENGINEERING	
APPROVED BY: _____	DATE: _____
CITY ENGINEER	
CITY OF LATHROP PARKS AND RECREATION DEPARTMENT	
APPROVED BY: _____	DATE: _____
PARKS AND RECREATION DIRECTOR	
CITY OF LATHROP PUBLIC WORKS ENGINEERING	
APPROVED BY: _____	DATE: _____
UTILITIES & STREETS MAINTENANCE SUPERVISOR	
CITY OF LATHROP DEPARTMENT OF PUBLIC WORKS	
APPROVED BY: _____	DATE: _____
PUBLIC WORKS DIRECTOR	
EXP DATE: _____	

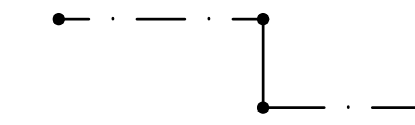
Z:\2018 Projects\18045 Lathrop_Harlan_ALTA\WORKING CAD\1 TITLE - 18045.dwg Nov 30, 2018 - 08:33 am

Z:\2018 Projects\18045 Lathrop Harlan ALTA WORKING CAD\C3_HORIZONTA CONTROL - 18045.dwg Nov 30, 2018 - 08:33 am



LEGEND:

ACCESSIBLE PATH OF TRAVEL



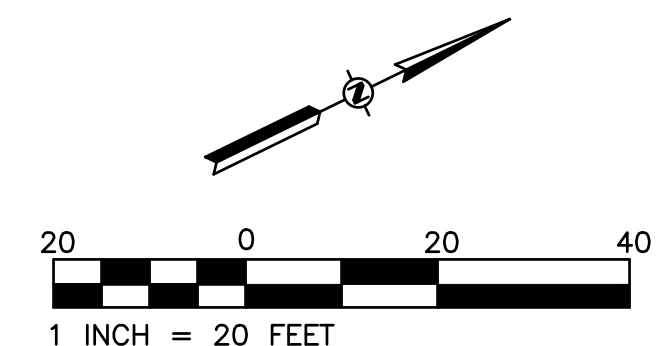
NOTES:

1. DIMENSIONS ARE TO BOTTOM FACE OF CURB UNLESS SPECIFIED OTHERWISE.
2. SEE SHEET C1 FOR BASIS OF BEARINGS.
3. BUILDING OUTLINE REPRESENTS OUTER-MOST ELEMENT OF BUILDING.

CURVE TABLE

CURVE #	ARC LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	18.06'	5.75'	180°00'00"	S29°55'31"W	11.50'
C2	9.42'	3.00'	180°00'00"	S29°55'31"W	6.00'
C3	8.78'	2.78'	180°50'54"	S29°30'04"W	5.57'
C4	9.95'	5.00'	114°02'44"	S27°05'51"E	8.39'
C5	12.45'	10.00'	71°21'24"	N60°12'05"E	11.66'
C6	33.17'	20.00'	95°01'23"	N72°24'49"E	29.50'
C7	74.31'	947.50'	4°29'36"	N22°16'35"E	74.29'
C8	87.64'	959.50'	5°14'00"	N22°17'08"E	87.61'
C9	27.96'	20.00'	80°06'16"	N20°01'21"W	25.74'
C10	34.79'	25.00'	79°44'37"	N20°12'11"W	32.05'
C11	28.27'	18.00'	90°00'00"	S74°55'31"W	25.46'
C12	54.98'	35.00'	90°00'00"	S74°55'31"W	49.50'
C13	9.93'	17.00'	33°27'57"	S13°11'32"W	9.79'
C14	9.42'	3.00'	180°00'00"	S60°04'29"E	6.00'
C15	9.42'	3.00'	180°00'00"	S29°55'31"W	6.00'
C16	9.42'	3.00'	180°00'00"	N29°55'31"E	6.00'
C17	10.21'	3.25'	180°00'00"	N29°55'31"E	6.50'
C18	10.21'	3.25'	180°00'00"	S29°55'31"W	6.50'
C19	9.42'	3.00'	180°00'00"	N29°55'31"E	6.00'
C20	9.42'	3.00'	180°00'00"	N29°55'31"E	6.00'
C21	3.14'	2.00'	90°00'00"	N15°04'29"W	2.83'
C22	9.42'	3.00'	180°00'00"	N60°04'29"W	6.00'

REVISION		CHECK NO.		DATE		BY		APPRVD	
DESIGN	DRAWN	QUANT.	TSM	RFE	RFE	1	2		
ORIGINAL SCALE IS IN INCHES									
RFE ENGINEERING, INC. Civil Engineers - Planners - Surveyors 2280 Rockwood Road, Suite 200, Rocklin, CA 95765 (916) 772-7800 Fax: (916) 772-7804 www.RFEEngineering.com									
CRM ARCHITECTS & PLANNERS 5600 STANFORD RANCH ROAD, ROCKLIN, CA 95765 (916) 451-1500									
PANDA EXPRESS 66 EAST LATHROP ROAD LATHROP, CA 95330 HORIZONTAL CONTROL PLAN									
Drawing	Sheet								
2	C2								
of	of								
7	7								
11-30-2018									



Know what's below.
Call before you dig.
 or (800) 227-2600

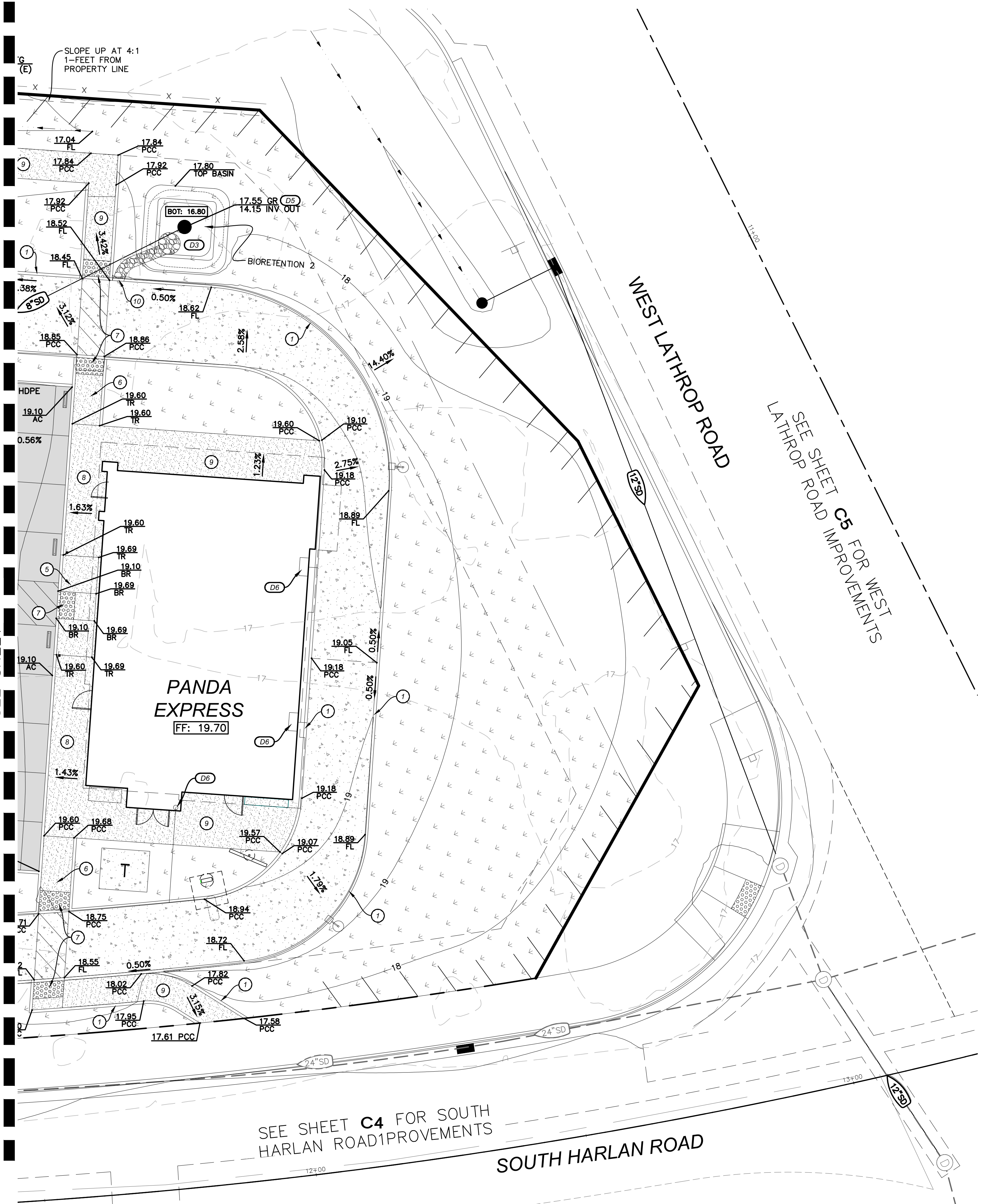
RFE PROJECT #18045 - LATHROP PANDA EXPRESS, LATHROP, CA

Z:\2018 Projects\18045 Lathrop Harlan ALTA WORKING CAD\CG GRADING AND PAVING PLAN - 18045.dwg Nov. 30, 2018 - 08:33 am

SEE SHEET C3.1

SEE SHEET C4 FOR SOUTH HARLAN ROAD IMPROVEMENTS

SEE SHEET C5 FOR WEST LATHROP ROAD IMPROVEMENTS



PAVING LEGEND:

- LIGHT DUTY PCC (SIDEWALKS)
4.0" PCC / 4.0" AB
- HEAVY DUTY PCC (DRIVE-THRU AND DRIVEWAY)
5.0" PCC / 4.0" AB
- HEAVY DUTY PCC (DUMPSTER PAD)
7.0" PCC / 4.0" AB
- LANDSCAPING
- LIGHT DUTY AC (TI=4.0) (PARKING)
3.0" AC / 4.0" AB
- HEAVY DUTY AC (TI=6.0) (DRIVE AISLES & OFF-SITE)
3.5" AC / 4.0" AB
- OVERLAND RELEASE PATH

NOTE: ALL PAVING SECTIONS SHALL BE PER PROJECT GEOTECHNICAL REPORT

NOTE:

KEYNOTES MAKE REFERENCE TO DETAILS AND SHEETS NOT PROVIDED WITH THIS PRELIMINARY SUBMITTAL. DETAILS AND SHEETS WILL BE PROVIDED WITH THE CONSTRUCTION DOCUMENTS.

GRADING CONSTRUCTION KEYNOTES


- 1) CONSTRUCT 6" BARRIER CURB PER DETAIL 1, SHEET C12.
- 2) CONSTRUCT CONCRETE CURB AND GUTTER PER DETAIL 2, SHEET C12.
- 3) ADA ACCESSIBLE PARKING STALLS PER DETAIL 2, SHEET C11.
- 4) (P) TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAIL.
- 5) CONSTRUCT ADA ACCESSIBLE PARALLEL FLUSH PAN CURB RAMP PER DETAIL 6, SHEET C11.
- 6) CONSTRUCT ADA ACCESSIBLE PERPENDICULAR CURB RAMP PER DETAIL 7, SHEET C11.
- 7) INSTALL TRUNCATED DOMES PER DETAIL 3, SHEET C11.
- 8) CONSTRUCT MONOLITHIC CURB AND SIDEWALK PER DETAIL 3, SHEET C12.
- 9) CONSTRUCT CONCRETE SIDEWALK PER DETAIL 5, SHEET C12.
- 10) CONSTRUCT 24" WIDE CURB CUT WITH RIP RAP PROTECTION AT OUTFALL PER DETAILS 4 AND 7, SHEET C12.
- 11) LEAVE 24" WIDE OPENING IN BACK OF TRASH ENCLOSURE AND INSTALL RIP RAP PROTECTION FROM OPENING DOWN INTO BIORETENTION BASIN PER DETAIL 7, SHEET C12.
- 12) INSTALL REINFORCED RAISED CURB PER DETAIL 10, SHEET C12.

