

**December 20, 2023 – Planning Commission Regular Meeting –
6:00pm**



City Council Chamber
390 Towne Centre Drive
Lathrop, California
(209) 941-7200
www.ci.lathrop.ca.us

Planning Commissioners

Tosh Ishihara, Chair
Ash Ralmilay, Vice Chair
Paul Camarena
George Jackson
Gloryanna Rhodes

City Staff

Rick Caguiat, Community Development Director &
Planning Commission Secretary
James Michaels, Senior Planner
Trent DaDalt, Associate Planner
David Niskanen, Consultant Planner
Salvador Navarrete, City Attorney
Maria Hermosilla, Executive Assistant

IMPORTANT NOTICE REGARDING THIS MEETING & COVID-19

This public meeting will be conducted in person; all members of the Planning Commission will attend in person. Members of the public are welcomed in person. This meeting will also be available for public participation by teleconference via ZoomGov at the following link:

<https://www.zoomgov.com/j/1606358357?pwd=eEhNemtSZThyaFIZYUImc1RyR29hdz09>

- ✚ During the meeting, those joining by ZoomGov, will be allowed to speak prior to the close of public comment on an item. If you are using this method, please "raise the hand" feature to inform the meeting host you wish to speak on the matter. Please ensure your computer speaker and microphone are fully functional.
 - ✚ Meeting ID: 160 635 8357 / Passcode: Lathrop
 - ✚ For audio only, call-in number: +1 (669) 254 5252. To request to speak (same as the "raise hand" feature) press *9 / when the host calls your name, press *6 to unmute.
- If you are not able to attend the meeting in person or virtually - public comment/questions will be accepted by email to Rick Caguiat, Community Development Director and Planning Commission Secretary at planning@ci.lathrop.ca.us.
 - Questions or comments must be submitted by 3:00 p.m., on the day of the meeting.
 - To address Planning Commission in person, please submit an orange card to the Planning Commission Secretary indicating name, address, and number of the item upon which a person wishes to speak.

Planning Commission Meetings are live-streamed (with Closed Captioning) on Comcast Cable Channel 97 and on the City's website at <https://www.ci.lathrop.ca.us/citycouncil/page/live-stream>

Addressing the Planning Commission

Any person may speak once on any item under discussion by the Planning Commission after receiving recognition by the Chair. Orange speaker cards will be available prior to and during the meeting. To address the Planning Commission, a card must be submitted to the Planning Commission Secretary indicating name, address and number of the item upon which a person wishes to speak. When addressing the Planning Commission, please walk to the lectern located in front of the Planning Commission. State your name and address. In order to ensure all persons have the opportunity to speak, a time limit will be set by the Chair for each speaker (see instructions on speaker form). In the interest of time, each speaker may only speak once on each individual agenda item; please limit your comments to new material; do not repeat what a prior speaker has said.

Citizen's Forum

Any person desiring to speak on a matter, which is not scheduled on this agenda, may do so under the Public Comment section. Please submit your orange speaker card to the Planning Commission Secretary prior to the commencement of Public Comment, or submit your request to speak via the "raise hand" feature in ZoomGov. Only those who have submitted speaker cards, or have expressed an interest to speak, prior to the conclusion of Public Comment will be called upon to speak. Please be aware the California Government Code prohibits the Planning Commission from taking any immediate action on an item, which does not appear on the agenda, unless the item meets stringent statutory requirements. The Chair will limit the length of your presentation (see instructions on speaker form) and each speaker may only speak once on this agenda item.

Information

If you wish to appeal a decision of the Planning Commission, you must do so within ten (10) calendar days following the meeting. Please contact the Planning Division at (209) 941-7290 for information regarding the appeal procedure.

NOTE: If you challenge the nature of a proposed action in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

This agenda was posted at least 72 hours in advance of the scheduled meeting at the following locations: *City Hall, Community Center, Generations Center, Senior Center, and "J" Street and Somerston Fire Department Offices and the City website.* To obtain a hard copy of this agenda packet, please visit the Community Development Department counter located at 390 Towne Centre Drive, Lathrop, CA 95330, or you may also call (209) 941-7290 to have it sent via mail or e-mail. The agenda packet is available on the "Agendas & Minutes" page of the City of Lathrop website, please follow the link: <https://www.ci.lathrop.ca.us/meetings>



In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting please call (209) 941-7290. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to the meeting (28CFR 35.102.35.104 AD Title II).

CITY OF LATHROP
PLANNING COMMISSION
Agenda

REGULAR MEETING
WEDNESDAY, DECEMBER 20, 2023 AT 6:00 P.M.
CITY COUNCIL CHAMBER
390 TOWNE CENTRE DRIVE, LATHROP, CA 95330

1. CALL TO ORDER

2. ROLL CALL

3. PLEDGE OF ALLEGIANCE

4. DECLARATION OF CONFLICT OF INTEREST

5. PUBLIC COMMENT

Persons who wish to speak to the Commission regarding an item that is not on tonight's agenda may do so at this time. Upon recognition by the Chairperson, please step forward to the podium; state your name, city of residence and subject matter.

6. AGENDA MODIFICATIONS

Items on the agenda requested to be added, deleted, or continued will be announced at this time.

7. APPROVAL OF MINUTES

7.1 November 15, 2023 – Regular Meeting

8. PUBLIC HEARING ITEMS

None

9. SCHEDULED ITEMS

9.1 River Islands West Village Neighborhood Design Plan No. NDP-23-144

Consider Adoption of a Resolution Approving Amendments to the West Village District Architectural Design Guidelines and Development Standards (DG/DS) for Active & Non-Active Adult Neighborhoods & the Neighborhood Development Plan (NDP) for River Islands at Lathrop (Phase 2)

Location: West Village District (Phase 2 of River Islands at Lathrop)

ENVIRONMENTAL STATUS: The Proposed Project Falls within the Scope of the Previously Certified Subsequent Environmental Impact Report (SEIR) (SCH No. 1993112027) for the River Islands at Lathrop Phase 2 Project.

10. STAFF COMMENTS

11. PLANNING COMMISSION COMMENTS

12. ADJOURNMENT

**CITY OF LATHROP
PLANNING COMMISSION
REGULAR MEETING
NOVEMBER 15, 2023**

MINUTES

1. CALL TO ORDER

Meeting was called to order by Chair Ishihara for the November 15, 2023 Regular Planning Commission meeting at 6:04 P.M.

2. ROLL CALL

PRESENT: Ishihara, Ralmilay, Jackson, Rhodes

ABSENT: Camarena

Staff Present: Salvador Navarrete, City Attorney; Rick Caguiat, Community Development Director; Brad Taylor, City Engineer; James Michaels, Senior Planner; David Niskanen, Consultant Planner and Maria Hermosilla, Executive Assistant

3. PLEDGE OF ALLEGIANCE

4. DECLARATION OF CONFLICT OF INTEREST

None

5. PUBLIC COMMENT

None

6. AGENDA MODIFICATIONS

None

7. APPROVAL OF MINUTES

7.1 September 13, 2023 – Regular Meeting

(M) Jackson (S) Rhodes to approve the September 13, 2023 minutes

Ayes: Ishihara, Ralmilay, Jackson, Rhodes
Noes: None
Absent: Camarena
Abstain: None
Motion Carries: 4-0-1-0

8. PUBLIC HEARING ITEMS

8.1 Municipal Code Text Amendment No. TA-23-139

Mr. Niskanen made the staff report presentation.

OPENED PUBLIC HEARING

There were no comments from the public.

CLOSED PUBLIC HEARING

Commissioner Rhodes asked how the City would regulate on-site events organized by charitable organizations without a business licenses. Mr. Niskanen replied that special events are still required a Temporary Use Permit that would referred out to City staff and Fire to ensure that event does not adversely affect the surrounding communities. On the same note, Commissioner Rhodes is concerned about how home-based business activities are regulated. Mr. Niskanen replied that home-based businesses are required home occupation permits with standards and guidelines that applicants would have to abide by.

Commissioner Rhodes asked staff to explain the proposed Limited Industrial Zoning amendment. Mr. Caguiat explained that the amendment is mainly for the areas northeast of Lathrop. The purpose of the amendment is for easier access to information on the Municipal Code. He added that there are no projects associated with this effort.

Regarding the reduction of the 3-car garage requirement in Central Lathrop, Commissioner Rhodes commented that she is not in favor but she understood that these help lower the price of new home constructions.

Commissioner Rhodes commented that she is opposed to hookah lounges in the City because the use in not consistent or compatible with the General Plan regarding family-oriented community. She pointed out that Hookah Lounges seem to go

against the State's "no indoor smoking" policy. She pointed out that that hookah lounges are also not family oriented and she also does not favor exclusive establishments that limits patronage to a certain age and gender.

She asked how she could vote against hookah bars only. Mr. Navarrete explained that the vote would be for the entire resolution however, the resolution could be modified at the commission's recommendation.

Commissioner Ralmilay concurred with Commissioner Rhodes about not being in favor of Hookah Lounges but in favor of everything else.

Commissioner Ralmilay also asked if organized events required liability insurance. Mr. Niskanen & Mr. Caguiat replied yes through the Temporary Use Permit.

Commissioner Ralmilay asked if there are limits to visitors to home businesses. Mr. Caguiat replied that the home occupation permit precludes customers and outside employees from visiting the home for business purposes.

Commissioner Jackson asked why the change from three to two car garage. Mr. Caguiat explained that this is still in line with the industry standard of a 2-car garage and he reminded everyone that residents have the option to use driveways and on-street parking as well. He also added that this change would reduce construction costs.

Commissioner Jackson spoke in favor of hookah lounges. He thinks that this is a great opportunity for adults to meet and assemble.

Chair Ishihara agreed with Commissioner Jackson and added that this will provide another venue for citizens to get together in a relaxed environment. He was pleased that the establishment would not be allowed to serve alcohol. Mr. Caguiat also added that the proposal imposes age restrictions to avoid confusion and unregulated access to nicotine.

Chair Ishihara allowed Mansoor Fazel to speak (via Zoom) in favor of Hookah Lounges. He emphasized that the use will give adult residents a place to congregate and socialize in a relaxed atmosphere. He pleaded for Planning Commission support for the proposed use.

Further discussion on Hookah Lounges ensued. On Planning Commission (PC) actions, Mr. Navarrete suggested the following: 1) delay voting until the fifth commissioner is present or 2) revise the resolution to recommend adoption of all amendments with no recommendation for Chapter 17.79 Hookah Lounges.

MOTION

Moved by Commissioner Rhodes, Second by Commissioner Ralmilay to:

1) Recommend City Council adopt amended Municipal Code Text Amendment No. TA-23-139 to include the following:

- Chapter 5.04 (Business Licenses Generally): Revise and add language to exempt certain institutions and organizations from obtaining a business license.
- Chapter 15.56 (Floodplain Management): Clarify that the City Engineer is the designated Floodplain Administrator.
- Chapter 17.48 (I Industrial District): Add warehouse as a permitted use in the Limited Industrial Zoning District.
- Chapter 17.62 (Central Lathrop Zoning Districts): Update the Residential Site Development Standards Table to modify the off-street parking requirement for dwellings with 5 or more bedrooms.
- Chapter 17.76 (Off-Street Parking and Loading): Revise the language to clarify that the Community Development Director may authorize the joint use of parking facilities under certain conditions, and;

2) No recommendation to City Council in regards to the proposed Chapter 17.79 (Hookah Lounges) to provide regulations for the establishment of Hookah Lounges.

Ayes: Ralmilay, Jackson Rhodes

Noes: Ishihara

Absent: Camarena

Abstain: None

Motion Carries: 3-1-1-0

9. SCHEDULED ITEMS

None

10. STAFF COMMENTS

Mr. Caguiat and Mr. Taylor gave updates on various projects within the City.

11. PLANNING COMMISSION COMMENTS

Commissioner Rhodes thanked staff for a job well done. She expressed her amazement at how much the City has progressed since its incorporation. She also reminded everyone about the role the Planning Commission plays for the City.

Commissioner Ralmilay wished everyone happy holidays.

Commissioner Ishihara thanked staff for their hard work. He was happy about the outcome of the Veteran's Day Celebration prepared by the City.

12. ADJOURNMENT

Vice Chair Ishihara adjourned the meeting at 7:20 PM.



PLANNING COMMISSION
STAFF REPORT

DATE: December 20, 2023

APPLICATION NO: River Islands West Village Neighborhood Design Plan No. NDP-23-144

LOCATION: West Village District (Phase 2 of River Islands at Lathrop)

REQUEST: Planning Commission to Consider Adoption of a Resolution Approving Amendments to the West Village District Neighborhood Design Plan (NDP) and the Architectural Design Guidelines and Development Standards (DG/DS) for Age & Non-Age Restricted Neighborhoods for River Islands at Lathrop (Phase 2)

APPLICANT: River Islands Stage 2B, LLC
73 W. Stewart Road
Lathrop, CA 95330

PROPERTY OWNER: River Islands Development Area 1, LLC
73 W. Stewart Road
Lathrop, CA 95330

CEQA STATUS: The Proposed Project Falls within the Scope of the Previously Certified Subsequent Environmental Impact Report (SEIR) (SCH No. 1993112027) for the River Islands at Lathrop Phase 2 Project.

SUMMARY:

The applicant is requesting various minor amendments to the Age and Non-Age Restricted Neighborhoods, Neighborhood Development Plan (NDP) and Architectural Design Guidelines and Development Standards (DG/DS) for the West Village District of River Islands Phase 2. The proposed amendments will be modifying the overall dwelling unit count of both the Age & Non-Age Restricted Adult Neighborhoods DG/DS.

Staff recommends the Planning Commission adopt Resolution No. 23-15 approving the amendments to the NDP and Age & Non-Age Restricted Neighborhoods DG/DS for the West Village District of River Islands Phase 2 at Lathrop.

SITE DESCRIPTION

The West Village District is located within Phase 2 of the River Islands development, specifically within the boundaries of Vesting Tentative Map (VTM) 6716. The District consists of fourteen (14) villages, eight (8) different lot sizes for active and non-active adults, and villages for low, medium, and high density residential, clustered single-family residential, condominiums, and apartments. The District also includes a community park, high school and open space. The location and boundary of West Village District is illustrated in Attachment 2.

BACKGROUND

The West Lathrop Specific Plan for Phase 2 requires the preparation of a Neighborhood Development Plan (NDP) and Architectural Design Guidelines and Development Standards (DG/DS) for areas of new development within River Islands. The NDP provides requirements for the use, development, improvement and maintenance of master developer-constructed portions of the River Islands project. Alternatively, the purpose of the DG/DS is to establish design guidelines and standards for residential development and associated site improvements to be constructed by the residential builders. This includes overall residential design principles, guidelines for orientation, siting and architecture of new residences, and more specific guidelines for building form, roof style, wall and window details, outdoor spaces and colors.

The NDP for the West Village District and the DG/DS for the Active Adult Neighborhoods were originally approved by Planning Commission on October 19, 2022 via PC Resolution No. 22-11 and the DG/DS for the Non-Active Adult Neighborhoods was approved by Planning Commission on July 19, 2023 via PC Resolution No. 23-8.

The proposed amendments will be modifying the overall dwelling unit count of both the Age & Non-Age Restricted Neighborhoods DG/DS. These proposed amendments to the NDP and DG/DS for the Age & Non-Age Restricted Neighborhoods for the West Village District were presented to the Stewart Tract Design Review Committee (STDRC) on December 13, 2023. The STDRC voted unanimously to recommend the amendment for Planning Commission approval, attached to this Staff Report as Attachment 3.

ANALYSIS

River Islands is requesting to make the following amendments:

1. West Village NDP:

- A revision to update all applicable figures and diagrams to be consistent with the proposed revisions for the Age and Non-Age Restricted Neighborhoods DG/DS, as explained below. The revised pages include: 10, 11, 20, 27, 37, 64, 65, 66, 67, 68, 74, 75, 76, 77, 78, 79, 81, 83, & 84.

2. West Village Age-Restricted Neighborhoods DG/DS:

- A revision to decrease the total lot count from 905 lot to 578 total lots for the Del Webb Community of single-family homes. This revision includes updating various figures and diagrams throughout the documents to be consistent with the newly revised project boundary. Additionally, the project name will be revised from “Active Adult Neighborhoods” to “Age Restricted Neighborhoods.” The revised pages include: cover sheet, II, 3, 4, 15, 29, 32, 33, 34, 35, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, & 65.

3. West Village Non-Age Restricted Neighborhoods DG/DS:

- A revision to increase the total lot count from 1,275 lots to 1,614 total lots that will consist of low, medium, and high density residential, clustered single-family residential, condominiums, and apartments. This revision includes updating various figures and diagrams throughout the document to be consistent with the newly revised project boundary, as explained above. There are 4 new lot sizes (60’ X 100’, 50’ X 110’ 42’ X 105’, & 47’ X 105’) that will be added to accommodate the various lots that have been added to the project area.

Similar to the other River Islands districts these lots have been added to the development standards table and individually in the document, to describe the specific development standards (i.e. building height, parking requirements) for each of the residential lot sizes. The DG/DS also specifies residential facades and side yards that will require “enhanced architectural elevations.” In addition, the DG/DS provides landscaping guidelines and standards for streetscapes, front yard areas, and rear yards on lake slopes of waterfront lots and walls and fences to be developed by the residential builders.

The DG/DS title will be revised from “Non-Active Adult Neighborhoods” to “Non-Age Restricted Neighborhoods.” The revised pages include: cover sheet, i, iii, 3, 4, 7, 11, 12, 13, 14, 15, 16, 23, 27, 31, 32, 43, 44, 50, 53, 54, 55, 56, 57, 58, 59, 62, 63, 64, 65, 66, 72, 74, 75, 76, 77, 78, 79, 80, 81, 83, 84, & 89.

Additionally, the applicant will be required to make final revisions to the documents described above due to formatting, topographical, and grammatical errors that were found during the printing of the packets.

CEQA REVIEW

Environmental review for the River Islands project as a whole was completed in the certified Subsequent Environmental Impact Report (SEIR) for the River Islands at Lathrop Phase 2 Project (State Clearinghouse No. 1993112027). The SEIR considered the full range of potential environmental effects of urban development of the entire River Islands Project, including planned urban development of the Project Site.

The project will not produce any new significant environmental impacts, and no new mitigation measures are required. The SEIR specified the mitigation measures needed to reduce potentially significant environmental effects of the River Islands project to a less than significant level. The project is required to conform to these mitigation measures.

RECOMMENDATION:

Staff recommends that the Planning Commission adopt Resolution No. 23-15, approving the amendments to the NDP and Age & Non-Age Restricted Neighborhoods DG/DS for the West Village District of River Islands at Lathrop (Phase 2).


Approvals:


Trent DaDalt, Associate Planner


12/7/2023
Date


James Michaels, Senior Planner

12/7/2023
Date


Rick Cagniat, Community Development Director

12/7/23
Date


Salvador Navarrete, City Attorney

12-11-2023
Date

Attachments:

1. PC Resolution No. 23-15 for the NDP and Age & Non-Age Restricted Neighborhoods DG/DS for the West Village District
2. Vicinity Map
3. STDRC Recommendation Letter
4. West Village District NDP
5. West Village District DG/DS for Age Restricted Neighborhoods
6. West Village District DG/DS for Non-Age Restricted Neighborhoods

**CITY OF LATHROP
PLANNING COMMISSION RESOLUTION NO. 23-15**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LATHROP
APPROVING AN AMENDMENT TO THE WEST VILLAGE DISTRICT
NEIGHBORHOOD DESIGN PLAN AND DESIGN GUIDELINES AND
DEVELOPMENT STANDARDS FOR AGE AND NON-AGE RESTRICTED
NEIGHBORHOODS (NDP-23-144)**

WHEREAS, the City of Lathrop Planning Commission held a duly noticed public meeting to consider the proposed project pursuant to the Lathrop Municipal Code; and

WHEREAS, the request is to amend the West Village District Neighborhood Development Plan (NDP) and West Village District Active and Non-Active Design Guidelines and Development Standards (DG/DS) to allow for various minor amendments as indicated throughout the staff report; and

WHEREAS, the original West Village District NDP and Active-Adult Neighborhoods DG/DS were reviewed by the Stewart Tract Design Review Committee (STDRC), and approved by the Planning Commission on October 19, 2022 per Resolution No. 22-11 in accordance with the requirements of the WLSP; and

WHEREAS, the original West Village District Non-Active Adult Neighborhoods DG/DS was reviewed by the STDRC, and approved by the Planning Commission on July 19, 2023 per Resolution No. 23-8 in accordance with the requirements of the WLSP; and

WHEREAS, the City of Lathrop has adopted the West Lathrop Specific Plan (WLSP) for Phase 2, which governs land use and development for the West Village District; and

WHEREAS, the River Islands Urban Design Concept (UDC) for Phase 2 has been prepared and approved by the City Council in accordance with the requirements of the WLSP Phase 2; and

WHEREAS, the WLSP requires that a Neighborhood Design Plan (NDP) and Architectural Design Guidelines and Development Standards (DG/DS) be prepared, reviewed by the Stewart Tract Design Review Committee (STDRC), and approved by the Planning Commission for each community within the River Islands project; and

WHEREAS, the proposed amendments to the Neighborhood Design Plan and Architectural Design Guidelines and Development Standards for the West Village District Active & Non-Active Adult Neighborhoods have been reviewed by the STDRC and recommended to the Planning Commission on December 13, 2023 for approval; and

WHEREAS, the environmental review for the River Islands project as a whole was completed in the certified Subsequent Environmental Impact Report (SEIR) for the River Islands at Lathrop Phase 2 Project (State Clearinghouse No. 1993112027). The SEIR considered the full range of potential environmental effects of urban development of the entire River Islands Project, including planned urban development of the Project Site. The project would not produce any new significant environmental impacts, and no new mitigation measures are required. The SEIR specified the mitigation measures needed to reduce potentially significant environmental effects of the entire River Islands project to a less than significant level. The proposed project is required to conform to these mitigation measures; and

WHEREAS, proper notice of this public meeting was given in all respects as required by law; and

WHEREAS, the Planning Commission has reviewed all written evidence and oral testimony presented to date; and

WHEREAS, that the Planning Commission of the City of Lathrop does hereby make the following finding that the proposed project will comply with the requirements of the Zoning Ordinance and design standards of the Lathrop Municipal Code upon development, as conditioned and is consistent with the following land use goals and policies of the City of Lathrop General Plan:

- **LU-1.4:** *“Continue to support the development of a variety of housing types and densities that meet the needs of individuals and families, and offers residents of all income levels, age groups and special needs sufficient housing opportunities and choices. (Additional policies specifically related to Housing are included in the General Plan’s Housing Element)”*
- **LU-1.7:** *“Ensure consistency between the Land Use Map and implementing plans, ordinances, and regulations.”*
- **LU-1.9:** *“Promote equitable land use patterns to ensure that all residents in neighborhoods have access to community amenities and transportation choices, and have safe places to walk and bike.”*

THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Lathrop based on substantial evidence in the administrative record of proceedings and pursuant to its independent review and consideration, does hereby approve the amendments to the West Village District Neighborhood Design Plan and Age & Non-Age Restricted Neighborhoods Architectural Design Guidelines & Development Standards to allow for various minor amendments as indicated in the staff report; incorporated by reference herein.

PASSED AND ADOPTED by the Planning Commission of the City of Lathrop at a Regular Meeting on the 20th day of December 2023, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Tosh Ishihara, Chair

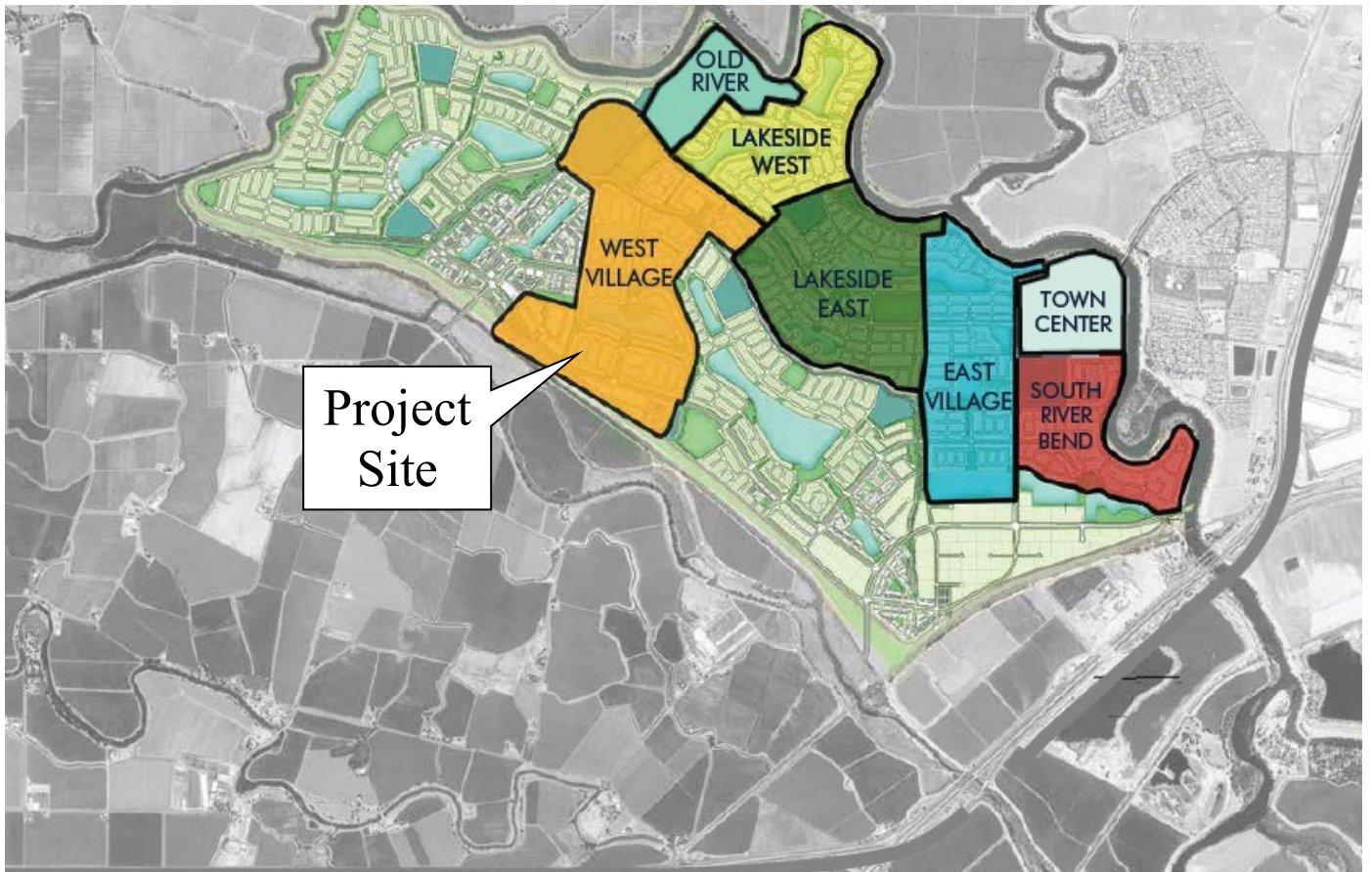
ATTEST:

APPROVED AS TO FORM:



Rick Caguiat, Secretary

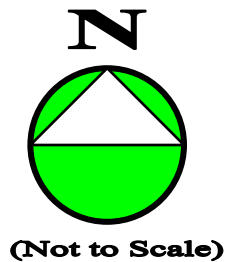
Salvador Navarrete, City Attorney



PLANNING DIVISION
Vicinity Map



**Neighborhood Development Plan (NDP)
& Architectural Design Guidelines and
Development Standards (DG/DS)
Active & Non-Active Adult
Neighborhoods
West Village
River Islands**





December 13, 2023

Rick Caguiat
City of Lathrop
390 Towne Centre Drive
Lathrop, CA 95330
Email: rcaguiat@ci.lathrop.ca.us

Subject: Recommendation for Approval of Amendments to the River Islands West Village
NDP, Non-Age Restricted and Age Restricted AG/DS Documents

Dear Rick:

At its meeting of December 12, 2023, the Stewart Tract Design Review Committee voted unanimously to recommend approval of the amendments to the River Islands West Village Neighborhood Development Plan (NDP) and Architectural Guidelines and Design Standards (AG/DS) for both non-age restricted and age restricted areas of the District to the Lathrop Planning Commission

After your review of the documents, we will make any final changes and transmit electronic copies of the documents to you. Please let us know if you require hard copies.

If you have any questions regarding this letter, please feel free to contact me at (209) 879-7900 or at sdelloso@riverislands.com.

Sincerely,

A handwritten signature in blue ink, appearing to read "Susan Dell'Osso", with a long, sweeping underline.

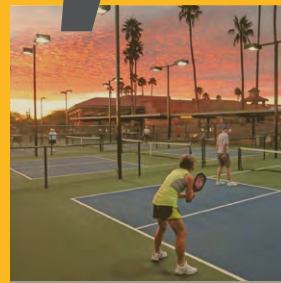
Susan Dell'Osso, President
River Islands Development Area 1, LLC

cc: Brad Taylor, City Engineer
Ed Short, City of Lathrop Chief Building Official
James Michaels, Senior Planner
Trent Dedalt, City of Lathrop Associate Planner
Ken Reed, Senior Construction Manager
David Niskanen, Contract Planner



RIVER ISLANDS WEST VILLAGE NEIGHBORHOOD DEVELOPMENT PLAN

Lathrop, California



RIVER ISLANDS Phase 2 West Village Neighborhood Development Plan DRAFT

12.11.2023

Prepared for:
River Islands at Lathrop
73 W. Stewart Road
Lathrop, California 95330
(209) 879 - 7900

Prepared by:
O'Dell Engineering
1165 Scenic Drive, Suite A
Modesto, CA 95350
(209) 571-1765



INTRODUCTION	2
1.1 PURPOSE OF DOCUMENT	2
1.2 CONSISTENCY	3
1.3 MASTER PLAN EVOLUTION	6
1.4 CHARACTER & CONTEXT.....	6
1.5 VISION OF THE NDP/GUIDING PRINCIPLES.....	7
1.6 WEST VILLAGE NEIGHBORHOOD DEVELOPMENT PLAN OVERVIEW.....	8
NEIGHBORHOOD CONCEPT	10
2.1 LAND USE	10
2.2 NEIGHBORHOOD ELEMENTS	12
2.3 OPEN SPACE AND LAND USE	14
CIRCULATION	19
3.1 CIRCULATION CONCEPT	19
3.2 CIRCULATION BIKE AND PEDESTRIAN CONCEPT.....	19
STREETSCAPES	25
4.1 STREET CHARACTER	25
4.2 COMMUNITY COLLECTOR STREETS	28
PARKS AND OPEN SPACE.....	43
5.1 MASTER PLAN INTENT	43
5.2 COMMUNITY PARKS	43
5.3 POCKET PARKS	43
5.4 LINEAR PARKS	45
LANDSCAPE AND PLANTING	64
6.1 LANDSCAPE PLAN.....	64
6.2 IRRIGATION	69
6.3 SOIL PREPARATION	71
FENCING AND WALLS.....	73
7.1 FENCES AND WALLS.....	73
SITE FURNISHINGS	80
8.1 SITE FURNITURE.....	80
8.2 COLORS AND PAVING	81
8.3 STREET LIGHTS AND BOLLARDS	81
8.4 STREET FURNITURE.....	82
8.5 SIGNAGE.....	83

FIGURES

FIGURE 2.1 LAND USE MAP	11
FIGURE 2.2 NEIGHBORHOOD ELEMENTS MAP	13
FIGURE 2.3 OPEN SPACE LAND USE MAP	15
FIGURE 2.4 PHASE 2 PARK DESIGNATION MAP	17
FIGURE 3.1 CIRCULATION CONCEPT	20
FIGURE 3.2 CIRCULATION BIKE AND PEDESTRIAN CONCEPT	22
FIGURE 4.1 STREET TREE MASTER PLAN.....	27
FIGURE 4.2 STREET SECTIONS.....	29
FIGURE 4.3 NEIGHBORHOOD GATEWAYS	32
FIGURE 4.4 CALLERTON AVE AND BULLARD LANE GATEWAY CONCEPT PLAN	33
FIGURE 4.5 CALLERTON AVE AND HAVERHILL WAY GATEWAY CONCEPT PLAN.....	34
FIGURE 4.6 CAMBAY ST AND BRIARSTONE LANE GATEWAY CONCEPT PLAN	35
FIGURE 4.7 STORNOWAY AVE AND ADDISON AVE GATEWAY CONCEPT PLAN	36
FIGURE 4.8 STORNOWAY AVE AND ADDISON AVE MONUMENT CONCEPT.....	37
FIGURE 4.9 EXAMPLE TYPICAL ROUNDABOUT	38
FIGURE 4.10 NEIGHBORHOOD ENTRIES	39
FIGURE 4.11 CALLERTON AT VILLAGE PP GATEWAY CONCEPT PLAN	40
FIGURE 4.12 EXAMPLE MONUMENT SIGNAGE.....	41
FIGURE 4.13 EXAMPLE ROUND-ABOUT MONUMENT SIGNAGE	42
FIGURE 5.1 WEST VILLAGE PARK DESIGNATION MAP	47
FIGURE 5.2 COMMUNITY PARK 2	48
FIGURE 5.3 POCKET PARK WV-1	49
FIGURE 5.4 POCKET PARK WV-2	50
FIGURE 5.5 POCKET PARK WV-3	51
FIGURE 5.6 POCKET PARK WV-4	52
FIGURE 5.7 POCKET PARK WV-5	53
FIGURE 5.8 POCKET PARK WV-6	54
FIGURE 5.9 POCKET PARK WV-7	55
FIGURE 5.10 LINEAR PARK GENERAL MAP	56
FIGURE 5.11 TYPICAL LINEAR PARK CONCEPT TYPE 1	57
FIGURE 5.12 TYPICAL LINEAR PARK CONCEPT TYPE 1	58
FIGURE 5.13 TYPICAL LINEAR PARK CONCEPT TYPE 1	59
FIGURE 5.14 TYPICAL LINEAR PARK CONCEPT TYPE 2	60
FIGURE 5.15 TYPICAL LINEAR PARK CONCEPT TYPE 3	61
FIGURE 5.16 TYPICAL LINEAR PARK CONCEPT TYPE 4	62
FIGURE 6.1 PARKWAY STRIPS.....	67
FIGURE 6.2 REAR YARD LAKE FRONTAGE.....	68
FIGURE 7.1 FENCING AND WALLS.....	74
FIGURE 7.2 FENCING AND WALLS IMAGERY.....	75
FIGURE 7.3 TYPICAL INTERIOR LOT FENCING LAYOUT	77
FIGURE 7.4 TYPICAL LAKE FRONTAGE FENCING LAYOUT	78
FIGURE 7.5 TYPICAL LINEAR PARK FRONTAGE LAYOUT.....	79

APPENDIX

APPENDIX A EXAMPLE OF CONSTRUCTION AND PLANT MATERIALS 85
APPENDIX B PARKS & OPEN SPACE PLANT SPECIES LIST 86



CHAPTER 1

INTRODUCTION



INTRODUCTION

This West Village Neighborhood Development Plan (NDP) lays out a network of parks, open spaces, trails, and paseos for the West Village Neighborhood within the River Islands Phase 2 development. This NDP is unique from other River Islands NDP's due to the development of an age restricted community within the West Village Neighborhood. In addition, this NDP aims to meet the lifestyle needs of all ages with an emphasis on designing for active adults, by providing a variety of recreational amenities and opportunities for the community to experience and interact with the surrounding river system. Locations of parks and open spaces ensure that recreational amenities are accessible to all community members. Pedestrian and bicycle connections are laid out to facilitate safe non-vehicular circulation between the community and park sites.

1.1 PURPOSE OF DOCUMENT

The intent of this document is to create a consistent neighborhood concept for the age restricted community and other neighborhoods within West Village that blends the unique spirit of the San Joaquin Valley and its agricultural and riverways history. The development strives to provide residents an idyllic and independent lifestyle, while also providing ways to connect with and celebrate the San Joaquin River. Opportunities to foster community and sense of place may be created through recreational programming, ease of access to open space and incorporating historical themes throughout the design.





This NDP serves to direct the course of the design and the intended character for the West Village Neighborhood development. The neighborhood is broken down into several separate and distinct design aspects: Neighborhood Concept, Circulation, Streetscapes and Entries; Parks and Open Space; Landscape and Planting; Fencing and Walls; and Site Furnishings. Design aspects within the age restricted community may differ from common neighborhood standards in order to establish a distinguished community identity within the larger development.

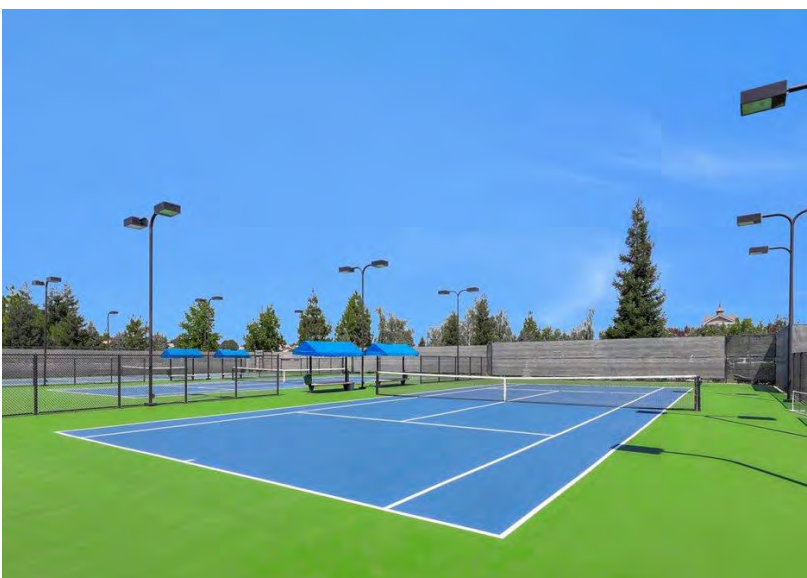
The NDP addresses the City of Lathrop's requirements for implementation of projects at the River Islands at Lathrop Master Planned Community as required by the West Lathrop Specific (Specific Plans or WLSP) and as specified in the Lathrop Municipal Code, Section 17.61.120. The NDP provides specific direction for the use, development, implementation and maintenance of developer-constructed portions of the River Islands project. The term "neighborhood(s)" refer to specific areas shown on page II Figure 2.1: Land Use Map.

This document is specific to "public or other public agencies" improvements that will be designed and built by River Islands Public Financing Authority (RIPFA) and RD2062. Individual builders will conform to the approved Architectural Guidelines (see Appendix 2: Architectural Guidelines). These guidelines and standards are referenced as needed and aspects that will be required by both Developer and Builder will be identified within this NDP and the approved Architectural Guidelines.

1.2 CONSISTENCY

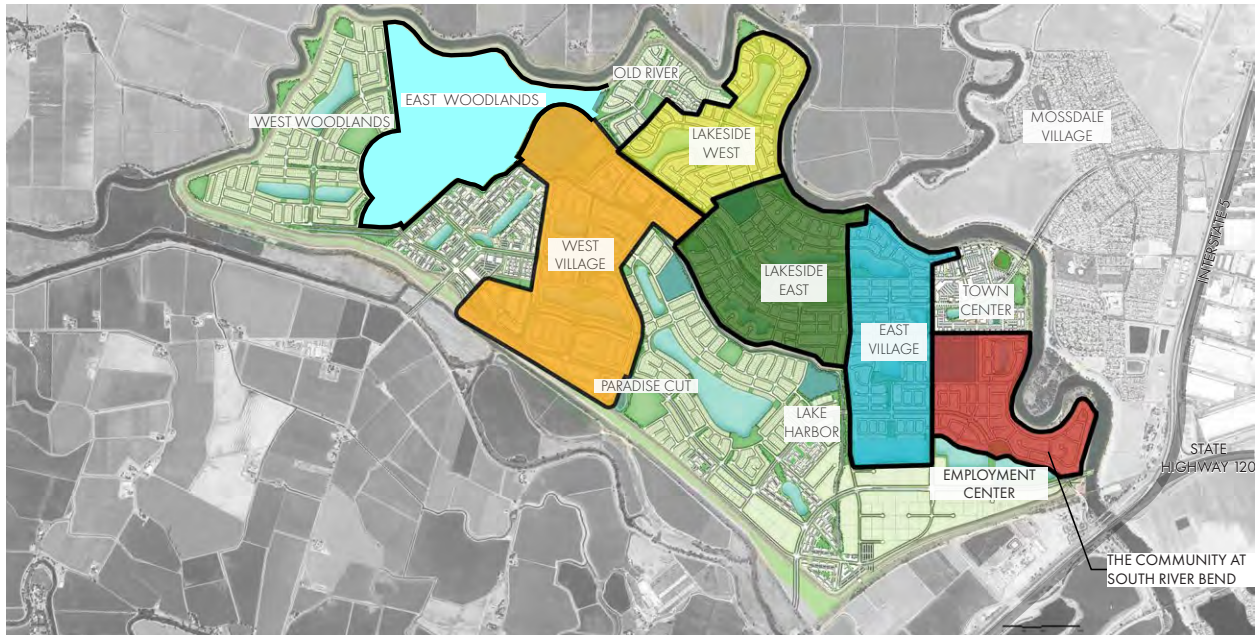
This NDP is intended to be consistent with the themes and concepts of the River Islands Development as previously defined and shall conform with the City of Lathrop's General Plan, Subdivision Code and Zoning Code. Images may differ, however, concept shall be consistent with themes and intent. For purposes of this document, the term NDP shall mean Neighborhood Development Plan and/or Neighborhood Design Plan, which can be used interchangeably and share the same meaning under the adopted WLSP and UDC.





1.3 MASTER PLAN EVOLUTION

History, land use and plans evolve. Through cognizant land planning, study and vision, the River Islands Master Plan also evolved to best serve land use and circulation patterns. The West Village concept continues to interact with the built environment and the natural context and character of the unique landscape of the California Delta.



1.4 CHARACTER & CONTEXT

River Islands attempts to intertwine the historical setting of the Delta Valley by paying homage to the riparian environment and the agricultural setting of the San Joaquin Valley. This concept blends modern homes into historical land uses of the Central Valley farm lands and surrounding waterways that give such life to the environment. The West Village Neighborhood works to create its own unique identity while tying each of them together through familiar paseos, trails, open spaces and parks which reflect the region's agricultural and open feel.



1.5 VISION OF THE NDP/GUIDING PRINCIPLES

The vision for River Islands West Village is to create a formal urban West Village Neighborhood that has emerged within the context of a natural riparian and agricultural corridor of the delta. River Islands will celebrate the valley's historic riparian ties to its communities. The West Village Neighborhood will promote development of strong pedestrian pathways that connect usable spaces and encourage pedestrian interaction.

Landscape character will intermingle the site's primary influences of rich agricultural farms and numerous serpentine San Joaquin waterways and habitat. This community will develop through a hierarchy of paseos and other pedestrian trails at and near lake systems. These areas will create a patchwork of distinct neighborhoods, all of which reflect the character of the Central Valley.

Guiding principles include:

- A community connected to the land and to unique employment, recreation, and cultural opportunities of the Central Valley.
- A lush and fertile landscape that blends rich waterways and wetlands into a structured environment with agrarian character of surrounding agricultural land.
- A community that continues to focus on principles of water management, native environments, and productive agricultural land.
- A thriving neighborhood community tied to the river and its waterways through walking opportunities and bike trails connecting quality parks and open spaces.
- A unique and self-supporting community embedded within an agricultural valley.



1.6 WEST VILLAGE NEIGHBORHOOD DEVELOPMENT PLAN OVERVIEW

Chapter 1: Introduction

This chapter introduces the purpose of the West Village NDP, and reviews the process of preparation of the Neighborhood Development Plan.

Chapter 2: Neighborhood Concept

This chapter provides proposed land use and includes concepts of neighborhood elements and entries for the West Village Neighborhood.

Chapter 3: Circulation

This chapter provides circulation concepts of vehicular paths of travel and pedestrian trails within the framework of residential neighborhoods and open spaces.

Chapter 4: Streetscapes

This chapter provides concepts of streetscapes, including street character, street trees, and street sections, and key street connections to neighborhood gateways and entries.

Chapter 5: Parks and Open Space

This chapter includes an overview of the proposed parks and open space, and preliminary park design concepts within the West Village Neighborhood.

Chapter 6: Landscape and Planting

This chapter provides proposed planting palette and irrigation concepts.

Chapter 7: Fencing and Walls

This chapter includes hierarchy of fencing and walls to delineate spaces and uses within the West Village Neighborhood.

Chapter 8: Site Furnishings

This chapter provides the design and appearance of the West Village Neighborhood, including site furniture, colors and paving, street lights, and street furniture.

Appendices



Chapter 2

NEIGHBORHOOD CONCEPT

NEIGHBORHOOD CONCEPT

2.1 LAND USE

The River Islands Phase 2 West Village neighborhoods will be developed with 12 villages, age restricted community of 578 homes, related street improvements, a high school, a elementary school, parks, trails and open spaces. These land uses comply with the West Lathrop Specific Plan, which designate the areas as Low Density Residential (RL-R1), Medium Density Residential (RM-R1), and High Density Residential (RH-R1) zoning classifications. Per the Specific Plan, permitted uses are as follows:

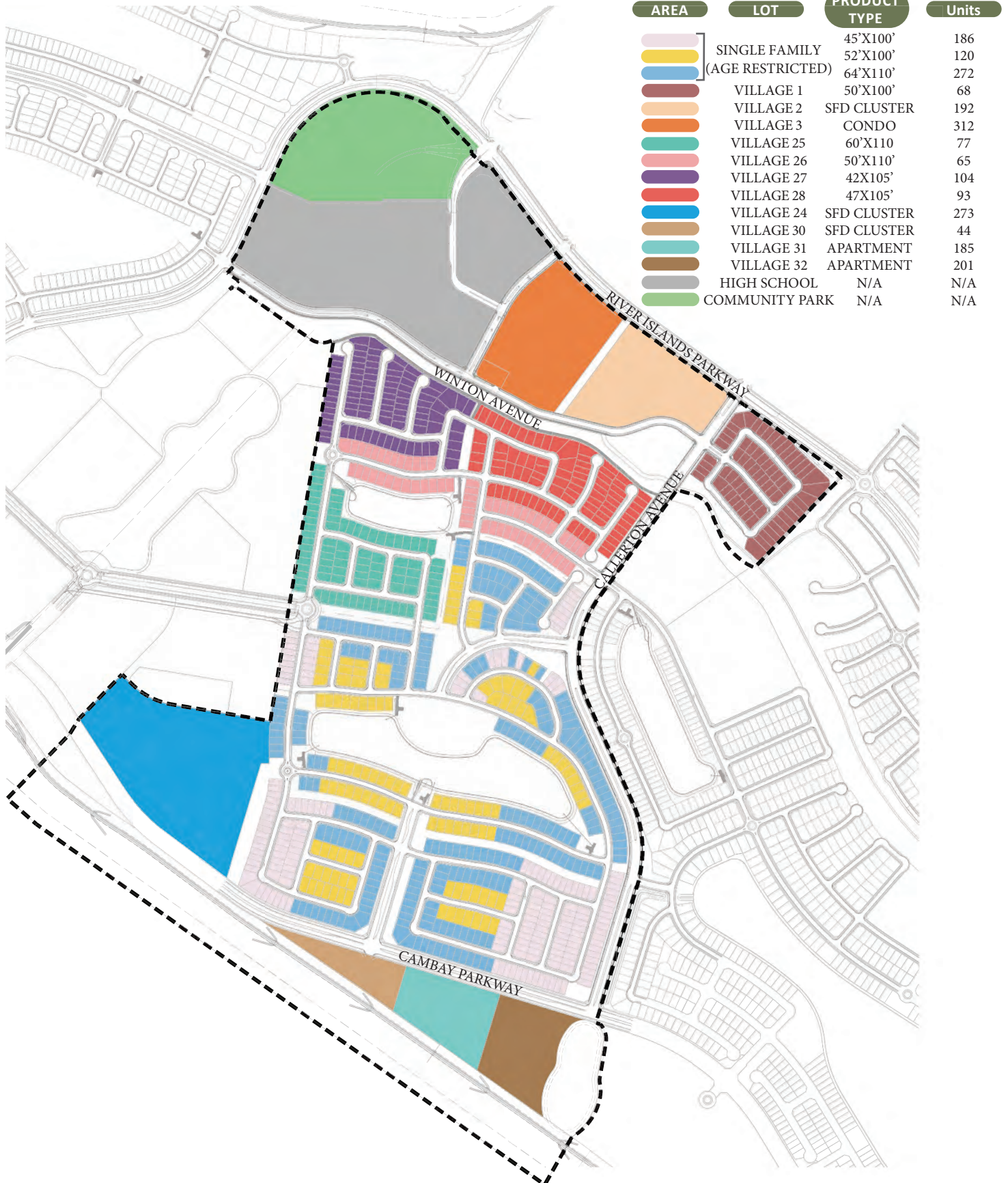
- Single Family Residential
- Medium Density Residential
- High Density Residential
- Public Parks and Open Space
- Private Recreation
- Home Business (subject to City approval)

Density:

- Various densities from low to high for residential uses (See Architectural Guidelines for coverage standards.)
- Setbacks, lot depth and width, per UDC. (See Architectural Guidelines for lot standards.)



FIGURE 2.1 LAND USE MAP





2.2 NEIGHBORHOOD ELEMENTS

The West Village allows residents to enjoy a relaxed, low-maintenance lifestyle, where the region’s history, the proximity to the San Joaquin River, and the natural environment have been woven into the design of both this neighborhood and River Islands. A strong sense of neighborhood character continues throughout the West Village Neighborhood that blends River Island’s consistent theme of colors, plantings, site furnishings, and signage with the community’s own unique identity. The West Village Neighborhood establishes its unique character through urban elements that create community space at pedestrian scales and programs that specifically meet the needs of the adult demographic. The combination of parks, trails, and recreational amenities will contribute to the distinctive quality of the West Village Neighborhood.

The West Village encourages pedestrian access throughout the entire community and aims to revitalize residents’ connection with nature. A network of trails and pathways throughout River Islands makes this a walkable community and encourage interaction with natural and rural opportunities surrounding River Islands. Recreational amenities will be easily accessible and convenient within the West Village. They include fitness centers, sport courts, community gardens, and walking and biking trails, providing opportunities for both passive and active recreation. In addition, residences will come in appropriate lot sizes and types for the community. New neighborhoods will be connected through a strong framework of roads, entries and numerous open spaces, lakes, and parks.



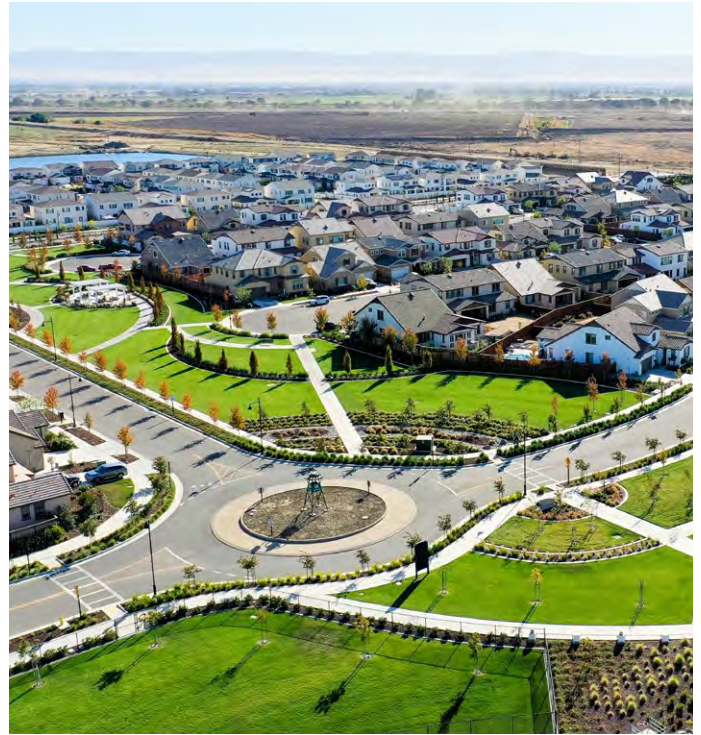
FIGURE 2.2 NEIGHBORHOOD ELEMENTS MAP



Note: The community wood fence along Callerton Avenue meets the minimum standard for noise attenuation. The developer and / or builder may opt to construct a masonry wall in-lieu of the fence at their discretion.

2.3 OPEN SPACE AND LAND USE

As a recreation-based neighborhood, the West Village comprises of a network of trails, pathways, and streets that intersect with parks and open spaces, lake frontage, and residential lots. The close proximity and convenient access to these diverse and numerous spaces encourage residents to explore and interact with the natural environment and recreational amenities within the community. Opportunities to learn about and connect with the region's rural past are provided through the combined design of outdoor spaces, urban elements, and other unique features. The following highlight the different types of outdoor spaces proposed within the community:



- **Open spaces** help define places and provide meeting locations, recreational opportunities and visually stimulating points of interest. Open spaces can be defined as large neighborhood parks, pocket parks, lake frontage, streetscapes and trails. Each open space creates an environment specific to its location and context.
- **In tract streetscapes** are designed as landscape areas between curbs and sidewalks and create consistent themes for streets within each community.
- **Off-site streetscapes** are areas outside the subdivision along major streets and include parkway strips, areas between the sidewalk and masonry walls or fences and neighborhood gateways. These spaces create a consistent theme throughout the West Village Neighborhood and encourage passive recreation and pedestrian interaction.
- **Open spaces adjacent to lakes** should also encourage light recreation and provide small scale open pedestrian interaction. These spaces should provide opportunities for relaxation and contemplation within a visually stimulating environment.
- **Neighborhood and pocket parks** should create places for more structured recreational interaction. Parks should encourage large scale pedestrian use and create opportunities for exercise, relaxation, and physical recharge from day-to-day obligations.
- **Private Amenity Center** provided with the age restricted community will provide exclusive access to various recreation and social related activities for residents of the age restricted community only.

A signature feature of the West Village is the abundant accessibility and connectivity of pedestrian trails within the neighborhood beyond typical street sidewalks. Many trails weave throughout the neighborhood, allowing many opportunities for recreation and interactions with the natural environment within a short distance from home.



FIGURE 2.3 OPEN SPACE LAND USE MAP



Phase 2 Parks Master Plan

The parks and open spaces, along with trails and pathways, within the West Village are part of a larger network of parks and open space within the River Islands development.

The Park Designation Map, Figure 2.4 on the following page, provides an overall summary of all parks and open space proposed to be constructed within Phase 2 of River Islands. The tables include Neighborhood Parks / Pocket Parks / Community Parks, Lakes, Trails, and Water Related Open Space. All Neighborhood and community park facilities are proposed to count towards the developer's Quimby Act park acreage. The chart on the following page summarizes the acreage and locations of the Quimby Act required facilities.



The City of Lathrop's conditions of approval and the Phase 2 vesting tentative map for River Islands requires that park facilities that are adjacent to water bodies (e.g. river or lake) shall be owned by a non-City public agency, with a right of reverter back to the City should the non-City public agency not properly maintain the park or otherwise be incapable of its maintenance. Island Reclamation District 2062 ("RD 2062") is authorized to own recreational facilities such as parks under the State's Water Code and will own all other "wet parks" in the future.

Maintenance of parks and open space is/will be conducted by River Islands Public Financing Authority (RIPFA) and RD 2062.

The parks and open spaces in West Village will feature a mixture of passive and active recreational opportunities that meets the needs of both the adult community and visitors. Park design attempts to provide the highest level of accessibility and safety possible for the benefit of the community and for the parks' continued success. Typical amenities include open lawn areas, shaded benches / tables, community gardens, and fitness equipment. The design may even feature unique site elements such as a zen garden or a labyrinth to promote relaxation and good health. The parks and open spaces located within the West Village has facilities and programs that not only provide health benefits, but also educational, cultural, and historical benefits for the community to engage with.

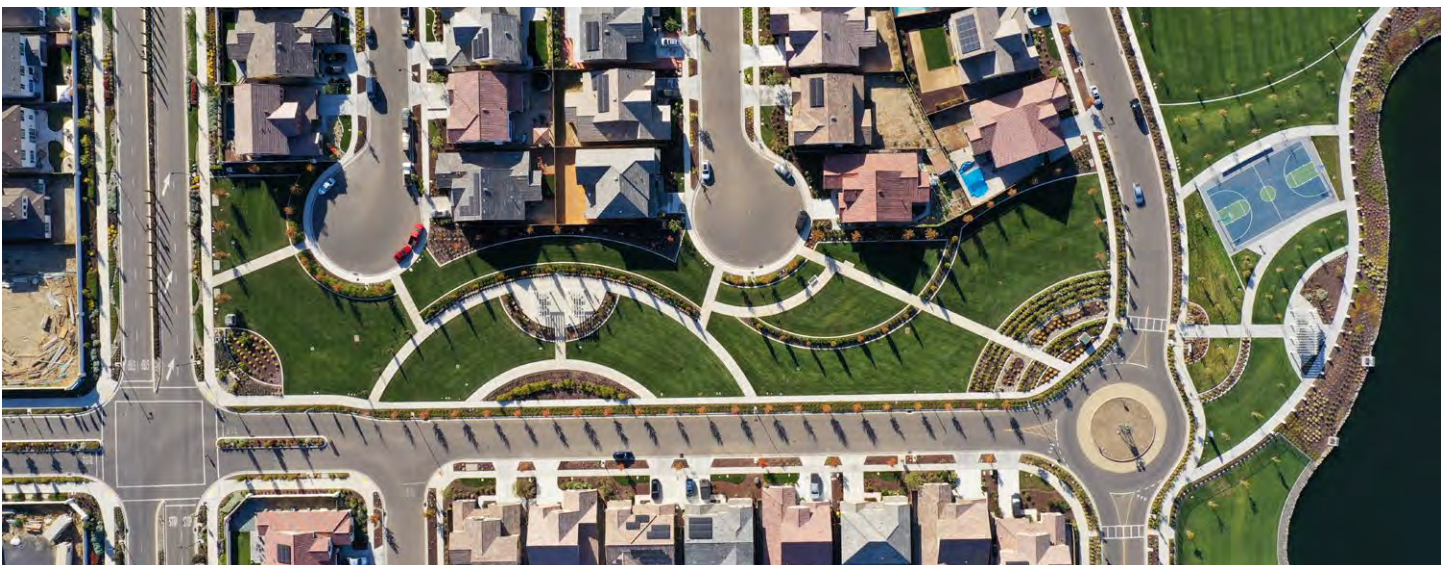


FIGURE 2.4 PHASE 2 PARK DESIGNATION MAP

PARK #	PARK NAME	ACREAGE	QUIMBY ACT	OWNERSHIP
NEIGHBORHOOD PARK		69.23		
N1	Neighborhood Park 1	7.18	x	RD 2062
N2	Neighborhood Park 2	12.47	x	CITY
N3	Neighborhood Park 3	4.0	x	CITY
N4	Neighborhood Park 4	5.4	x	CITY
N5	Neighborhood Park 5	7.8	x	CITY
N6	Neighborhood Park 6	6.5	x	RD 2062
N7	Neighborhood Park 7	5.4	x	RD 2062
N8	Neighborhood Park 8	6.48	x	CITY
N9	Neighborhood Park 9	4.0	x	CITY
	School Sites	10	x	SCHOOL

POCKET PARK		23.17		
P-EV1	Pocket Park - East Village - 1	2.72		
P-EV2	Pocket Park - East Village - 2	0.47		
P-EV3	Pocket Park - East Village - 3	0.31		
P-EV4	Pocket Park - East Village - 4	0.81		
P-LH1	Pocket Park - Lake Harbor - 1	0.94		
P-LH2	Pocket Park - Lake Harbor - 2	0.34		
P-LH3	Pocket Park - Lake Harbor - 3	0.29		
P-LH4	Pocket Park - Lake Harbor - 4	0.19		
P-LH5	Pocket Park - Lake Harbor - 5	0.42		
P-LH6	Pocket Park - Lake Harbor - 6	0.37		
P-LH7	Pocket Park - Lake Harbor - 7	0.49		
P-LH8	Pocket Park - Lake Harbor - 8	0.12		
P-LH9	Pocket Park - Lake Harbor - 9	0.13		
P-LH10	Pocket Park - Lake Harbor - 10	0.51		
P-W1	Pocket Park - Woodland - 1	0.75		
P-W2	Pocket Park - Woodland - 2	0.16		
P-W3	Pocket Park - Woodland - 3	0.87		
P-W4	Pocket Park - Woodland - 4	0.39		
P-W5	Pocket Park - Woodland - 5	0.32		
P-W6	Pocket Park - Woodland - 6	0.2		
P-W7	Pocket Park - Woodland - 7	0.68		
P-W8	Pocket Park - Woodland - 8	0.73		
P-W9	Pocket Park - Woodland - 9	0.22		
P-W10	Pocket Park - Woodland - 10	0.42		
P-W11	Pocket Park - Woodland - 11	0.27		
P-W12	Pocket Park - Woodland - 12	0.22		
P-WE1	Pocket Park - Woodland East - 1	0.36		
P-WE2	Pocket Park - Woodland East - 2	0.89		
P-WE3	Pocket Park - Woodland East - 3	0.33		
P-WE4	Pocket Park - Woodland East - 4	0.52		
P-WE5	Pocket Park - Woodland East - 5	0.4		
P-WE6	Pocket Park - Woodland East - 6	0.3		
P-WE7	Pocket Park - Woodland East - 7	0.73		
P-WE8	Pocket Park - Woodland East - 8	0.38		
P-WE9	Pocket Park - Woodland East - 9	0.22		
P-WE10	Pocket Park - Woodland East - 10	0.68		
P-WE11	Pocket Park - Woodland East - 11	0.5		
P-WE12	Pocket Park - Woodland East - 12	0.66		
P-WV1	Pocket Park - West Village - 1	0.19		
P-WV2	Pocket Park - West Village - 2	1.12		
P-WV3	Pocket Park - West Village - 3	0.57		
P-WV4	Pocket Park - West Village - 4	0.54		
P-WV5	Pocket Park - West Village - 5	0.46		
P-WV6	Pocket Park - West Village - 6	0.65		
P-WV7	Pocket Park - West Village - 7	0.33		

COMMUNITY PARK**		97.44		
C1	Community Park 1	31.93	x	CITY
C2	Community Park 2	22.5	x	CITY
C3	Community Park 3	15.00	x	CITY
C4	Levee Trail	28.00		

PARK #	PARK NAME	ACREAGE	MILE	QUIMBY ACT	OWNERSHIP
LINEAR PARK		43.99			
LP1	Linear Park 1	14.01	1.5		RD 2062
LP2	Linear Park 2	2.57	0.28		RD 2062
LP3	Linear Park 3	1.40	0.18		RD 2062
LP4	Linear Park 4	0.70	0.04		RD 2062
LP5	Linear Park 5	5.61	0.46		RD 2062
LP6	Linear Park 6	0.95	0.14		RD 2062
LP7	Linear Park 7	0.73	0.09		RD 2062
LP9	Linear Park 9	15.77	1.24		RD 2062
LP10	Linear Park 10	2.26	0.18		RD 2062

OPEN SPACE 480.36

----- PHASE 2 BOUNDARY



**Community Park 1 acreage does not include wetland area. When a park is adjacent to the levee, a 20' distance from the toe of levee is not included in park acreage calculations.
 ***Levee Trail Calculation: Total Linear Feet x 30' width = total sq ft (43,560 sq ft = 1 acre). Total Miles = 7.7 Miles.
 The 30' wide levee trail has been used to calculate acreage of the Quimby Act and does not include the levee slopes or 20-foot levee toe.
 The applicant intends to regrade the federal levee into a waterside bench which will be maintained by Reclamation District 2062. There will be no public access to the levee, only the waterside bench.

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Chapter 3

CIRCULATION



CIRCULATION

3.1 CIRCULATION CONCEPT

Streets create a necessary and important framework for the River Islands West Village. This framework connects and separates neighborhoods, creates key vehicular paths of travel, and creates identifiable community spaces and pedestrian-friendly routes throughout the community. As depicted in the circulation exhibit on the following page, the street network has a hierarchy of major roads, collector streets and neighborhood streets.

3.2 CIRCULATION BIKE AND PEDESTRIAN CONCEPT

In order to support a healthy, active community, the River Islands Master Plan has developed recreational infrastructure intent on encouraging bicycle and pedestrian pathways. Safe pedestrian and bicyclist connections linking parks and open spaces throughout the West Village is a priority. An intricate, non-motorized circulation system has been developed for the West Village, as part of larger circulation framework for Phase 2 River Islands. The circulation typology (as reflected in Figure 3.2 - Circulation Bike and Pedestrian Map) consists of classes 1, 2 & 3 bicycle lanes, pedestrian trails, and pedestrian connections that pair well with the different street types within the community (Figure 3.1). West Village residents will have access to the greater levee trail system through access ramps located on the south side of the neighborhood. The levee trail amenities and design shall be consistent with what is defined in the Phase 2 Parks Master Plan. Refer to the Phase 2 Parks Master Plan for more details.



FIGURE 3.1 CIRCULATION CONCEPT

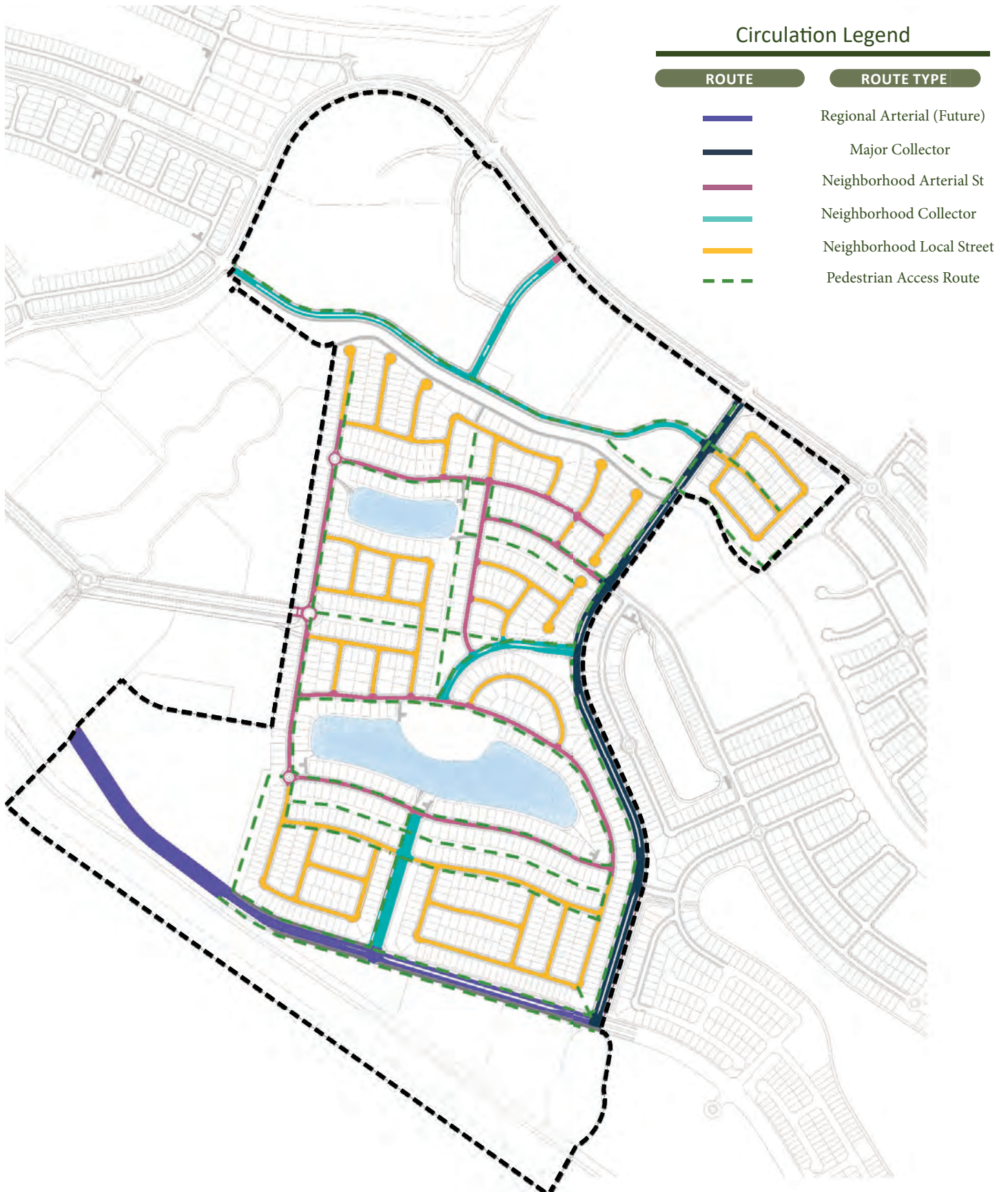
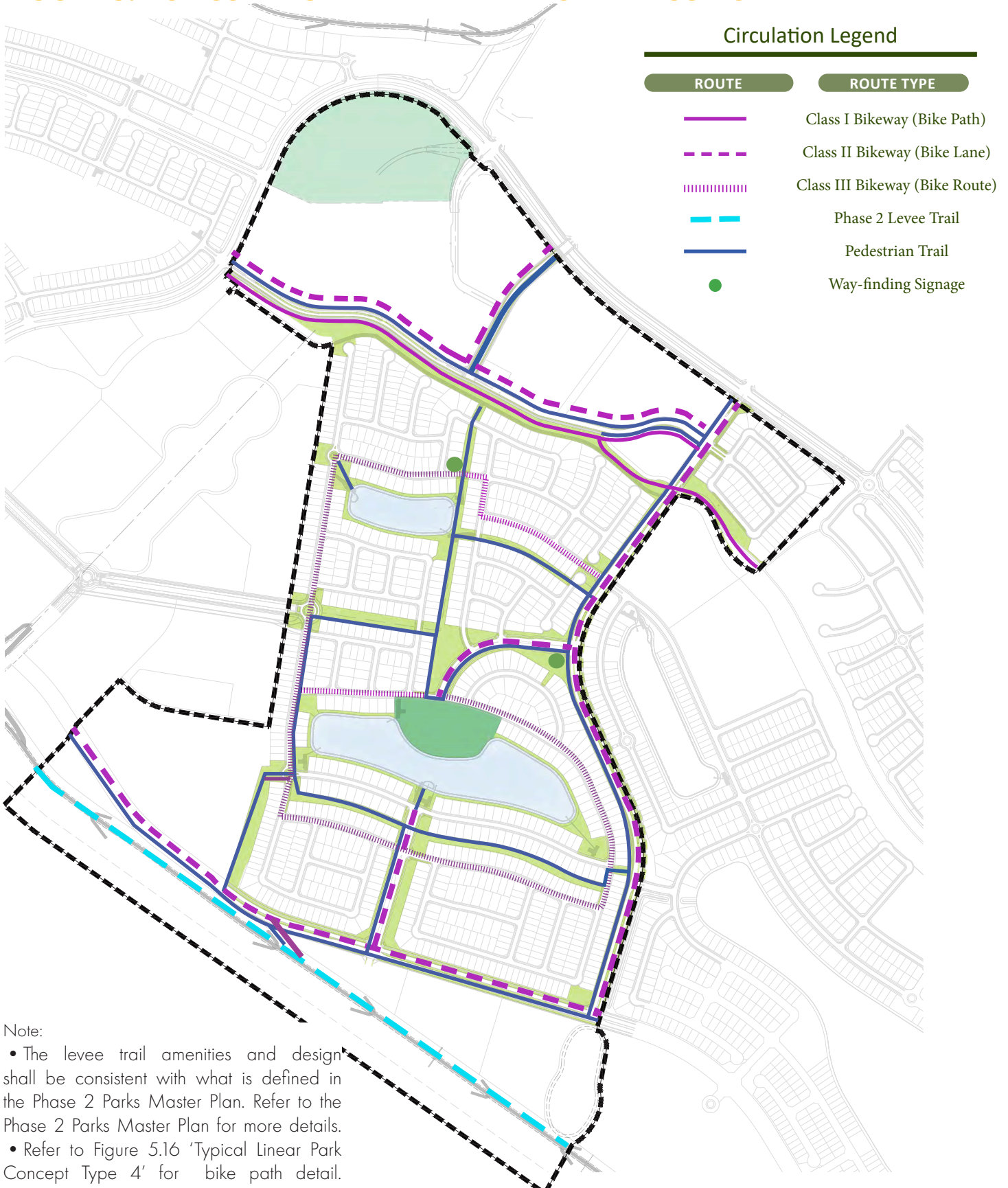




FIGURE 3.2 CIRCULATION BIKE AND PEDESTRIAN CONCEPT



Note:

- The levee trail amenities and design shall be consistent with what is defined in the Phase 2 Parks Master Plan. Refer to the Phase 2 Parks Master Plan for more details.
- Refer to Figure 5.16 'Typical Linear Park Concept Type 4' for bike path detail.





Chapter 4

STREETSCAPES

STREETSCAPES

4.1 STREET CHARACTER

Streets are classically defined by the trees that line them. These streets create a sense of identity and pedestrian friendly environments. Street trees help create memorable, livable spaces. However, trees do much more than just define spaces. Trees create much needed shade for pedestrians, help reduce energy consumption, moderate temperatures and increase property values. Proper selection of tree species help identify and differentiate communities, spaces and uses. Trees also provide habitat value for wildlife. To this purpose, this West Village NDP proposes street tree varieties for the roadways as identified on page 27.

Local neighborhood streets are scaled to support lower volumes of traffic and encourage pedestrian and bicycle use. Separated parkway strips provide continuous landscape buffers between from vehicular traffic and support a street lined tree canopy. Each neighborhood should receive one to two varieties of street tree species to maintain a community identity, buffer against potential losses due to disease and insects and bolster diversity in the urban forest.

Streets within West Village shall consist of trees, signage, and urban street elements, such as light poles, that create a unified sense of community identity and character in every neighborhood. Street trees, along with parkway strips and front yard landscape plantings, are thoughtfully selected for each neighborhood to develop a distinct community identity and contribute to the local biodiversity in the San Joaquin Valley.





FIGURE 4.1 STREET TREE MASTER PLAN

STREET TREE MASTER LIST

LOTS	STREET DIRECTION	BOTANICAL NAME	COMMON NAME
Village 1	North/South East/West	Pistacia c. 'Keith Davey' Tilia c. 'Greenspire'	Keith Davey Chinese Pistache Greenspire Little-Leaf Linden
Internal Streets	North/South East/West	Ulmus p. 'Drake' Platanus a. 'Columiba'	Chinese Evergreen Tree Columbia Plane Tree
Age Restricted South	North/South East/West	Acer rubrum 'October Glory' Chitalpa t. 'Pink Dawn'	October Glory Red Maple Pink Dawn Chitalpa

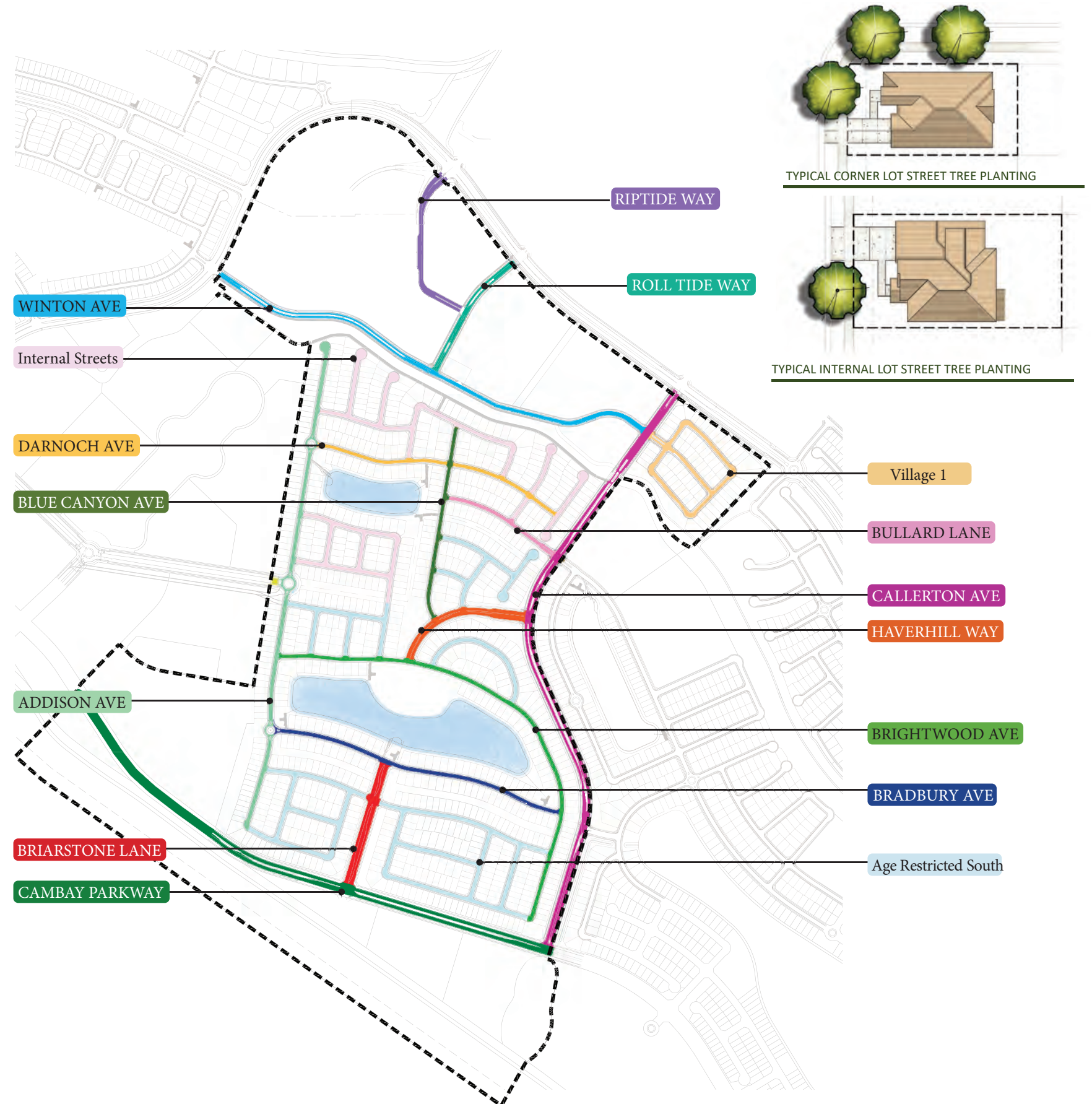
STREET TREE LIST BY CONNECTOR STREET

STREET	BOTANICAL NAME	COMMON NAME
BRIARSTONE LANE	Ginkgo biloba	Ginkgo
CAMBAY PARKWAY	Carpinus b. 'Franz Fontaine'	Franz Fontaine Hornbeam
BRIGHTWOOD AVE	Pistacia chinensis 'Keith Davey'	Keith Davey Chinese Pistache
CALLERTON AVE	Zelkova s. 'Green Vase'	Green Vase Zelkova
BRADBURY AVE	Tilia c. 'Greenspire'	Greenspire Little-Leaf Linden
ADDISON AVE	Ulmus p. 'Drake'	Chinese Evergreen Elm
HAVERHILL WAY	Chitalpa t. 'Pink Dawn'	Pink Dawn Chitalpa
DARNOCH AVE	Ginkgo biloba	Ginkgo
BLUE CANYON AVE	Tilia c. 'Greenspire'	Pink Dawn Chitalpa
BULLARD LANE	Acer rubrum 'October Glory'	October Glory Red Maple
WINTON AVE	Quercus coccinea	Scarlet Oak
RIPTIDE WAY	Phoenix canariensis	Canary Island Date Palm
ROLL TIDE WAY	Acer rubrum 'October Glory'	October Glory Red Maple

ACCENT TREE LIST

BOTANICAL NAME	COMMON NAME
Cercis occidentalis	Western Redbud
Chitalpa tashkentensis	Chitalpa
Lagerstroemia indica	Crape Myrtle
Prunus c. 'Krauter Vesuvius'	Purple Leaf Flowering Plum
Prunus serrulata 'Kwanzan'	Kwanzan Flowering Cherry

Note: These species are for reference and are not intended to be the only type of accent trees. See Appendix B for additional species.





