



City Council Chamber
390 Towne Centre Drive
Lathrop, California
(209) 941-7200
www.ci.lathrop.ca.us

Planning Commissioners

Steve Dresser, Chair

Gloryanna Rhodes, Vice Chair

Bennie Gatto

Tosh Ishihara

Ash Ralmilay

City Staff

Mark Meissner, Community Development Director &
Planning Commission Secretary

Rick Caguiat, Principal Planner

Trent DaDalt, Assistant Planner

David Niskanen, Consultant Planner

Salvador Navarrete, City Attorney

Maria Hermosilla, Senior Administrative Assistant

Public Participation

On March 4, 2020, Governor Newsom proclaimed a State of Emergency in California as a result of the threat of COVID-19. On March 12, 2020, Governor Newsom issued Executive Order N-25-20, which allows Planning Commission Meetings to be conducted telephonically. On March 17, 2020, Governor Newsom issued Executive Order N-29-20, which allows for the public to participate in any meeting of the Planning Commission by electronic means. This meeting is being conducted in person and by utilizing teleconferencing/electronic means consistent with State of California Executive Order N-29-20, dated March 17, 2020, and recent State Orders regarding the COVID-19 pandemic. In accordance with Executive Order N-29-20, the public may view the meeting on television and/or online.

Planning Commission Meetings are live-streamed on Comcast Cable Channel 97 and on the City's website at <https://www.ci.lathrop.ca.us/citycouncil/page/live-stream>

This meeting will be available for public participation by teleconference via ZoomGov at the following link:

<https://www.zoomgov.com/j/1615466084?pwd=WDBldGpXVlq4NlFpS2tkdXBadVZYdz09>

- ✚ During the meeting, those joining by ZoomGov, requesting to speak on an item will need to use the "raise hand" feature. Please ensure your computer speaker and microphone are fully functional.
 - ✚ Meeting ID: 161 546 6084 / Passcode: Lathrop
 - ✚ For audio only, call-in number: +1 (669) 254 5252. To request to speak (same as the "raise hand" feature) press *9 / when the host calls your name, press *6 to unmute.
- If you are not able to attend the meeting in person or virtually, public comment/questions will be accepted by email to Mark Meissner, Community Development Director and Planning Commission Secretary at planning@ci.lathrop.ca.us
 - In order to allow the Planning Commission adequate time to review questions and comments, please submit written questions or comments by 3:00 p.m., on the day of the meeting.
 - To address Planning Commission in person, please submit an orange card to the Planning Commission Secretary indicating name, address, and number of the item upon which a person wishes to speak.

Information

If you wish to appeal a decision of the Planning Commission, you must do so within ten (10) calendar days following the meeting. Please contact the Planning Division at (209) 941-7290 for information regarding the appeal procedure.

NOTE: If you challenge the nature of a proposed action in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

This agenda was posted at least 72 hours in advance of the scheduled meeting at the following locations: *City Hall, Community Center, Generations Center, Senior Center, and "J" Street and Somerston Fire Department Offices and the City website.* To obtain a hard copy of this agenda packet, please visit the Community Development Department counter located at 390 Towne Centre Drive, Lathrop, CA 95330, or you may also call (209) 941-7290 to have it sent via mail or e-mail. The agenda packet is available on the "Agendas & Minutes" page of the City of Lathrop website, please follow the link: <https://www.ci.lathrop.ca.us/meetings>



In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting please call (209) 941-7290. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to the meeting (28CFR 35.102.35.104 AD Title II).

CITY OF LATHROP
PLANNING COMMISSION
Agenda

SPECIAL MEETING
WEDNESDAY, AUGUST 4, 2021 AT 6:00 P.M.
CITY COUNCIL CHAMBERS
390 TOWNE CENTRE DRIVE, LATHROP, CA 95330

1. CALL TO ORDER

2. ROLL CALL

3. PLEDGE OF ALLEGIANCE

4. DECLARATION OF CONFLICT OF INTEREST

5. PUBLIC COMMENT

Persons who wish to speak to the Commission regarding an item that is not on tonight's agenda may do so at this time. Upon recognition by the Chairperson, please step forward to the podium; state your name, city of residence and subject matter.