DRAINAGE CONSTRUCTION KEYNOTES:

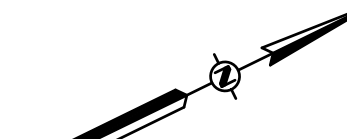
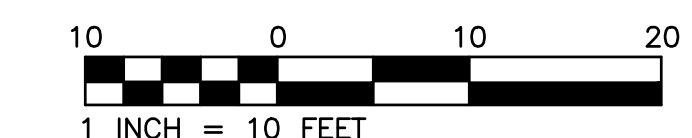
- NOTE: ALL STORM DRAIN PIPES ARE TO BE HDPE MATERIAL UNLESS OTHERWISE STATED.
- D1) INSTALL ADS NYLOPLAST 36" DRAIN BASIN WITH H-20 RATED SOLID RIM.
 - D2) INSTALL UNDERGROUND DETENTION SYSTEM. DETENTION SYSTEM CONSISTS OF ADS STORMTECH SC-310 CHAMBERS WITHIN CRUSHED GRAVEL TRENCH. SEE SHEET C6.4 FOR DETAILS AND SPECIFICATIONS ON DETENTION SYSTEM.
 - D3) INSTALL SURFACE BIORETENTION BASIN PER DETAIL 3, SHEET C6.3.
 - D4) INSTALL 3" TALL X 12" WIDE STEEL BOX CULVERT AT CURB, BENEATH SIDEWALK, AND OUTFALL INTO BIORETENTION BASIN. INSTALL RIP RAP PROTECTION PER DETAIL 7, SHEET C12 AT OUTFALL.
 - D5) INSTALL ADS NYLOPLAST 24" DRAIN BASIN WITH 10" DOME GRATE. SET GRATE ELEVATION ABOVE BOTTOM OF BIORETENTION POND AS SHOWN ON PLAN.
 - D6) ROOF DOWNSPOUT LOCATION. VERIFY LOCATION WITH ARCHITECTURAL PLANS. INSTALL UNDER SIDEWALK DRAIN TO DAYLIGHT DRAINAGE TO DRIVE-THRU. SEE DETAIL 9, SHEET C12.

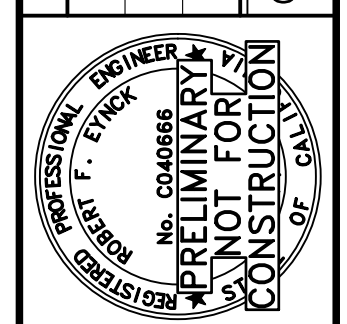
GRADING NOTES:

1. ALL VALVES, MANHOLES, TRAFFIC CONTROL BOXES, CLEANOUTS, DI'S, ETC. WITHIN LIMITS OF CONSTRUCTION TO BE ADJUSTED TO FINISH GRADE AS NEEDED.
2. ASBESTOS CEMENT PIPE (ACP) SHALL NOT BE ALLOWED UNDER ANY CIRCUMSTANCES.
3. TRENCHING AND BACKFILL SHALL COMPLY WITH CITY OF LATHROP STANDARDS AND DETAILS R-284 AND R-285 ON SHEET C13. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SAFETY STANDARDS FOR TRENCH SAFETY. ALL PIPES SHALL BE BACKFILLED WITH CLASS 2 AGGREGATE BASE.
4. ALL DRAIN INLETS TO BE STENCILED TO PROHIBIT DUMPING OF POLLUTANTS.
5. ALL HANDICAP ACCESSIBLE PARKING SPACES SHALL HAVE SLOPES LESS THAN 2% IN ANY DIRECTION. ON PEDESTRIAN PATHS, THE MAXIMUM CROSS SLOPE SHALL BE LESS THAN 2% AND THE MAXIMUM LONGITUDINAL SLOPE SHALL BE LESS THAN 5%.
6. GRADING AND PAVING SHALL BE IN ACCORDANCE WITH PROJECT GEOTECHNICAL REPORT.
7. VERIFY ALL UTILITY LOCATIONS AND POINTS OF CONNECTION PRIOR TO CONSTRUCTION.

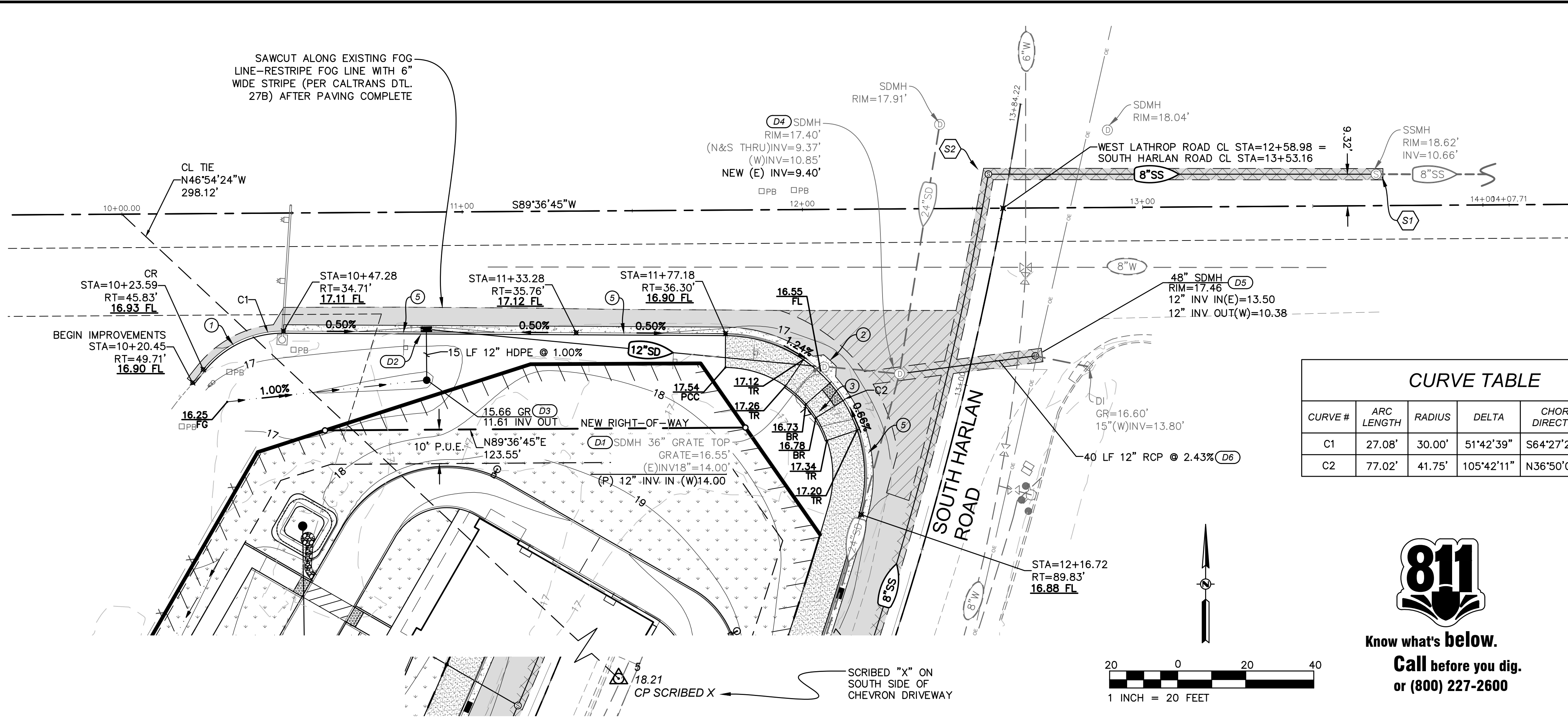


**Know what's below.
Call before you dig.
or (800) 227-2600**

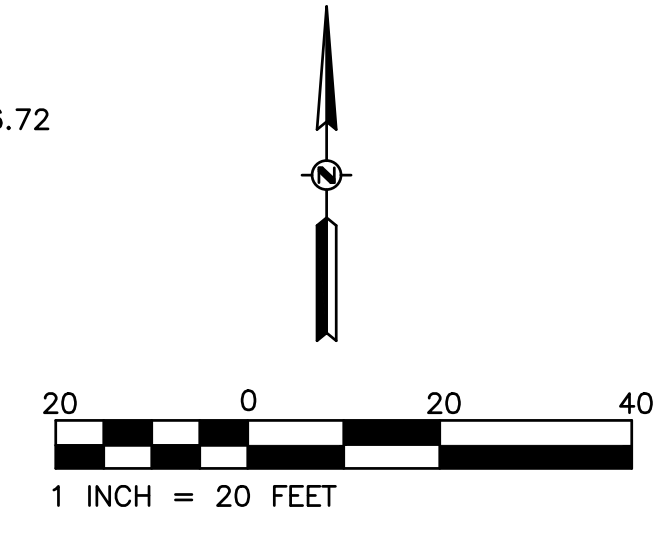
APPROVED					
BY	DATE	REVISION	CHECK NO.	BY	RFE
DESIGN	DRAWN	QUANT.	0	1	2
ORIGINAL SCALE IS IN INCHES					
					
<p>RFE ENGINEERING, INC. Civil Engineers - Planners - Surveyors 2280 Lincoln Road, Suite 100 Rocklin, CA 95765 Ph: 916.772.7800 Fax: 916.772.7804 www.RFEEngineering.com</p>					
<p>CRM ARCHITECTS & PLANNERS 5600 STANFORD RANCH ROAD, ROCKLIN, CA 95765 (916) 451-1500</p>					
<p>PANDA EXPRESS 66 EAST LATHROP ROAD LATHROP, CA 95330</p> <p>GRADING, DRAINAGE, & PAVING PLAN 2</p>					
Drawing	Sheet				
4	C3.2				
of		of			
7		7			
11-30-2018					

RFE PROJECT #18045 - LATHROP PANDA EXPRESS, LATHROP, CA



CURVE TABLE

CURVE #	ARC LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	27.08'	30.00'	51°42'39"	S64°27'29"W	26.17'
C2	77.02'	41.75'	105°42'11"	N36°50'06"W	66.56'



811
Know what's below.
Call before you dig.
or (800) 227-2600

GRADING CONSTRUCTION KEYNOTES

- ① CONSTRUCT TYPE 'B' VERTICAL CURB PER CITY OF LATHROP STANDARD DETAIL R-8A ON SHEET C10.
- ② FORM CONCRETE GUTTER AROUND (E) STORM DRAIN GRATE, PROVIDING AT LEAST 12" OF CONCRETE ON ALL SIDES OF THE GRATE.
- ③ CONSTRUCT CURB RAMP PER DETAILS R-10A AND R-10C ON SHEET C9.
- ④ BACKFILL UTILITY TRENCHES PER CITY OF LATHROP STANDARD DETAILS R-28A & R-28B ON SHEET C9.
- ⑤ CONSTRUCT VERTICAL CURB AND GUTTER PER CITY OF LATHROP STANDARD DETAIL R-7A ON SHEET C10.

DRAINAGE CONSTRUCTION KEYNOTES:

- NOTE: ALL OFF-SITE STORM DRAIN PIPES SHALL BE CLASS III REINFORCED CONCRETE PIPE WITH WATERTIGHT CONNECTIONS PER CITY OF LATHROP STANDARDS.
- (D1) CONNECT TO EXISTING MANHOLE.
 - (D2) INSTALL TYPE II CURB INLET STRUCTURE PER CITY OF LATHROP STANDARD DETAIL D-7 ON SHEET C10.
 - (D3) INSTALL JENSEN PRECAST (OR APPROVED EQUAL) 24" X 24" DROP INLET WITH GRATE TOP.
 - (D4) REINSTALL EAST LATERAL AT ELEVATION SHOWN ON PLAN. REPAIR MANHOLE AS NECESSARY PER CITY OF LATHROP STANDARDS.
 - (D5) REMOVE (E) SDMH AND REPLACE WITH NEW TYPE I MANHOLE PER CITY OF LATHROP STANDARD DETAIL D-10. RECONNECT 12" LATERAL COMING FROM THE EAST AT THE SAME ELEVATION AS EXISTING. REMOVE EXISTING 12" LATERAL GOING TO WEST AND REINSTALL AT ELEVATIONS AS SHOWN ON PLAN.
 - (D6) REINSTALL EXISTING PIPE AT LOWER ELEVATION TO AVOID CONFLICT WITH PROPOSED SANITARY SEWER LINE. IF ADDITIONAL PIPE IS NEEDED, MATERIAL SHALL BE CLASS III RCP. PIPE SHALL BE REINSTALL WITH ELEVATIONS AS SHOWN ON PLAN.

SANITARY SEWER CONSTRUCTION KEYNOTES

- NOTE: ALL SANITARY SEWER PIPES ARE TO BE SDR-26 PVC MATERIAL UNLESS OTHERWISE STATED.
- (S1) CONNECT PROPOSED 8" SANITARY SEWER LINE TO EXISTING MANHOLE PER CITY OF LATHROP STANDARDS.
 - (S2) CONSTRUCT SANITARY SEWER MANHOLE PER CITY OF LATHROP STANDARD DETAIL S-2 ON SHEET C10.

GRADING NOTES:

1. ALL VALVES, MANHOLES, TRAFFIC CONTROL BOXES, CLEANOUTS, D'S, ETC. WITHIN LIMITS OF CONSTRUCTION TO BE ADJUSTED TO FINISH GRADE AS NEEDED.
2. ASBESTOS CEMENT PIPE (ACP) SHALL NOT BE ALLOWED UNDER ANY CIRCUMSTANCES.
3. TRENCHING AND BACKFILL SHALL COMPLY WITH CITY OF LATHROP STANDARDS AND DETAILS R-28A AND R-28B ON SHEET C9. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SAFETY STANDARDS FOR TRENCH SAFETY.
4. ALL DRAIN INLETS TO BE STENCILED TO PROHIBIT DUMPING OF POLLUTANTS.
5. ALL HANDICAP ACCESSIBLE PARKING SPACES SHALL HAVE SLOPES LESS THAN 2% IN ANY DIRECTION. ON PEDESTRIAN PATHS, THE MAXIMUM CROSS SLOPE SHALL BE LESS THAN 2% AND THE MAXIMUM LONGITUDINAL SLOPE SHALL BE LESS THAN 5%.
6. GRADING AND PAVING SHALL BE IN ACCORDANCE WITH PROJECT GEOTECHNICAL REPORT.
7. VERIFY ALL UTILITY LOCATIONS AND POINTS OF CONNECTION PRIOR TO CONSTRUCTION.