4.2 COMMUNITY COLLECTOR STREETS

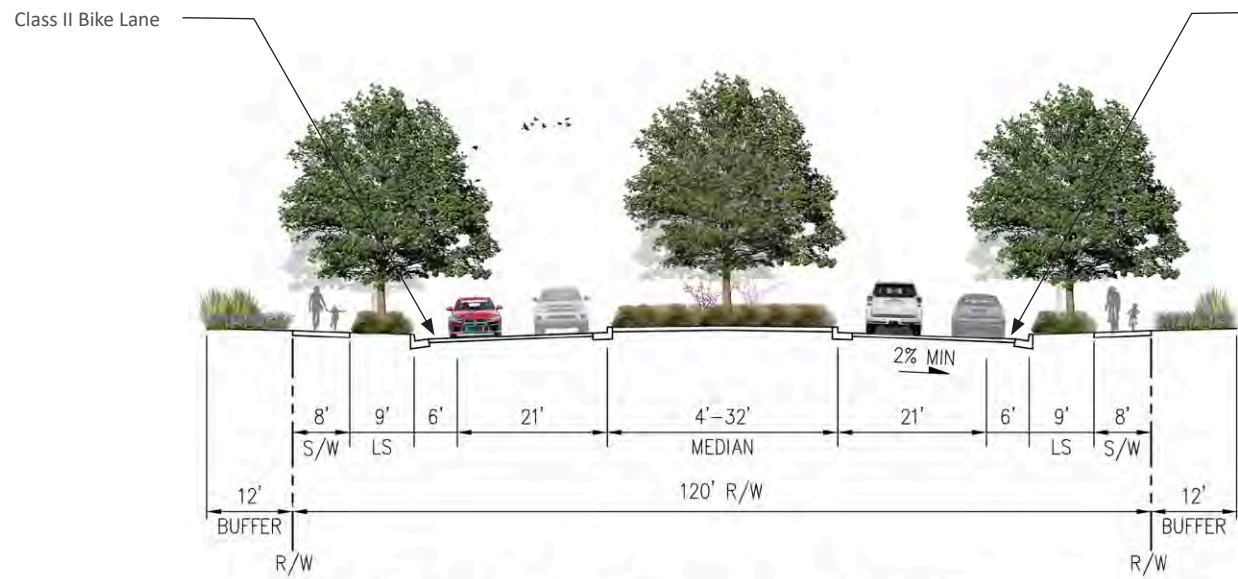
Community collector streets connect a series of neighborhoods marked by gateways and entires. It is important to establish a project theme as these entries are entrances into and through major project amenities, such as lakes, parks, trails, and open space.

Establishment of formal, landscaped neighborhood gateway entries followed by a rural feel of windrow shade trees and a riparian river concept will lead visitors along major collector streets. A naturalized riparian corridor serves as an immediate reminder of historical uses of the Delta Valley river lands.

The vision for the River Islands West Village streetscapes is to formalize the natural context of the delta riparian and agricultural corridors. Use of natural materials like meandering bands of river cobble and boulders that mimic the numerous waterways of the Delta Valley surrounded by groundcovers and both evergreen and flowering shrubs should be the overriding layout within parkway strip areas. Perimeter boundary plantings should receive large, more structured shrubs that take on their own natural shape without the need for hedging or continuous pruning to maintain size and shape. These spaces imitate the numerous hedgerow plantings that abut the waterways and agricultural fields. (See Appropriate Plant Species List in Appendices.) Plans shown in this document are illustrative and are intended to provide guidelines for the overall design of the neighborhood. The age restricted neighborhood is unique to West Village and may have different monumentation and tailored amenities.

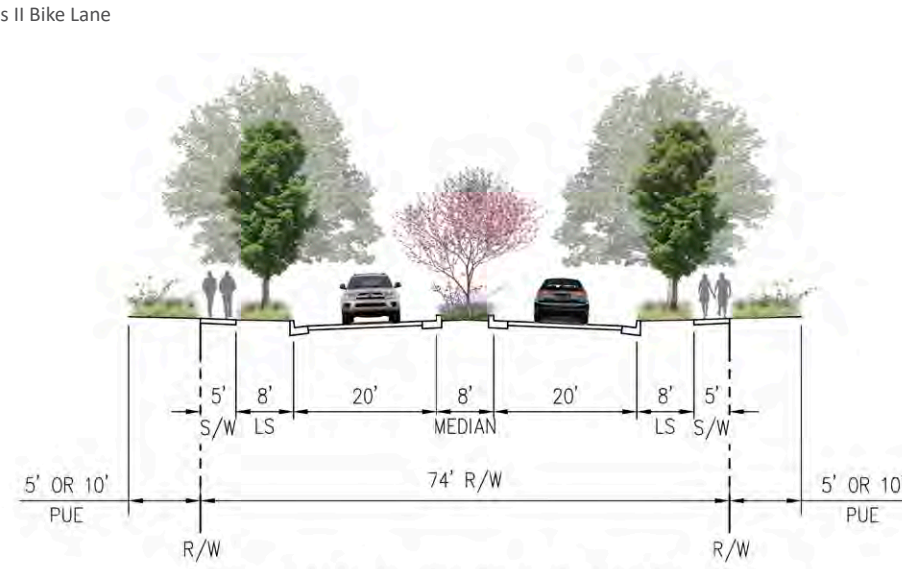


FIGURE 4.2 STREET SECTIONS



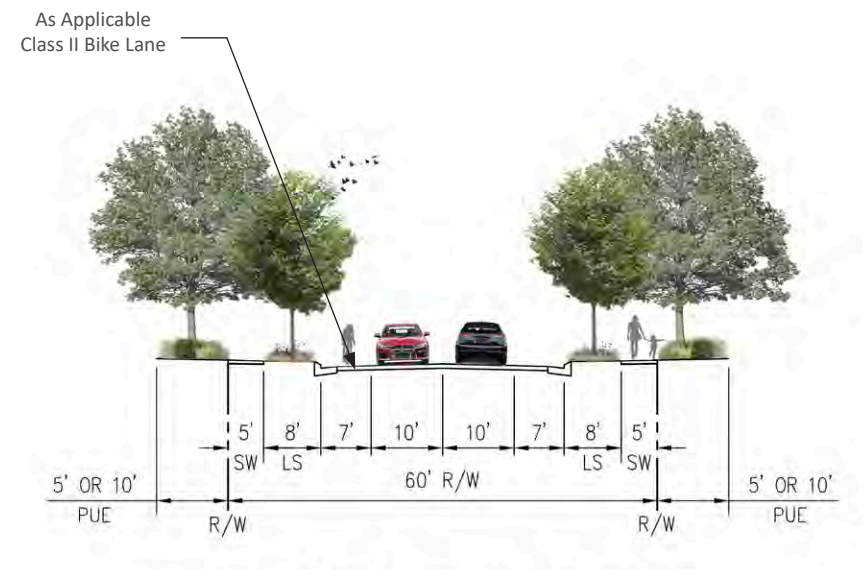
TYPICAL AGE RESTRICTED WIDE STREET ENTRY SECTION

NOT TO SCALE



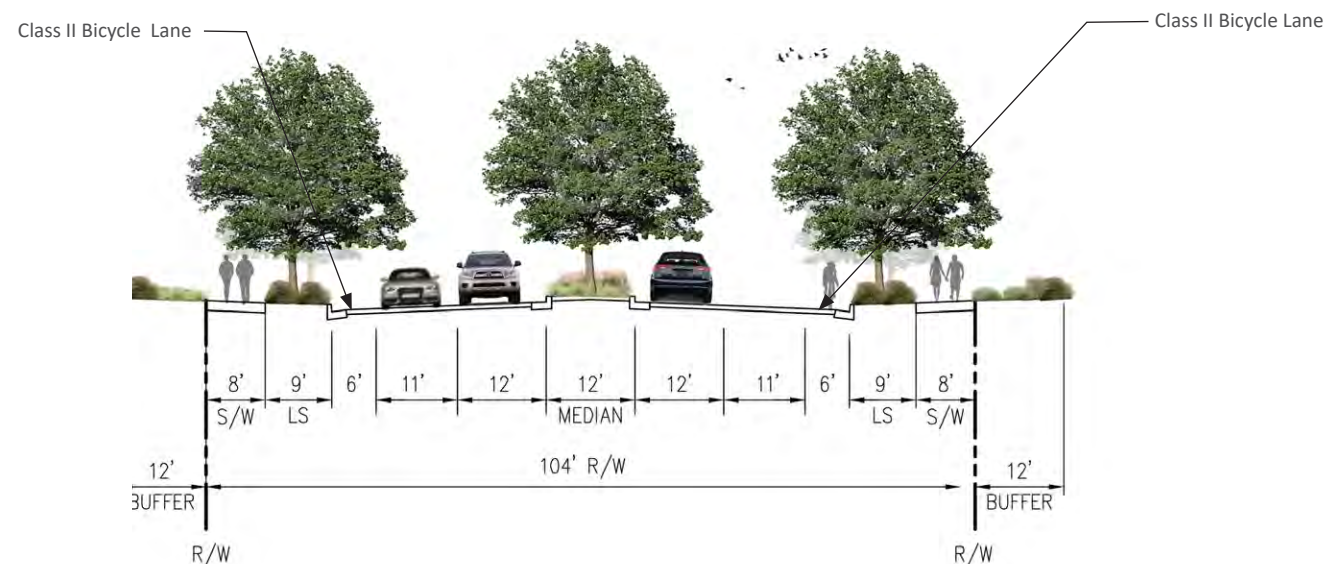
TYPICAL NEIGHBORHOOD STREET ENTRY SECTION

NOT TO SCALE



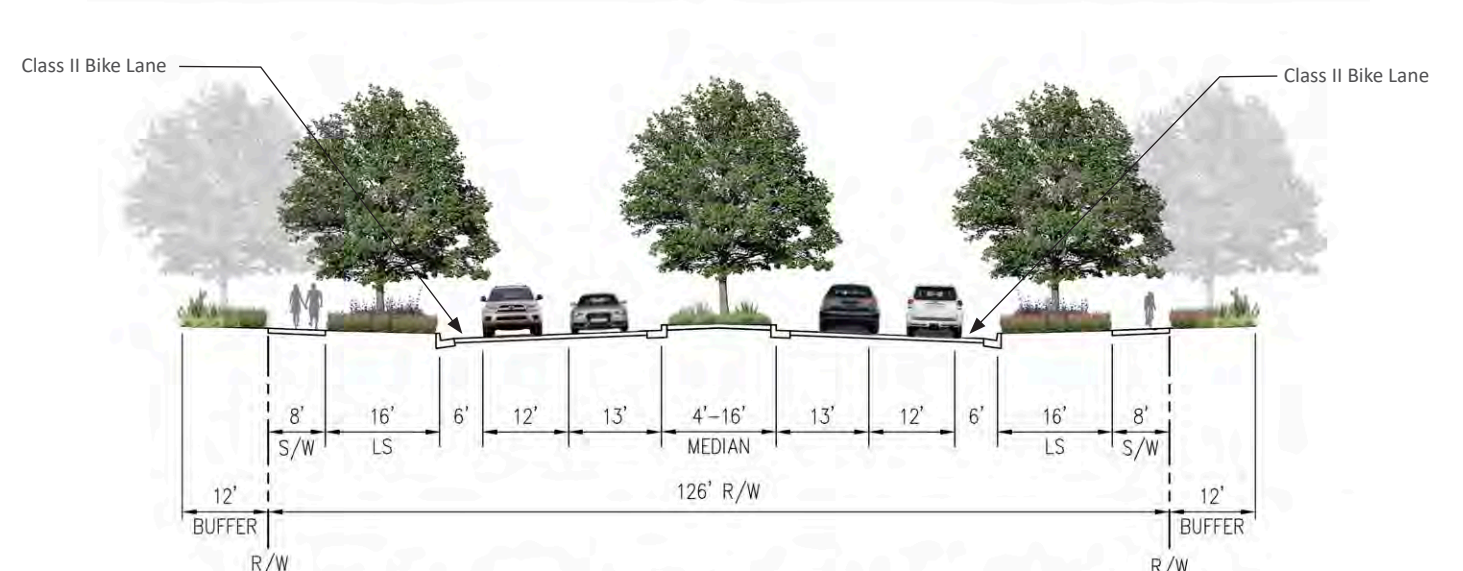
TYPICAL LOCAL STREET LANE SECTION

NOT TO SCALE



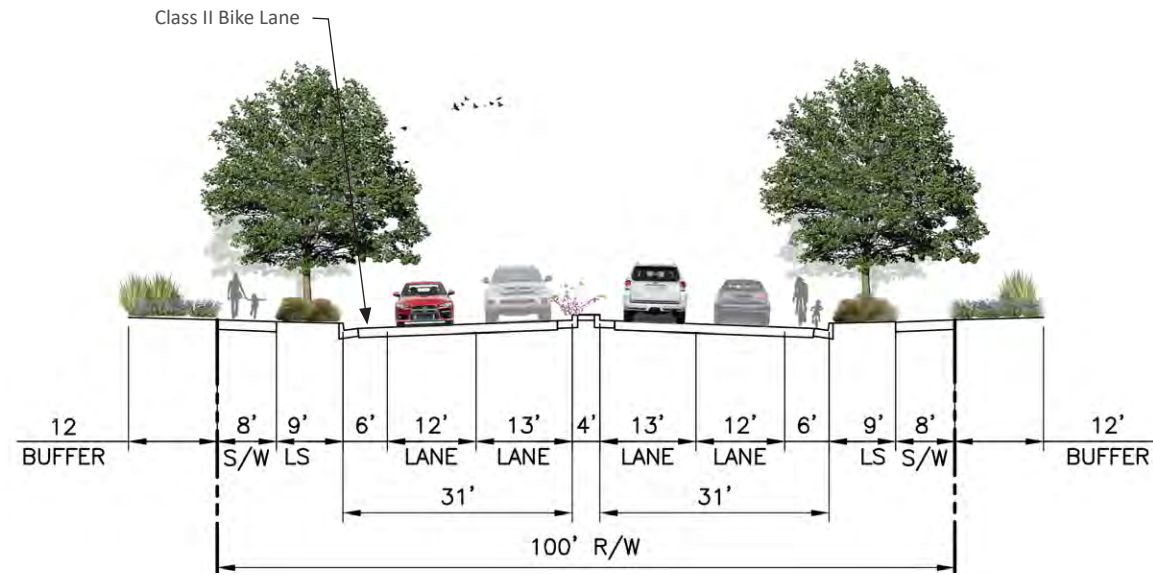
TYPICAL CALLERTON AVENUE COLLECTOR SECTION

NOT TO SCALE



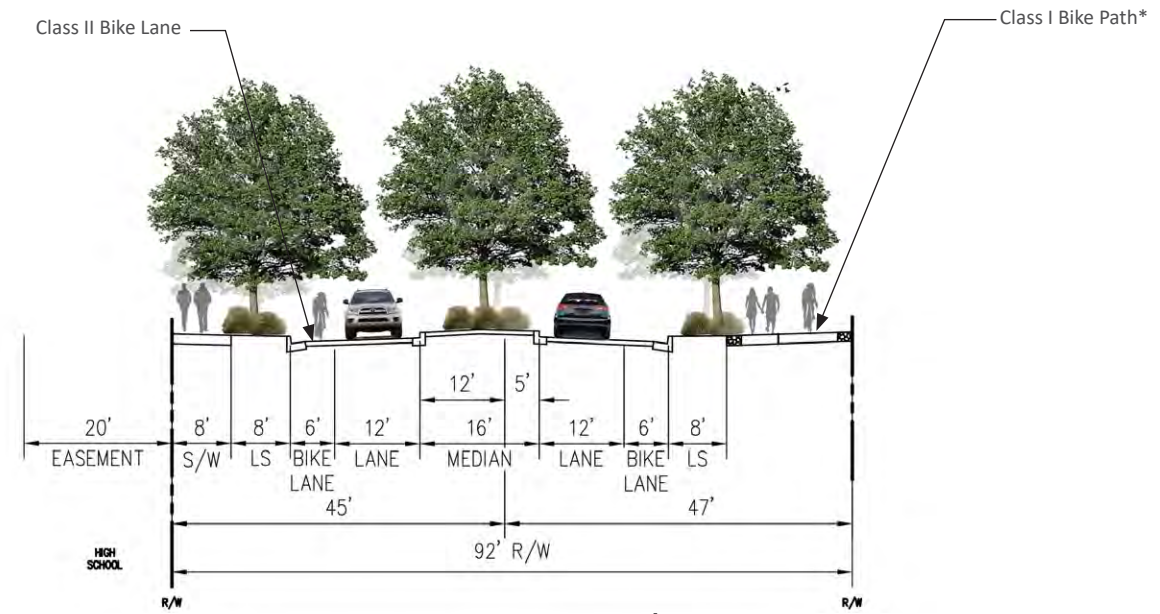
TYPICAL CAMBAY PARKWAY SECTION

NOT TO SCALE



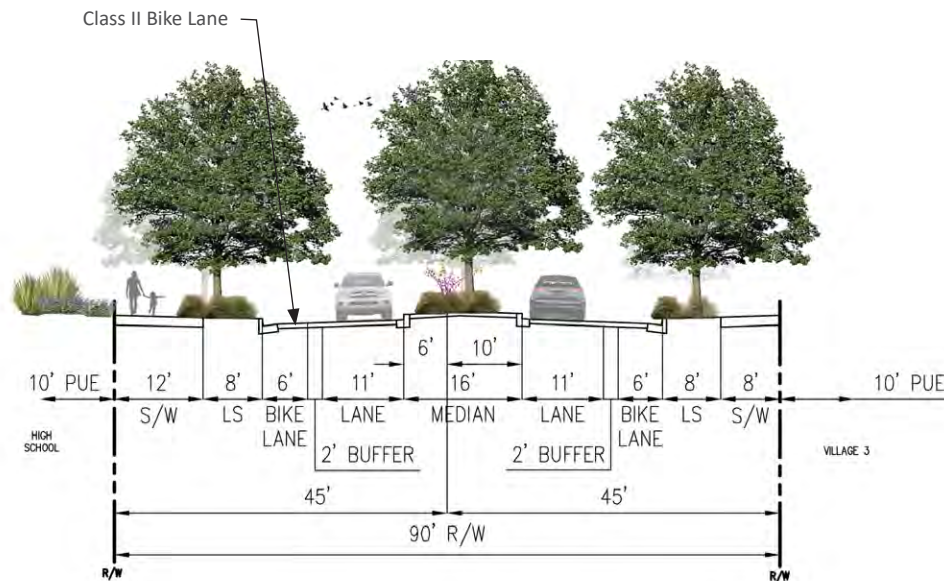
TYPICAL AGE RESTRICTED STREET ENTRY SECTION

NOT TO SCALE



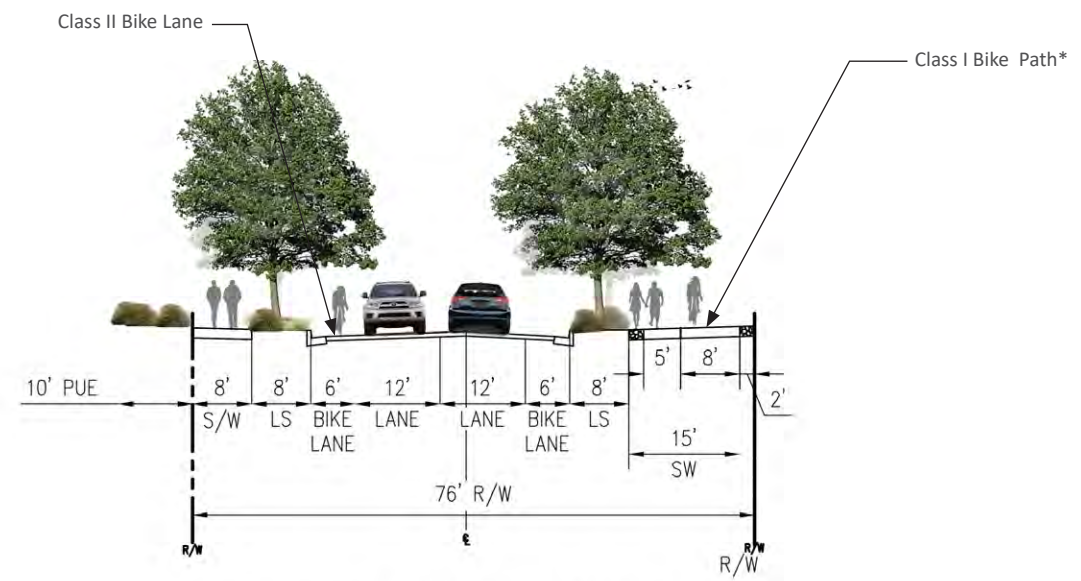
TYPICAL WINTON AVENUE AT 92' SECTION

NOT TO SCALE
*NOTE: MAINTAIN 8' HIGH MINIMUM VERTICAL CLEARANCE ALONG CLASS I BIKE PATHS.



TYPICAL P STREET SECTION

NOT TO SCALE



TYPICAL WINTON AVENUE AT 76' SECTION

NOT TO SCALE
*NOTE: MAINTAIN 8' HIGH MINIMUM VERTICAL CLEARANCE ALONG CLASS I BIKE PATHS.



Neighborhood Gateways

West Village encourages pedestrian connection to each of the communities and promotes interaction with the natural environment and community sense of place. Gateways should be inviting and comfortable to all pedestrians, create visual interest to passing vehicles, and be unique enough to create a sense of individuality and identity for each community.

Streets within West Village not only serve as important neighborhood gateways for vehicles, but also for pedestrians and bicyclists with safe and walkable sidewalks, landscape buffers, and wide trails to encourage non-motorized mobility throughout the community. Ornamental side plantings, street tree rows, and urban site features should be consistently used to provide aesthetic value and to promote community identity, while also using design elements to resemble the natural context of the delta water ways.



Neighborhood Entries

Neighborhood entries have been identified to establish more formal and traditional entrances to interior villages within West Village. The entries will be defined by structured plantings that differentiate themselves from more naturalized riparian plantings of surrounding collector streets. Plantings should include columnar trees along the edges of the roadways with flowering trees in entry medians.

Neighborhood entryways mark pedestrian entrances to each neighborhood within West Village. Designs should incorporate the large spatial environment of major street intersections and create a consistent and special feel. Each entry should have unique elements such as monument features that are typical of the surrounding delta water ways.

Entryways may include seating areas, patterns typical of row crops, paving materials typical of waterways (cobble and decomposed granite) and monuments such as light houses, windmills, sails, and nautical structures. These spaces may create inviting and interesting landmarks with way finding and community identity benefits.

FIGURE 4.3 NEIGHBORHOOD GATEWAYS



FIGURE 4.4 CALLERTON AVE AND BULLARD LANE GATEWAY CONCEPT PLAN



FIGURE 4.5 CALLERTON AVE AND HAVERHILL WAY GATEWAY CONCEPT PLAN

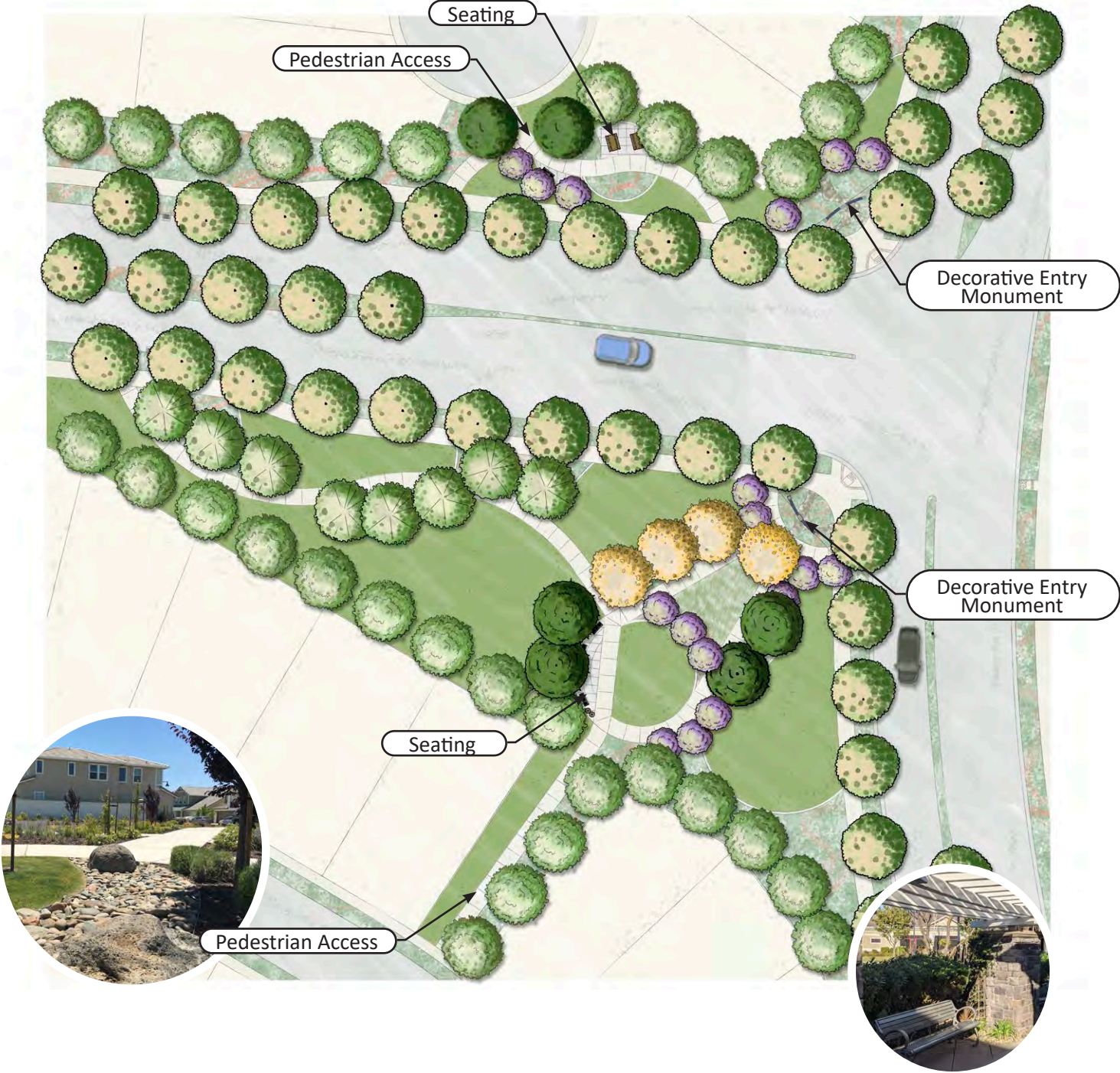


FIGURE 4.6 CAMBAY AND BRIARSTONE LANE GATEWAY CONCEPT PLAN

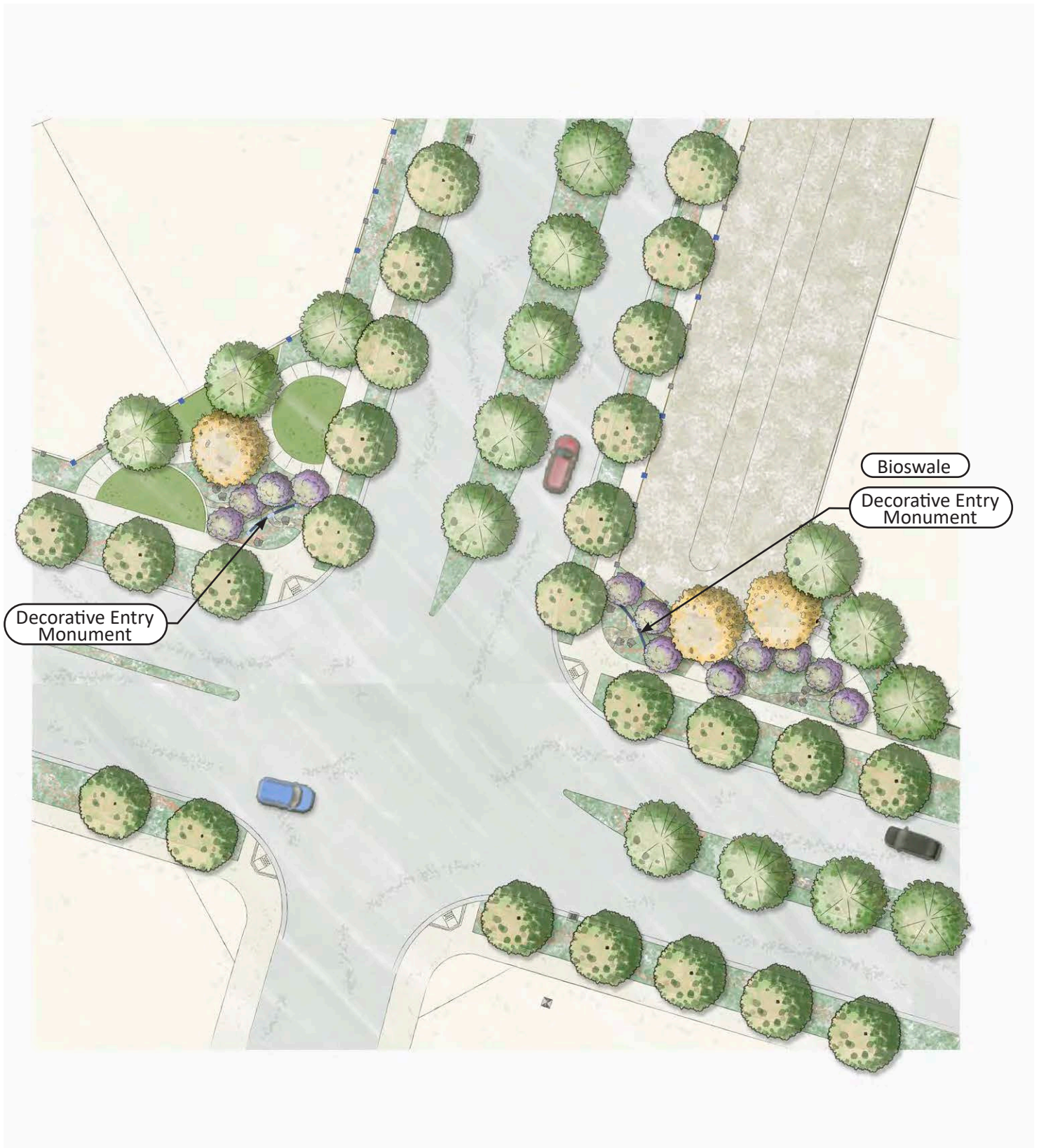
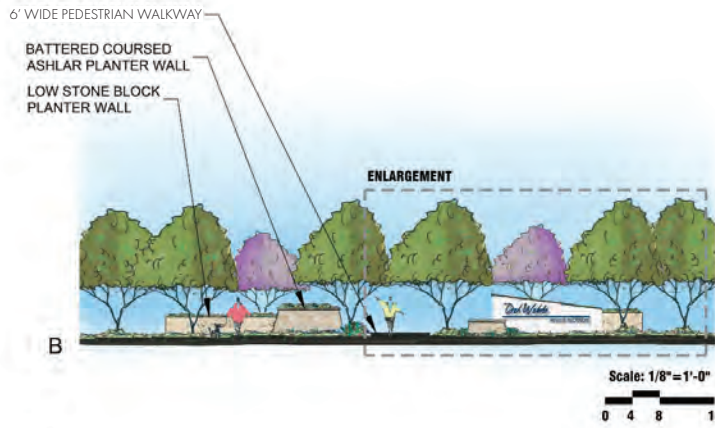
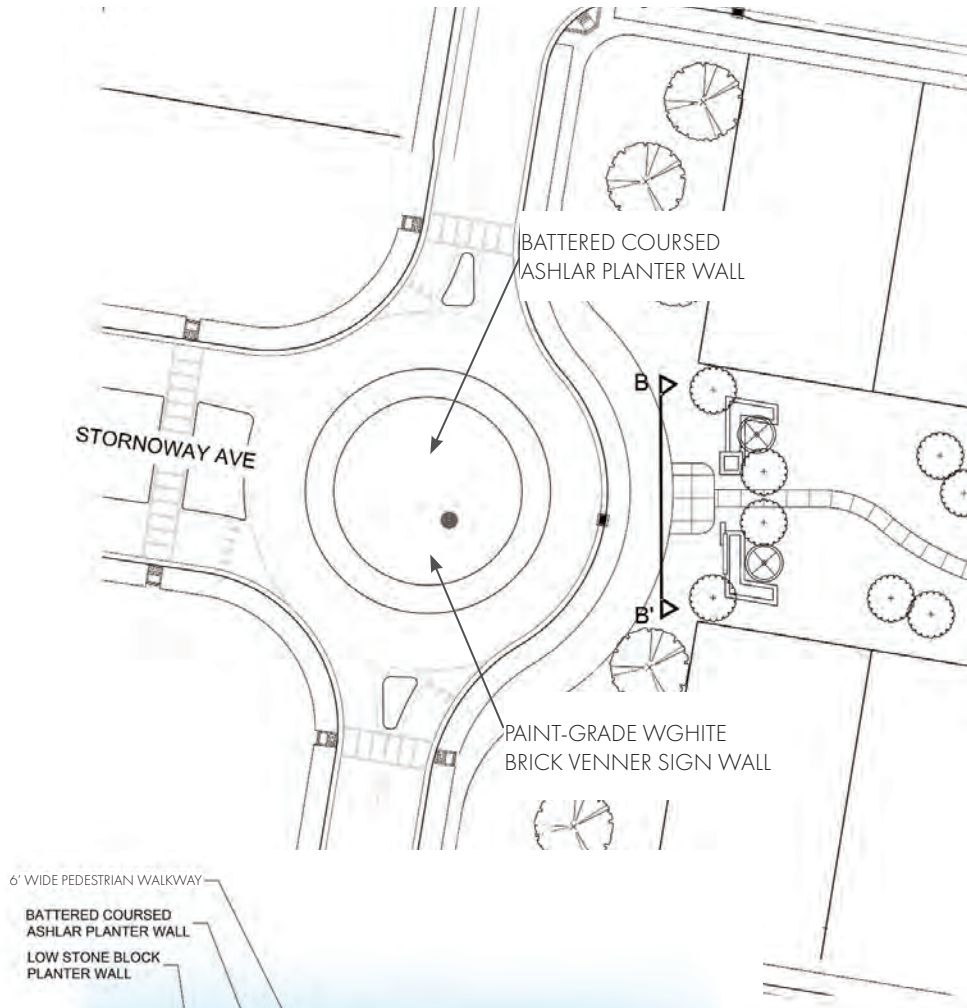


FIGURE 4.7 STORNOWAY AVE AND ADDISON AVE GATEWAY CONCEPT PLAN



FIGURE 4.8 STORNOWAY AVE AND ADDISON AVE MONUMENT CONCEPT



Note: Species selected should be low growing ($\leq 3'$) to avoid blocking line of sight to monument signage. Refer to Appendix B for specific plant species.



FIGURE 4.9 EXAMPLE TYPICAL ROUNDABOUT

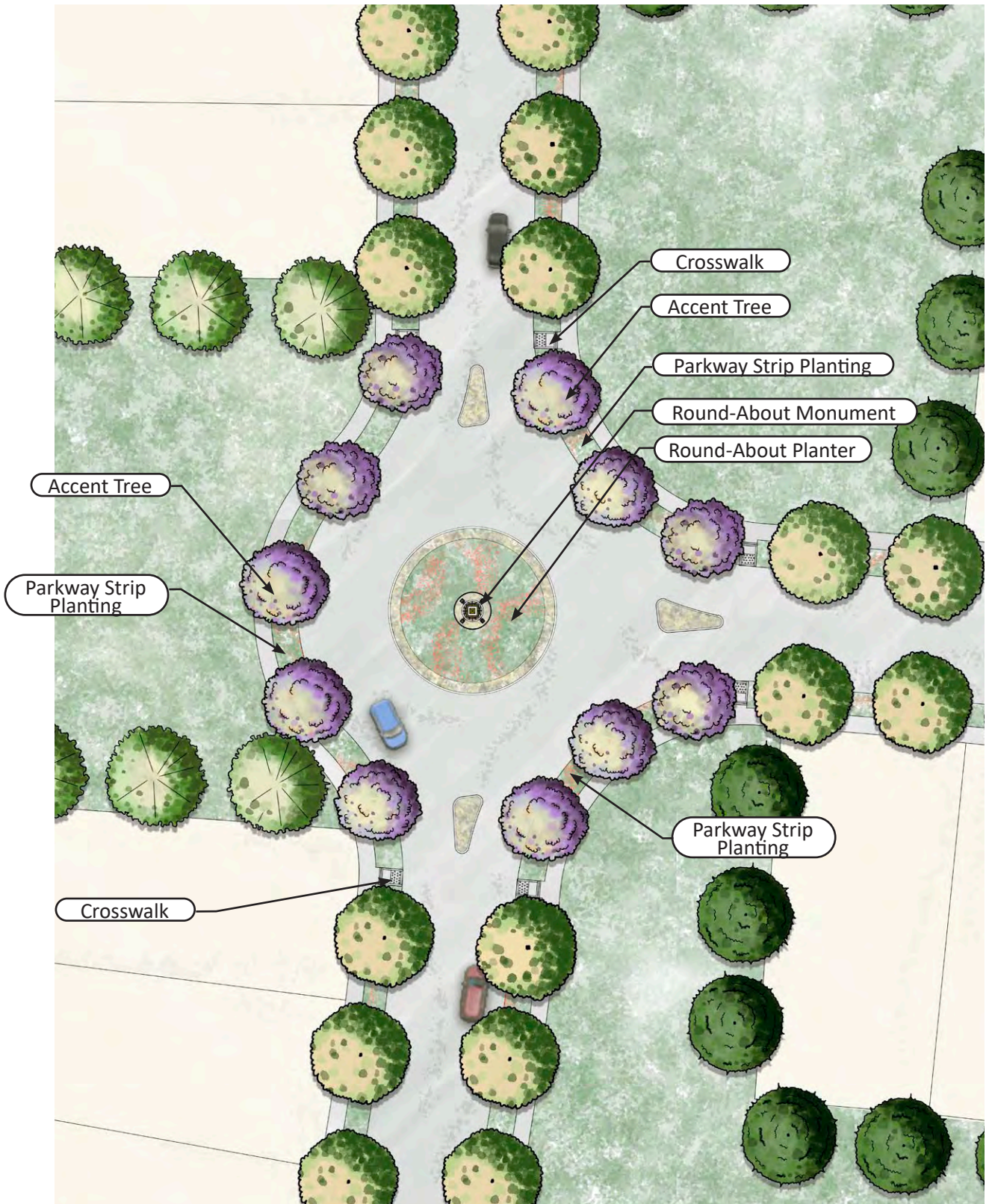


FIGURE 4.10 NEIGHBORHOOD ENTRIES



FIGURE 4.11 CALLERTON AT VILLAGE 1 GATEWAY CONCEPT PLAN



FIGURE 4.12 EXAMPLE MONUMENT SIGNAGE

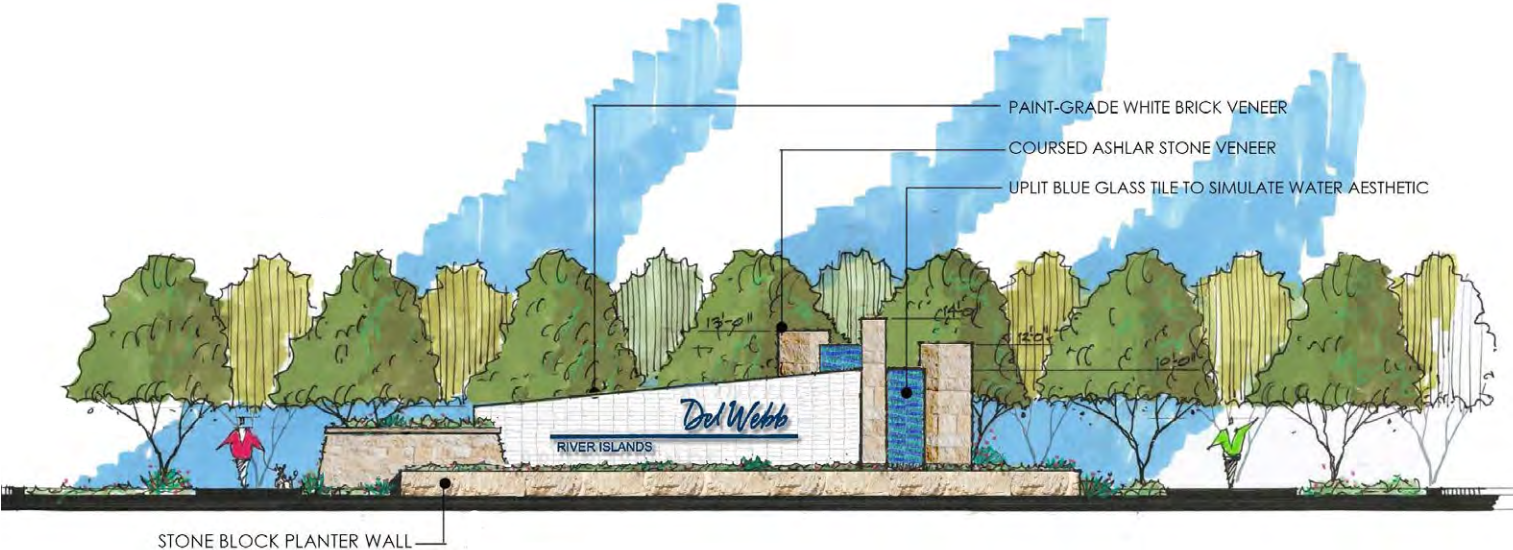


FIGURE 4.13 EXAMPLE ROUND-ABOUT MONUMENT SIGNAGE





Chapter 5

PARKS AND OPEN SPACE

PARKS AND OPEN SPACE

5.1 MASTER PLAN INTENT

The River Islands Phase 2 Parks Master Plan lays out the network of pocket, neighborhood and community parks, trails, and paseos within the River Islands master planned community. In addition to parks and open spaces that offer varying scales and levels of passive and active recreation, the Master Plan highlights the relationship between the community and the San Joaquin River by providing opportunities for water-oriented, outdoor living and recreation. Locations of parks and open spaces ensure that recreational amenities are accessible to all community members, including pedestrian and bicycle connections that facilitate non-vehicular circulation throughout the community and between park sites. Varying classes (Class I, II, and III) of bicycle paths are integrated to promote easy access to open space and extend cycling or running opportunities to River Islands and Lathrop residents. Parks are designed to support community members of all age and abilities.

A private amenity center is also provided exclusively for the age restricted neighborhoods. While not included in the Master Plan, it provides recreational and social facilities, amenities and programs for the residents of the age restricted community only.

5.2 COMMUNITY PARKS

Community parks often incorporate a variety of recreational programming that provide active and passive recreational opportunities for all. Most residents should be able to access a community park within 1/2 to 1 mile from their home. An ideal Community Park connects residents to outdoor recreation options, foster public growth and establishes collective identity.

Community Parks typically include a mixture of active and passive recreational opportunities and more variety of amenities than neighborhood parks. These may include sports fields (lighted and unlighted depending on programming), sport courts, concession stands, restrooms, amphitheaters or performing arts facilities, nature education opportunities, splash pads or other water-play features, dog parks, and fitness courses. The design may also include areas for specialty athletics and recreation.



The proposed community park in West Village is intended to be utilized by both the adjacent high school and the community under a joint use agreement with the school district.

5.3 POCKET PARKS

Lots and open space areas that front onto these lakes should present a canvas of creative and useful spaces that accommodate pedestrian activities for recreation and relaxation while providing views of the lakes and wildlife prevalent there. Landscape occurring behind single family detached parcels should create visual interest through a palette of plant material that contains varying textures, heights, and year round color variation in both flower and leaf color. Park spaces should celebrate the connection to the water and encourage both active and passive recreation to maximize this resource.







Lots with lake frontage shall maintain visual access from adjacent parcels to encourage visual access to surrounding spaces. Additionally, Pocket parks may also allow access to adjacent lots through boat access docks or observation platforms. No trees shall be planted along slopes outside of the backyard fenced areas. A decorative masonry column shall be placed at the property line of every Pocket Park.

5.4 LINEAR PARKS

Linear parks typically include a mixture of active and passive recreational opportunities, but with less amenities than neighborhood parks. Typical features include fitness equipment, benches, and tables. Linear parks do not qualify for Quimby Act credit. Linear parks can be designed for multiple functions and purposes and may function to connect park spaces with safe non-motorized paths that can be used by individuals and families to navigate the network of trails and parks while avoiding automobile traffic. They may be a combined vehicle and pedestrian parkway, act as a buffer between residential and commercial areas, or combine storm water conveyance infrastructure with non-motorized trails. In general, these trails also encourage pedestrian movement throughout the community while improving visibility and increasing observant “eyes” on the community. The West Village community is designed with a unique network of linear parks that offer West Village residents a tailored and diverse set of recreational activity. These linear parks are divided into different linear park types that have been programmed for different levels of activity and purpose based on location and size of the park. Illustrations shown in this NDP are conceptual. Linear park improvement plans should include the submittal of a security plan that will outline any proposed security measures, e.g. lighting and security cameras. Any lighting proposed shall not cause a nuisance to adjacent property owners and any security shall be the City’s policies regarding placement for privacy concerns.





FIGURE 5.1 WEST VILLAGE PARK DESIGNATION MAP

Park #	Park Name	AC.	MILES	Quimby Act	OWNERSHIP
--------	-----------	-----	-------	------------	-----------

Community Parks - - - - - 22.50

C2	Community Park 2	22.50			CITY
----	------------------	-------	--	--	------

Pocket Parks - - - - - 3.62

P-WV1	Pocket Park WV-1	0.19			RD 2062
P-WV2	Pocket Park WV-2	1.13			RD 2062
P-WV3	Pocket Park WV-3	0.48			RD 2062
P-WV4	Pocket Park WV-4	0.54			RD 2062
P-WV5	Pocket Park WV-5	0.46			RD 2062
P-WV6	Pocket Park WV-6	0.49			RD 2062
P-WV7	Pocket Park WV-7	0.33			RD 2062

Linear Parks - - - - - 12.92

LP2	Linear Park 2	2.59	0.28		RD 2062
LP3	Linear Park 3	1.36	0.19		RD 2062
LP4	Linear Park 4	0.35	0.04		RD 2062
LP5	Linear Park 5	5.68	0.48		RD 2062
LP6	Linear Park 6	0.90	0.14		RD 2062
LP7	Linear Park 7	0.55	0.06		RD 2062
LP9	Linear Park 9	1.48	0.72		RD 2062

Private Park - - - - - 6.0 acres

Open Space - - - - - 19.35 acres

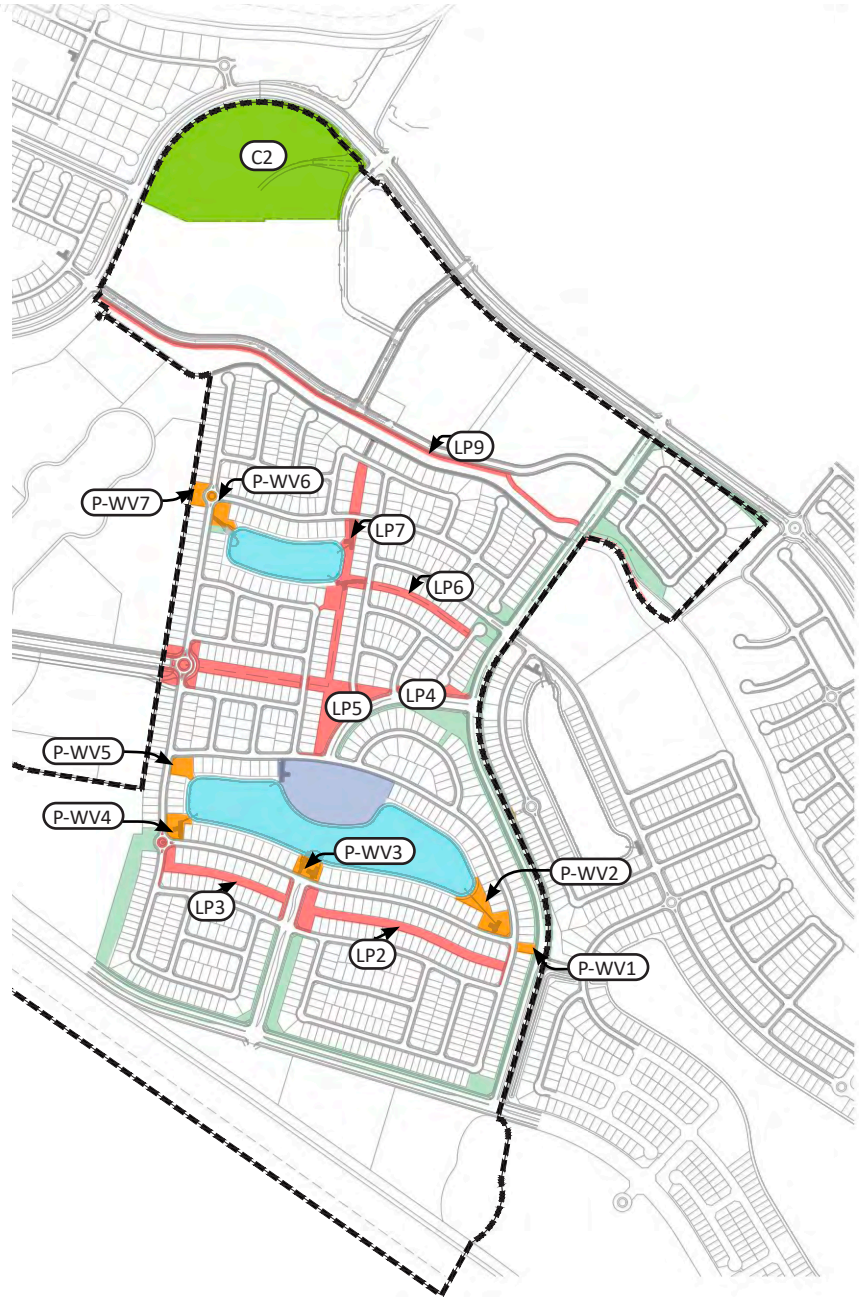
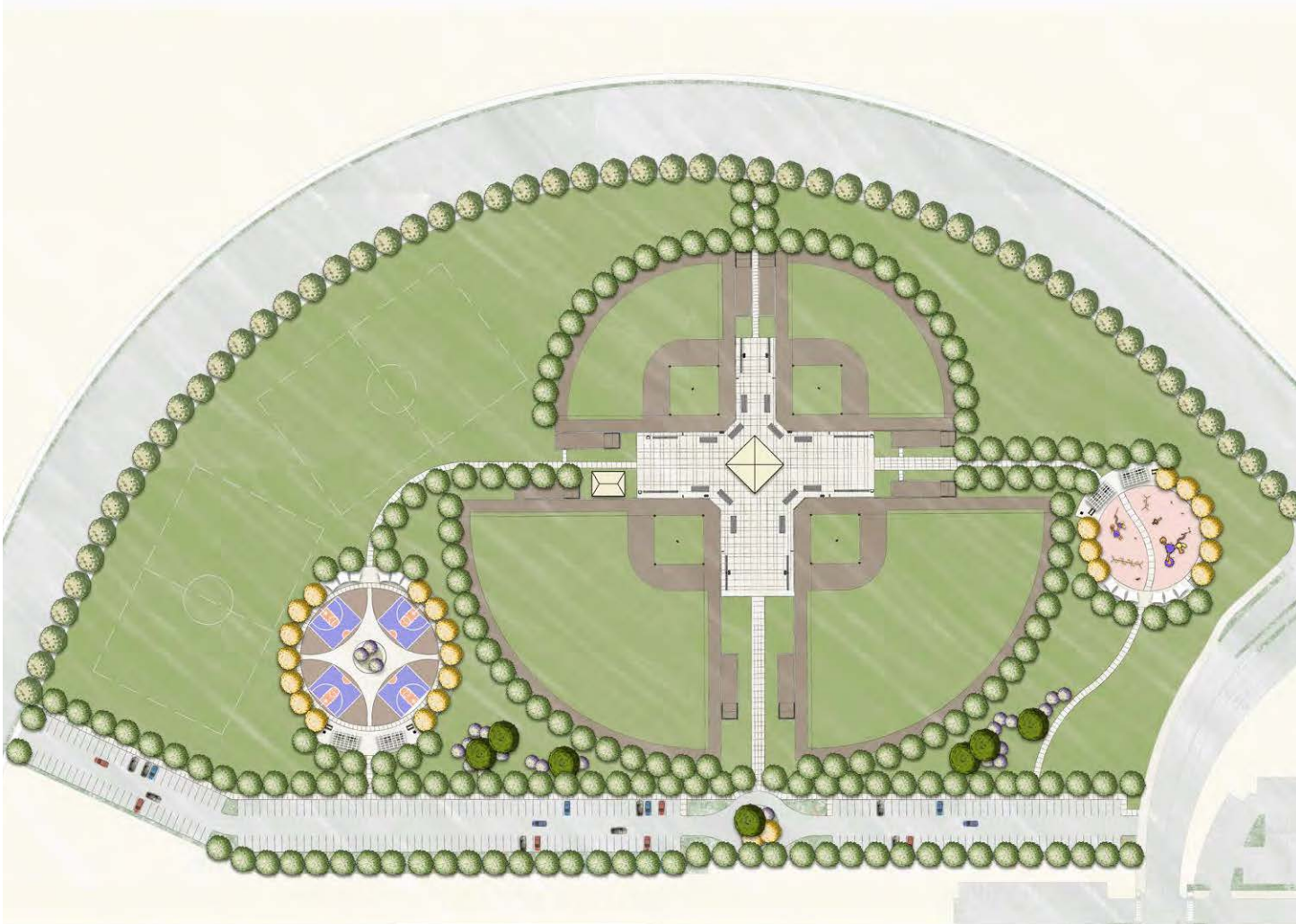


FIGURE 5.2 COMMUNITY PARK 2



For illustrative purposes only

PARK AMENITIES

- (2) Adult Softball
- (2) Youth Softball
- (4) Half Basketball Court
- (2) Soccer Fields
- Storage Space for Sports Equipment
- On-Site Parking Lot
- Playground
- Shade Structures and Picnic Tables
- BBQ
- Open Space
- Benches

Note: All amenities and programming will comply with the approved River Islands Phase 2 Parks Master Plan.



FIGURE 5.3 POCKET PARK WV-1



PARK AMENITIES

- Benches
- Open Lawn Space

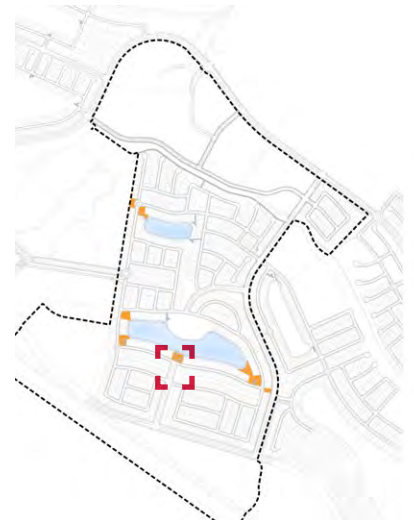
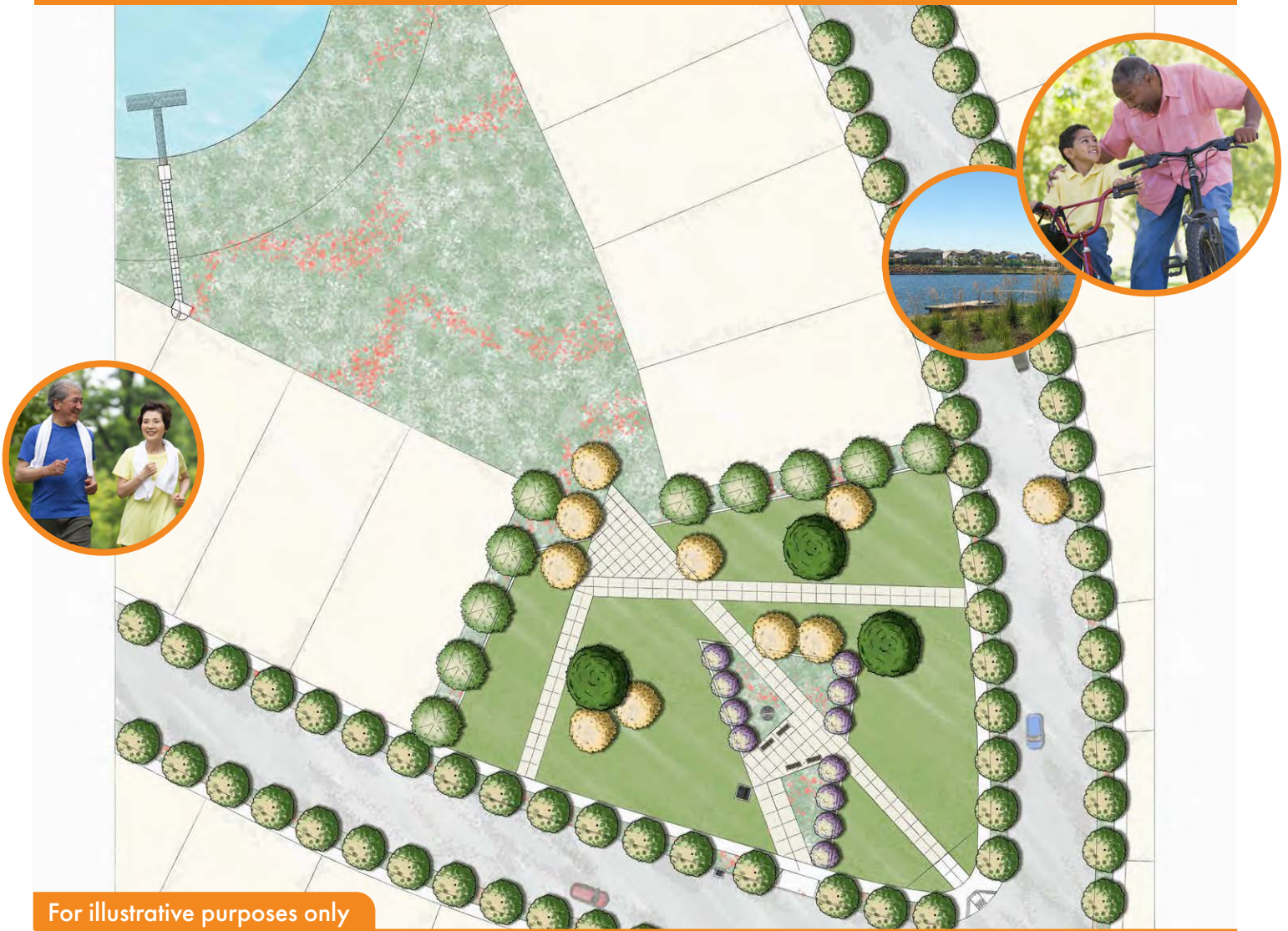


FIGURE 5.4 POCKET PARK WV-2

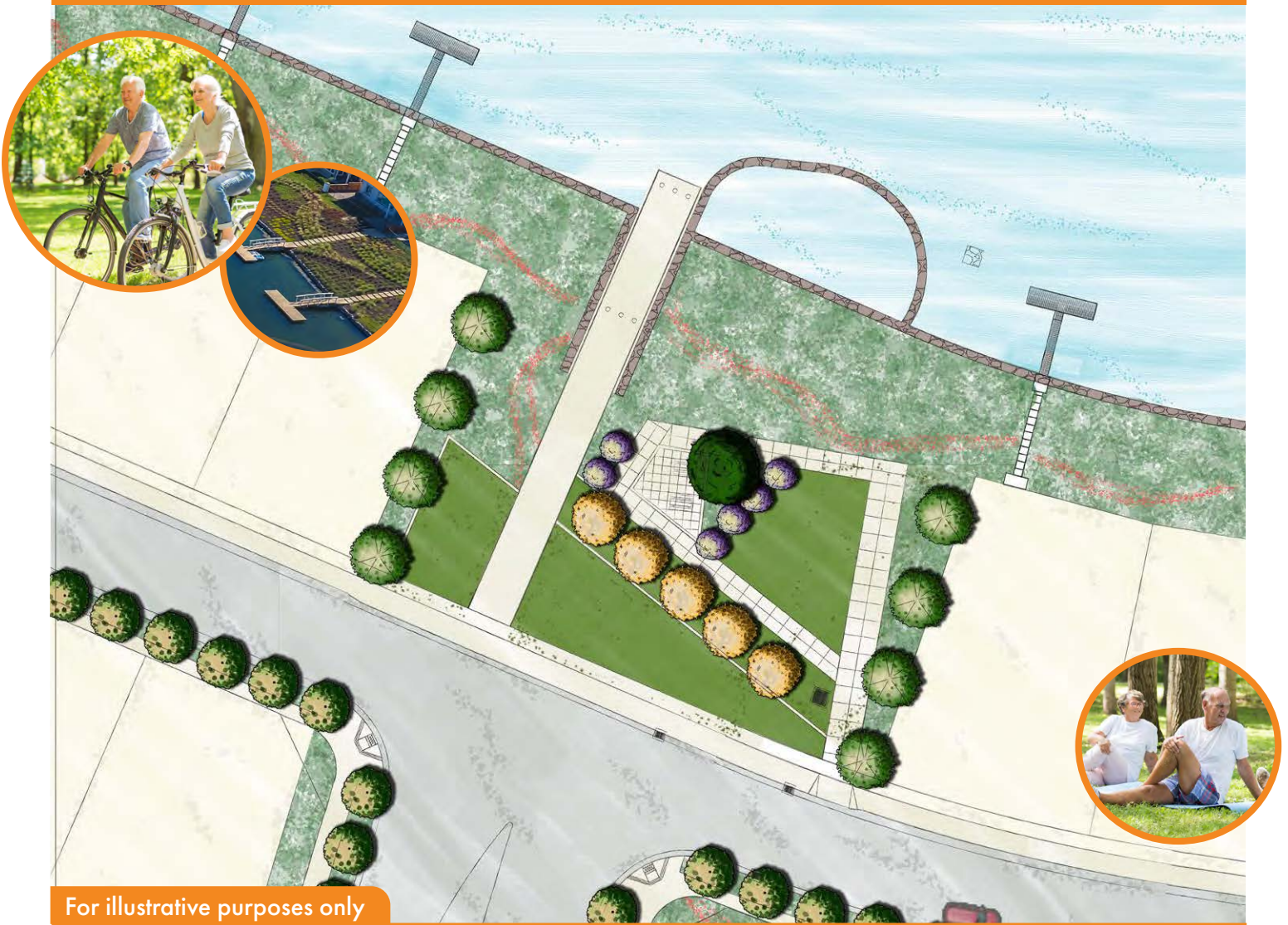


PARK AMENITIES

- Benches
- Open Lawn Space
- Workout Station/Equipment
- Lake Overlook



FIGURE 5.5 POCKET PARK WV-3



PARK AMENITIES

- Benches
- Open Lawn Space
- Workout Station/Equipment
- Lake Overlook
- Emergency/Maintenance Lake Boat Access

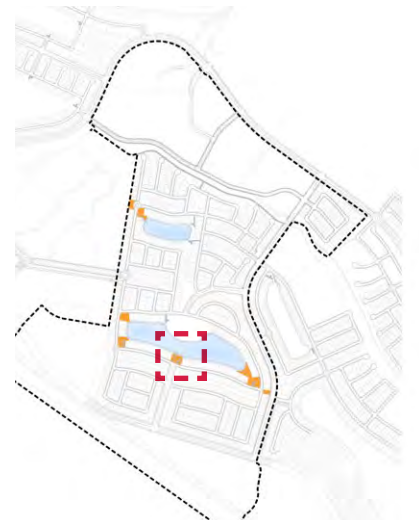


FIGURE 5.6 POCKET PARK WV-4

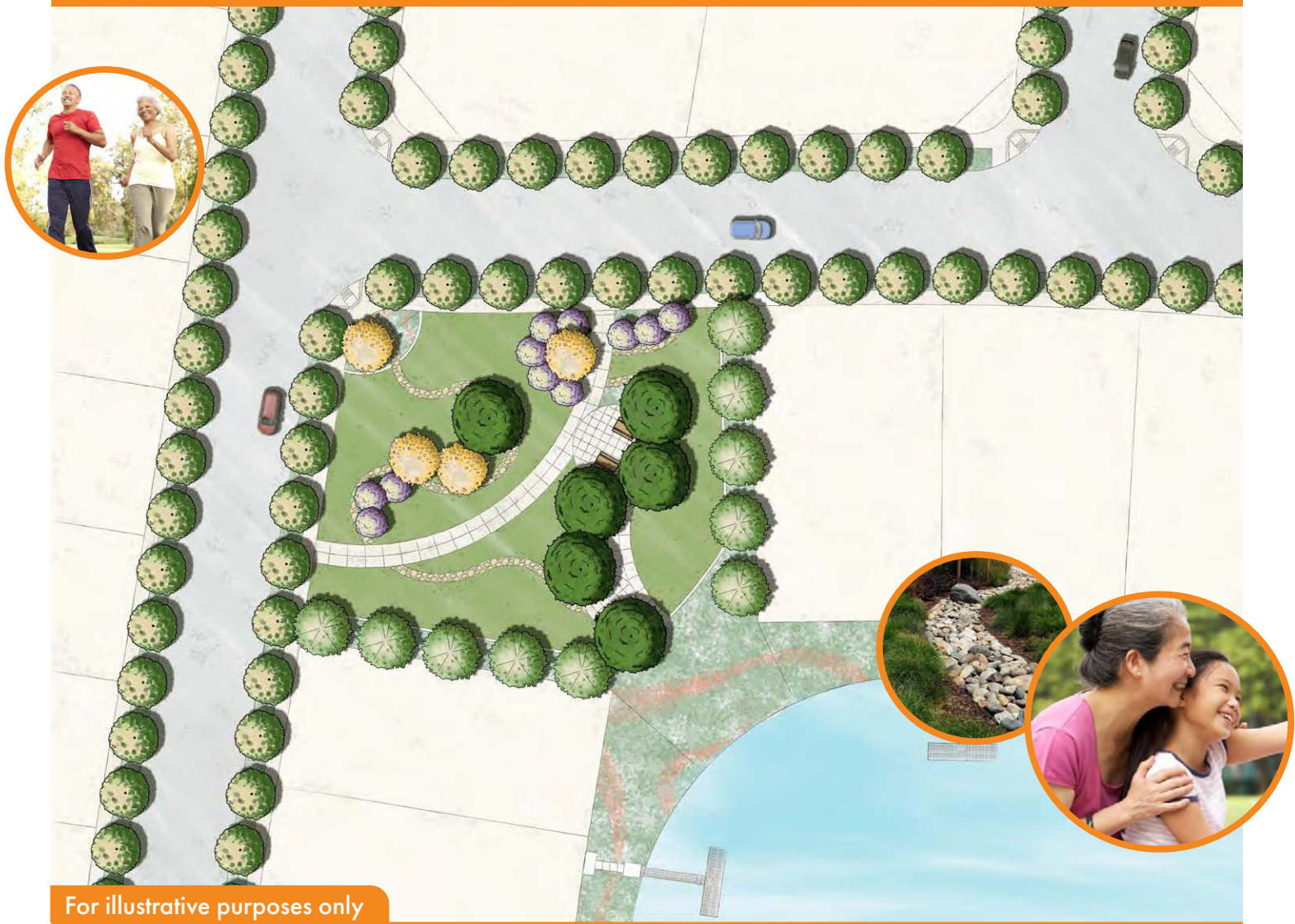


PARK AMENITIES

- Benches
- Open Lawn Space
- Workout Station/Equipment
- Lake Overlook



FIGURE 5.7 POCKET PARK WV-5



For illustrative purposes only

PARK AMENITIES

- Benches
- Open Lawn Space
- Workout Station/Equipment
- Lake Overlook

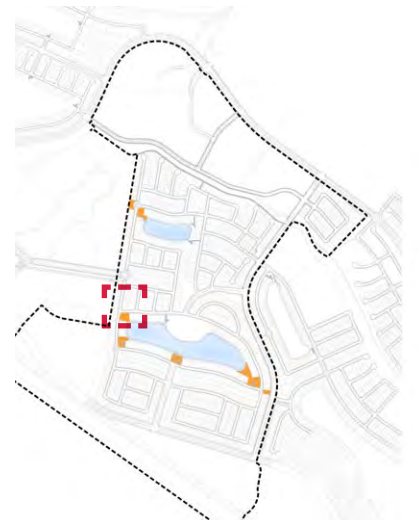
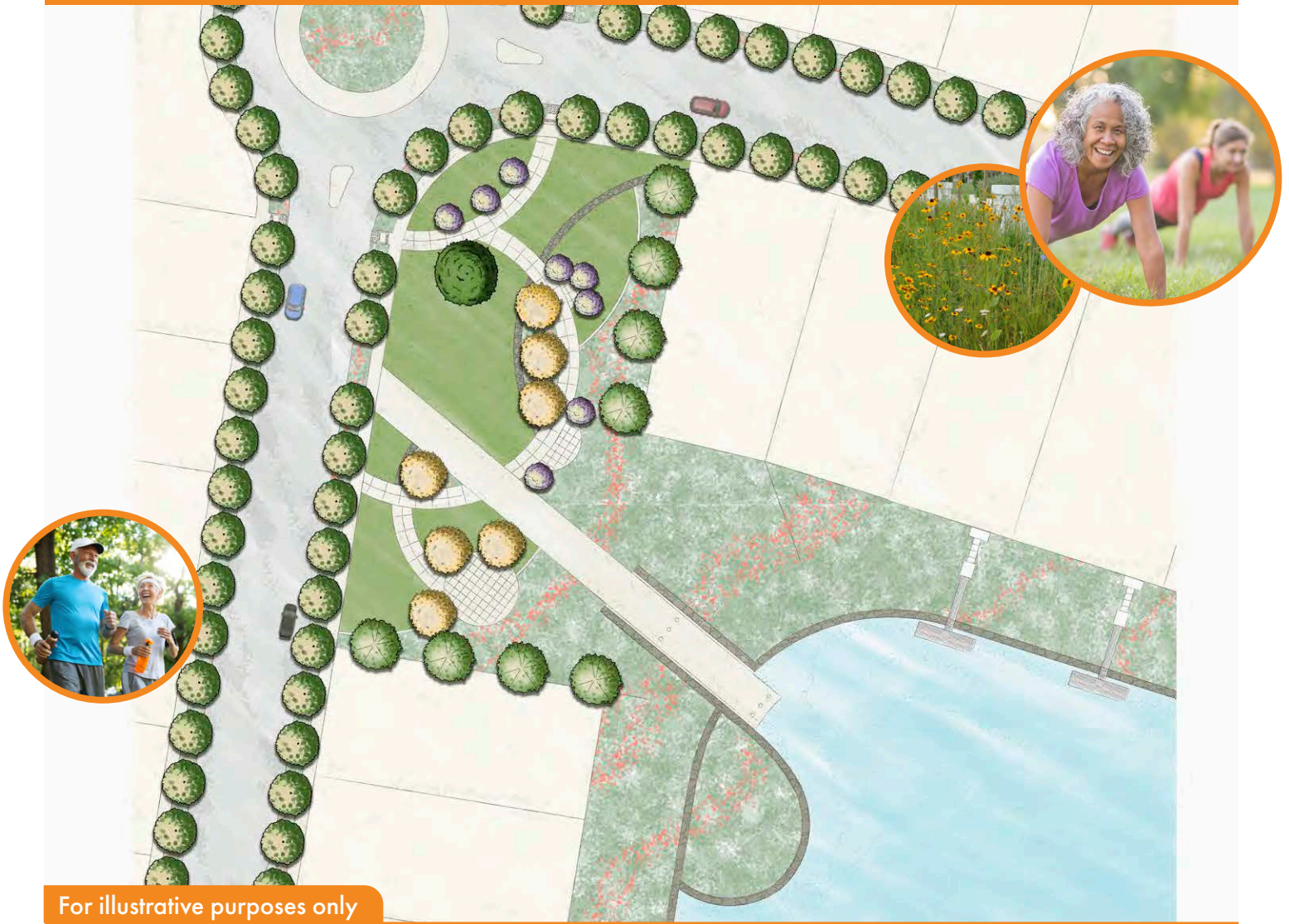


FIGURE 5.8 POCKET PARK WV-6

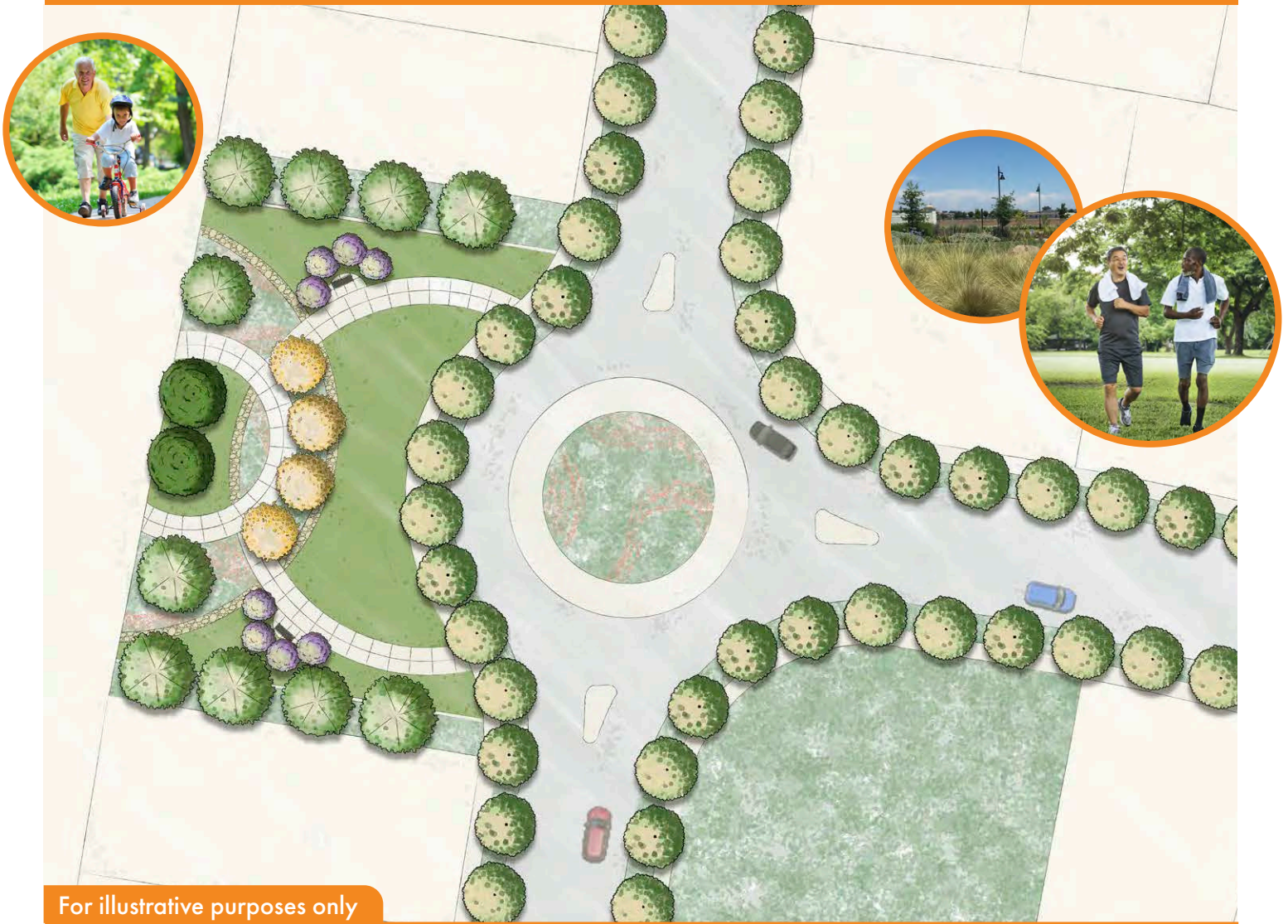


PARK AMENITIES

- Benches
- Open Lawn Space
- Workout Station/Equipment
- Emergency/Maintenance Lake Boat Access



FIGURE 5.9 POCKET PARK WV-7



PARK AMENITIES

- Benches
- Open Lawn Space
- Workout Station/Equipment

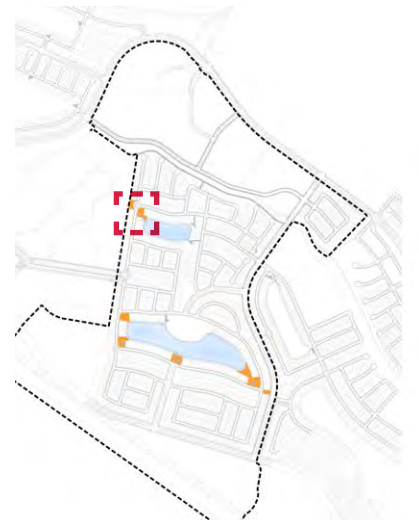
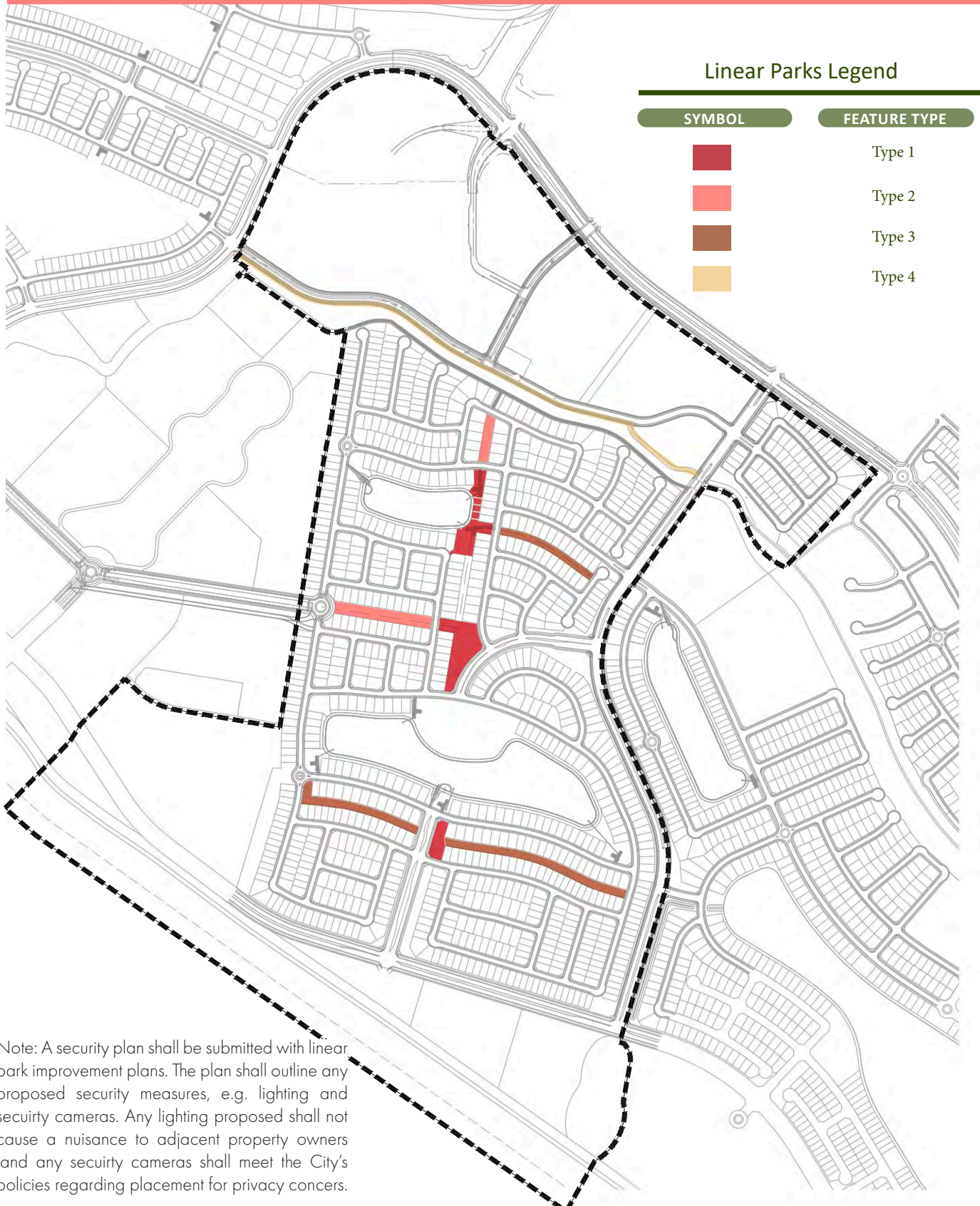


FIGURE 5.10 LINEAR PARK GENERAL MAP



Note: A security plan shall be submitted with linear park improvement plans. The plan shall outline any proposed security measures, e.g. lighting and security cameras. Any lighting proposed shall not cause a nuisance to adjacent property owners ,and any security cameras shall meet the City's policies regarding placement for privacy concerns.