6. AGENDA MODIFICATIONS

Items on the agenda requested to be added, deleted, or continued will be announced at this time.

7. APPROVAL OF MINUTES

None

8. PUBLIC HEARING ITEMS

None

9. SCHEDULED ITEMS

9.1 River Islands – Old River Neighborhood Design Plan (NDP) & Architectural Design Guidelines and Development Standards (DG/DS) NDP-21-93

Planning Commission to Consider Adoption of a Resolution to Approve the Old River Neighborhood Development Plan and the Old River Architectural Guidelines and Development Standards for River Islands at Lathrop (Stage 2B, Phase 2).

Location: Old River District (Stage 2B of Phase 2 of River Islands at Lathrop)

ENVIRONMENTAL STATUS: The Proposed Project falls within the scope of the previously certified Subsequent Environmental Impact Report (SEIR) (SCH No. 1993112027) for the River Islands at Lathrop Phase 2 Project; therefore, no further environmental review is required in accordance with the California Environmental Quality Act.

10. STAFF COMMENTS

11. PLANNING COMMISSION COMMENTS

12. ADJOURNMENT



PLANNING COMMISSION
STAFF REPORT

DATE: August 4, 2021

APPLICATION NO: River Islands – Old River Neighborhood Design Plan (NDP) & Architectural Design Guidelines and Development Standards (DG/DS) NDP-21-93

LOCATION: Old River District (Stage 2B of Phase 2 of River Islands at Lathrop)

REQUEST: Planning Commission to Consider Adoption of a Resolution to Approve the Old River Neighborhood Development Plan and the Old River Architectural Guidelines and Development Standards for River Islands at Lathrop (Stage 2B, Phase 2)

APPLICANT: River Islands Stage 2B, LLC
73 W. Stewart Road
Lathrop, CA 95330

PROPERTY OWNER: River Islands Stage 2B, LLC
73 W. Stewart Road
Lathrop, CA 95330

CEQA STATUS: The Proposed Project falls within the scope of the previously certified Subsequent Environmental Impact Report (SEIR) (SCH No. 1993112027) for the River Islands at Lathrop Phase 2 Project; therefore, no further environmental review is required in accordance with the California Environmental Quality Act.

SUMMARY:

The West Lathrop Specific Plan (WLSP) calls for the preparation of a Neighborhood Development Plan (NDP) for areas of new development within the River Islands at Lathrop Master Planned Community. The WLSP requires that the Developer (River Islands Development, LLC or “RID”) prepare the NDP for Planning Commission review and approval to ensure consistency with the WLSP, the Urban Design Concept (UDC) and Lathrop Municipal Code (LMC) Section 17.61.120(C).

The NDP covers the following items:

1. Restates approved land use and lotting patterns approved with the 2018 conformance finding of the City for Stage 2B and also reflects the provisions of the approved River Islands Parks & Open Space Master Plan for Phase 2.
2. Defines the location and design guidelines for community entry features, parks and public open spaces, consistent with the River Islands Parks & Open Space Master Plan for Phase 2.
3. Defines the aesthetic character of the residential neighborhoods and provide guidelines for design and landscaping of streets, fencing and walls, neighborhood gateways, pedestrian ways and other open space features.
4. Describes themes and standards for community monuments and signage.
5. Establishes a palette of trees, shrubs and groundcovers to be used in all public landscaping.

The WLSP also calls for the preparation of an Architectural Design Guidelines and Development Standards (DG/DS) for areas of new development within River Islands. The purpose of the DG/DS is to provide the necessary requirements and guidelines for the City of Lathrop to review new proposed homes for the River Islands Development Stage 2B, Phase 2. The DG/DS in particular is utilized by the residential builders and City staff to provide guidance regarding setbacks, lot standards, accessory structures, landscaping, etc.