NOTES:

1. ALL MATERIALS AND INSTALLATION OF PUBLIC WATER FACILITIES SHALL BE IN ACCORDANCE WITH CITY OF LATHROP STANDARDS.
2. THE CONTRACTOR SHALL POTHOLE AND VERIFY THE DEPTH OF ALL EXISTING UTILITIES PRIOR TO THE INSTALLATION OF PROPOSED WATER DISTRIBUTION FACILITIES. ANY UNANTICIPATED CONFLICTS SHALL BE REDESIGNED PRIOR TO BEGINNING WORK.
3. ALL TRENCHING FOR UTILITIES SHALL COMPLY WITH CITY OF LATHROP STANDARDS.
4. CONTRACTOR TO VERIFY UTILITY CONNECTION LOCATIONS AT BUILDING WITH THE BUILDING PLANS PRIOR TO CONSTRUCTION.
5. INSTALL THRUST BLOCKS PER CITY OF LATHROP STANDARD DETAIL W-3 FOR 6" FIRE SERVICE.
6. ALL PUBLIC WATER AND SEWER SEPARATIONS SHALL MAINTAIN SEPARATIONS AS SHOWN ON CITY OF LATHROP STANDARD DETAIL W-1. ALL PRIVATE WATER AND SEWER FACILITIES SHALL MAINTAIN 10" MINIMUM OF HORIZONTAL CLEARANCE AND 12" MINIMUM OF VERTICAL CLEARANCE, MEASURED O.D. TO O.D., WITH WATER INSTALLED ABOVE SEWER.
7. ALL WATER AND STORM SEWER INSTALLATION SHALL MAINTAIN A 5' MINIMUM OF HORIZONTAL CLEARANCE AND 12" OF VERTICAL CLEARANCE MINIMUM MEASURED O.D. TO O.D., WITH WATER INSTALLED ABOVE STORM.
8. ALL STRIPING SHOWN HEREON REFERENCES CALTRANS PAVEMENT MARKERS AND TRAFFIC LINES TYPICAL DETAILS - 2018 STANDARD PLAN A20B.

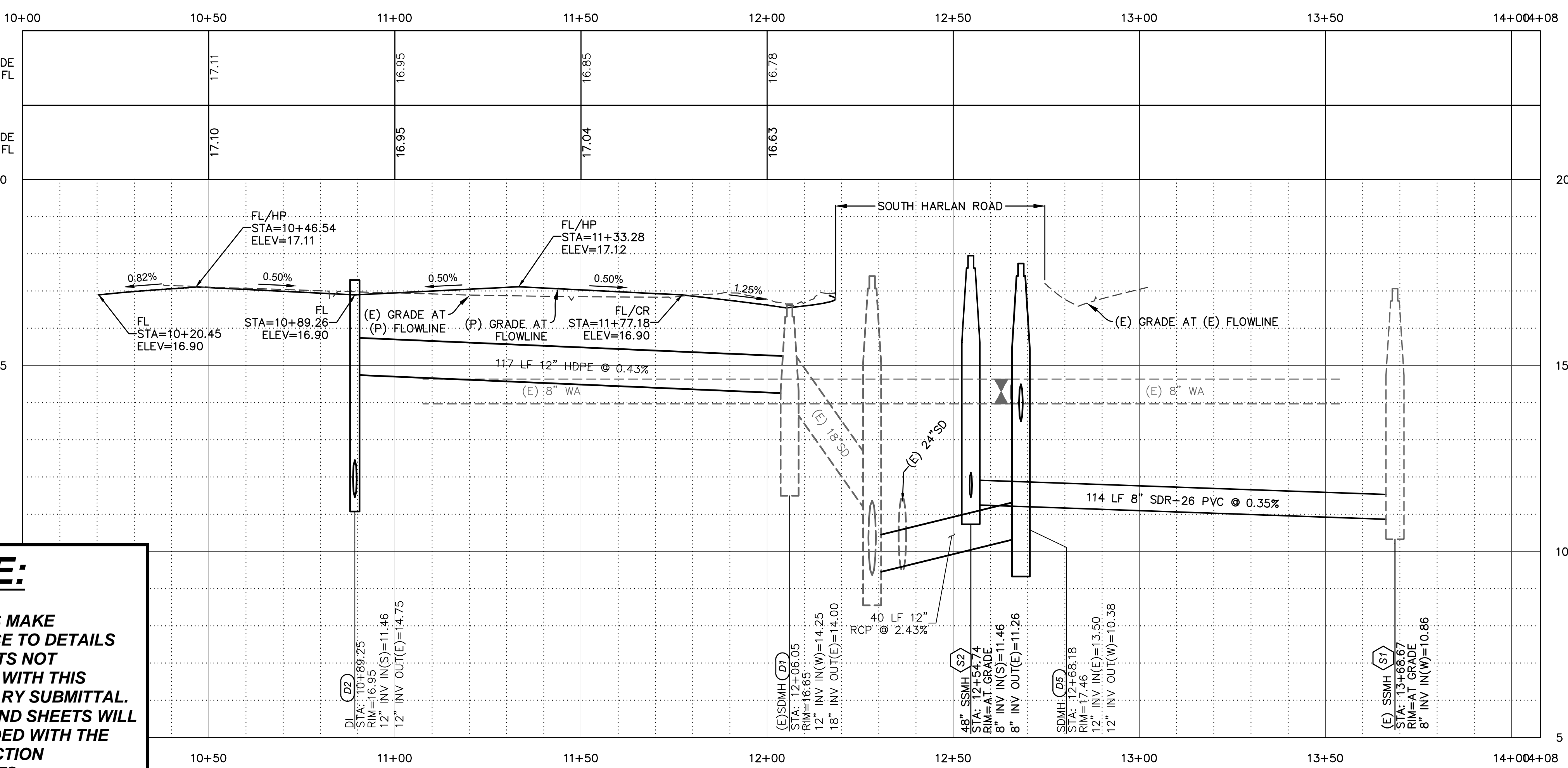
NOTICE TO CONTRACTOR - ORDER OF WORK:

PRIOR TO THE START OF ANY CIVIL WORK, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES BY POT-HOLING AT ALL POINTS OF POTENTIAL CONFLICT WITH PROPOSED UTILITIES OR PROPOSED POINTS OF CONNECTION WITH EXISTING UTILITIES. IF THE ACTUAL LOCATIONS OF THE EXISTING UTILITIES FOUND IN THE FIELD ARE DIFFERENT FROM WHAT IS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT RFE ENGINEERING IMMEDIATELY AND PROVIDE THE ACTUAL LOCATION INFORMATION. RFE ENGINEERING WILL VERIFY IF THERE ARE ANY CONFLICTS WITH THE IMPROVEMENTS AND WILL PROVIDE MODIFICATIONS TO THE DESIGN TO MITIGATE THE CONFLICTS IF ANY CONFLICTS EXIST.

PAVING LEGEND:

LIGHT DUTY PCC (SIDEWALKS) PER CITY STDS. R-5 AND R-7A	HEAVY DUTY PCC (DRIVEWAYS) PER CITY STDS. R-5 AND R-13	LANDSCAPING	HEAVY DUTY AC (TI=6.0) (DRIVE AISLES & OFF-SITE) 3.5" AC / 4.0" AB	TRENCHING AND RESTORATION PER CITY STDS. R-28 A AND R-28 B	2" MIN. AC GRIND AND 2" MIN. AC OVERLAY
--	--	-------------	--	--	---

NOTE:
KEYNOTES MAKE REFERENCE TO DETAILS AND SHEETS NOT PROVIDED WITH THIS PRELIMINARY SUBMITTAL. DETAILS AND SHEETS WILL BE PROVIDED WITH THE CONSTRUCTION DOCUMENTS.

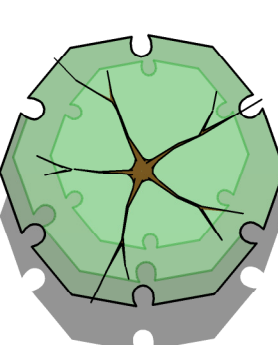
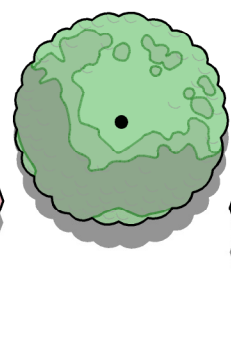
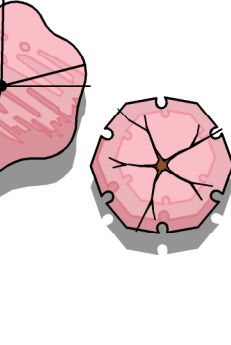
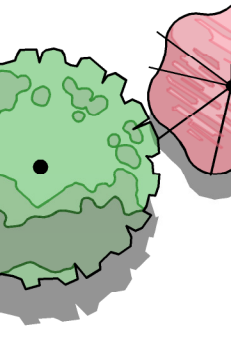
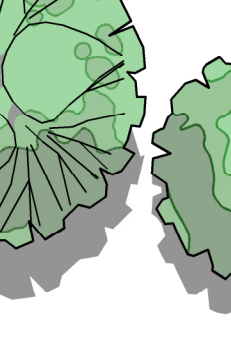

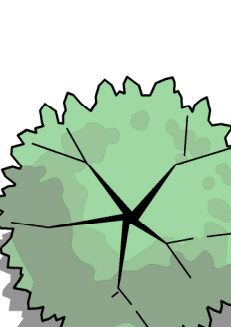










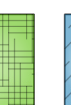


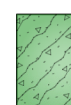




WEST LATHROP PROFILE
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=2'

APPRVD									
BY		DATE		REVISION		CHECK NO.		BY	
DESIGN		DRAWN		QUANT.		TSM		RFE	
0		0		0		0		0	
ORIGINAL SCALE IS IN INCHES									
CRM ARCHITECTS & PLANNERS 5600 STANFORD RANCH ROAD, ROCKLIN, CA 95765 (916) 451-1500									
PANDA EXPRESS 66 EAST LATHROP ROAD LATHROP, CA 95330 WEST LATHROP ROAD PLAN AND PROFILE									
Drawing	Sheet								
6	C5								
7	7								
11-30-2018									

Z:\2018 Projects\18045 Lathrop Harlan\ALTA\WORKING CAD\01-Site Plans\C6 WEST LATHROP ROAD.dwg - 18045.dwg, Nov. 30, 2018 - 08:34 am

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	WUCOLS
	5	Acer Freemanii 'Autumn Fantasy'	Freeman Maple	15 gal	Moderate
	5	Abutilon x 'Madra'	Abutilon Standard	15 gal	Low
	6	Cercis canadensis 'Forest Pansy'™	Forest Pansy Redbud	15 gal	Low
	9	Liquidambar styraciflua 'Red Rocket'	Cape Myrtle	15 gal	Low
	2	Laurus nobilis 'Saratoga'	Sweet Bay	15 gal	Low
	4	Quercus lobata	Valley Oak	15 gal	Low
	7	Zelkova serrata	Sawleaf Zelkova	15 gal	Moderate
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS
	156	Cedrela tomentosa 'Little John'	Dwarf Weeping Bothebush	5 gal	Low
	22	Ceanothus x 'Julia Phelps'	California Blue	5 gal	Low
	75	Dielsia vegeta	African Iris	1 gal	Low
	114	Dielsia x 'Orange Drop'	Orange Drop Forsythia Lily	1 gal	Low
	20	Grewia x 'Neselli'	Grewia	5 gal	Low
	26	Phoradendron x 'Allison Blockman'	New Zealand Flax	5 gal	Moderate
	129	Rhipidotheca umbellata 'Eleanor Taber'	Yucca Howthorn	5 gal	Low
	46	Yucca x 'Bright Star'	Variiegated Spanish Dogger	5 gal	Low
VINES/PALM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS
	3	Pithecolobium bicolor	Japanese Creeper	5 gal	Moderate
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	WUCOLS
	258	Convolvulus mauritanicus	Morning Glory	1 gal	Low
	33	Egigon konvinkstonus	Redbone	1 gal	Low
	70	Festuca ovina glauca 'Elfin Blue'	Blue Fescue	4pot	Low
	69	Helictotichon sempervirens	Blue Oat Grass	1 gal	Low
	218	Myoporum parvifolium	Trailing Myoporum	1 gal	Low
	63	Rosa x 'Red Diff'	Diff Rose	1 gal	Moderate
BIO-RETENTION	QTY	BOTANICAL NAME	COMMON NAME	CONT.	WUCOLS
	1,321 sf	Festuca rubra 'Moldie'	Moldie Fescue	seed	Low



LANDSCAPE/ PLANTING NOTES

- All new landscape/planting areas shall receive a uniform 3" layer of organic mulch. Shredded bark (Guertlich's) is best on acceptable mulch.
- Trees located within 10' of pavement shall have root barriers installed.
- Irrigation system shall meet City of Lathrop's water conservation standards.
- A certified soils analysis report and recommendations will be conducted after site rough grading has been completed. Contractor shall follow recommendations of soils analysis report. Basic soil amendments for the purposes of bidding have been included on sheet 14.
- Tree locations to be a minimum of 5' away from sidewalk(s), utilities such as water lines, backflow preventers, storm drains, etc.