FIGURE 5.11 TYPICAL LINEAR PARK CONCEPT TYPE 1



For illustrative purposes only

PARK AMENITIES

- Dog Park
- Open Lawn Space
- Community Gardens
- Walking Trails
- Gathering Spaces
- Picnic Tables

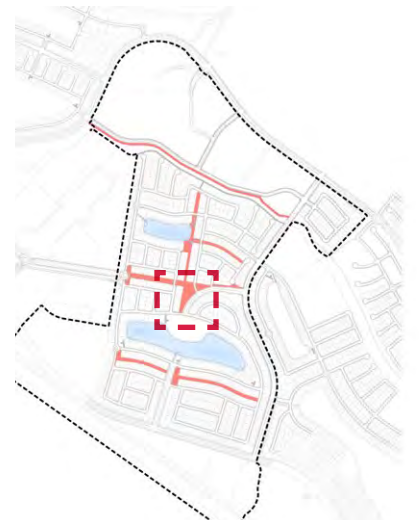


FIGURE 5.12 TYPICAL LINEAR PARK CONCEPT TYPE 1



For illustrative purposes only

PARK AMENITIES

- Picnic Tables
- Open Lawn Space
- Lake Overlook
- Walking Trails

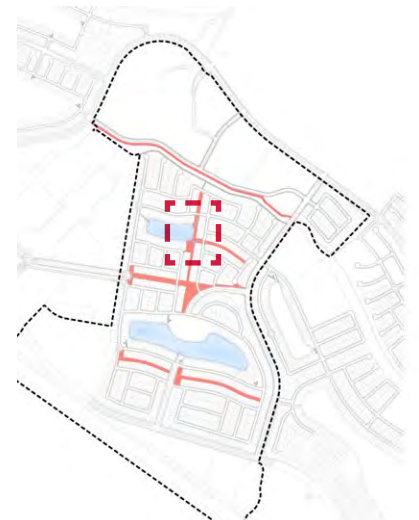


FIGURE 5.13 TYPICAL LINEAR PARK CONCEPT TYPE 1



For illustrative purposes only

PARK AMENITIES

- Open Lawn Space
- Walking Trails
- Community Garden
- Pickleball Court (1)



FIGURE 5.14 TYPICAL LINEAR PARK CONCEPT TYPE 2



For illustrative purposes only

PARK AMENITIES

- Small Gathering Spaces
- Picnic Tables
- Open Lawn Space
- Walking Trail



FIGURE 5.15 TYPICAL LINEAR PARK CONCEPT TYPE 3



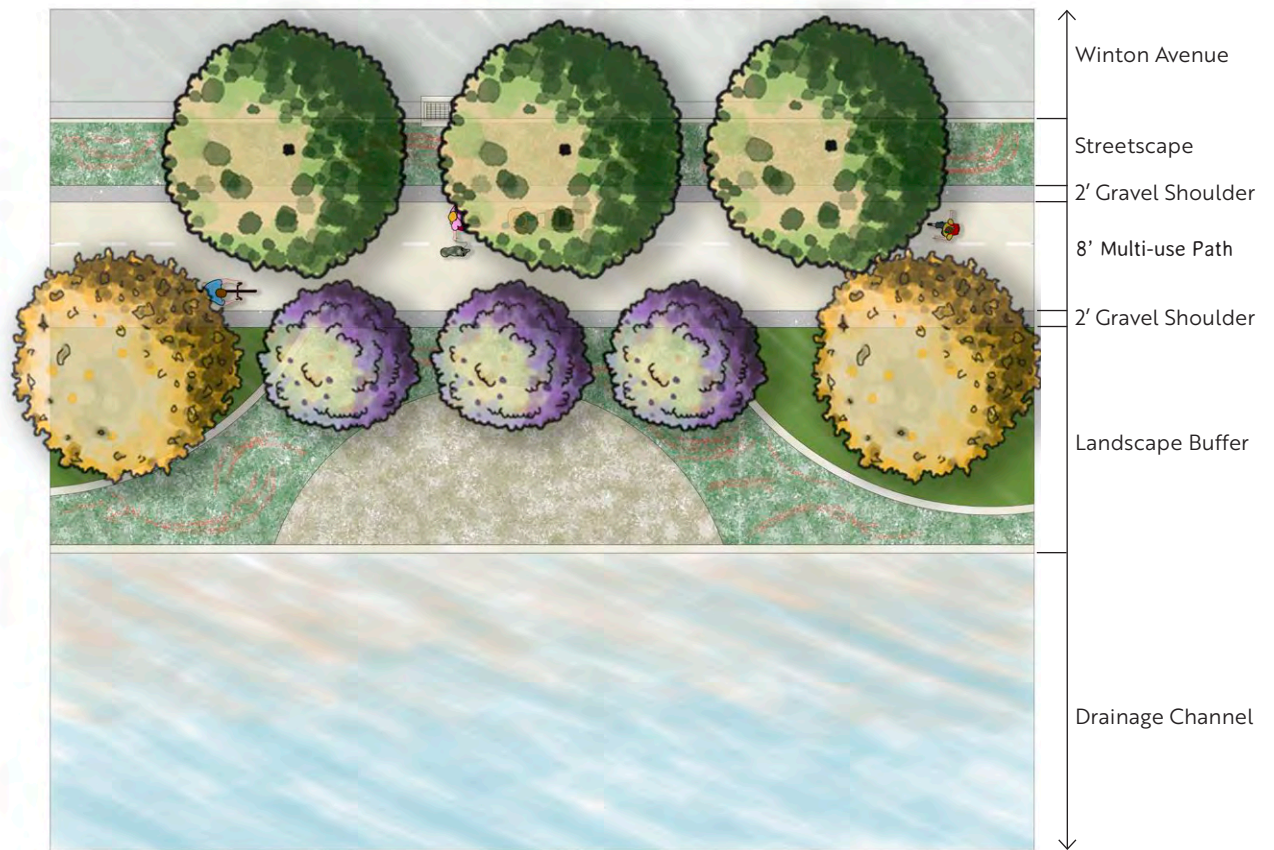
For illustrative purposes only

PARK AMENITIES

- Small Gathering Space
- Open Lawn Space
- Walking Trail



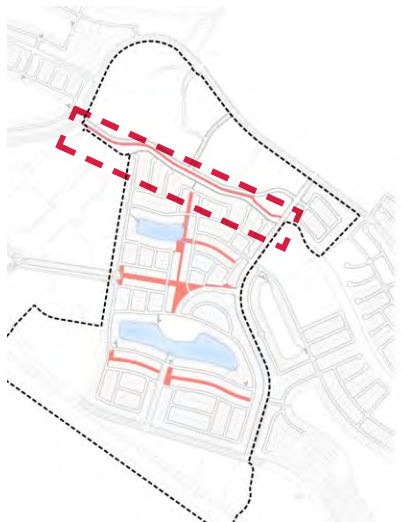
FIGURE 5.16 TYPICAL LINEAR PARK CONCEPT TYPE 4



For illustrative purposes only

PARK AMENITIES

- Class I Bike Trail
- Walking Path





Chapter 6

LANDSCAPE AND PLANTING



LANDSCAPE AND PLANTING

6.1 LANDSCAPE PLAN

River Islands will be responsible for the design, construction and maintenance of all public use areas within the Phase 2 West Village (see Figure 2.2). These include but are not limited to: public streets (also referred to as streetscapes), parks, trails, open-space lake frontage, levees and/or river edges. In some cases, builders will be responsible for levee installation.

Ongoing maintenance will be continued under the jurisdiction of one of the following agencies, including but not limited to: River Islands Public Finance Authority, RD 2062 and the City of Lathrop. Individual use areas will be assigned to specific jurisdictions based upon their overall facility use.

Generally, each builder will be responsible for landscaping individual private yards, parkway strips, alleys, courtyards, private parks and rear yard lake frontage. Homeowners will be responsible for private yard areas (front yards and backyards) enclosed within fenced areas and parkway strips along their street frontages. Homes with rear yard lake frontage will be irrigated and installed by the individual builder through a common design. Following construction, the rear yard lake frontage will be irrigated by a common area irrigation service.

Construction Intent of Landscape Areas

Construction of individual landscape areas will be based upon phasing and builder programs. Preferred schedule for the installation of landscape and maintenance of streetscapes will be as follows:

- Developer/Builder will install individual tract improvements (including underground utilities (wet & dry), curbs and



- sidewalks, finished road surfaces and perimeter walls/fences.
- Developer/Builder will then install all pertinent landscape improvements to off-site areas including streetscapes, parks, and open space lake frontages.
- Builder will then build individual homes and in-tract (property line) fencing.
- Builder will then install front yard landscape and parkway landscape strips. For the lots that abut the lakes, the builder will install landscape areas adjacent to lake areas with homeowners responsible for lake slope maintenance.
- Homeowners will maintain their own parkway strip landscape areas including the irrigation which is part of their isolated irrigation system.
- Parkway strip landscape areas at the neighborhood entries will be installed by the developer and will be maintained by the appropriate jurisdiction. Neighborhood entries may include the parkway strip areas between the curb and sidewalk from the primary collector street down to the first cross-street in-tract.
- In some cases individual lots may include a side-yard or rear-yard slope area that is not owned by a public agency in which this area will be granted as an easement to the property owner and said property owner may landscape, irrigate and maintain the slope area in conformance to the public agencies requirements. The property owner must grant the public agency access for inspection of slope areas on an as needed basis.
- Landscape areas may also include medians and landscape areas from the back of the sidewalks to the side-yard fences from the collector street to the first cross-street in-tract.

Proposed Plant Materials



Plant materials will be selected from the Appendix starting on page 84. Appropriate Plant Species List for Parks & Open Spaces within River Islands Phase 2 West Village. Alternative species may be substituted or added and will be considered by the River Islands Architectural Review Board (RIARB) based on the suitability of the species in terms of similarity of theme, characteristics, size, form, tolerance of climatic conditions, soil requirements and water usage.



Planting themes have been selected to mimic existing characteristics and habitat of the delta waterways and vegetated agricultural hedgerows. Plant material selection should strongly consider the use of drought-tolerant, durable and long-lived species that give the appearance and imagery of the Delta Valley. Species should be well adapted to the climatic conditions and soil types typical of the River Islands Development. Robust evergreen shrub species intermixed with flowering native shrub species are strongly encouraged. Large naturally shaped flowering shrub species should be selected to mimic the image of traditional hedgerows typical of the surrounding agricultural region. Flowering species that create year-round interest are of high preference.

Plant and tree selections should avoid varieties with invasive characteristics, such as: surface roots that can spread, creating trip hazards or that can be destructive to surrounding curbs and walls, species that produce large wind blown seed varieties that become invasive or destructive, varieties that are extremely allergenic and varieties with toxic properties that can be ingested by humans or animals.

While fruiting varieties of trees or shrubs may hearken to the true agricultural use of the River Islands project, the use of such species can create maintenance challenges and become problematic as litter creating rodent or pest problems. These species should be avoided except in specific locations where maintenance and control can be exercised.

Plant selections should be determined based upon natural shape of species with minimal pruning or maintenance. Shrubs should be considered for use as a screen of fences or utility structures. Evergreen plant material as a background is preferable to maintain year-round screening, however, the usage of decorative deciduous plant species is desirable and recommended with care being taken to maintain year-round interest and structure. Spacing of plant material should be selected based upon the species being utilized to create fullness and allow for ultimate growth impact.



The use of traditional “lawn” species and spaces should be limited to parks and open spaces that should encourage recreational uses unless individual builders incorporate grey water usage. Drought-tolerant, durable and long-lived ground cover species that maintain a year round cover and interest through leaf structure or flower varieties should be encouraged. When “lawn” species are utilized, varieties should include deep rooting species that use less water than traditional varieties. The use and application of “lawn” species shall follow the guidelines and requirements set for in the California Water Efficient Landscape Ordinance (MWELO).

Tree varieties should be selected to imitate a rural Delta Valley aesthetic and should include a predominance of Oak species typical in valley habitats. Evergreen varieties should be used to frame and give additional interest year-round to selected areas. Flowering or accent trees should be selected for year-round interest through flower characteristics, branching patterns, bark color and shape.

Private Landscape Areas

Design of private landscape areas should incorporate energy efficient methodologies such as the use of local materials, local suppliers and natural on-site composting through mulching to reduce green waste. Plant material should be selected to reduce constant pruning and sheering to reduce green waste. Tree species should be selected to encourage solar gain during the winter months and to shade windows and large walls to reduce energy consumption during the summer months. Irrigation of private landscape spaces should be installed and should conform to current state water reduction mandates and AB1881.

Landscape plans for all areas shall be prepared by a landscape architect licensed to practice in the State of California.



FIGURE 6.1 PARKWAY STRIPS

PARKWAY STRIP MASTER PLANT LIST

VILLAGE / STREET	STREET / DIRECTION	BOTANICAL NAME	PLANT SPACING
VILLAGE 1	East/West	Arctostaphylos 'Pacific Mist'	36" O.C.
	North/South	Juniper	36" O.C.
INTERNAL STREETS	East/West	Arctostaphylos 'Pacific Mist'	36" O.C.
	North/South	Myoporum pavifolium	36" O.C.
AGE RESTRICTED SOUTH	East/West	Juniper	36" O.C.
	North/South	Coprosma p. 'Verde Vista'	36" O.C.
ADDISON AVE	North/South	Rosmarinus offic. 'Huntington Carpet'	36" O.C.
BRIARSTONE LANE	North/South	Coprosma p. 'Verde Vista'	36" O.C.
BRADBURY AVE	East/West	Rosa x 'Noaschnee'	36" O.C.
BRIGHTWOOD AVENUE	East/West	Arctostaphylos 'Pacific Mist'	36" O.C.
CALLERTON AVE	East/West	Varies	36" O.C.
CAMBAY PARKWAY	East/West	Varies	36" O.C.
HAVERHILL WAY	North/South	Rosa x 'Noaschnee'	36" O.C.
WINTON AVE	East/West	Rosa x 'Noaschnee'	36" O.C.
ROLL TIDE WAY	North/South	Rosmarinus offic. 'Huntington Carpet'	36" O.C.
BLUE CANYON AVE	North/South	Rosmarinus offic. 'Huntington Carpet'	36" O.C.
BULLARD LANE	East/West	Rosa x 'Noaschnee'	36" O.C.
RIPTIDE WAY	East/West	Rosa x 'Noaschnee'	36" O.C.

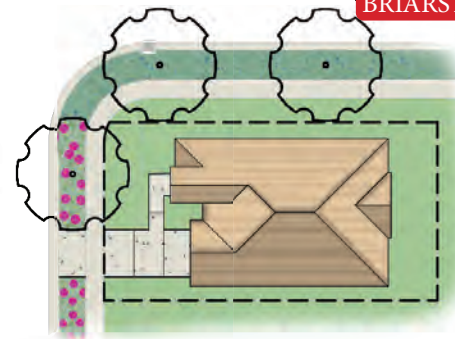
PARKWAY STRIP PLANT LIST

BOTANICAL NAME	COMMON NAME
Juniper	Juniper
Coprosma p. 'Verde Vista'	Coprosma
Cotoneaster dammeri 'Coral Beauty'	Bearberry Cotoneaster
Arctostaphylos 'Pacific Mist'	Manzanita
Cistus Salvifolius	Sageleaf Rockrose
Myoporum parvifolium	Australian Racer
Rosa x 'Noaschnee'	Flower Carpet White Rose
Rosmarinus offic. 'Huntington Carpet'	Huntington Carpet Rosemary
Teucrium chamaedrys 'Prostratus'	Germander
Rosmarinus O. 'Prostratus'	Dwarf Rosemary



PARKSTRIP SECTION

NOT TO SCALE



TYPICAL PARKSTRIP PLANTING SCHEME

NOT TO SCALE

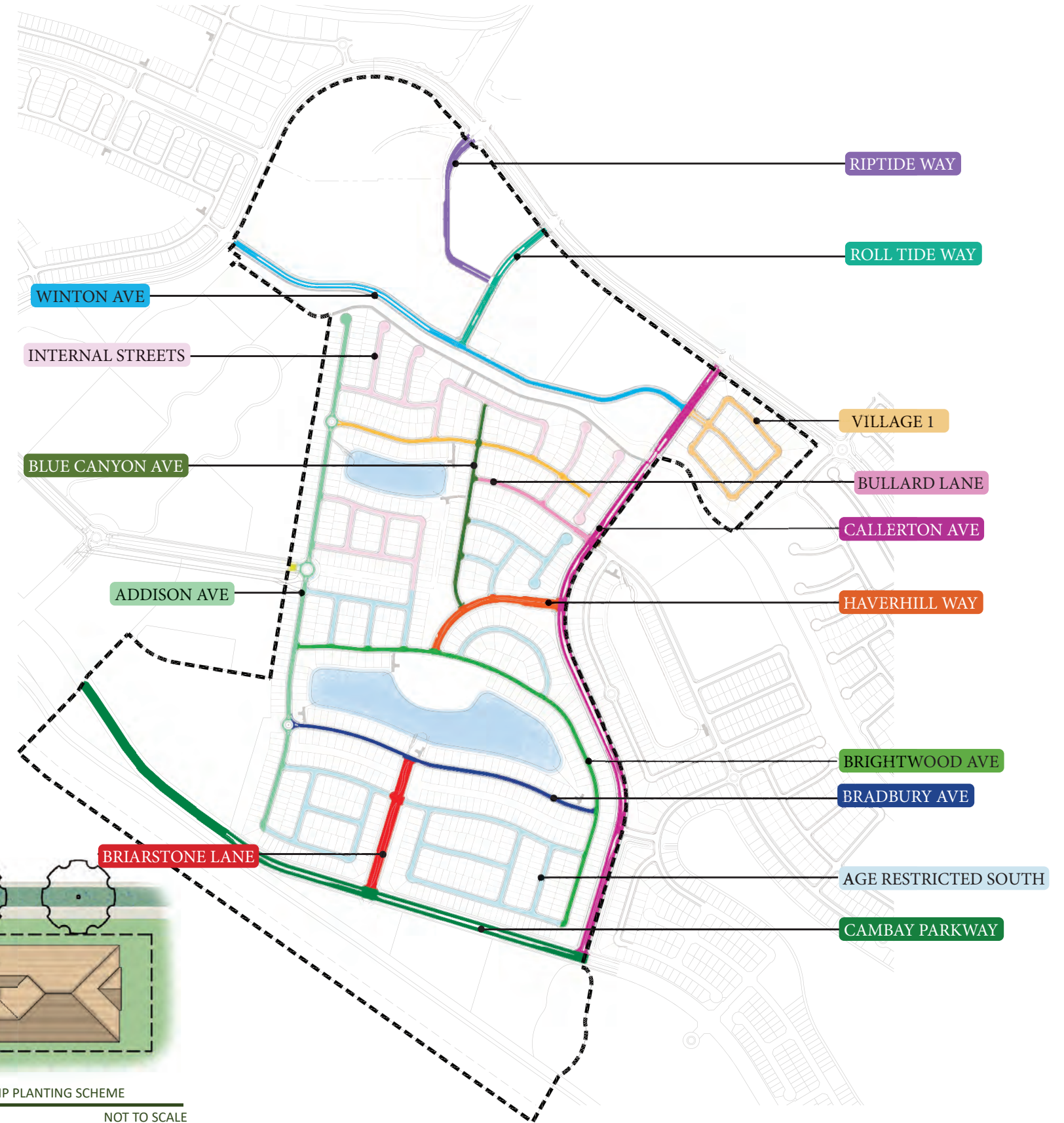
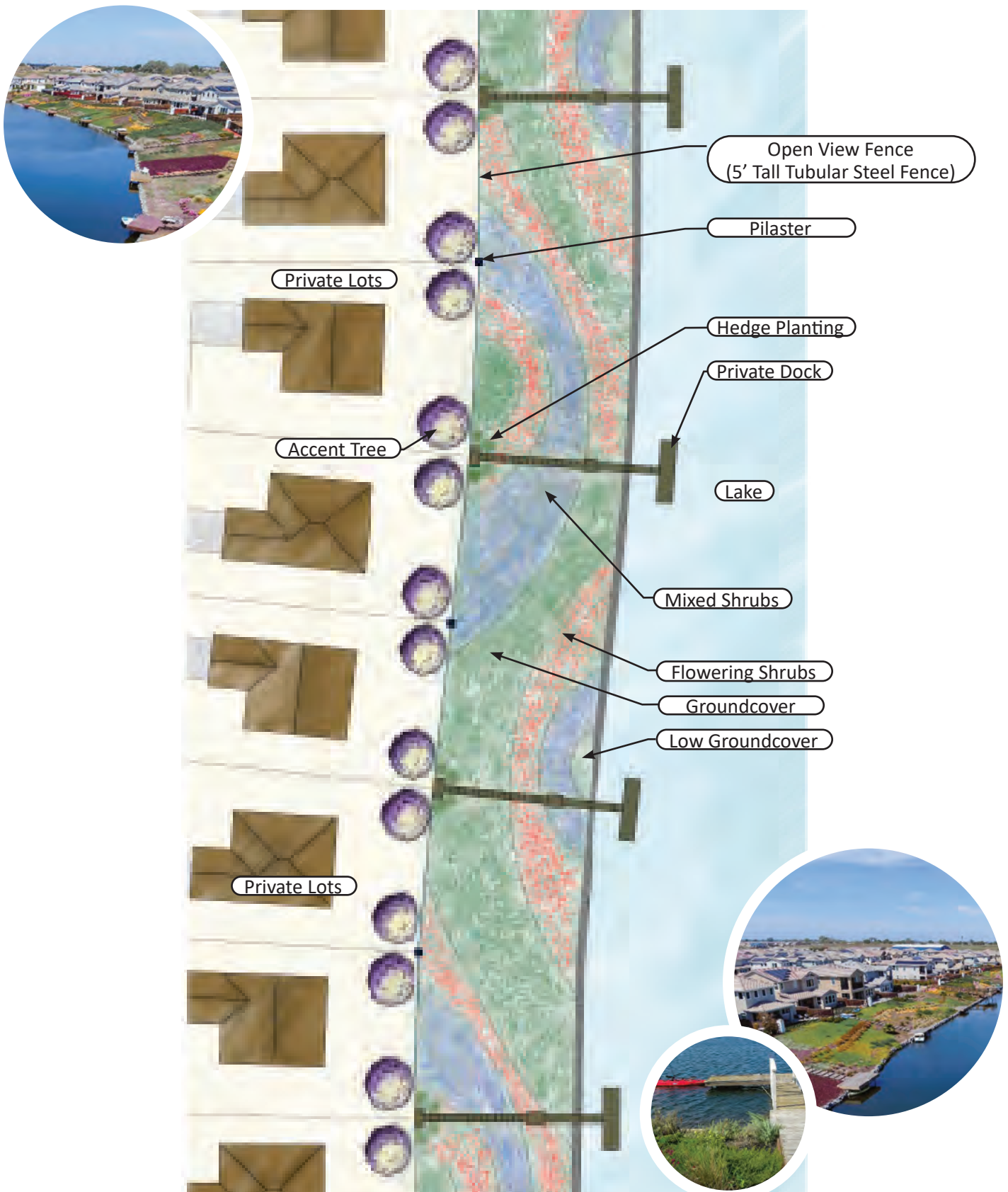


FIGURE 6.2 REAR YARD LAKE FRONTAGE



6.2 IRRIGATION

The State of California’s current water shortage has created valuable opportunities for River Islands to show its conservation emphasis and ties to the region’s innovative irrigation techniques. Currently the State of California has instituted measures to reduce waste of water through high distribution products and control systems capable of automatic adjustment and proper system management. Designers and contractors familiarize themselves with all pertinent guidelines, standards and requirements to align irrigation system design with the best intent of the State’s Water Mandate. The City of Lathrop Municipal Code, Chapter 17.92 - Landscape and Screen Standards, contains additional requirements for irrigation and water conservation.



Irrigation Design

The following applies to all landscape areas to be constructed within Age Restricted Community.



- Non-potable water shall be the preferred source for irrigation applications. In areas that are to receive non-potable water, designated installation methodologies shall comply with RD2062, City of Lathrop, and State guidelines for the application of non-potable water. In locations where non-potable water will be utilized, connections will be coordinated to the best of the ability of the design team to foresee irrigation “stub-outs”. There are areas, however, that may not be deemed appropriate for “non-potable” water applications, and will instead utilize potable water service.
- Irrigation shall be provided to all planted areas and shall be designed and laid out to efficiently and uniformly distribute water to all plant material.
- Plant material will be laid out and organized into similar water use hydrozones by separating high, medium and low water-use plant materials as best as possible. Irrigation zones should also take into account all sun exposures (north/east versus south/west). Trees should be designed and placed on separate irrigation zones to aid in the proper applications of water to promote long term health of trees. Irrigation shall be designed and installed to accommodate water demands by plant type.
- The use of low volume overhead broadcast heads, drip and bubbler types is strongly encouraged; however, all innovative irrigation techniques should be considered only if they adhere to State and local guidelines and requirements.
- Irrigation components will have the following requirements:
 - » **Overhead broadcast heads** will incorporate “in-head” pressure regulation and check valves.

- » **Drip tubing** will be of a “brown” color and will incorporate individual pressure compensating emitters; and will utilize a root inhibitor. When utilizing reclaimed water, conform to national guidelines regarding product color and identification.
 - » **Bubblers** will incorporate a built in pressure compensator and filter.
 - » **Tree bubbler** will utilize a “deep root” water device that incorporates a bubbler, check valve and swing joint with filter “sock” around tube to reduce impaction of soil into air tube device.
 - » **Valves** will be capable of adding pressure regulating devices to them at any time and valves that utilize filter for drip distribution will incorporate filters with mechanical image notification of the filter clogs and built-in pressure compensation to reduce overall size of the irrigation valve box.
 - » **Main lines** will have 18” of cover and have a conduit for the irrigation control wire to reduce the potential of damage to wire and aid in future repairs or renovations.
- With advancements in standard irrigation control, system design should include master valves and flow sensors that have the ability to maximize system flows to reduce overall run-times by operating multiple valves per program and/or multiple programs simultaneously. Irrigation controllers will be selected that can be programmed simply and easily from the controller itself with no outside components and have the ability to be remotely controlled and programmed via internet connection. Controllers will have the ability to produce flow, run time and system failure reports. Controllers will also be able to automatically adjust irrigation schedules based upon real-time weather reports from industry recognized and approved devices and/or services.
 - In an effort to further properly manage irrigation systems, only allow certified and trained personnel to operate the system. Controllers shall have the ability to be remotely locked and only be adjusted by utilizing individual “PIN” codes to identify personnel making adjustments to irrigation programming. Individual irrigation zones will be programmed with other similar type irrigation zones of the same distribution type and water consumption demands.
 - With the nature of construction and the methodology of phased construction, the use of “2-Wire” irrigation technology is strongly encouraged.
 - The irrigation system designed moving forward for River Islands may include Toro Sentinel / Toro Evolution or Rain Bird ESP-LXIVM utilizing the Rain Bird IQ central control software. This system will allow control of up to (8) Points of Connection (POC) with flow management of each POC and control 200 valves per controller. The system allows for traditional programming and adjustment at the controller with all facets of the programming capability and may be monitored with the 2-way communication, reports and email notifications, as well as be automatically adjusted with ET (evapo-transpiration) data.
 - No system is capable of running itself and therefore, proper training and management of the irrigation system is mandatory. Frequent and regimented inspections should be factored into all maintenance operations to ensure long term efficient application. Installing contractors will perform irrigation audits on the constructed system prior to the installation of plant material, and make necessary adjustments to aid in the success of the system. Annual irrigation audits and quarterly system reviews will be performed to ensure proper maintenance practices and care are being implemented.



6.3 SOIL PREPARATION

The River Islands Master Plan will require an Agricultural Suitability Test be performed to ensure successful and healthy plant environments. Due to mass grading of the overall site, the once fertile ground that provided such a stable base for vegetation and crops that covered the development in the past may no longer be within the planting soil horizon.

Ongoing installation of required underground utilities, compaction and construction materials may have introduced less fertile growing mediums and therefore, the landscape area should be ripped to a depth of 12" and then thoroughly tilled to a depth of 8".

Tests will identify current agricultural suitability, parasitic nematodes, leftover herbicides or other contaminants. Soils test will be performed from several different locations to ensure proper and thorough soil amendment requirements.

All planting areas will receive amendment in an effort to improve the planting medium and ensure healthy soil structure needed for plant establishment and long term suitability.

Soil amendments should include: Nitrified compost or redwood shavings, soil sulfur, gypsum, Nitrogen, Potassium, and Iron Sulfate at a minimum with any other amendment suggested by a soil laboratory. Amendments shall evenly displaced and be completely roto-tilled into the top 6" of soil. For plant material whose initial rooting depth will extend beyond the 6" amended soil horizon, plant pits will be additionally amended with the topsoil and additional soil amendments and plant fertilizer tablets.

All planting areas, except lawn or lawn like substitutes, shall receive a 3" minimum layer of chip bark or otherwise approved organic mulch after all plantings have been completed. This will help reduce evaporation and weed growth.

To avoid staining of concrete or pavement surfaces, contractors will avoid prolonged storage of soil, soil amendments, and bark and shall sweep and clean surfaces at the end of each work day.



Chapter 7

FENCING AND WALLS



FENCING AND WALLS

7.1 FENCES AND WALLS

The West Village NDP uses a hierarchy of elements to delineate spaces and uses. Walls and fences that create usable spaces are key to maintaining continuity and identity.

The West Village community may vary from the standard that has been established. Decorative community wood fencing and masonry columns will frame the major collector streets and establish a solid, formal pedestrian space. Community wood fencing along Callerton Avenue meets minimum standard for noise attenuation. The developer and/or builder may opt to construct a masonry wall in-lieu of the wood fence at their discretion. Upgrades to decorative community wood fencing may occur upon approval from the DRC and City Planning Commission. Minor neighborhood collectors are established with decorative wood fences. Any fences along top slopes should be installed at top of slope.

All individual lot fences may be decorative wood fences at a slightly smaller scale, while maintaining a formal yet natural feel. Lots fronting any lakes will have lake access via individual ramps and docks. Side-yard fencing will reduce from 6' to 5' tall within 16' of the rear property line and an open view fence (tubular steel) will line at the rear property line to enhance peripheral views of the lakes from individual backyard spaces.

Open spaces and parks adjacent to public open space lakes will receive an "open space railing" to establish continuity throughout the development. See pages 82-83 for fencing examples.

FIGURE 7.1 FENCING AND WALLS



Note:

- The community wood fence along Callerton Avenue meets the minimum standard for noise attenuation. The developer and / or builder may opt to construct a masonry wall in-lieu of the fence at their discretion.

FIGURE 7.2 FENCING AND WALLS IMAGERY



8' Tall Masonry Column with 6' Community Masonry Wall



6' Tall Masonry Wall



8' Tall Masonry Column with Decorative Wood Community Fence



6' Tall Decorative Wood Lot Fencing



7' Tall Decorative Wood Community Fence



6' Tall Wood Side Yard (Lot to Lot) Fence



5' to 6' Tall Lake Front Transition Fence



8' Tall Masonry Column with Open View Fence (5' Tubular Steel Fence @ Linear Park & Lake Frontage)



8' Tall Masonry Column with 5' Lake Front Transition Fence



Open Space Rail Fence



Partial View Fence

FIGURE 7.3 TYPICAL INTERIOR LOT FENCING LAYOUT

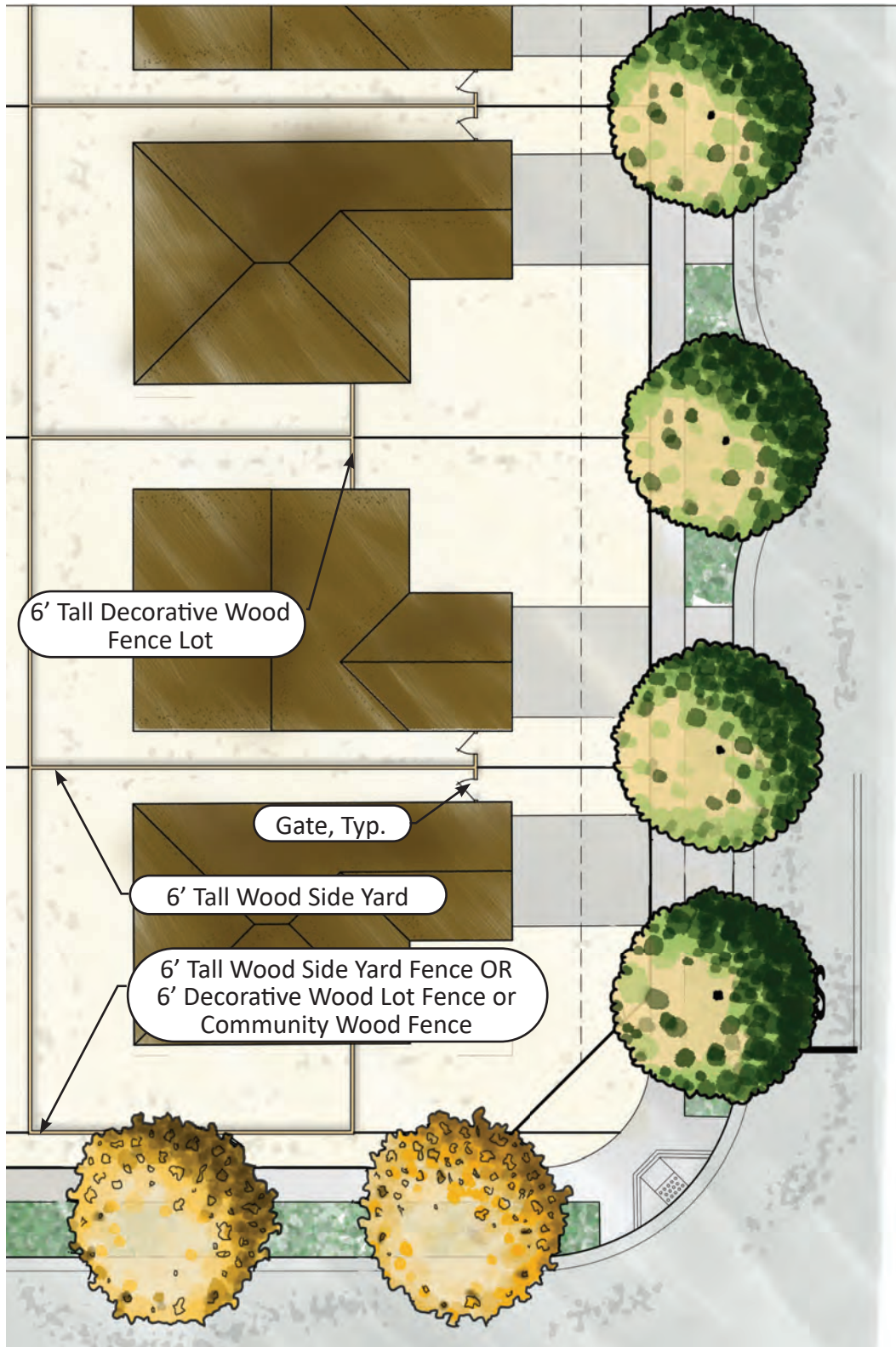


FIGURE 7.4 TYPICAL LAKE FRONTAGE FENCING LAYOUT

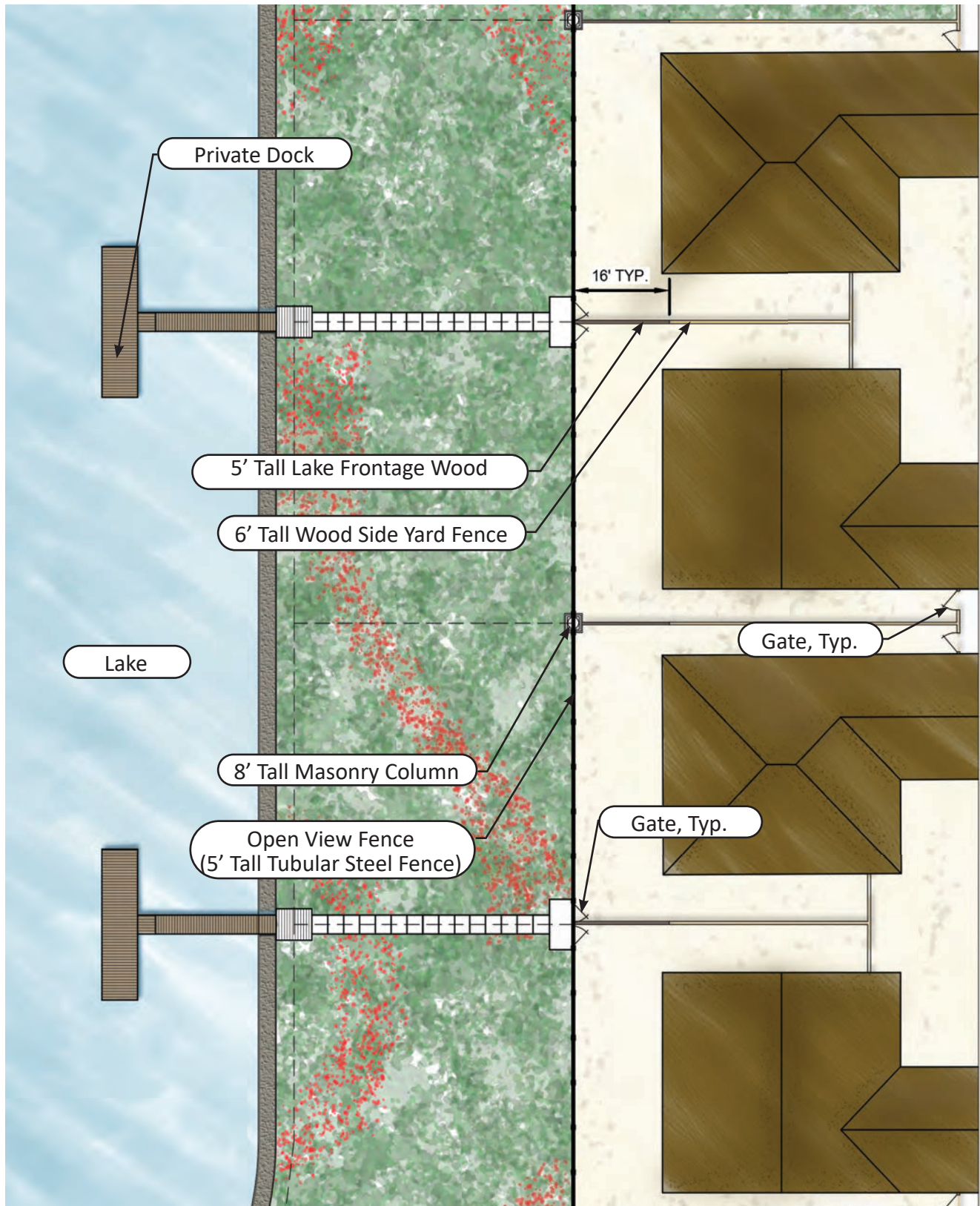
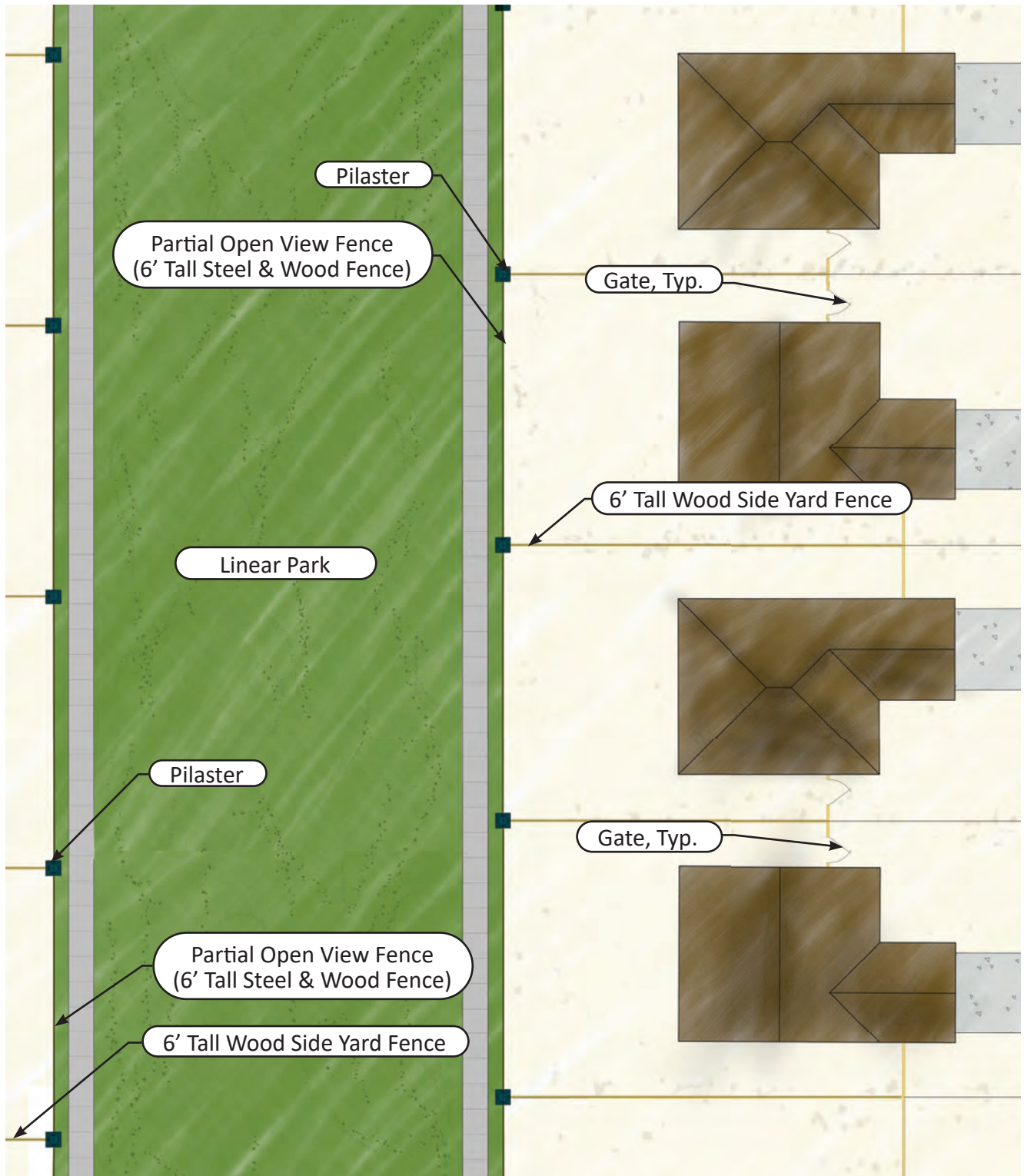


FIGURE 7.5 TYPICAL LINEAR PARK FRONTAGE FENCING LAYOUT





Chapter 8

SITE FURNISHINGS

SITE FURNISHINGS

8.1 SITE FURNITURE

Site Furnishings within the West Village Neighborhoods should be made up of consistent materials, colors, and themes to promote community sense of place and identifiable neighborhood character, while creating aesthetic value and blending with the region’s agricultural and natural environment. Site furniture should follow these guidelines:

- Site furniture should be attractive and inviting, yet durable enough to withstand heavy use by utilizing durable materials.
- Site furniture will be manufactured to include the River Islands logo to reinforce consistent community sense of place.
- Post concise, bilingual signage (English and Spanish) requiring dog owners to clean up after their pets.
- Add dog waster bag dispensers at prominent entrances and at intervals along pedestrian pathways at park facilities.
- Fixtures should be selected that will discourage lying down. Handrail-divided or curvilinear benches are options.
- Site furniture and other fixtures should discourage skateboarding and activities in non-designated areas.
- Select fixtures that will not create visual obstructions or potential blind spots which could impair surveillance.
- Provide trash receptacles at locations that may be easily monitored and emptied by maintenance staff.
- Park signs will include the River Islands logo and City of Lathrop logo to reinforce commitment to the community.
- Site furniture will be approved by the City of Lathrop. Drinking fountains should include an option for dog watering stations where appropriate.



8.2 COLORS AND PAVING

The color palette for the West Village Neighborhoods should be based upon earthy, natural colors derived from the Delta Valley and riparian themes. These colors should be used on structures for public spaces such as parks, open spaces, trails, bridges, site furnishings, and hardscapes.

Pavement concepts should establish strong, bold direct lines wide enough to encourage multi-directional use. Colors should be earth tones with contrasting shades to establish differing paths or shapes.

River Islands Colors and Paving



8.3 STREET LIGHTS AND BOLLARDS

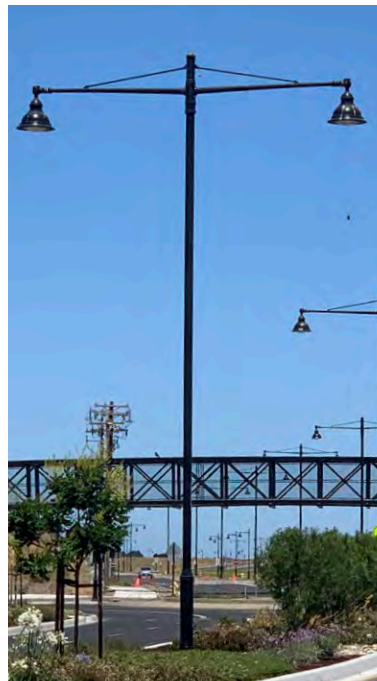
The lighting concept for the West Village Neighborhoods will continue the feel and physical characteristics of street lights established in initial phases of River Islands development.

Landscape lighting includes:

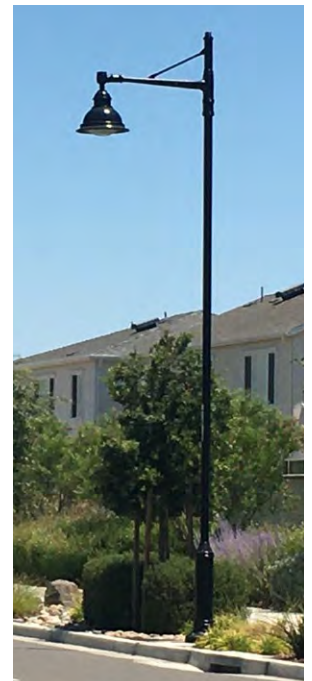
- Street Lights
- Bollard Lighting
- Special feature lighting at neighborhood gateways



Bollard Light



Arterial Street Lights



Collector/Residential Street Lights

8.4 STREET FURNITURE

Street furniture should be available to all and provide a benefit to the community by enhancing use of all spaces. Benches should be welcoming and comfortable, located to create destinations and promote both recreational use as well as visual engagement with the community. All furnishings with logos will include the City of Lathrop's logo.

Street furniture includes:

- Benches
- Bike racks
- Trash receptacles
- Bollards
- Bus shelters

River Islands Street Furnishings

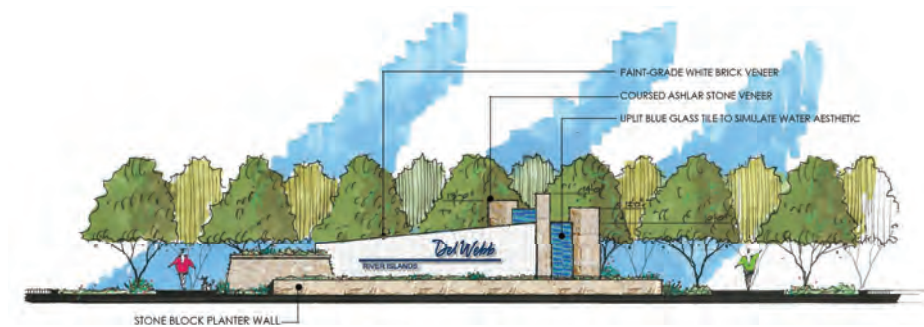


8.5 SIGNAGE

Signage helps the public travel through spaces and establishes order. Proposed signage continues the theme of the River Islands Master Plan by evoking images typical of waterways and the historic nature of the valley’s rural communities. Signage is intended to be placed in parkway strips that are a minimum 5’ wide and up to 15’ wide. Signage height shall be a minimum of 7’ when adjacent or within sidewalk. Street signs shall comply with the current version of CA MUTCD.

Signage includes:

- Street signs
- Neighborhood/Amenity signs
- Age Restricted community monumentation and wayfinding



Example Age Restricted Monumentation





Appendix

APPENDIX A EXAMPLE OF CONSTRUCTION AND PLANT MATERIALS

EXAMPLE OF CONSTRUCTION AND PLANT MATERIALS

Inert Materials



4"- 8" Inch Cobbles



Decomposed Granite



1 1/2 Inch Crushed stone



Colored Asphalt w/ Pattern



2 Inch Minus Cobble



Large Boulders



Colored Concrete w/ Pattern

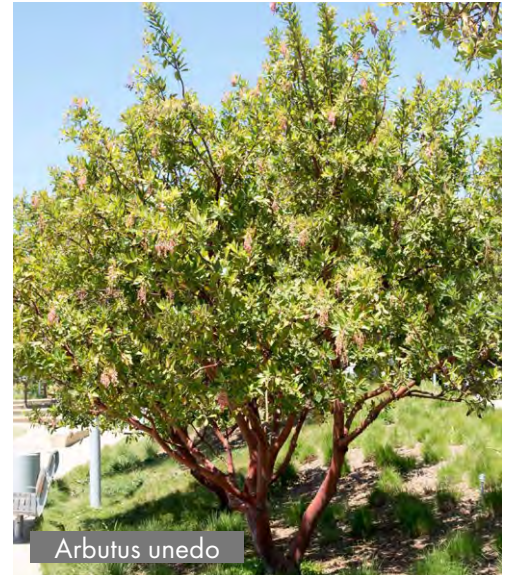


Granite Blocks

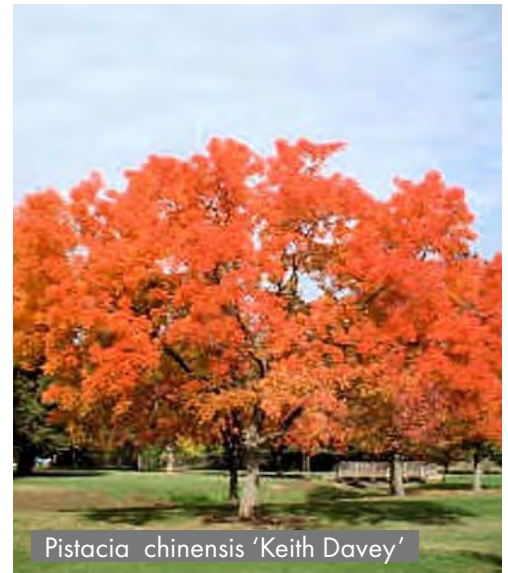
APPENDIX B PLANT SPECIES LIST

The following pages list approved and appropriate plant species per landscaping type. All plant materials shall be selected from the following plant list as approved by the City of Lathrop as part of this Architectural Design Guidelines & Development Standards document. Any exceptions must be recommended for approval by the STDRC prior to installation. Basis for exceptions shall be limited to plant availability, where a similar available plant species may be substituted.

'Levees, Trails and Restoration Areas' indicate landscape near waterways, bioswales, or other stormwater related infrastructure. Current conditions and regulations do not allow irrigation, and thus horticultural plantings, to be installed on the levee and within 20' of the levee toe. It is possible that regulations may change, and that other design features such as "super levees" will be allowed to include irrigation and planting. If conditions and regulations are revised by the State, modifications to landscaping will be considered.



Arbutus unedo



Pistacia chinensis 'Keith Davey'



Ceanothus 'Dark Star'



Perovskia a. 'Little Spire'



Abelia grandiflora

APPROPRIATE PLANT SPECIES FOR RI PHASE 2 WEST VILLAGE DISTRICT

Streetscape Between Wall and Walk	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bio-Swale (Interior Levee Rd.)	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Rear-Yard Lake Frontage	Levees, Trails and Restoration Areas	Botanical Name	Common Name	Use Height	Use Width	Water Use	Attributes
Trees														
									<i>Acer buergerianum</i>	Trident Maple	20'-25'	20'-25'	M	
									<i>Acer x freemanii</i> 'Autumn Blaze'	Maple, 'Autumn Blaze'	40'-50'	40'	M	
									<i>Acer macrophyllum</i>	Big Leaf Maple	30'-75'	30'-50'	H	
									<i>Acer negundo</i> var. <i>californica</i>	California Box Elder	30'-50'		M	
									<i>Acer rubrum</i> 'Armstrong', 'October Glory', Redpointe'	Armstrong Red Maple	40'-50'	15'	H	
									<i>Aesculus californica</i>	Buckeye	20'-30'	20'-30'	VL	
									<i>Aesculus carnea</i>	Red Horsechestnut	40'	30'	M	
									<i>Alnus rhombifolia</i>	White Alder				
									<i>Arbutus unedo</i>	Strawberry Tree	8'-25'	8'-25'	L	
									<i>Arbutus</i> 'Marina'	Marina' Strawberry Tree	20'-30'	20'-30'	L	
									<i>Arbutus marina</i> - 'Multi-trunked'	Strawberry Tree	15'-30'	15'-20'	L	Dark green oblong foliage with rosy pink fall flowers
									<i>Betula jacquemontii</i> (<i>Betula utilis jacquemontii</i>)	White Barked Himalyan Birch	40'-60'	25'-30'	H	
									<i>Carpinus betulus</i> 'Fastigiata'	European Hornbeam	40'	30'	M	
									<i>Catalpa speciosa</i>	Western Catalpa	40'-60'	20'-40'	M	
									<i>Cercidium</i> x 'Desert Museum'	Desert Museum Palo Verde	20'	20'	?	
									<i>Cercis canadensis</i> 'Oklahoma'	Eastern Redbud	25'-35'	25'-35'	M	
									<i>Cercis occidentalis</i>	Western Redbud	10'-20'	10'-20'	VL	
									<i>Cercis occidentalis</i> - 'Multi-trunked'	Western Red Bud	12'-18'	10'-18'	L	Blue-green foliage with magenta flowers
									<i>Cercocarpus betuloides</i>	Island Mountain Mahogany	5'-20'	5'-20'	VL	
									<i>Chilopsis linearis</i> 'Monhews'	Timeless Beauty Desert Willow	15'-20'	15'-20'	VL	Fragrant showy purple flowers
									<i>Chionanthus retusus</i>	Chinese Fringe Tree	20'	15'	M	
									X <i>Chitalpa tashkentensis</i>	Chitalpa	30'	30'	L	White to pale or dark pink flowers
									<i>Crataegus phaenopyrum</i>	Washington Hawthorn	25'	20'	M	
									<i>Cupressus arizonica</i>	Arizona Cypress	40'	20'	VL	
									<i>Cupressus sempervirens</i>	Italian Cypress	40'-70'	10'-20'	M	
									<i>Ginkgo biloba</i> 'Autumn Gold' (Male only)	Ginkgo, 'Autumn Gold'	35'-40'	25'-35'	M	Use male only varieties
									<i>Gleditsia tricanthos inermis</i>	Thornless Honey Locust	25'-50'	25'-50'	L	
									<i>Koelreuteria paniculata</i>	Goldenrain Tree	20'-35'	25'-40'	M	
									<i>Lagerstroemia indica</i> 'Dynamite'	Crape Myrtle	15'-25'	15'-20'	L	Red Flowers
									<i>Lagerstroemia x fauriei</i> 'Natchez'	Crape Myrtle	20'-30'	15'-20'	L	
									<i>Lagerstroemia x fauriei</i> 'Natchez' - 'Multi-Trunked'	Natchez Crape Myrtle	15'-20'	12' Wide	L	White flowers
									<i>Lagerstroemia x fauriei</i> 'Muskogee'	Crape Myrtle	20'-30'	15'-20'	L	
									<i>Magnolia soulangiana</i> 'D.D. Blanchard'	Tulip Magnolia	50'	25'-35'	M	
									<i>Malus</i>	Flowering Crabapple, 'Snowdrift', 'Golden Raindrops'	15'-20'	15'-20'	M	
									<i>Olea europaea</i> 'Swan Hill'	Swan Hill Olive	25'-30'	25'-30'	VL	
									<i>Parkinsonia aculeata</i>	Mexican Palo Verde	15'-20'	10'-20'	VL	
									<i>Pinus pinea</i>	Stone Pine			L	
									<i>Pinus radiata</i>	Monterey Pine	80'-100'	25'-35'	M	
									<i>Pistacia chinensis</i> 'Pearl Street', 'Red Push' or 'Keith Davey'	Chinese Pistache Varieties	30'-60'	50'	L	

APPROPRIATE PLANT SPECIES FOR RI PHASE 2 WEST VILLAGE DISTRICT

Streetscape Between Wall and Walk	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bio-Swale (Interior Levee Rd.)	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Rear-Yard Lake Frontage	Levees, Trails and Restoration Areas	Botanical Name	Common Name	Use Height	Use Width	Water Use	Attributes
									Platanus acerifolia 'Bloodgood'	London Plane	40'-50'	25'-30'	M	
									Platanus X acerifolia 'Columbia'				M	
									Platanus racemosa	California Sycamore	50'-90'	30'-50'	M	
									Populus alba 'Pyramidalis'	Seedless Bolleana Poplar	50'	15'	M	
									Populus fremontii	Fremont Cottonwood	40'-60'	30'-40'	M	
									Populus nigra 'Italica'	Lombardy Poplar	100'	15'-30'	M	
									Prosopis glandulosa 'Maverick'	Texas Mesquite	25'-30'	25'-30'	L	
									Prunus caroliniana 'Bright 'N Tight' (Compacta)	Bright N' Tight Cherry Laurel	8'-10'	6'-8'	L	
									Quercus agrifolia	Coast Live Oak	20'-70'	40'-80'	VL	
									Quercus coccinea	Scarlet Oak	60'-80'	40'-60'	M	
									Quercus douglasii	Blue Oak	30'-50'	40'-70'	VL	
									Quercus ilex	Holly Oak	40'-60'	40'-60'	L	
									Quercus lobata	Valley Oak	50'-75'	50'-80'	L	
									Quercus muehlenbergii	Quinkpin Oak			?	
									Quercus robur	English Oak	50'-60'	30'	M	
									Quercus suber	Cork Oak	30'-60'	30'-60'	L	
									Quercus virginiana	Southern Live Oak	40'-80'	60'-90'	M	
									Quercus wislizenii	Interior Live Oak	30'-70'	30'-70'	VL	
									Robinia 'Purple Robe'				L	
									Salix goodingii	Gooding's Black Willow	10'-25'		H	
									Salix laevigata	Red Willow	15'-30'		H	
									Salix lucida var. lasiandra	Pacific Willow			H	
									Schinus molle	California Pepper tree	25'-40'	25'-40'	L	
									Sophora japonica 'Regent'	Pagoda Tree	40'	40'-60'	L	
									Syringa reticulata	Japanese Tree Lilac	30'	20'	M	
									Tilia cordata 'Greenspire'	Littleleaf Linden	30'-50'	15'-30'	M	
									Ulmus parvifolia 'Drake'	Chinese Elm	50'-70'	30'-50'	M	
									Ulmus wilsoniana 'Frontier'		20'		M	
									Ulmus wilsoniana 'Patriot'		30'		L	
									Ulmus wilsoniana 'Emerald Sunshine'				L	
									Ulmus wilsoniana 'Prospector'				L	
									Umbellularia californica	California Laurel	20'-35'	20'-35'	M	
									Vitex agnus-castus	Chaste Tree	15'-20'	15'-20'	L	
									Zelkova serrata 'Green Vase'	Zelkova, Green Vase	50'	50'	M	
Shrubs (Large Background)														
									Abelia grandiflora	Glossy Abelia	8'	5'	M	
									Agave filifera				L	
									Alyogone heugelii	Blue Hibiscus	6'-10'	6'-8'	L	Light blue flowers
									Anisodonteia x hypomandarum	Cape Mallow	4'	4'	M	Purple/pink flowers
									Arbutus u. 'Oktoberfest'	Strawberry Tree	6'-8'	6'-8'	L	Dark green foliage
									Arctostaphylos densiflora 'Howard McMinn'	Howard McMinn	5'- 6'	7'	L	
									Berberis thunbergii	Japanese Barberry	4'-6'		L	
									Buddleja davidii	Butterfly Bush	6'-10'	6'-10'	M	

APPROPRIATE PLANT SPECIES FOR RI PHASE 2 WEST VILLAGE DISTRICT

Streetscape Between Wall and Walk	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bio-Swale (Interior Levee Rd.)	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Rear-Yard Lake Frontage	Levees, Trails and Restoration Areas	Botanical Name	Common Name	Use Height	Use Width	Water Use	Attributes
									<i>Carpenteria californica</i>	Bush Anemone	3'-6'		L	
									<i>Cephalanthus occidentalis</i>	Button Willow	3'-15'	3'-15'	M	
									<i>Cistus hybridus</i> (<i>Cistus corbariensis</i>)	White Rockrose	2'-5'	2'-4'	L	
									<i>Cistus ladanifer</i> (<i>Cistus ladaniferus maculatus</i>)	Crimson-Spot Rockrose	3'-5'	3'-5'	L	
									<i>Cistus x purpureus</i>	Orchid Roserock	4'	4'	M	Dark pink flowers
									<i>Coprosma repens</i>	Mirror Plant	10'	6'	M	
									<i>Cornus stolonifera</i> (<i>sericea</i>) 'Bailey'	Red-Twigged Dogwood	6'-8'	6'-8'	H	
									<i>Cotinus coggygria</i> (<i>Rhus cotinus</i>) 'Purpureus'	Smoke Bush	15'	15'	L	
									<i>Dodonaea viscosa</i> 'Purpurea'	Purple Hopseed Bush	10'	8'-10'	L	Red/burgundy foliage
									<i>Elaeagnus pungens</i>	Silverberry	6'-15'		L	
									<i>Eriogonum fasciculatum</i>	California Buckwheat	1'-3'	4'	L	
									<i>Fremontodendron californicum</i>	California Flannelbush			VL	
									<i>Grevillea x 'Noell'</i>	Noell Grevillea	5'	6'	L	Glossy lime green needle-like foliage with pink and white flowers
									<i>Heteromeles arbutifolia</i>	Toyon	6'-10'		VL	
									<i>Laurus nobilis</i>	Bay Laurel	12'-40'		L	
									<i>Lavatera maritima</i>	Tree Mallow	6'	6'	L	Gray-Green foliage with light pink/purple flowers
									<i>Lavatera thuringiaca</i> 'Mrs Barnsley'	Mallow			L	
									<i>Leucophyllum frutescens</i> 'Compactum'	Texas Ranger	4'-5'	4'-5'	L	
									<i>Lupinus arboreus</i>	Yellow Bush Lupine	5'-8'	5'-8'	L	
									<i>Mahonia aquifolium</i>	Oregon Grape	6'		M	
									<i>Myrtus communis</i>	True Myrtle	5'-6'	4'-5'	L	
									<i>Nandina domestica</i>	Heavenly Bamboo	3'-8'	2'-4'	L	
									<i>Nerium oleander</i> 'Little Red'	Dwarf Red Oleander	4'	4'	L	Red flowers
									<i>Nerium oleander</i> 'Petite Pink'	Dwarf Pink Oleander	4'	4'	L	Pink flowers
									<i>Osmanthus fragrans</i>	Sweet Olive	10'	10'-12'	M	
									<i>Osmanthus x fortunei</i>	Hybrid Tea Olive	6'-20'	10'-12'	M	
									<i>Philadelphus lewisii</i>	Wild Mock-orange	4'-10'	6'-10'	M	
									<i>Philadelphus 'Belle Etoile'</i>	Purple Spot Mock Orange	5'-7'	5'-7'	M	
									<i>Phormium tenax</i> 'Atropurpureum'	New Zealand Flax	4'-5'	4'-5'	L	Burgundy-bronze bladed foliage
									<i>Phormium 'Yellow Wave'</i>	Yellow Wave New Zealand Flax	4'-5'	4'-5'	M	Yellow and lime green bladed foliage
									<i>Prunus caroliniana</i> 'Bright 'N Tight' (Compacta)	Bright 'N' Tight Cherry Laurel	8'-10'	6'-8'	L	
									<i>Raphiolepis indica</i>	India Hawthorn	4'-5'		L	
									<i>Raphiolepis indica</i> 'Clara'	India Hawthorn	3'-5'	3'-5'	L	
									<i>Raphiolepis indica</i> 'Springtime'	India Hawthorn	4'-6'		L	
									<i>Raphiolepis umbellata</i>	Yeddo Hawthorn	4'-6'	4'-6'	L	
									<i>Rhamnus californica</i> 'Mound San Bruno'	San Bruno Coffeberry	3'-15'	8'	L	
									<i>Rhamnus californica</i> 'Eve Case'	Dwarf Coffeberry	4'-8'	4'-6'	L	
									<i>Rhamnus crocea</i>	Redberry				
									<i>Rhamnus tomentella</i>	Hoary Coffeberry			L	
									<i>Ribes aureum</i> (var. <i>gracillimum</i>)	Golden Currant	3'-6'		L	
									<i>Ribes sanguineum</i>	Pink Flowering Currant	4'-12'		M	
									<i>Rosa californica</i> 'Plena'	California Wild Rose			L	
									<i>Teucrium fruticans</i>	Bush Germander	5'-6'	5'-6'	L	Gray leaves, lavender flowers
									<i>Teucrium fruticans</i>	Bush Germander	4'-8'	4'-10'	L	

APPROPRIATE PLANT SPECIES FOR RI PHASE 2 WEST VILLAGE DISTRICT

Streetscape Between Wall and Walk	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bio-Swale (Interior Levee Rd.)	Parks & Open Spaces	In-Trail Street Trees	In-Trail Parkway Strips	In-Trail Rear-Yard Lake Frontage	Levees, Trails and Restoration Areas	Botanical Name	Common Name	Use Height	Use Width	Water Use	Attributes
									Viburnum t. 'Spring Bouquet'	Spring Bouquet Viburnum	4'-6'	4'-6'	M	Deep green leathery foliage with tight clusters of pink buds and white flowers
									Xylosma congestum	Shiny Xylosma	8-10'	8-10'	L	
Shrubs (Medium Foreground)(species appropriate within sight-line view corridor)														
									Abelia x grandiflora 'Kaleidoscope'	Glossy Abelia	2'-2.5'	3'-4'	M	White flower
									Berberis thunbergii 'Crimuzam'	Crimson Ruby Japanese Barberry	2'	2'	M	Deep red/burgundy foliage
									Callistemon citrinus 'Compacta'	Bottlebrush			L	
									Callistemon citrinus 'Little John' or 'Captain Cook'	Dwarf Bottlebrush	3'	3'	L	
									Coleonema pulchrum 'Varieties'	Pink Breath of Heaven	3'-4'	4'	M	Light green foliage with tiny pink flowers
									Mahonia aquifolium 'Compacta'				M	
									Myrsine africana	African Boxwood	3'-8'	3'-6'	L	
									Pittosporum t. 'Wheeler's Dwarf'	Mock Orange	3'-4'	4'-5'	M	White flower
									Punica granatum 'Nana'	Dwarf Pomegranate	3'	5'	L	Orange flowers
									Rhaphiolepis indica 'Ballerina'	Dwarf Pink Indian Hawthorne	2'	4'	L	Pink flowers
									Salvia greggii / Salvia x jamensis	Autumn Sage	3-4'	2'	L	
									Salvia greggii 'Alba'		1'-4'	1'-4'	L	
									Salvia microphylla	Mint Bush Sage	3-5'	4'-8'	M	
									Spiraea bumalda	Spiraea	2'-3'	3'-4'	M	
									Spiraea x bumalda 'Goldflame'	Goldflame Spirea	3'-4'	4'	M	Yellow-green foliage with pink/red flowers
									Viburnum davidii	David Viburnum	3'	3'	M	Large glossy green deep veined foliage, tight clusters of pink buds and white flowers
									Zauschneria californica	California Fuschia	3'	3'-4'	L	Gray leaves w/ red flowers
Shrubs (Accents)(species appropriate within sight-line view corridor)														
									Achillea millefolium californica	Yarrow	1-3'	1-3'	L	
									Achillea millefolium rosea 'Island Pink'	Pink Yarrow	1'-3'		L	
									Achillea tomentosa	Woolly Yarrow	6"		L	
									Agapanthus africanus	lily-of-the-Nile	1.5'-2'	1.5'-2'	M	Blue/white flower
									Aloe species		varies		L	
									Amsonia tabernaemontana	Blue Star Flower	2'-3'		?	
									Aquilegia eximia	Serpentine Columbine	2'	1-3'	L	
									Artemisia 'Powis Castle'	Powis Castle Sagebrush	3'	6'	L	
									Asclepias fascicularis	Narrow-leaved Milkweed	1'-3'	1'	?	
									Ceratostigma plumbaginoides	Plumbago	0.75'-1'	1'-1.5'	M	Deep blue flower
									Carex divulsa	Berkeley Sedge			L	Deep green clumping evergreen grass
									Dietes bicolor	Fortnight Lily, Bicolor Iris			L	
									Dietes vegeta	Fortnight Lily	3'-4'	2'-3'	M	White flower
									Erigeron karvinskianus	Santa Barbara Daisy	1'-2'	3'-5'	L	White with some pink flowers
									Eschscholzia californica	California Poppy	1'	1.5'	VL	
									Festuca idahoensis'siskiyou blue'	Blue Bunch Grass	14"	10"	L	
									Festuca mairei	Atlas Fescue	2'-3'	2-3'	L	Evergreen clumping yellowish gray-green foliage
									Festuca ovina 'Glauca'	Elijah's Blue, Blue Festuca	4"-10"	6"	M	
									Festuca rubra	Red Fescue	3"-12"	6"	M	
									Helleborus x hybridus	Lenten Rose			M	
									Hemocallis x 'Stella de Oro'	Stella De Oro Dwarf Daylily	2'	2'	M	Heavy clusters of large yellow flowers

APPROPRIATE PLANT SPECIES FOR RI PHASE 2 WEST VILLAGE DISTRICT

Streetscape Between Wall and Walk	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bio-Swale (Interior Levee Rd.)	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Rear-Yard Lake Frontage	Levees, Trails and Restoration Areas	Botanical Name	Common Name	Use Height	Use Width	Water Use	Attributes
									Hemerocallis fulva	Orange Daylily	2'-2.5'	2'-2.5'	M	Tawny orange
									Hesperaloe parviflora	Coral Yucca	2'	2'	/	
									Heuchera 'Lillian's Pink'	Lillian's Pink Coral Bells			/	
									Heuchera 'Rosada'	Rosada Coral Bells			?	
									Heuchera sanguinea	Coral Bells			M	
									Iris 'Canyon Snow'	Canyon Snow Pacific Iris			?	
									Juncus patens	CA Gray Rush	2'	2'	H	
									Kniphofia uvaria	Red Hot Poker			M	
									Lavandula angustifolia	English Lavender	8"-2'	8"-2'	L	
									Lavandula a. 'Buena Vista'	English Lavender	2'	2'	L	Gray-green foliage with deep violet blue flowers
									Lavandula 'Goodwin Creek Grey'	Goodwin Creek Lavender			L	
									Lavandula stoechas 'Otto Quast'	Otto Quast Spanish Lavender	18"-3'	2'	L	
									Leymus condensatus 'Canyon Prince'	Canyon Prince Wild Rye	2'-4'	2'	VL	
									Liriope muscari	Lily Turf			M	
									Lomandra l. 'Breeze'	Dwarf Mat Rush	2'-3'	2'-4'	L	
									Lupinus albifrons	Bush Lupine	3-5'	2-3'	L	
									Miscanthus sinensis 'Morning Light'		5'-6'	3'-4'	M	
									Muhlenbergia dubia	Mexican Deergass	2'-3'	2'-3'	L	
									Pennisetum setaceum 'Cupreum'	Red Fountain Grass	3'-4'	3'-4'	L	
									Penstemon heterophylus 'Margarita'	Foothill Penstemon	1'-3'	1'-2'	L	Lavender flowers
									Penstemon species				M-L	
									Penstemon spectabilis	Showy Penstemon	3'		M-L	
									Perovskia a. 'Little Spire'	Russian Sage	2'	2'	L	Vertical spikey gray-green foliage with lavender-blue flowers
									Phormium tenax 'Apricot Queen'	New Zealand Flax	3'	4'	L	Yellow wit green margined bladed foliage
									Phormium tenax 'Dusky Chief'	New Zealand Flax	5'-6'	4'-5'	L	Reddish brown bladed foliage
									Phormium tenax 'shirazz'	New Zealand Flax			L	
									Phormium tenax 'Tom Thumb'	New Zealand Flax	1'-2'	1'-2'	L	
									Salvia				L-M	
									Salvia 'Bee's Bliss'	Bee's Bliss Salvia	1'-2'	8'	M	
									Salvia m. 'Hot Lips'	Hot Lips Sage	3'	3'	L	Red/white flowers
									Salvia 'Mrs. Beard'	Mrs. Beard Salvia	2'	3 - 6'	L	
									Salvia sonomensis	Creeping Sage			L	
									Salvia spathacea	Hummingbird Sage			L	
									Solidago californica	California Goldenrod	1-3'	18"-3'	L	
									Symphotrichum chilense	California aster	1-3'		L	
									Tulbaghia violacea	Society Garlic	18"	18"	L	Purple flowers
									Tulbaghia v. 'Silver lace'	Variiegated Society Garlic	18"	18"	L	Silver/white blades w/purple flowers
									Veronica austriaca 'Crater Lake Blue'	Crater Lake Blue Speedwell	18"	12"	M	Gentian blue
									Zauschneria californica 'Catalina'	Island California Fuschia	1-3'	1-3'	L	
									Zauschneria cana	California Fuschia	2-3'	18"-3'	L	
Shrubs (Grasses)[species appropriate within sight-line view corridor]														
									Bouteloua gracilis	Blue Grama Grass	6"-18"	6"-1'	L	
									Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster's Feather Reed Grass	2'	2'	L	Stunning vertical feathery plumes, turn golden in fall

APPROPRIATE PLANT SPECIES FOR RI PHASE 2 WEST VILLAGE DISTRICT

Streetscape Between Wall and Walk	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bio-Swale (Interior Levee Rd.)	Parks & Open Spaces	In-Trail Street Trees	In-Trail Parkway Strips	In-Trail Rear-Yard Lake Frontage	Levees, Trails and Restoration Areas	Botanical Name	Common Name	Use Height	Use Width	Water Use	Attributes
									Carex barbarae	White Root Sedge	1'-3'	1'-3'	M	Deep green native meadow grass
									Carex divulsa	Berkeley Sedge			L	Deep green clumping evergreen grass
									Carex pansa	California Meadow Sedge	3'-4"		M	
									Carex praegracilis	Clustered-field Sedge	1'	6"	M	
									Carex testacea	Orange Sedge	18"-24"	18"-24"	M	Evergreen, green and orange spring / summer, vibrant orange in winter
									Deschampsia caespitosa	Tufted Hair Grass	1'-3'	1'-3'	L	
									Deschampsia elongata	Slender Hair Grass	3'		L	
									Eleocharis macrostachys	Spike Rush	3'	2'	L	
									Elymus glaucus 'Anderson'	Blue Wild Rye	2-3'	2'	L	
									Elymus triticoides	Creeping Wildrye			L	
									Eschscholzia californica	California Poppy	1'	1.5'	VL	
									Festuca californica	California Fescue	2'-3'	2'-3'	M	
									Festuca idahoensis'siskiyou blue'	Blue Bunch Grass	14"	10"	L	
									Festuca mairei	Atlas Fescue	2'-3'	2'-3'	L	Evergreen clumping yellowish gray-green foliage
									Festuca occidentalis				M	
									Festuca ovina 'Glauca'	Elijah's Blue, Blue Festuca	4"-10"	6"	M	
									Festuca rubra	Red Fescue	3"-12"	6"	M	
									Grindelia camporum	Gum Plant	1'-3'	1'-3'	L	
									Helictotrichon sempervirens	Blue Oat Grass	2'-3'		L	
									Hordeum brachyantherum 'Californicum'	Meadow Barley			VL	
									Imperata cylindrica 'Rubra'	Japanese Blood Grass	1'-2'		H	
									Juncus balticus(balticus?)	Baltic Rush	3'		H	
									Juncus effusus	Pacific Rush	3'-6'	3'	H	
									Juncus patens	CA Gray Rush	2'	2'	H	
									Leersia oryzoides	Rice Cutgrass			M	
									Leymus condensatus 'Canyon Prince'	Canyon Prince Wild Rye	2'-4'	2'	VL	
									Leymus triticoides 'Grey Dawn'	Creeping Wild Rye	2'	18"	VL	
									Lomandra l. 'Breeze'	Dwarf Mat Rush	2'-3'	2'-4'	L	
									Melica imperfecta	Coast Melic Grass, Oniongrass	1'-2'	1'-2'	VL	
									Melica californica	Melica	4'		?	
									Miscanthus sinensis	Japanese Silver Grass	5'-6'	3'-4'	H	
									Miscanthus sinensis 'Morning Light'		5'-6'	3'-4'	H	
									Muhlenbergia capillaris	Hairy Awn Muhly	3'	6'	L	
									Muhlenbergia dubia	Mexican Deergrass	2'-3'	2'-3'	L	
									Muhlenbergia rigens	Deer Grass	3'	3'	L	
									Nasella pulchra 'Yolo'	Purple Needle Grass	2'	2'-3'	L	
									Pennisetum alopecuroides 'Little Bunny'	Dwarf Fountain Grass	18"	18"	L	Trim to ground in winter
									Pennisetum alopecuroides 'Moudry'	Black Fountain Grass	18"-2'	18"-2'	L	
									Pennisetum orientale	Oriental Fountain Grass	12"-18"	12"-18"	L	
									Pennisetum setaceum 'Rubrum'	Red Fountain Grass	3'-4'	3'-4'	L	
									Scirpus americanus	Three-square Bulrush	5'	5'	H	
									Scirpus actus var. occidentalis	Hardstem Bulrush	5'-8'	5'-8'	H	
									Scirpus californica	California Bulrush	6"-10"	6"-10"	H	
									Scirpus microcarpus	Small-fruited Bulrush	6"-10"	6"-10"	H	

APPROPRIATE PLANT SPECIES FOR RI PHASE 2 WEST VILLAGE DISTRICT

Streetscape Between Wall and Walk	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bio-Swale (Interior Levee Rd.)	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Rear-Yard Lake Frontage	Levees, Trails and Restoration Areas	Botanical Name	Common Name	Use Height	Use Width	Water Use	Attributes
									<i>Sporobolus airoides</i>	Alkali Sacaton	1'-3'	3'	VL	
									<i>Stipa cernua</i>	Nodding Feather Grass	2'-3'	2'-3'	VL	
									<i>Stipa pulchra</i>	Purple Needle Grass	1'-2'	1'-2'	L	
									<i>Stipa gigantea</i>	Giant Feather Grass	2'-3'	2'-3'	VL	
									ETY Mix (<i>Carex Divulsa</i> , <i>Eschscholzia californica</i> , <i>Festuca Idahoensis</i> , <i>Layia platyglossa</i> , <i>Salvia l. "Bee's Bliss"</i> , <i>Sysrychium idahoensis</i>)	Entry Mix	1'-2'	1'-2'	L	
									Native Mow Free Mix (<i>Festuca idahoensis</i> , <i>Festuca rubra</i> , <i>Festuca occidentalis</i>)	No Mow Fescue	12"-18"		M	
Shrubs (Groundcovers)(species appropriate within sight-line view corridor)														
									<i>Acacia r. 'Desert Carpet'</i>	Desert Carpet Acacia	1'-2'	10'-12'	L	Leathery gray green foliage with puffy yellow ball shaped flowers
									<i>Ajuga species</i>	Carpet Bugles	1'	3'	M	
									<i>Arctostaphylos 'Pacific Mist'</i>		2 1/2'	4'	L	
									<i>Artemisia californica 'Montara'</i>	California Sagebrush	18"-5'		L	
									<i>Artemesia 'Powis Castle'</i>	Powis Castle Artemesia	3'	5'	M	gray green foliage
									<i>Baccharis pilularis</i>	Coyote Bush			L	
									<i>Baccharis pilularis 'Pigeon Point'</i>	Dwarf Coyote Brush	6'	6'	L	
									<i>Ceanothus griseus horizontalis 'Yankee Point'</i>	Shrub Ceanothus	2'-3'	8'	L	Blue flowers
									<i>Ceanothus maritimus 'Valley Violet'</i>	Valley Violet Maritime Lilac			L	
									<i>Ceanothus thyrsiflorus 'Skylark'</i>	Blueblossom	3'-6'	5'	L	
									<i>Ceanothus 'Concha'</i>				L	
									<i>Ceanothus 'Dark Star'</i>	Dark Star California Lilac	5'-6'	8'-10'	L	
									<i>Ceanothus 'Joyce Coulter'</i>	Wild California Lilac	3'-5'	8'-10'	L	
									<i>Ceanothus 'Ray Hartman'</i>	Ray Hartman California	12'-20'	15'-20'	L	
									<i>Cistus salvifolius</i>	Sageleaf Rockrose	2'	6'	L	
									<i>Coprosma kirkii</i>	Kirk's Coprosma	2'-3'		L	
									<i>Cotoneaster dammeri 'Eichholz'</i>	Bearberry Cotoneaster	8"	6'-8'	L	White flowers, red berries
									<i>Cotoneaster lacteus (Cotoneaster parneyi)</i>		8"	10'	L	
									<i>Cotoneaster microphyllus</i>	Rockspray Cotoneaster	2'-3'	6'	L	
									<i>Erigeron 'Wayne Roderick'</i>	Wayne Roderick Seaside Daisy	8"	1 1/2'	M	
									<i>Erigeron karvinskianus</i>	Santa Barbara Daisy	10"-20"	3'	L	
									<i>Eschscholzia californica</i>	California Poppy	1'	1.5'	VL	
									<i>Hypericum calycinum</i>	Aaron's Beard	1'		M	
									<i>Hypericum moseranum</i>	Gold Flower	1'		M	
									<i>Lessingria filaginifolia var. californica 'Silver Carpet'</i>	Silver Carpet California- Aster			M	
									<i>Lobularia maritima</i>	Sweet Alyssum	2"-12"	8"-12"	M	
									<i>Lupinus microcarpus</i>	Chick Lupine	2 1/2'		M	
									<i>Myoporum parvifolium</i>	Myoporum	6"	9'	L	
									<i>Oenothera hookeri</i>	Evening Primrose	1'-3'	1'-3'	L	

APPROPRIATE PLANT SPECIES FOR RI PHASE 2 WEST VILLAGE DISTRICT

Streetscape Between Wall and Walk	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bio-Swale (Interior Levee Rd.)	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Rear-Yard Lake Frontage	Levees, Trails and Restoration Areas	Botanical Name	Common Name	Use Height	Use Width	Water Use	Attributes
									<i>Phacelia californica</i>	Phacelia	18"		M	
									<i>Potentilla verna</i>	Spring Cinquefoil	2'-3'	3'-4'	M	
									<i>Ribes viburnifolium</i>	Evergreen Currant	3'-6'	12'	L	
									<i>Rosa 'Noamel'</i>	Apple Blossom Flower Carpet Rose	2'	3'	M	White/pink flowers
									<i>Rosa 'Noare'</i>	Red Flower Carpet Rose	2'	3'	M	Red flowers
									<i>Rosa 'Noaschnee'</i>	White Flower Carpet Rose	2'	3'	M	White flowers
									<i>Rosa 'Noatraum'</i>	Pink Flower Carpet	2'	3'	M	Pink flowers
									<i>Rosmarinus o. 'Irene'</i>	Rosemary	1'-1 1/2'	2'-3"	L	Blue flowers
									<i>Rosmarinus o. Prostratus</i>	Dwarf Rosemary	2'	4'	L	Blue flowers
									<i>Sedum</i>	Stone Crop	2"-5"	1'	L	
									<i>Sisyrinchium bellum</i>	Blue-eyed Grass	4"-12"	6"-24"	L	
									<i>Trachelospermum asiaticum</i>	Asian Jasmine	2'	10'	M	
									<i>Trachelospermum jasminoides</i>	Star Jasmine	2'	10'	M	
									ETY Mix (<i>Carex Divulsa</i> , <i>Eschscholzia californica</i> , <i>Festuca Idahoensis</i> , <i>Layia platyglossa</i> , <i>Salvia l. "Bee's Bliss"</i> , <i>Sysyrinchium idahoensis</i>)	Entry Mix	1'-2'	1-2'	L	
									Native Mow Free Mix (<i>Festuca idahoensis</i> , <i>Festuca rubra</i> , <i>Festuca occidentalis</i>)	No Mow Fescue	12"-18"		M	
Vines														
									<i>Aristolochia californica</i>	California Pipevine			L	
									<i>Campsis radicans</i> (<i>Bignonia radicans</i>)	Common Trumpet Creeper			L	
									<i>Clematis armandii</i> 'Snow Drift'	Evergreen clematis	15-20'		M	
									<i>Clytostoma callistegioides</i>	Violet Trumpet Vine			M	
									<i>Distictis buccinatoria</i>	Trumpet Vine	20'-30'		M	
									<i>Ficus pumila</i>	Creeping Fig	10'		M	
									<i>Gelsemium sempervirens</i>	Carolina Jessamine	20'		L	
									<i>Hardenberdia violacea</i> 'Happy Wanderer'	Hardenbergia Vine	10'		M	
									<i>Jasminum polyanthum</i>	Pink Jasmine	20'		M	
									<i>Lonicera hispidula</i>	Honeysuckle	3-10'		L	
									<i>Macfadyena unguis-cati</i>	Cats Claw	20-40'		L	
									<i>Vitis californica</i>	California Wild Grape	12-30'		VL	
									<i>Wisteria sinensis</i> 'Alba' or 'Cooke's Special'				M	

The logo for River Islands features the words "RIVER ISLANDS" in a white, serif font, centered within a dark blue square. Below the square, there are three stylized, wavy horizontal lines in shades of light blue, yellow-green, and dark blue, suggesting water or a river.