The NDP & DGDS for the Old River District was presented to the Stewart Tract Design Review Committee (STDRC) on May 28, 2021. The STDRC voted unanimously to recommend the NDP and DG/DS for Planning Commission approval.

Staff recommends the Planning Commission adopt Resolution No. 21-21 and 21-22, approving the Neighborhood Development Plan and Architectural Design Guidelines and Development Standards, respectively, for the Old River District of River Islands at Lathrop (Stage 2B, Phase 2).

SITE DESCRIPTION

The Old River District is located within Stage 2B, Phase 2 of Vesting Tentative Map (VTM) 6716 and is adjacent to Lakeside West along the Old River boundary. This District consists five (5) villages, three (3) different lot sizes for low density residential, two (2) lot sizes for Courtyard lots (four-packs and eight/six-packs), and open space. As stated above, the Old River District is adjacent to the Lakeside West District along Old River.

BACKGROUND

In 2003, the River Islands project received various major entitlements including certification of a Subsequent Environmental Impact Report (SEIR), revised West Lathrop Specific Plan (WLSP), Urban Design Concept (UDC) and Phase 1 Preliminary Development Plan (PDP). The new project contemplated significant changes to the original concept known as Gold Rush City. The new project was to develop an Employment Center, Town Center, residential development equaling 11,000 new dwelling units, commercial development, open space, schools and public facilities.

In 2007, the River Islands project received approval for Vesting Tentative Map Tract 3694 in Phase 1 which provides development of 4,284 residential units (single and multifamily), commercial development and associated public amenities including parks, schools, roadways, open space, and public right-of-ways.

In 2015, the River Islands project received approval for various major entitlements including approval of a Fifth Addendum to the SEIR, major amendments to the WLSP and River Islands UDC, and amendment to the Vesting Tentative Map Tract 3694 to accommodate various changes to the boundaries, roadways, single-family and multi-family unit mix, replacement of the canal system with a lake system, open space and parkland modifications, and to allow decentralized lakes. This action also approved the revised River Islands Parks Master Plan, which was approved in 2007 and updated in 2013 to reflect the Community at South River Bend (CSRB) final maps.

In 2021, the River Islands project received approval for various major entitlements for Phase 2, including approval of a SEIR, Phase 2 WLSP, Phase 2 UDC, Phase 2 Vesting Tentative Map Tract 6716 which provides development of 10,726 residential units (single and multifamily), commercial development, mixed use development, transit oriented development, and associated public amenities including parks, schools, roadways, open space, and public rights-of-way, and Phase 2 PDP.

The Old River District was part of the River Islands Phase 1 development (VTM Tract 3694). The Old River District was moved to Phase 2 due to an increase in residential density in Phase 1 and as a result, the number of units would exceed unit count allowed per VTM Tract 3694. To date, the City has approved the NDP and DG/DS for the Community at South River Bend (CSRB), East Village, Lakeside East, and Lakeside West Districts. The development includes 526 units in five (5) villages.

As noted above, the NDP & DG/DS for the Old River District was presented to the Stewart Tract Design Review Committee (STDRC) on May 28, 2021. The STDRC voted unanimously to recommend the NDP and DG/DS for Planning Commission approval.

ANALYSIS

Neighborhood Development Plan

The proposed Old River District NDP addresses the requirements for implementation of projects in River Islands as required by the WLSP, UDC, and Lathrop Municipal Code Section 17.61.120: *Neighborhood development plan*. The NDP provides requirements for the use, development, improvement and maintenance of master developer-constructed portions of the River Islands project.

This NDP is limited to public realm improvements that will be designed and constructed by RID and its public partners (RD 2062, Lathrop Irrigation District and RIPFA) and subsequently maintained by either the City, RD 2062 or RIPFA. The Old River NDP is also meant to provide general guidance to the STDRC in considering more specific proposals for public improvements in certain cases. Specific proposals and resulting construction drawings will need to be consistent with the design themes, concepts, guidelines and standards set forth in the NDP.