Water Efficient Landscape Worksheet

HORIZONTAL PLANTING	PLANT FACTOR (PF)	IRRG. METHOD (IE)	IRRG. EFFICIENCY (F/IE)	LANDSCAPE AREA (SQ. FT.)	EST. WATER USE (ETWU)
REGULAR LANDSCAPE AREA	3	0.88	.81	14,945	5,330
LOW WATER USE	5	0.88	.81	46	283
MODERATE WATER USE					
TOTALS				(A) 15,401	(B) 5,613

ETWU Total = 184,538 GAL.

EAF Calculations

Regular Landscape Areas	Total EAF x Area	(B) 5,613
Total Area	(A) 15,401	
Average EAF	(B / A) .36	

Note: Average EAF for Regular Landscape Areas must be below .55 for residential areas and .45 for non-residential areas.

Maximum Applied Water Allowance (MAWA) MAWA = (EAF) (Conversion Factor) (EAF) (Landscape Area) x (1.45) (1.340) = 184,538 GALLONS
 Estimated Total Water Use (ETWU) ETWU = (EAF) (Conversion Factor) (EAF) (Landscape Area) = 184,538 GALLONS

LANDSCAPE STATEMENT

Section 492.3 of State of CA Water Efficient Landscape Ordinance
 I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete landscape documentation package



PANDA EXPRESS, INC.
 1833 Walnut Grove Ave.
 Rosemead, California
 91770
 Telephone: 626.799.9898
 Facsimile: 626.372.8288

All ideas, designs, arrangements and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. No part of this drawing may be reproduced, stored in a retrieval system, used by or disclosed to any person, firm or corporation without the written permission of Panda Express Inc.

REVISIONS:

ISSUE DATE:

DRAWN BY: CRM Architects & Planners, Inc.
 PANDA PROJECT #: SP-19-D0685
 ARCH PROJECT #: CRM 1820

CRM Architects & Planners
 5900 Sanford Ranch Road Suite 720
 Redding, CA 95765
 phone: (916) 451-1500 - fax: (916) 451-1600

ROD SCACCAIOSI
 LANDSCAPE ARCHITECT
 1000 L. Colorado
 Redding, CA 95762
 Phone: 916.452.2070
 Fax: 916.452.2070
 rod@scacciaiosilandscape.com
 www.scacciaiosilandscape.com

LATHROP
CFT DEVELOPMENT
 66 EAST LATHROP ROAD
 LATHROP, CA 95330

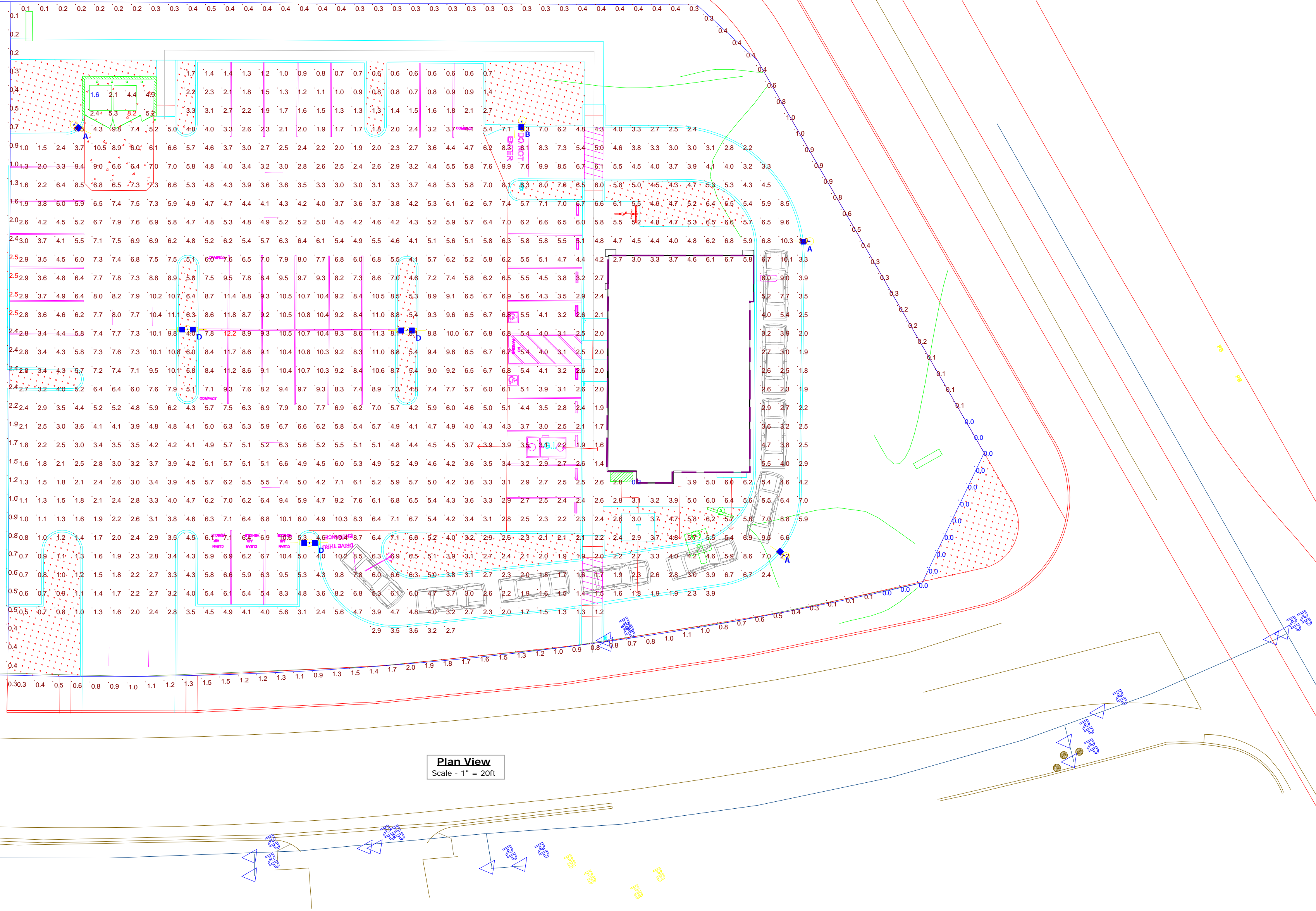
2200 Plant True Warm & Welcome
LANDSCAPE PLAN
L1
 PLAN/CHECK DWGS

Symbol	Label	Quantity	Catalog Number	Description	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	3	VILLA LIGHTING-XGBM-FT-LED-HO-NW-HSS	CONTACT RYAN ZINSELMEIER- 314-531-2600	1	XGBM-FT-LED-HO-NW-HSS.ies	17194	1	288.8
	B	1	VILLA LIGHTING-XGBM-3-LED-HO-NW-HSS	CONTACT RYAN ZINSELMEIER- 314-531-2600	1	XGBM-3-LED-HO-NW-HSS.ies	13942	1	288.3
	D	3	VILLA LIGHTING-XGBM-FT-LED-HO-NW-HSS	CONTACT RYAN ZINSELMEIER- 314-531-2600	1	XGBM-FT-LED-HO-NW-HSS.ies	17194	1	577.6

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
CALC SUMMARY- PROPERTY LINE	+	0.7 fc	2.5 fc	0.0 fc	N/A	N/A
CALC SUMMARY-PAVED SURFACE	+	4.9 fc	12.2 fc	0.2 fc	61.0:1	24.5:1
TRASH ENCLOSURE	+	4.3 fc	8.2 fc	1.6 fc	5.1:1	2.7:1

Note

1. Mounting height of 22' (20' pole)
2. Calculations taken at ground level.
3. Contact Villa Lighting- Ryan Zinselmeier-ryan.zinselmeier@villalighting.com- 314.531-2600



PANDA EXPRESS
LATHROP

Designer	RYAN ZINSELMEIER
Date	12/3/2018
Scale	
Drawing No.	
Summary	

ROOM NAME	FLOOR	BASE	WALL	CEILING
100 DINING ROOM	T200 24" X 24" TILE	T109 6" X 48" TILE	P101, P104 T109 W102 PAINT TILE WALL COVERING	C1 2' X 2' ARMSTRONG, SEPIA #PN1311 C3 GYP BOARD W/ PAINT P103
101 SERVING AREA	QT 8' X 8' CONT. QUARRY TILE QT1 IN HIGH TRAFFIC AREAS	QT2 6" X 12" CONT. 3/4" RAD. MIN (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS)	T109 TILE	C3 GYP BOARD W/ SMOOTH WASHABLE PAINT
102 DRIVE-THRU STATION	QT 8' X 8' CONT. QUARRY TILE QT1 IN HIGH TRAFFIC AREAS	QT2 6" X 12" CONT. 3/4" RAD. MIN (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS)	WP1 FRP PANEL	C2 2' X 4' SUSPENDED GRID WASHABLE VINYL COATED GYP BOARD PANELS
103 KITCHEN	QT 8' X 8' CONT. QUARRY TILE QT1 IN HIGH TRAFFIC AREAS	QT2 6" X 12" CONT. 3/4" RAD. MIN (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS)	WP3 S.S. BEHIND COOK LINE WP1 FRP PANEL	C2 2' X 4' SUSPENDED GRID WASHABLE VINYL COATED GYP BOARD PANELS
104 KITCHEN PREP.	QT 8' X 8' CONT. QUARRY TILE QT1 IN HIGH TRAFFIC AREAS	QT2 6" X 12" CONT. 3/4" RAD. MIN (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS)	WP1 FRP PANEL	C2 2' X 4' SUSPENDED GRID WASHABLE VINYL COATED GYP BOARD PANELS
105 WALK-IN COOLER	QT 8' X 8' CONT. QUARRY TILE QT1 IN HIGH TRAFFIC AREAS	S.S. / ALUMINUM WITH 3/4" RADIUS	EXT S.S. INT ALUMINUM GALVANIZED S.S.	ALUMINUM GALVANIZED STAINLESS STEEL
105A WALK-IN FREEZER	QT 8' X 8' CONT. QUARRY TILE UNDER W/F SUBFLOOR	S.S. / ALUMINUM WITH 3/4" RADIUS	INT ALUMINUM GALVANIZED S.S.	ALUMINUM GALVANIZED STAINLESS STEEL
106 MEN'S ROOM	T200 24" X 24" TILE	SCHLUTER	T108 TILE	C3 GYP BOARD W/ P101 SMOOTH WASHABLE PAINT
107 WOMEN'S ROOM	T200 24" X 24" TILE	SCHLUTER	T108 TILE	C3 GYP BOARD W/ P101 SMOOTH WASHABLE PAINT
108 VESTIBULE	T200 24" X 24" TILE	T109 6" X 48" TILE	P104 PAINT GYP BOARD T109 TILE	C3 GYP BOARD W/ P101 SMOOTH WASHABLE PAINT
109 STORAGE ROOM	T200 24" X 24" TILE	T109 6" X 48" TILE	WP1 FRP PANEL	C3 GYP BOARD W/ P101 SMOOTH WASHABLE PAINT
110 EXTERIOR STORAGE	SEALED CONCRETE, SMOOTH FINISH	-	WP1 FRP PANEL	C3 GYP BOARD W/ P101 SMOOTH WASHABLE PAINT

DOOR & HARDWARE SCHEDULE

INSTALLED AND FURNISHED BY G.C. UNLESS NOTED OTHERWISE

NO.	DOOR MATERIAL	SIZE	FRAME	FACE/EDGE	THK.	CORE	LITE	RATE	PASSAGE	LOCKSET	PRIVACY	S.F. PULL	PANIC	BUTT CONT. PANG	FLOOR	WALL	THRESHOLD	LATCH GUARD	LETTER ALUMI	SIGNALERS	INCLOSURES	REMARKS	
D1	ALUMINUM STOREFRONT	3'-0" X 7'-0"	ALUM.	DARK BRONZE ANODIZED ALUM.	1 1/2"	HOLLOW GLASS	-	-	●	●	●	●	●										
D2	ALUMINUM STOREFRONT	3'-6" X 7'-0"	ALUM.	DARK BRONZE ANODIZED ALUM.	1 1/2"	HOLLOW GLASS	-	-	●	●	●	●	●										NO HARDWARE ON EXTERIOR SIDE
D3	S.C. WOOD	3'-0" X 7'-0"	H. MTL.	PLASTIC LAMINATE PRE-FINISHED	1 1/2"	SOLID	-	-	●	●	●	●	●										KICKPLATE ON EACH SIDE OF DOOR
D4	S.C. WOOD	3'-0" X 7'-0"	H. MTL.	PLASTIC LAMINATE PRE-FINISHED	1 1/2"	SOLID	-	-	●	●	●	●	●										KICKPLATE ON INT. SIDE OF DOOR
D5	HOLLOW METAL	3'-6" X 7'-0"	H. MTL.	PAINTED	1 1/2"	INSUL.	-	-	●	●	●	●	●										KICKPLATE ON INT. SIDE OF DOOR
D6	HOLLOW METAL	(2) 3'-0" X 7'-0"	H. MTL.	PAINTED	1 1/2"	INSUL.	-	-	●	●	●	●	●										KICKPLATE ON INT. SIDE OF DOOR

CONTRACTOR TO PURCHASE DOOR HARDWARE & FRAME DIRECTLY FROM PANDA'S NATIONAL ACCOUNT SUPPLIER. SUPPLIER TO PROVIDE ALL STOREFRONT DOOR HARDWARE, P-LAM DOORS & FRAME AND HM DOOR & FRAME.