RIVER
ISLANDS

WEST VILLAGE DISTRICT
AGE RESTRICTED NEIGHBORHOODS

DECEMBER 7, 2023
PLANNING COMMISSION REVIEW DRAFT

ARCHITECTURAL
DESIGN GUIDELINES

&

DEVELOPMENT
STANDARDS

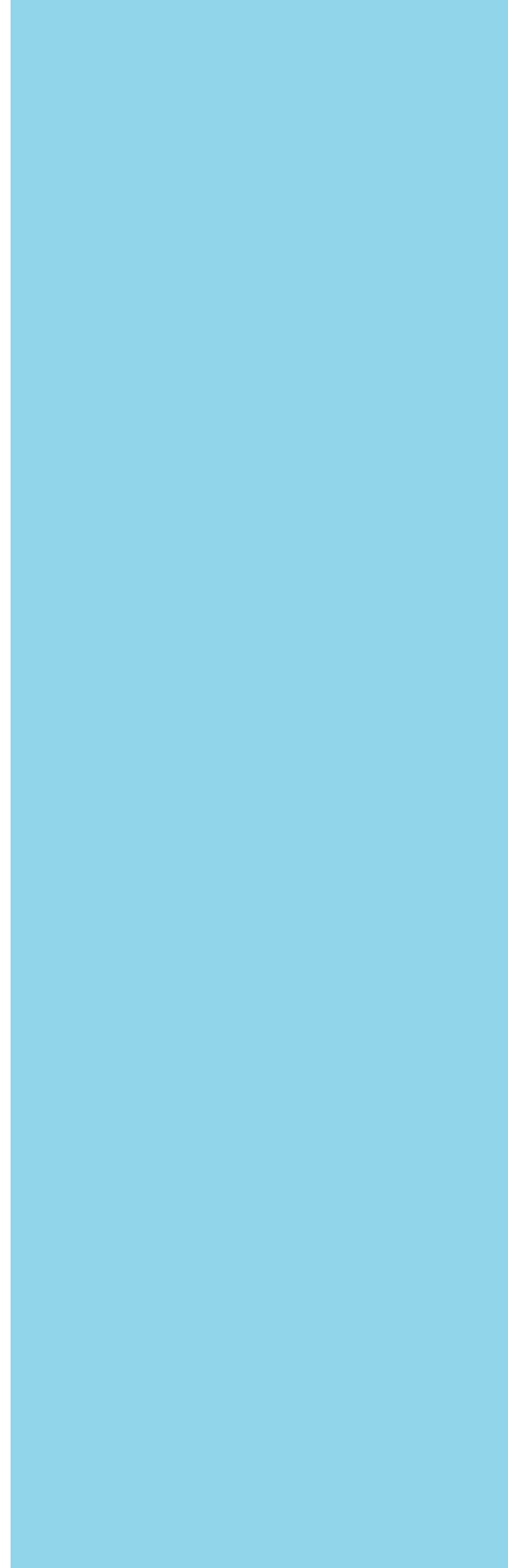


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RIVER ISLANDS



TABLE OF CONTENTS



CHAPTER 1 COMMUNITY OVERVIEW 1

1.1 Introduction 3

1.1.1 Purpose & Intent 4

1.1.2 Relationship to West Lathrop Specific Plan 4

1.1.3 Language and Organization of Document 4

1.2 Architecture Design Principles 6

1.2.1 Regional Precedents 6

1.2.2 Three Architectural Districts 7

1.2.3 Energy Efficiency 8

CHAPTER 2 ARCHITECTURE 9

2.1 Design Guidelines 11

2.1.1 Architectural Character 11

2.1.2 Streetscape 11

2.1.3 Building Elements 12

2.1.4 Building Materials and Colors 14

2.1.5 Modern Architectural Styles-Builders 15

Spanish Eclectic 16

California Spanish Modern 18

California Tuscan 20

Modern Tuscan 22

Modern Prairie 24

Modern Farmhouse 26

2.2 Development Standards 29

2.2.1 Low Density Res. (LDR) Dev. Standards 32

2.3 Technical Specifications: 36

2.3.1 Structural Wiring 36

CHAPTER 3 LANDSCAPE 40

3.1 Introduction 42

3.2 Residential Landscape 43

3.2.1 Planting Design 43

3.2.2 Front and Side Yards 46

3.2.3 Rear Yards 46

3.2.4 Corner Lots 46

3.3 Site Furnishings/ Materials 48

3.3.1 Fences 48

3.3.2 Signage 51

3.3.3 Landscape Lighting 51

3.3.4 Paving and Hardscape 51

3.4 Landscape Construction Practices 52

3.4.1 Irrigation and Water Conservation 52

3.4.2 Soil Preparation and Mulching 53

3.4.3 Planting 53

CHAPTER 4 PROJECT IMPLEMENTATION ... 56

4.1 Project Implementation 58

4.1.1 Stewart Tract Design Review Committee (STDRC) 58

4.1.2 Consistency Requirements 58

4.1.4 Design Review Submittal Requirements 58

APPENDIX 60

Accessory Structures Standards 61

Builder Identification Signs 62

Specialized Facilities 65

Plant List 66

RIVER ISLANDS



CHAPTER 1

COMMUNITY
OVERVIEW

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1.1 Introduction

River Islands has been designed as the premier master planned community in Northern California. Its island location, on the San Joaquin River in Lathrop, provides a backdrop of nearly 5,000 acres for a mixed use community of 15,010 homes, nearly 4 million square feet of commercial space and ten schools. Such community recreational amenities as lakes, walking trails, parks and a boathouse are all part of the vision for our first neighborhoods. The age restricted neighborhoods will contain up to 578 residential lots. Age restricted lots are those that can only be offered for sale to buyers of age 55 or older.

This AG/DS document is intended to provide a descriptive vision of this unique part of the River Islands master plan.

Figure 1.1 shows the location of River Islands, and its relationship to the major highways and surrounding cities.



Figure 1.1 Location Map

1.1.1 Purpose & Intent

The Architectural Guidelines and Development Standards of River Islands (AG/DS) complement the River Islands Urban Design Concept (UDC) and Neighborhood Development Plan (NDP). Since the West Village District is located within Phase 2, the Phase 2 UDC adopted by the Lathrop City Council on June 14, 2021 has the direction needed for this AG/DS document. The City Council also adopted an update to the West Lathrop Specific Plan (WLSP) that updates the land uses, zoning, general development framework and other design policies for both the NDP and the AG/DS. The documents provide the specific standards and guidelines for the Stewart Tract Design Review Committee (STDRC) and Lathrop Community Development Development to review and evaluate new development proposals within the West Village District and the Active Adult neighborhoods of the District in particular.

1.1.2 Relationship to West Lathrop Specific Plan (WLSP)

The West Lathrop Specific Plan (WLSP) provides the authority to which the River Islands AG/DS has been prepared. As described in the WLSP, each sub-area of each District must have a set of written guidelines and standards for new development. This document applies only to the Age Restricted neighborhoods of the West Village District. The reason for separating this document from other areas of West Village is because of the unique nature of the Active Adult product, which is specifically marketed to buyers over 55 years old.

1.1.3 Language and Organization of Document

These DG/DS are divided into three major sections: Architecture; Landscape and Project Implementation. Architecture and Landscape are each further divided into Design Guidelines and Development Standards. Together, these will assure that neighborhood home builders and individual homeowners have the guidance to carry out the vision for Active Adult area of West Village.

The Design Guidelines describe the overall design quality that River Islands envisions. Complementary sketches, imagery, diagrams, and other graphic materials further illustrate the DG/DS design intent. The words “should”, “may”, and “can” indicates that the guideline is highly recommended and suggests possible design solutions that are acceptable and encouraged, but not required.

The Development Standards section addresses the particular design criteria, conditions and standards that shall be met when designing homes and landscape. The River Islands DG/DS uses careful language to assist the STDRC in reviewing design proposals. The words, “shall”, “will”, and “must” are to be implemented requirements. All development standards intended to supplement the WLSP’s and City of Lathrop’s zoning requirements use this language.

The Project Implementation Section will guide home builders and home owners through the approval and permit process.

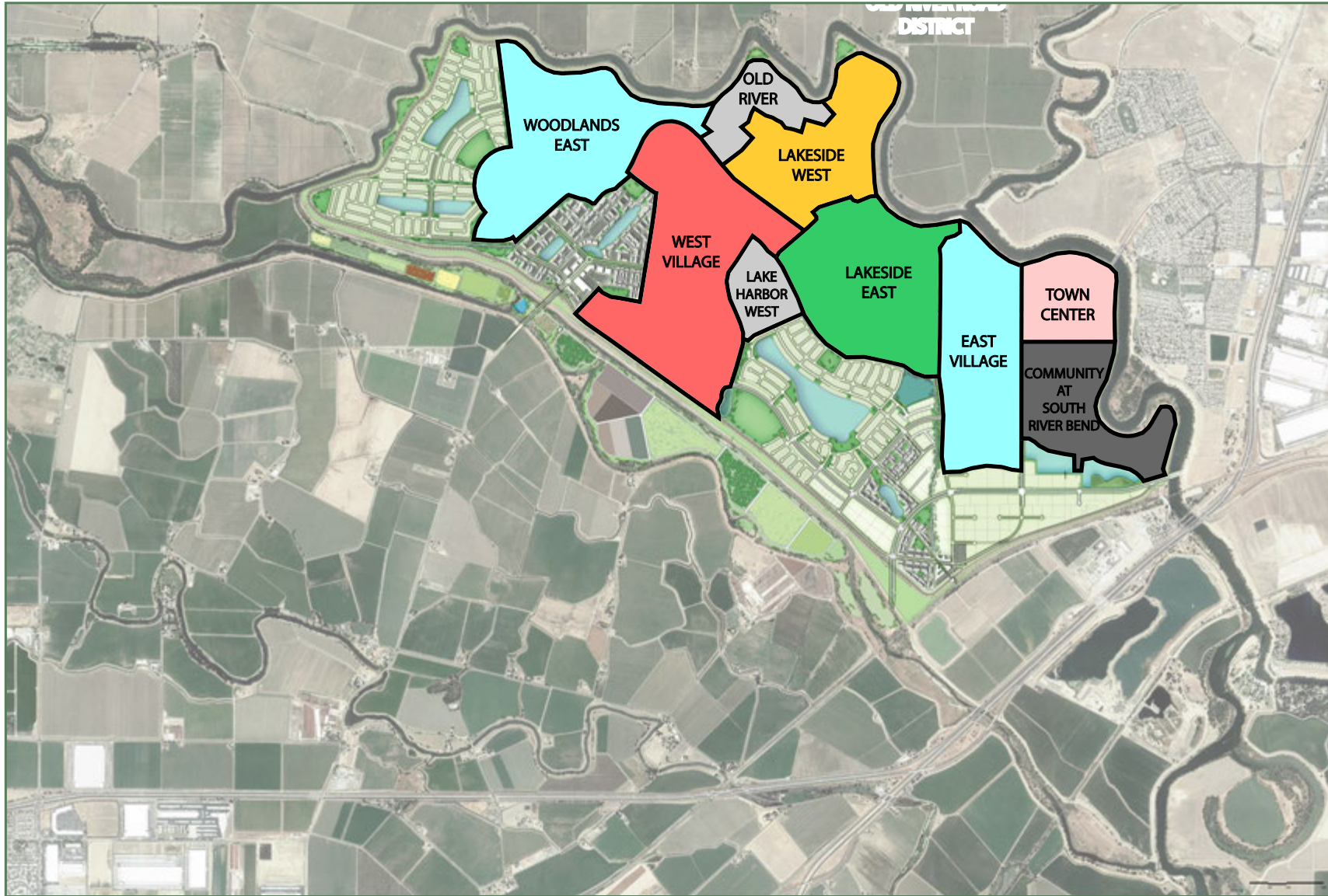


Figure 1.2 Current River Islands Districts

1.2 Architecture Design Principles

The character and quality of River Islands' architecture is an important factor in creating the overall identity of the community. Although it is likely that there will ultimately be a variety of architectural styles in the community, the following design principles are intended to provide the guidance that will assure unity and consistency in architectural design.

1.2.1 Regional Precedents

The region of San Joaquin and Sacramento River Deltas is rich in precedents that can serve as the basis for the architecture of River Islands. These include not only the historical architectural tradition, but the climate, natural environment, and cultural history. There are 4 distinct influences identified for this area, that provide us with the architectural styles that will be considered for the River Islands community.

River Edge

The use of the river system for commerce has been largely replaced by recreational use. Still, remnants of the river's use as the primary conduit for goods and materials, as well as the agricultural products of the region, remain. The simple, economical forms and materials of river edge industrial buildings, and their docks and quays provide a meaningful source for the architecture of the Town Center.

Similarly, the tradition of placing large homes on high ground near the river edge, with their small docks and boat houses provides inspiration for the design of residential buildings along the river.

River Delta

Because of the abundant water, flat slopes and easily worked soils, river deltas have always been desirable for agriculture. The tradition of farmsteads in the Delta, with their simple farmhouses and outbuildings, can be a particularly rich source for residential building design.



Mediterranean Climate

The climate of the delta is Mediterranean: cool, moist winters are followed by warm, dry summers. The prevailing westerly winds bring in cool air from the Pacific, making evenings pleasant, even in the summer. Often homes in this area were built with large roof overhangs and porches to limit the heat gain in the house, or with carefully placed large trees and shade structures.

Delta History & Culture

Originally part of the Rancho Pescadero, River Islands has a direct historical connection to the Spanish and Mexican Land Grant system that characterized California in the eighteenth and early nineteenth century. The discovery of gold north and east of River Islands, and the subsequent boom are also part of the region's architectural influences. The simple, slapdash architecture of boom towns, and the subsequent opulence of the Victorian Era are a part of the architectural history of the region. The traditions of agriculture and river-based industry are the most prevalent historical influences, however, and provide perhaps the most fitting stimulus for architectural design at River Islands.

1.2.2 Three Architectural Districts

As described in the UDC, River Islands is divided into three architectural districts based primarily on the dominant use within the district: Residential, Town Center and Employment Center. The requirements for the architecture of each district vary, as described in the following paragraphs.

Residential District

The architecture of the residential districts of the River Islands community will contain a wide variety of architectural styles and influences. The styles will be based on historical precedents from the region, such as those found in farmsteads, the river edge, or in the older residential neighborhoods of valley and delta cities. Modern adaptations of these styles will also be proposed, though the intent is to create an appearance and feeling of old tradition architecture. The mixing of styles within individual neighborhoods will be limited so that visual unity can be achieved, and strange juxtapositions avoided. See the specific description of how this set of AG/DS addresses the West Village and Age Restricted developments.

Village Center

The architecture of the Paradise Cut Village Center will vary according to land use and location. Retail and commercial architecture could be inspired by historical commercial and industrial building types that might be found in other riverfront towns. Ideally, this area should appear as if it developed over time, with the participation of numerous designers. Unity will be achieved primarily by uniformity of use and development standards, such as building mass and setbacks. A NDP and AG/DS, or equivalent Paradise Cut Village Center Plan will detail the specifics of these standards and the architecture to be utilized.

Employment Center/Transit Oriented Development

Employment Center/Transit Oriented Development will be a mixed-use area likely to be implemented with more contemporary styles of architecture for its higher density residential housing. For office, retail and commercial uses, the architectural styles will be the most modern of any of the three

districts. Larger floorplate office and commercial buildings will generally be simple, modern, rectilinear forms with flat roofs. Masonry, concrete tilt-up and other economical building types will be predominant. Buildings with historical references will likely be limited to retail centers or restaurants. A NDP and AG/DS, or equivalent Employment Center/Transit Oriented Development Plan will detail the specifics of these standards and the architecture to be utilized.

Residential District (West Village)

The architecture of the West Village District will include both historical architectural styles of California, along with more modern themes that predominate today's housing market. Unity will be achieved primarily by uniformity of use and development standards, such as building mass and setbacks.

A different set of guidelines will be developed for portions of the West Village District that are separate and distinct from the Active Adult neighborhoods. The reason is that the traditional market rate residential neighborhoods that will make up the balance of the West Village District will be more akin to those already constructed in Phase 1 of River Islands, which will include detached single-family homes of both single story and two-story homes, attached single-family product (such as clustered housing and bungalows, as well as medium density multi-family dwelling units. The Active Adult area is a specialized product that will be differentiated from the balance of West Village as described below.

Application to Active Adult Neighborhoods

This DG/DS document focuses on consistency with the Residential District guidance of the UDC, but also with a specific market audience. All dwellings in the Active Adult neighborhoods will be single-story to accommodate older residents that prefer not to climb stairs or cannot navigate them. Floor plans and specific room layouts will be flexible to accommodate older residents and community wide recreational/social amenities owned by a Homeowner's Association will be provided.

1.2.3 Energy Efficiency

All buildings within River Islands should be designed to conserve energy as required by the State of California's CALGreen Code. Among the methods that should be considered are:

- ^ Passive solar design: thermal masses to absorb winter sun energy, roof overhangs, and carefully placed deciduous trees to provide summer shade;
- ^ Active solar design: solar collectors to heat water, or photo voltaic cells to generate electricity;
- ^ Energy efficient mechanical equipment for heating and cooling, such as heat pumps;
- ^ Extra thermal insulation in roofs and walls to control heat gain and loss;
- ^ Operable windows in commercial buildings; to reduce dependence on mechanical ventilation;
- ^ Home integrated systems: wireless PC based systems that allow homeowners to program appliances to restrict usage during peak energy periods;
- ^ Load shifting technologies: thermal energy storage for residential and commercial use that moves the operation of air conditioning compressors from on-peak operation to off-peak hours;
- ^ Thermal rated glazing, including reflective coatings to reduce heat load in the summer;
- ^ Utilization of Energy Star rated appliances.

RIVER ISLANDS



CHAPTER 2

ARCHITECTURE

2

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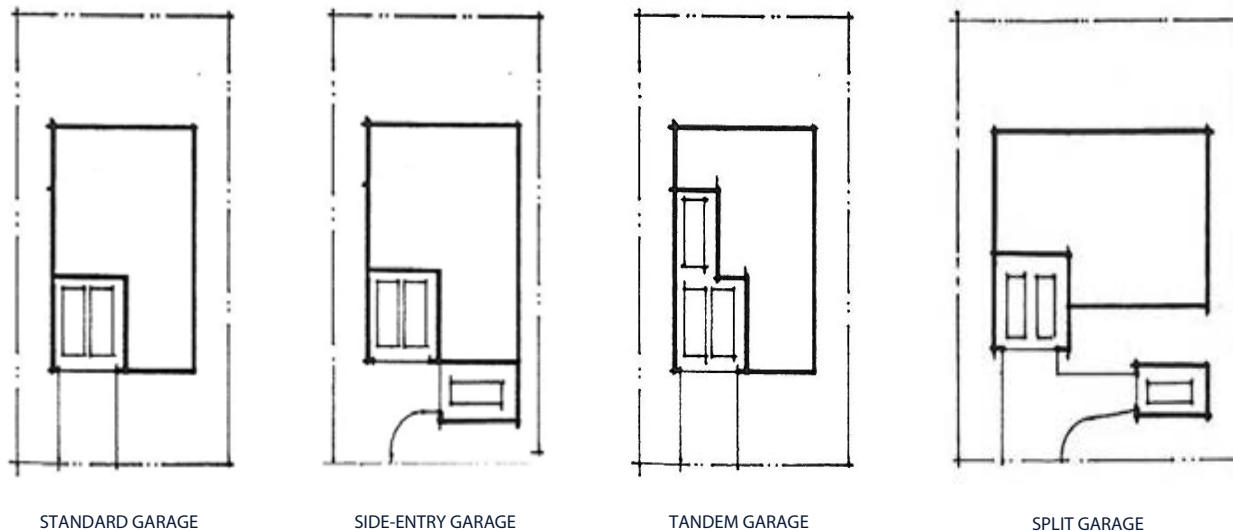
2.1 Design Guidelines

2.1.1 Architectural Character

Primary aim of the active adult community is to elevate residential resort-style living with privacy and an expansive amenity center.

The community offers consumer inspired single story homes that include nine different floor plans with multiple architecturally distinct elevations styles and varied materials that aim to create an engaging mix of diverse streetscapes.

Encouraged garage layouts



2.1.2 Streetscape

The architectural elevations provided in the are designed to minimize visual impact of garage doors. All plans that have more than two car garages have a tandem car garage or a side load garage for the third additional space.

Garages are set back by 18'-0" from property line and side load garages are set back 10'-0" from the property line.

Garage door styles vary per architectural styles to enhance curb appeal and add to streetscape diversity.

All garages are a minimum of 20'-0"x 20'-0" interior size and shall allow the parking of two cars.

Mailboxes shall be ganged together and not on individual lots. Cluster box units similar to Florence "vogue" series should be used, location to be determined.

2.1.3 Building Elements

Building Form

The massing, articulation and proportion of homes within the Active Adult communities should be designed to reflect the particular consumer preference for flexibility and lifestyle. Massing will vary with roof form with all dwellings being single-story with the elements described below.

Massing:

- Despite utilization of only single story product, plate lines will vary to create natural breaks in roof configuration and massing.
- Roof designs will mix gable and hip configurations with slopes ranging from 3:12 to 7:12.
- Entry features include covered porches or semi-covered entry courtyards.
- Architectural elevations along the streetscape demonstrate a variety of different window configurations including trim and grid styles.



Roof Materials

Roof material in the Active Adult neighborhoods will utilize concrete shake tiles or concrete Spanish tile, depending on architectural style. Metal roofings or asphaltic materials shall not be used.



2.1.4 Building Materials and Colors

Building materials and color are important elements to maintain the visual quality of homes within the active adult neighborhoods and contribute to the quality streetscapes. Durable and environmental sustainable materials shall include the following:

- ^ Primary exterior material shall be stucco.
- ^ Accent materials shall include masonry, stone or high quality cement fiber siding such as Hardie or equivalent, depending on architectural style.
- ^ Building materials on the front facade shall wrap outside corners at least 3 feet to side elevations or extend to fence line.
- ^ Each elevation style shall include a color palette of three color schemes to provide visual diversity between adjacent dwellings.



2.1.5 Modern/Heritage Architectural Styles

Heritage architectural styles, which are well represented in other areas of River Islands, will be utilized in the Active Adult neighborhoods, blended with a modern perspective. The styles chosen are indicative of current market tastes and provide complementary streetscapes while maintaining architectural diversity. All six styles are well represented in the Central Valley and several within River Islands. California Modern Tuscan is a new style for River Islands that will provide continued diversity in styles throughout the project.

Modern Influenced Heritage Styles

- 🏡 Spanish Eclectic
- 🏡 California Spanish Modern
- 🏡 California Tuscan
- 🏡 Modern Tuscan
- 🏡 Modern Farmhouse
- 🏡 Modern Prairie



Spanish Eclectic

The Spanish Eclectic style is a modern interpretation of the traditional Spanish style that incorporates classic Spanish elements such as arched walls and tile roofs, along with a mix of contemporary elements from other styles to create a more modern feel. Spanish Eclectic homes have clean lines, utilizing muted earth tone color schemes.

Exterior Features

Often the proposed single story dwellings will contain a symmetrical arrangement of parts, with the entrance to centered to the front elevation but can asymmetrical as well. A mix of exterior materials can be used, but stucco is the predominate exterior material to maintain the clean heritage Spanish style.

Elements	Minimum	Enhanced
Form	- Single-story massing and form - Rustic details with flared wall accents	-Vigas and tile vents
Roof	- Front to back gable or hip with intersecting hip or gable roofs. - Low to moderate pitched roof slope (3:12-5:12 slope) - Moderate or zero overhang - "S" or Villa style roof tiles	-12" overhang, exposed eaves
Walls	- Stucco with foam trim, arched openings and flared, curved massing at accent walls	
Windows	- Slider, fixed or single hung windows	- Window shutters and recessed massing
Details	-Enhanced window trim at projecting exterior massing -Flared eaves and at covered porches, starburst or tile vent accents at gables, with louvered shutters.	
Colors	- Light to medium earth tone colors with contrasting trim and accent colors	
Outdoor Space	-Porch, 5' minimum depth	

Spanish Eclectic Design Images



2

Spanish Eclectic Design Element Kit of Parts

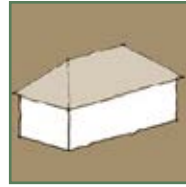
Roof types



Front



Side



Hip



Cross

Posts, columns, and piers



Wood post with bracket



Double wood posts



Wood post with corbel



Stucco columns

Entry door shapes



Rectilinear

Entry door styles



Panel door

Window shapes



Rectangular



Square



Arched

Garage door styles



Paneled (glazing optional)

Louvered shutter



Light fixture



Flared eave



Tile vents

California Modern Spanish

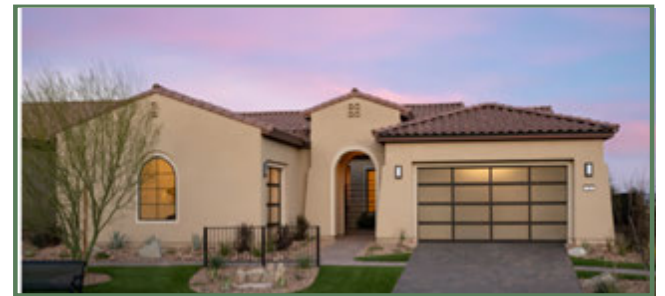
The California Modern Spanish style is a modern interpretation of the California themed Spanish style that included minimalistic details, recesses, angled massing, metal accents and square vents. Like, Spanish Eclectic, California Modern Spanish homes have clean lines, utilizing muted earth tone color schemes.

Exterior Features

Often the proposed single story dwellings will contain a symmetrical arrangement of parts, with the entrance to centered to the front elevation but can asymmetrical as well. Stucco is the predominate exterior material with carefully placed detail elements.

Elements	Minimum	Enhanced
Form	<ul style="list-style-type: none"> - Single-story massing with recesses and clean lines and a minimalistic style. - Flared massing at walls 	<ul style="list-style-type: none"> -Gable accents with tile vents
Roof	<ul style="list-style-type: none"> - Front to back gable or hip with intersecting hip or gable roofs. - Low to moderate pitched roof slope (3:12-5:12 slope) - Moderate or zero overhang - "S" or Villa style roof tiles 	<ul style="list-style-type: none"> -Medium 12" overhang, exposed eaves
Walls	<ul style="list-style-type: none"> - Stucco with foam trim, arched openings and flared, curved massing at accent walls 	
Windows	<ul style="list-style-type: none"> - Slider, fixed or single hung windows 	
Details	<ul style="list-style-type: none"> -Recessed windows with angled massing at wall flare and extensions. -Metal accents, horizontal or minimal window grids. -Square tile vent accents at gable 	
Colors	<ul style="list-style-type: none"> - Light to medium earth tone colors with contrasting trim and accent colors 	
Outdoor Space	<ul style="list-style-type: none"> -Porch, 5' minimum depth 	

California Modern Spanish Design Images



California Modern Spanish Design Element Kit of Parts

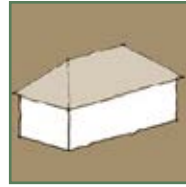
Roof types



Front



Side



Hip



Cross

Posts, columns, and piers



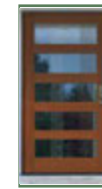
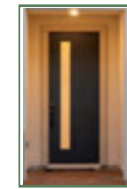
Square stucco columns

Entry door shapes



Rectilinear

Entry door options



Doors with glazing

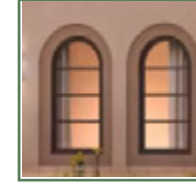
Window shapes



Rectangular



Square



Arched

Garage door styles



Paneled (standard)



Optional styles



Light fixture

Tile vents

Accent flare wall massing



California Tuscan

California Tuscan is a new architectural style for River Islands. It blends classic Italian Tuscan elements with more modern elements and accenting.

Exterior Features

This architectural style is characterized by its shallow roof structures, hips that are crossed with gables and in reverse. The primary exterior material is stucco with moderate use of stone to accentuate the rustic Tuscan feel. Massing includes flared stepped walls. Modern accents like are juxtaposed with the rustic Old World features.

Elements	Minimum	Enhanced
Form	-Single story form with rustic details and punched openings.	- Gable corbels at sides and rear
Roof	-Front to back gable or hip with intersecting hip or gable roof forms. -Low to moderate pitched roof slopes (3:12 to 5:12). -Moderate or wide eave overhangs. -Flat concrete roof tiles to simulate shake or split shake.	-Medium 12" overhang with exposed eaves.
Walls	-Stucco with stone wainscoting or single story porch enhancements.	-Stone accent materials.
Windows	-Slider, fixed or single hung windows.	-Use of window shutters -Recessed massing
Details	-Porch embellished with stone at entry -Asymmetrical or stepped wall massing.	-Deep porches with stone veneer and trim. -Bermuda shutters with metal accents. -Rustic stone profile.
Colors	-Medium earth tone colors with vibrant accent colors for shutters and doors.	
Outdoor Space	-Porches - 5' minimum depth	

California Tuscan Design Images

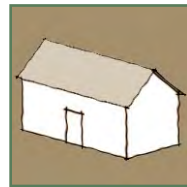


California Tuscan/Design Element Kit of Parts

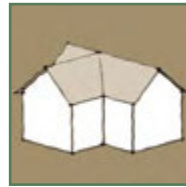
Roof types



Front



Side



Cross



Hip

Window sills



Head and sill trim

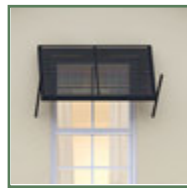


Head and enhanced sill trim

Shutter design



Plank



Bermuda Shutter

Eaves and fascia



Square rafter tails

Door shape



Rectilinear



Panel door with side light

Massing



Window styles



Single hung with mullions



Slider with mullions



Picture

Garage door styles (glazing optional)



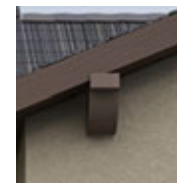
Framed panel



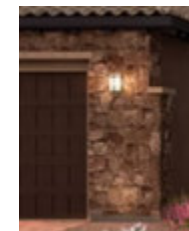
Detail elements



Ornamental light fixture



Gable Corbel



Wall flare with step

Modern Tuscan

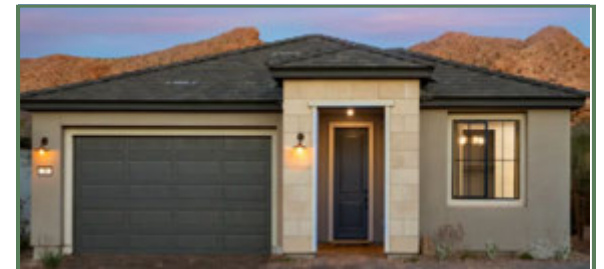
Modern Tuscan is a new architectural style for River Islands. It blends classic Italian Tuscan elements with modern elements that are cleaner and more streamlined than a pure rustic Tuscan feel.

Exterior Features

This evolving architectural style is characterized by its shallow roof structures, hips that are crossed with gables and in reverse. The primary exterior material is stucco with moderate use of stone or masonry to accentuate the rustic Tuscan feel. Massing with the single story dwellings include stone accents and recessed windows.

Elements	Minimum	Enhanced
Form	-Single story form with modern clean lines.	- Gable corbels at sides and rear
Roof	-Front to back gable or hip with intersecting hip or gable roof forms. -Low to moderate pitched roof slopes (3:12 to 5:12). -Moderate or wide eave overhangs. -High quality concrete composition flat roof tiles to simulate shake or split shake.	-Medium 12" overhang with exposed eaves.
Walls	-Stucco with stone wainscoting or single story porch enhancements.	-Stone accent materials.
Windows	-Slider, fixed or single hung windows.	-Use of window shutters -Recessed massing
Details	-Large format stacked stone massing accents with recessed windows.	-Enhanced window sills. -Enhanced porches.
Colors	-Neutral earth tone colors combined with accent colors.	
Outdoor Space	-Porches - 5' minimum depth	

Modern Tuscan Design Images



Modern Tuscan/Design Element Kit of Parts

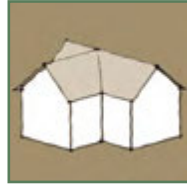
Roof types



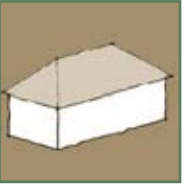
Front



Side



Cross



Hip

Window sills



Head and sill trim



Head and enhanced sill trim

Shutter design



Plank

Eaves and fascia



Square rafter tails

Door shape



Rectilinear

Door styles



Panel door



Panel door with side light

Window styles



Single hung with mullions



Slider with mullions



Picture

Garage door styles



Framed panel



Optional doors (glazing)

Detail elements



Ornamental light fixture



Gable Corbel



Bermuda shutter

Modern Prairie

Modern Prairie is a mid-American architectural style that features low-pitched hipped roofs with deep overhangs, low but strong horizontal lines, and bands of windows.

Exterior Elements

The Modern Prairie style features nearly symmetrical massing with low-pitched hipped roofs. While stucco is the primary exterior material, strong accents with stone, masonry and wood styled siding are utilized and sometimes mixed. Glazing is typically single hung windows, but picture/fixed and sliding windows can also be utilized. Neutral tones are preferred for exterior color with use of bolder accent color for contrast.

Elements	Minimum	Enhanced
Form	- Single story form with emphasis on horizontal linear massing and slender vertical columns in accent stone or brick	
Roof	- Low slope hip roof ranging from 3:12 to 4:12 with deep overhangs	- 12"-16" overhangs
Walls	- Stucco with stone wainscoting and accent material on columns	- Use of stone and siding as accent materials
Windows	-Slider, fixed or single hung windows	- Grids in selected locations
Details	- Prominent use of stone or brick columns and horizontal trim lines - Modern paneled entry doors	
Colors	- Neutral tones with bold contrasting colors	
Outdoor Space	- Porch, minimum 5' in depth	

Modern Prairie Design Images



Modern Prairie Design Element Kit of Parts

Roof types



Hip



Shed

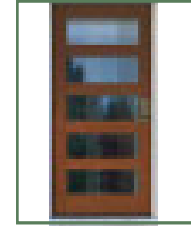


Side

Door styles



Panel door



Panel door with glazing

Posts, columns, and piers



Masonry columns

Detail elements



Ornamental light fixture

Garage door style



Modern panels with side glazing

Window styles



Trim surround

2

Modern Farmhouse

The Modern Farmhouse style is a contemporary interpretation of the traditional farmhouse that incorporates classic farmhouse elements such as gable end roofs, strong vertical lines, and a sense of overall symmetry and puts a contemporary spin on them for a more streamlined modern feel.

Exterior Features

Modern Farmhouse homes are simply framed and rectangular in shape, with the most recognizable characteristic being the gable roof, typically with a higher pitched roof structure. The steep pitch emphasizes the height of the house, and sets the tone for strong vertical lines. The two main exterior siding materials commonly found on Modern Farmhouse styles are stucco and board and batten.

Elements	Minimum	Enhanced
Form	-Simple plan form massing and roof shape	
Roof	-5:12 slope, gable roof with 12" minimum overhangs with flat concrete tiles	-Main gable roof with one or two intersecting gable roofs -12" minimum overhangs
Walls	-Blend of siding, stone and stucco -Stucco sand, light lace, or medium dash finish	-Full-wrapped horizontal siding, board-and batten or stucco
Windows	-Vertical, multi-lined windows at front elevations	-Built-up header trims at front windows
Details	-Porches with simple wood columns and wood railings. -Complementary garage door patterns -Barn door style shutters -Wood columns shall be doubled (or tripled at corners) or 6" min. dimension	-Shaped-wood columns with brackets and knee braces -Gable or hip dormers at front elevation
Colors	-Light to medium colors with contrasting trim and accent colors	
Outdoor Space	- Wide porch: Minimum 6' in depth	



Modern Farmhouse / Design Element Kit of Parts

Roof types



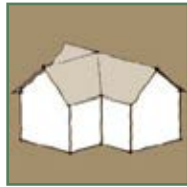
Front



Shed



Side



Cross

Window sills



Shutter design



Plank

Eaves and fascia



Square rafter tails

Posts, columns, and piers



Round columns

Window styles



Single hung with mullions



Slider with mullions



Picture

Garage door styles (glazing optional)



Door styles



Detail elements



Ornamental light fixture



Louvered vent



Wood bracket

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2.2 Development Standards

The DG/DS document contains specific development standards for the Age Restricted neighborhoods only. Future residential neighborhoods in West Village District will be included in a separate adopted set of standards.

The numerical and dimensional development standards necessary to regulate housing development within the Age Restricted area are summarized in Table 3-1 River Islands Architectural Development Standards Summary.

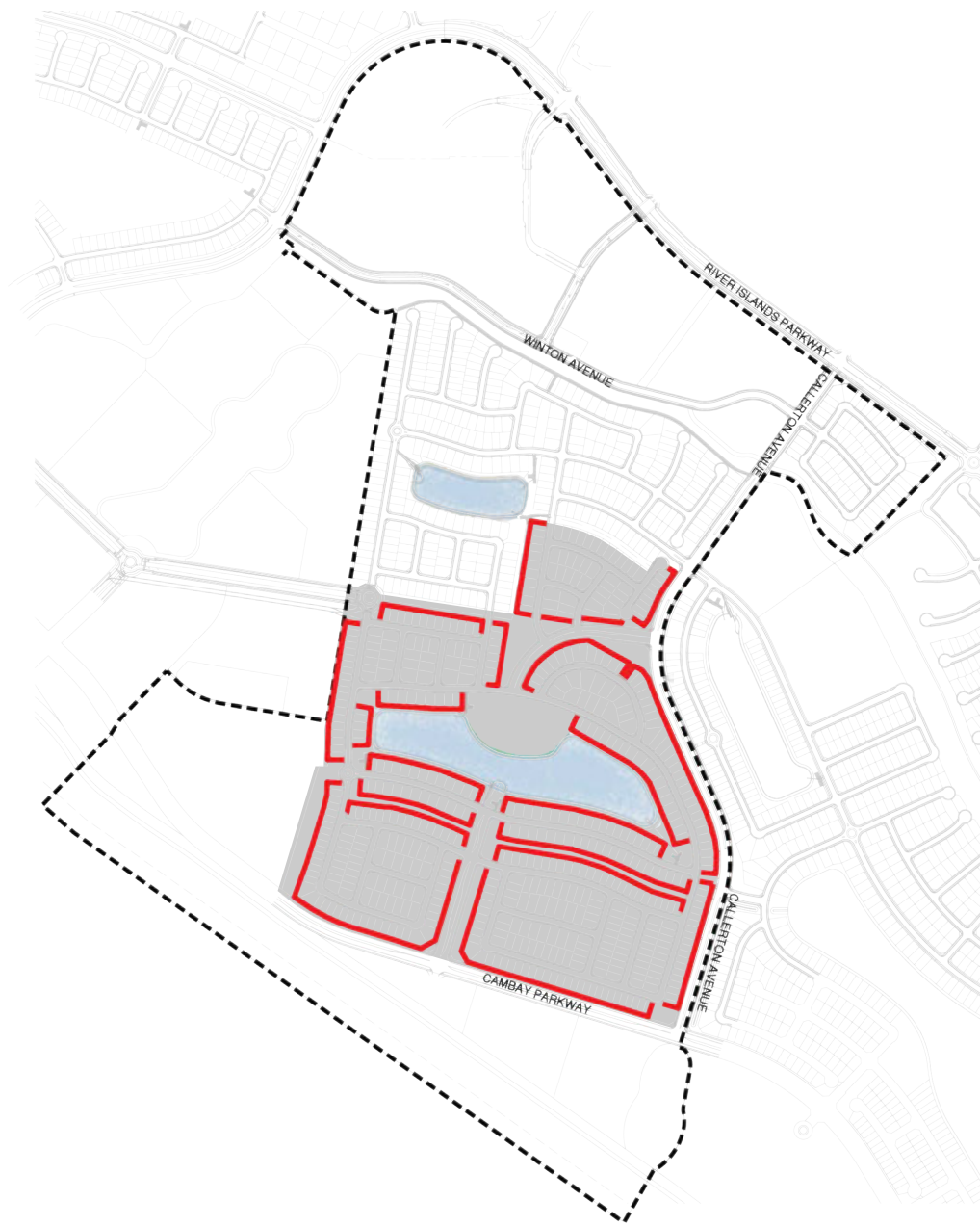
The summary is supplemented with more detailed development standards for each Architectural land use designation in illustrative lot diagrams based on various lot sizes. Yard-street relationships, lot design, setbacks and building height are covered in detail.

To allow future innovative development, architects and planners may and planners may be encouraged to propose new design solutions that may deviate from standards set forth in this document.

The City, based on recommendation of the STDRC shall have the authority to accept, review and grant any minor architectural variance on a case by case basis as long as such variances are not in direct conflict with this document or the UDC.



Figure 2.1 West Village District and Age Restricted Neighborhoods Illustrative Plan



LEGEND

- ENHANCED ARCHITECTURAL ELEVATION LOCATIONS

Figure 2.2 Age Restricted Neighborhoods Enhanced Architectural Elevation Location Map

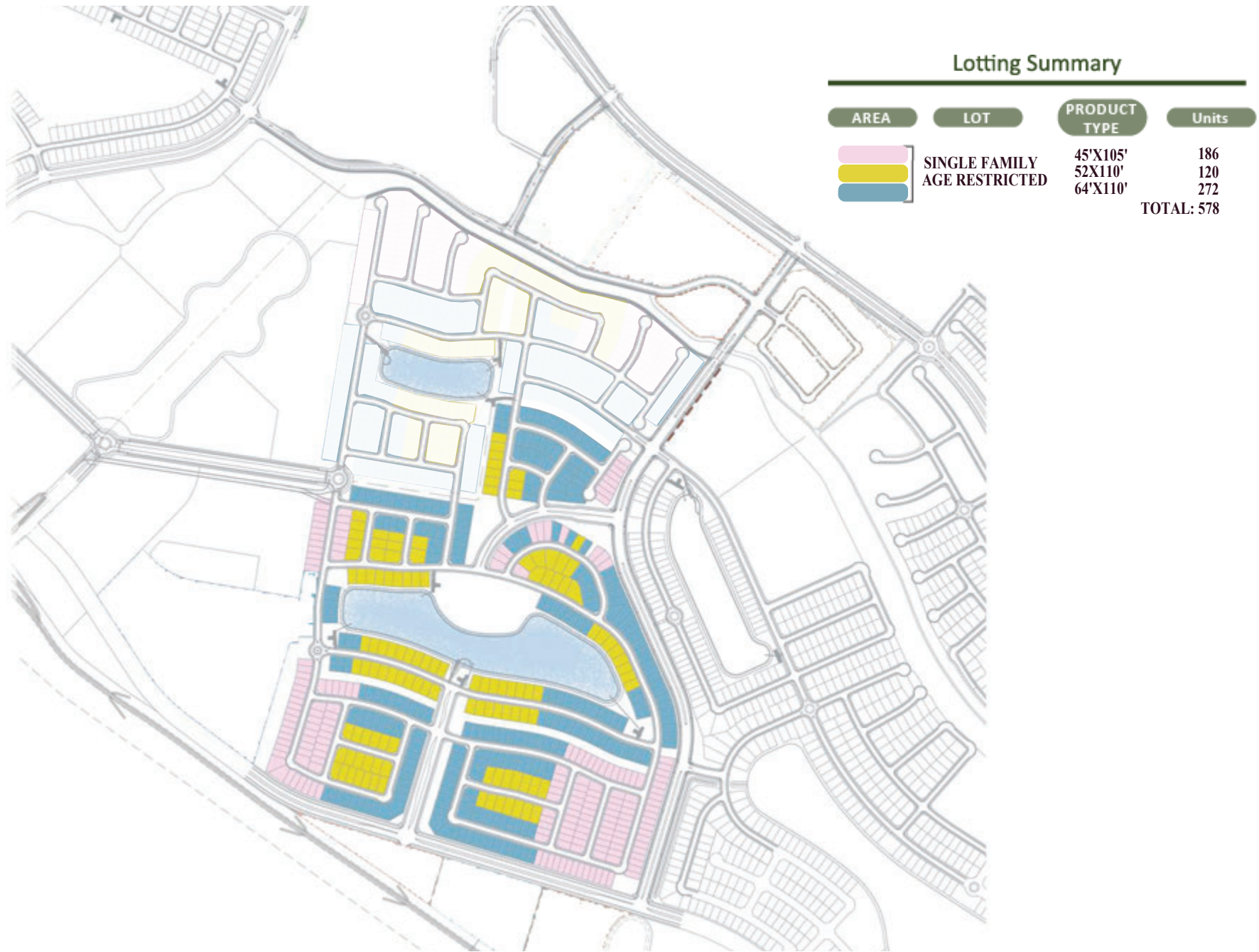


Figure 2.3 Lot Sizes Diagram - Age Restricted Neighborhoods (West Village)

2.2.1 Low Density Architectural (LDR) Development Standards

The LDR land use designation is intended to provide a wide range of single family detached housing products. The permitted density range for this category is typically between 3~10 dwellings per acre (du/ac), with lot sizes ranging from 2,500 s.f. to 13,000 s.f. Lotting of planned units shall be submitted for STDRC review on a final map by final map basis. If plotting cannot be provided, layout of planned units shall follow the following rules to avoid monotony and provide streetscape diversity:

- a. Two of the same architectural styles shall not be placed next to each other.
- b. Two of the same color schemes shall not be used on lots next to each other or across from each other where applicable.
- c. Two of the same floor plan type shall not be placed next to each other on lots that are designated for Classic Series or of the 45'x105' lot size.

Table 2.1 Summary of Active Adult - Architectural Development Standards

ACTIVE ADULT (WEST VILLAGE DISTRICT) - TYPICAL LOT DESIGN STANDARDS			
	Low Density Residential Front Loaded Lots		
Lot Sizes	64'X110'	52'X110'	45'X105'
Setbacks (minimum)			
Front Yard			
Living Space	14'	14'	14'
Porch	12'	12'	12'
Garage Front facing	18'	18'	18'
Side Entry Garage wall	10'	10'	N/A
Front Courtyard wall	10'	10'	10'
Side Yard			
Living Space (interior property line)	5'	5'	4'
Living Space (Corner property line)	10'	10'	9'
Rear Yard			
Living Space	15'	15'	15'
Covered Patio - single story ⁽²⁾	10'	10'	10'
Parking			
Resident (garage)	2 cars min.	2 cars min.	2 cars min.
Building Coverage	70%	70%	70%
Height Maximum to Ridge Line	28'	28'	28'

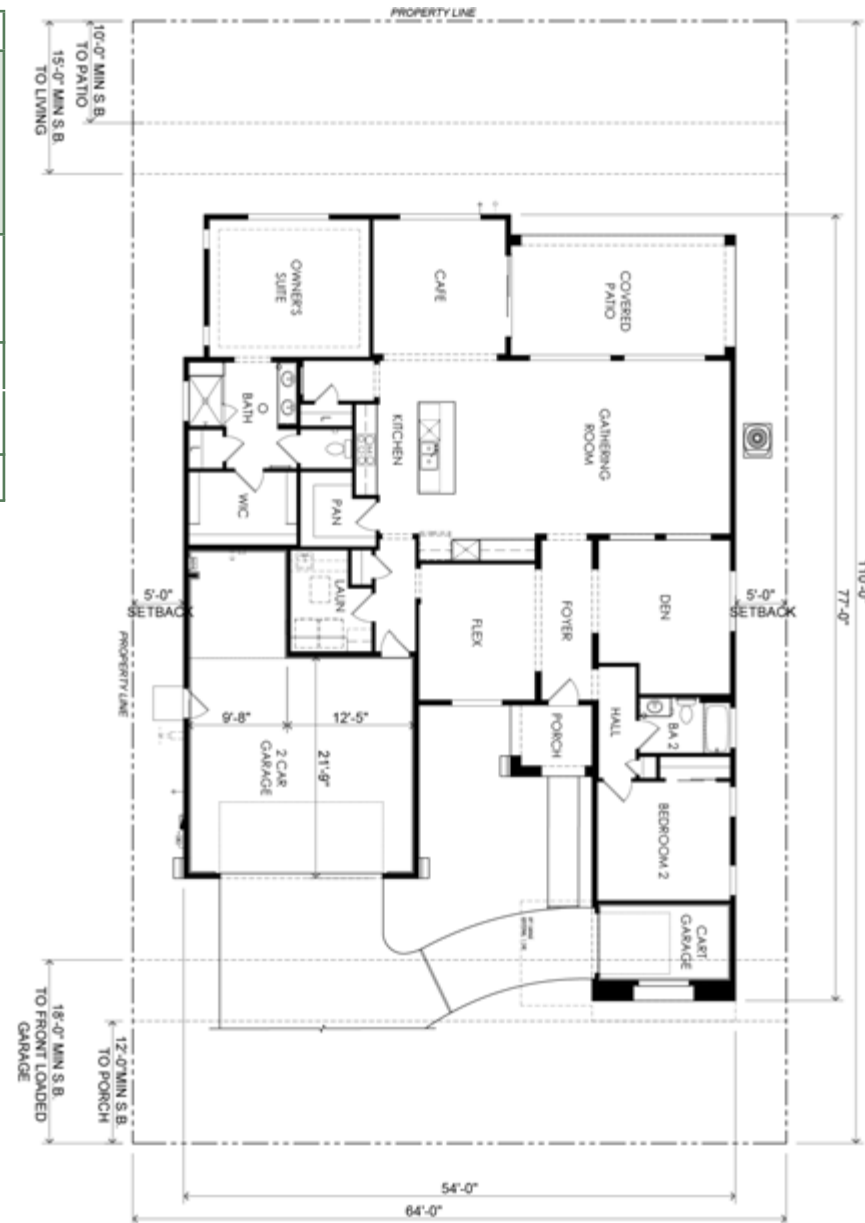
(1) See Appendix for Accessory Structure Standards.

(2) Covered patio can include builder constructed enclosed patios and California rooms.

Table 2.2 Low Density Architectural (LDR) - 64x110 Lots

Setbacks (minimum)	
Front Yard	
Living Space	14'
Porch (5' min. Depth)	12'
Garage Front Facing	18'
Side-Entry Garage Wall	10'
Front Courtyard walls	10'
Side Yard	
Living Space (Interior Property Line)	5' min.
Living Space (Corner Property Line)	10'
Rear Yard	
Living Space	15'
Covered Patio ⁽¹⁾	10'
Building Coverage	70%

(1) Covered patio can include builder constructed enclosed patios and California rooms.



2

Table 2.3 Low Density Architectural (LDR) - 52x110 Lots

Setbacks (minimum)	
Front Yard	
Living Space	14'
Porch (5' min. Depth)	12'
Garage Front Facing	18'
Side-Entry Garage Wall	N/A
Front Courtyard walls	10'
Side Yard	
Living Space (Interior Property Line)	5' min.
Living Space (Corner Property Line)	10'
Rear Yard	
Living Space	15'
Covered Patio ⁽¹⁾	10'
Building Coverage	70%

(1) Covered patio can include builder constructed enclosed patios and California rooms.

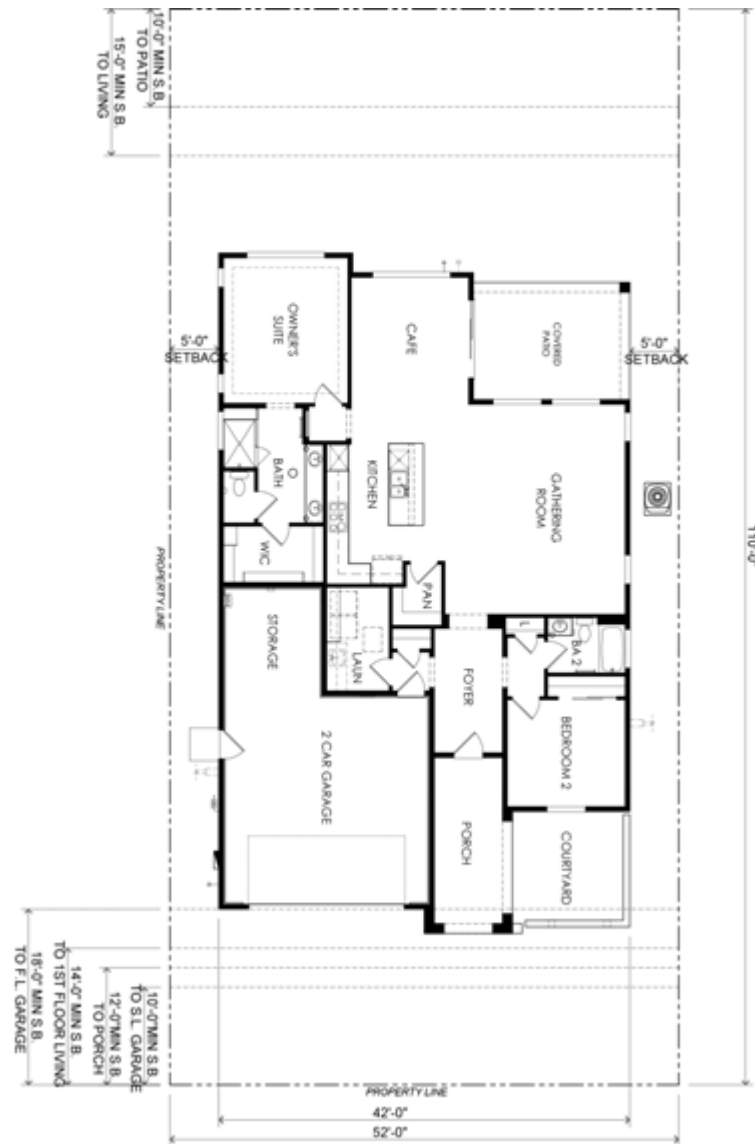
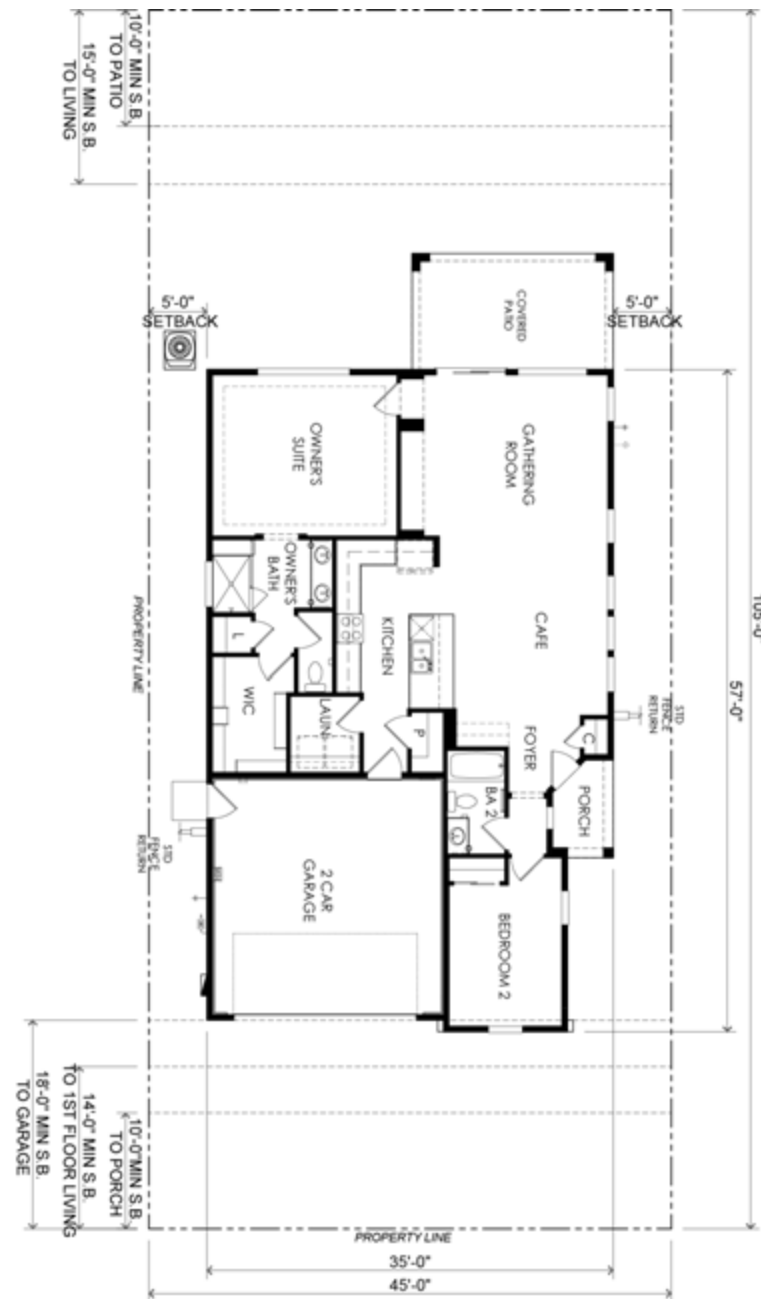


Table 2.4 Low Density Architectural (LDR) - 45x105 Lots

Setbacks (minimum)	
Front Yard	
Living Space	14'
Porch (5' min. Depth)	12'
Garage Front Facing	18'
Side-Entry Garage Wall	N/A
Front Courtyard walls	10'
Side Yard	
Living Space (Interior Property Line)	4' min.
Living Space (Corner Property Line)	9'
Rear Yard	
Living Space	15'
Covered Patio ⁽¹⁾	10'
Building Coverage	70%

(1) Covered patio can include builder constructed enclosed patios and California rooms.



2.3 Technical Specifications:

2.3.1 Structural Wiring

Introduction

The Structured Wiring System shall be installed in a star topology (often called a homerun topology). The system shall consist of a central structured wiring panel (SWP) that terminates cable feeds from each telecommunications provider's network demarcation point. Cables emanate from the SWP and terminate in outlets conveniently located throughout the home.

When possible, all connecting hardware, cables, and SWP shall be purchased from a single manufacturer and installed to the manufacturer's specifications required to provide for a limited product warranty.

All components shall be installed in compliance with applicable local, state, and national building codes. If these specifications conflict with building codes, the building codes shall apply.

Components

Outlets and Terminations

Outlet Locations:

- ^ A minimum of three (3) Media Outlets shall be installed in each home. Media Outlets should be considered in the Kitchen, Home Office, Master Bedroom, and Family Room/Living Room locations. Builders are encouraged, but not required to add more media outlets than the required minimum.
- ^ A minimum of one (1) Quad Media Outlet shall be installed in each home. Typically, this outlet should be placed in the Family Room/Great Room or wherever the main audio/video entertainment equipment is placed within the home. Builders are encouraged, but not required to add more quad media outlets than the

required minimum.

- ^ A minimum of two (2) Data Outlets shall be installed in each home. Data Outlets should be considered in the Kitchen/Great Room area and in the Master Bedroom. A Media Outlet may be substituted. Builders are encouraged, but not required to add more data outlets than the required minimum.
- ^ All outlets shall be located within three feet (3') of an electrical outlet.
- ^ It is recommended that two (2) Media Outlets be installed on opposing walls in each Master Bedroom.

Terminations:

Cat 5e/6 cables shall be placed from the SWP to the following locations:

- ^ Near the HVAC Unit (within 16", blank plated)
- ^ Near any irrigation control (within 16", blank plated)
- ^ These cables are not terminated and shall be labeled by destination (example: "HVAC").

Cable and Connection Requirements

Data:

- ^ All Cat 5e/6 connections are made with an RJ-45 8-conductor modular plugs and jacks wired to the EIA 568A criteria.
- ^ All components shall be rated for Cat 5e/6 performance, including those designated for telephone terminations. Cable runs shall meet EIA 568A criteria for performance, minimum bend radius, and connections.
- ^ Cross-connects at the SWP shall use modular jacks and plugs. The incoming service feeds may use "punch-down" termination.

Video:

- ^ Only hex crimp or radial compression connectors may be used. Twist-on and reusable type connectors are not acceptable.
- ^ Media Outlets are the minimum requirement for any video location.
- ^ All unused coax network ports shall be terminated into a 75-ohm termination device or utilize self-terminating connectors.
- ^ The video distribution system shall include a 4 port passive "splitter" for the distribution of RF signals. If more than 4 video outlets are active, then a bi-directional amplifier shall be installed.

General:

- ^ Unshielded twisted pair (UTP) cable compliant with the Cat 5e/6 or greater EIA 568A specification shall be used to distribute voice and data signals.
- ^ RG-6 coaxial cable is used to distribute video and data signals.
- ^ All cabling shall be installed in a homerun from the SWP to each outlet with maximum individual cable lengths of no greater than 295' (90m) in compliance with TIA/EIA 568A specifications.
- ^ Cables shall be installed according to manufacturers' instructions adhering to minimum bending radius and cable tension specifications.
- ^ At least eighteen inches (18") of cable slack shall be left at all outlets.
- ^ Where possible, the horizontal routing of the cables shall be done between floors (ceilings) and basements or crawlspace (if applicable/available) rather than through studs.
- ^ All cables installed into the SWP shall include a minimum of 24" of slack.

- ^ All installed cable runs shall be tested individually, end-to-end for parity and continuity after final termination. It is recommended that all Cat 5e/6 cabling be mapped and certified to then current, industry accepted standards for the cabling grade.
- ^ The cables can be deployed individually or bundled in a common sheath.
- ^ Hard fasteners may compromise cable performance and shall not be used.
- ^ All cables shall be at least twelve inches (12") from parallel 110 VAC cable runs, and shall never pass through the same holes. If the cable must cross the 110 VAC cable, it shall do so at a 90-degree angle.
- ^ Electrical boxes may cause damage by exceeding allowable bend radius to cables and will not allow for the required 18" of wire or wires to be left for future re-configuring. Cables and outlet cover plates shall be clearly labeled. All cables entering or exiting the SWP shall be labeled. A legend shall be left in the SWP.
- ^ Where it is necessary to penetrate a fire-rated wall, the hole shall be sleeved with EMT. The sleeve and penetrating hole shall be sealed with a fire retardant sealant. Where it is necessary to place an outlet in a fire-rated wall, install a plaster ring (P-Ring), and then block, dry-wall, and caulk per local fire coding.
- ^ All wires and cables in the attic shall not contact bathroom vents, lighting fixtures, hot water pipes, and heating vents. If possible, all wires and cables in the attic should be routed above the attic floor.

Service Feed:

Service feed cabling shall be placed from the exterior network termination location in an uninterrupted path to the SWP. The service feed bundle shall contain a minimum of two (2) Cat 5e/6 cables and two (2) RG-6 cables. The service feed cable shall exit

the home at a height of 5' 6" (five foot, six inches) above finished grade.

Structured Wiring Panel (SWP) and Components

- The SWP shall accommodate all necessary wiring and devices, while maintaining minimum bend radius requirements for incoming and outgoing wiring.
- When the SWP is mounted on an interior concrete wall, plywood backing shall be used.
- A 110 VAC 20 Amp, non-GFI dedicated duplex outlet shall be installed within the SWP.
- The SWP shall be located within the climate controlled (conditioned space) area of the home.

Router:

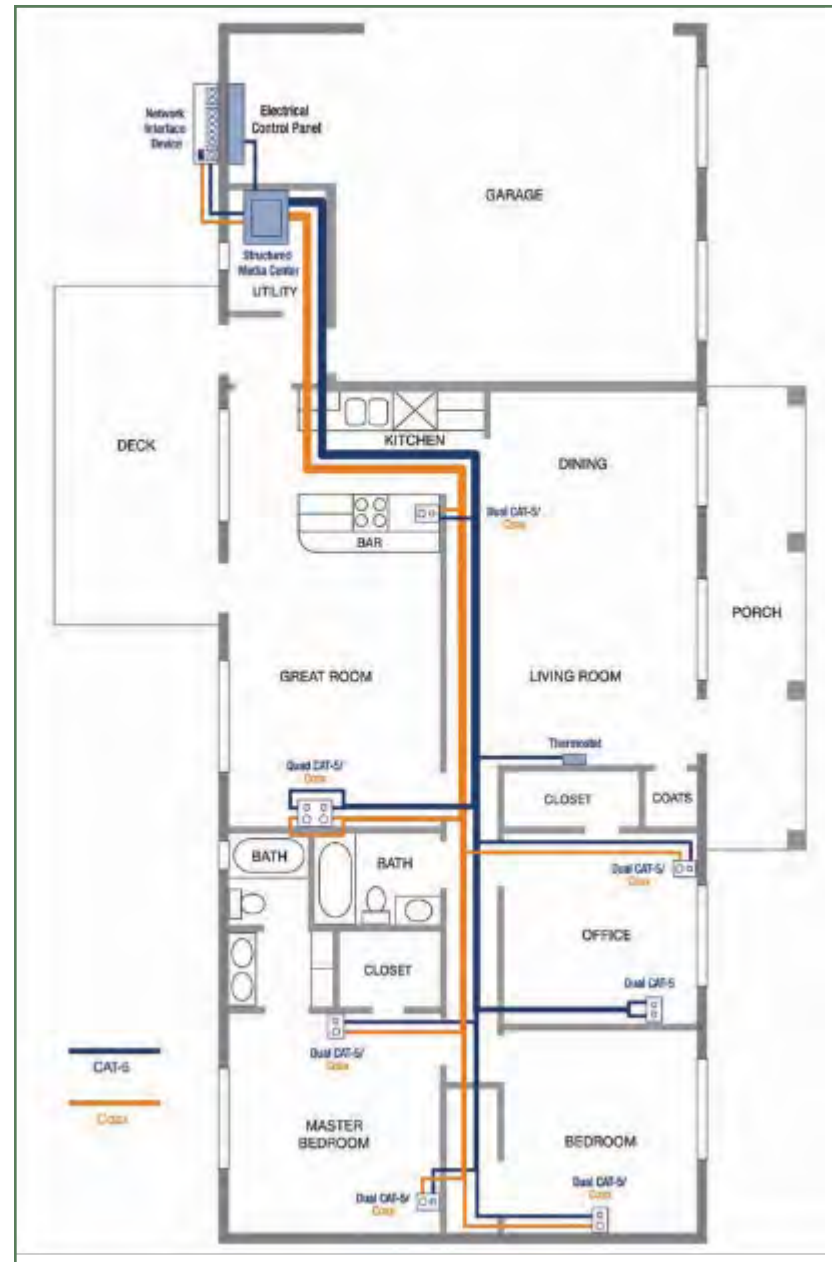
A router is optional. If provided, the router shall be installed and securely fastened inside of the SWP.

- Wireless routers or access points are not recommended within the SWP. The wireless performance may be degraded due to interference from the SWP. Additionally, wireless routers are not recommended to be included due to the problematic nature of the devices.

Service Provider Drop Requirement

- A 1.5" (1½ inch) conduit from the network demarcation point of each residence to the property line is required at a location specified by the communication provider.
- All communication conduits from the property line to the dwelling unit shall be buried at least 24" (twenty-four inches) from finished grade.

Typical Installation



Definitions

Blank Outlet

An outlet with unterminated cables covered with a blank plate.

Cat 5e/6

Category 5e or Category 6 wiring standard, as defined in a revision to the EIA 568A Commercial Wiring Standard. The Category 5e wiring standard shall be the lowest acceptable performance designation for twisted pair wiring and Category 6 is recommended.

Structured Wiring Panel (SWP)

The structured wiring enclosure or wiring distribution panel.

Data Outlet

An outlet with two Cat 5e terminations. One termination is labeled voice and the other data.

Media Outlet

An outlet containing one RG-6 and one Cat 5e/6 cable. RG-6 The coaxial cable grade that ensures adequate bandwidth for the delivery of video signals.

Router

The device connecting the data network in the home (LAN) with the communications provider's data network (WAN).

Quad Media Outlet

An outlet with two Cat 5e/6 terminations and two coax terminations.

UTP

Unshielded Twisted Pair Wire.

Homerun

A wiring topology where every wire is run separately from its termination point back to a central distribution point, usually in a utility room or dedicated A/V room. Also known as "star topology."

RIVER ISLANDS



CHAPTER 3

LANDSCAPE
GUIDELINES AND
STANDARDS

3

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3.1 INTRODUCTION

This chapter addresses guidelines and standards for landscape elements to be installed by Builders. These elements include planting and irrigation of residential yards, driveways, site furnishings, and sustainable design measures. The provisions set forth within this chapter will provide a closely coordinated, cohesive, and memorable landscape experience to unify neighborhood character and ensure that every resident feels well-connected to site and landscape. The goal is to create a welcoming residential landscape that enhances the living experience, adds lasting value to homes and the neighborhood as a whole, and incorporates sustainable measures for landscape design and construction.

The West Village District, as with other districts in the project, will reinforce the overall theme of River Islands with an urban community that feels as if it grew within the context of the California Delta as a corridor between the rural agricultural and country living of the San Joaquin Valley. The concept seeks to blend the modern home into the historical land use of the natural environment of the Central Valley's farm land and the surrounding waterways, which give such life to the environment. This theme may be expressed through use of orchard-style planting, wildlife-attracting hedgerows, riparian-type planting, abundant trees, and durable, long-lasting materials that convey a genuine sense of place.



Typical frontyard planting along residential streets



Parkway strip shrub and tree groupings create a sense of place

The City of Lathrop Municipal Code, Chapter 17.92: Landscape and Screening Standards and the City of Lathrop Design and Construction Standards provide additional requirements for landscape. Where documents differ, these Builder Guidelines and Standards shall apply.

3.2 RESIDENTIAL LANDSCAPE

3.2.1 Planting Design

Guidelines

- Planting themes have been selected to mimic existing characteristics and habitat of the delta waterways and vegetated agricultural hedgerows. Plant material selection should strongly consider the use of drought-tolerant, durable and long-lived species that give the appearance and imagery of the Delta Valley. Species should be well adapted to the climatic conditions and soil types typical of the River Islands Development. Robust evergreen shrub species intermixed with flowering native shrub species are strongly encouraged. Large naturally shaped flowering shrubs species should be selected to mimic the image of traditional hedgerows typical of the surrounding agricultural region. Flowering species that create year-round interest are of high preference.
- Landscape design should emphasize the use of nectar-producing and flowering plants that supply food, shelter and breeding habitat for beneficial insects that pollinate edible crops and control pests. Gardens for butterflies, hummingbirds, and native bees are encouraged.
- Landscape design should provide effective screening of retaining walls, utility enclosures, utility cabinets, or service areas to reduce negative visual impacts. Screen landscaping should incorporate evergreen plant species in order to maintain year-round leaf cover.
- Plant selection should avoid the use of tree species with invasive root systems near utility lines and paving and avoid the use of non-native, invasive species that may spread into open space areas. All plants should be carefully selected to avoid toxic species that could

- Low groundcover of robust evergreen species should be used for ground plane landscape, as an alternative to turf. Turf should only be used for high use areas and the selected turf should be a deep rooting variety or a California Native variety. The use of turf should follow the guideline and requirements as described in AB1881 and Chapter 17.92 of the Lathrop Municipal Code.
- Plants with higher water demands should be located in shade or where more runoff occurs.
- Landscape around homes should be designed to provide shading in the summer months and solar access during the winter. Planting deciduous trees next to buildings will reduce ambient temperature, reduce heat gain, and allow for cooler natural ventilation. Deciduous trees and vines in front of south-facing walls and windows will further cool buildings by intercepting sunlight during summer months, yet allow direct sunlight during the winter.
- Energy-efficient landscaping techniques are encouraged such as use of local materials, on-site composting, and chipping to reduce green waste hauling.
- Structures such as trellises and porticoes may be incorporated into the building/landscape edge, especially on south- and west-facing exposures, to provide shade in the summer and allow solar penetration when the sun is at a low angle in the winter.

Standards

- All private yard areas visible from public parks, streets, alleys or lakes shall be landscaped by the Builder/Developer. Homeowners shall be responsible for private yard areas enclosed within fences.
- Landscape plans for all areas where the builder is required to install landscaping shall be prepared by a landscape architect registered to practice in the State of California.
- Landscape construction practices shall adhere to the provisions in Section 3.4, below.

STREET TREE MASTER LIST

LOTS	STREET DIRECTION	BOTANICAL NAME	COMMON NAME
Internal Streets	North/South	Acer rubrum 'October Glory'	October Glory Red Maple
	East/West	Chitalpa t. 'Pink Dawn'	Pink Dawn Chitalpa

STREET TREE LIST BY CONNECTOR STREET

STREET	BOTANICAL NAME	COMMON NAME
BRIARSTONE LN	Ginkgo biloba	Ginkgo
CAMBAY PARKWAY	Carpinus b. 'Franz Fontaine'	Franz Fontaine Hornbeam
BRIGHTWOOD/ GLEN ARBOR	Pistacia chinensis 'Keith Davey'	Keith Davey Chinese Pistache
CALLERTON AVE	Zelkova s. 'Green Vase'	Green Vase Zelkova
BRADBURY AVE	Tilia c. 'Greenspire'	Greenspire Little-Leaf Linden
ADDISON AVE	Ulmus p. 'Drake'	Chinese Evergreen Elm
HAVERHILL WAY	Chitalpa t. 'Pink Dawn'	Pink Dawn Chitalpa

ACCENT TREE LIST

BOTANICAL NAME	COMMON NAME
Cercis occidentalis	Western Redbud
Chitalpa tashkentensis	Chitalpa
Lagerstroemia indica	Crape Myrtle
Prunus c. 'Krauter Vesuvius'	Purple Leaf Flowering Plum
Prunus serrulata 'Kwanzan'	Kwanzan Flowering Cherry

Note: These species are for reference and are not intended to be the only type of accent trees. See Appendix B for additional species.