PRIMARY CONTACT FOR QUOTING, ORDERING & LOGISTICS
ALICIA GRUNDY, PROJECT MANAGER
800-887-4307, EXT. 166 PHONE
859-881-5499 FAX
AliciaG@locknet.com

SECONDARY CONTACT FOR QUOTING, ORDERING & LOGISTICS
KEVIN DINSMORE, PROJECT MANAGER
800-887-4307, EXT. 123 PHONE
859-881-5499 FAX
KevinD@locknet.com

WALL SCHEDULE

INSTALLED AND FURNISHED BY G.C. UNLESS NOTED OTHERWISE

NO.	DESCRIPTION
W1	3-5/8" 20GA. METAL STUD WALL W/ 3/4" TYPE "X" GYP. BOARD BOTH SIDES (SEE ARCHITECTURAL DETAILS & ELEVATIONS)
W2	3-5/8" 20GA. METAL STUD WALL W/ 3/4" TYPE "X" GYP. BOARD ON ONE SIDE (SEE ARCHITECTURAL DETAILS & ELEVATIONS)
W3	(2) 3-5/8" 20GA. METAL STUD WALLS W/ 3/4" TYPE "X" GYP. BOARD BOTH SIDES (SEE ARCHITECTURAL DETAILS & ELEVATIONS)
W4	3-5/8" 20GA. METAL STUD LOW WALL W/ 3/4" TYPE "X" GYP. BOARD BOTH SIDES. PROVIDE 3 1/2" KNEE-WALL BRACE/POST @ CORNERS AND @ 48" O.C.
W5	6" 20GA. METAL STUD WALL W/ 3/4" TYPE "X" GYP. BOARD BOTH SIDES (SEE ARCHITECTURAL DETAILS & ELEVATIONS)
W6	6" 20GA. METAL STUD WALL W/ 3/4" TYPE "X" GYP. BOARD ONE SIDE (SEE ARCHITECTURAL DETAILS & ELEVATIONS)
W7	6" 20GA. METAL STUD LOW WALL W/ 3/4" TYPE "X" GYP. BOARD BOTH SIDES. PROVIDE 3 1/2" KNEE-WALL BRACE/POST @ CORNERS AND @ 48" O.C.

WALL PANEL SCHEDULE

INSTALLED AND FURNISHED BY G.C. UNLESS NOTED OTHERWISE

NO.	MANUFACTURER	DESCRIPTION	MFG #	COLOR FINISH	REMARK
WP1	CRANE COMPOSITES INC.	F.R.P. THICKNESS: .075	LBCS.14	#636 (GRAY), S/M/S	CONTACT: LINDA RUSE 310.857.9036
WP2	-	S.S. PANEL (22 GA)	-	BRUSHED FINISH	FURNISHED BY PX. INSTALLED BY G.C.
WP3	-	S.S. PANEL (22 GA)	-	DIAMOND PATTERN FINISH	FURNISHED BY PX. INSTALLED BY G.C.
WP4	NOT USED				
WP5	NOT USED				
WP6	NOT USED				
W102	WOLF GORDON	PRINT WALL COVERING	-	-	CONTACT: CATHY DY 310.770.1165 cathy.dy@wolfgordon.com

SPECIAL SURFACE SCHEDULE

INSTALLED AND FURNISHED BY G.C. UNLESS NOTED OTHERWISE

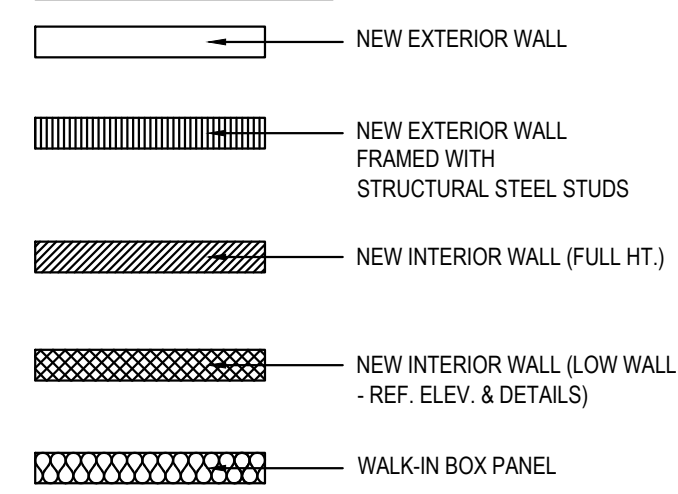
NO.	MANUFACTURER	PRODUCT	MFG #	STAIN / COLOR	FINISH	REMARK
QZ-5	SELECTIVE STONE	ARTIFICIAL QUARTZ	-	BEACH SAND QUARTZ	POLISHED	SERVICE COUNTER & DRINK STATION PROVIDED BY PX. INSTALLED BY G.C.
QZ-6	SAMSUNG RADIANT	ARTIFICIAL QUARTZ	UG-950	URAL GRAY	POLISHED	LAVATORY UNDER MOUNT COUNTER PROVIDED BY PX. INSTALLED BY G.C.

INTERIOR PAINT SCHEDULE

INSTALLED AND FURNISHED BY G.C. UNLESS NOTED OTHERWISE

NO.	MANUFACTURER	MFG #	COLOR	FINISH	REMARK
P101	SHERWIN-WILLIAMS	SW 7065	ARGOS	PROMAR 200, ZERO VOC, LATEX SEMI-GLOSS	REAR SERVICE DOOR
P102	NOT USED				
P103	SHERWIN-WILLIAMS	SW 6252	ICE CUBE	PROMAR 200, ZERO VOC, LATEX EGG-SHELL	RESTROOM & RESTROOM VESTIBULE CEILING, SERVICE LINE SOFFIT
P104	NOT USED				
P105	SHERWIN-WILLIAMS	SW 7032	WARM STONE	PROMAR 200, ZERO VOC, LATEX EGG-SHELL	DROPPED SOFFITS
P106	SHERWIN-WILLIAMS	SW 6155	RICE GRAIN	PROMAR 200, ZERO VOC, LATEX EGG-SHELL	DINING RM. WALLS, RESTROOM VESTIBULE WALLS
P107	NOT USED				
P108	SHERWIN-WILLIAMS	SW 7020	BLACK FOX	DTM ACRYLIC GLOSS, LOW VOC	RESTROOM DOOR FRAMES & LCD NICHE (BACK WALL)
P202	SHERWIN-WILLIAMS	SW 7675	SEALSKIN	PROMAR 200, ZERO VOC, LATEX EGG-SHELL	FRONT & BACK & UNDERSIDE FACES OF SERVICE COUNTER SOFFIT

WALL LEGEND



NOTE: THE FOLLOWING STAINLESS STEEL PROVIDED BY PX-INSTALLED BY G.C.
1. PANEL DIVIDERS AT WP3
2. INSIDE CORNER AT WP3 TO WP2
3. FLASHING AT TOP OF BASE WP3
4. WP2 PIECE AT LENGTH OF WALL

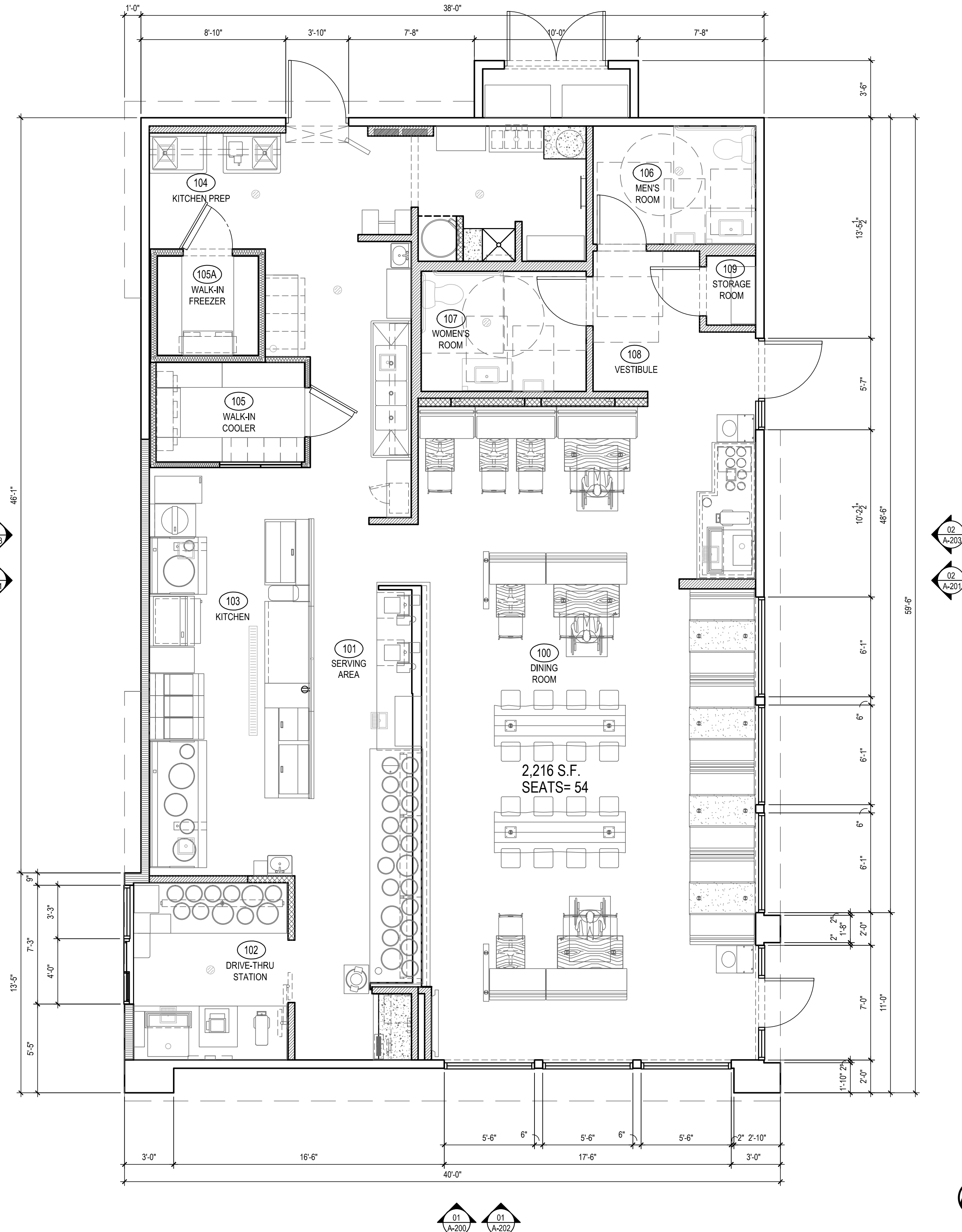
NOTE: THE FOLLOWING STAINLESS STEEL PROVIDED BY G.C.-INSTALLED BY G.C.
5. INSTALL 18 GA STAINLESS STEEL CORNER GUARD & WALL CAP INSIDE KITCHEN

- 18 GA. STAINLESS STEEL CORNER GUARD - FULL HT.
- 18 GA. STAINLESS STEEL CORNER GUARD - 4'-0" HIGH
- 18 GA. STAINLESS STEEL CORNER GUARD/FRAME - ALL AROUND PERIMETER OF OPENING - FRAME TO BE WELDED WITH MITERED CORNERS TO FORM SINGLE UNIT.
- 18 GA. STAINLESS STEEL WALL CAP

ALL OTHER STAINLESS STEEL BY G.C.

NOTE: G.C. TO INSTALL MIN 3-1/2" NON-COMBUSTIBLE MINERAL FIBERGLASS BATTS SOUND INSULATION AT ALL RESTROOM PARTITIONS AND CEILING.