TYPICAL CORNER LOT STREET TREE PLANTING



TYPICAL INTERNAL LOT STREET TREE PLANTING

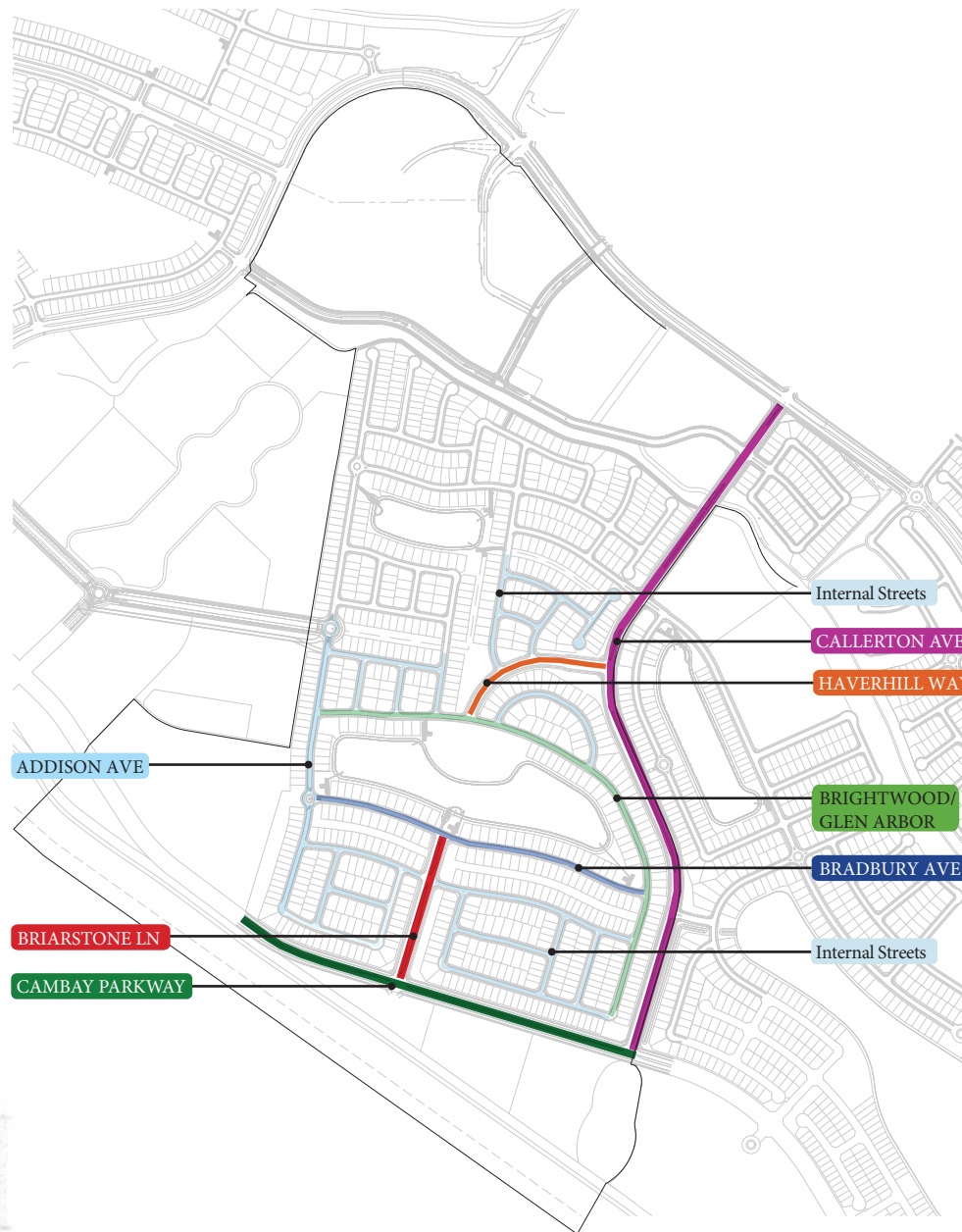


Figure 3.1 Street Tree Locations - Age Restricted Neighborhoods (West Village)

PARKWAY STRIP MASTER PLANT LIST

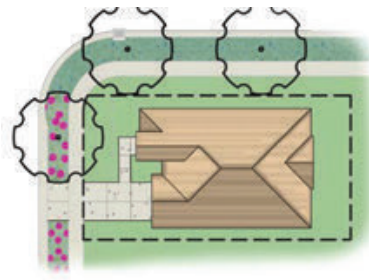
VILLAGE / STREET	STREET / DIRECTION	BOTANICAL NAME	PLANT SPACING
Internal Streets	East/West North/South	Arctostaphylos 'Pacific Mist' Myoporum pavifolium	36" O.C. 36" O.C.
ADDISON AVE	North/South	Rosmarinus offic. 'Huntington Carpet'	36" O.C.
BRIARSTONE LN	North/South	Coprosma p. 'Verde Vista'	36" O.C.
BRADBURY AVE	East/West	Rosa x 'Noaschnee'	36" O.C.
BRIGHTWOOD/ GLEN ARBOR	East/West	Arctostaphylos 'Pacific Mist'	36" O.C.
CAMBAY PARKWAY	East/West	Varies	36" O.C.
CALLERTON AVE	East/West	Varies	36" O.C.
HAVERHILL WAY	North/South	Rosa x 'Noaschnee'	36" O.C.

PARKWAY STRIP PLANT LIST

BOTANICAL NAME	COMMON NAME
Juniper	Juniper
Coprosma p. 'Verde Vista'	Coprosma
Cotoneaster dammeri 'Coral Beauty'	Bearberry Cotoneaster
Arctostaphylos 'Pacific Mist'	Manzanita
Cistus Salvifolius	Sageleaf Rockrose
Myoporum parvifolium	Australian Racer
Rosa x 'Noaschnee'	Flower Carpet White Rose
Rosmarinus offic. 'Huntington Carpet'	Huntington Carpet Rosemary
Teucrium chamaedrys 'Prostratus'	Germander
Rosmarinus O. 'Prostratus'	Dwarf Rosemary



PARKSTRIP SECTION
NOT TO SCALE



TYPICAL PARKSTRIP PLANTING SCHEME
NOT TO SCALE

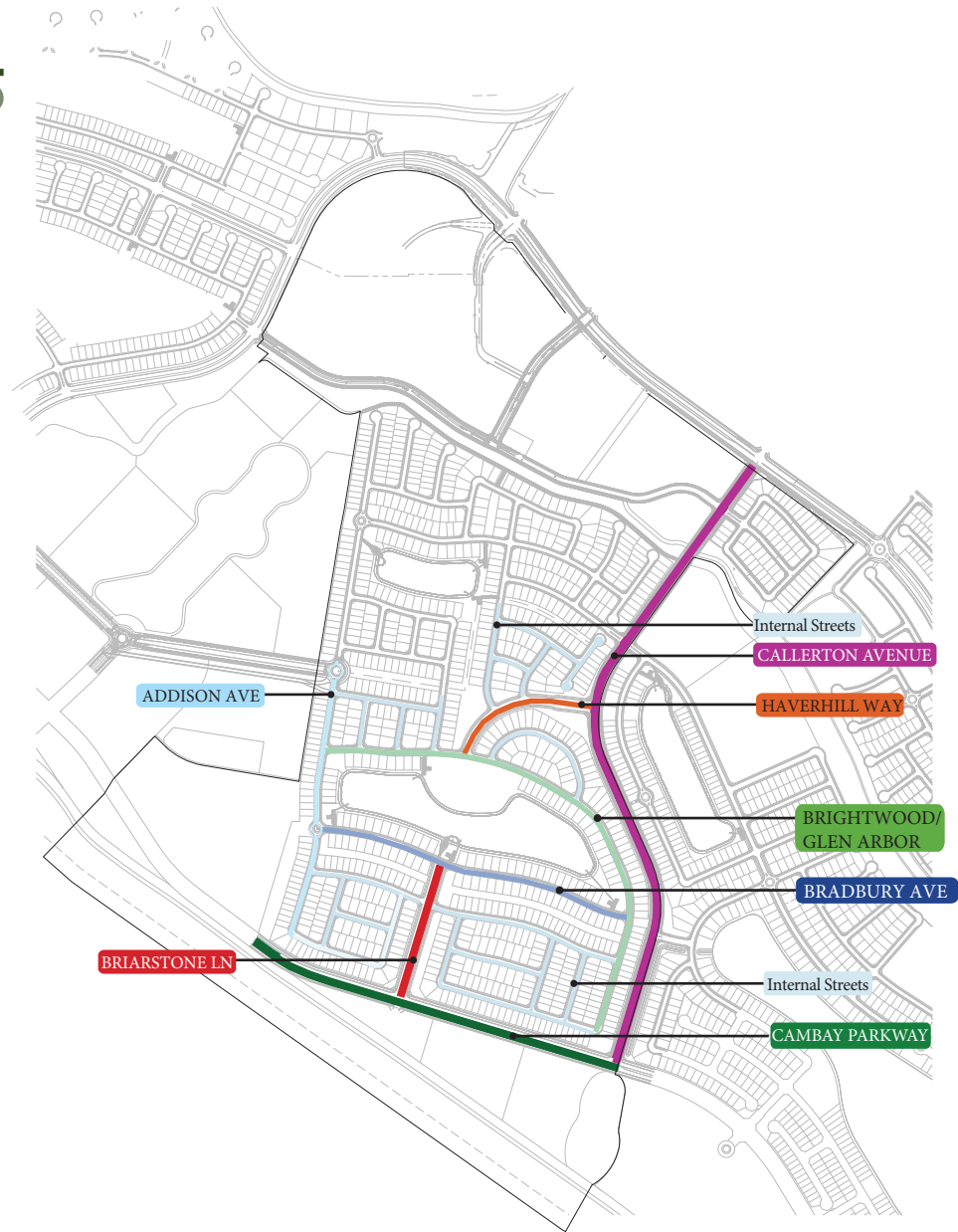


Figure 3-2: Parkway Strip Planting Master Plan

3.2.2 Front and Side Yards

- Front yards of lots should be designed and installed by the Builder as a continuous landscape with consistent plant materials and dimensions that unify the street edge (see Figure 3-1). Dominant ground plane plant material should consist of shrubs, perennials and grasses that maintain an attractive appearance and enhance natural habitat values.
- Hedgerows may be used on side property lines for privacy and definition of yard areas, and a continuous low border of low shrubs or groundcover may be installed adjacent to the sidewalk (see Figure 3-2).
- Shrubs located near street frontages or on corner lots should not exceed three feet in height.
- Builder is responsible for landscape, irrigation and maintenance of front and side yards.

Standards

- Landscaping for all front yard areas shall be installed by the Builder.
- The Builder shall design front yard landscape for all lots. These front yards shall include a minimum of one tree for regular lots and three trees for corner lots which shall match the species and size of the adjacent street trees or as indicated in Figure 3-1. Additional “accent” trees installed outside of the parkway strip areas may be of a different species (refer to Appendix for a list of acceptable “accent trees”).
- Other front yard areas shall be planted with shrubs and perennials that enhance habitat values and maintain an attractive year-round appearance along the street.
- All front and side yards shall be maintained by the homeowner.
- Irrigation shall be provided for all planted areas (see Section 3.4). The Builder shall install irrigation for all areas that they landscape. After construction, homeowners shall be responsible for irrigation of all yards and adjacent parkway strips. Parkway landscaping shall be maintained by the homeowner fronting along that parkway section, unless it’s the responsibility of a non-City public agency, HOA or maintenance district.

3.2.3 Rear Yards

See Section 3.3 for fencing requirements in lakeside rear yards.

Guidelines

- All rear yards of all lakeside homes should contain a minimum of two trees.
- For lakeside homes, the slope area from the rear yard fence to the lake edge should be planted in informal drifts of shrubs, grasses and perennials. Plant material should be located to maintain views of the water, with higher planting allowed on lower terraces and shorter species on upper portions of the slope. No trees are allowed within the slope areas outside of the 5’ tall tubular steel fence.

Standards

- All rear yards adjacent to the lake (from rear yard view fence to lake edge) shall be landscaped and mulched (with bark or gorilla hair) by the Builder. This includes view fencing installation at the top of rear yard slopes and side yard fencing installation.
- Developer shall install rear yard pilasters at every other lot corner, pathways to docks, and docks (see Figure 3-4). (Builder may install with the consent of the Developer).
- Irrigation shall be provided for all planted areas (see Section 3.4). The Builder shall install irrigation for all areas that they landscape. After construction, irrigation water may be provided by RD 2062 with homeowners responsible for maintenance of the irrigation system (non-potable water source). Homeowners shall be responsible for irrigation of all yards and adjacent parkway strips.

3

CONSTRUCTION RESPONSIBILITY

DEVELOPER RESPONSIBILITY*
 View Fence
 Pilasters
 Concrete Walk and Stairs
 Private Docks

BUILDER RESPONSIBILITY
 Privacy Fences (4' and 6')
 Back Yard Trees
 Hillside slope planting along water

*Builder may install with the consent of the Developer

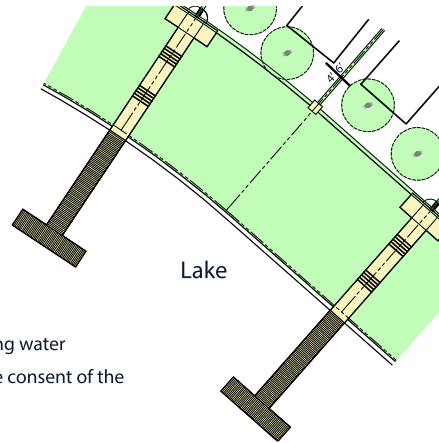


Figure 3-3: Builder/Developer Responsibility Rear Yards/Lake Slopes

- Homeowners shall be responsible for maintenance of their rear yard to the view fence that separates their yard from the lake slope in accordance with these guidelines, the Lathrop Municipal Code and River Islands CC&Rs. Homeowners shall also be responsible for lake slope improvements as well, in accordance with recorded easements as described below.
- Landscaped slope areas under control of Reclamation District 2062 (RD 2062) shall have recorded easements to each individual lot outlining the restrictions and limitations regarding the improvements shown herein. Any subsequent improvements to these areas are subject to review and approval of RD 2062 under separate policy provisions separate from these guidelines.

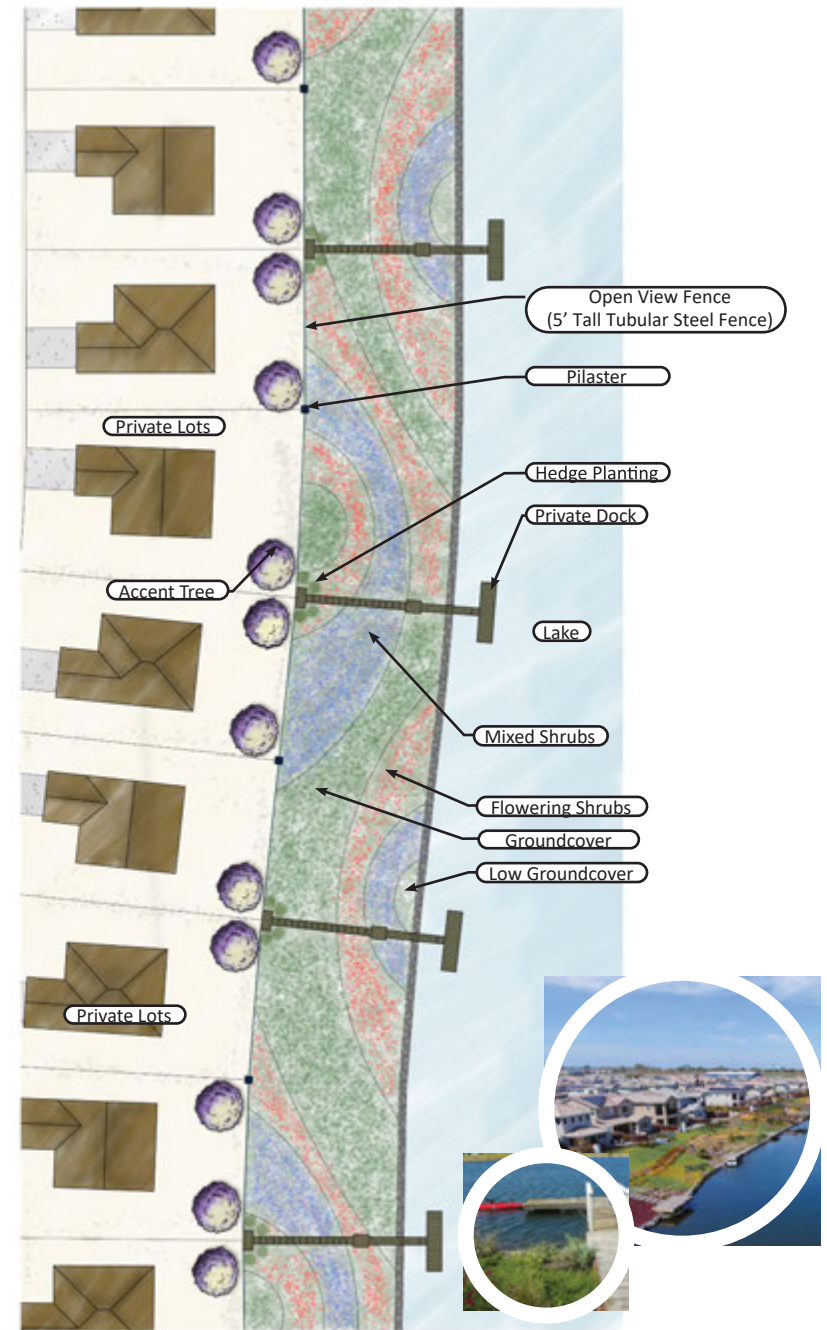


Figure 3-4: Rear Yards/Lake Slopes at Lakeside Homes



3.3 SITE FURNISHINGS/ MATERIALS

3.3.1 Fences

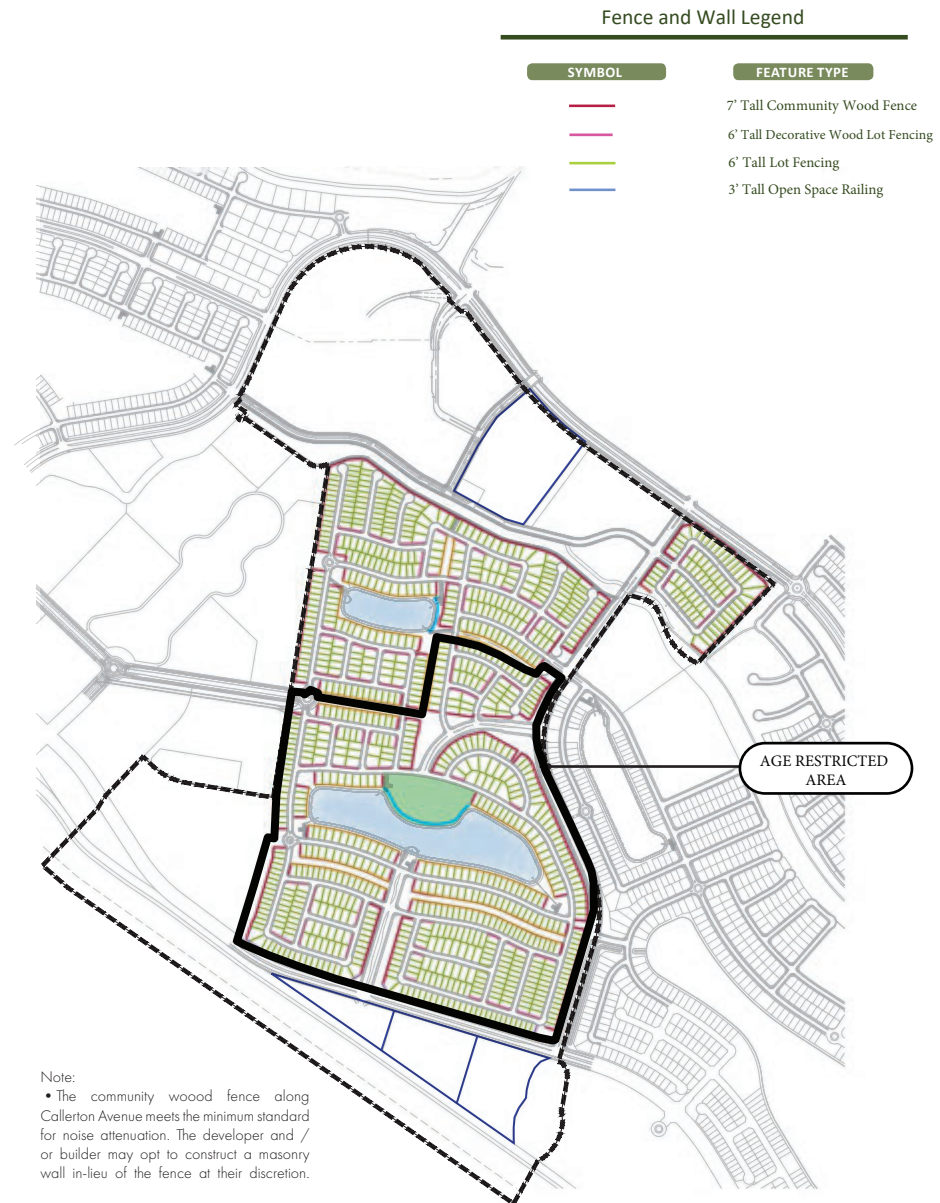
Figures 3-6, 3-7, and 3-8 illustrates the location and types of fencing to be used, with a variety of heights and design to be used for various conditions. These fences consist of a ‘family’ of elements, similar in style and materials, used in a consistent manner throughout the neighborhood. Additional fencing and walls, including view fencing in the rear yards of lakeside homes, will be installed by the Developer. It should be noted that standards provided in this chapter shall also apply to medium density development and applied on a case by case basis due to the variety of product.

Guidelines

- In general, fencing should be designed to be natural-appearing and durable, compatible with neighborhood character, and reflective of the “Delta Agrarian” character of River Islands.
- Fencing should be made from high quality materials, be of durable construction, and present a “finished” appearance from adjacent properties.
- Solid fences or walls used for privacy or security may be used in either side or rear yard conditions. Fencing should be limited to six (6) feet in height and, in areas facing a public street or alley, must incorporate a change in articulation for the top 12-18 inches of the fence.
- Solid side yard privacy fencing that intersects open space view fencing should not exceed 5 feet in height within the rear setback.
- To reduce their visual prominence, fences should be used in combination with tree, vine, shrub, and hedge planting.

Standards

- 6’ Tall Decorative wood fencing and 6’ tall side yard wood fencing shall be installed by Builder using the design treatments illustrated in Figure 3-8 and in locations indicated by Figures 3-5, 3-6, and 3-7.
- 6’ Tall Decorative wood fencing with lattice treatment shall be used for areas visible from public areas including roadways and parks.
- 6’ Tall Decorative wood fencing shall be set back 10 feet from the side-walk. Gates shall be installed on one side of the home to allow access from front yard to side yard.



NOTE: BUILDER SHALL ALSO INSTALL PRIVACY FENCES PER FIGURES 3-7, 3-8 AND 3-9
 Figure 3-5: Community Wall and Fence Diagram

- 6' Tall Decorative wood fencing shall be used on side property lines. Fencing shall be limited to six (6) feet in height. Decorative privacy fencing (with lattice) shall be used in areas visible from public streets or other public areas. Privacy fencing for lakeside homes shall transition from six feet to five feet in height as indicated in Figure 3-8.
- In sloping areas visible from public streets or public use areas, fencing shall step down the slope. Fencing may slope with the grade in

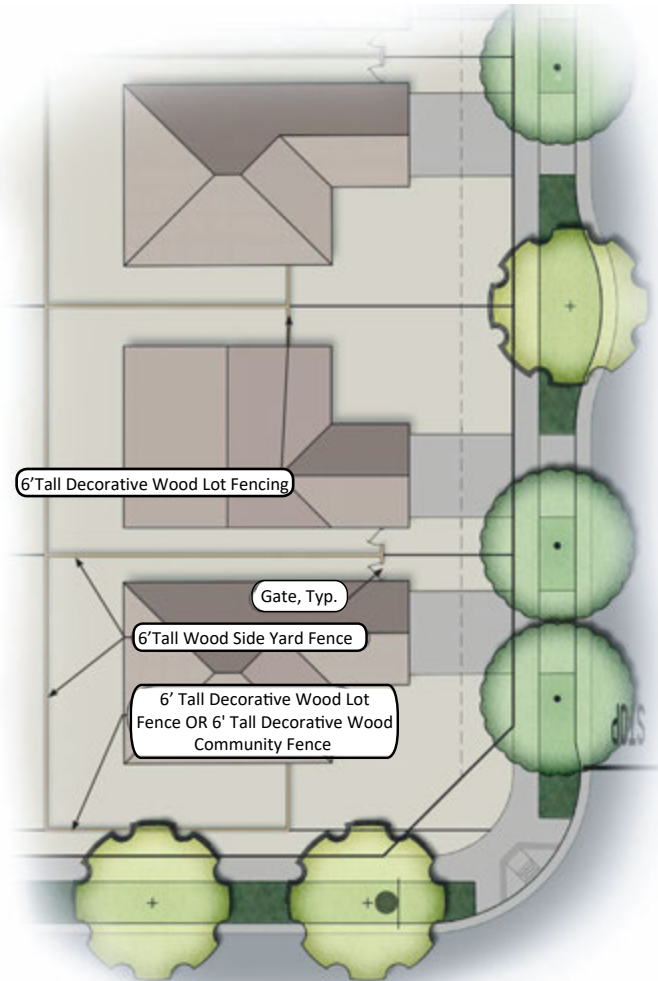


Figure 3-6: Prototypical Fence Conditions

- areas that are outside of public view.
- On corner lots, front yard fencing shall be continuous along the front and side property line. Where slopes occur, fencing shall be installed along the top of slope. For corner lots, side yard fencing along street frontages shall be located a minimum of five (5) feet from the sidewalk.
- Maximum unbroken length of side yard fences should be 100 feet for adjacent street-facing lots. Fencing can be reduced in height at corners as required to allow for traffic safety and visibility.

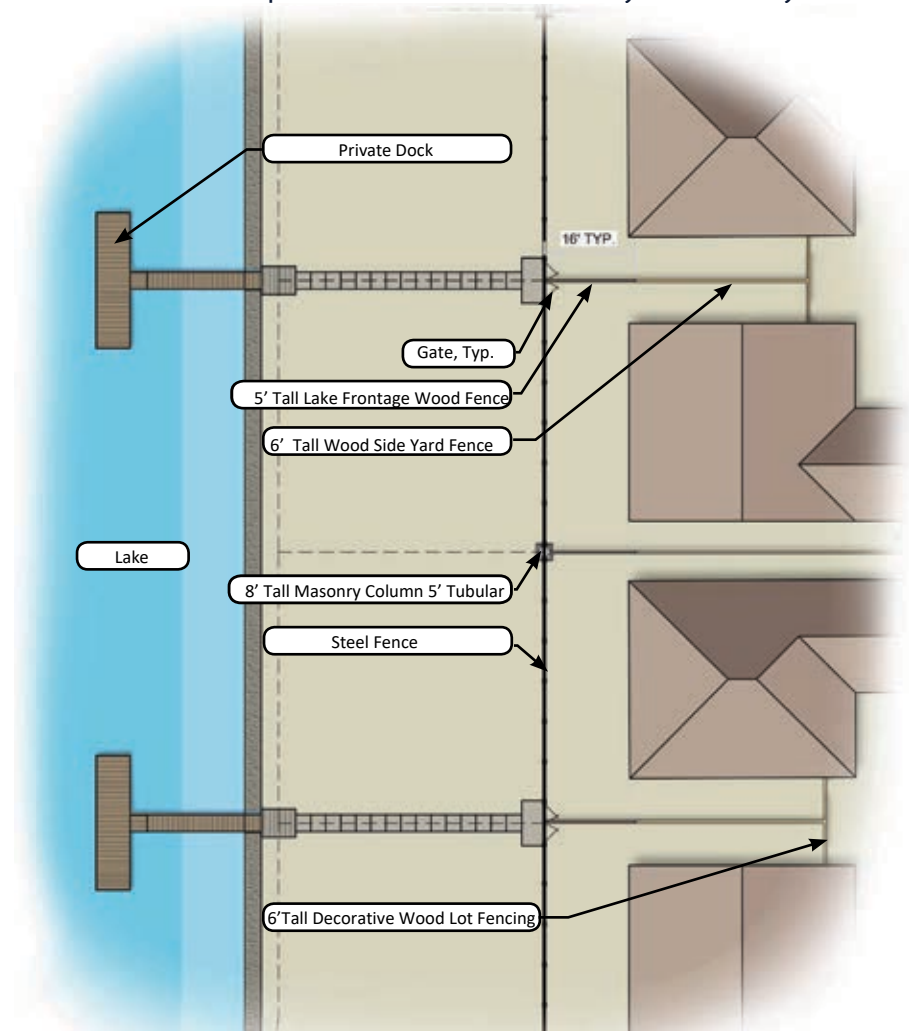
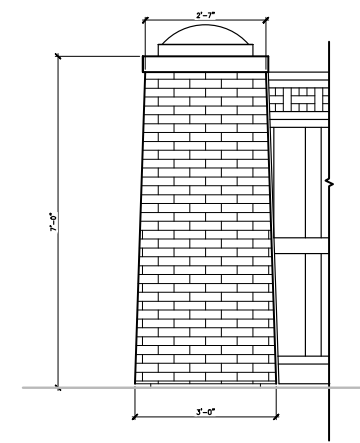
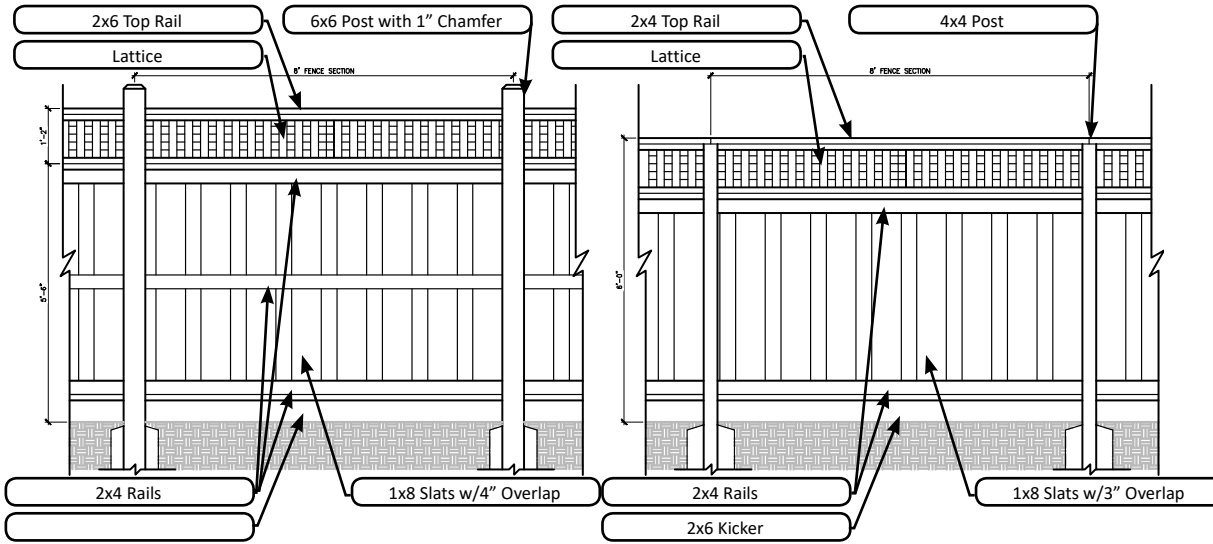


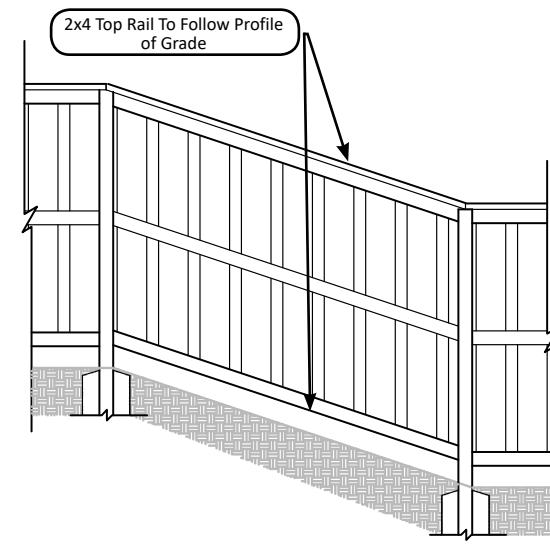
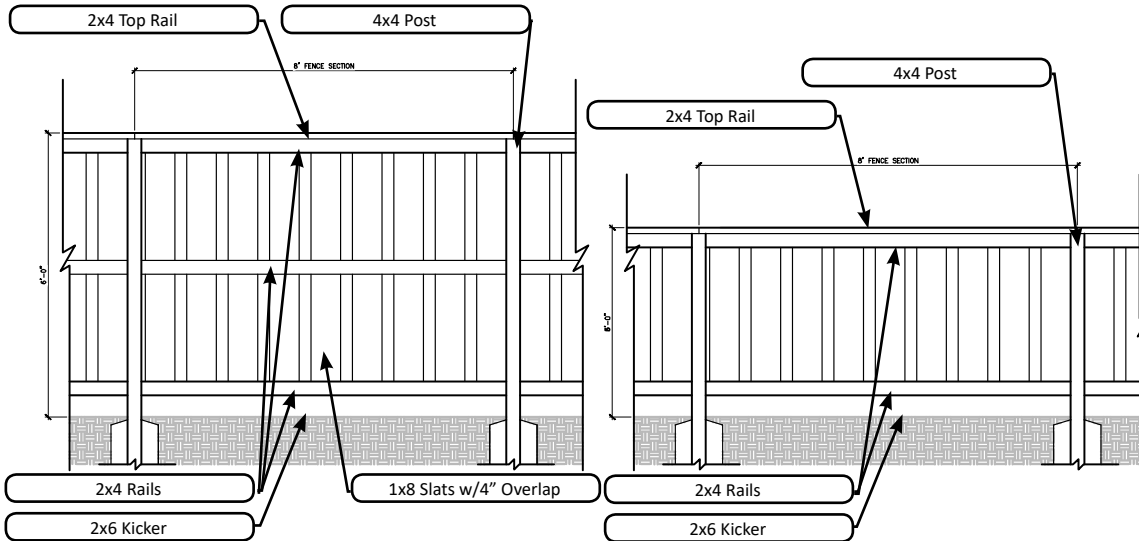
Figure 3-7: Prototypical Fence Conditions (Water Edge)



6' TALL DECORATIVE WOOD
PRIVACY/COMMUNITY FENCE

6' TALL DECORATIVE
WOOD LOT FENCE

8' TALL MASONRY COLUMN

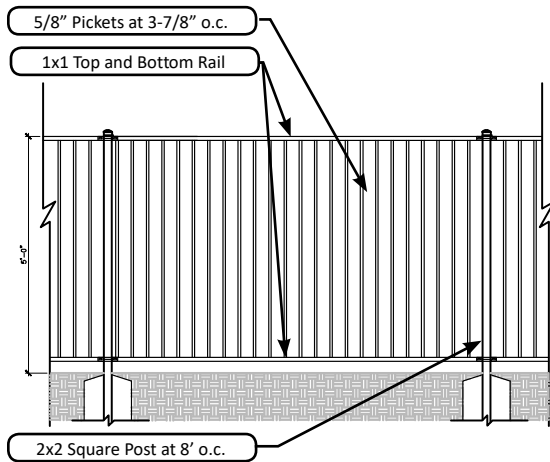


6' TALL WOOD
SIDE YARD
FENCE

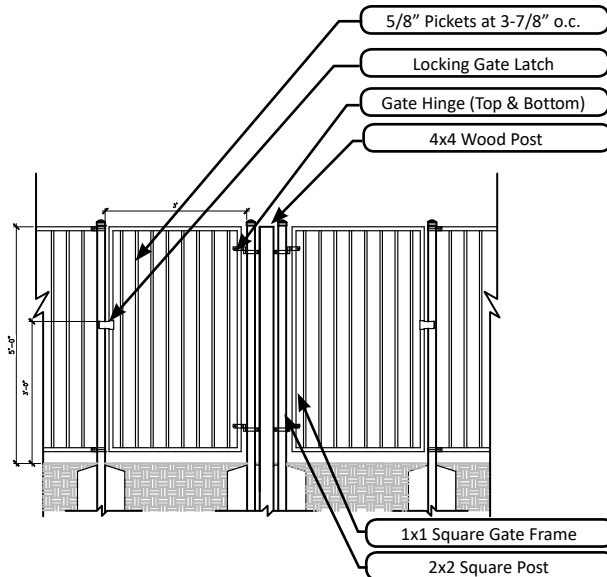
5' TALL LAKE
FRONT
TRANSITION FENCE

6' TALL WOOD SIDE YARD
FENCE (SLOPING CONDITION)

Figure 3-8: Prototypical Fence Conditions (For Builder/Developer)



5' TALL TUBULAR STEEL FENCE
AT LAKE FRONTAGE



5' TALL TUBULAR STEEL FENCE WITH
3' TALL GATE AT LAKE FRONTAGE

Figure 3-8: Prototypical Fence Conditions (For Builder)

- Security fencing shall be provided around pool and spa areas in compliance with all applicable codes and ordinances.
- Barbed or razor wire, chain link and plastic/vinyl fencing is prohibited on residential properties.

3.3.2 Signage

- Temporary signage to market the sale of new homes – to be provided by River Islands. Signage should conform to the signage types and hierarchy described in the Appendix.

3.3.3 Landscape Lighting

Guidelines

- Landscape lighting should be designed to be hidden from direct view and to minimize glare and impacts to adjacent land uses, especially residences. Low-level, pedestrian-scale fixtures should be utilized to the degree possible.
- Landscape lighting should utilize durable, energy-efficient fixtures that provide pleasing color. High efficiency fixtures are encouraged to direct light where it is needed to avoid excessive glare and reduce impacts upon night sky and open space. No lighting should blink, flash, or be of unusually high intensity or brightness, except in the case of holiday lighting.
- Landscape lighting should be minimized to reduce light pollution and minimize energy usage.
- LED fixtures and intelligent control systems should be utilized to the extent possible.

3.3.4 Paving and Hardscape

Guidelines

- Paving surfaces on residential lots should be limited to the driveway, walkways, and patios. Paving to replace landscaping shall comply with the Lathrop Municipal Code.
- The general intent of pavement design is to provide an aspect of permanence with subtle textural variety using materials that

appear related to the natural landscape. Brightly-colored and highly reflective materials are not acceptable. Pervious paving is encouraged to the extent feasible.

- Use of enhanced paving materials (exposed aggregate, broom finish, integral color, unit pavers, stamped concrete, and bricks, etc.) is encouraged for front walks, patios and driveways. Planting areas are recommended between pavement and walls or fences. Concrete areas on the landscape plans should be designated with surface finish, color, expansion joints, and score joints. Expansion and score joints help isolate cracking locations in concrete and should occur 8 feet on center (max.) in each direction.
- Residential driveways serving front-facing garages should use enhanced materials, and/or scoring patterns to reduce the visual impacts.
- Selected paving color/albedo should meet a minimum SRI (Solar Reflective Index) value of 29 in order to aid in reducing the heat island effect (note: typical grey concrete usually falls between 38-52).

3.4 LANDSCAPE CONSTRUCTION PRACTICES

The following provisions address construction practices techniques to ensure healthy and successful projects and adhere to requirements and measures for sustainable landscape.

3.4.1 Irrigation and Water Conservation

The City of Lathrop Municipal Code, Chapter 17.92 Landscape and Screening Standards, contains additional requirements for irrigation and water conservation.

Guidelines

- The irrigation system should be designed to conserve water resources by efficiently and uniformly distributing water. Designs should be based upon applicable California Department of Water Resources ordinances and tailored to the climate of the City of Lathrop.

- Use of low volume spray heads and drip irrigation systems should be maximized. New irrigation techniques and drip irrigation systems should be used to ensure more efficient delivery of water.
- Irrigation design should accommodate hydrozones accordingly, separating high, medium and low water-use plants. Trees should be put on a separate system, specifically in lawn areas, and shrubs and trees should be irrigated with a drip or bubblers to provide deeper, more even watering and promote water conservation. Systems should also be separated by sun exposure, i.e., north/east exposures versus south/west exposures.
- Turf and groundcover should be irrigated with a conventional rotary nozzle spray system, using head-to-head spray coverage. In-stem pressure regulation and check valves are required on all heads. To effectively meet the intent of the state of California's conservation effort sub-surface drip irrigation should be the primary irrigation method. No above ground irrigation distribution method should be incorporated in areas less than ten feet (10') wide and shall maintain a twenty-four inch (24") offset from all pavement surfaces that drain directly to catchbasins.
- The irrigation controllers should be programmed according to the water needs of plants on each circuit, with consideration of the time of year and plant maturity. If precipitation rate exceeds the soil absorption rate, multiple shorter cycles should be programmed as required to allow absorption.
- Automatic irrigation controllers should be automatically adjusted using, at a minimum, daily ET (Evapotranspiration) rates and preferably hourly ET with an onsite rain shut-off device. Should an ET based controller not be utilized an onsite rain sensor with active moisture sensor may be used.
- All homes should be installed with an automatic master valve at the irrigation point of connection in conformance with AB1881 (MWEL0)
- Main lines should have 18" of cover.
- Irrigation valves should be screened from view from the street by landscaping or other attractive site materials.
- Irrigation systems should be monitored regularly for proper operation, leaks and broken heads, adjustment of controller programming, and elimination of excessive over spray and runoff.

Standards

- Irrigation shall be provided for all planted areas.
- Builder shall provide each home with an automatic irrigation controller that accommodates all aspects of the landscape design, including independent programming of multiple stations to cover front yard (including parkway strip), side yard, and backyard areas. Lake slope areas may be provided non-potable water from RD 2062.

3.4.2 Soil Preparation and Mulching

Standards

- Finish landscape grading by Builders after construction of homes, if required, shall maintain or re-establish the overland release per the design intention of the Developer's Civil Engineer. Builders shall be responsible for maintaining proper drainage without creating depressions or dams.
- Builders should require an Agricultural Suitability Soil Test. The soils should be tested for agricultural suitability, parasitic nematodes and herbicide or deleterious contamination. The test should be completed by a reputable testing agency and should include recommendation for amendments, soil conditioners, pH correction, and fertilization.
- Subsequent to installation of underground utilities, soil compacted by construction should be rototilled to a minimum depth of eight (8) inches. In order to prevent interface layers between import topsoil and native soil, native soil should be broken up by ripping or rototilling to a depth of 8 to 12 inches before the addition of import topsoil or amendment.
- All planted areas should be amended to provide for an optimum growing media for most plants.
- Amendments (e.g. nitrified compost, gypsum, soil sulphur, fertilizer, iron sulfate, etc.) should be rototilled into the soil to a depth of 4 to 6 inches. Amendments are more effective when thoroughly incorporated into the soil. Avoid staining when using ferrous sulfate as an amendment by washing off all hardscape immediately after applying or mixing.

- At all planting areas except lawns, a minimum of three inches of organic mulch shall be applied on top of the soil surface after planting in order to cool the soil surface, reduce evaporation, and suppress weed growth. Organic mulches, including wood chips, shredded bark, and other commercially available mulches are preferred to in-organic materials. Organic mulches should not be dyed an artificial color, but should be a natural brown or dark brown in color. Permanent visible applications of inorganic sheeting, fabric, netting, etc. are not acceptable.

3.4.3 Planting

Standards

- Plant materials shall be selected from Appendix: Plant Selection Guide. Substitutions or additions may be considered by the DRB based on the suitability of the species in terms of similarity of form, adaptability, tolerance to site soils, climatic conditions or water quality, or other pertinent characteristics.
- Plant sizes and spacing shall comply with the specifications noted on Appendix: Plant Palette and shall be sufficient to provide healthy growth, attractive appearance, and full coverage of planting areas when plants are mature. In general, size and spacing requirements are as follows:
 - Primary front yard tree: Size to match adjacent street tree (24" box); spacing per requirements in Section 3.2 above.
 - Other front yard trees or side/rear yard trees: 15 gallon min.; spacing varies.
 - Hedgerows: 5 gallon; 36" o.c. or as needed to create hedge, given anticipated growth pattern
 - Other shrubs: 5 gallon; 48" o.c. or as needed for full cover, given anticipated growth pattern.
 - Groundcovers for habitat and border planting: 1 gallon; 18" o.c. or as needed for full cover, given anticipated growth pattern.
 - Smaller groundcovers or perennials for parkway strips or yards: 1 gallon; 12" o.c. or as needed for full cover, given anticipated growth pattern.
 - Riparian planting for lakeside slope area: see Figure 3-2.
 - See Figure 3-9 for tree and planting details.

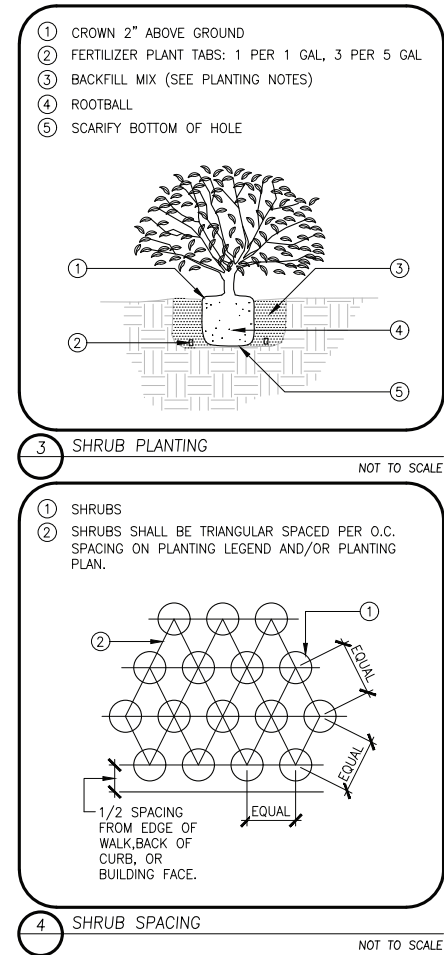
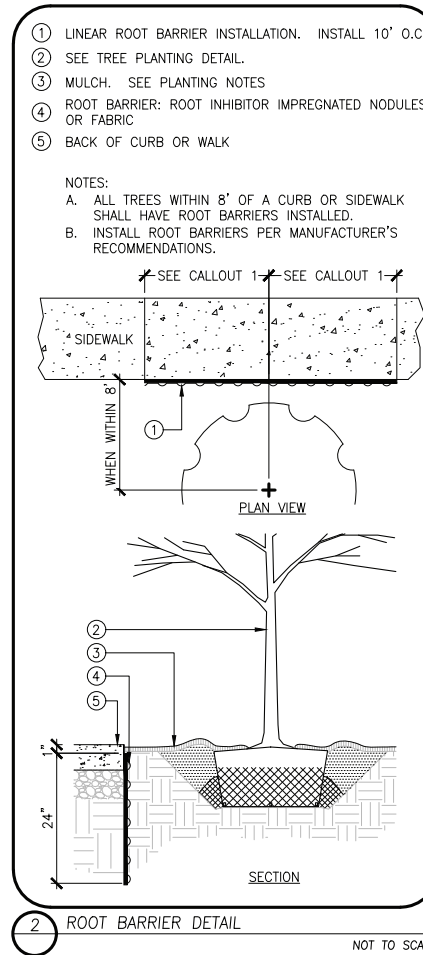
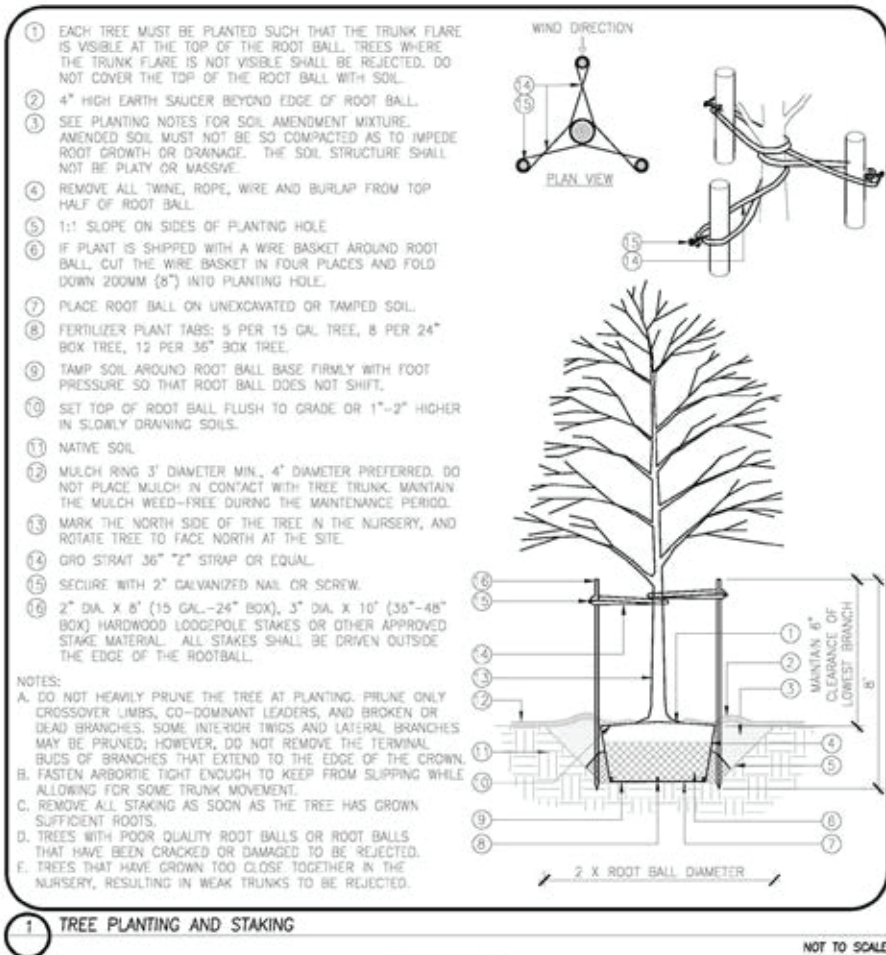


Figure 3-9: Planting Detail

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RIVER ISLANDS



CHAPTER 4

PROJECT
IMPLEMENTATION

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4.1 Project Implementation

4.1.1 Stewart Tract Design Review Committee (STDRC)

All projects shall be subject to the design review process and submittal requirements described in the following sections. Projects will be reviewed by the Stewart Tract Design Review Committee (STDRC), according to the requirements set forth below and Section 17.61.160 of the Lathrop Municipal Code. The STDRC is a group of three design professionals that represent the master developer. The STDRC will review design and improvement plans for new construction on undeveloped and improved lands within the community for conformance with these West Village Age Restricted Design Guidelines/Design Standards (DG/DS) and with all applicable plans (described below). The STDRC's review is advisory only and does not guarantee approval of any permit from other agencies. The City of Lathrop utilizes the STDRC's recommendation for certain approvals to Building Division, Planning Commission and some cases Lathrop City Council, if applicable.

After STDRC review is advisory only, applicants are still required to obtain approval by the City of Lathrop for all construction projects and necessary approvals and permits. This includes landscaping and infrastructure permits if applicable.

Prior to the submission of development proposals to the City of Lathrop, the STDRC shall review such proposals and make recommendations to the Master Developer and the City; the STDRC shall also recommend exceptions and revisions to the Old River District DG/DS to the City for further consideration and potential action by the Planning Commission. The STDRC may create exceptions to the DG/DS to accommodate development proposals which might suggest minor design changes or adjustments that are consistent with the intent of these DG/DS; in some cases, an exception might apply to a design condition not foreseen in the original drafting of the DG/DS. A STDRC recommendation to grant an exception may or may not be coupled with a proposed project

proposal already being reviewed by the STDRC. A request for revision to the DG/DS must be made in writing to the City of Lathrop Community Development Department and be approved by the Planning Commission after review and recommendation of the STDRC.

4.1.2 Consistency Requirements

Plans must be found consistent with this document and other applicable City of Lathrop land use entitlements, as well as any recorded River Islands CC&Rs. While the adopted DG/DS document itself is consistent with previously approved planning documents for River Islands, the Builder should be aware of requirements of other applicable entitlements/plans that may also apply to your project. These entitlements/plans include:

1. City of Lathrop Comprehensive General Plan (as amended)
2. West Lathrop Specific Plan (as amended)
3. River Islands Phase 2 Urban Design Concept (UDC)
4. City of Lathrop Development Title (zoning and subdivision ordinances)
5. River Islands Development Agreement and Performance Standards
6. Vesting Tentative Map No. 6716 Conditions of Approval (as amended)
7. Old River District Neighborhood Development Plan (NDP) Adopted River Islands Conditions, Covenants and Restrictions (CC&Rs), if applicable

4.1.3 Design Review Submittal Requirements

As a minimum, all applicants shall provide the following to the Master Developer for processing STDRC review:

1. Location Map - should include Tract, lot and/or parcel numbers if available.
2. Conceptual Plans and Elevations- this shall include preliminary building floor plans for each architectural style and model type represented. This includes enhanced

elevations for those structures which will be adjacent to major streets and project features which are exposed to the public.

3. Conceptual front yard landscaping plans for each lot type.
4. Conceptual neighborhood landscaping plans.
5. Preliminary Color Palette & Materials (can be submitted in a "board" format).
6. Conceptual Lotting Plan (Subdivisions) - the lotting plans shall show at least five contiguous lots, including one corner lot (if applicable). The footprints for proposed structure shall be shown on the lot, along with any driveways, walks, landscaped areas, dimensioned setbacks, fencing and other major features.
7. Conceptual Streetscape Plan – shall show all proposed models and architectural themes on one elevation in color to depict the representative streetscape.

All submitted architectural plans and elevations shall be at a minimum scale of 1/8" to 1/4" =1'-0" on 24" x 36" paper, as well provided as an electronic file in PDF format. 11" x 17" sized documents may be allowed on a case by case basis. Any other exceptions to the submittal requirements must be approved by the Master Developer.

At least one STDRC meeting shall be held to review the application materials. Each applicant is strongly encouraged to have the architect and other design professionals in attendance for this meeting. Additional meetings may be required if the submittal is incomplete or additional questions or issues cannot be addressed in the initial meeting. STDRC can conduct subsequent meetings via an e-mail discussion once the supplemental information has been provided which addresses the concerns raised.

The STDRC will submit a written recommendation letter and minutes reflecting the STDRC action to the applicant and to the City of Lathrop and any other applicable agencies after its review. The Master Developer may also provide a separate recommendation letter based upon the STDRC's recommendation

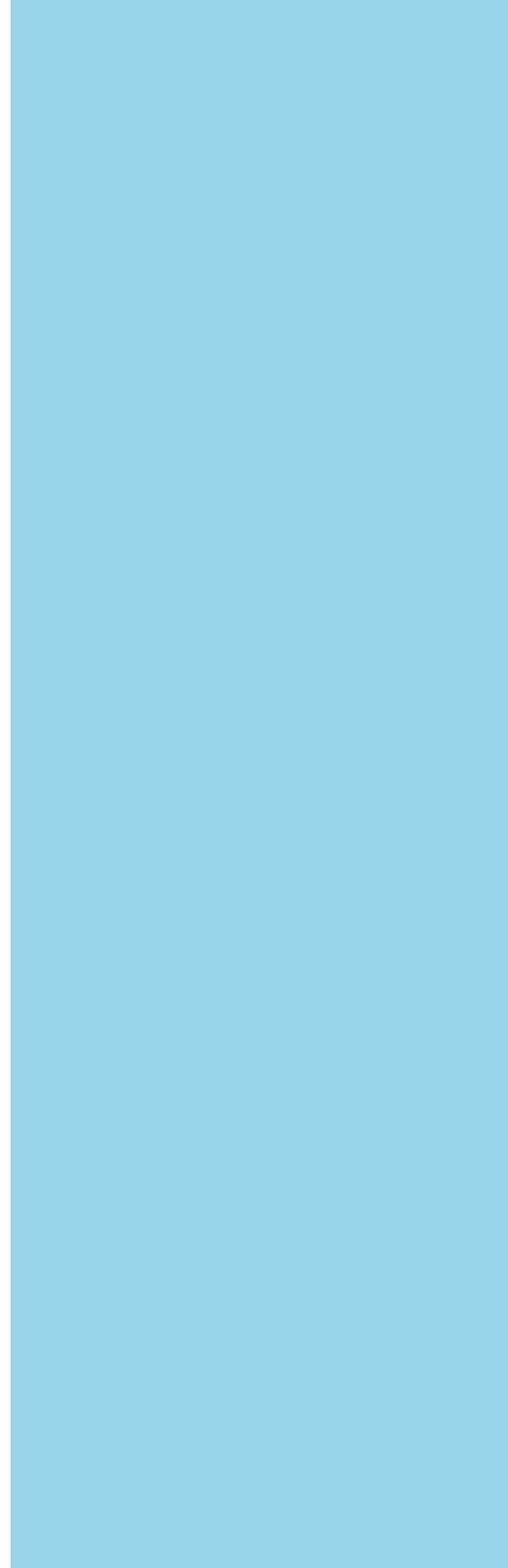
as may be required by CC&Rs or individual agreements between the Master Developer and the applicant.

All applicants shall be advised that the City of Lathrop has a separate design review process for review of proposed model homes and construction documents prior to planning and/or building permit approval. The actions taken by the STDRC shall be used to supplement the application process required by the City of Lathrop. The City of Lathrop Planning Division should be contacted for specific Information related to the requirements associated with Architectural Design Review and Administrative Approval.

RIVER ISLANDS



APPENDIX



West Village District Architectural Design Guidelines and Development Standards

Accessory Structure Standards

Accessory Structures:

Minimum Setback Distance from Property Line

Structure Height	Front Yard*	Street Side Yard (corner lot)	Side Yard (interior)	Rear Yard
≤ 8 ft.	Not allowed	10 ft.	3 ft.	3 ft.
>8 ft. to 15 ft.	Not allowed	10 ft.	5 ft.	5 ft.

*Landscape features are allowed in the front yard as shown in definition below.

1. Setback Measurement - Minimum setback distance between property line and accessory structure shall be measured from the wall or post(s) of the supporting structural member of the structure. Overhangs are allowed consistent with the current City adopted Building Code.
2. Separation Between Structures - All accessory structures shall maintain the minimum separation between other buildings as required under current City adopted Building Code.
3. Building Permit Required when Applicable – A building permit shall be obtained for all accessory structures as required by the City adopted Building Code, if applicable.
4. Attached Patio Covers – attached patio covers, sunrooms and similar structures not first approved with the original dwelling unit building permit, shall meet all setbacks of the dwelling unit, unless exceptions are approved by the River Islands Architectural Review Board with appeal to STDRC.

Definitions:

Accessory Structure - An attached or detached structure that is either entirely enclosed by walls and a solid roof or is partially enclosed with a solid or limited roof covering. Examples include, but are not limited to, detached garages, greenhouses, pool houses,

sunrooms, workshops, storage sheds, barns, as well as, free standing patio covers, carports, gazebos and stables. Accessory structures also include play equipment, windmills, water towers, and other similar structures.

Landscape Feature - A detached decorative structure with a maximum height of eight (8) feet typically used in conjunction with plant materials for aesthetic enhancement, including, but not limited to, garden trellis covers with non-solid roof construction, arched trellises, vertical lattice structures, statues, fountains, and similar features may be allowed in the front yard setback, subject to building/electrical/mechanical permits of the City of Lathrop and subject to review and approval of the River Islands Architectural Review Board (RIARB). Any decision of the RIARB may be appealed to the Stewart Tract Design Review Committee (STDRC).

Architectural Features:

1. Architectural features including sills, chimneys, fireplaces, cornices and eaves may extend into a required side yard, rear yard or a space between structures not more than two (2) feet and may extend into a required front yard not more than five (5) feet; provided, that where an architectural feature extends more than two (2) feet into a required side yard, the extension shall be protected by a minimum one-hour fire resistant standard.
2. Open, unenclosed, uncovered metal fire escapes and depressed ramps or stairways may project into any required yard or space between buildings not more than four (4) feet, subject to review and approval of the RIARB and may be appealed to the STDRC.
3. Planter boxes attached to a dwelling may be extended into a required front yard by not more than three (3) feet.
4. Walks, driveways and retaining walls may occupy any required yard, subject to City regulations regarding public utility easements, right of way encroachments and possible building permit regulations. Any extension or modification of approved walks, driveways and retaining walls approved with the original construction of the dwelling unit shall be subject to the review and approval of the RIARB and may be appealed to the STDRC.
5. Swimming pools, in-ground spas and hot tubs are subject to the regulations contained in the City’s currently adopted Building Code.

Builder Identification Signs

Builders are to choose from 3 style options as shown on following pages.

River Islands Builder Site Signs

Option 1

Scale: .5" = 1'

AMERICAN TRADITIONAL

Black Steel Fence,

Digital Print on Aluminum



River Islands Builder Site Signs
Option 2
Scale: .5" = 1'

CRAFTSMAN COTTAGE
Wood Frame with Pickets,
Digital Print or
Blasted Sign Foam



River Islands Builder Site Signs

Option 3a

Scale: .5" = 1'

CALIFORNIA RANCH

Wood Frame with Pickets,

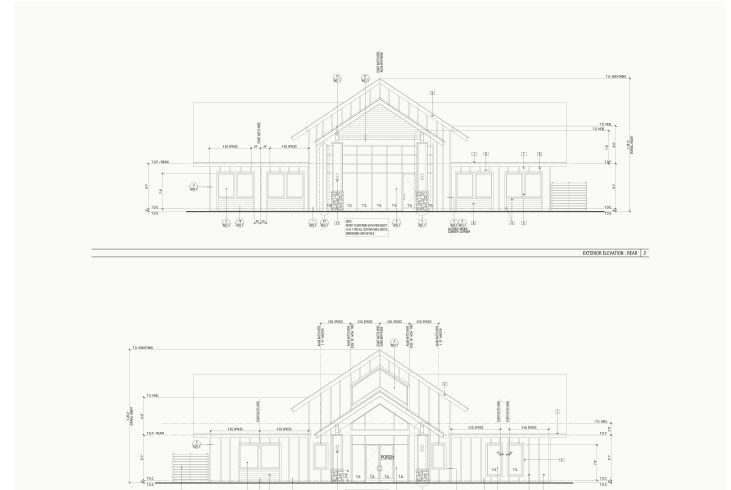
Digital Print or

Blasted Sign Foam

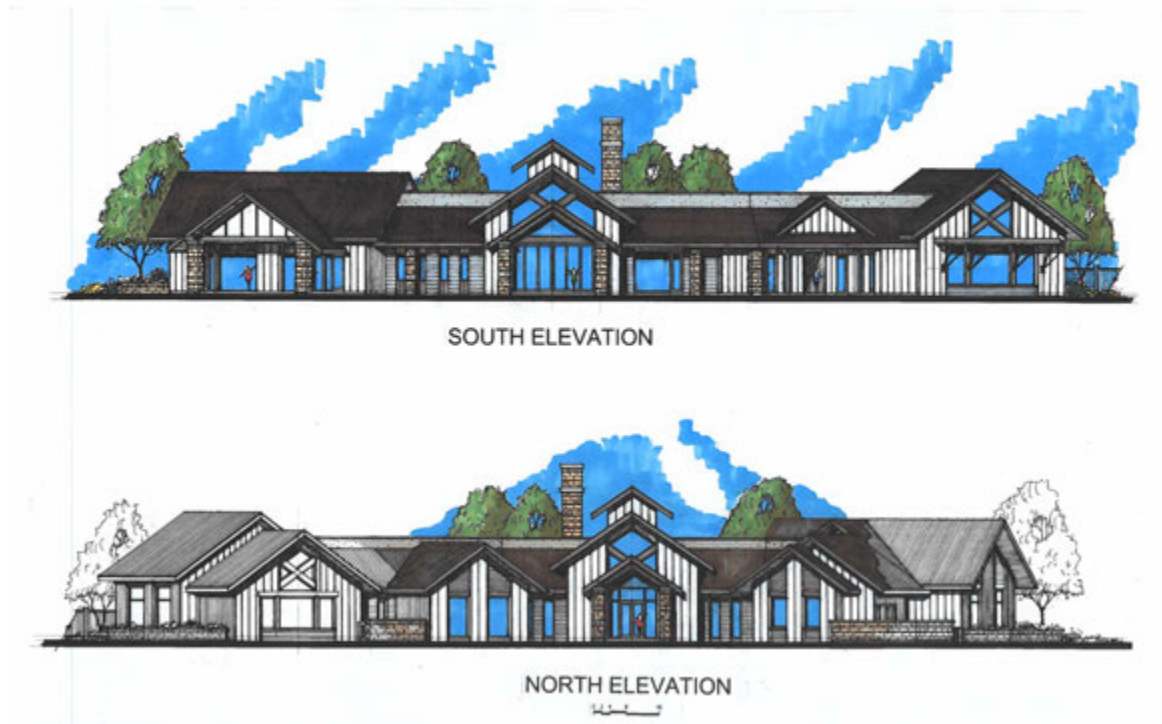


Specialized Facilities

Given the unique nature of the active adult product and its targeted buyer, specialized facilities of both a temporary and permanent nature may be proposed. Since such product is expected to take a number of years to completely build out, temporary sales centers may be constructed to allow long term sales without affecting new neighborhoods. Additionally, private clubhouses, amenity centers and other recreational and social facilities may be constructed for residents and maintained by a homeowner's association or similar entity. Such facilities shall be architecturally compatible to the active adult neighborhoods and be reviewed for recommendation of the Stewart Tract Design Review Committee.



Artist's Rendering - Temporary Sales Center



Representative Amenity Center

Plant List - West Village District

RIVER ISLANDS- PLANT SELECTION GUIDE

All plant materials shall be selected from the following plant list as approved by the City of Lathrop as part of this Architectural Design Guidelines & Development Standards document. Any exceptions must be recommended for approval by the STDRC prior to installation. Basis for exceptions shall be limited to plant availability, where a similar available plant species may be substituted.

Street	Between Wall and Main	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bio-Swale (Interior Levee Rd)	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Rear-Yard Lake Frontage	Levees, Trails and Restoration Areas	Botanical Name	Common Name	Use Height	Use Width	Water Use	Attributes
Trees															
										<i>Acer buergerianum</i>	Trident Maple	20'-25'	20'-25'	M	
										<i>Acer x freemanii</i> 'Autumn Blaze'	Maple, 'Autumn Blaze'	40'-50'	40'	M	
										<i>Acer macrophyllum</i>	Big Leaf Maple	30'-75'	30'-50'	H	
										<i>Acer negundo</i> var. <i>californica</i>	California Box Elder	30'-50'		M	
										<i>Acer rubrum</i> 'Armstrong', 'October Glory', Redpointe'	Armstrong Red Maple	40'-50'	15'	H	
										<i>Aesculus californica</i>	Buckeye	20'-30'	20'-30'	VL	
										<i>Aesculus carnea</i>	Red Horsechestnut	40'	30'	M	
										<i>Alnus rhombifolia</i>	White Alder				
										<i>Arbutus unedo</i>	Strawberry Tree	8'-25'	8'-25'	L	
										<i>Arbutus 'Marina'</i>	Marina' Strawberry Tree	20'-30'	20'-30'	L	
										<i>Arbutus marina</i> - 'Multi-trunked'	Strawberry Tree	15'-30'	15'-20'	L	Dark green oblong foliage with rosy pink fall flowers
										<i>Betula jacquemontii</i> (<i>Betula utilis jacquemontii</i>)	White Barked Himalyan Birch	40'-60'	25'-30'	H	
										<i>Carpinus betulus</i> 'Fastigiata'	European Hornbeam	40'	30'	M	
										<i>Catalpa speciosa</i>	Western Catalpa	40'-60'	20'-40'	M	
										<i>Cercidium x 'Desert Museum'</i>	Desert Museum Palo Verde	20'	20'	?	
										<i>Cercis canadensis</i> 'Oklahoma'	Eastern Redbud	25'-35'	25'-35'	M	
										<i>Cercis occidentalis</i>	Western Redbud	10'-20'	10'-20'	VL	
										<i>Cercis occidentalis</i> - 'Multi-trunked'	Western Red Bud	12'-18'	10'-18'	L	Blue-green foliage with magenta flowers
										<i>Cercocarpus betuloides</i>	Island Mountain Mahogany	5'-20'	5'-20'	VL	
										<i>Chilopsis linearis</i> 'Monhews'	Timeless Beauty Desert Willow	15'-20'	15'-20'	VL	Fragrant showy purple flowers
										<i>Chionanthus retusus</i>	Chinese Fringe Tree	20'	15'	M	
										<i>X Chitalpa tashkentensis</i>	Chitalpa	30'	30'	L	White to pale or dark pink flowers
										<i>Crataegus phaenopyrum</i>	Washington Hawthorn	25'	20'	M	
										<i>Cupressus arizonica</i>	Arizona Cypress	40'	20'	VL	
										<i>Cupressus sempervirens</i>	Italian Cypress	40'-70'	10'-20'	M	
										<i>Ginkgo biloba</i> 'Autumn Gold' (Male only)	Ginkgo, 'Autumn Gold'	35'-40'	25'-35'	M	Use male only varieties
										<i>Gleditsia tricanthos</i> inermis	Thornless Honey Locust	25'-50'	25'-50'	L	
										<i>Koelreuteria paniculata</i>	Goldenrain Tree	20'-35'	25'-40'	M	
										<i>Lagerstroemia indica</i> 'Dynamite'	Crape Myrtle	15'-25'	15'-20'	L	Red Flowers
										<i>Lagerstroemia x fauriei</i> 'Natchez'	Crape Myrtle	20'-30'	15'-20'	L	
										<i>Lagerstroemia x fauriei</i> 'Natchez' - 'Multi-Trunked'	Natchez Crape Myrtle	15'-20'	12' Wide	L	White flowers
										<i>Lagerstroemia x fauriei</i> 'Muskogee'	Crape Myrtle	20'-30'	15'-20'	L	
										<i>Magnolia soulangiana</i> 'D.D. Blanchard'	Tulip Magnolia	50'	25'-35'	M	
										<i>Malus</i>	Flowering Crabapple, 'Snowdrift', 'Golden Raindrops'	15'-20'	15'-20'	M	
										<i>Olea europaea</i> 'Swan Hill'	Swan Hill Olive	25'-30'	25'-30'	VL	
										<i>Parkinsonia aculeata</i>	Mexican Palo Verde	15'-20'	10'-20'	VL	
										<i>Pinus pinea</i>	Stone Pine			L	
										<i>Pinus radiata</i>	Monterey Pine	80'-100'	25'-35'	M	
										<i>Pistacia chinensis</i> 'Pearl Street', 'Red Push' or 'Keith Davey'	Chinese Pistache Varieties	30'-60'	50'	L	
										<i>Platanus acerifolia</i> 'Bloodgood'	London Plane	40'-50'	25'-30'	M	
										<i>Platanus X acerifolia</i> 'Columbia'				M	
										<i>Platanus racemosa</i>	California Sycamore	50'-90'	30'-50'	M	
										<i>Populus alba</i> 'Pyramidalis'	Seedless Bolleana Poplar	50'	15'	M	
										<i>Populus fremontii</i>	Fremont Cottonwood	40'-60'	30'-40'	M	
										<i>Populus nigra</i> 'Italica'	Lombardy Poplar	100'	15'-30'	M	
										<i>Prosopis glandulosa</i> 'Maverick'	Texas Mesquite	25'-30'	25'-30'	L	
										<i>Prunus caroliniana</i> 'Bright 'N Tight' (Compacta)	Bright 'N Tight Cherry Laurel	8'-10'	6'-8'	L	

RIVER ISLANDS- PLANT SELECTION GUIDE

All plant materials shall be selected from the following plant list as approved by the City of Lathrop as part of this Architectural Design Guidelines & Development Standards document. Any exceptions must be recommended for approval by the STDRC prior to installation. Basis for exceptions shall be limited to plant availability, where a similar available plant species may be substituted.