*ALL INTERIOR DIMENSIONS ARE FACE OF GYPSUM BOARD TO GYPSUM BOARD



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

NO.	DESCRIPTION

ISSUE DATE:

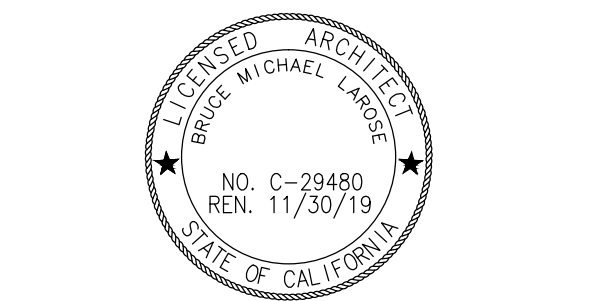
NO.	DATE	DESCRIPTION

DRAWN BY: CRM Architects & Planners, Inc.

PANDA PROJECT #: S8-19-D6565
ARCH PROJECT #: CRM 1820

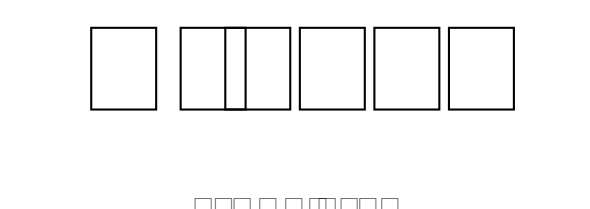
CRM Architects & Planners Inc.

5800 Stanford Ranch Road Suite 720
Rocklin, CA 95765
phone: (916) 451-1500 - fax: (916) 451-1600



LATHROP
CFT DEVELOPMENT
15099 SOUTH HARLAN ROAD
LATHROP, CA 95330

2200 PlanTrue Warm & Welcome



EXTERIOR FINISH SCHEDULE

INSTALLED AND FURNISHED BY: G.C. UNLESS NOTED OTHERWISE

04-20-18

NO	MANUFACTURER	MFG#	COLOR	FINISH	NOTES
(EFS-1)	STO	STOTHERM ESSENCE SYSTEM	SW 6148 WOOL SKEIN	FINE	BUILDING BODY
(EFS-2)	STO	STOTHERM ESSENCE SYSTEM	SW 7067 CITYSCAPE	FINE	BUILDING BODY
(ST-1S)	CORONADO STONE PRODUCTS	900 SERIES	#2 GREY	-	STONE CAP (3/8" VERTICAL JOINT - MORTAR TO MATCH STONE CAP)
(ST-1)	CORONADO STONE PRODUCTS	INDUSTRIAL LEDGE	SHALE GREY	-	ENTRY PORTAL & WAINSCOT CONTACT: (EAST COAST) LISA KILGORE: 864-962-1221
(CD-1)	FIBERON	HORIZON	IPE	60% MATERIAL COVERAGE - RANDOM MIX (NON-GROOVE)	COMPOSITE DECKING - CONTACT: BILL ROSS @ 704-756-1980 EMAIL: Bllr@fiberondecking.com
(CD-2)	FIBERON	HORIZON	TUDOR BROWN	40% MATERIAL COVERAGE - RANDOM MIX (NON-GROOVE)	COMPOSITE DECKING - CONTACT: BILL ROSS @ 704-756-1980 EMAIL: Bllr@fiberondecking.com
(MTL-1)	EXCEPTIONAL METALS	-	"PANDA EXPRESS IRON ORE"	-	CAP FLASHING

WINDOW SCHEDULE

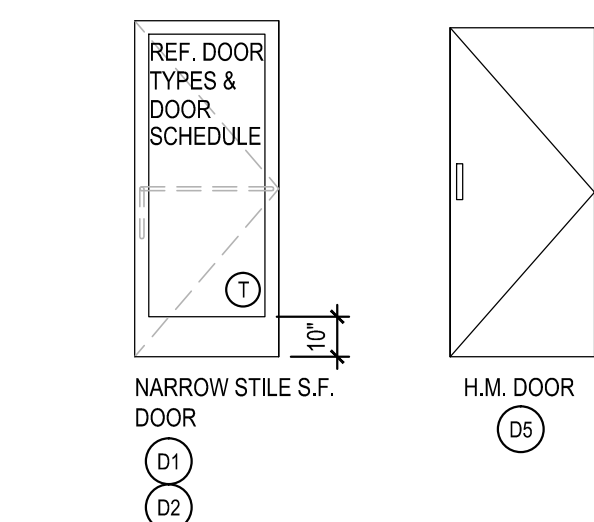
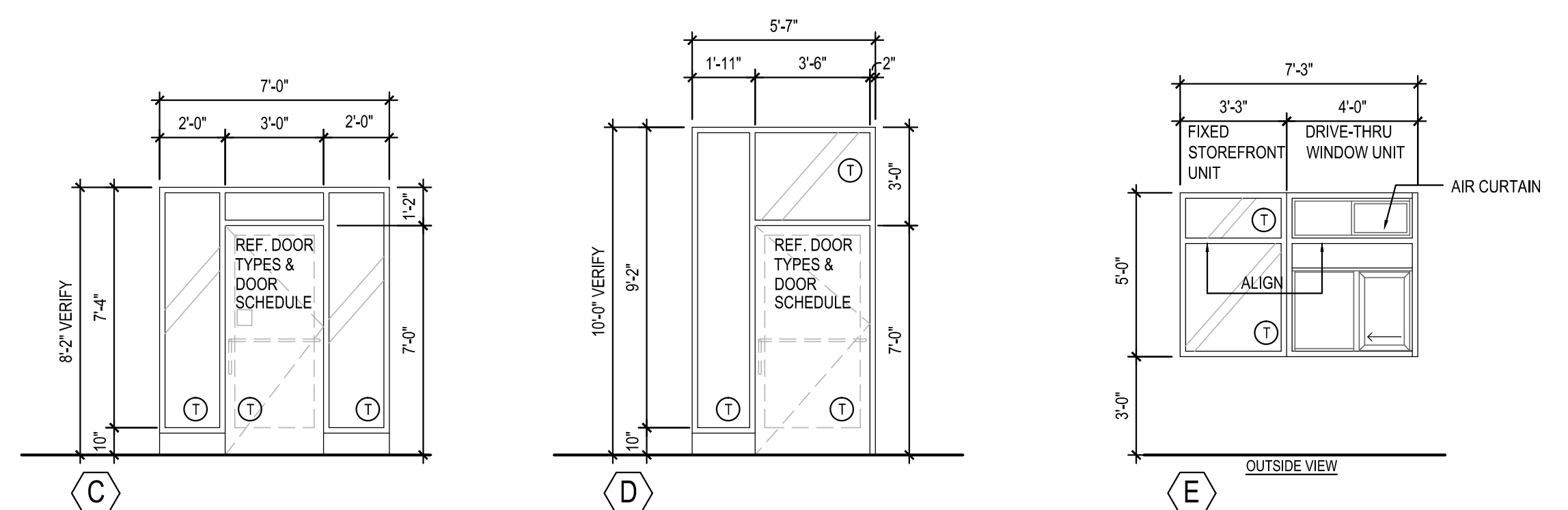
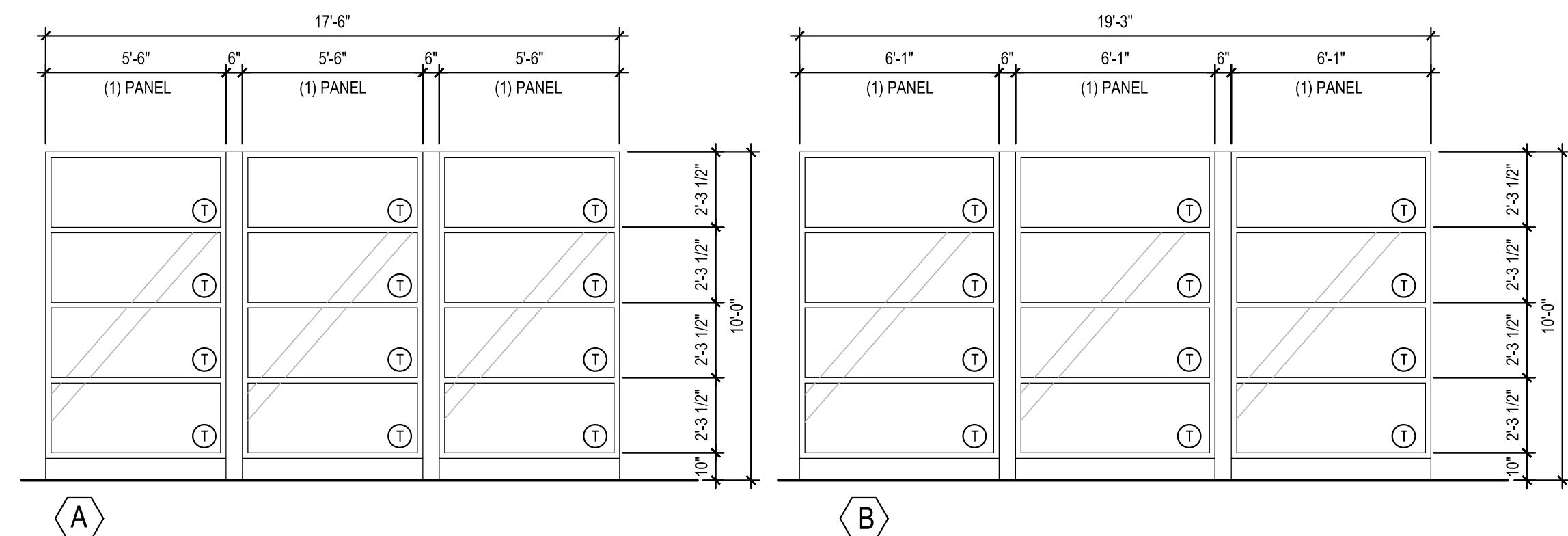
INSTALLED AND FURNISHED BY: G.C. UNLESS NOTED OTHERWISE

NOTES

SYM	WIDTH	HEIGHT	GLASS	FRAME	REMARKS
(A)	17'-6"	10'-0"	1" INSULATED GLASS	DARK BRONZE ALUMINUM STOREFRONT	1" INSULATED GLAZING, IN 4.5" X 2" IN ANODIZED ALUMINUM FRAME
(B)	19'-3"	10'-0"	1" INSULATED GLASS	DARK BRONZE ALUMINUM STOREFRONT	1" INSULATED GLAZING, IN 4.5" X 2" IN ANODIZED ALUMINUM FRAME
(C)	7'-0"	8'-2"	1" INSULATED GLASS	DARK BRONZE ALUMINUM STOREFRONT	1" INSULATED GLAZING, IN 4.5" X 2" IN ANODIZED ALUMINUM FRAME
(D)	5'-7"	10'-0"	1" INSULATED GLASS	DARK BRONZE ALUMINUM STOREFRONT	1" INSULATED GLAZING, IN 4.5" X 2" IN ANODIZED ALUMINUM FRAME
(E)	7'-3 3/4"	59.5"	TEMPERED GLASS	DARK BRONZE ANODIZED ALUMINUM	QUIK-SERV (NON-HEATED AIR CURTAIN OR HEATED AIR CURTAIN), ROUGH OPENING 48" X 60" SEE ADDITIONAL NOTE # 5. CONTACT: WADE ARNOLD, 800-388-8307
(F)	6'-6"	10'-0"	SINGLE PANE GLASS	DARK BRONZE ANODIZED ALUMINUM	SINGLE PANE VESTIBULE GLAZING
(G)	8'-4"	10'-0"	SINGLE PANE GLASS	DARK BRONZE ANODIZED ALUMINUM	SINGLE PANE VESTIBULE GLAZING

- INSULATING GLASS VITRO ARCHITECTURAL GLAZING SOLARBAN 60 LOW E WINTER U=0.25 SHGC: 0.39 VIS TRANS: 83% UV ENERGY: 46%
- DOORS: FULL GLAZED DOORS W/10" KICK BASE, ANODIZED ALUM. FINISH. REFER HARDWARE SCHEDULE.
- WINDOW DIMENSIONS ARE FOR BIDDING PURPOSES ONLY. G.C. TO VERIFY ACTUAL WINDOW DIMENSIONS PRIOR TO FABRICATION INSTALLATION.
- GLASS FACADE AND ENTRY DOORS TO BE DESIGNED, DETAILED, FACTORY FABRICATED AND SITE ASSEMBLED AND ERRECTED.
- MANUFACTURER: QUIK-SERV, MODEL SST-4860E WITH THRU-BEAM PHOTO-ELECTRIC BAR. REGIONAL APPLICATION WITH CF-25 NON HEATED AIR CURTAIN OR CHF-25 HEATED AIR CURTAIN. TYPE OF AIR CURTAIN LISTED ON WINDOW SCHEDULE.
- WINDOW SYSTEM SHALL COMPLY WITH APPLICABLE SECTION AND CHAPTER OF BUILDING CODE.

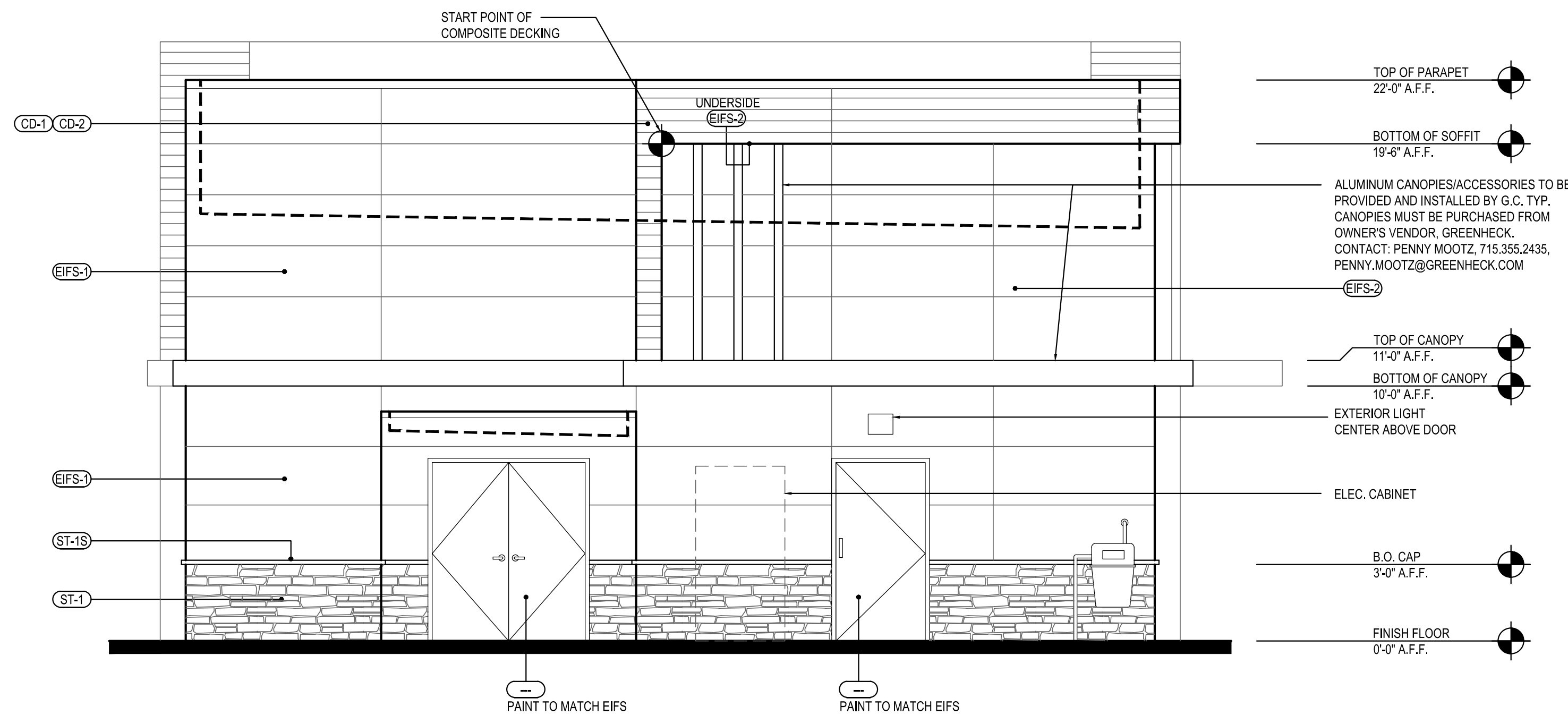
① TEMPERED GLASS



WINDOW AND DOOR ELEVATIONS

3

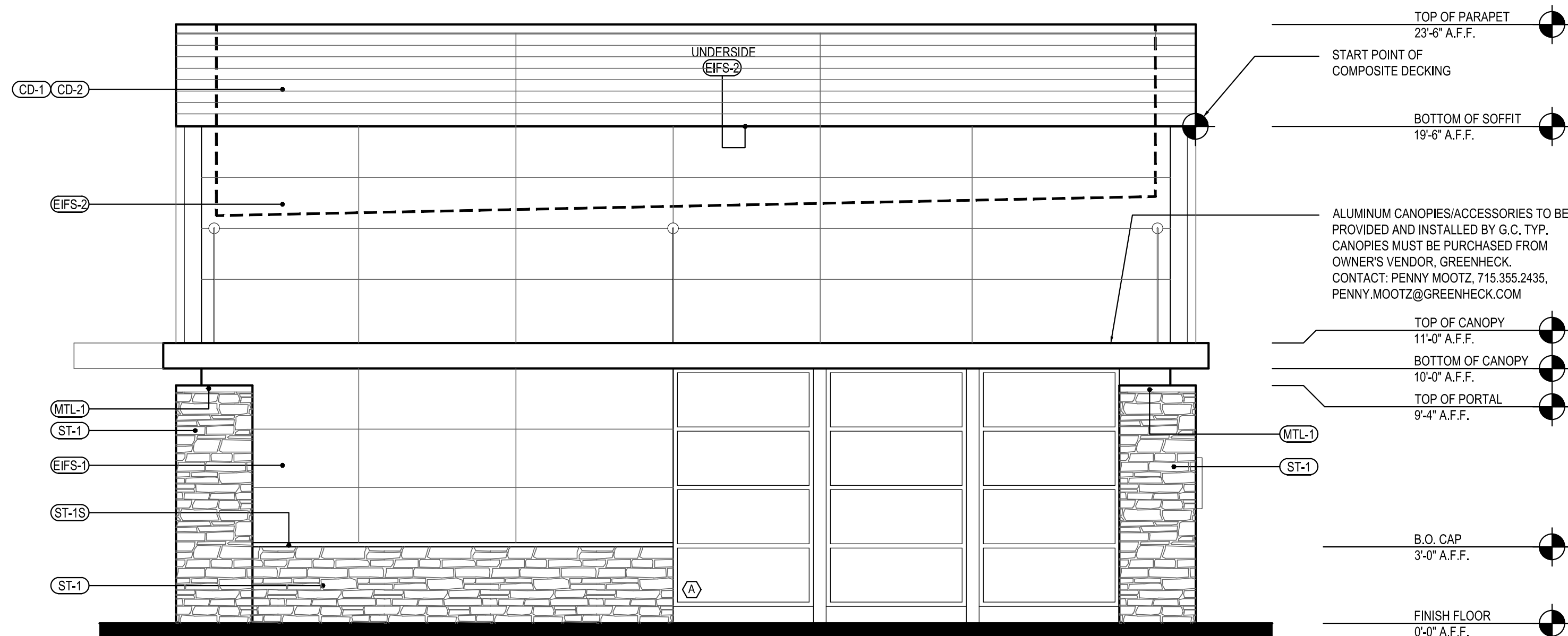
Scale= NTS **A-200**



EAST ELEVATION

2

Scale= 1/4" = 1'-0" **A-200**



WEST ELEVATION

1

Scale= 1/4" = 1'-0" **A-200**



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

NO.	DESCRIPTION

ISSUE DATE:

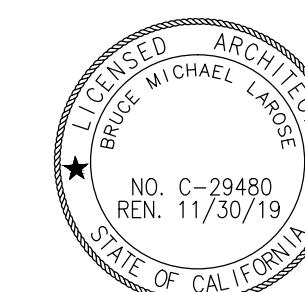
NO.	DATE	DESCRIPTION

DRAWN BY: CRM Architects & Planners, Inc.

PANDA PROJECT #: S8-19-D6565
ARCH PROJECT #: CRM 1820



5800 Stanford Ranch Road Suite 720
Rocklin, CA 95765
phone: (916) 451-1500 - fax: (916) 451-1600



LATHROP CFT DEVELOPMENT

15099 SOUTH HARLAN ROAD
LATHROP, CA 95330

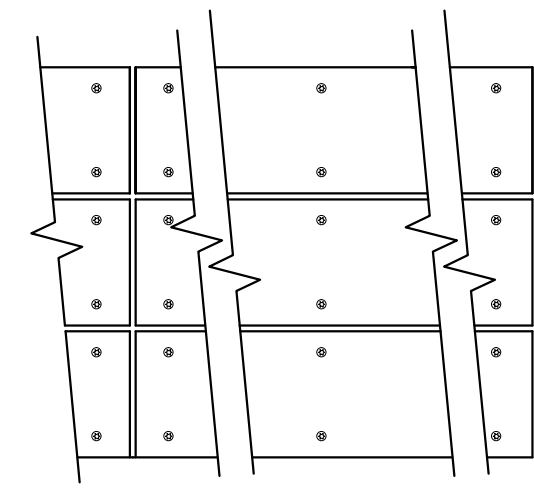
2200 PlanTrue Warm & Welcome

A-200

EXTERIOR ELEVATIONS

1/2" JOINT BETWEEN FINISHED BOARDS - TYPICAL

SCREW/FASTENING DTL.



CENTERLINE OF BUTT-JOINT - REF. ELEVATIONS.
CENTERLINE OF EACH INTERMEDIATE STUD BETWEEN ENDS/BUTT JOINTS OF FIBERON - TYP.
LINE OF OUTSIDE CORNER - REF. ELEVATIONS.

WOOD STUDS:
REFER FIBERON INSTALLATION GUIDE FOR TYPE OF FASTENER SPECIFICATIONS
METAL STUDS:
REFER PANDA PROVIDED INSTALLATION GUIDE FOR ATTACHMENT INFORMATION

WATER/AIR BARRIER

PRIMARY LAYER:
FLUID APPLIED WATER PROOFING AS SPECIFIED OVER ENTIRE SURFACE OF EXTERIOR SHEATHING AS SCHEDULED TO RECEIVE COMPOSITE DECKING.
SECONDARY LAYER:
15 POUND BUILDING FELT OVER ENTIRE SURFACE OF EXTERIOR SHEATHING AS SCHEDULED TO RECEIVE COMPOSITE DECKING.
WATER PROOF FLASHING:
4" TITE-SEAL SELF ADHESIVE RUBBERIZED ASPHALT ROLL FLASHING BEHIND EACH BATTEN

MECHANICAL PATCH:
MASTIC OVER ALL MECHANICAL FASTENERS

CONSTRUCTION

EXTERIOR SHEATHING - REF. ARCHITECTURAL AND STRUCTURAL DETAILS
WALL STUD - REFER STRUCTURAL
SOLID PVC 1X6 SLEEPER/BATTEN WHERE BUTT-JOINT FALLS BETWEEN STUDS **AND/OR** AT END OF RUN (PAINT FLAT BLACK)
SOLID PVC 1X2 SLEEPER/BATTEN OVER EACH STUD. (PAINT FLAT BLACK)

SCREW FASTEN BATTENS @ 16" O.C. VERTICALLY
WOOD STUDS:
PROVIDE 2 1/2" GRIP-RITE (OR EQUAL) DECK SCREWS - POLYMER COATED, STAR DRIVE
METAL STUDS:
PROVIDE 2 1/2" SIMPSON BUGLE HEAD SELF-DRILLING STAINLESS STEEL - #2 SQUARE DRIVE SCREWS WITH #3 DRILL POINT (TYPE 410 STAINLESS STEEL)

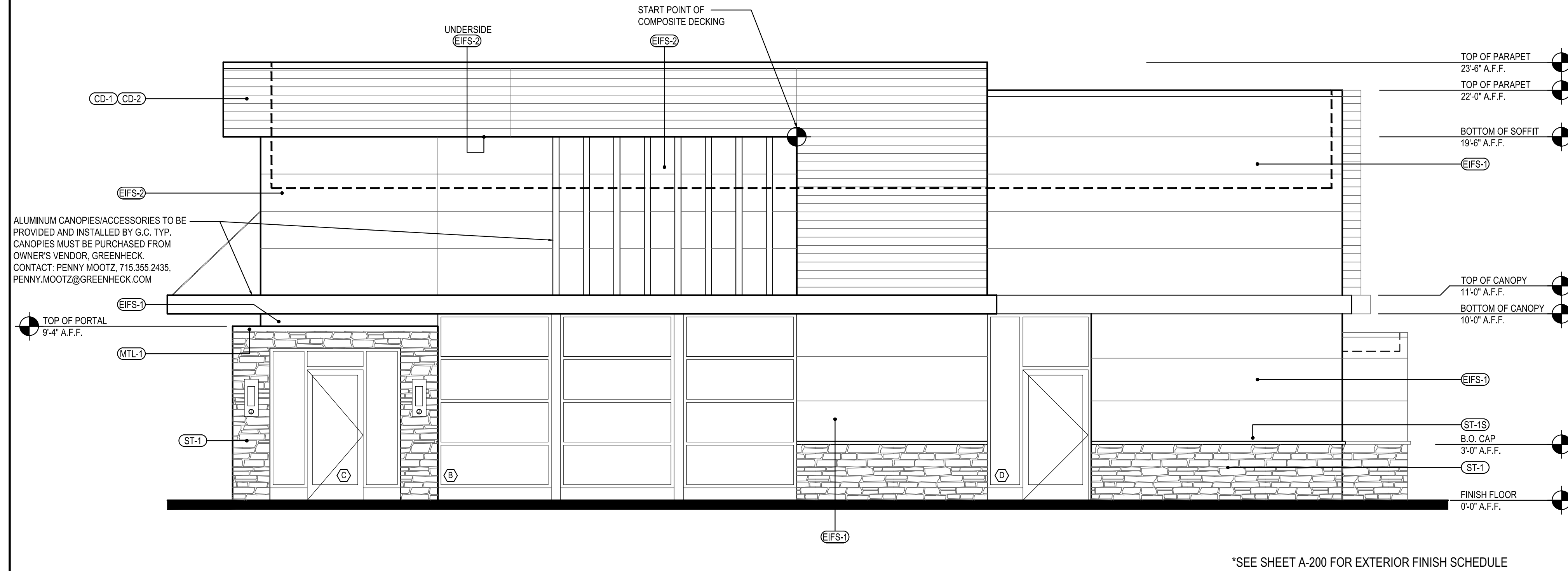
1/2" JOINT BETWEEN FINISHED BOARDS @ ENDS & @ BUTT JOINTS - TYPICAL

STAINLESS STEEL TRIM SCREWS REFER DETAIL ABOVE.