Streetscape Between Wall and Walk	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bio-Swale (Interior Lane Rd.)	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Rear-Yard Lake Frontage	Levees, Trails and Restoration Areas							
										Mahonia aquifolium	Oregon Grape	6'		M	
										Myrtus communis	True Myrtle	5'-6'	4'-5'	L	
										Nandina domestica	Heavenly Bamboo	3'-8'	2'-4'	L	
										Nerium oleander 'Little Red'	Dwarf Red Oleander	4'	4'	L	Red flowers
										Nerium oleander 'Petite Pink'	Dwarf Pink Oleander	4'	4'	L	Pink flowers
										Osmanthus fragrans	Sweet Olive	10'	10'-12'	M	
										Osmanthus x fortunei	Hybrid Tea Olive	6'-20'	10'-12'	M	
										Philadelphus lewisii	Wild Mock-orange	4'-10'	6'-10'	M	
										Philadelphus 'Belle Etoile'	Purple Spot Mock Orange	5'-7'	5'-7'	M	
										Phormium tenax 'Atropurpureum'	New Zealand Flax	4'-5'	4'-5'	L	Burgundy-bronze bladed foliage
										Phormium 'Yellow Wave'	Yellow Wave New Zealand Flax	4'-5'	4'-5'	M	Yellow and lime green bladed foliage
										Prunus caroliniana 'Bright 'N Tight' (Compacta)	Bright 'N Tight Cherry Laurel	8'-10'	6'-8'	L	
										Rhaphiolepis indica	India Hawthorn	4'-5'		L	
										Rhaphiolepis indica 'Clara'	India Hawthorn	3'-5'	3'-5'	L	
										Rhaphiolepis indica 'Springtime'	India Hawthorn	4'-6'		L	
										Raphiolepis umbellata	Yeddo Hawthorn	4'-6'	4'-6'	L	
										Rhamnus californica 'Mound San Bruno'	San Bruno Coffeeferry	3'-15'	8'	L	
										Rhamnus californica 'Eve Case'	Dwarf Coffeeferry	4'-8'	4'-6'	L	
										Rhamnus crocea	Redberry				
										Rhamnus tomentella	Hoary Coffeeferry			L	
										Ribes aureum (var. gracillimum)	Golden Currant	3'-6'		L	
										Ribes sanguineum	Pink Flowering Currant	4'-12'		M	
										Rosa californica 'Plena'	California Wild Rose			L	
										Teucrium fruticans	Bush Germander	5'-6'	5'-6'	L	Gray leaves, lavender flowers
										Teucrium fruticans	Bush Germander	4'-8'	4'-10'	L	
										Viburnum t. 'Spring Bouquet'	Spring Bouquet Viburnum	4'-6'	4'-6'	M	Deep green leathery foliage with tight clusters of pink buds and white flowers
										Xylosma congestum	Shiny Xylosma	8-10'	8-10'	L	
Shrubs (Medium Foreground)(species appropriate within sight-line view corridor)															
										Abelia x grandiflora 'Kaleidoscope'	Glossy Abelia	2'-2.5'	3'-4'	M	White flower
										Berberis thunbergii 'Crisuzam'	Crimson Ruby Japanese Barberry	2'	2'	M	Deep red/burgundy foliage
										Callistemon citrinus 'Compacta'	Bottlebrush			L	
										Callistemon citrinus 'Little John' or 'Captain Cook'	Dwarf Bottlebrush	3'	3'	L	
										Coleonema pulchrum 'Varieties'	Pink Breath of Heaven	3'-4'	4'	M	Light green foliage with tiny pink flowers
										Mahonia aquifolium 'Compacta'				M	
										Myrsine africana	African Boxwood	3'-8'	3'-6'	L	
										Pittosporum t. 'Wheeler's Dwarf'	Mock Orange	3'-4'	4'-5'	M	White flower
										Punica granatum 'Nana'	Dwarf Pomegranate	3'	5'	L	Orange flowers
										Rhaphiolepis indica 'Ballerina'	Dwarf Pink Indian Hawthorne	2'	4'	L	Pink flowers
										Salvia greggii / Salvia x jamensis	Autumn Sage	3'-4'	2'	L	
										Salvia greggii 'Alba'		1'-4'	1'-4'	L	
										Salvia microphylla	Mint Bush Sage	3'-5'	4'-8'	M	
										Spiraea bumalda	Spiraea	2'-3'	3'-4'	M	
										Spiraea x bumalda 'Goldflame'	Goldflame Spirea	3'-4'	4'	M	Yellow-green foliage with pink/red flowers
										Viburnum davidii	David Viburnum	3'	3'	M	Large glossy green deep veined foliage, tight clusters of pink buds and white flowers
										Zauschneria californica	California Fuschia	3'	3'-4'	L	Gray leaves w/ red flowers
Shrubs (Accents)(species appropriate within sight-line view corridor)															
										Achillea millefolium californica	Yarrow	1-3'	1-3'	L	
										Achillea millefolium rosea 'Island Pink'	Pink Yarrow	1'-3'		L	
										Achillea tomentosa	Woolly Yarrow	6"		L	
										Agapanthus africanus	lily-of-the-Nile	1.5'-2'	1.5'-2'	M	Blue/white flower

RIVER ISLANDS- PLANT SELECTION GUIDE

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Streetscape Between Wall and Walk	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bioswale (Interior Levee Rd.)	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Rear-Yard Lake Frontage	Seeds, Foliage and Restoration Areas	Plant Species	Common Name	Height	Width	Flower Color	Notes
									Aloe species	Blue Star Flower	varies		L	
									Amsonia tabernaemontana	Serpentine Columbine	2'-3'		?	
									Aquilegia eximia	Powis Castle Sagebrush	2'	1-3'	L	
									Artemisia 'Powis Castle'	Narrow-leaved Milkweed	3'	6'	L	
									Asclepias fascicularis	Plumbago	1'-3'	1'	?	
									Ceratostigma plumbaginoides	Berkeley Sedge	0.75'-1'	1'-1.5'	M	Deep blue flower
									Carex divulsa	Fortnight Lily, Bicolor Iris			L	Deep green clumping evergreen grass
									Dietes bicolor	Fortnight Lily			L	
									Dietes vegeta	Santa Barbara Daisy	3'-4'	2'-3'	M	White flower
									Erigeron karvinskianus	California Poppy	1'-2'	3'-5'	L	White with some pink flowers
									Eschscholzia californica	Blue Bunch Grass	1'	1.5'	VL	
									Festuca idahoensis 'siskiyou blue'	Atlas Fescue	14"	10"	L	
									Festuca mairei	Elijah's Blue, Blue Festuca	2'-3'	2-3"	L	Evergreen clumping yellowish gray-green foliage
									Festuca ovina 'Glaucua'	Red Fescue	4"-10"	6"	M	
									Festuca rubra	Lenten Rose	3"-12"	6"	M	
									Helleborus x hybridus	Stella De Oro Dwarf Daylily			M	
									Hemercallis x 'Stella de Oro'	Orange Daylily	2'	2'	M	Heavy clusters of large yellow flowers
									Hemerocallis fulva	Coral Yucca	2'-2.5'	2'-2.5'	M	Tawny orange
									Hesperaloe parviflora	Lillian's Pink Coral Bells	2'	2'	/	
									Heuchera 'Lillian's Pink'	Rosada Coral Bells			?	
									Heuchera 'Rosada'	Coral Bells			M	
									Heuchera sanguinea	Canyon Snow Pacific Iris			?	
									Iris 'Canyon Snow'	CA Gray Rush	2'	2'	H	
									Juncus patens	Red Hot Poker			M	
									Kniphofia uvaria	English Lavender	8'-2'	8'-2'	L	
									Lavandula angustifolia	English Lavender	2'	2'	L	Gray-green foliage with deep violet blue flowers
									Lavandula a. 'Buena Vista'	Goodwin Creek Lavender			L	
									Lavandula 'Goodwin Creek Grey'	Otto Quast Spanish Lavender	18"-3'	2'	L	
									Lavandula stoechas 'Otto Quast'	Canyon Prince Wild Rye	2'-4'	2'	VL	
									Leymus condensatus 'Canyon Prince'	Lily Turf			M	
									Liriope muscari	Dwarf Mat Rush	2'-3'	2'-4'	L	
									Lomandra l. 'Breeze'	Bush Lupine	3'-5'	2-3"	L	
									Lupinus albifrons	Miscanthus sinensis 'Morning Light'	5'-6'	3'-4'	M	
									Miscanthus sinensis 'Morning Light'	Muhlenbergia dubia	2'-3'	2'-3'	L	
									Muhlenbergia dubia	Mexican Deergrass	2'-3'	2'-3'	L	
									Pennisetum setaceum 'Cupreum'	Red Fountain Grass	3'-4'	3'-4'	L	
									Penstemon heterophyllus 'Margarita'	Foothill Penstemon	1'-3'	1'-2'	L	Lavender flowers
									Penstemon species	Showy Penstemon			M-L	
									Penstemon spectabilis	Russian Sage	3'		M-L	
									Perovskia a. 'Little Spire'	New Zealand Flax	2'	2'	L	Vertical spikey gray-green foliage with lavender-blue flowers
									Phormium tenax 'Apricot Queen'	New Zealand Flax	3'	4'	L	Yellow wit green margined bladed foliage
									Phormium tenax 'Dusky Chief'	New Zealand Flax	5'-6'	4'-5'	L	Reddish brown bladed foliage
									Phormium tenax 'shirazz'	New Zealand Flax			L	
									Phormium tenax 'Tom Thumb'	New Zealand Flax	1'-2'	1'-2'	L	
									Salvia	Bee's Bliss Salvia			L-M	
									Salvia 'Bee's Bliss'	Hot Lips Sage	1'-2'	8'	M	
									Salvia m. 'Hot Lips'	Mrs. Beard Salvia	3'	3'	L	Red/white flowers
									Salvia 'Mrs. Beard'	Creeping Sage	2'	3 - 6'	L	
									Salvia sonomensis	Hummingbird Sage			L	
									Salvia spathacea	California Goldenrod			L	
									Solidago californica	California aster	1-3'	18"-3'	L	
									Symphotrichum chilense	Society Garlic	1-3'		L	
									Tulbaghia violacea	Variegated Society Garlic	18"	18"	L	Purple flowers
									Tulbaghia v. 'Silver lace'	Crater Lake Blue Speedwell	18"	18"	L	Silver/white blades w/purple flowers
									Veronica austriaca 'Crater Lake Blue'		18"	12"	M	Gentian blue

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Streetscape Between Wall and Walk	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bio-Swale (Interior Levee Rd.)	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Rear-yard Lake Frontage	Leves, Trails and Restoration Areas						
									Zauschneria californica 'Catalina'	Island California Fuschia	1-3'	1-3'	L	
									Zauschneria cana	California Fuschia	2-3'	18"-3'	L	
Shrubs (Grasses)(species appropriate within sight-line view corridor)														
									Bouteloua gracilis	Blue Grama Grass	6"-18"	6"-1'	L	
									Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster's Feather Reed Grass	2'	2'	L	Stunning vertical feathery plumes, turn golden in fall
									Carex barbarae	White Root Sedge	1'-3'	1'-3'	M	Deep green native meadow grass
									Carex divulsa	Berkeley Sedge			L	Deep green clumping evergreen grass
									Carex pansa	California Meadow Sedge	3'-4"		M	
									Carex praegracilis	Clustered-field Sedge	1'	6"	M	
									Carex testacea	Orange Sedge	18"-24"	18"-24"	M	Evergreen, green and orange spring / summer, vibrant orange in winter
									Deschampsia caespitosa	Tufted Hair Grass	1'-3'	1'-3'	L	
									Deschampsia elongata	Slender Hair Grass	3'		L	
									Eleocharis macrostachys	Spike Rush	3'	2'	L	
									Elymus glaucus 'Anderson'	Blue Wild Rye	2-3'	2'	L	
									Elymus triticoides	Creeping Wildrye			L	
									Eschscholzia californica	California Poppy	1'	1.5'	VL	
									Festuca californica	California Fescue	2'-3'	2-3'	M	
									Festuca idahoensis'siskiyou blue'	Blue Bunch Grass	14"	10"	L	
									Festuca mairei	Atlas Fescue	2'-3'	2-3'	L	Evergreen clumping yellowish gray-green foliage
									Festuca occidentalis				M	
									Festuca ovina 'Glauca'	Elijah's Blue, Blue Festuca	4"-10"	6"	M	
									Festuca rubra	Red Fescue	3"-12"	6"	M	
									Grindelia camporum	Gum Plant	1'-3'	1'-3'	L	
									Helictotrichon sempervirens	Blue Oat Grass	2'-3'		L	
									Hordeum brachyantherum 'Californicum'	Meadow Barley			VL	
									Imperata cylindrica 'Rubra'	Japanese Blood Grass	1'-2'		H	
									Juncus balticus(balticus?)	Baltic Rush	3'		H	
									Juncus effusus	Pacific Rush	3'-6'	3'	H	
									Juncus patens	CA Gray Rush	2'	2'	H	
									Leersia oryzoides	Rice Cutgrass			M	
									Leymus condensatus 'Canyon Prince'	Canyon Prince Wild Rye	2'-4'	2'	VL	
									Leymus triticoides 'Grey Dawn'	Creeping Wild Rye	2'	18"	VL	
									Lomandra l. 'Breeze'	Dwarf Mat Rush	2'-3'	2'-4'	L	
									Melica imperfecta	Coast Melic Grass, Oniongrass	1'-2'	1'-2'	VL	
									Melica californica	Melica	4'		?	
									Miscanthus sinensis	Japanese Silver Grass	5'-6'	3'-4'	H	
									Miscanthus sinensis 'Morning Light'		5'-6'	3'-4'	H	
									Muhlenbergia capillaris	Hairy Awn Muhly	3'	6'	L	
									Muhlenbergia dubia	Mexican Deergrass	2'-3'	2'-3'	L	
									Muhlenbergia rigens	Deer Grass	3'	3'	L	
									Nasella pulchra 'Yolo'	Purple Needle Grass	2'	2'-3'	L	
									Pennisetum alopecuroides 'Little Bunny'	Dwarf Fountain Grass	18"	18"	L	Trim to ground in winter
									Pennisetum alopecuroides 'Moudry'	Black Fountain Grass	18"-2'	18"-2'	L	
									Pennisetum orientale	Oriental Fountain Grass	12"-18"	12-18"	L	
									Pennisetum setaceum 'Rubrum'	Red Fountain Grass	3'-4'	3'-4'	L	
									Scirpus americanus	Three-square Bulrush	5'	5'	H	
									Scirpus actus var. occidentalis	Hardstem Bulrush	5'-8'	5'-8'	H	
									Scirpus californica	California Bulrush	6"-10"	6"-10"	H	
									Scirpus microcarpus	Small-fruited Bulrush	6"-10"	6"-10"	H	
									Sporobolus airoides	Alkali Sacaton	1'-3'	3'	VL	
									Stipa cernua	Nodding Feather Grass	2'-3'	2'-3'	VL	
									Stipa pulchra	Purple Needle Grass	1'-2'	1'-2'	L	
									Stipa gigantea	Giant Feather Grass	2'-3'	2-3'	VL	

RIVER ISLANDS- PLANT SELECTION GUIDE

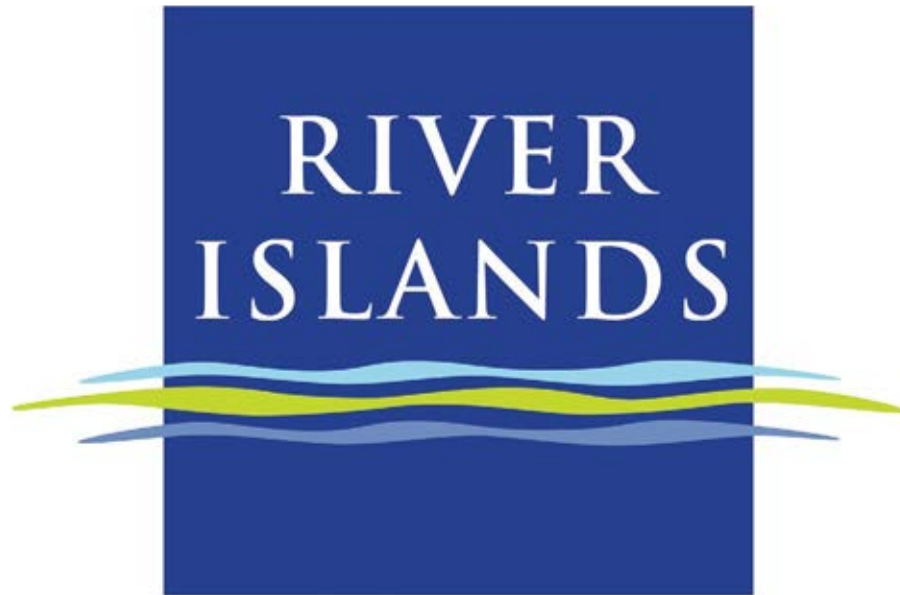
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Streetscape Between Wall and Walk	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bio-Swale (Interior Levee Rd.)	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Rear-Yard Lake Frontage	Events, Trails and Recreation Areas						
									ETV Mix (Carex Divulsa, Eschscholzia californica, Festuca Idahoensis, Layia platyglossa, Salvia l. "Bee's Bliss", Sysynchium idahoensis)	Entry Mix	1'-2'	1-2'	L	
									Native Mow Free Mix (Festuca idahoensis, Festuca rubra, Festuca occidentalis)	No Mow Fescue	12"-18"		M	
Shrubs (Groundcovers)(species appropriate within sight-line view corridor)														
									Acacia r. 'Desert Carpet'	Desert Carpet Acacia	1'-2'	10'-12'	L	Leathery gray green foliage with puffy yellow ball shaped flowers
									Ajuga species	Carpet Bugles	1'	3'	M	
									Arctostaphylos 'Pacific Mist'		2 1/2'	4'	L	
									Artemisia californica 'Montara'	California Sagebrush	18"-5'		L	
									Artemesia 'Powis Castle'	Powis Castle Artemesia	3'	5'	M	gray green foliage
									Baccharis pilularis	Coyote Bush			L	
									Baccharis pilularis 'Pigeon Point'	Dwarf Coyote Brush	6'	6'	L	
									Ceanothus griseus horizontalis 'Yankee Point'	Shrub Ceanothus	2'-3'	8'	L	Blue flowers
									Ceanothus maritimus 'Valley Violet'	Valley Violet Maritime Lilac			L	
									Ceanothus thyrsiflorus 'Skylark'	Blueblossom	3'-6'	5'	L	
									Ceanothus 'Concha'				L	
									Ceanothus 'Dark Star'	Dark Star California Lilac	5'-6'	8'-10'	L	
									Ceanothus 'Joyce Coulter'	Wild California Lilac	3'-5'	8'-10'	L	
									Ceanothus 'Ray Hartman'	Ray Hartman California	12'-20'	15'-20'	L	
									Cistus salvifolius	Sageleaf Rockrose	2'	6'	L	
									Coprosma kirkii	Kirk's Coprosma	2-3'		L	
									Cotoneaster dammeri 'Eichholz'	Bearberry Cotoneaster	8"	6'-8'	L	White flowers, red berries
									Cotoneaster lacteus (Cotoneaster parneyi)		8"	10"	L	
									Cotoneaster microphyllus	Rockspray Cotoneaster	2-3'	6'	L	
									Erigeron 'Wayne Roderick'	Wayne Roderick Seaside Daisy	8"	1 1/2'	M	
									Erigeron karvinskianus	Santa Barbara Daisy	10"-20"	3'	L	
									Eschscholzia californica	California Poppy	1'	1.5'	VL	
									Hypericum calycinum	Aaron's Beard	1'		M	
									Hypericum moseranum	Gold Flower	1'		M	
									Lessingia filaginifolia var. californica 'Silver Carpet'	Silver Carpet California- Aster			M	
									Lobularia maritima	Sweet Alyssum	2"-12"	8"-12"	M	
									Lupinus microcarpus	Chick Lupine	2 1/2'		M	
									Myoporum parvifolium	Myoporum	6"	9"	L	
									Oenothera hookeri	Evening Primrose	1'-3'	1'-3'	L	
									Phacelia californica	Phacelia	18"		M	
									Potentilla verna	Spring Cinquefoil	2'-3'	3'-4'	M	
									Ribes viburnifolium	Evergreen Currant	3'-6'	12'	L	
									Rosa 'Noamel'	Apple Blossom Flower Carpet Rose	2'	3'	M	White/pink flowers
									Rosa 'Noare'	Red Flower Carpet Rose	2'	3'	M	Red flowers
									Rosa 'Noaschnee'	White Flower Carpet Rose	2'	3'	M	White flowers
									Rosa 'Noatraum'	Pink Flower Carpet	2'	3'	M	Pink flowers
									Rosmarinus o. 'Irene'	Rosemary	1'-1 1/2'	2'-3"	L	Blue flowers
									Rosmarinus o. Prostratus	Dwarf Rosemary	2'	4'	L	Blue flowers
									Sedum	Stone Crop	2"-5"	1'	L	
									Sisyrinchium bellum	Blue-eyed Grass	4"-12"	6"-24"	L	
									Trachelospermum asiaticum	Asian Jasmine	2'	10'	M	
									Trachelospermum jasminoides	Star Jasmine	2'	10'	M	

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									ETY Mix (Carex Divulsa, Eschscholzia californica, Festuca Idahoensis, Layia platyglossa, Salvia I. "Bee's Bliss", Sysyrinchium idahoensis)	Entry Mix	1'-2'	1-2'	L
									Native Mow Free Mix (Festuca idahoensis, Festuca rubra, Festuca occidentalis)	No Mow Fescue	12"-18"		M
Vines													
									Aristolochia californica	California Pipevine			L
									Campsis radicans (Bignonia radicans)	Common Trumpet Creeper			L
									Clematis armandii 'Snow Drift'	Evergreen clematis	15-20'		M
									Clytostoma callistegioides	Violet Trumpet Vine			M
									Distictis buccinatoria	Trumpet Vine	20'-30'		M
									Ficus pumila	Creeping Fig	10'		M
									Gelsemium sempervirens	Carolina Jessamine	20'		L
									Hardenberdia violacea 'Happy Wanderer'	Hardenbergia Vine	10'		M
									Jasminum polyanthum	Pink Jasmine	20'		M
									Lonicera hispidula	Honeysuckle	3-10'		L
									Macfadyena unguis-cati	Cats Claw	20-40'		L
									Vitis californica	California Wild Grape	12-30'		VL
									Wisteria sinensis 'Alba' or 'Cooke's Special'				M



WEST VILLAGE DISTRICT
NON-AGE RESTRICTED NEIGHBORHOODS

DECEMBER 7, 2023
AMENDED PLANNING COMMISSION
DRAFT

ARCHITECTURAL
DESIGN GUIDELINES

&

DEVELOPMENT
STANDARDS

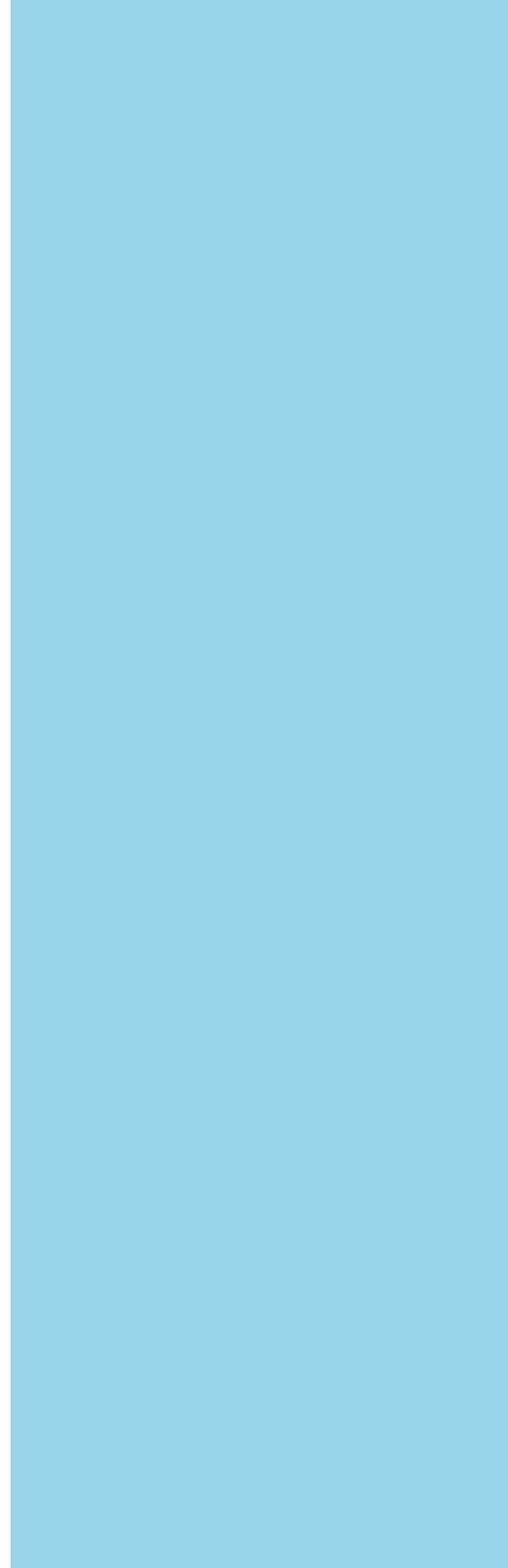


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RIVER ISLANDS



TABLE OF CONTENTS





Chapter 1 Community Overview	1	2.3 Technical Specifications:.....	63
1.1 Introduction.....	3	2.3.1 Structural Wiring (LDR & MDR Only).....	63
1.1.1 Purpose & Intent	4		
1.1.2 Relationship to West Lathrop Specific Plan	4		
1.1.3 Language and Organization of Document.....	4		
1.2 Architecture Design Principles	6	Chapter 3 Landscape	67
1.2.1 Regional Precedents	6	3.1 Introduction.....	68
1.2.2 Three Architectural Districts.....	7	3.2 Residential Landscape.....	69
1.2.3 Energy Efficiency	8	3.2.1 Planting Design.....	72
		3.2.2 Front and Side Yards	72
		3.2.3 Rear Yards.....	72
Chapter 2 Architecture.....	10	3.3 Site Furnishings/ Materials.....	74
2.1 Design Guidelines	11	3.3.1 Fences.....	74
2.1.1 Architectural Character	11	3.3.2 Signage.....	78
2.1.2 Streetscape.....	11	3.3.3 Landscape Lighting.....	78
2.1.3 Building Elements	12	3.3.4 Paving and Hardscape	78
2.1.4 Building Materials and Colors	14	3.4 Landscape Construction Practices	79
2.1.5 Architectural Styles.....	15	3.4.1 Irrigation and Water Conservations	79
American Traditional.....	16	3.4.2 Soil Preparation and Mulching.....	80
European Cottage	20		
Savannah	24	Chapter 4 Project Implementation	81
California Ranch	28	4.1 Project Implementation.....	83
Craftsman	32	4.1.1 Stewart Tract Design Review and Committee	
California Modern	36	(STDRC)	83
Modern Farmhouse	40	4.1.2 Consistency Requirements.....	83
Spanish Eclectic	44	4.1.3 Design Review Submittal Requirements	83
Modern Prairie.....	47		
2.2 Development Standards	50	APPENDIX	85
2.2.1 Low Density Res. (LDR) Dev. Standards.....	53	Accessory Structures	86
2.2.2 Medium Density Res. (MDR) Dev. Standards..	54	Builder Identification Signs	87
2.2.3 High Density Res. (HDR) Dev. Standards	55	Plant List	90

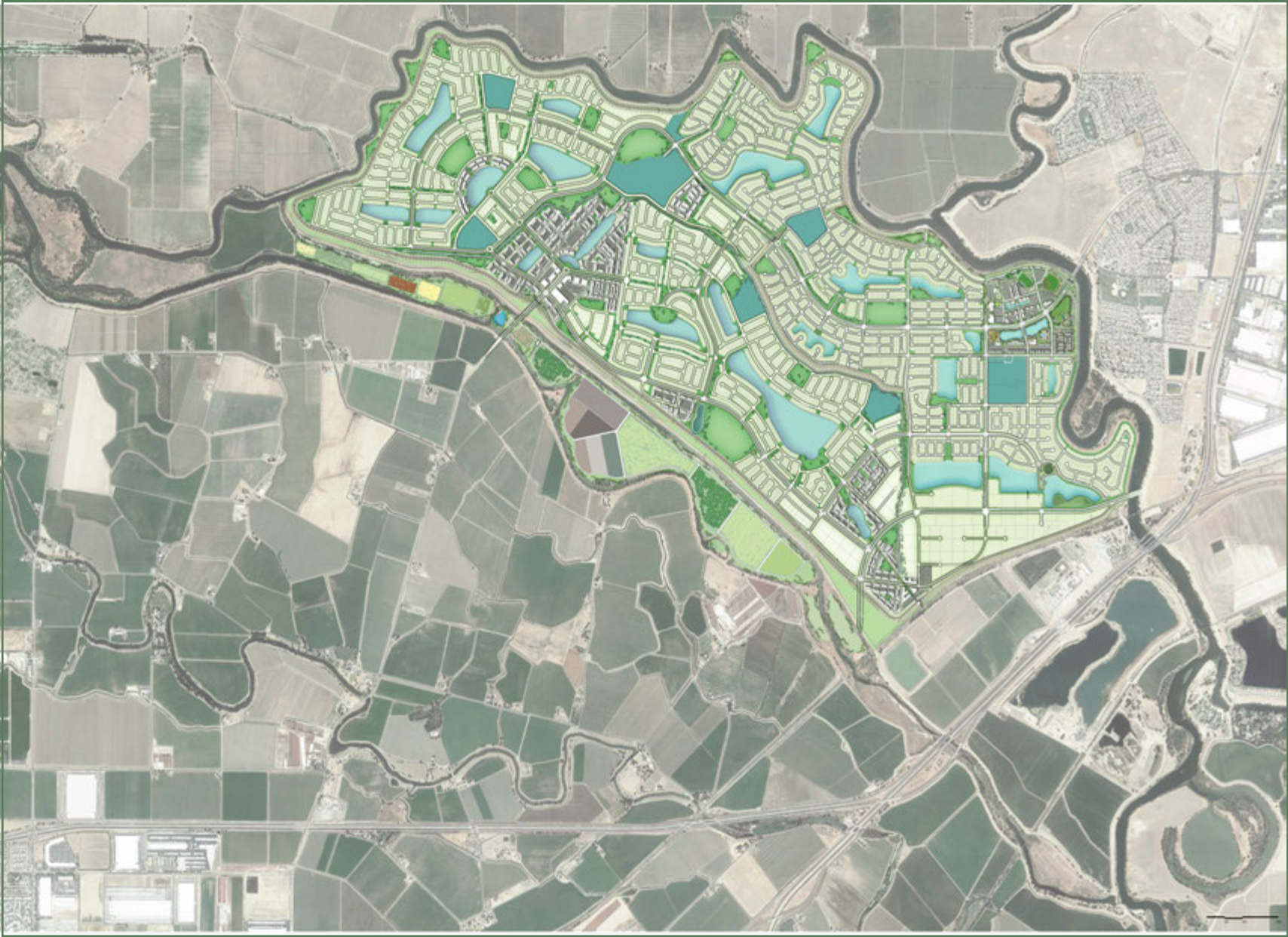


Figure 1.0 River Islands Overall Illustrative Map

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1.1 Introduction

River Islands has been designed as the premier master planned community in Northern California. Its island location, on the San Joaquin River in Lathrop, provides a backdrop of nearly 5,000 acres for a mixed use community of 15,010 homes, nearly 4 million square feet of commercial space and ten schools. Such community recreational amenities as lakes, walking trails, parks and a boathouse are all part of the vision for our first neighborhoods. This document will cover the non-age-restricted housing units within the West Village District. These are units are traditional to River Islands that are sold at market rate, to any qualified buyer. This is different from the age-restricted units

located generally in the southern portion of the West Village District that will only be offered to buyers that are 55 years of age or older. Non-age-restricted units within West Village may be single-family or multi-family units. There are estimated to be 338 non-age-restricted units in West Village.

Figure 1.1 shows the location of River Islands, and its relationship to the major highways and surrounding cities.



Figure 1.1 Location Map

1.1.1 Purpose & Intent

The Architectural Guidelines and Development Standards of River Islands (AG/DS) complement the River Islands Urban Design Concept (UDC) and Neighborhood Development Plan (NDP). Since the West Village District is located within Phase 2, the Phase 2 UDC adopted by the Lathrop City Council on June 14, 2021 has the direction needed for this AG/DS document. The City Council also adopted an update to the West Lathrop Specific Plan (WLSP) that updates the land uses, zoning, general development framework and other design policies for both the NDP and the AG/DS. The documents provide the specific standards and guidelines for the Stewart Tract Design Review Committee (STDRC) and Lathrop Community Development Department to review and evaluate new development proposals involving non-Active-Adult residential developments within the West Village District in particular.

1.1.2 Relationship to West Lathrop Specific Plan (WLSP)

The West Lathrop Specific Plan (WLSP) provides the authority to which the River Islands AG/DS has been prepared. As described in the WLSP, each sub-area of each District must have a set of written guidelines and standards for new development. This document applies only to the Non-Active Adult neighborhoods of the West Village District. The reason for separating this document from other areas of West Village is because these the units covered by this document are typical, market rate residential units that will be sold to buyers of all ages in contrast to the balance of West Village that will include units that are specifically marketed to buyers over 55 years old.

1.1.3 Language and Organization of Document

These AG/DS are divided into three major sections: Architecture; Landscape and Project Implementation. Architecture and Landscape are each further divided into Design Guidelines and Development Standards. Together, these will assure that neighborhood home builders and individual homeowners have the guidance to carry out the vision for West Village.

The Design Guidelines describe the overall design quality that River Islands envisions. Complementary sketches, imagery, diagrams, and other graphic materials further illustrate the AG/DS design intent. The words “should”; “may” and “can” indicates that the guideline is highly recommended and suggests possible design solutions that are acceptable and encouraged, but not required.

The Development Standards section addresses the particular design criteria, conditions and standards that shall be met when designing homes and landscape. The River Islands AG/DS uses careful language to assist the STDRC in reviewing design proposals. The words, “shall”, “will”, and “must” are to be implemented requirements. All development standards intended to supplement the WLSP’s and City of Lathrop’s zoning requirements use this language.

The Project Implementation Section will guide home builders and home owners through the approval and permit process.

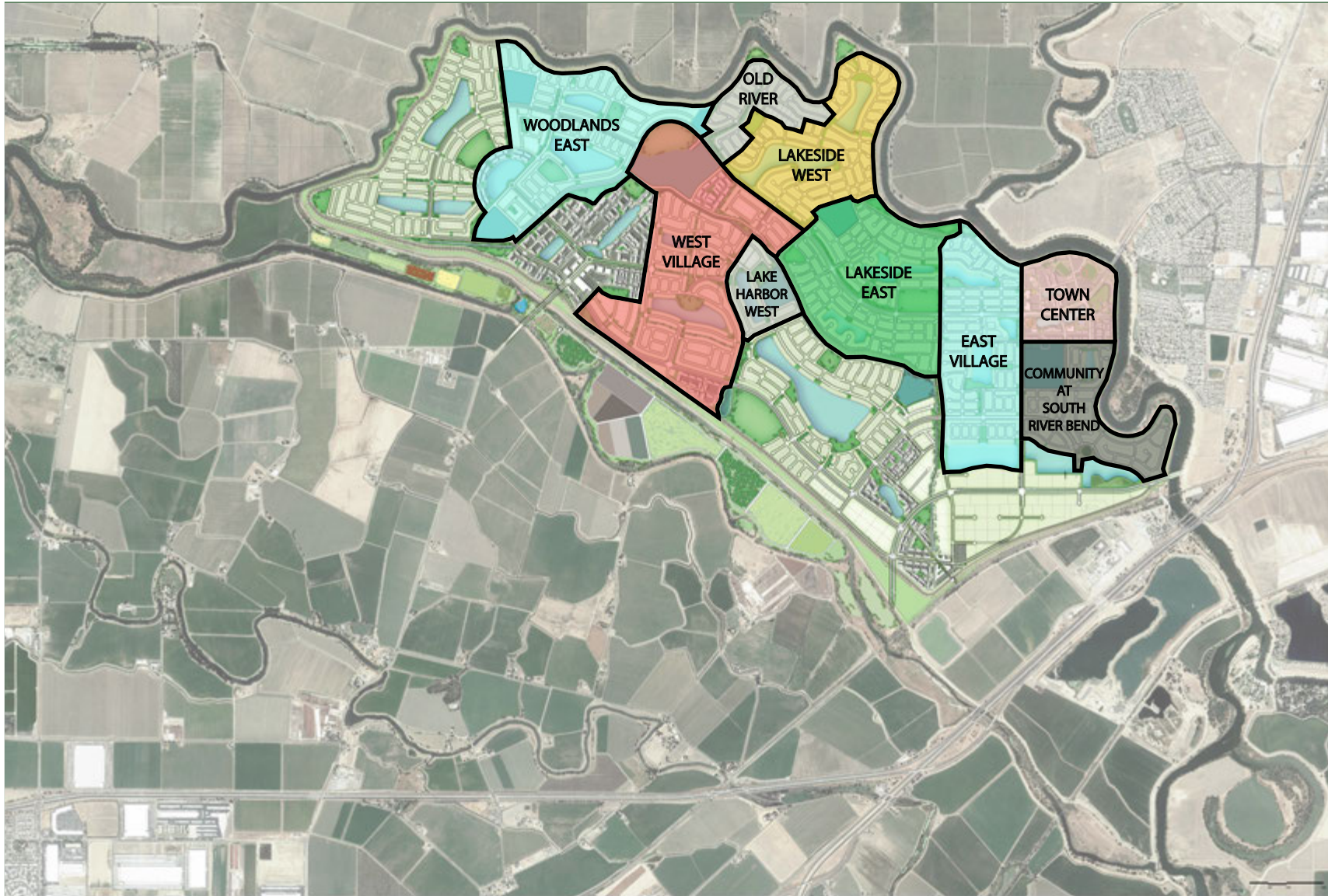


Figure 1.2 Current River Islands Districts

1.2 Architecture Design Principles

The character and quality of River Islands' architecture is an important factor in creating the overall identity of the community. Although it is likely that there will ultimately be a variety of architectural styles in the community, the following design principles are intended to provide the guidance that will assure unity and consistency in architectural design.

1.2.1 Regional Precedents

The region of San Joaquin and Sacramento River Deltas is rich in precedents that can serve as the basis for the architecture of River Islands. These include not only the historical architectural tradition, but the climate, natural environment, and cultural history. There are 4 distinct influences identified for this area, that provide us with the architectural styles that will be considered for the River Islands community.

River Edge

The use of the river system for commerce has been largely replaced by recreational use. Still, remnants of the river's use as the primary conduit for goods and materials, as well as the agricultural products of the region, remain. The simple, economical forms and materials of river edge industrial buildings, and their docks and quays provide a meaningful source for the architecture of the Town Center.

Similarly, the tradition of placing large homes on high ground near the river edge, with their small docks and boat houses provides inspiration for the design of residential buildings along the river.

River Delta

Because of the abundant water, flat slopes and easily worked soils, river deltas have always been desirable for agriculture. The tradition of farmsteads in the Delta, with their simple farmhouses and outbuildings, can be a particularly rich source for residential building design.



Mediterranean Climate

The climate of the delta is Mediterranean: cool, moist winters are followed by warm, dry summers. The prevailing westerly winds bring in cool air from the Pacific, making evenings pleasant, even in the summer. Often homes in this area were built with large roof overhangs and porches to limit the heat gain in the house, or with carefully placed large trees and shade structures.

Delta History & Culture

Originally part of the Rancho Pescadero, River Islands has a direct historical connection to the Spanish and Mexican Land Grant system that characterized California in the eighteenth and early nineteenth century. The discovery of gold north and east of River Islands, and the subsequent boom are also part of the region's architectural influences. The simple, slapdash architecture of boom towns, and the subsequent opulence of the Victorian Era are a part of the architectural history of the region. The traditions of agriculture and river-based industry are the most prevalent historical influences, however, and provide perhaps the most fitting stimulus for architectural design at River Islands.

1.2.2 Three Architectural Districts

As described in the UDC, River Islands is divided into three architectural districts based primarily on the dominant use within the district: Residential, Town Center and Employment Center. The requirements for the architecture of each district vary, as described in the following paragraphs.

Residential District

The architecture of the residential districts of the River Islands community will contain a wide variety of architectural styles and the region, such as those found in farmsteads, the river edge, or in the older residential neighborhoods of valley and delta cities. Modern adaptations of these styles will also be proposed, though the intent is to create an appearance and feeling of old tradition architecture. The mixing of styles within individual neighborhoods will be limited so that visual unity can be achieved, and strange juxtapositions avoided. See the specific description of how this set of AG/DS addresses the West Village Non-Age-Restricted Adult developments.

Village Center

The architecture of the Paradise Cut Village Center will vary according to land use and location. Retail and commercial architecture could be inspired by historical commercial and industrial building types that might be found in other riverfront towns. Ideally, this area should appear as if it developed over time, with the participation of numerous designers. Unity will be achieved primarily by uniformity of use and development standards, such as building mass and setbacks. An NDP and AG/DS, or equivalent Paradise Cut Village Center Plan will detail the specifics of these standards and the architecture to be utilized.

Employment Center/Transit Oriented Development

Employment Center/Transit Oriented Development will be a mixed-use area likely to be implemented with more contemporary styles of architecture for its higher density residential housing. For office, retail and commercial uses, the architectural styles will be the most modern of any of the three

districts. Larger floorplate office and commercial buildings will generally be simple, modern, rectilinear forms with flat roofs. Masonry, concrete tilt-up and other economical building types will be predominant. Buildings with historical references will likely be limited to retail centers or restaurants. An NDP and AG/DS, or equivalent Employment Center/Transit Oriented Development Plan will detail the specifics of these standards and the architecture to be utilized.

Residential District (West Village)

The architecture of the West Village District will include both historical architectural styles of California, along with more modern themes that predominate today's housing market. Unity will be achieved primarily by uniformity of use and development standards, such as building mass and setbacks.

This set of guidelines was developed for the portions of the West Village District that are separate and distinct from the Age Restricted neighborhoods. The reason is that the traditional market rate residential neighborhoods that make up the balance of the West Village District will be more akin to those already constructed in Phase 1 of River Islands which will include detached single-family homes of both single story and two-story construction, attached single-family product (such as clustered housing and bungalows), as well as medium density multi-family dwelling units. High-density residential units may also employ the same architectural themes as outlined in this AG/DS, however additional themes may be added in the future for high density developments as well.

1.2.3 Energy Efficiency

All buildings within River Islands should be designed to conserve energy as required by the State of California's CALGreen Code. Among the methods that should be considered are:

- ^ Passive solar design: thermal masses to absorb winter sun energy, roof overhangs, and carefully placed deciduous trees to provide summer shade;
- ^ Active solar design: solar collectors to heat water, or photo voltaic cells to generate electricity;
- ^ Energy efficient mechanical equipment for heating and cooling, such as heat pumps;
- ^ Extra thermal insulation in roofs and walls to control heat gain and loss;
- ^ Operable windows in commercial buildings; to reduce dependence on mechanical ventilation;
- ^ Home integrated systems: wireless PC based systems that allow homeowners to program appliances to restrict usage during peak energy periods;
- ^ Load shifting technologies: thermal energy storage for residential and commercial use that moves the operation of air conditioning compressors from on-peak operation to off-peak hours;
- ^ Thermal rated glazing, including reflective coatings to reduce heat load in the summer;
- ^ Utilization of Energy Star rated appliances.

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RIVER ISLANDS



CHAPTER 2

ARCHITECTURE

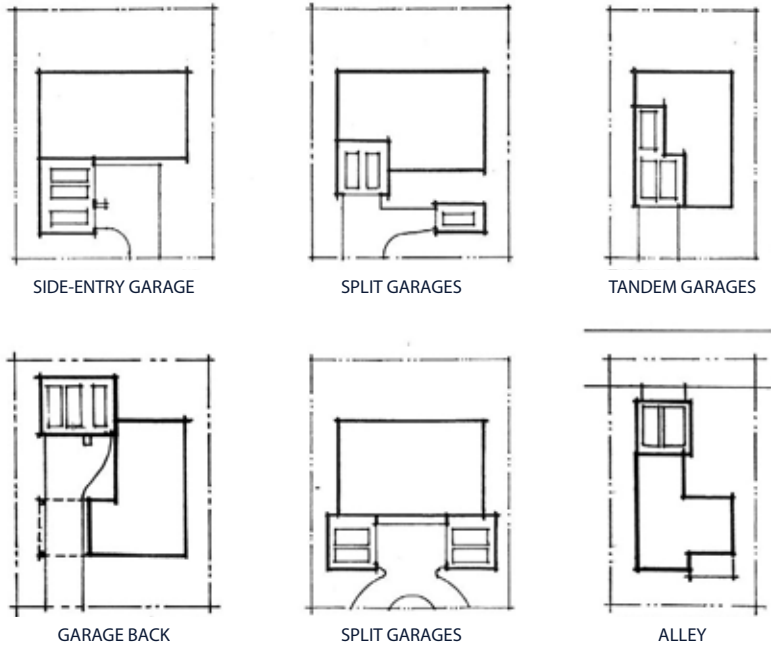
2.1 Design Guidelines

2.1.1 Architectural Character

Future low and medium density residential village neighborhoods in River Islands will present diverse and varied streetscapes with interesting mix of architectural styles and motifs. Individual Village Districts should be designed and developed into themed residential neighborhoods with a coordinated mix of plans and elevation styles within any specific housing product line. The primary theme of each residential neighborhood will aim to create authentic Central Valley-inspired community with well crafted architectural mix and site-specific landscape features.

The key to a visually cohesive residential neighborhood can be achieved by modern interpretation of heritage architectural styles surveyed and collected throughout the region with keen attention to details and craftsmanship.

High density residential development is not covered by this AG/DS document and an amendment to this AG/DS document will be required to include design guidelines and architectural themes prior to the approval of any high density development in West Village District.



Encouraged garage layouts

2.1.2 Streetscape

Minimizing the visual impact of garage doors on the front elevations is strongly encouraged. Merchant builders are encouraged to mix their product to provide a variety of garage placements relative to floor plan and site plan. By providing a mix of side facing or angled garage doors, garage doors set back further than living areas and garage doors that tie into courtyard entry portals, as well as by setting street facing garage doors back a minimum 18 inches into structures when practicable, this impact can be minimized. To encourage streetscape variety, side-facing garages may in some cases reduce front yard setbacks so as not to prohibit buildable square footage. Tandem (two deep) garages are encouraged so as to cut down on the number and width of garage doors facing the street. Front facing garage doors are encouraged to be single width and builders must strive to reduce driveway paving, including the use of 18' long driveways when allowed by the standards for certain lot sizes.

Garages that are not tandem or split, shall be a minimum size of 20'x20' (at least 20' deep) and are encouraged to be deeper to accommodate longer vehicles. All garages shall allow for the parking of at least two cars.

Mailboxes shall be ganged together and not on individual lots. Cluster box units similar to Florence "vogue" series should be used, location to be determined.

2.1.3 Building Elements

Building Form

The massing, articulation and proportion of homes within River Islands should be designed to reflect the interior uses and the specific architectural style. Attention to massing, articulation and proportion are not limited to the primary street elevation. Equal care should be given to any elevation that sides or backs onto an alley or street when that elevation is visible from the street or in public view. Particular attention should be given to ensuring that appropriate window openings are incorporated in these instances.

The design should focus on breaking the main façade of the home into three to four distinct elements: entry, main building mass, a single story element and the roof. The following guidelines will encourage greater massing variety:

Massing:

- The upper level of a two-story home should step back min. 24" from face of garage door to reduce the scale of the front building façade facing the street, unless appropriate to a historical style. This can be achieved with a roofed porch provided all other criteria are met.
- Two-story houses should have a single story element, e.g. porch, bay window or building projection closest to the front of the house and/or next to the street.
- Varying front setbacks, addition of a defined entry courtyard and a covered porch will be encouraged to create architectural interest and diversity along residential street front.
- Alleys are encouraged to promote pedestrian friendly streetscapes.



Roof Form and Slope

Roof form and slope are important design elements in creating a well-conceived streetscape.

- Roof treatments should be consistent with the architectural style of residential unit.
- A mix of single story, two story elements, and undulating planes, wall and garage plans. No two story gable walls more than two houses in a row.
- Variety of roof design and treatment is encouraged to provide visual diversity through the village neighborhoods by extensive use of gable, cross-gable, hip or a combination of these roof forms.
- When visible from a public space or street, repetitious gable ends framed side to side on rear elevations are not permitted along perimeter edges of residential neighborhoods.
- Vertical and horizontal roof articulations are strongly encouraged.

Roof Materials

Developments of residential neighborhoods within River Islands should have varying roof materials, such as concrete shake, Spanish tile or “architectural” grade composition shingles. Metal roofing is encouraged when appropriate to an architectural style.



2.1.4 Building Materials and Colors

Building materials and color are important elements to maintain the visual quality of homes within the neighborhoods of River Islands at Lathrop. The use of traditional materials and colors should dominate throughout the residential neighborhoods.

- ^ Selection and application of architectural materials and details should relate well and be expressive of the architectural style of the residence.
- ^ Exterior materials and architectural details should be designed to appear as an integral part of the design.
- ^ Acceptable primary exterior building materials including brick, masonry, stucco, stone and wood, (or a high quality wood composite material, such as Hardie siding or similar.)
- ^ Secondary or accent materials should include real or cultured masonry materials (such as stone, brick and decorative block or tile), horizontal siding, and composite wood shingles, or composite shingles.
- ^ Material changes at the outside corners of structures provide the visual impression of thinness and artificiality. Materials should fully wrap around outside building corners to the next substantial change in wall planes or direction, i.e. at an inside corner, or fence line.
- ^ The color palette should be selected with the design intent of avoiding monotony while providing balanced variety of color schemes that further enhancing visual diversity. A minimum of 3 color schemes per elevation style is required.
- ^ Homes shall have a minimum of 3 colors per elevation, for yeld (body), accent and trim locations. If 2 di" erent siding materials are used, 2 di" erent but complementary colors are highly encouraged. (Stone or masonry not included).
- ^ The same color schemes shall not be plotted next to each other.



2.1.5 Architectural Styles

For concept and inspiration, architectural tradition across many notable and well established residential neighborhoods in proximity to the City of Lathrop were surveyed and compiled to generate 5 representative heritage architectural styles recommended for the River Islands neighborhoods. These heritage architectural styles have proven to possess market appeal, and community acceptance when they are successfully executed and delivered by contemporary merchant home builders. Additionally, modern influenced styles have been added based on current buyers tastes. The architectural styles are categorized into three architectural groups. Each group represents a major residential stylistic development trend introduced in the Central Valley over the past decades. Builders may propose additional styles which can be added by administrative action.

Continental Influence

- American Traditional
- European Cottage
- Savannah



Western Regional Influence

- California Ranch
- Craftsman



Modern Influence

- California Modern
- Modern Farmhouse
- Spanish Eclectic
- Modern Prairie



More detailed descriptions of the nine representative building styles are presented on the following pages and are intended to guide the builders and developers in creating a quality and finesse to the housing units in the West Village District.



- 1) Window shutters
- 2) Centered front gable (pediment)
- 3) Entry porch
- 4) Elliptical fanlight over paneled door
- 5) Multi-paned windows with double hung sashes



American Traditional

The American Traditional, also known as Colonial Revival, is a nationalistic style. When “manifest destiny” was at its peak in the early 1890s, Americans began to value their own heritage and architecture. Colonial Revival sought to follow the style of the period around the Revolutionary War. Distinctive in this style are multiple columned porches and doors with fanlights and sidelights. The trend arrived in California soon after the turn of century in reaction to the excessive usage of the Queen Anne style at the time.

Ex terior Features

American Traditional style features porticos, slender columns, restrained capitals and classical Greek moldings, and narrow clapboard siding is used to cover the exterior and trimmed with strong accent colored shutters.

American Traditional - (Detached Homes)

American Traditional design details

Elements	Minimum	Enhanced
Form	-Symmetrical one- and two-story stacked massing -Simple plan form massing and simple roof design	
Roof	-Front to back dominant gable roof with one intersecting gable roof -Moderate pitched roof slope (5:12-9:12 slope) -Wide projecting eaves with exposed rafter tails, and decorative beams or braces added under the gables -Flat tile -Composition shingles of high quality	-Gambrel roof form
Walls	-Blend of stucco and siding at exterior finish -Used brick -Stucco sand, light lace, or medium dash finish	-Narrow clapboard, board/batten, wood shingles or siding as primary building material -Brick veneer wainscot -Decorative shingles -Stone or brick accent materials
Windows	-Symmetrical placement of windows on front elevation -Vertical, wood cased, multi-paned -Standardized, single hung windows	-Bay window as principal window on front elevation
Details	-Colonial detailing -Porticos with colonial detailing -Decorative attic vents -Door trim surround is simple and elegant	-Cornice gable-end trim -Doors with fan lights and side lights -Louver, plank, or panel shutters -Restrained moldings
Colors	-Off-white to light colors with contrasting trim and accent colors	
Outdoor Space	-Porch, 4'-6' minimum depth -Substantial portion of front elevation	

Decorative gable vent & gable enhancement



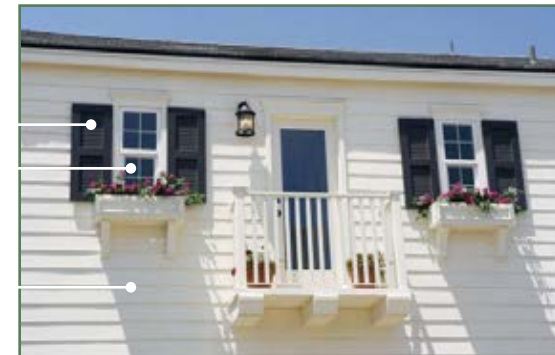
Lap siding

Square columns

Entry porch

Shutters
Multi grid single housing windows

Lap siding



Shingle siding



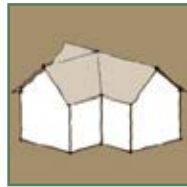
Entry Porch Square columns Pickets

American Traditional/Design Element Kit of Parts

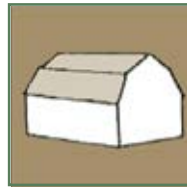
Roof types



Side



Cross



Gambrel

Posts, columns, and piers



Wood post with bracket



Wood post with corbel



Double wood posts



Round columns



Square column

Chimneys



Stucco



Stucco



Brick



Lap siding

Door shapes



Rectilinear



Flat arch

Door styles



Panel door



Panel door with glass



Single with divided lite

Window shapes



Rectangular



Round



Square

Window style



Single hung with mullions



Slider with mullions



Picture



Bay window

American Traditional/Design Element Kit of Parts

Window sills



Trim surround



Header and sill



Sill with corbels

Shutter designs



Louver



Panel



Plank

Eaves and fascia



Square rafter tails



Chamfered rafter tails



Corbel to fascia



Bracket to fascia



Cornice



Return at rake

Garage door styles



Framed panel



Framed panel w/
door lights

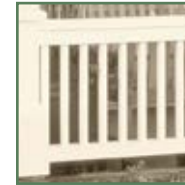


Carriage Door

Railing



Decorative



Straight picket



Turned picket

Detail elements



Ornamental
light fixture



Louvered vent



Decorative gable
detailing



Gamble dormer



Classical entry
features



- 1) Dominant front facade with multiple, steeply pitched front gables
- 2) Massive chimneys crowned by decorative chimney pots
- 3) Multi-paned ribbon window
- 4) Recessed entry alcove



European Cottage

The European Cottage is a style that evolved out of Medieval Tudor and Norman architecture. The combination of these two architectural influences eventually translated into the popular English and French “Cottage” style homes that received further acceptance with the addition of stone and brick veneer details developed in the 1920s.

Exterior Features

This evolving architectural style is characterized by its steep roofs, that are usually side-gabled, and facades that are dominated by cross gables. The primary material is stucco with heavy use of stone and brick at bases, as are rounded doorways, multi-paned casement windows, large and elaborate chimney feature. Some of the most recognizable features for this style are the accent details in gable ends, sculptured swooping walls at the front elevation and tower or alcove element at the entry.

European Cottage - (Detached Homes)

Elements	Minimum	Enhanced
Form	-Asymmetrical one- and two-stories -Rectangular plan form mass	-Varied plan shapes -Tower at entry
Roof	-Side-gabled, rarely hipped or front-gabled -Façade dominated by one or more cross gables -Steeply pitched roof -Gable roof overhang, 9"-24" eave -Architectural quality wood/ asphalt shingles, or smooth flat concrete tiles	-Sculptured swooping roofs -Steeply pitched roof: 8:12 to 12:12 and steeper
Walls	-Primary Walls: Stucco – sand, light lace, or medium dash finish	-Stucco – smooth finish -Use of stone & brick -Horizontal siding accents -Wood claddings on principal gables or upper stories
Windows	-Tall, narrow windows, usually in multiple groups and with multi-pane glazing -Typically casements of wood or metal or double hung sash windows	-Bay window as principal window on front elevation -Stone mullions to divide casements and transoms -Grouped in strings of three or more -Stone mullions to divide casements and transoms
Details	-Louver and panel shutters -Simple round-arched doorways with board-and batten doors -Small boxed eaves -Accent details at gable ends	-Elaborate chimney feature -Entry accents with real or faux stone -Decorative details -Partial porches with wood columns and railings
Colors	-Off-white and light tones with contrasting color accents/trim	
Outdoor Space	-Porches or enclosed front yards -5' minimum depth	

European Cottage design details



Louvered vent

Entry accents with real or faux stone

Panel shutter design

Off-white and light tones with contrasting color accents/trim

Decorative gable-end detailing

Decorative wooden balcony



European Cottage/Design Element Kit of Parts

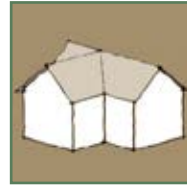
Roof types



Front



Side



Cross

Posts, columns, and piers



Wood post with bracket

Chimneys



Stucco



Brick



Stone

Door shapes



Rectilinear



Full arch



Flattened Arch

Door styles



Panel door



Panel door with glass



Single with divided light



Plank door



Plank door with glass

Window shapes



Rectangular



Square



Rectangular horizontally proportioned

Window styles



Single hung with mullions



Slider with mullions



Picture



Bay window



Multi-sash

European Cottage/Design Element Kit of Parts

Window sills



Trim surround



Sculptured stucco



Potsheff with corbels

Shutter designs



Louver



Panel



Plank

Eaves and fascia



Square eaves



Cornice

Garage door styles



Framed panel



Framed panel w/ door lights



Plank w/ door lights

Railing



Decorative



Straight picket



Turned picket

Detail elements



Ornamental light fixture



Brick surrounds



Louvered vent



Wood pot shelf



Decorative gable-end detailing



Entry tower



Decorative wooden balcony



- 1) Dominant decorated brick chimney
- 2) Wide hipped roof extends over porch
- 3) Wide wrap-around porch (galleries)
- 4) Wooden square column



Savannah

The Savannah, also known as Rural French Colonial, Tidewater or Plantation, typically refers to the two-story square-shaped home plan, which originated near Southern waterways. It is designed with a central entrance that leads to the traditional hall-and-parlor floor plan. Tidewater house plans, with their distinctive abundant windows and doors and large shade porches (galleries), were built for the Southern marshy climates.

Exterior Features

The Savannah style features symmetrical massing with dual-pitched hipped roofs and always lack interior hallways. Openings are placed solely for the convenience of the interior often with the rear range of rooms consisting of an open loggia with a small room at each end known as a cabinet.

Savannah - (Detached Homes)

Elements	Minimum	Enhanced
Form	-Asymmetrical one- and two-story massing -Strong horizontal emphasis	
Roof	-Side-gabled or hip roofs -Modest to high pitched roof -Shallow or moderate eave overhangs (3" - 18")	-Dual-pitched hipped roof -Concrete shake roof tiles -Metal roofs -Flat composite roofs
Walls	-Clapboard, wood shingles or siding	Accent material -Brick
Windows	-Multi-paned windows -Double-hung casement, sliding and picture windows	-Bands of vertically-proportioned windows tied together with continuous head and or sill trim
Details	-Front porch supported by square hood columns -Full porches and second story balconies -Shallow-molded, unadorned cornice on front facade -Single posts should be a minimum 6x6 dimension	-Dormers -Featured cornice with decorative moldings -Paired columns -Triple grouped columns at corners of porches
Colors	Light to medium earth tone colors with contrasting trim and accent colors	
Outdoor Space	-Wide porch/balcony, 5' minimum depth	

Savannah design details



Brick chimney

Square windows

Square Column



Single hung windows with mullions

Straight picket railing

Rectilinear panel door



Wood shingles

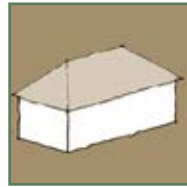
Square Column

Savannah/Design Element Kit of Parts

Roof types



Side



Hip

Posts, columns, and piers



Double wide wood posts



Double wood posts



Square Column

Chimneys



Stucco



Brick



Lap siding

Door shapes



Rectilinear

Door styles



Panel door



Panel door with glass



Single with divided light

Window shapes



Rectangular



Round



Square

Window styles



Single hung with mullions



Slider with mullions



Picture



Multi-sash

Savannah/Design Element Kit of Parts

Window sills



Trim surround



Header and sill

Shutter designs



Louver



Panel

Eaves and fascia



Square rafter tails



Chamfered rafter tails



Cornice



Cornice

Garage door styles



Framed panel



Framed panel w/ door lights

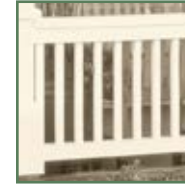


Carriage Door

Railing



Cut out panels



Straight picket



Turned picket

Detail elements



Ornamental light fixture



Louvered vent



- 1) Low pitched cross-gabled roof with wide eave overhang
- 2) Partial width porch
- 3) Enclosed entry courtyard



California Ranch

The Ranch style was originated in the mid-1930s by several creative California architects. It gained in popularity during the 1940s to become the dominant style throughout the country. The style is loosely based on early Spanish Colonial precedents of the American southwest, modified by influences borrowed from Craftsman and Prairie modernism of the early 20th Century.

Exterior Features

Asymmetrical one-story shapes with low-pitched roofs dominate. Moderate or wide eave overhangs with exposed rafters, along with built-in garage, wood or brick exterior walls, sliding and picture windows, and sliding doors leading to patios are the characteristics for the California Ranch style.

California Ranch - (Detached Homes)

California Ranch design details

Elements	Minimum	Enhanced
Form	-Asymmetrical one- and two-story massing -Strong horizontal emphasis	-Single story massing
Roof	-Front to back gable or hip with intersecting hip or gable roofs -Low to moderate pitched roof (3:12 - 5:12) -Moderate or wide eave overhangs with exposed rafters 12" - 30" -Flat concrete tile to simulate shake or split shake high quality composition shingle	-Lower pitched main roof or porch: 3:12 – 4:12 -Wide eave overhangs (18"~24") with exposed rafters -Concrete shake roof tiles
Walls	-Stucco with Clapboard, Wood Shingles or Siding -Stucco sand, light lace, or medium dash finish	-Clapboard, wood shingles, or siding as primary material -Use of stone and brick -Stone or brick accent materials
Windows	-Vertical multi-paned double hung casement windows -Multi-paned windows -Sliding and picture windows	-Bay window as principal window on front elevation -Round top accent or bay windows
Details	-The entry should be covered by porch -Front porch supported by square wood columns with trim -Full porches and balconies -Wood porches with classic square railings -Simplified cornice trim at gable ends	-Wide porch with decorative columns and trim -Entry doors will have side-lights, basic geometric patterns, and or multi paned windows with wood trim surround -Enhanced sills and louvered shutters
Colors	-Light to medium earth tone colors with contrasting trim and accent colors	
Outdoor Space	-Wide porch, 5' minimum depth	



Stone surround
Panel door with glass
Straight picket railing



Single hung windows with mullions
Wood post with bracket
Brick accent material



Low pitched roof

Bay window

California Ranch/Design Element Kit of Parts

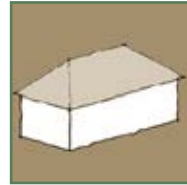
Roof types



Front



Side



Hip



Cross

Posts, columns, and piers



Wood post with bracket



Double wood posts



Wood post with corbel

Chimneys



Stucco



Stucco



Brick



Lap siding

Door shapes



Rectilinear

Door styles



Panel door



Panel door with glass



Single with divided light

Window shapes



Rectangular



Square



Rectangular horizontally proportioned

California Ranch/Design Element Kit of Parts

Window styles



Single hung with mullions



Slider with mullions



Picture



Bay window



Multi-sash

Window sills



Trim surround



Header and sill



Sill with corbels

Shutter designs



Louver



Panel



Plank

Eaves and fascia



Square rafter tails



Chamfered rafter tails



Quarter round rafter tails



Shaped rafter tails



Bracket to fascia

Garage door styles



Framed panel



Framed panel w/ door lights



Carriage Door

Railing



Cut out panels



Straight picket



Turned picket

Detail elements



Ornamental light fixture



Louvered vent



- 1) Low- pitched gabled roof with wide, unenclosed eave overhang
- 2) Full width entry porch with square tapered column support
- 3) Decorative (false) triangular knee brace under gable
- 4) Exposed roof rafter tails
- 5) Battered or tapered columns



Craftsman

The Craftsman style was inspired by the English Arts and Crafts movement of the late 19th Century, and is considered native to the California architectural tradition with notable early contribution by architects such as Greene and Greene and Bernard Maybeck.

Exterior Features

The physical character is dominated by its low-pitched, gabled roof with wide, unenclosed eave overhang. In addition, the style features exposed roof rafters and decorative beams or braces commonly added under gables. Large porches with distinctive supporting columns that extend across the entire front of the house along with extensive use of natural materials (wood and stones) are all defining features of the Craftsman style.

Craftsman - (Detached Homes)

Elements	Minimum	Enhanced
Form	-Asymmetrical one- and two-story boxy forms -Low lines with simple wide projecting roofs	-Horizontal forms through boxed massing with vertical and horizontal offsets
Roof	-Low-pitched gable roofs, rarely hipped PITCH -Low pitched roof slopes (3:12 - 5:12) -Wide projecting eaves with exposed rafter tails, and decorative beams or braces added under the gables (12"-30") -Flat concrete tile -Composition shingles of high quality	-Varied porch roofs: shed or gabled -Minimum Overhang: 18" -Concrete shakes
Walls	-Blend of stucco and siding at exterior finish -Stucco sand, light lace, or medium dash finish	-Clapboard, board/batten, wood shingles or siding as primary building material -River rock stone or brick accent materials
Windows	-Simple double-hung casement windows -Large front windows, often in 3 parts -Typically, multi-paned upper sash with single pane below	-Bands of vertically-proportioned windows tied together with continuous head and or sill trim
Details	-Exposed structural elements -Prominent front porch with columns and gabled roof element -Wide projecting eaves, decorative beams, or added braces under gables -Strong header and sill with beams or braces under sill -Exposed eaves and rafter tails	-Heavy square or tapered columns resting on stone or brick piers -Arts and Crafts style lighting fixtures -"Dormers" with shed or gable roof
Colors	-Light to medium earth tone colors with contrasting trim and accent colors	
Outdoor Space	-Wide porch, 5' minimum depth	

Craftsman design details

Stucco chimney

Sill with corbels

Decorative gable
-end portal



Decorative gable
-end detailing

Single hung with
mullions



Knee brace



Panel door

Craftsman/Design Element Kit of Parts

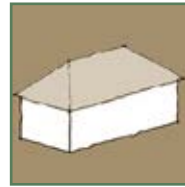
Roof types



Front



Side



Hip



Cross

Posts, columns, and piers



Wood post with bracket



Double wood posts



Battered columns



Corbel



Knee brace

Chimneys



Stucco



Stucco



Stone



Brick



Lap siding

Door shapes



Rectilinear

Door styles



Panel door



Panel door with glass



Single with divided light



Plank door



Plank door with glass

Window shapes



Square

Craftsman/Design Element Kit of Parts

Window styles



Single hung with mullions



Slider with mullions



Picture



Multi-sash



Awning

Window sills



Trim surround



Header and sill



Sill with corbels

Shutter designs



Louver



Panel



Plank

Eaves and fascia



Square rafter tails



Chamfered rafter tails



Quarter round rafter tails



Shaped Tails

Garage door styles



Framed panel



Framed panel w/ door lights



Carriage Door

Railing



Decorative



Straight picket

Detail elements



Ornamental light fixture



Decorative gable-end detailing



Decorative gable-end portal



- 1) Mix of shed, hipped or gable roofs
- 2) Mix of stucco, wood and stone siding
- 3) Horizontal lines
- 4) Clean detailing



California Modern

As the economy continues to bounce back, Contemporary styled homes continue to grow in popularity. California Modern homes take traditional styles and contemporize the shapes, massing and details, which often appeals to a younger demographic of homeowner. Simple detailing and careful selection of low maintenance materials characterize this style.

Exterior Features

Sculptural forms can include smooth surfaces, shifted volumes, and projecting cantilevers. Floor-to-ceiling windows and an array of square openings placed throughout the façade present straightforward geometry. Retractable shutter panels provide ways to both shade interiors from daylight while maintaining a cutting-edge look. A mix of roof styles can include hip, gable, and sloping shed. A mix of stucco and wood, horizontal lines with contrasting vertical towers or elements and distinct design elements such as sunshades add to the new geometry of the California Modern home.

California Modern - (Detached Homes)

Elements	Minimum	Enhanced
Form	-Asymmetrical one- and two-story boxy forms -Low lines with simple wide projecting roofs	-Horizontal character through the use of boxed massing with vertical and horizontal offsets
Roof	-Low-pitched hipped roofs, low & steep pitched gables, shed form -A mix of low and steep-pitched roof slopes (3:12 - 5:12) & (8:12 - 10:12) -Wide eaves with enclosed rafter tails, decorative beams/braces under gables (12"-30") -Flat concrete tile -Composition shingles of high quality	-Varied porch roofs: shed or gabled -Minimum Overhang: 18" -Concrete shakes -Composition shingle with shadow relief
Walls	-Stucco and siding at exterior finish -Stucco sand, light lace, or medium dash finish -Horizontal siding and panel systems	-Stucco, clapboard, board/batten, wood shingles or siding -Horizontal stone
Windows	-Double-hung casement windows -Large front windows, often divided -Square windows, minimal breakups	-Vertically-proportioned windows tied together with continuous head or sill trim -Storefront windows -Stacking window walls
Details	-Prominent front porch with columns and gabled roof element -Wide projecting eaves, decorative beams, or added braces under gables -Strong header and sill with beams or braces under sill -Enclosed eaves and rafter tails -Use of Horizontal stone columns - sometimes spanning 1 - 1/2 stories.	-Heavy square or tapered columns resting on horizontal stone -Contemporary lighting fixtures
Colors	-Light to medium earth tone colors with contrasting trim and accent colors, bold base colors, multi colored	
Outdoor Space	-Wide porch, 5' minimum depth	

California Modern design details



California Modern / Design Element Kit of Parts

Roof types



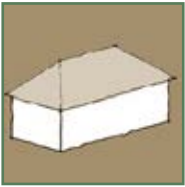
Shed



Shed



Side



Hip



Cross

Posts, columns, and piers



Round columns



Square Columns

Door styles



Panel door



Single with glass



Panel door with side lights



Panel door with glass and side lights

Eaves and fascia



Enclosed Eaves



Enclosed Eaves

California Modern / Design Element Kit of Parts

Window styles



Multi sash (Fixed or arching)



Multi paned



Picture



Plate glass



Square



Window wall with stacking doors

Exterior Lighting



Ornamental light fixture



Ornamental light fixture



Ornamental light fixture

Garage door styles



Framed panel with door lights



Framed panel w/ door lights



Framed panel w/ door lights

Railing



Tube Steel



Straight picket



Cable railing



Vertical Picket



- 1) Mix of shed, hipped or gable roofs
- 2) Mix of stucco, wood and stone siding
- 3) Vertical lines
- 4) Clean detailing



Modern Farmhouse

The Modern Farmhouse style is a contemporary interpretation of the traditional farmhouse that incorporates classic farmhouse elements such as gable end roofs, strong vertical lines, and a sense of overall symmetry and puts a contemporary spin on them for a more streamlined modern feel. Modern Farmhouse homes are simply framed and rectangular in shape, with the most recognizable characteristic being the gable roof, typically with a 12:12 pitch. The steep pitch emphasizes the height of the house, and sets the tone for strong vertical lines.

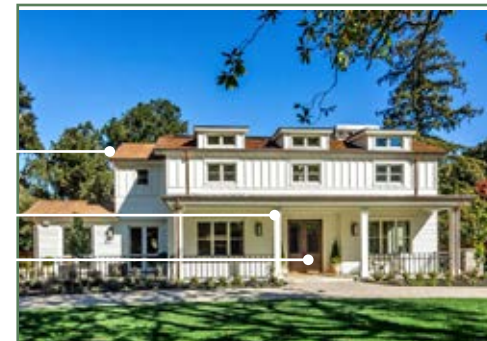
Exterior Features

Most Modern Farmhouse-styled homes are two-story buildings with symmetrical arrangement of parts, with entrance at the center and typically a strong vertical element capped with a gable roof. A short set of wide steps leads from the sidewalk to the porch at the front entrance. The two main exterior siding materials commonly found on Modern Farmhouse styles are lap, and board and batten. Shutters commonly found on the traditional farmhouse are typically replaced with horizontal working barn door style shutters.

Modern Farmhouse - (Detached Homes)

Elements	Minimum	Enhanced
Form	-Simple plan form massing and roof shape	
Roof	-6:12 to 12:12 roof pitch -Front-to-back main gable roof -12" minimum overhangs -Smooth, flat concrete tiles or high-quality composition singles -Standing seam material	-Main gable roof with one or two intersecting gable roofs -16" minimum overhangs
Walls	-Blend of siding, stone and stucco -Stucco sand, light lace, or medium dash finish	-Full-wrapped horizontal siding, board-and batten or fine-sand finish stucco
Windows	-Vertical, multi-lined windows at front elevations	-Built-up header trims at front windows
Details	-Porches with simple wood columns and wood railings. -Stucco finished or horizontal siding-wrapped chimney, if applicable -Complementary garage door patterns -Barn door style shutters -Wood columns shall be doubled (or tripled at corners) or 6" min. dimension	-Shaped-wood columns with brackets and knee braces -Wood pot shelves -Gable or hip dormers at front elevation -Doors with fan-lights and side lite windows
Colors	-Light to medium colors with contrasting trim and accent colors	
Outdoor Space	- Wide porch: Minimum 6' in depth	

Modern Farmhouse design details



Enclosed eaves

Square columns

Panel door with glass



Ornamental light fixture

Panel shutter



Single hung window

Light to medium colors with contrasting trim and accent

Modern Farmhouse / Design Element Kit of Parts

Roof types



Front



Shed



Side



Cross

Posts, columns, and piers



Round columns



Square Columns

Door styles



Panel door



Barn door



Single with glass



Panel door with side lights



Panel door with glass and side lights

Eaves and fascia



Enclosed Eaves



Enclosed Eaves

Modern Farmhouse / Design Element Kit of Parts

Window styles



Multi sash (Fixed or arching)



Multi paned



Picture



Plate glass



Square



Window wall with stacking doors

Exterior Lighting



Ornamental light fixture



Ornamental light fixture



Ornamental light fixture

Garage door styles



Framed panel with door lights



Framed panel w/ door lights



Framed panel w/ door lights



Carriage Door

Railing



Tube Steel



Straight picket



Cable railing



Vertical Picket



- 1) Arched entrance
2. Tiled roof material
- 3) Use of window shutters
- 4) Spanish vent element



Spanish Eclectic

The Spanish Eclectic style is a modern interpretation of the traditional Spanish style that incorporates classic Spanish elements such as arched walls, tile roofs, along with a mix of contemporary elements from other styles to create a more modern feel. Spanish Eclectic homes have clean lines, can be one or two story, utilizing muted earth tone color schemes.

Exterior Features

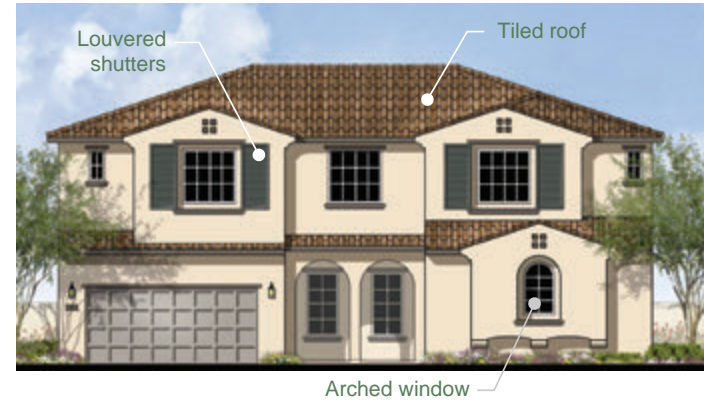
Most Spanish Eclectic-styled homes are two-story buildings with asymmetrical arrangement of parts, often with the entrance to one side of the front elevation or with the front door angled away from the rest of the front elevation wall. A mix of exterior materials can be used, including stucco, stone veneer, lap or horizontal siding, and/or board and batten. Shutters usually not found on other Spanish styles are commonly found with the Spanish Eclectic-styled homes.



Spanish Eclectic - Detached homes

Elements	Minimum	Enhanced
Form	Asymmetrical form with rustic details and flared wall accents	
Roof	-Front to back gable or hip with intersecting hip or gable roofs -Low to moderate pitched roof (3:12 - 5:12) - Moderate or zero overhang -S or villa style roof tiles	Medium 12" overhang, exposed eaves
Walls	Stucco with with foam trim, arched openings, and flared accents at gable or massing	
Windows	Slider, fixed or single hung windows	Window grids and recessed massing
Details	Enhanced window trim at projecting building massing. Flared foam trim at gable ends and at covered porches	
Colors	-Light to medium earth tone colors with contrasting trim and accent colors	
Outdoor Space	15' minimum open space	

Spanish Eclectic Design Images



Spanish Eclectic - Design Element/Kit of parts

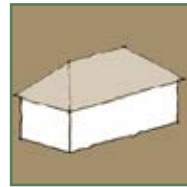
Roof types



Front



Side



Hip



Cross

Posts, columns, and piers



Wood post with bracket



Double wood posts



Wood post with corbel



Stucco columns



Brick



Lap siding

Chimneys

Door shapes and styles



Rectilinear



Panel door



Glazed panel door

Window shapes



Rectangular



Square



Arched

Garage door styles



Louvered shutter



Light fixture



Flared eave



Tile Vents



- 1) Low pitched hip roof structure
- 2) Strong stone accent material
- 3) Deep overhang at entry
- 4) Strong contrasting accent color to house body



Modern Prairie

Modern Prairie is a mid-American architectural style that features low-pitched hipped roofs with deep overhangs, low but strong horizontal lines, and bands of windows. Natural materials are emphasized in the exterior elevation.

Exterior Elements

The Modern Prairie style features nearly symmetrical massing with low-pitched hipped roofs. While stucco is the primary exterior material, strong accents with stone, masonry and wood styled siding are utilized and sometimes mixed. Glazing is typically single hung windows, but picture/fixes and sliding windows can also be utilized. Neutral tones are preferred for exterior color with use of bolder accent color for contrast.

Modern Prairie - (Detached Homes)

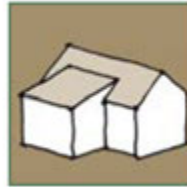
Elements	Minimum	Enhanced
Form	- Single story form with emphasis on horizontal linear massing and slender vertical columns in accent stone or brick	
Roof	- Low slope hip roof ranging from 3:12 to 4:12 with deep overhangs	- 12"-16" overhangs
Walls	- Stucco with stone wainscoting and accent material on columns	- Use of stone and siding as accent materials
Windows	-Slider, fixed or single hung windows	- Grids in selected locations
Details	- Prominent use of stone or brick columns and horizontal trim lines - Modern paneled entry doors	
Colors	- Neutral tones with bold contrasting colors	
Outdoor Space	- Porch, minimum 5' in depth	

Modern Prairie Design Element Kit of Parts

Roof types



Hip



Shed



Side

Door styles



Panel door

Posts, columns, and piers



Masonry columns

Detail elements



Ornamental light fixture

Garage door style



Modern panels with side lights

Window styles



Trim surround

2.2 Development Standards

The non-active adult units of the West Village District include Villages 1 through 3 north of Stewart Canal and Villages 25 through 28 that were formerly age-restricted units south of Stewart Canal. It also includes Villages 30-32 that include multi-family housing south of the active adult area.

The numerical and dimensional development standards necessary to regulate housing for the non-active adult housing and multi-family housing associated with West Village are summarized in Table 2.1 Summary of River Islands Architectural Standards.

The summary is supplemented with more detailed development standards for each Architectural land use designation in illustrative lot diagrams based on various lot sizes. Yard-street relationships, lot design, setbacks and building height are covered in detail. The City, based on recommendation of the STDRC shall have the authority to accept, review and grant any minor architectural variance on a case document so long as such variances are not in direct conflict with this document or the UDC.

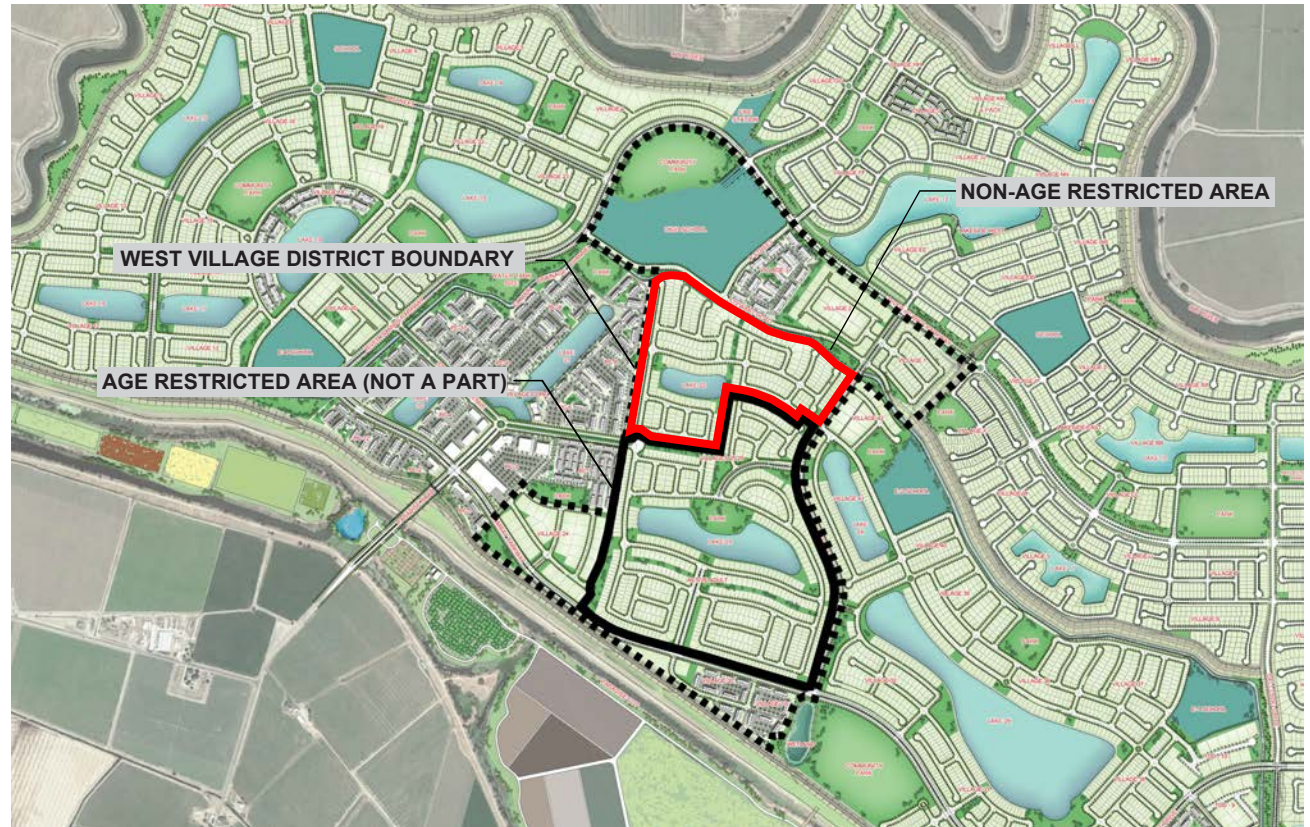
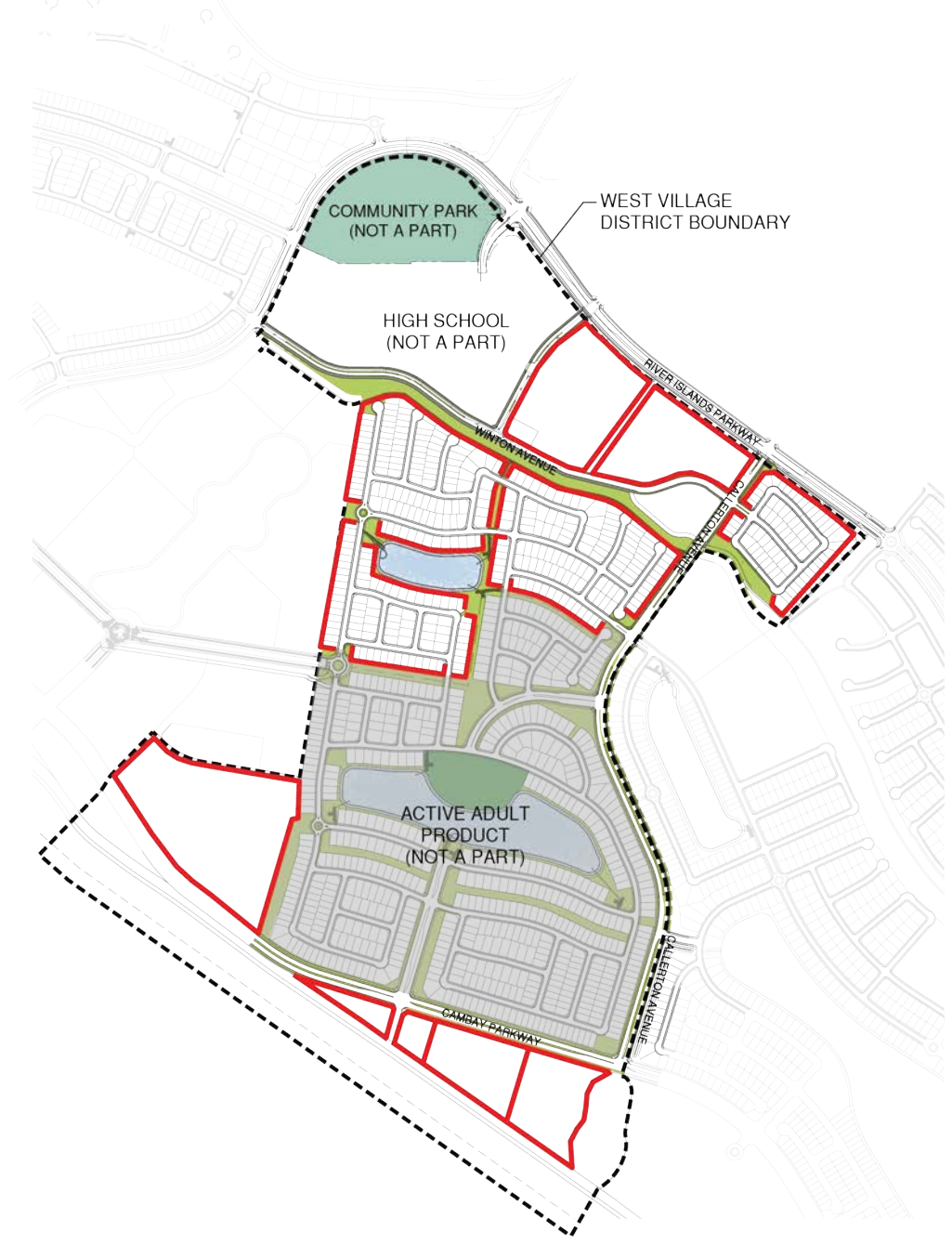


Figure 2.1 The West Village Illustrative Plan

All areas outside of the age restricted area are non-age restricted and available to buyers of all ages. Areas that are designated for high density development will be subject to future amendments to this document before a development permit or building permit may be issued by the City.