SURFACE MOUNTING FASTENING SYSTEM

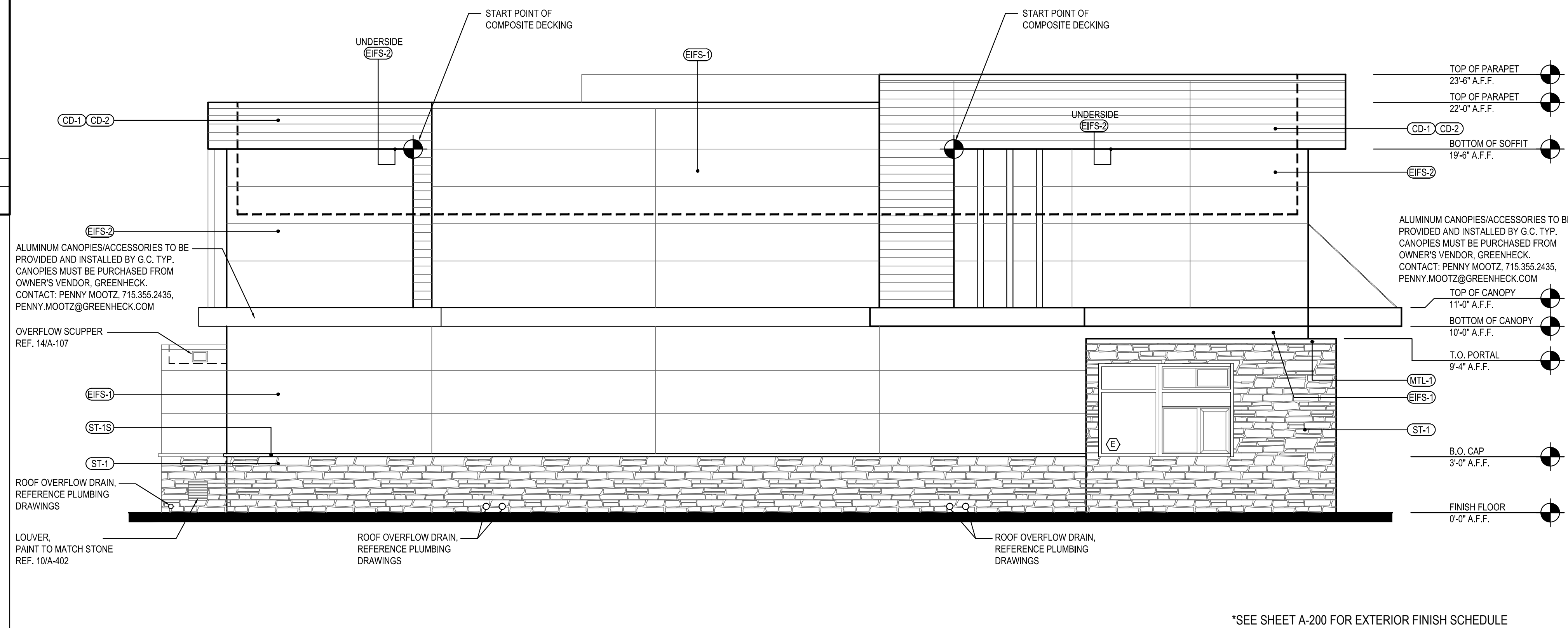
COMPOSITE DECK FASTENING & WATER PROOFING DTLs 3

Scale= 1 1/2" = 1'-0" A-201



SOUTH ELEVATION 2

Scale= 1/4" = 1'-0" A-201



NORTH ELEVATION 1

Scale= 1/4" = 1'-0" A-201



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

NO.	DESCRIPTION	DATE

ISSUE DATE:

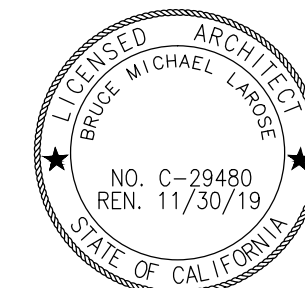
NO.	DATE

DRAWN BY: CRM Architects & Planners, Inc.

PANDA PROJECT #: S8-19-D6565
ARCH PROJECT #: CRM 1820

CRM Architects & Planners Inc.

5800 Stanford Ranch Road Suite 720
Rocklin, CA 95765
phone: (916) 451-1500 - fax: (916) 451-1600



LATHROP CFT DEVELOPMENT

15099 SOUTH HARLAN ROAD
LATHROP, CA 95330

2200 PlanTrue Warm & Welcome

A-201

EXTERIOR ELEVATIONS



EAST ELEVATION 2
Scale= 1/4" = 1'-0" A-202



WEST ELEVATION 1
Scale= 1/4" = 1'-0" A-202



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

NO.	DESCRIPTION	DATE

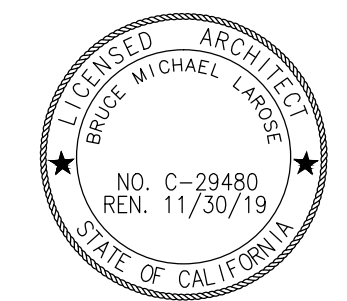
ISSUE DATE:

DRAWN BY: CRM Architects & Planners, Inc.

PANDA PROJECT #: S8-19-D6565
ARCH PROJECT #: CRM 1820

CRM Architects & Planners Inc.

5800 Stanford Ranch Road Suite 720
Rocklin, CA 95765
phone: (916) 451-1500 - fax: (916) 451-1600



LATHROP CFT DEVELOPMENT
15099 SOUTH HARLAN ROAD
LATHROP, CA 95330

2200 PlanTrue Warm & Welcome

A-202

COLORED EXTERIOR ELEVATIONS



SOUTH ELEVATION 2

Scale= 1/4" = 1'-0" A-203



NORTH ELEVATION 1

Scale= 1/4" = 1'-0" A-203



PANDA EXPRESS, INC.
 1683 Walnut Grove Ave.
 Rosemead, California
 91770
 Telephone: 626.799.9898
 Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

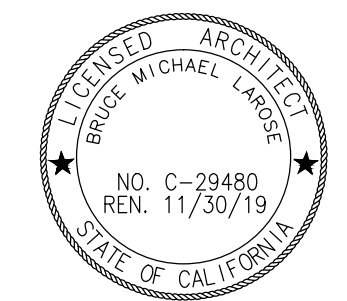
ISSUE DATE:

DRAWN BY: CRM Architects & Planners, Inc.

PANDA PROJECT #: S8-19-D6565
 ARCH PROJECT #: CRM 1820

CRM Architects & Planners Inc.

5800 Stanford Ranch Road Suite 720
 Rocklin, CA 95765
 phone: (916) 451-1500 - fax: (916) 451-1600



LATHROP CFT DEVELOPMENT
 15099 SOUTH HARLAN ROAD
 LATHROP, CA 95330

2200 PlanTrue Warm & Welcome

A-203

COLORED EXTERIOR ELEVATIONS



1 EAST ELEVATION
 APPROXIMATE SCALE: 1/8" = 1'-0"

36.0 Sq. Ft. Used/ = 46.0 Sq. Ft. Allowed



2 WEST ELEVATION
 APPROXIMATE SCALE: 1/8" = 1'-0"

53.13 Sq. Ft. Used/ = 76.0 Sq. Ft. Allowed



superior
 electrical advertising

1700 West Anaheim Street
 Long Beach, California
 90813-1195
 Phone: 562.495.3808
 Facsimile: 562.435.1867

www.superiorsigns.com

Project:
Panda Express

Address:
**15322 South Harlan Road
 Lathrop, CA 95330**

Account Manager:
Stan Janocha

Designer:
B. Kuriyama .50

Scale: **AS NOTED**

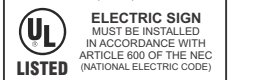
Design No.: **18-01-4221-10**

Date: **01.22.18**

Reg. No.:

Revisions:

- R1 02-01-18 mdm (1.0) add east and south elevations and pole sign.
- R2 2.2.18 bk (.08) move sign A
- R3 2.19.18 MH (.5) new site plan
- R4 2.21.18 MH (.25) new site plan
- R5 3.1.18 mdm (1.25) new site plan add drive thru signs
- R6 5.14.18 MH (1.0) new site plan and elevs
- R7 5.16.18 MH (.5) new site plan, move B2
- R8 7/30/18 LR (.5) Change sign B to dual illumination
- R9 8/7/18 LR (1.25) New site plan
- R10 8/8/18 LR (1.25) Reduce letters to 2'-6"



• APPROVALS •

FOR JOB CHECK DATE

Acct. Mgr.

FOR CONSTRUCTION DATE

Acct. Mgr.

Design

FOR INSTALL ONLY DATE

Acct. Mgr.

Page: **4** Of: **10**

This is an original unpublished drawing created by Superior Electrical Advertising, Inc. It is submitted for your approval. It is not to be shown to anyone outside of your organization, nor is it to be reproduced, copied or exhibited in any fashion. The changing of colors, sizes, materials or illumination method does not alter the design. Ownership of this design is held by Superior Electrical Advertising, Inc. Authorization to use this design in any fashion must be obtained in writing from Superior Electrical Advertising, Inc.

© SEA 2018

Note: The Colors depicted here are a graphic representation. Actual colors may vary. See color specifications.



3 SOUTH ELEVATION
APPROXIMATE SCALE: 1/8" = 1'-0"

36.0 Sq. Ft. Used/ = 60.0 Sq. Ft. Allowed



2 NORTH ELEVATION
APPROXIMATE SCALE: 1/8" = 1'-0"

36.0 Sq. Ft. Used/ = 38.0 Sq. Ft. Allowed



superior
electrical advertising

1700 West Anaheim Street
Long Beach, California
90813-1195
Phone: 562.495.3808
Facsimile: 562.435.1867

www.superiorsigns.com

Project:
Panda Express

Address:
**15322 South Harlan Road
Lathrop, CA 95330**

Account Manager:
Stan Janocha

Designer:
B. Kuriyama .50

Scale: **AS NOTED**

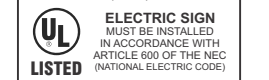
Design No.: **18-01-4221-10**

Date: **01.22.18**

Reg. No.:

Revisions:

- R1 02-01-18 mdm (1.0) add east and south elevations and pole sign.
- R2 2.2.18 bk (.08) move sign A
- R3 2.19.18 MH (.5) new site plan
- R4 2.21.18 MH (.25) new site plan
- R5 3.1.18 mdm (1.25) new site plan add drive thru signs
- R6 5.14.18 MH (1.0) new site plan and elevs
- R7 5.16.18 MH (.5) new site plan, move B2
- R8 7/30/18 LR (.5) Change sign B to dual illumination
- R9 8/7/18 LR (1.25) New site plan
- R10 8/8/18 LR (1.25) Reduce letters to 2'-6"



• APPROVALS •

FOR JOB CHECK DATE

Acct. Mgr.

FOR CONSTRUCTION DATE

Acct. Mgr.

Design

FOR INSTALL ONLY DATE

Acct. Mgr.

Page: 5 Of: 10

This is an original unpublished drawing created by Superior Electrical Advertising, Inc. It is submitted for your approval. It is not to be shown to anyone outside of your organization, nor is it to be reproduced, copied or exhibited in any fashion. The changing of colors, sizes, materials or illumination method does not alter the design. Ownership of this design is held by Superior Electrical Advertising, Inc. Authorization to use this design in any fashion must be obtained in writing from Superior Electrical Advertising, Inc.

© SEA 2018

Note: The Colors depicted here are a graphic representation. Actual colors may vary. See color specifications.