LEGEND

— ENHANCED ARCHITECTURAL ELEVATION LOCATIONS

Enhanced architectural elevations are side and/or rear elevations that are in more visible locations to the general area, including lakes, major streets, and near levees. Additional architectural elements, such as enhanced trim, window treatments, wainscoting, and similar items will likely be required by designers. Note that multi-family projects (e.g. condo, apartments and attached single family) make take special consideration due to unique nature of each project.

Since the design and construction of all public schools in California are governed by State agencies, the proposed high school will not be reviewed by the STDRC and is not subject to a City building permit.

Figure 2.2 The West Village District Enhanced Architectural Elevation Location Map (Non-Age Restricted Adult Product)

LOTTING SUMMARY

AREA	VILLAGE	PRODUCT TYPE	Units
	VILLAGE 1	50' x 100'	68
	VILLAGE 2	MEDIUM DENSITY	192
	VILLAGE 3	HIGH DENSITY	312
	VILLAGE 24	MEDIUM DENSITY	273
	VILLAGE 25	60' x 110'	77
	VILLAGE 26	50' x 110'	65
	VILLAGE 27	42' x 105'	104
	VILLAGE 28	47' x 105'	93
	VILLAGE 30	MEDIUM DENSITY	44
	VILLAGE 31	HIGH DENSITY	185
	VILLAGE 32	HIGH DENSITY	201

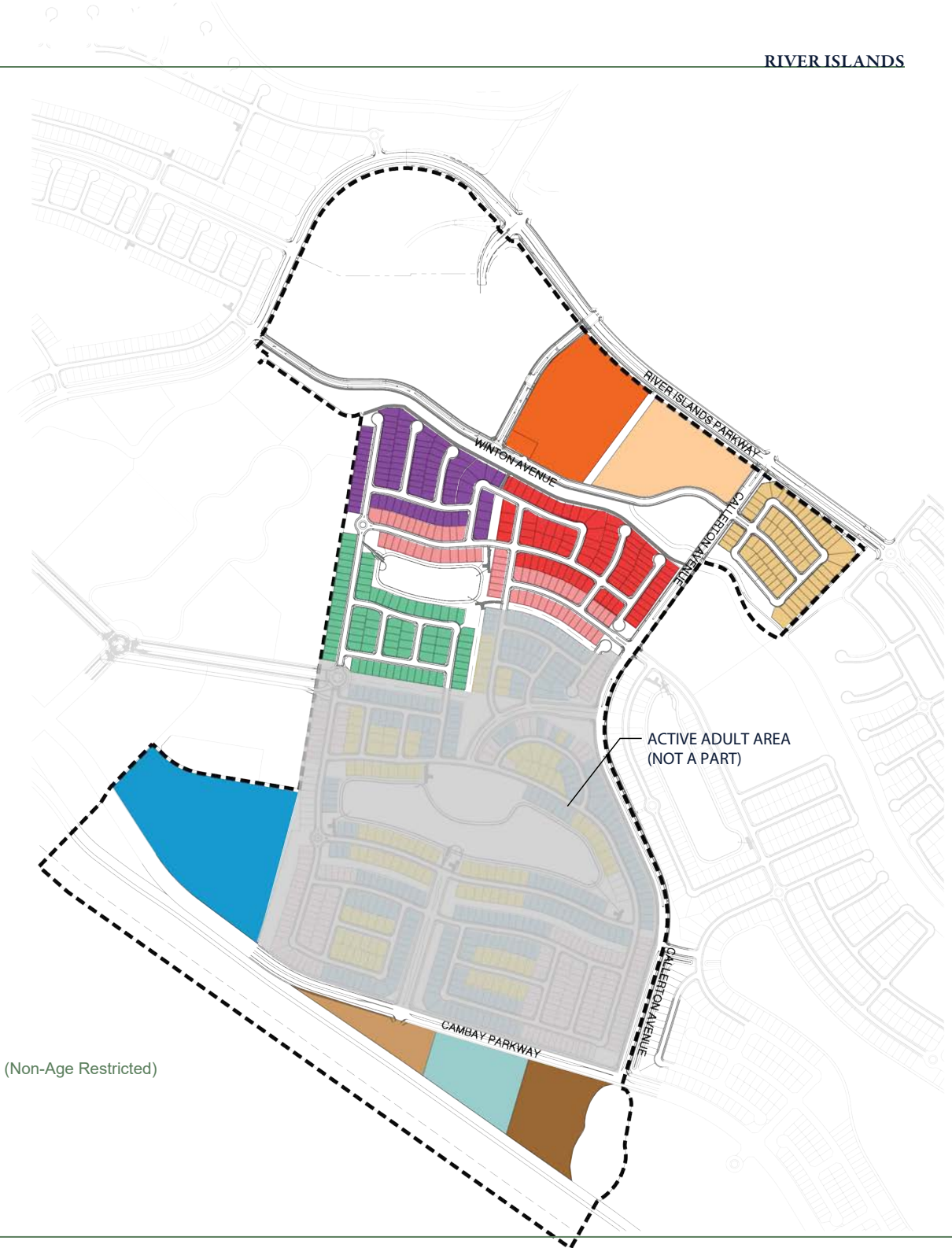


Figure 2.3 Lot Sizes Diagram - West Village District (Non-Age Restricted)

2.2.1 Low Density Architectural (LDR) Development Standards - West Village Non-Age Restricted Adult

The LDR land use designation is intended to provide a wide range of single family detached housing products, from 42'x105' lots to 60'x110' lots for non-age restricted units. The permitted density range for this category is between 3~9 dwellings per acre (du/ac). Lot sizes for this District shall range from 4,410 s.f. to 6,600 s.f.

Land Use Designation:	Low Density Residential Front Loaded Lots				
Lot Size:	42 x 105 Lots	47 x 105 Lots	50 x 100 Lots	50 x 110 Lots	60 x 110 Lots
Setbacks (Minimum)					
Front Yard @ street					
Living Space (First/Second Story)	(14'/16')	(14'/16')	(15'/20')	(15'/20')	(17'/22')
Porch (5' min. clear depth)	10'	10'	12'	12'	12'
Garage Front Facing (Door)	18'	18'	20'	20'	20'
Side-Entry Garage Wall ⁽³⁾	Not Allowed	Not Allowed	Not Allowed	Not Allowed	10'
Side-Entry Garage Conversion	Not Allowed	Not Allowed	10'	10'	10'
Front Courtyard walls	10'	10'	10'	10'	10'
Side Yard					
Living Space (Interior Property Line) ⁽⁴⁾	4'/3'	4'/3'	5'	5'	5'
Living Space (Corner Property Line)	9'	9'	10'	10'	10'
Wrap Around Porch (Corner)	7'	7'	7'	7'	7'
Detached Garages/Accessory Unit	N/A	N/A	5'	5'	5'
Rear Yard					
Living Space (Min./Ave) ⁽¹⁾	(8'/12')	(8'/12')	(15'/20')	(15'/20')	(15'/20')
Front Entry Attached/Detached Garages	5'	5'	N/A	5'	5'
Garages with Rear Access ⁽²⁾	N/A	N/A	N/A	N/A	N/A
Garages (Rear-Front Facing)	N/A	N/A	N/A	N/A	N/A
Patio Covers/CA Rooms (1 Story Height) ⁶	10' min.	10' min.	10' min.	10' min.	10' min.
Height (Maximum to Ridge Line)					
Primary Dwelling	35' (2 Stories)	35' (2 Stories)	35' (2 Stories)	35' (2 Stories)	35' (2 Stories)
Detached Garage	N/A	N/A	N/A	N/A	N/A
Detached Garage/Accessory Unit	N/A	N/A	N/A	N/A	N/A
Parking					
Resident (Garage)	2 Cars min.	2 Cars min.	2 Cars min.	2 Cars min.	2 Cars min.
Guest (Apron)	2 Min.	2 Min.	2 Min.	2 Min.	2 Min.
Building Coverage	60%	60%	55%	55%	55%

Notes:

1. Minimum rear setback may be for only 1/2 width of the allowed house width.
2. Front entry garages located in rear of lot limited to 22' in width.
3. Single story only; facades shall have enhanced architectural elements.
4. Front, side, rear and street side yard setbacks may be reduced and lot coverage increased for single story units at STDRC recommendation to encourage single story units. To be considered for these exceptions, the product must demonstrate reduced massing from other units in the subdivision, create a diverse front yard streetscape by varying setbacks and encourage living space of the unit to be forward of the garage. Under no circumstance shall an exception be granted that allows encroachment into a public utility easement.
5. See appendix for accessory structure standards.
6. Two story patio covers/California rooms (a.k.a. "sleeper porches") may be placed within a 10' rear yard setback when the rear yard is adjacent to open space, a lake or is otherwise not adjacent to another residential lot.

2.2.2 Medium Density Architectural (MDR) Development Standards

The MDR land use designation is intended to provide a denser attached single family or multi-family housing products. The permitted density range for this category is 6 to 14 units per acre.

Lot Sizes:	Four Packs	Four Packs + ADUs	Six and Eight Packs - Alt. 1	Six and Eight Packs - Alt. 2	Bungalows
Setbacks (Minimum)					
Front Yard @ Street					
Living Space (First/Second Story)	(10'/14')	(10'/10')	(10'/10')	(10'/10')	(10'/10')
Porch (5' min. clear depth)	10'	5'	5'	5'	6'
Garage Front Facing (Door)	18'	18'	18'	18'	N/A
Side-Entry Garage Wall	N/A	N/A	N/A	N/A	N/A
Front Courtyard walls	N/A	N/A	N/A	N/A	N/A
Front Yard @ Private Street					
Living Space (First/Second Story)	7'/10'	7'/10'	7'/10'	5'/5'	5'/5'
Porch (5' min. clear depth)	4'	3'	3'	5'	6'
Garage Front Facing (Door)	18'	18'	18'	5'	N/A
Side-Entry Garage Wall	N/A	N/A	N/A	N/A	5'
Front walls (Private Street)	N/A	N/A	N/A	N/A	3'
Side Yard					
Living Space (Interior Property Line)	4'	4'	4'	4'	4'
Living Space (Corner Property Line)	N/A	N/A	N/A	N/A	N/A
Detached Garages	N/A	N/A	N/A	N/A	N/A
Street Side Yard	10'	10'	10'	10'	N/A
Rear Yard					
Living Space (Min./Ave)	10'/10'	10'/10'	10'/10'	10'/10'	10'/10'
Front Entry Attached/Detached Garages	N/A	N/A	N/A	N/A	3'
Garages with Rear Access (Apron)	N/A	N/A	N/A	N/A	N/A
Patio Covers (1 Story Height)	N/A	N/A	N/A	N/A	N/A
Paseo Walk					
Living Space (to enter of Paseo)	N/A	N/A	N/A	N/A	N/A
Porch (to center of Paseo)	N/A	N/A	N/A	N/A	N/A
Alley / Private Drive					
Garage (door)	18'	18'	18'	5'	3'
Garage (to center of Private Drive)	N/A	N/A	N/A	N/A	14'
Porch	5'	4'	4'	5'	5'
Height (Maximum to Ridge Line)					
Primary Dwelling	35' (2 Stories)	35' (2 Stories)	35' (2 Stories)	35' (2 Stories)	35' (2 Stories)
Detached Garage/Accessory Unit	N/A	N/A	N/A	N/A	N/A
Parking					
Resident (Garage)	2 Cars min.	2 Cars min.	2 Cars min.	2 Cars min.	2 Cars min.
Guest (Off-Site)	0.25 cars per unit	0.25 cars per unit	0.25 cars per unit	0.25 cars per unit	0.25 cars per unit
Building Coverage	N/A	N/A	N/A	N/A	N/A

Table 2.1 Summary of West Village Non-Age Restricted Adult Development Standards (Continued)

2.2.3 High Density Residential Development Standards

The HDR land use designation is intended to provide housing products for sale (condominiums) and for rent (apartments). Since each HDR site varies in size and shape, layouts for these units will vary, with units being 2 to 4 stories. The permitted density range for HDR is 15-40 dwellings per acre (du/ac). Architectural themes for high density product may range from any permitted style provided in this document. Since each building site is individualized, specific development standards will be provided with each proposed project. The guidelines below are general, to be applied each project on a case by case basis:

1. Design buildings to be respectful of adjacent buildings, and create transitions of appropriate height and scale.
2. Locate the taller portions of projects away from adjoining smaller properties in order to provide height transitions between taller and lower buildings, and to maximize light, air, and privacy for units.

Building Form

1. Design projects to avoid large box-like forms with continuous unrelieved surfaces.
2. Include articulation at a minimum along the public and private street frontage, and project side and rear yards, such that the bulk of the structure as seen from existing neighbors is reduced.
3. Minimize the bulk of the buildings by limiting building length, or designing buildings with two or more of the following special features to break up building bulk, including:
 - o Horizontal and vertical setbacks and stepbacks (instead of a long flat wall).
 - o Changes in roof form and height.
 - o Major full-height recesses (typically at least 10 feet deep) along the length of the building that successfully break the building into smaller discrete masses.

Building Orientation, Entrances, and Street Facing Facades

1. Design the street-facing façade of buildings to orient towards the public street, or private street if lot does not abut public street. Incorporate building articulation elements (such as cornices, brackets, overhangs, shutters, window boxes, etc.), and extensive landscaping to create an attractive street appearance that enhances the surrounding neighborhood.
2. Locate the primary front entrance of building units to face public, or private streets if lot does not abut public street.
3. In areas where the prevailing character is single-family detached development, design the public street facing facade to “read” like single dwelling units, including varying the design treatment for individual units to be complementary to the architecture of the neighborhood.

Table 2.2 Summary of High Density Residential Development Standards

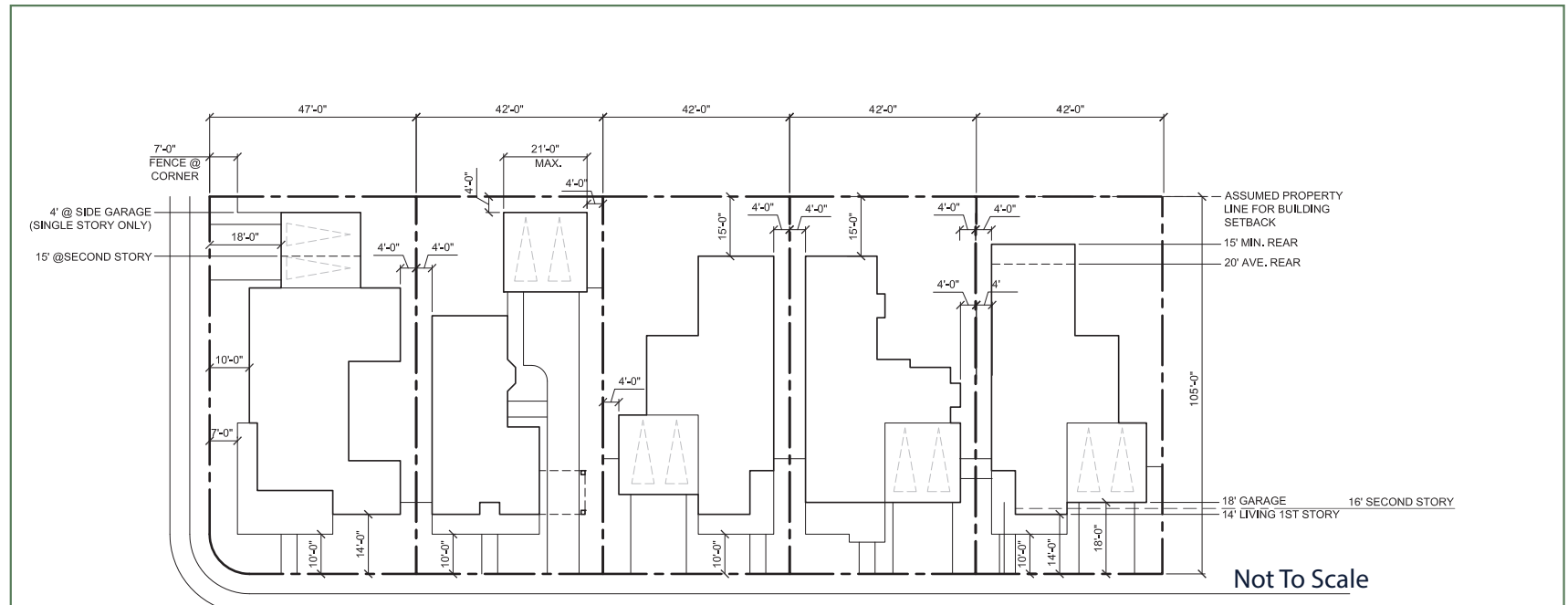
Setbacks (minimum)	
At Arterial/Collector Streets	10'
At Local/Minor Streets	5'
At Levee/Lake Slopes/Open Space	20'
Building Height (maximum)	
Five Stories or more ¹	125'
At Four Stories	60'
At Three Stories or less	40'
Building Coverage (maximum) ²	50%

Building Site (minimum)	20,000 s.f.
Lot Width (minimum)	100'
Lot Frontage (minimum)	100'
Parking	1.7 parking spaces per unit

1. Structures above 60 feet in height are typically steel/concrete or steel framed. Such structures may require special review and approval from the Building Department and Fire District.
2. Exceptions to building coverage may be granted on a case by case basis upon recommendation of the STDRC and approval of the Planning Commission.
3. Parking standard includes guest parking. Additional guest parking may be provided on a project by project basis.

Table 2.3 Low Density Architectural (LDR) - 42' x 105' Lots

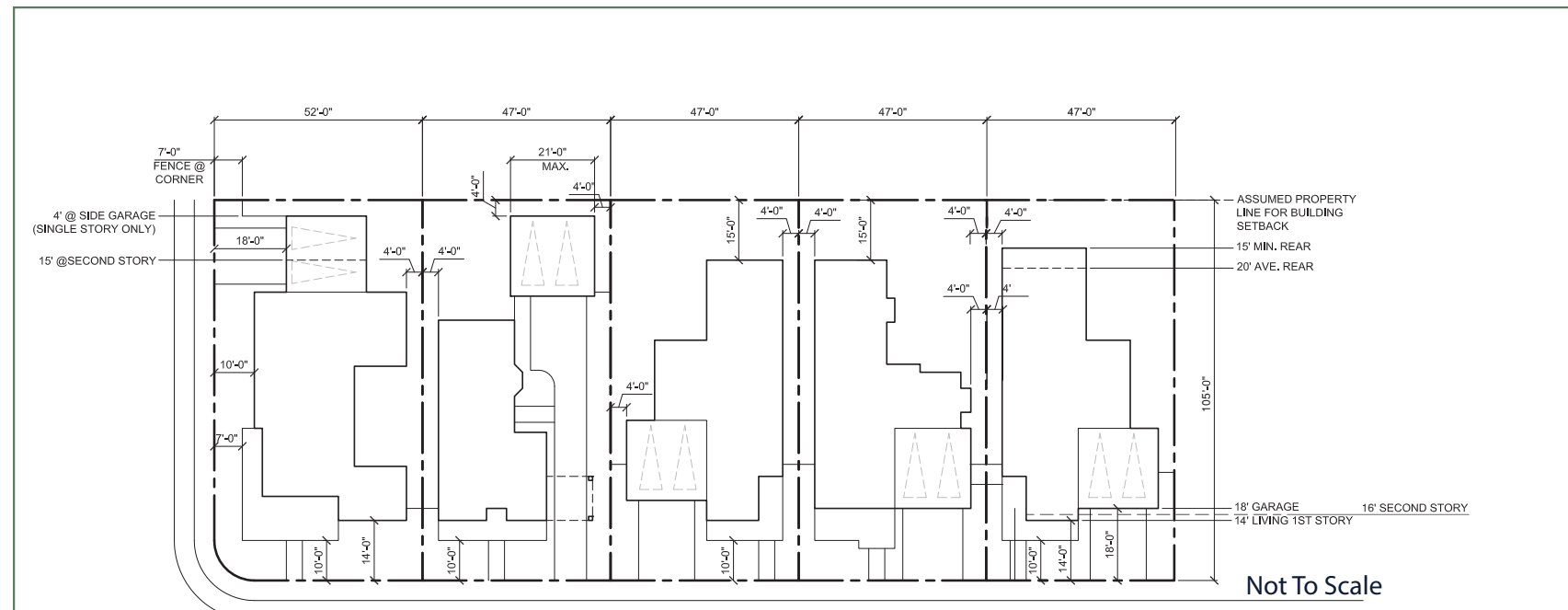
Setbacks (minimum)	
Front Yard Living Space (First/Second Story) Porch (5' min. Clear Depth) Garage Front Facing (Door) Side-Entry Garage Wall ⁽¹⁾ Side-Entry Garage Conversion ⁽¹⁾ Front Courtyard walls	(14'/16') 10' 18' Not Allowed Not Allowed 10'
Side Yard Living Space (Interior Property Line) Living Space (Corner Property Line) Wrap Around Porch (Corner) Detached Garages/Accessory Unit	4'/3' 9' 7' N/A
Rear Yard Living Space (Min./Ave.) ⁽⁴⁾ Front Entry Attached/Detached Garages Garages with Rear Access Patio Covers (1 Story Height)	(8'/12') 5' N/A 10' min
Building Coverage	60% ⁽⁶⁾



Dimensions shown are for example purpose only
 See table above for setbacks

Table 2.4 Low Density Architectural (LDR) - 47' x 105' Lots

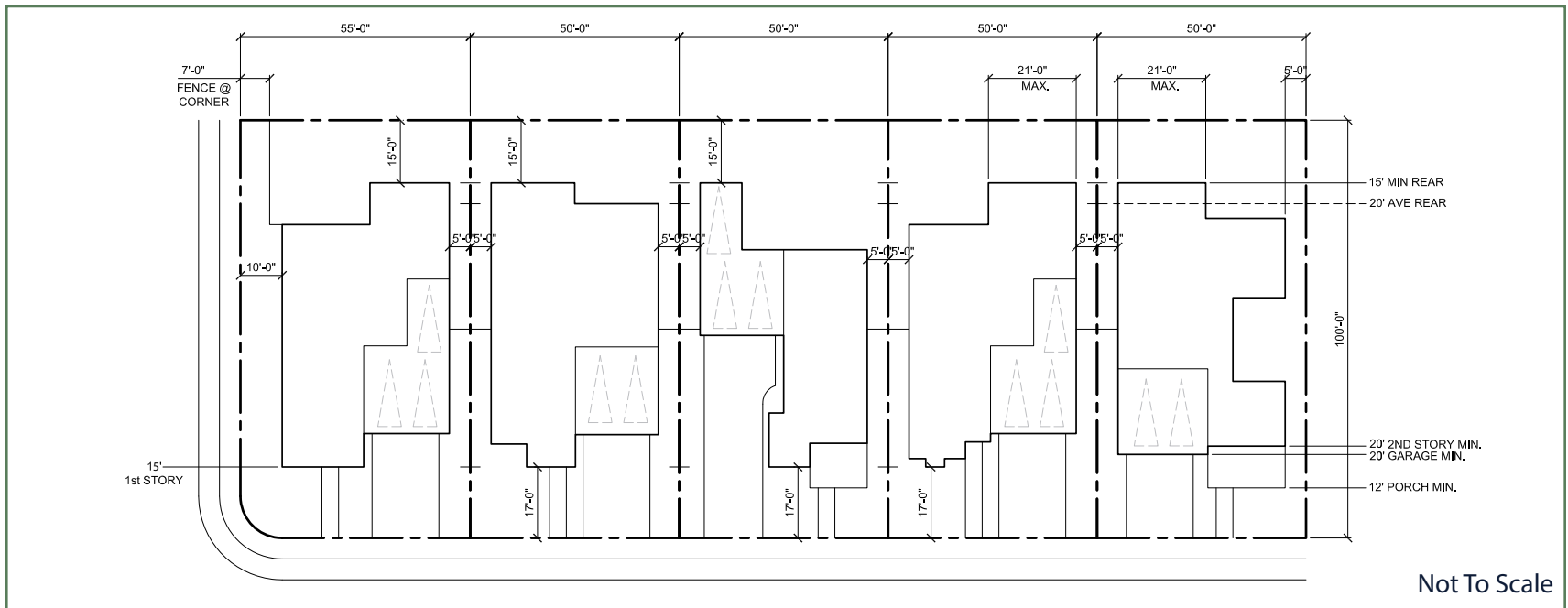
Setbacks (minimum)	
Front Yard	
Living Space (First/Second Story)	(14'/16')
Porch (5' min. Clear Depth)	10'
Garage Front Facing (Door)	18'
Side-Entry Garage Wall ⁽¹⁾	Not Allowed
Side-Entry Garage Conversion ⁽¹⁾	Not Allowed
Front Courtyard walls	10'
Side Yard	
Living Space (Interior Property Line)	4'/3'
Living Space (Corner Property Line)	9'
Wrap Around Porch (Corner)	7'
Detached Garages/Accessory Unit	N/A
Rear Yard	
Living Space (Min./Ave.) ⁽⁴⁾	(8'/12')
Front Entry Attached/Detached Garages	5'
Garages with Rear Access	N/A
Patio Covers (1 Story Height)	10' min
Building Coverage	60% ⁽⁶⁾



Dimensions shown are for example purpose only
See table above for setbacks

Table 2.5 Low Density Architectural (LDR) - 50 x 100 Lots

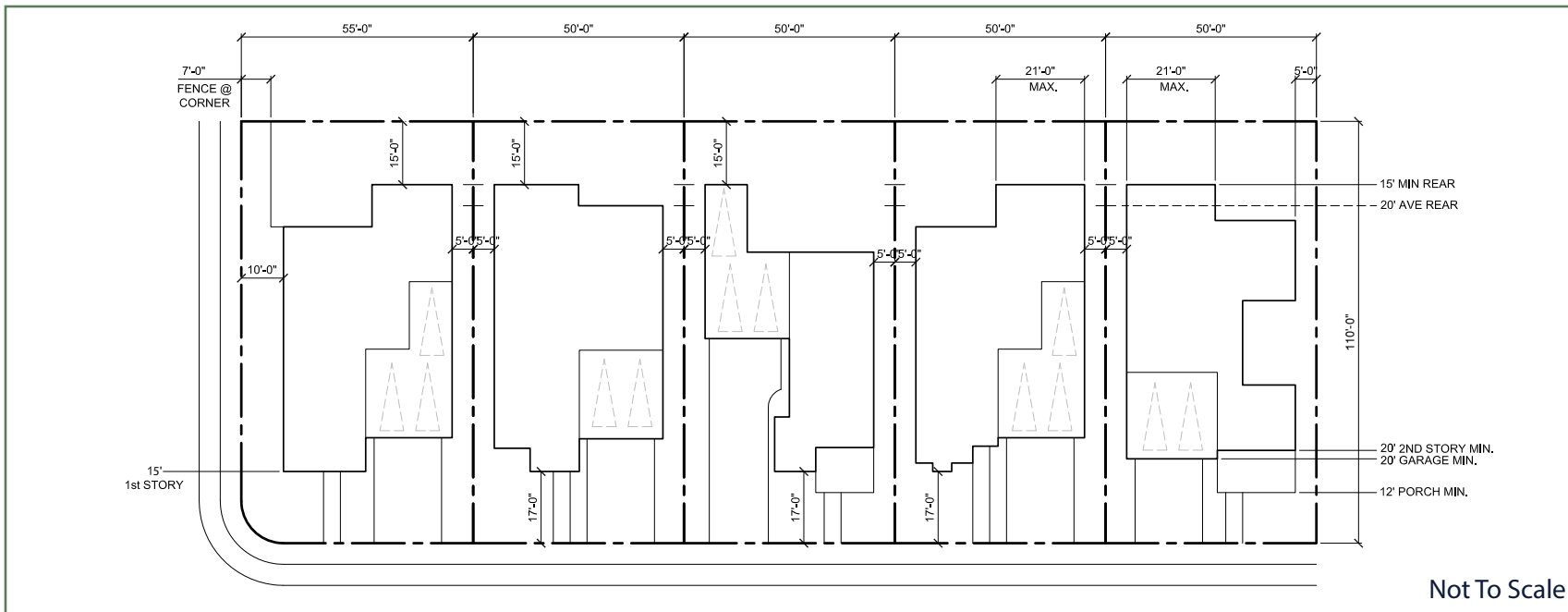
Setbacks (minimum)	
Front Yard	
Living Space (First/Second Story)	(15'/20')
Porch (5' min. Clear Depth)	12'
Garage Front Facing (Door)	20'
Side-Entry Garage Wall ⁽³⁾	Not Allowed
Side-Entry Garage Conversion ⁽³⁾	10'
Front Courtyard walls	10'
Side Yard	
Living Space (Interior Property Line)	5'
Living Space (Corner Property Line)	10'
Wrap Around Porch (Corner)	7'
Detached Garages/Accessory Unit	5'
Rear Yard	
Living Space (Min./Ave.) ⁽¹⁾	(15'/20')
Front Entry Attached/Detached Garages ⁽²⁾	N/A
Garages with Rear Access	N/A
California Rooms/Patio Covers (1 Story Height)	10' min
Building Coverage	55%



Dimensions shown are for example purpose only
See table above for setbacks

Table 2.6 Low Density Architectural (LDR) - 50' x 110' Lots

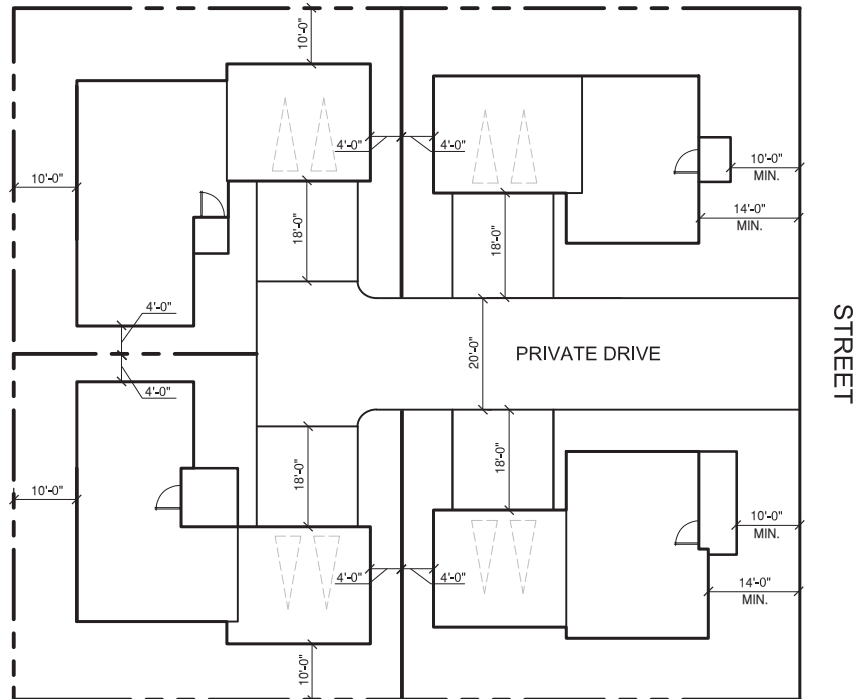
Setbacks (minimum)	
Front Yard	
Living Space (First/Second Story)	(15'/20')
Porch (5' min. Clear Depth)	12'
Garage Front Facing (Door)	20'
Side-Entry Garage Wall ⁽³⁾	Not Allowed
Side-Entry Garage Conversion ⁽³⁾	10'
Front Courtyard walls	10'
Side Yard	
Living Space (Interior Property Line)	5'
Living Space (Corner Property Line)	10'
Wrap Around Porch (Corner)	7'
Detached Garages/Accessory Unit	5'
Rear Yard	
Living Space (Min./Ave.) ⁽¹⁾	(15'/20')
Front Entry Attached/Detached Garages ⁽²⁾	N/A
Garages with Rear Access	N/A
Patio Covers (1 Story Height)	10' min
Building Coverage	55%



Dimensions shown are for example purpose only
See table above for setbacks

Table 2.8 Medium Density Architectural (MDR) - Courtyard - "Four Packs"

Setbacks (Minimum)		Setbacks (Minimum)		Setbacks (Minimum)	
Front Yard @ Street		Side Yard		Alley / Private Drive	
Living Space (First/Second Story)	(10'/14')	Living Space (Interior Property Line)	4'	Garage (door)	18'
Porch (5' min. clear depth)	10'	Living Space (Corner Property Line)	N/A	Garage (to center of Private Drive)	N/A
Garage Front Facing (Door)	18'	Wrap Around Porch (Corner)	N/A	Porch	5'
Side-Entry Garage Wall	N/A	Detached Garages	N/A	Height (Maximum to Ridge Line)	
Front Courtyard walls	N/A	Street Side Yard	10'	Primary Dwelling	35' (2 Stories)
Front Yard @ Private Street		Rear Yard		Detached Garage	N/A
Living Space (First/Second Story)	(7'/10')	Living Space (Min./Ave)	10'/10'	Parking	
Porch (5' min. clear depth)	4'	Front Entry Attached/Detached Garages	N/A	Residence (Garage)	2 cars min.
Garage Front Facing (Door)	18'	Garages with Rear Access	N/A	Guest (Apron)	N/A
Side-Entry Garage Wall	N/A	Patio Covers (1 Story Height)	N/A	Building Coverage	
					N/A



Dimensions shown are for example purpose only
See table above for setbacks

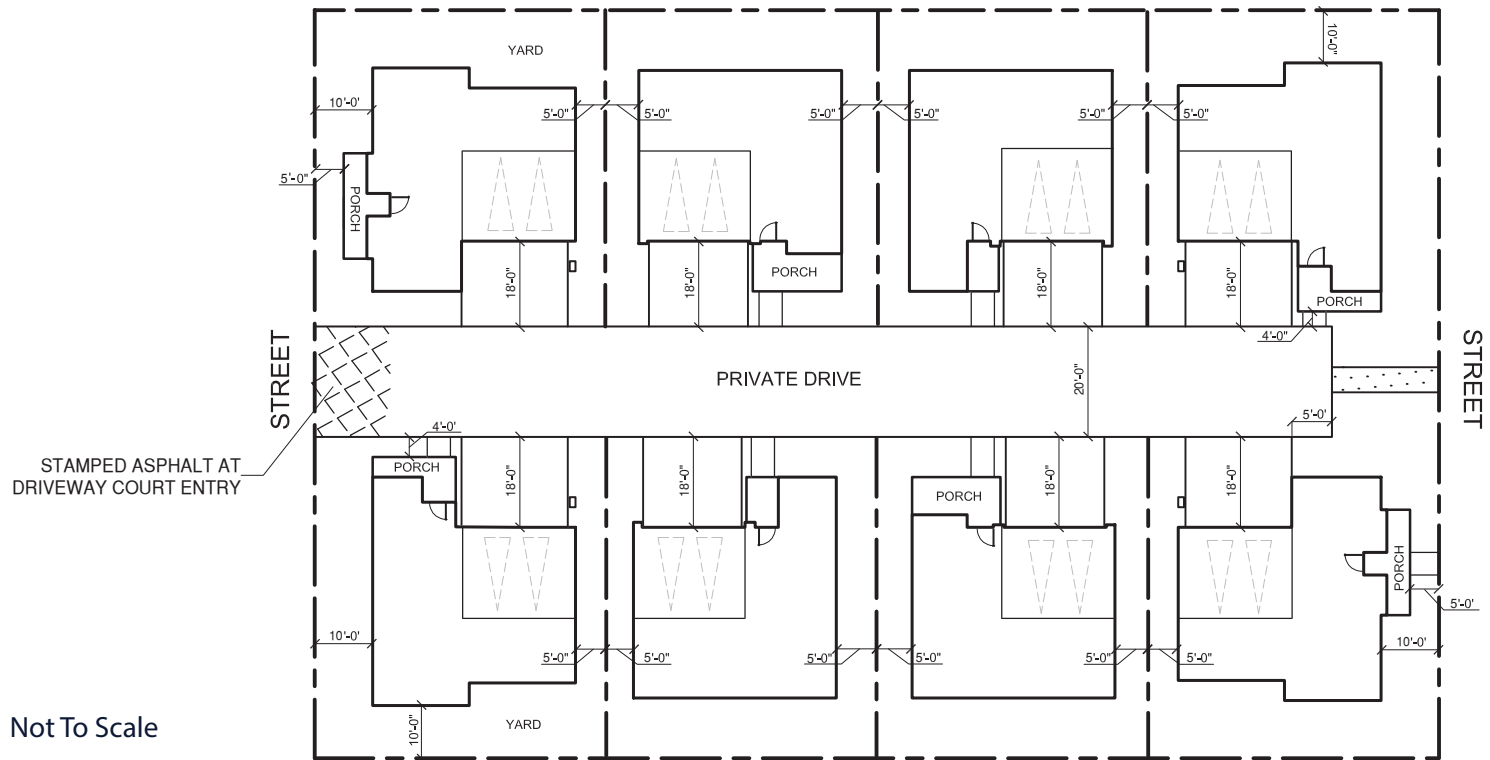
Not To Scale

Table 2.9 Medium Density Architectural (MDR) - Courtyard - "Four Pack ADU"

Setbacks (Minimum)	
Front Yard @ Street	
Living Space (First/Second Story)	(10'/10')
Porch (5' min. clear depth)	5'
Garage Front Facing (Door)	18'
Side-Entry Garage Wall	N/A
Front Courtyard walls	N/A
Front Yard @ Private Street	
Living Space (First/Second Story)	(7'/10')
Porch (5' min. clear depth)	3'
Garage Front Facing (Door)	18'
Side-Entry Garage Wall	N/A

Setbacks (Minimum)	
Side Yard	
Living Space (Interior Property Line)	4'
Living Space (Corner Property Line)	N/A
Wrap Around Porch (Corner)	N/A
Detached Garages	N/A
Street Side Yard	10'
Rear Yard	
Living Space (Min./Ave)	10'/10'
Front Entry Attached/Detached Garages	N/A
Garages with Rear Access	N/A
Patio Covers (1 Story Height)	N/A

Setbacks (Minimum)	
Alley / Private Drive	
Garage (door)	18'
Garage (to center of Private Drive)	N/A
Porch	4'
Height (Maximum to Ridge Line)	
Primary Dwelling	35' (2 Stories)
Detached Garage	N/A
Parking	
Residence (Garage)	2 cars min.
Guest (Off-site)	0.25 per unit
Building Coverage	
	N/A

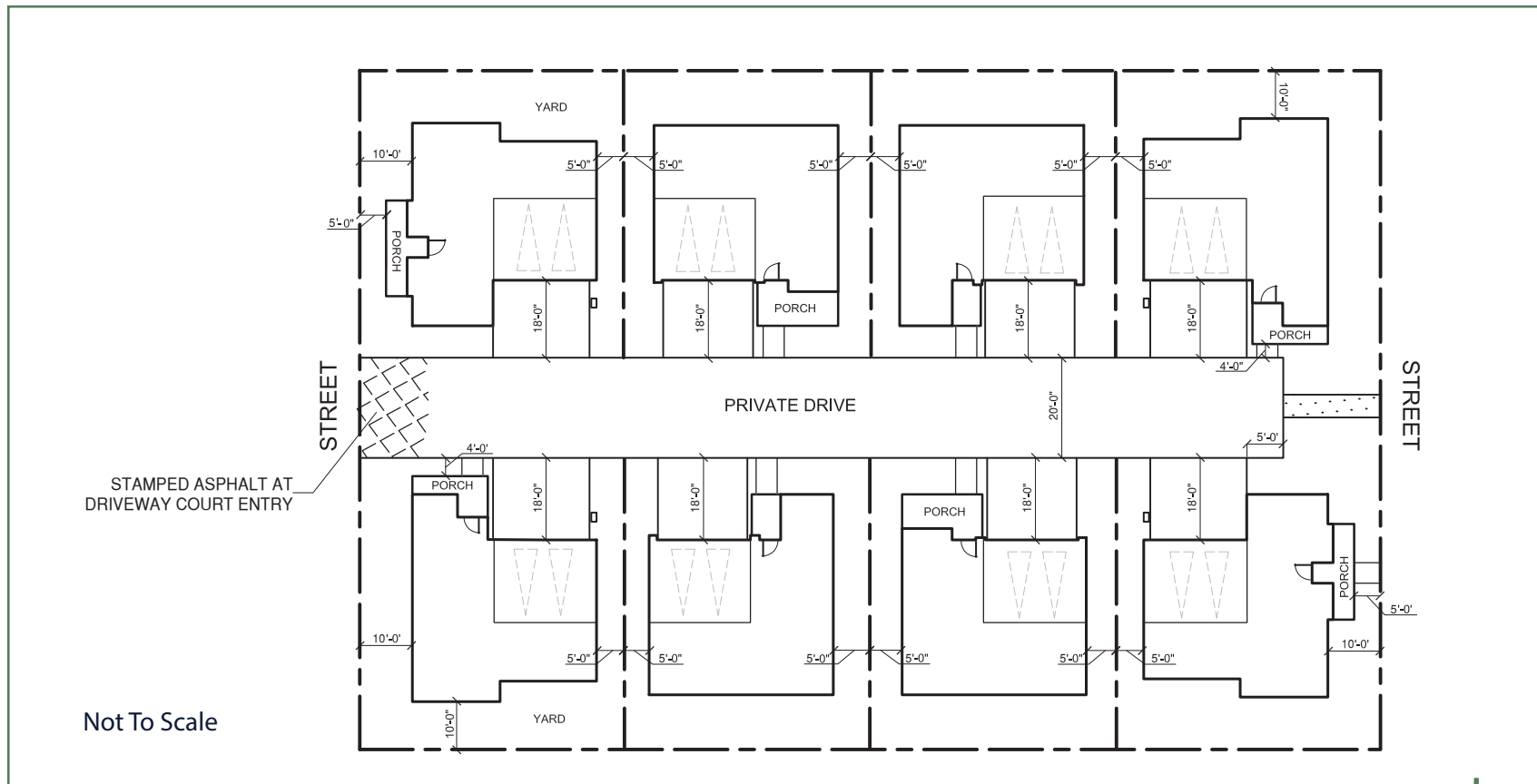


Not To Scale

Dimensions shown are for example purpose only
See table above for setbacks

Table 2.10 Medium Density Architectural (MDR) - Courtyard - "Six and Eight Packs" - Alternative One

Setbacks (Minimum)		Setbacks (Minimum)		Setbacks (Minimum)	
Front Yard @ Street		Side Yard		Alley / Private Drive	
Living Space (First/Second Story)	(10'/10')	Living Space (Interior Property Line)	4'	Garage (door)	18'
Porch (5' min. clear depth)	5'	Living Space (Corner Property Line)	N/A	Garage (to center of Private Drive)	N/A
Garage Front Facing (Door)	18'	Wrap Around Porch (Corner)	N/A	Porch	4'
Side-Entry Garage Wall	N/A	Detached Garages	N/A	Height (Maximum to Ridge Line)	
Front Courtyard walls	N/A	Street Side Yard	10'	Primary Dwelling	35' (2 Stories)
Front Yard @ Private Street		Rear Yard		Detached Garage	N/A
Living Space (First/Second Story)	(7'/10')	Living Space (Min./Ave)	10'/10'	Parking	
Porch (5' min. clear depth)	3'	Front Entry Attached/Detached Garages	N/A	Residence (Garage)	2 cars min.
Garage Front Facing (Door)	18'	Garages with Rear Access	N/A	Guest (Off-site)	N/A
Side-Entry Garage Wall	N/A	Patio Covers (1 Story Height)	N/A	Building Coverage	
					N/A



Dimensions shown are for example purpose only
See table above for setbacks



Table 2.11 Medium Density Architectural (MDR) - Courtyard - "Six and Eight Packs" - Alternative Two

Setbacks (Minimum)	
Front Yard @ Public Street	
Living Space (First/Second Story)	(10'/10')
Porch (5' min. clear depth)	5'
Garage Front Facing (Door)	18'
Side-Entry Garage Wall	N/A
Front Courtyard walls	N/A
Front Yard @ Private Street	
Living Space (First/Second Story)	(5'/5')
Porch (5' min. clear depth)	5'
Garage Front Facing (Door)	5
Side-Entry Garage Wall	N/A

Setbacks (Minimum)	
Side Yard	
Living Space (Interior Property Line)	N/A
Living Space (Corner Property Line)	N/A
Wrap Around Porch (Corner)	N/A
Detached Garages	N/A
Street Side Yard	10'
Rear Yard	
Living Space (Min./Ave)	10'/10'
Front Entry Attached/Detached Garages	N/A
Garages with Rear Access	N/A
Patio Covers (1 Story Height)	N/A

Setbacks (Minimum)	
Alley / Private Drive	
Garage (door)	5'
Garage (to center of Private Drive)	N/A
Porch	5'
Height (Maximum to Ridge Line)	
Primary Dwelling	35' (2 Stories)
Detached Garage	N/A
Parking	
Residence (Garage)	2 cars min.
Guest (Off-site)	N/A
Building Coverage	
	N/A

2

Dimensions shown are for example purpose only See table above for setbacks

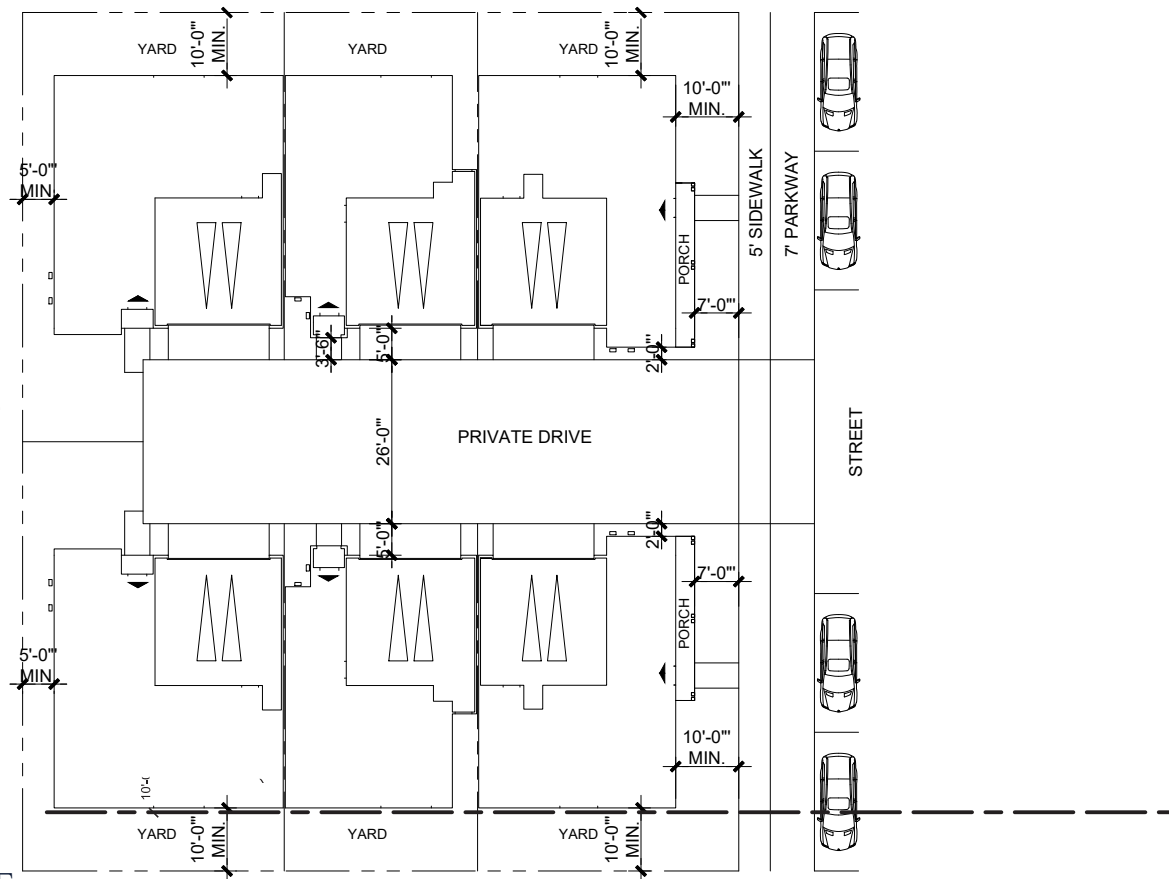


Table 2.12 Medium Density Architectural (MDR) - Bungalows

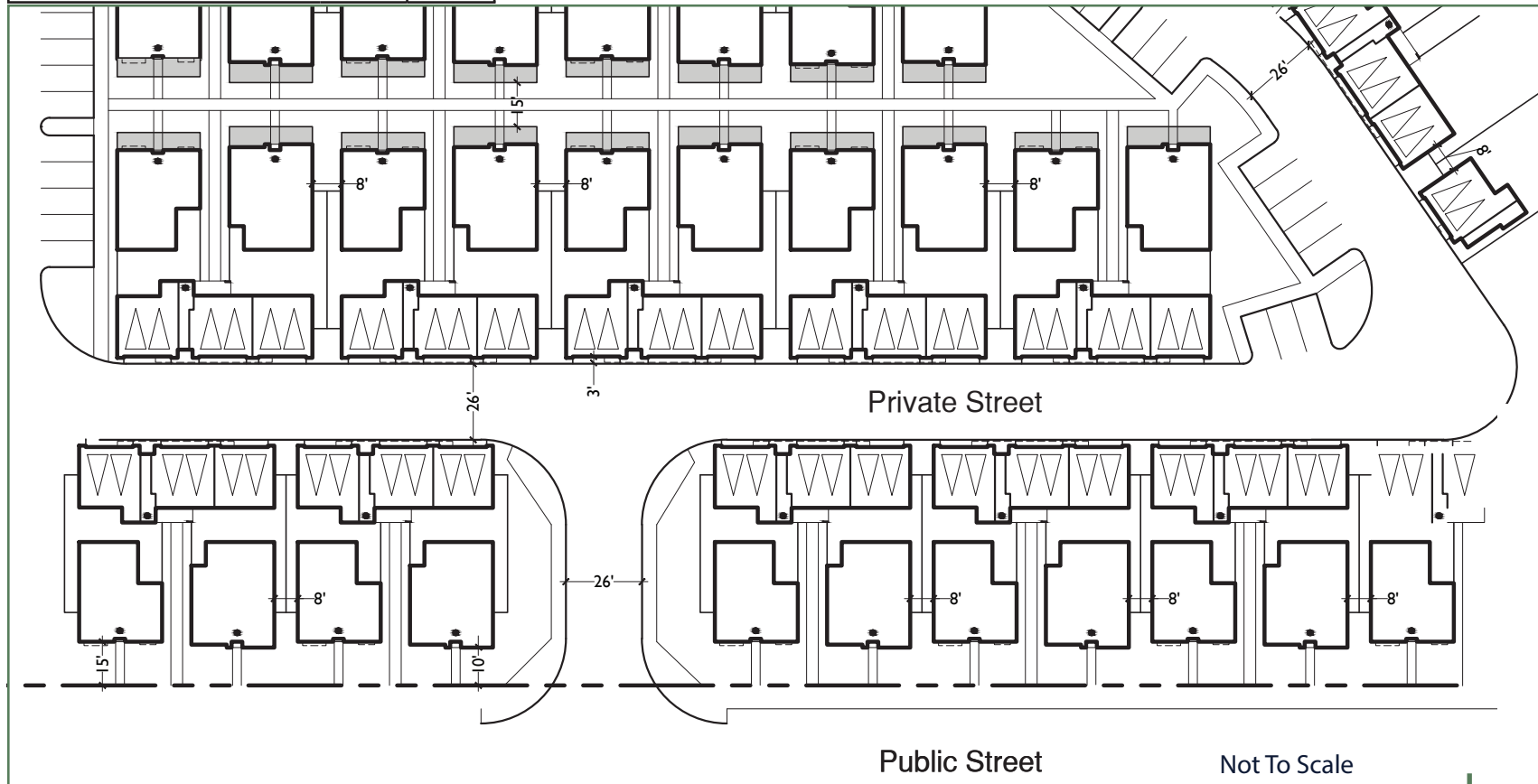
Setbacks (Minimum)	
Front Yard @ Street	
Living Space (First/Second Story)	(10'/10')
Porch (6' min. clear depth)	6'
Garage Front Facing (Door)	N/A
Side-Entry Garage Wall	N/A
Front walls (Private Street)	3'
Rear Yard @ Private Street	
Living Space (First/Second Story)	(5'/5')
Porch (6' min. clear depth)	6'
Garage Front Facing (Door)	N/A
Side-Entry Garage Wall	5'
Front walls (Private Street)	3'

Setbacks (Minimum)	
Rear Yard	
Living Space (Min./Ave) - See Note 6	10'
Front Entry Attached/Detached Garages	N/A
Garages with Rear Access	N/A
Patio Covers (1 Story Height)	N/A
Alley / Private Drive	
Garage (door)	3' Apron
Garage (to center of Private Drive)	14'
Lot Coverage	N/A
Structure Height (Maximum)	35'

Side Yard	
Living Space (Interior Property Line)	4'
Living Space (Corner Property Line)	N/A
Wrap Around Porch (Corner)	N/A
Detached Garages/Accessory Unit	N/A

Special Development Standards:

1. No accessory structures shall be allowed.
2. No pools shall be allowed and spa and hot tubs permitted only within courtyards subject to City building code.
3. No building additions shall be allowed.
4. Balconies shall only be allowed on carriage units subject to the setback requirements shown on this page.
5. Guest parking shall be as per LMC 17.76.020 D.1.c. (0.25 spaces per unit).



Dimensions shown are for example purpose only
See table above for setbacks

2

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2.3 Technical Specifications:

2.3.1 Structural Wiring (LDR & MDR Only)

Introduction

The Structured Wiring System shall be installed in a star topology (often called a homerun topology). The system shall consist of a central structured wiring panel (SWP) that terminates cable feeds from each telecommunications provider's network demarcation point. Cables emanate from the SWP and terminate in outlets conveniently located throughout the home.

When possible, all connecting hardware, cables, and SWP shall be purchased from a single manufacturer and installed to the manufacturer's specifications required to provide for a limited product warranty.

All components shall be installed in compliance with applicable local, state, and national building codes. If these specifications conflict with building codes, the building codes shall apply.

Components

Outlets and Terminations

Outlet Locations:

- ^ A minimum of three (3) Media Outlets shall be installed in each home. Media Outlets should be considered in the Kitchen, Home Office, Master Bedroom, and Family Room/Living Room locations. Builders are encouraged, but not required to add more media outlets than the required minimum.
- ^ A minimum of one (1) Quad Media Outlet shall be installed in each home. Typically, this outlet should be placed in the Family Room/Great Room or wherever the main audio/video entertainment equipment is placed within the home. Builders are encouraged, but not required to add more quad media outlets than the

required minimum.

- ^ A minimum of two (2) Data Outlets shall be installed in each home. Data Outlets should be considered in the Kitchen/Great Room area and in the Master Bedroom. A Media Outlet may be substituted. Builders are encouraged, but not required to add more data outlets than the required minimum.
- ^ All outlets shall be located within three feet (3') of an electrical outlet.
- ^ It is recommended that two (2) Media Outlets be installed on opposing walls in each Master Bedroom.

Terminations:

Cat 5e/6 cables shall be placed from the SWP to the following locations:

- ^ Near the HVAC Unit (within 16", blank plated)
- ^ Near any irrigation control (within 16", blank plated)
- ^ These cables are not terminated and shall be labeled by destination (example: "HVAC").

Cable and Connection Requirements

Data:

- ^ All Cat 5e/6 connections are made with an RJ-45 8-conductor modular plugs and jacks wired to the EIA 568A criteria.
- ^ All components shall be rated for Cat 5e/6 performance, including those designated for telephone terminations. Cable runs shall meet EIA 568A criteria for performance, minimum bend radius, and connections.
- ^ Cross-connects at the SWP shall use modular jacks and plugs. The incoming service feeds may use "punch-down" termination.

Video:

- ^ Only hex crimp or radial compression connectors may be used. Twist-on and reusable type connectors are not acceptable.
- ^ Media Outlets are the minimum requirement for any video location.
- ^ All unused coax network ports shall be terminated into a 75-ohm termination device or utilize self-terminating connectors.
- ^ The video distribution system shall include a 4 port passive "splitter" for the distribution of RF signals. If more than 4 video outlets are active, then a bi-directional amplifier shall be installed.

General:

- ^ Unshielded twisted pair (UTP) cable compliant with the Cat 5e/6 or greater EIA 568A specification shall be used to distribute voice and data signals.
- ^ RG-6 coaxial cable is used to distribute video and data signals.
- ^ All cabling shall be installed in a homerun from the SWP to each outlet with maximum individual cable lengths of no greater than 295' (90m) in compliance with TIA/EIA 568A specifications.
- ^ Cables shall be installed according to manufacturers' instructions adhering to minimum bending radius and cable tension specifications.
- ^ At least eighteen inches (18") of cable slack shall be left at all outlets.
- ^ Where possible, the horizontal routing of the cables shall be done between floors (ceilings) and basements or crawlspace (if applicable/available) rather than through studs.
- ^ All cables installed into the SWP shall include a minimum of 24" of slack.

- ^ All installed cable runs shall be tested individually, end-to-end for parity and continuity after final termination. It is recommended that all Cat 5e/6 cabling be mapped and certified to then current, industry accepted standards for the cabling grade.
- ^ The cables can be deployed individually or bundled in a common sheath.
- ^ Hard fasteners may compromise cable performance and shall not be used.
- ^ All cables shall be at least twelve inches (12") from parallel 110 VAC cable runs, and shall never pass through the same holes. If the cable must cross the 110 VAC cable, it shall do so at a 90-degree angle.
- ^ Electrical boxes may cause damage by exceeding allowable bend radius to cables and will not allow for the required 18" of wire or wires to be left for future re-configuring. Cables and outlet cover plates shall be clearly labeled. All cables entering or exiting the SWP shall be labeled. A legend shall be left in the SWP.
- ^ Where it is necessary to penetrate a fire-rated wall, the hole shall be sleeved with EMT. The sleeve and penetrating hole shall be sealed with a fire retardant sealant. Where it is necessary to place an outlet in a fire-rated wall, install a plaster ring (P-Ring), and then block, drywall, and caulk per local fire coding.
- ^ All wires and cables in the attic shall not contact bathroom vents, lighting fixtures, hot water pipes, and heating vents. If possible, all wires and cables in the attic should be routed above the attic floor.

Service Feed:

Service feed cabling shall be placed from the exterior network termination location in an uninterrupted path to the SWP. The service feed bundle shall contain a minimum of two (2) Cat 5e/6 cables and two (2) RG-6 cables. The service feed cable shall exit

the home at a height of 5' 6" (five foot, six inches) above finished grade.

Structured Wiring Panel (SWP) and Components

- The SWP shall accommodate all necessary wiring and devices, while maintaining minimum bend radius requirements for incoming and outgoing wiring.
- When the SWP is mounted on an interior concrete wall, plywood backing shall be used.
- A 110 VAC 20 Amp, non-GFI dedicated duplex outlet shall be installed within the SWP.
- The SWP shall be located within the climate controlled (conditioned space) area of the home.

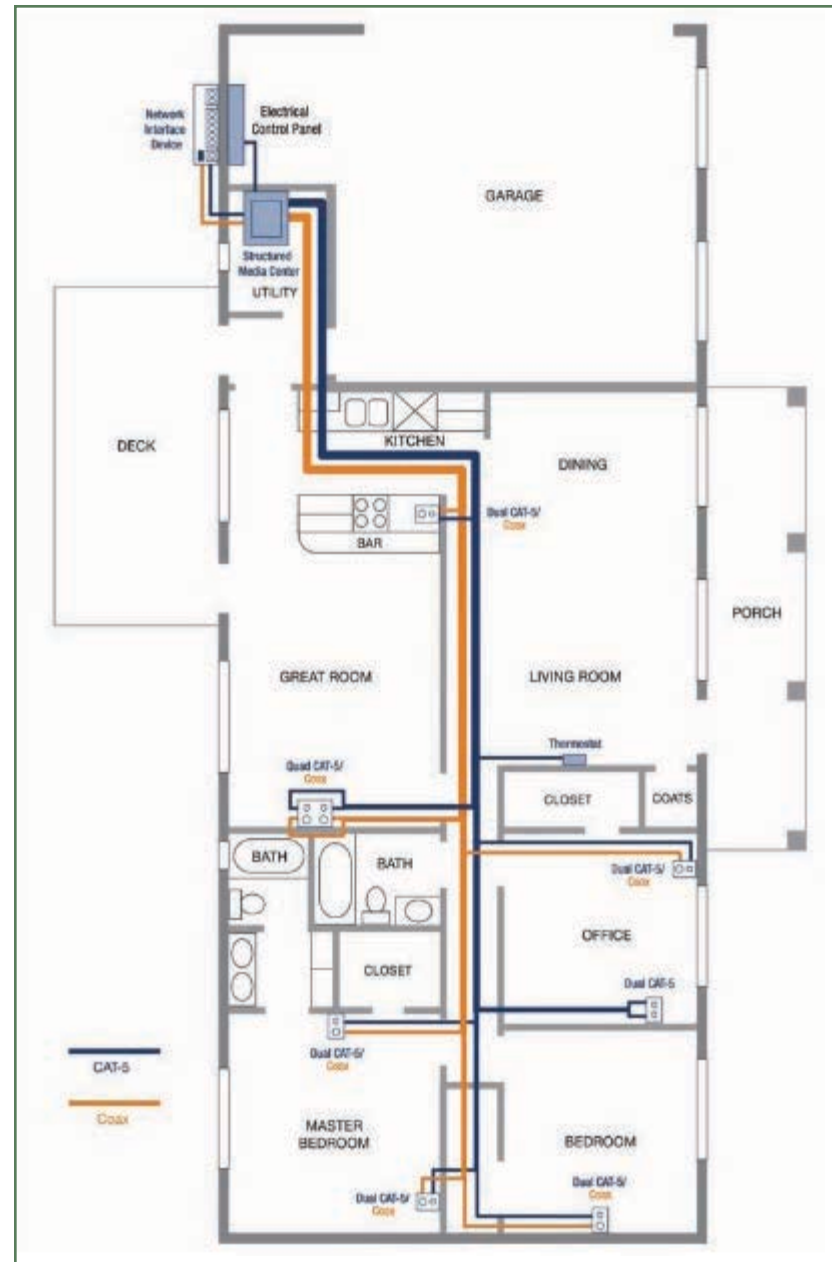
Router:

A router is optional. If provided, the router shall be installed and securely fastened inside of the SWP.

- Wireless routers or access points are not recommended within the SWP. The wireless performance may be degraded due to interference from the SWP. Additionally, wireless routers are not recommended to be included due to the problematic nature of the devices.

Service Provider Drop Requirement

- A 1.5" (1½ inch) conduit from the network demarcation point of each residence to the property line is required at a location specified by the communication provider.
- All communication conduits from the property line to the dwelling unit shall be buried at least 24" (twenty-four inches) from finished grade.



Definitions

Blank Outlet

An outlet with unterminated cables covered with a blank plate.

Cat 5e/6

Category 5e or Category 6 wiring standard, as defined in a revision to the EIA 568A Commercial Wiring Standard. The Category 5e wiring standard shall be the lowest acceptable performance designation for twisted pair wiring and Category 6 is recommended.

Structured Wiring Panel (SWP)

The structured wiring enclosure or wiring distribution panel.

Data Outlet

An outlet with two Cat 5e terminations. One termination is labeled voice and the other data.

Media Outlet

An outlet containing one RG-6 and one Cat 5e/6 cable. RG-6 The coaxial cable grade that ensures adequate bandwidth for the delivery of video signals.

Router

The device connecting the data network in the home (LAN) with the communications provider's data network (WAN).

Quad Media Outlet

An outlet with two Cat 5e/6 terminations and two coax terminations.

UTP

Unshielded Twisted Pair Wire.

Homerun

A wiring topology where every wire is run separately from its termination point back to a central distribution point, usually in a utility room or dedicated A/V room. Also known as "star topology."

RIVER ISLANDS



CHAPTER 3

LANDSCAPE GUIDELINES AND STANDARDS

3.1 INTRODUCTION

This chapter addresses guidelines and standards for landscape elements to be installed by low density residential and medium density residential Builders. These elements include planting and irrigation of residential yards, driveways, site furnishings, and sustainable design measures. The provisions set forth within this chapter will provide a closely coordinated, cohesive, and memorable landscape experience to unify neighborhood character and ensure that every resident feels well-connected to site and landscape. The goal is to create a welcoming residential landscape that enhances the living experience, adds lasting value to homes and the neighborhood as a whole, and incorporates sustainable measures for landscape design and construction.

The West Village District, as with other districts in the project, will reinforce the overall theme of River Islands with an urban community that feels as if it grew within the context of the the California Delta as a corridor between the rural agricultural and country living of the San Joaquin Valley. The concept seeks to blend the modern home into the historical land use of the natural environment of the Central Valley's farmland and the surrounding waterways, which give such life to the environment. This theme may be expressed through the use of orchard-style planting, wildlife-attracting hedgerows, riparian-type planting, abundant trees, and durable long-lasting materials that convey a genuine sense of place.

Landscaping standards for high density development are not included in this AG/DS document. The Non-Age Restricted West Village District AG/DS document shall be amended to include landscaping standards for high density residential development prior to any development permit being approved for high density residential development in West Village District.



Typical frontyard planting along residential streets



Parkway strip shrub and tree groupings create a sense of place

The City of Lathrop Municipal Code, Chapter 17.92: Landscape and Screening Standards and the City of Lathrop Design and Construction Standards provide additional requirements for landscape. Where documents differ, these Builder Guidelines and Standards shall apply.

3.2 RESIDENTIAL LANDSCAPE

3.2.1 Planting Design

Guidelines

- Planting themes have been selected to mimic existing characteristics and habitat of the delta waterways and vegetated agricultural hedgerows. Plant material selection should strongly consider the use of drought-tolerant, durable and long-lived species that give the appearance and imagery of the Delta Valley. Species should be well adapted to the climatic conditions and soil types typical of the River Islands Development. Robust evergreen shrub species intermixed with flowering native shrub species are strongly encouraged. Large naturally shaped flowering shrubs species should be selected to mimic the image of traditional hedgerows typical of the surrounding agricultural region. Flowering species that create year-round interest are of high preference.
- Landscape design should emphasize the use of nectar-producing and flowering plants that supply food, shelter and breeding habitat for beneficial insects that pollinate edible crops and control pests. Gardens for butterflies, hummingbirds, and native bees are encouraged.
- Landscape design should provide effective screening of retaining walls, utility enclosures, utility cabinets, or service areas to reduce negative visual impacts. Screen landscaping should incorporate evergreen plant species in order to maintain year-round leaf cover.
- Plant selection should avoid the use of tree species with invasive root systems near utility lines and paving and avoid the use of non-native, invasive species that may spread into open space areas. All plants should be carefully selected to avoid toxic species that could

- Low groundcover of robust evergreen species should be used for ground plane landscape, as an alternative to turf. Turf should only be used for high use areas and the selected turf should be a deep rooting variety or a California Native variety. The use of turf should follow the guideline and requirements as described in AB1881 and Chapter 17.92 of the Lathrop Municipal Code.
- Plants with higher water demands should be located in shade or where more runoff occurs.
- Landscape around homes should be designed to provide shading in the summer months and solar access during the winter. Planting deciduous trees next to buildings will reduce ambient temperature, reduce heat gain, and allow for cooler natural ventilation. Deciduous trees and vines in front of south-facing walls and windows will further cool buildings by intercepting sunlight during summer months, yet allow direct sunlight during the winter.
- Energy-efficient landscaping techniques are encouraged such as use of local materials, on-site composting, and chipping to reduce green waste hauling.
- Structures such as trellises and porticoes may be incorporated into the building/landscape edge, especially on south- and west-facing exposures, to provide shade in the summer and allow solar penetration when the sun is at a low angle in the winter.

Standards

- All private yard areas visible from public parks, streets, alleys or lakes shall be landscaped by the Builder/Developer. Homeowners shall be responsible for private yard areas enclosed within fences.
- Landscape plans for all areas where the builder is required to install landscaping shall be prepared by a landscape architect registered to practice in the State of California.
- Landscape construction practices shall adhere to the provisions in Section 3.4, below.

STREET TREE MASTER LIST

LOTS	STREET DIRECTION	BOTANICAL NAME	COMMON NAME
VILLAGE 1	North/South East/West	<i>Pistacia c. 'Keith Davey'</i> <i>Tilia c. 'Greenspire'</i>	Keith Davey Chinese Pistache Greenspire Little-Leaf Linden
Internal Streets	North/South East/West	<i>Ulmus p. 'Drake'</i> <i>Platanus a. 'Columbia'</i>	Chinese Evergreen Tree Columbia Plane Tree

STREET TREE LIST BY CONNECTOR STREET

STREET	BOTANICAL NAME	COMMON NAME
CAMBAY PARKWAY	<i>Carpinus b. 'Franz Fontaine'</i>	Franz Fontaine Hornbeam
CALLERTON AVE	<i>Zelkova s. 'Green Vase'</i>	Green Vase Zelkova
WINTON AVE	<i>Quercus coccinea</i>	Scarlet Oak
RIPTIDE WAY	<i>Phoenix canariensis</i>	Canary Island Date Palm
ROLL TIDE WAY	<i>Acer rubrum 'October Glory'</i>	October Glory Red Maple
ADDISON AVE	<i>Ulmus p. 'Drake'</i>	Chinese Evergreen Elm
DARNOCH AVE	<i>Ginkgo biloba</i>	Ginkgo
BLUE CANYON AVE	<i>Tilia c. 'Greenspire'</i>	Pink Dawn Chitalpa
BULLARD LN	<i>Acer rubrum 'October Glory'</i>	October Glory Red Maple

ACCENT TREE LIST

BOTANICAL NAME	COMMON NAME
<i>Cercis occidentalis</i>	Western Redbud
<i>Chitalpa tashkentensis</i>	Chitalpa
<i>Lagerstroemia indica</i>	Crape Myrtle
<i>Prunus c. 'Krauter Vesuvius'</i>	Purple Leaf Flowering Plum
<i>Prunus serrulata 'Kwanzan'</i>	Kwanzan Flowering Cherry

Note: These species are for reference and are not intended to be the only type of accent trees. See Appendix B for additional species.



TYPICAL CORNER LOT STREET TREE PLANTING



TYPICAL INTERNAL LOT STREET TREE PLANTING

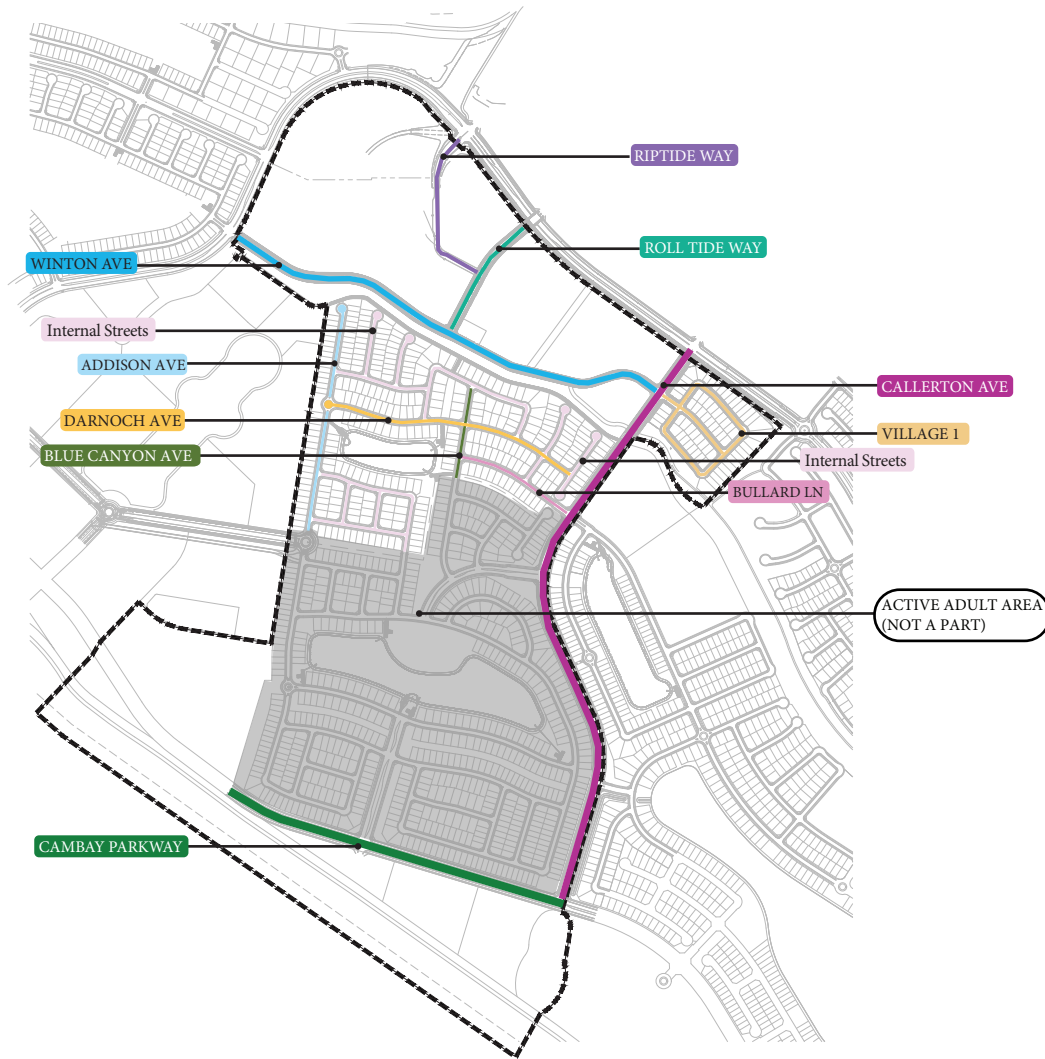


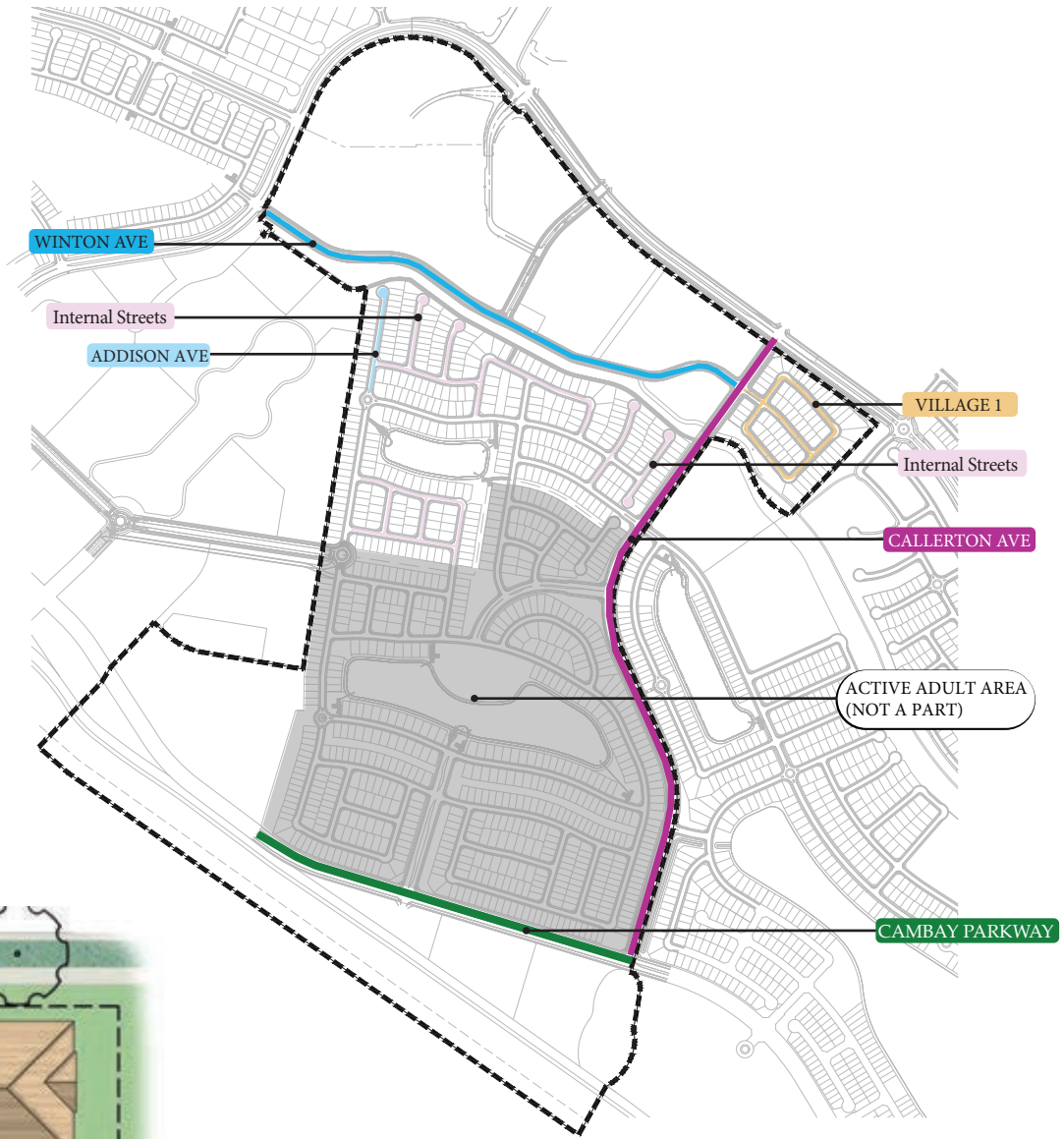
Figure 3.1 Street Tree Locations - Non-Age Restricted Homes (West Village)

PARKWAY STRIP MASTER PLANT LIST

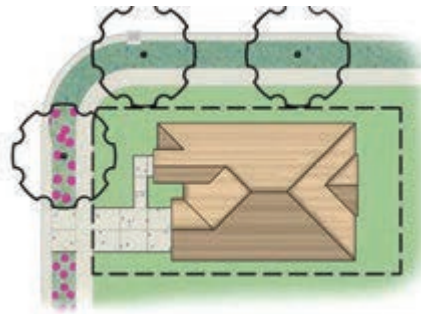
VILLAGE / STREET	STREET / DIRECTION	BOTANICAL NAME	PLANT SPACING
VILLAGE 1	East/West	Arctostaphylos 'Pacific Mist'	36" O.C.
	North/South	Juniper	36" O.C.
WINTON AVE	East/West	Rosa x 'Noaschnee'	36" O.C.
	Internal Streets	Juniper	36" O.C.
ADDISON AVE	East/West	Coprosma p. 'Verde Vista'	36" O.C.
	North/South	Rosmarinus offic. 'Huntington Carpet'	36" O.C.
CALLERTON AVENUE	East/West	Varies	36" O.C.
CAMBAY PARKWAY	East/West	Varies	36" O.C.

PARKWAY STRIP PLANT LIST

BOTANICAL NAME	COMMON NAME
Juniper	Juniper
Coprosma p. 'Verde Vista'	Coprosma
Cotoneaster dammeri 'Coral Beauty'	Bearberry Cotoneaster
Arctostaphylos 'Pacific Mist'	Manzanita
Cistus Salvifolius	Sageleaf Rockrose
Myoporum parvifolium	Australian Racer
Rosa x 'Noaschnee'	Flower Carpet White Rose
Rosmarinus offic. 'Huntington Carpet'	Huntington Carpet Rosemary
Teucrium chamaedrys 'Prostratus'	Germander
Rosmarinus O. 'Prostratus'	Dwarf Rosemary



PARKSTRIP SECTION
NOT TO SCALE



TYPICAL PARKSTRIP PLANTING SCHEME
NOT TO SCALE

Figure 3-2: Parkway Strip Planting Master Plan

3.2.2 Front and Side Yards

- Front yards of lots should be designed and installed by the Builder as a continuous landscape with consistent plant materials and dimensions that unify the street edge (see Figure 3-1). Dominant ground plane plant material should consist of shrubs, perennials and grasses that maintain an attractive appearance and enhance natural habitat values.
- Hedgerows may be used on side property lines for privacy and definition of yard areas, and a continuous low border of low shrubs or groundcover may be installed adjacent to the sidewalk (see Figure 3-2).
- Shrubs located near street frontages or on corner lots should not exceed three feet in height.
- Builder is responsible for landscape, irrigation and maintenance of front and side yards.

Standards

- Landscaping for all front yard areas shall be installed by the Builder.
- The Builder shall design front yard landscape for all lots. These front yards shall include a minimum of one tree for regular lots and three trees for corner lots which shall match the species and size of the adjacent street trees or as indicated in Figure 3-1. Additional “accent” trees installed outside of the parkway strip areas may be of a different species (refer to Appendix for a list of acceptable “accent trees”).
- Other front yard areas shall be planted with shrubs and perennials that enhance habitat values and maintain an attractive year-round appearance along the street.
- All front and side yards shall be maintained by the homeowner.
- Irrigation shall be provided for all planted areas (see Section 3.4). The Builder shall install irrigation for all areas that they landscape. After construction, homeowners shall be responsible for irrigation of all yards and adjacent parkway strips. Parkway landscaping shall be maintained by the homeowner fronting along that parkway section, unless it’s the responsibility of a non-City public agency, HOA or maintenance district.

3.2.3 Rear Yards

See Section 3.3 for fencing requirements in lakeside rear yards.

Guidelines

- All rear yards of all lakeside homes should contain a minimum of two trees.
- For lakeside homes, the slope area from the rear yard fence to the lake edge should be planted in informal drifts of shrubs, grasses and perennials. Plant material should be located to maintain views of the water, with higher planting allowed on lower terraces and shorter species on upper portions of the slope. No trees are allowed within the slope areas outside of the 5’ tall tubular steel fence.

Standards

- All rear yards adjacent to the lake (from rear yard view fence to lake edge) shall be landscaped and mulched (with bark or gorilla hair) by the Builder. This includes view fencing installation at the top of rear yard slopes and side yard fencing installation.
- Developer shall install rear yard pilasters at every other lot corner, pathways to docks, and docks (see Figure 3-4). (Builder may install with the consent of the Developer).
- Irrigation shall be provided for all planted areas (see Section 3.4). The Builder shall install irrigation for all areas that they landscape. After construction, irrigation water may be provided by RD 2062 with homeowners responsible for maintenance of the irrigation system (non-potable water source). Homeowners shall be responsible for irrigation of all yards and adjacent parkway strips.

CONSTRUCTION RESPONSIBILITY

DEVELOPER RESPONSIBILITY*

- View Fence
- Pilasters
- Concrete Walk and Stairs
- Private Docks

BUILDER RESPONSIBILITY

- Privacy Fences (4' and 6')
- Back Yard Trees
- Hillside slope planting along water

*Builder may install with the consent of the Developer

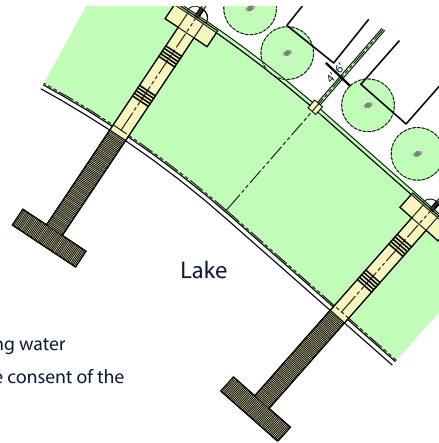


Figure 3-3: Builder/Developer Responsibility Rear Yards/Lake Slopes

- Homeowners shall be responsible for maintenance of their rear yard to the view fence that separates their yard from the lake slope in accordance with these guidelines, the Lathrop Municipal Code and River Islands CC&Rs. Homeowners shall also be responsible for lake slope improvements as well, in accordance with recorded easements as described below.
- Landscaped slope areas under control of Reclamation District 2062 (RD 2062) shall have recorded easements to each individual lot outlining the restrictions and limitations regarding the improvements shown herein. Any subsequent improvements to these areas are subject to review and approval of RD 2062 under separate policy provisions separate from these guidelines.

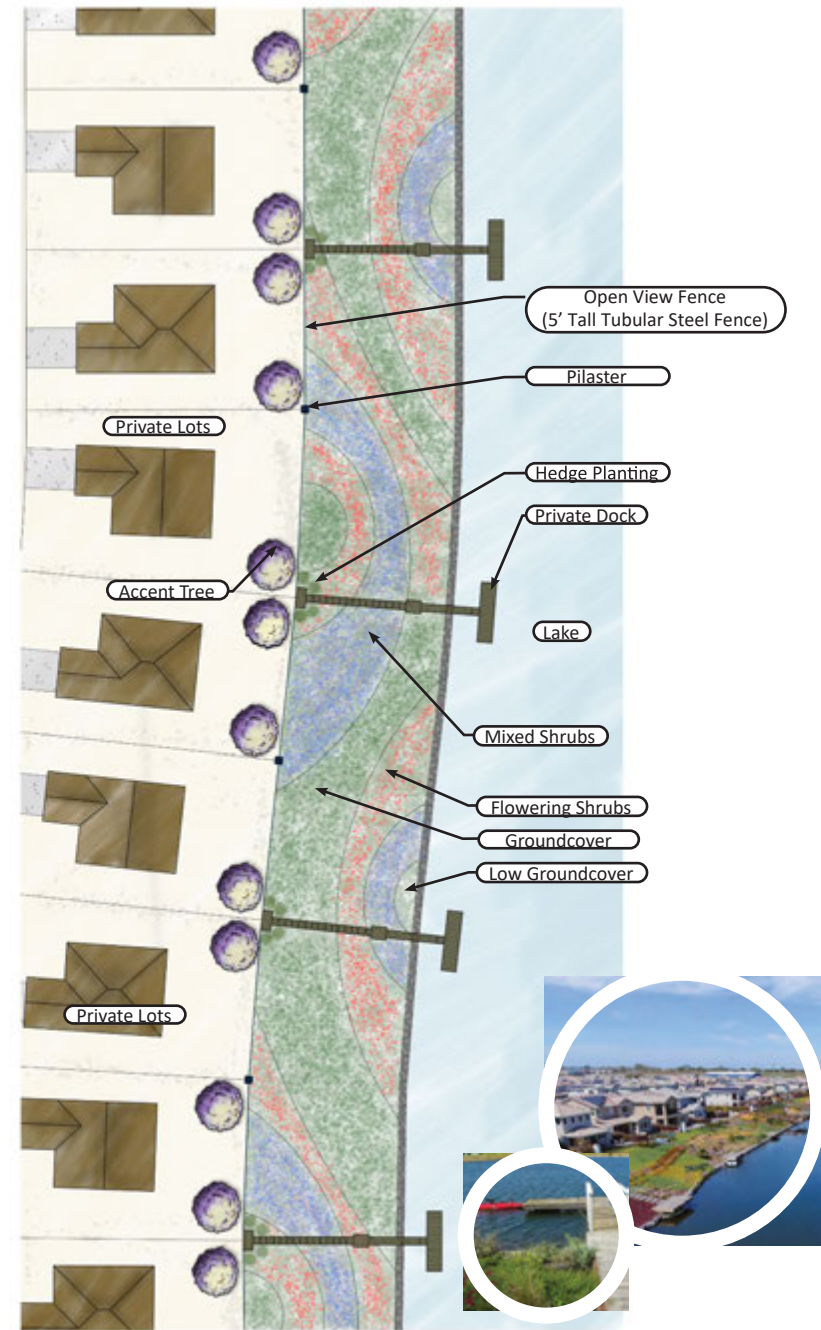


Figure 3-4: Rear Yards/Lake Slopes at Lakeside Homes



3.3 SITE FURNISHINGS/ MATERIALS

3.3.1 Fences

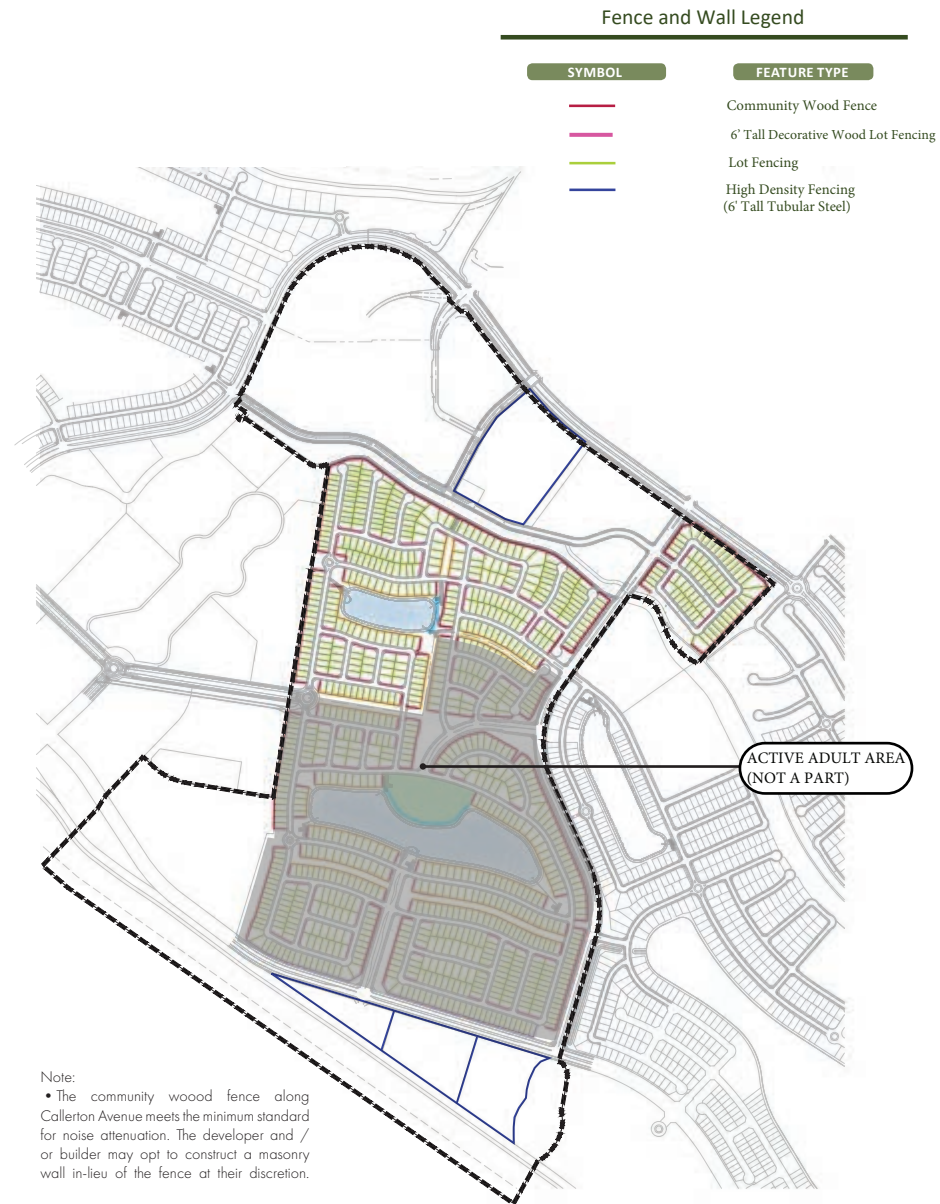
Figures 3-6, 3-7, and 3-8 illustrates the location and types of fencing to be used, with a variety of heights and design to be used for various conditions. These fences consist of a ‘family’ of elements, similar in style and materials, used in a consistent manner throughout the neighborhood. Additional fencing and walls, including view fencing in the rear yards of lakeside homes, will be installed by the Developer. It should be noted that standards provided in this chapter shall also apply to medium density development and applied on a case by case basis due to the variety of product.

Guidelines

- In general, fencing should be designed to be natural-appearing and durable, compatible with neighborhood character, and reflective of the “Delta Agrarian” character of River Islands.
- Fencing should be made from high quality materials, be of durable construction, and present a “finished” appearance from adjacent properties.
- Solid fences or walls used for privacy or security may be used in either side or rear yard conditions. Fencing should be limited to six (6) feet in height and, in areas facing a public street or alley, must incorporate a change in articulation for the top 12-18 inches of the fence.
- Solid side yard privacy fencing that intersects open space view fencing should not exceed 5 feet in height within the rear setback.
- To reduce their visual prominence, fences should be used in combination with tree, vine, shrub, and hedge planting.

Standards

- 6’ Tall Decorative wood fencing and 6’ tall side yard wood fencing shall be installed by Builder using the design treatments illustrated in Figure 3-8 and in locations indicated by Figures 3-5, 3-6, and 3-7.
- 6’ Tall Decorative wood fencing with lattice treatment shall be used for areas visible from public areas including roadways and parks.
- 6’ Tall Decorative wood fencing shall be set back 10 feet from the side-walk. Gates shall be installed on one side of the home to allow access from front yard to side yard.



NOTE: BUILDER SHALL ALSO INSTALL PRIVACY FENCES PER FIGURES 3-7, 3-8 AND 3-9
 Figure 3-5: Community Wall and Fence Diagram

- 6' Tall Decorative wood fencing shall be used on side property lines. Fencing shall be limited to six (6) feet in height. Decorative privacy fencing (with lattice) shall be used in areas visible from public streets or other public areas. Privacy fencing for lakeside homes shall transition from six feet to five feet in height as indicated in Figure 3-8.
- In sloping areas visible from public streets or public use areas, fencing shall step down the slope. Fencing may slope with the grade in

- areas that are outside of public view.
- On corner lots, front yard fencing shall be continuous along the front and side property line. Where slopes occur, fencing shall be installed along the top of slope. For corner lots, side yard fencing along street frontages shall be located a minimum of five (5) feet from the sidewalk.
- Maximum unbroken length of side yard fences should be 100 feet for adjacent street-facing lots. Fencing can be reduced in height at corners as required to allow for traffic safety and visibility.

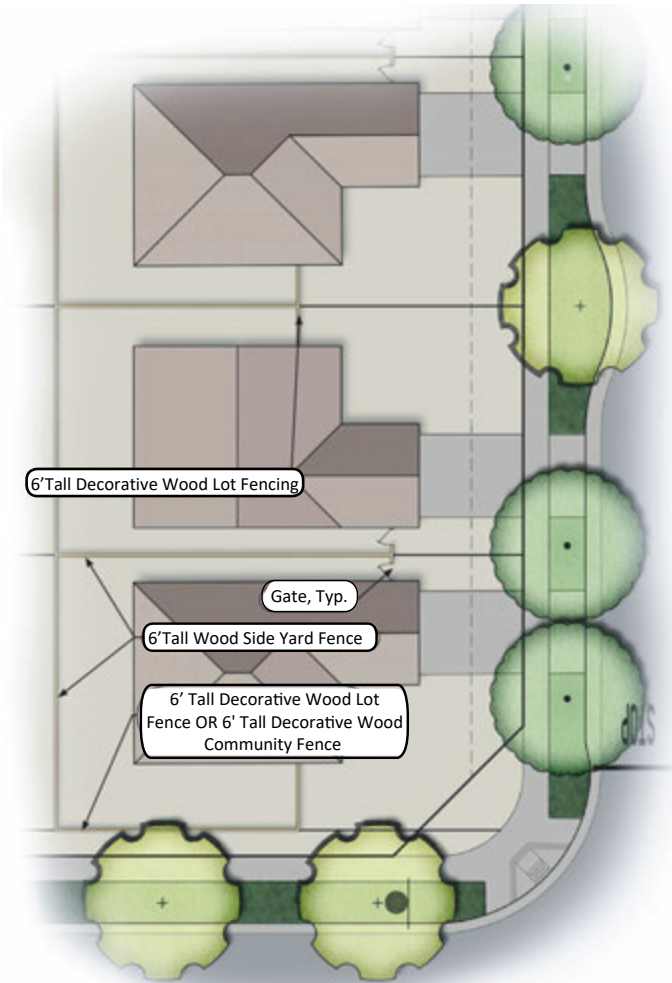


Figure 3-6: Prototypical Fence Conditions

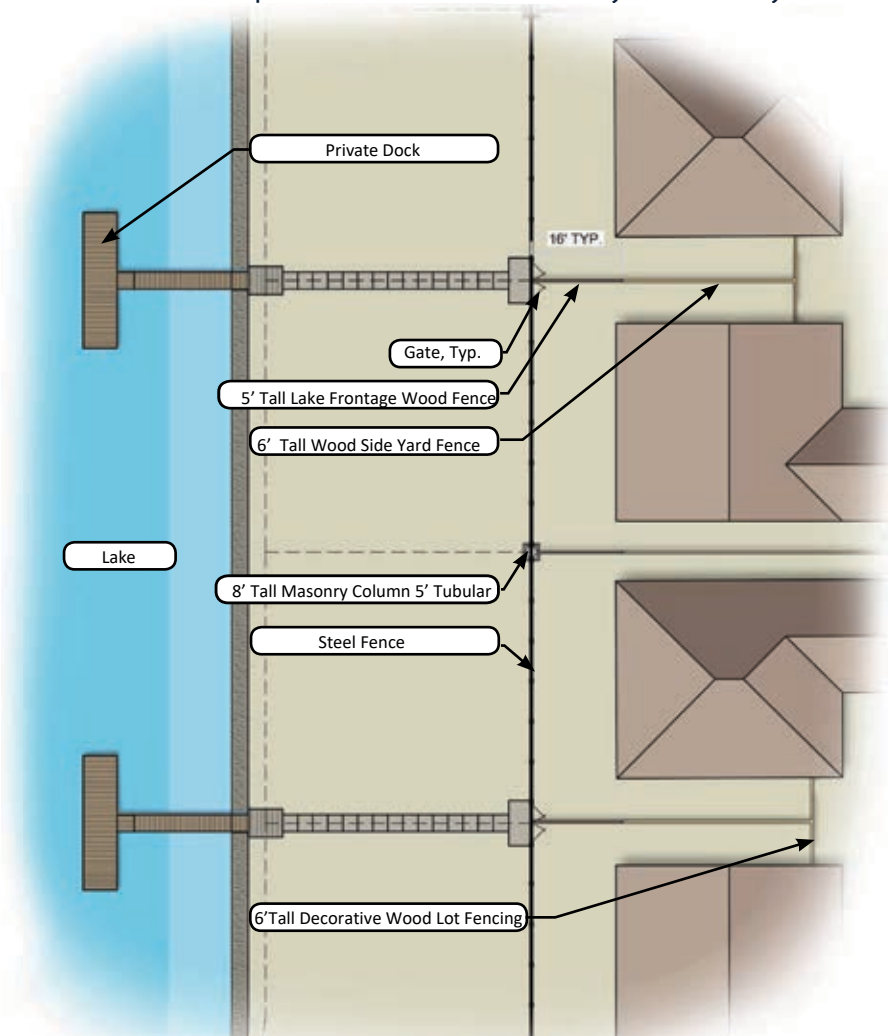
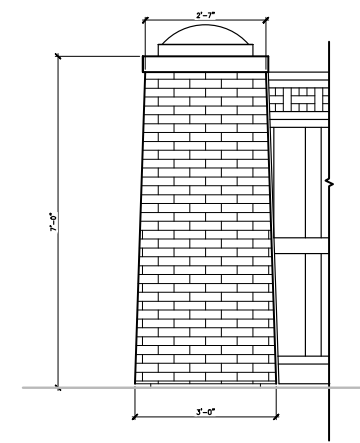
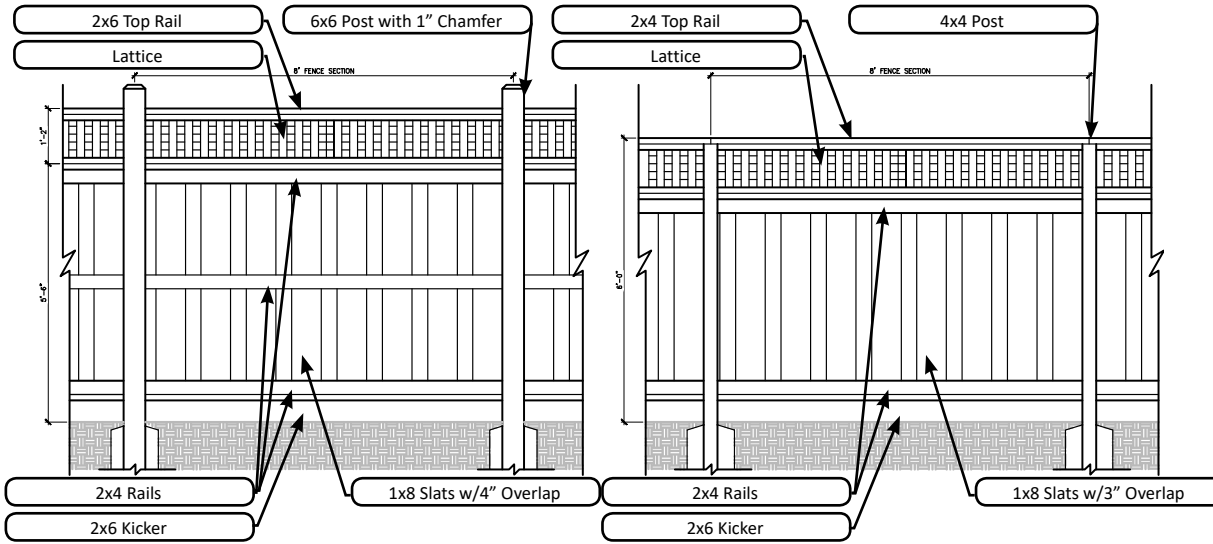


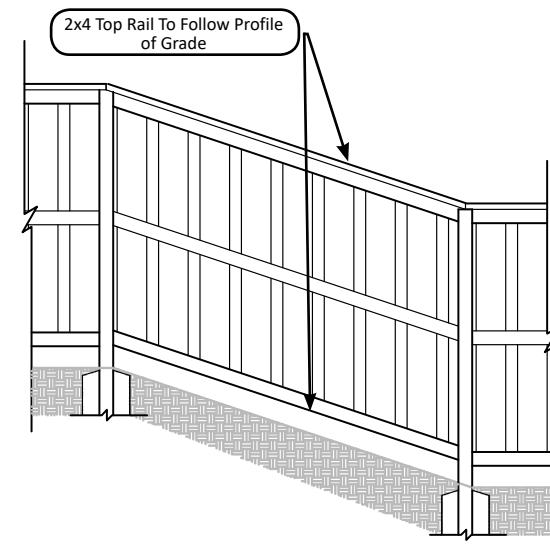
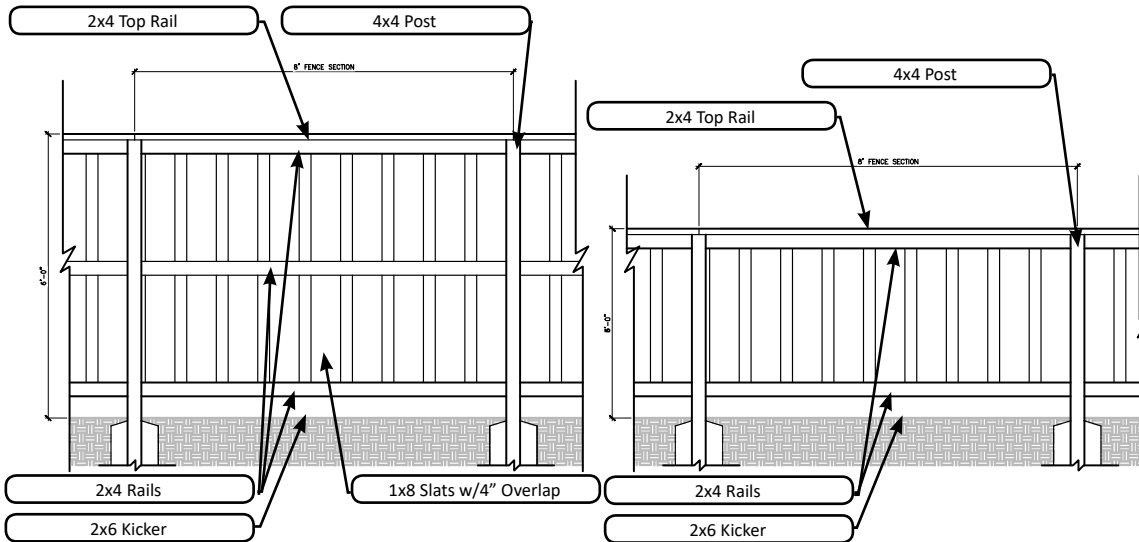
Figure 3-7: Prototypical Fence Conditions (Water Edge)



6' TALL DECORATIVE WOOD
PRIVACY/COMMUNITY FENCE

6' TALL DECORATIVE
WOOD LOT FENCE

8' TALL MASONRY COLUMN

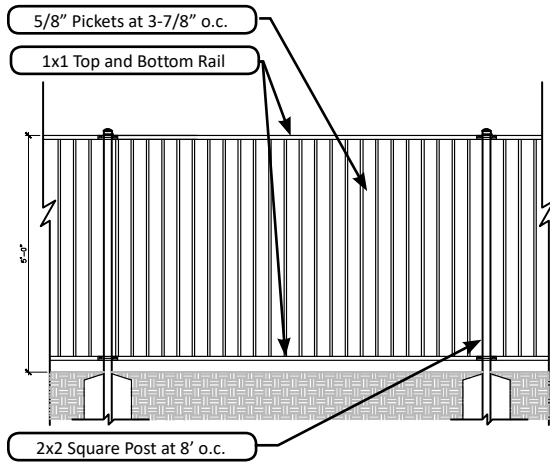


6' TALL WOOD
SIDE YARD
FENCE

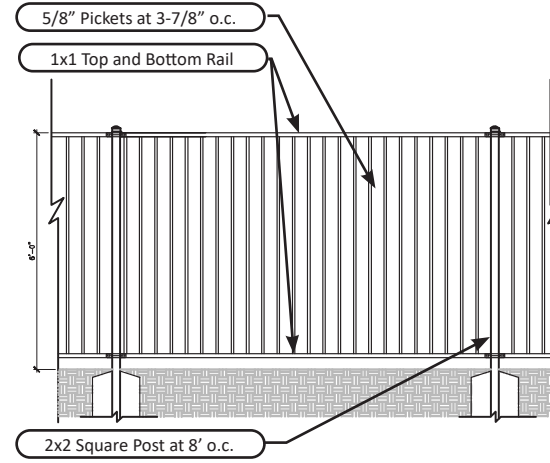
5' TALL LAKE
FRONT
TRANSITION FENCE

6' TALL WOOD SIDE YARD
FENCE (SLOPING CONDITION)

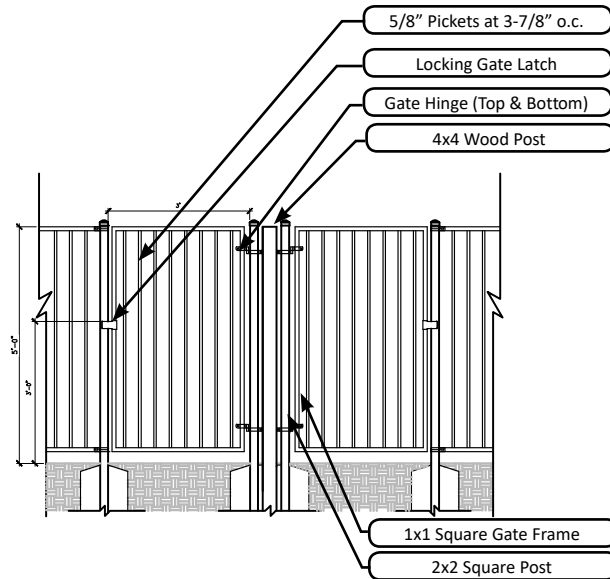
Figure 3-8: Prototypical Fence Conditions (For Builder/Developer)



5' TALL TUBULAR STEEL FENCE AT LAKE FRONTAGE

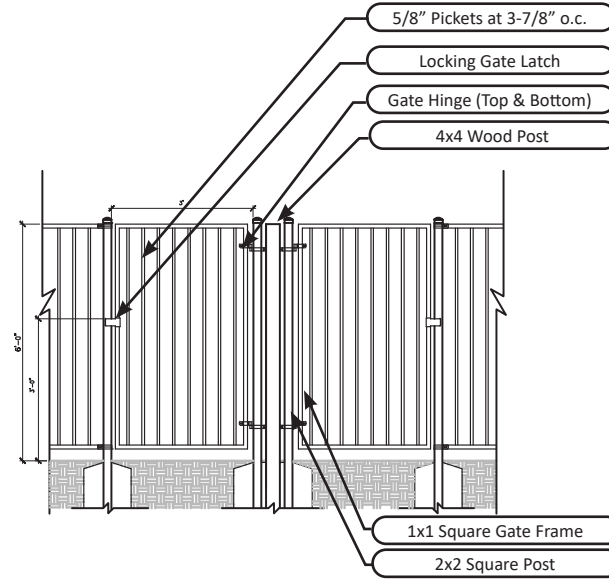


6' TALL TUBULAR STEEL FENCE FOR HIGH DENSITY RESIDENTIAL



5' TALL TUBULAR STEEL FENCE WITH 3' TALL GATE AT LAKE FRONTAGE

Figure 3-9: Prototypical Fence Conditions (For Builder)



6' TALL TUBULAR STEEL FENCE WITH 3' TALL GATE FOR HIGH DENSITY

Figure 3-10: Prototypical Fence Conditions (For Builder)

- Security fencing shall be provided around pool and spa areas in compliance with all applicable codes and ordinances.
- Barbed or razor wire, chain link and plastic/vinyl fencing is prohibited on residential properties.

3.3.2 Signage

- Temporary signage to market the sale of new homes – to be provided by River Islands. Signage should conform to the signage types and hierarchy described in the Appendix.

3.3.3 Landscape Lighting

Guidelines

- Landscape lighting should be designed to be hidden from direct view and to minimize glare and impacts to adjacent land uses, especially residences. Low-level, pedestrian-scale fixtures should be utilized to the degree possible.
- Landscape lighting should utilize durable, energy-efficient fixtures that provide pleasing color. High efficiency fixtures are encouraged to direct light where it is needed to avoid excessive glare and reduce impacts upon night sky and open space. No lighting should blink, flash, or be of unusually high intensity or brightness, except in the case of holiday lighting.
- Landscape lighting should be minimized to reduce light pollution and minimize energy usage.
- LED fixtures and intelligent control systems should be utilized to the extent possible.

3.3.4 Paving and Hardscape

Guidelines

- Paving surfaces on residential lots should be limited to the driveway, walkways, and patios. Paving to replace landscaping shall comply with the Lathrop Municipal Code.
- The general intent of pavement design is to provide an aspect of permanence with subtle textural variety using materials that

appear related to the natural landscape. Brightly-colored and highly reflective materials are not acceptable. Pervious paving is encouraged to the extent feasible.

- Use of enhanced paving materials (exposed aggregate, broom finish, integral color, unit pavers, stamped concrete, and bricks, etc.) is encouraged for front walks, patios and driveways. Planting areas are recommended between pavement and walls or fences. Concrete areas on the landscape plans should be designated with surface finish, color, expansion joints, and score joints. Expansion and score joints help isolate cracking locations in concrete and should occur 8 feet on center (max.) in each direction.
- Residential driveways serving front-facing garages should use enhanced materials, and/or scoring patterns to reduce the visual impacts.
- Selected paving color/albedo should meet a minimum SRI (Solar Reflective Index) value of 29 in order to aid in reducing the heat island effect (note: typical grey concrete usually falls between 38-52).

3.4 LANDSCAPE CONSTRUCTION PRACTICES

The following provisions address construction practices techniques to ensure healthy and successful projects and adhere to requirements and measures for sustainable landscape.

3.4.1 Irrigation and Water Conservation

The City of Lathrop Municipal Code, Chapter 17.92 Landscape and Screening Standards, contains additional requirements for irrigation and water conservation.

Guidelines

- The irrigation system should be designed to conserve water resources by efficiently and uniformly distributing water. Designs should be based upon applicable California Department of Water Resources ordinances and tailored to the climate of the City of Lathrop.
- Use of low volume spray heads and drip irrigation systems should be maximized. New irrigation techniques and drip irrigation systems should be used to ensure more efficient delivery of water.
- Irrigation design should accommodate hydrozones accordingly, separating high, medium and low water-use plants. Trees should be put on a separate system, specifically in lawn areas, and shrubs and trees should be irrigated with a drip or bubblers to provide deeper, more even watering and promote water conservation. Systems should also be separated by sun exposure, i.e., north/east exposures versus south/west exposures.
- Turf and groundcover should be irrigated with a conventional rotary nozzle spray system, using head-to-head spray coverage. In-stem pressure regulation and check valves are required on all heads. To effectively meet the intent of the state of California's conservation effort sub-surface drip irrigation should be the primary irrigation method. No above ground irrigation distribution method should be incorporated in areas less than ten feet (10') wide and shall maintain a twenty-four inch (24") offset from all pavement surfaces that drain directly to catchbasins.
- The irrigation controllers should be programmed according to the water needs of plants on each circuit, with consideration of the time of year and plant maturity. If precipitation rate exceeds the soil absorption rate, multiple shorter cycles should be programmed as required to allow absorption.
- Automatic irrigation controllers should be automatically adjusted using, at a minimum, daily ET (Evapotranspiration) rates and preferably hourly ET with an onsite rain shut-off device. Should an ET based controller not be utilized an onsite rain sensor with active moisture sensor may be used.
- All homes should be installed with an automatic master valve at the irrigation point of connection in conformance with AB1881 (MWELO)
- Main lines should have 18" of cover.
- Irrigation valves should be screened from view from the street by landscaping or other attractive site materials.
- Irrigation systems should be monitored regularly for proper operation, leaks and broken heads, adjustment of controller programming, and elimination of excessive over spray and runoff.

Standards

- Irrigation shall be provided for all planted areas.
- Builder shall provide each home with an automatic irrigation controller that accommodates all aspects of the landscape design, including independent programming of multiple stations to cover front yard (including parkway strip), side yard, and backyard areas. Lake slope areas may be provided non-potable water from RD 2062.

3.4.2 Soil Preparation and Mulching

Standards

- Finish landscape grading by Builders after construction of homes, if required, shall maintain or re-establish the overland release per the design intention of the Developer's Civil Engineer. Builders shall be responsible for maintaining proper drainage without creating depressions or dams.
- Builders should require an Agricultural Suitability Soil Test. The soils should be tested for agricultural suitability, parasitic nematodes and herbicide or deleterious contamination. The test should be completed by a reputable testing agency and should include recommendation for amendments, soil conditioners, pH correction, and fertilization.
- Subsequent to installation of underground utilities, soil compacted by construction should be rototilled to a minimum depth of eight (8) inches. In order to prevent interface layers between import topsoil and native soil, native soil should be broken up by ripping or rototilling to a depth of 8 to 12 inches before the addition of import topsoil or amendment.
- All planted areas should be amended to provide for an optimum growing media for most plants.
- Amendments (e.g. nitrified compost, gypsum, soil sulphur, fertilizer, iron sulfate, etc.) should be rototilled into the soil to a depth of 4 to 6 inches. Amendments are more effective when thoroughly incorporated into the soil. Avoid staining when using ferrous sulfate as an amendment by washing off all hardscape immediately after applying or mixing.

- At all planting areas except lawns, a minimum of three inches of organic mulch shall be applied on top of the soil surface after planting in order to cool the soil surface, reduce evaporation, and suppress weed growth. Organic mulches, including wood chips, shredded bark, and other commercially available mulches are preferred to inorganic materials. Organic mulches should not be dyed an artificial color, but should be a natural brown or dark brown in color. Permanent visible applications of inorganic sheeting, fabric, netting, etc. are not acceptable.

3.4.3 Planting

Standards

- Plant materials shall be selected from Appendix: Plant Selection Guide. Substitutions or additions may be considered by the DRB based on the suitability of the species in terms of similarity of form, adaptability, tolerance to site soils, climatic conditions or water quality, or other pertinent characteristics.
- Plant sizes and spacing shall comply with the specifications noted on Appendix: Plant Palette and shall be sufficient to provide healthy growth, attractive appearance, and full coverage of planting areas when plants are mature. In general, size and spacing requirements are as follows:
 - Primary front yard tree: Size to match adjacent street tree (24" box); spacing per requirements in Section 3.2 above.
 - Other front yard trees or side/rear yard trees: 15 gallon min.; spacing varies.
 - Hedgerows: 5 gallon; 36" o.c. or as needed to create hedge, given anticipated growth pattern
 - Other shrubs: 5 gallon; 48" o.c. or as needed for full cover, given anticipated growth pattern.
 - Groundcovers for habitat and border planting: 1 gallon; 18" o.c. or as needed for full cover, given anticipated growth pattern.
 - Smaller groundcovers or perennials for parkway strips or yards: 1 gallon; 12" o.c. or as needed for full cover, given anticipated growth pattern.
- Riparian planting for lakeside slope area: see Figure 3-2.
- See Figure 3-9 for tree and planting details.

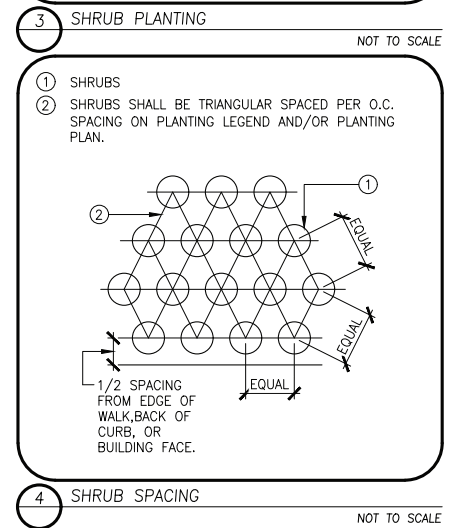
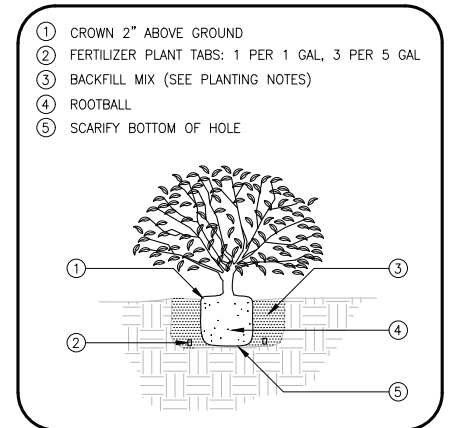
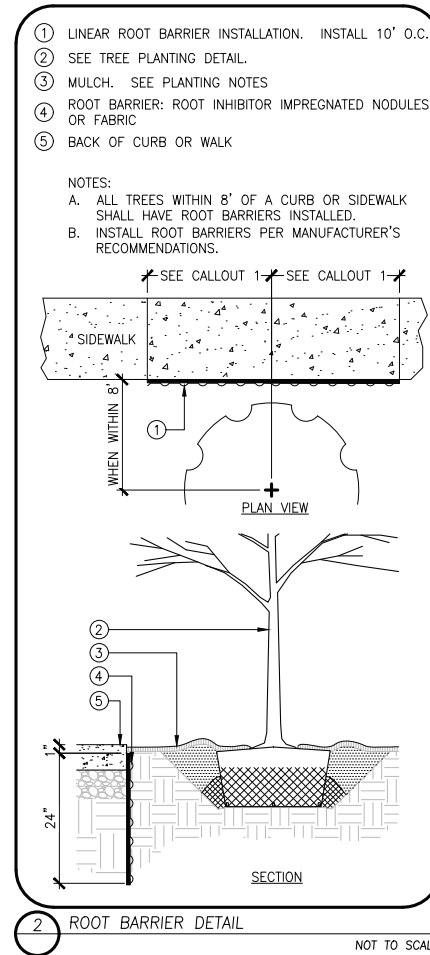
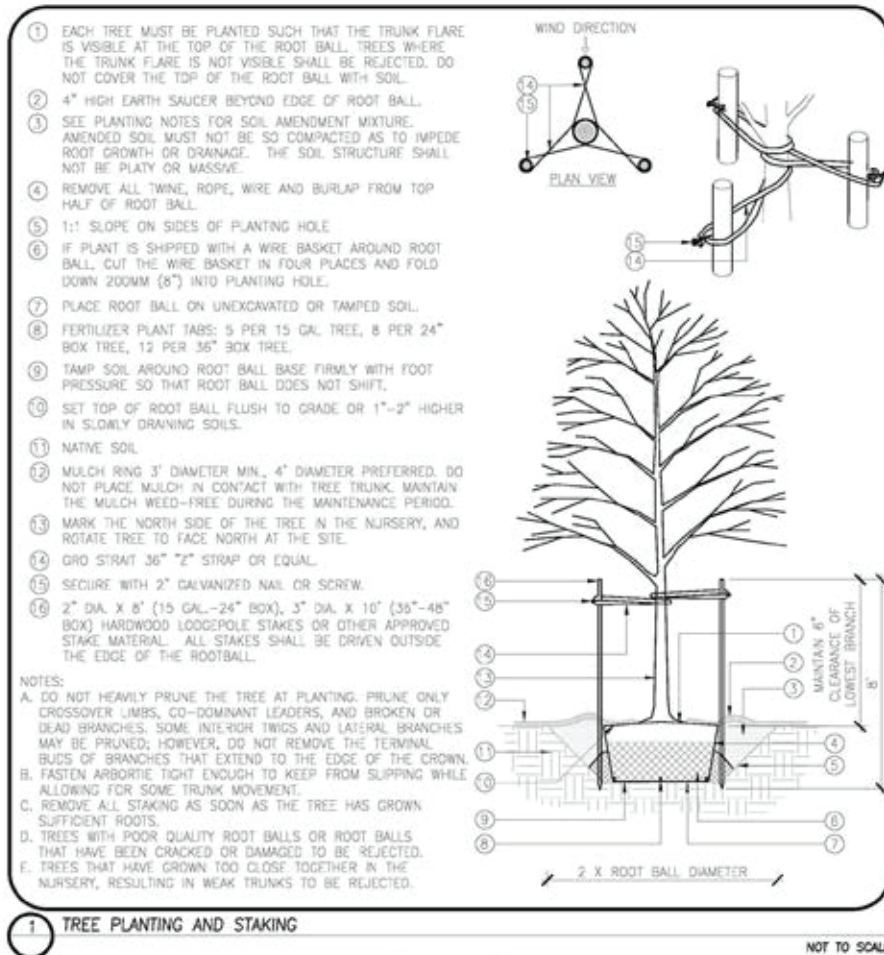


Figure 3-11: Planting Detail

RIVER ISLANDS



CHAPTER 4

PROJECT
IMPLEMENTATION

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4.1 Project Implementation

4.1.1 Stewart Tract Design Review Committee (STDRC)

All projects shall be subject to the design review process and submittal requirements described in the following sections. Projects will be reviewed by the Stewart Tract Design Review Committee (STDRC), according to the requirements set forth below and Section 17.61.160 of the Lathrop Municipal Code. The STDRC is a group of three design professionals that represent the master developer. The STDRC will review design and improvement plans for new construction on undeveloped and improved lands within the community for conformance with these West Village Non-Age Restricted Architectural Guidelines/ Design Standards (AG/DS) and with all applicable plans (described below). The STDRC's review is advisory only and does not guarantee approval of any permit from other agencies. The City of Lathrop utilizes the STDRC's recommendation for certain approvals to Building Division, Planning Commission and some cases Lathrop City Council, if applicable.

After STDRC review is advisory only, applicants are still required to obtain approval by the City of Lathrop for all construction projects and necessary approvals and permits. This includes landscaping and infrastructure permits if applicable.

Prior to the submission of development proposals to the City of Lathrop, the STDRC shall review such proposals and make recommendations to the Master Developer and the City; the STDRC shall also recommend exceptions and revisions to the Old River District AG/DS to the City for further consideration and potential action by the Planning Commission. The STDRC may create exceptions to the AG/DS to accommodate development proposals which might suggest minor design changes or adjustments that are consistent with the intent of these DG/DS; in some cases, an exception might apply to a design condition not foreseen in the original drafting of the AG/DS. A STDRC recommendation to grant an exception may or may not be coupled with a proposed project

proposal already being reviewed by the STDRC. A request for revision to the AG/DS must be made in writing to the City of Lathrop Community Development Department and be approved by the Planning Commission after review and recommendation of the STDRC.

4.1.2 Consistency Requirements

Plans must be found consistent with this document and other applicable City of Lathrop land use entitlements, as well as any recorded River Islands CC&Rs. While the adopted AG/DS document itself is consistent with previously approved planning documents for River Islands, the Builder should be aware of requirements of other applicable entitlements/plans that may also apply to your project. These entitlements/plans include:

1. City of Lathrop Comprehensive General Plan (as amended)
2. West Lathrop Specific Plan (as amended)
3. River Islands Phase 2 Urban Design Concept (UDC)
4. City of Lathrop Development Title (zoning and subdivision ordinances)
5. River Islands Development Agreement and Performance Standards
6. Vesting Tentative Map No. 6716 Conditions of Approval (as amended)
7. Old River District Neighborhood Development Plan (NDP) Adopted River Islands Conditions, Covenants and Restrictions (CC&Rs), if applicable

4.1.3 Design Review Submittal Requirements

As a minimum, all applicants shall provide the following to the Master Developer for processing STDRC review:

1. Location Map - should include Tract, lot and/or parcel numbers if available.
2. Conceptual Plans and Elevations- this shall include preliminary building floor plans for each architectural style and model type represented. This includes enhanced

elevations for those structures which will be adjacent to major streets and project features which are exposed to the public.

3. Conceptual front yard landscaping plans for each lot type.
4. Conceptual neighborhood landscaping plans.
5. Preliminary Color Palette & Materials (can be submitted in a "board" format).
6. Conceptual Lotting Plan (Subdivisions) - the lotting plans shall show at least five contiguous lots, including one corner lot (if applicable). The footprints for proposed structure shall be shown on the lot, along with any driveways, walks, landscaped areas, dimensioned setbacks, fencing and other major features.
7. Conceptual Streetscape Plan – shall show all proposed models and architectural themes on one elevation in color to depict the representative streetscape.

All submitted architectural plans and elevations shall be at a minimum scale of 1/8" to 1/4" = 1'-0" on 24" x 36" paper, as well provided as an electronic file in PDF format. 11" x 17" sized documents may be allowed on a case by case basis. Any other exceptions to the submittal requirements must be approved by the Master Developer.

At least one STDRC meeting shall be held to review the application materials. Each applicant is strongly encouraged to have the architect and other design professionals in attendance for this meeting. Additional meetings may be required if the submittal is incomplete or additional questions or issues cannot be addressed in the initial meeting. STDRC can conduct subsequent meetings via an e-mail discussion once the supplemental information has been provided which addresses the concerns raised.

The STDRC will submit a written recommendation letter and minutes reflecting the STDRC action to the applicant and to the City of Lathrop and any other applicable agencies after its review. The Master Developer may also provide a separate recommendation letter based upon the STDRC's recommendation

as may be required by CC&Rs or individual agreements between the Master Developer and the applicant.

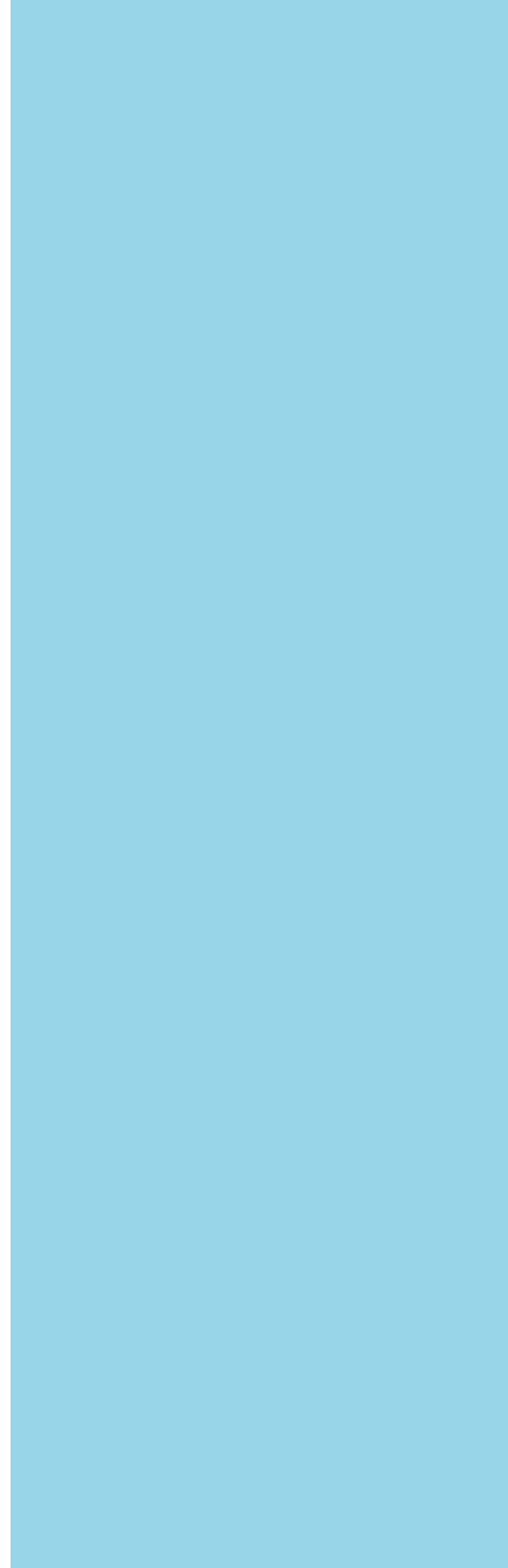
All applicants shall be advised that the City of Lathrop has a separate design review process for review of proposed model homes and, landscaping and construction documents prior to planning and/or building permit approval. The actions taken by the STDRC shall be used to supplement the application process required by the City of Lathrop. The City of Lathrop Planning Division should be contacted for specific information related to the requirements associated with Architectural Design Review and Administrative Approval.

High density residential projects (e.g. apartments and condominiums) shall also require a Site Plan Review approval prior to building permit issuance.

RIVER ISLANDS



APPENDIX



West Village District Architectural Design Guidelines and Development Standards

Accessory Structure Standards

Accessory Structures:

Minimum Setback Distance from Property Line

Structure Height	Front Yard*	Street Side Yard (corner lot)	Side Yard (interior)	Rear Yard
≤ 8 ft.	Not allowed	10 ft.	3 ft.	3 ft.
>8 ft. to 15 ft.	Not allowed	10 ft.	5 ft.	5 ft.

*Landscape features are allowed in the front yard as shown in definition below.

1. Setback Measurement - Minimum setback distance between property line and accessory structure shall be measured from the wall or post(s) of the supporting structural member of the structure. Overhangs are allowed consistent with the current City adopted Building Code.
2. Separation Between Structures - All accessory structures shall maintain the minimum separation between other buildings as required under current City adopted Building Code.
3. Building Permit Required when Applicable – A building permit shall be obtained for all accessory structures as required by the City adopted Building Code, if applicable.
4. Attached Patio Covers – attached patio covers, sunrooms and similar structures not first approved with the original dwelling unit building permit, shall meet all setbacks of the dwelling unit, unless exceptions are approved by the River Islands Architectural Review Board with appeal to STDRC.

Definitions:

Accessory Structure - An attached or detached structure that is either entirely enclosed by walls and a solid roof or is partially enclosed with a solid or limited roof covering. Examples include, but are not limited to, detached garages, greenhouses, pool houses,

sunrooms, workshops, storage sheds, barns, as well as, free standing patio covers, carports, gazebos and stables. Accessory structures also include play equipment, windmills, water towers, and other similar structures.

Landscape Feature - A detached decorative structure with a maximum height of eight (8) feet typically used in conjunction with plant materials for aesthetic enhancement, including, but not limited to, garden trellis covers with non-solid roof construction, arched trellises, vertical lattice structures, statues, fountains, and similar features may be allowed in the front yard setback, subject to building/electrical/mechanical permits of the City of Lathrop and subject to review and approval of the River Islands Architectural Review Board (RIARB). Any decision of the RIARB may be appealed to the Stewart Tract Design Review Committee (STDRC).

Architectural Features:

1. Architectural features including sills, chimneys, fireplaces, cornices and eaves may extend into a required side yard, rear yard or a space between structures not more than two (2) feet and may extend into a required front yard not more than five (5) feet; provided, that where an architectural feature extends more than two (2) feet into a required side yard, the extension shall be protected by a minimum one-hour fire resistant standard.
2. Open, unenclosed, uncovered metal fire escapes and depressed ramps or stairways may project into any required yard or space between buildings not more than four (4) feet, subject to review and approval of the RIARB and may be appealed to the STDRC.
3. Planter boxes attached to a dwelling may be extended into a required front yard by not more than three (3) feet.
4. Walks, driveways and retaining walls may occupy any required yard, subject to City regulations regarding public utility easements, right of way encroachments and possible building permit regulations. Any extension or modification of approved walks, driveways and retaining walls approved with the original construction of the dwelling unit shall be subject to the review and approval of the RIARB and may be appealed to the STDRC.
5. Swimming pools, in-ground spas and hot tubs are subject to the regulations contained in the City’s currently adopted Building Code.

Builder Identification Signs

Builders are to choose from 3 style options as shown on following pages.

River Islands Builder Site Signs

Option 1

Scale: .5" = 1'

AMERICAN TRADITIONAL

Black Steel Fence,

Digital Print on Aluminum



River Islands Builder Site Signs
Option 2
Scale: .5" = 1'

CRAFTSMAN COTTAGE
Wood Frame with Pickets,
Digital Print or
Blasted Sign Foam



River Islands Builder Site Signs
Option 3a
Scale: .5" = 1'

CALIFORNIA RANCH
Wood Frame with Pickets,
Digital Print or
Blasted Sign Foam



Plant List

RIVER ISLANDS- PLANT SELECTION GUIDE

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Street	Between Wall and Main	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bio-Swale (Interior Levee Rd)	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Back-Yard Lake Frontage	Levees, Trails and Restoration Areas	Botanical Name	Common Name	Use Height	Use Width	Water Use	Attributes
Trees															
										Acer buergerianum	Trident Maple	20'-25'	20'-25'	M	
										Acer x freemanii 'Autumn Blaze'	Maple, 'Autumn Blaze'	40'-50'	40'	M	
										Acer macrophyllum	Big Leaf Maple	30'-75'	30'-50'	H	
										Acer negundo var. californica	California Box Elder	30'-50'		M	
										Acer rubrum 'Armstrong', 'October Glory', Redpointe'	Armstrong Red Maple	40'-50'	15'	H	
										Aesculus californica	Buckeye	20'-30'	20'-30'	VL	
										Aesculus carnea	Red Horsechestnut	40'	30'	M	
										Alnus rhombifolia	White Alder				
										Arbutus unedo	Strawberry Tree	8'-25'	8'-25'	L	
										Arbutus 'Marina'	Marina' Strawberry Tree	20'-30'	20'-30'	L	
										Arbutus marina - 'Multi-trunked'	Strawberry Tree	15'-30'	15'-20'	L	Dark green oblong foliage with rosy pink fall flowers
										Betula jacquemontii (Betula utilis jacquemontii)	White Barked Himalyan Birch	40'-60'	25'-30'	H	
										Carpinus betulus 'Fastigiata'	European Hornbeam	40'	30'	M	
										Catalpa speciosa	Western Catalpa	40'-60'	20'-40'	M	
										Cercidium x 'Desert Museum'	Desert Museum Palo Verde	20'	20'	?	
										Cercis canadensis 'Oklahoma'	Eastern Redbud	25'-35'	25'-35'	M	
										Cercis occidentalis	Western Redbud	10'-20'	10'-20'	VL	
										Cercis occidentalis - 'Multi-trunked'	Western Red Bud	12'-18'	10'-18'	L	Blue-green foliage with magenta flowers
										Cercocarpus betuloides	Island Mountain Mahogany	5'-20'	5'-20'	VL	
										Chilopsis linearis 'Monhews'	Timeless Beauty Desert Willow	15'-20'	15'-20'	VL	Fragrant showy purple flowers
										Chionanthus retusus	Chinese Fringe Tree	20'	15'	M	
										X Chitalpa tashkentensis	Chitalpa	30'	30'	L	White to pale or dark pink flowers
										Crataegus phaenopyrum	Washington Hawthorn	25'	20'	M	
										Cupressus arizonica	Arizona Cypress	40'	20'	VL	
										Cupressus sempervirens	Italian Cypress	40'-70'	10'-20'	M	
										Ginkgo biloba 'Autumn Gold' (Male only)	Ginkgo, 'Autumn Gold'	35'-40'	25'-35'	M	Use male only varieties
										Gleditsia tricanthos inermis	Thornless Honey Locust	25'-50'	25'-50'	L	
										Koelreuteria paniculata	Goldenrain Tree	20'-35'	25'-40'	M	
										Lagerstroemia indica 'Dynamite'	Crape Myrtle	15'-25'	15'-20'	L	Red Flowers
										Lagerstroemia x fauriei 'Natchez'	Crape Myrtle	20'-30'	15'-20'	L	
										Lagerstroemia x fauriei 'Natchez' - 'Multi-Trunked'	Natchez Crape Myrtle	15'-20'	12' Wide	L	White flowers
										Lagerstroemia x fauriei 'Muskogee'	Crape Myrtle	20'-30'	15'-20'	L	
										Magnolia soulangiana 'D.D. Blanchard'	Tulip Magnolia	50'	25'-35'	M	
										Malus	Flowering Crabapple, 'Snowdrift', 'Golden Raindrops'	15'-20'	15'-20'	M	
										Olea europaea 'Swan Hill'	Swan Hill Olive	25'-30'	25'-30'	VL	
										Parkinsonia aculeata	Mexican Palo Verde	15'-20'	10'-20'	VL	
										Pinus pinea	Stone Pine			L	
										Pinus radiata	Monterey Pine	80'-100'	25'-35'	M	
										Pistacia chinensis 'Pearl Street', 'Red Push' or 'Keith Davey'	Chinese Pistache Varieties	30'-60'	50'	L	
										Platanus acerifolia 'Bloodgood'	London Plane	40'-50'	25'-30'	M	
										Platanus X acerifolia 'Columbia'				M	
										Platanus racemosa	California Sycamore	50'-90'	30'-50'	M	
										Populus alba 'Pyramidalis'	Seedless Bolleana Poplar	50'	15'	M	
										Populus fremontii	Fremont Cottonwood	40'-60'	30'-40'	M	
										Populus nigra 'Italica'	Lombardy Poplar	100'	15'-30'	M	
										Prosopis glandulosa 'Maverick'	Texas Mesquite	25'-30'	25'-30'	L	
										Prunus caroliniana 'Bright 'N Tight' (Compacta)	Bright 'N Tight Cherry Laurel	8'-10'	6'-8'	L	

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Streetscape Between Wall and Walk	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bio-Swale (Interior Lane Rd.)	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Rear-Yard Lake Frontage	Levees, Trails and Restoration Areas							
										Mahonia aquifolium	Oregon Grape	6'		M	
										Myrtus communis	True Myrtle	5'-6'	4'-5'	L	
										Nandina domestica	Heavenly Bamboo	3'-8'	2'-4'	L	
										Nerium oleander 'Little Red'	Dwarf Red Oleander	4'	4'	L	Red flowers
										Nerium oleander 'Petite Pink'	Dwarf Pink Oleander	4'	4'	L	Pink flowers
										Osmanthus fragrans	Sweet Olive	10'	10'-12'	M	
										Osmanthus x fortunei	Hybrid Tea Olive	6'-20'	10'-12'	M	
										Philadelphus lewisii	Wild Mock-orange	4'-10'	6'-10'	M	
										Philadelphus 'Belle Etoile'	Purple Spot Mock Orange	5'-7'	5'-7'	M	
										Phormium tenax 'Atropurpureum'	New Zealand Flax	4'-5'	4'-5'	L	Burgundy-bronze bladed foliage
										Phormium 'Yellow Wave'	Yellow Wave New Zealand Flax	4'-5'	4'-5'	M	Yellow and lime green bladed foliage
										Prunus caroliniana 'Bright 'N Tight' (Compacta)	Bright 'N Tight Cherry Laurel	8'-10'	6'-8'	L	
										Rhaphiolepis indica	India Hawthorn	4'-5'		L	
										Rhaphiolepis indica 'Clara'	India Hawthorn	3'-5'	3'-5'	L	
										Rhaphiolepis indica 'Springtime'	India Hawthorn	4'-6'		L	
										Raphiolepis umbellata	Yeddo Hawthorn	4'-6'	4'-6'	L	
										Rhamnus californica 'Mound San Bruno'	San Bruno Coffeberry	3'-15'	8'	L	
										Rhamnus californica 'Eve Case'	Dwarf Coffeberry	4'-8'	4'-6'	L	
										Rhamnus crocea	Redberry			L	
										Rhamnus tomentella	Hoary Coffeberry			L	
										Ribes aureum (var. gracillimum)	Golden Currant	3'-6'		L	
										Ribes sanguineum	Pink Flowering Currant	4'-12'		M	
										Rosa californica 'Plena'	California Wild Rose			L	
										Teucrium fruticans	Bush Germander	5'-6'	5'-6'	L	Gray leaves, lavender flowers
										Teucrium fruticans	Bush Germander	4'-8'	4'-10'	L	
										Viburnum t. 'Spring Bouquet'	Spring Bouquet Viburnum	4'-6'	4'-6'	M	Deep green leathery foliage with tight clusters of pink buds and white flowers
										Xylosma congestum	Shiny Xylosma	8-10'	8-10'	L	
Shrubs (Medium Foreground)(species appropriate within sight-line view corridor)															
										Abelia x grandiflora 'Kaleidoscope'	Glossy Abelia	2'-2.5'	3'-4'	M	White flower
										Berberis thunbergii 'Cruzam'	Crimson Ruby Japanese Barberry	2'	2'	M	Deep red/burgundy foliage
										Callistemon citrinus 'Compacta'	Bottlebrush			L	
										Callistemon citrinus 'Little John' or 'Captain Cook'	Dwarf Bottlebrush	3'	3'	L	
										Coleonema pulchrum 'Varieties'	Pink Breath of Heaven	3'-4'	4'	M	Light green foliage with tiny pink flowers
										Mahonia aquifolium 'Compacta'				M	
										Myrsine africana	African Boxwood	3'-8'	3'-6'	L	
										Pittosporum t. 'Wheeler's Dwarf'	Mock Orange	3'-4'	4'-5'	M	White flower
										Punica granatum 'Nana'	Dwarf Pomegranate	3'	5'	L	Orange flowers
										Rhaphiolepis indica 'Ballerina'	Dwarf Pink Indian Hawthorne	2'	4'	L	Pink flowers
										Salvia greggii / Salvia x jamensis	Autumn Sage	3'-4'	2'	L	
										Salvia greggii 'Alba'		1'-4'	1'-4'	L	
										Salvia microphylla	Mint Bush Sage	3'-5'	4'-8'	M	
										Spiraea bumalda	Spiraea	2'-3'	3'-4'	M	
										Spiraea x bumalda 'Goldflame'	Goldflame Spirea	3'-4'	4'	M	Yellow-green foliage with pink/red flowers
										Viburnum davidii	David Viburnum	3'	3'	M	Large glossy green deep veined foliage, tight clusters of pink buds and white flowers
										Zauschneria californica	California Fuschia	3'	3'-4'	L	Gray leaves w/ red flowers
Shrubs (Accents)(species appropriate within sight-line view corridor)															
										Achillea millefolium californica	Yarrow	1-3'	1-3'	L	
										Achillea millefolium rosea 'Island Pink'	Pink Yarrow	1'-3'		L	
										Achillea tomentosa	Woolly Yarrow	6"		L	
										Agapanthus africanus	lily-of-the-Nile	1.5'-2'	1.5'-2'	M	Blue/white flower

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Streetscape Between Wall and Walk	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bioswale (Interior Levee Rd.)	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Rear-Yard Lake Frontage	Seeds, Foliage and Restoration Areas	Plant Species	Common Name	Height	Width	Flower Color	Notes
									Aloe species	Blue Star Flower	varies		L	
									Amsonia tabernaemontana	Serpentine Columbine	2'-3'		?	
									Aquilegia eximia	Powis Castle Sagebrush	2'	1-3'	L	
									Artemisia 'Powis Castle'	Narrow-leaved Milkweed	3'	6'	L	
									Asclepias fascicularis	Plumbago	1'-3'	1'	?	
									Ceratostigma plumbaginoides	Berkeley Sedge	0.75'-1'	1'-1.5'	M	Deep blue flower
									Carex divulsa	Fortnight Lily, Bicolor Iris			L	Deep green clumping evergreen grass
									Dietes bicolor	Fortnight Lily			L	
									Dietes vegeta	Santa Barbara Daisy	3'-4'	2'-3'	M	White flower
									Erigeron karvinskianus	California Poppy	1'-2'	3'-5'	L	White with some pink flowers
									Eschscholzia californica	Blue Bunch Grass	1'	1.5'	VL	
									Festuca idahoensis 'siskiyou blue'	Atlas Fescue	14"	10"	L	
									Festuca mairei	Elijah's Blue, Blue Festuca	2'-3'	2-3"	L	Evergreen clumping yellowish gray-green foliage
									Festuca ovina 'Glaucua'	Red Fescue	4"-10"	6"	M	
									Festuca rubra	Lenten Rose	3"-12"	6"	M	
									Helleborus x hybridus	Stella De Oro Dwarf Daylily			M	Heavy clusters of large yellow flowers
									Hemercallis x 'Stella de Oro'	Orange Daylily	2'	2'	M	Tawny orange
									Hemercallis fulva	Coral Yucca	2'-2.5'	2'-2.5'	M	
									Hesperaloe parviflora	Lillian's Pink Coral Bells	2'	2'	/	
									Heuchera 'Lillian's Pink'	Rosada Coral Bells			?	
									Heuchera 'Rosada'	Coral Bells			M	
									Heuchera sanguinea	Canyon Snow Pacific Iris			?	
									Iris 'Canyon Snow'	CA Gray Rush	2'	2'	H	
									Juncus patens	Red Hot Poker			M	
									Kniphofia uvaria	English Lavender	8'-2'	8'-2'	L	
									Lavandula angustifolia	English Lavender	2'	2'	L	Gray-green foliage with deep violet blue flowers
									Lavandula a. 'Buena Vista'	Goodwin Creek Lavender			L	
									Lavandula 'Goodwin Creek Grey'	Otto Quast Spanish Lavender	18"-3'	2'	L	
									Lavandula stoechas 'Otto Quast'	Canyon Prince Wild Rye	2'-4'	2'	VL	
									Leymus condensatus 'Canyon Prince'	Lily Turf			M	
									Liriope muscari	Dwarf Mat Rush	2'-3'	2'-4'	L	
									Lomandra l. 'Breeze'	Bush Lupine	3'-5'	2-3'	L	
									Lupinus albifrons	Miscanthus sinensis 'Morning Light'	5'-6'	3'-4'	M	
									Miscanthus sinensis 'Morning Light'	Muhlenbergia dubia	2'-3'	2'-3'	L	
									Muhlenbergia dubia	Mexican Deergrass	2'-3'	2'-3'	L	
									Pennisetum setaceum 'Cupreum'	Red Fountain Grass	3'-4'	3'-4'	L	
									Penstemon heterophyllus 'Margarita'	Foothill Penstemon	1'-3'	1'-2'	L	Lavender flowers
									Penstemon species	Showy Penstemon			M-L	
									Penstemon spectabilis	Russian Sage	3'		M-L	
									Perovskia a. 'Little Spire'	New Zealand Flax	2'	2'	L	Vertical spikey gray-green foliage with lavender-blue flowers
									Phormium tenax 'Apricot Queen'	New Zealand Flax	3'	4'	L	Yellow wit green margined bladed foliage
									Phormium tenax 'Dusky Chief'	New Zealand Flax	5'-6'	4'-5'	L	Reddish brown bladed foliage
									Phormium tenax 'shirazz'	New Zealand Flax			L	
									Phormium tenax 'Tom Thumb'	New Zealand Flax	1'-2'	1'-2'	L	
									Salvia	Bee's Bliss Salvia			L-M	
									Salvia 'Bee's Bliss'	Hot Lips Sage	1'-2'	8'	M	
									Salvia m. 'Hot Lips'	Mrs. Beard Salvia	3'	3'	L	Red/white flowers
									Salvia 'Mrs. Beard'	Creeping Sage	2'	3 - 6'	L	
									Salvia somnensis	Hummingbird Sage			L	
									Salvia spathacea	California Goldenrod			L	
									Solidago californica	California aster	1-3'	18"-3'	L	
									Symphotrichum chilense	Society Garlic	1-3'		L	
									Tulbaghia violacea	Variegated Society Garlic	18"	18"	L	Purple flowers
									Tulbaghia v. 'Silver lace'	Crater Lake Blue Speedwell	18"	18"	L	Silver/white blades w/purple flowers
									Veronica austriaca 'Crater Lake Blue'		18"	12"	M	Gentian blue

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									Zauschneria californica 'Catalina'	Island California Fuschia	1-3'	1-3'	L	
									Zauschneria cana	California Fuschia	2-3'	18"-3'	L	
Shrubs (Grasses)(species appropriate within sight-line view corridor)														
									Bouteloua gracilis	Blue Grama Grass	6"-18"	6"-1'	L	
									Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster's Feather Reed Grass	2'	2'	L	Stunning vertical feathery plumes, turn golden in fall
									Carex barbarae	White Root Sedge	1'-3'	1'-3'	M	Deep green native meadow grass
									Carex divulsa	Berkeley Sedge			L	Deep green clumping evergreen grass
									Carex pansa	California Meadow Sedge	3'-4"		M	
									Carex praegracilis	Clustered-field Sedge	1'	6"	M	
									Carex testacea	Orange Sedge	18"-24"	18"-24"	M	Evergreen, green and orange spring / summer, vibrant orange in winter
									Deschampsia caespitosa	Tufted Hair Grass	1'-3'	1'-3'	L	
									Deschampsia elongata	Slender Hair Grass	3'		L	
									Eleocharis macrostachys	Spike Rush	3'	2'	L	
									Elymus glaucus 'Anderson'	Blue Wild Rye	2-3'	2'	L	
									Elymus triticoides	Creeping Wildrye			L	
									Eschscholzia californica	California Poppy	1'	1.5'	VL	
									Festuca californica	California Fescue	2'-3'	2-3'	M	
									Festuca idahoensis'siskiyou blue'	Blue Bunch Grass	14"	10"	L	
									Festuca mairei	Atlas Fescue	2'-3'	2-3'	L	Evergreen clumping yellowish gray-green foliage
									Festuca occidentalis				M	
									Festuca ovina 'Glauca'	Elijah's Blue, Blue Festuca	4"-10"	6"	M	
									Festuca rubra	Red Fescue	3"-12"	6"	M	
									Grindelia camporum	Gum Plant	1'-3'	1'-3'	L	
									Helictotrichon sempervirens	Blue Oat Grass	2'-3'		L	
									Hordeum brachyantherum 'Californicum'	Meadow Barley			VL	
									Imperata cylindrica 'Rubra'	Japanese Blood Grass	1'-2'		H	
									Juncus balticus(balticus?)	Baltic Rush	3'		H	
									Juncus effusus	Pacific Rush	3'-6'	3'	H	
									Juncus patens	CA Gray Rush	2'	2'	H	
									Leersia oryzoides	Rice Cutgrass			M	
									Leymus condensatus 'Canyon Prince'	Canyon Prince Wild Rye	2'-4'	2'	VL	
									Leymus triticoides 'Grey Dawn'	Creeping Wild Rye	2'	18"	VL	
									Lomandra l. 'Breeze'	Dwarf Mat Rush	2'-3'	2'-4'	L	
									Melica imperfecta	Coast Melic Grass, Oniongrass	1'-2'	1'-2'	VL	
									Melica californica	Melica	4'		?	
									Miscanthus sinensis	Japanese Silver Grass	5'-6'	3'-4'	H	
									Miscanthus sinensis 'Morning Light'		5'-6'	3'-4'	H	
									Muhlenbergia capillaris	Hairy Awn Muhly	3'	6'	L	
									Muhlenbergia dubia	Mexican Deergrass	2'-3'	2'-3'	L	
									Muhlenbergia rigens	Deer Grass	3'	3'	L	
									Nasella pulchra 'Yolo'	Purple Needle Grass	2'	2'-3'	L	
									Pennisetum alopecuroides 'Little Bunny'	Dwarf Fountain Grass	18"	18"	L	Trim to ground in winter
									Pennisetum alopecuroides 'Moudry'	Black Fountain Grass	18"-2'	18"-2'	L	
									Pennisetum orientale	Oriental Fountain Grass	12"-18"	12-18"	L	
									Pennisetum setaceum 'Rubrum'	Red Fountain Grass	3'-4'	3'-4'	L	
									Scirpus americanus	Three-square Bulrush	5'	5'	H	
									Scirpus actus var. occidentalis	Hardstem Bulrush	5'-8'	5'-8'	H	
									Scirpus californica	California Bulrush	6"-10"	6"-10"	H	
									Scirpus microcarpus	Small-fruited Bulrush	6"-10"	6"-10"	H	
									Sporobolus airoides	Alkali Sacaton	1'-3'	3'	VL	
									Stipa cernua	Nodding Feather Grass	2'-3'	2'-3'	VL	
									Stipa pulchra	Purple Needle Grass	1'-2'	1'-2'	L	
									Stipa gigantea	Giant Feather Grass	2'-3'	2-3'	VL	

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Streetscape Between Wall and Walk	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bio-Swale (Interior Levee Rd.)	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Rear-Yard Lake Frontage	Events, Trails and Recreation Areas						
									ETY Mix (Carex Divulsa, Eschscholzia californica, Festuca Idahoensis, Layia platyglossa, Salvia l. "Bee's Bliss", Sysynchium idahoensis)	Entry Mix	1'-2'	1-2'	L	
									Native Mow Free Mix (Festuca idahoensis, Festuca rubra, Festuca occidentalis)	No Mow Fescue	12"-18"		M	
Shrubs (Groundcovers)(species appropriate within sight-line view corridor)														
									Acacia r. 'Desert Carpet'	Desert Carpet Acacia	1'-2'	10'-12'	L	Leathery gray green foliage with puffy yellow ball shaped flowers
									Ajuga species	Carpet Bugles	1'	3'	M	
									Arctostaphylos 'Pacific Mist'		2 1/2'	4'	L	
									Artemisia californica 'Montara'	California Sagebrush	18"-5'		L	
									Artemesia 'Powis Castle'	Powis Castle Artemesia	3'	5'	M	gray green foliage
									Baccharis pilularis	Coyote Bush			L	
									Baccharis pilularis 'Pigeon Point'	Dwarf Coyote Brush	6'	6'	L	
									Ceanothus griseus horizontalis 'Yankee Point'	Shrub Ceanothus	2'-3'	8'	L	Blue flowers
									Ceanothus maritimus 'Valley Violet'	Valley Violet Maritime Lilac			L	
									Ceanothus thyrsiflorus 'Skylark'	Blueblossom	3'-6'	5'	L	
									Ceanothus 'Concha'				L	
									Ceanothus 'Dark Star'	Dark Star California Lilac	5'-6'	8'-10'	L	
									Ceanothus 'Joyce Coulter'	Wild California Lilac	3'-5'	8'-10'	L	
									Ceanothus 'Ray Hartman'	Ray Hartman California	12'-20'	15'-20'	L	
									Cistus salvifolius	Sageleaf Rockrose	2'	6'	L	
									Coprosma kirkii	Kirk's Coprosma	2-3'		L	
									Cotoneaster dammeri 'Eichholz'	Bearberry Cotoneaster	8"	6'-8'	L	White flowers, red berries
									Cotoneaster lacteus (Cotoneaster parneyi)		8"	10"	L	
									Cotoneaster microphyllus	Rockspray Cotoneaster	2-3'	6'	L	
									Erigeron 'Wayne Roderick'	Wayne Roderick Seaside Daisy	8"	1 1/2'	M	
									Erigeron karvinskianus	Santa Barbara Daisy	10"-20"	3'	L	
									Eschscholzia californica	California Poppy	1'	1.5'	VL	
									Hypericum calycinum	Aaron's Beard	1'		M	
									Hypericum moseranum	Gold Flower	1'		M	
									Lessingia filaginifolia var. californica 'Silver Carpet'	Silver Carpet California- Aster			M	
									Lobularia maritima	Sweet Alyssum	2"-12"	8"-12"	M	
									Lupinus microcarpus	Chick Lupine	2 1/2'		M	
									Myoporum parvifolium	Myoporum	6"	9"	L	
									Oenothera hookeri	Evening Primrose	1'-3'	1'-3'	L	
									Phacelia californica	Phacelia	18"		M	
									Potentilla verna	Spring Cinquefoil	2'-3'	3'-4'	M	
									Ribes viburnifolium	Evergreen Currant	3'-6'	12'	L	
									Rosa 'Noamel'	Apple Blossom Flower Carpet Rose	2'	3'	M	White/pink flowers
									Rosa 'Noare'	Red Flower Carpet Rose	2'	3'	M	Red flowers
									Rosa 'Noaschnee'	White Flower Carpet Rose	2'	3'	M	White flowers
									Rosa 'Noatraum'	Pink Flower Carpet	2'	3'	M	Pink flowers
									Rosmarinus o. 'Irene'	Rosemary	1'-1 1/2'	2"-3"	L	Blue flowers
									Rosmarinus o. Prostratus	Dwarf Rosemary	2'	4'	L	Blue flowers
									Sedum	Stone Crop	2"-5"	1'	L	
									Sisyrinchium bellum	Blue-eyed Grass	4"-12"	6"-24"	L	
									Trachelospermum asiaticum	Asian Jasmine	2'	10'	M	
									Trachelospermum jasminoides	Star Jasmine	2'	10'	M	

RIVER ISLANDS- PLANT SELECTION GUIDE

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Streetscape Between Wall and Walk	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bio-Swale (Interior Levee Rd.)	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Rear-Yard Lake Frontage	Lawns, Trails and Restoration Areas					
									ETY Mix (Carex Divulsa, Eschscholzia californica, Festuca Idahoensis, Layia platyglossa, Salvia I. "Bee's Bliss", Sysyrinchium idahoensis)	Entry Mix	1'-2'	1-2'	L
									Native Mow Free Mix (Festuca idahoensis, Festuca rubra, Festuca occidentalis)	No Mow Fescue	12"-18"		M
Vines													
									Aristolochia californica	California Pipevine			L
									Campsis radicans (Bignonia radicans)	Common Trumpet Creeper			L
									Clematis armandii 'Snow Drift'	Evergreen clematis	15-20'		M
									Clytostoma callistegioides	Violet Trumpet Vine			M
									Distictis buccinatoria	Trumpet Vine	20'-30'		M
									Ficus pumila	Creeping Fig	10'		M
									Gelsemium sempervirens	Carolina Jessamine	20'		L
									Hardenberdia violacea 'Happy Wanderer'	Hardenbergia Vine	10'		M
									Jasminum polyanthum	Pink Jasmine	20'		M
									Lonicera hispidula	Honeysuckle	3-10'		L
									Macfadyena unguis-cati	Cats Claw	20-40'		L
									Vitis californica	California Wild Grape	12-30'		VL
									Wisteria sinensis 'Alba' or 'Cooke's Special'				M