The NDP describes specific project features that will be reflected in project design, but the exact materials, location and appearance of each project will be further defined in construction drawings to be reviewed and recommended by the STDRC and approved by the City. As an example, there are Gateway features proposed with the NDP to announce certain neighborhoods in the Project Area. The NDP describes the purpose, intent and general appearance and location of these Gateways, but the specific designs, materials, location and construction will be defined as improvement plans are prepared and considered by the design professionals of the STDRC and submitted to the City for approval with construction drawings.

Design Guidelines and Development Standards

The proposed Old River District DG/DS establishes design guidelines and standards for residential development and associated site improvements to be constructed by the residential builders within this new development area. This includes overall residential design principles, guidelines for orientation, siting and architecture of new residences, and more specific guidelines for building form, roof style, wall and window details, outdoor spaces and colors for seven distinct residential architectural styles. These styles, drawn from a larger palette in the UDC, are the same as included in the CSRB, East Village, Lakeside East, and Lakeside West DG/DS. These styles include:

1. American Traditional
2. European Cottage
3. Savannah
4. California Ranch
5. Craftsman
6. California Modern
7. Modern Farmhouse
8. Spanish Eclectic
9. Modern Ranch
10. Transitional Spanish
11. Modern Prairie
12. Progressive Traditional

The Old River District DG/DS contains many of the same elements of the Lakeside West District DG/DS. Existing and future homebuilders have expressed interest in expanding to more modern styles of architecture.

Similar to the previous districts, the Old River District DG/DS describes specific development standards (i.e. lot size, yard requirements, building height, parking requirements) for each of the residential lot sizes. The DG/DS also specifies residential facades and side yards that will require “enhanced architectural elevations.” In addition, the DG/DS provides landscaping guidelines and standards for streetscapes, front yard areas, and rear yards on lake slopes of waterfront lots and walls and fences to be developed by the residential builders.

The NDP and DG/DS will serve as resource documents for the STDRC, Planning Commission, City Council (as applicable) and City staff in their review of subsequent projects. The Planning Commission is the final approval authority for the NDP and DG/DS. Approval of the NDP and DG/DS do not require a formal public hearing.

CEQA REVIEW

Environmental review for the River Islands project as a whole was completed in the certified Subsequent Environmental Impact Report (SEIR) for the River Islands at Lathrop Phase 2 Project (State Clearinghouse No. 1993112027). The SEIR considered the full range of potential environmental effects of urban development of the entire River Islands Project, including planned urban development of the Project Site.

The project would not produce any new significant environmental impacts, and no new mitigation measures are required. The SEIR specified the mitigation measures needed to reduce potentially significant environmental effects of the River Islands project to a less than significant level. The project is required to conform to these mitigation measures.

RECOMMENDATION:

Approval of the Old River Neighborhood Development Plan (NDP) and Architectural Design Standards and Development Standards (DG/DS) fulfills a specific requirement of the West Lathrop Specific Plan and LMC Code Section 17.61.120. The NDP and DG/DS have been reviewed by the STDRC and City staff and is hereby recommended to the Planning Commission for approval.

Staff recommends that the Planning Commission adopt Resolution 21-21 and Resolution 21-22 approving the Old River Neighborhood Development Plan and Architectural Design Guidelines and Development Standards, respectively, for River Islands at Lathrop (Stage 2B, Phase 2).

Approvals:



David Niskanen, Contract Planner

7/28/2021

Date



Rick Caguiat, Principal Planner

7/28/21

Date



for Mark Meissner, Community Development Director

7/28/21

Date



Salvador Navarrete, City Attorney

7-28-2021

Date

Attachments:

1. PC Resolution No. 21-21 for the Old River Neighborhood Development Plan (NDP) for River Islands at Lathrop (Stage 2B, Phase 2)
2. PC Resolution No. 21-22 for the Old River Architectural Design Guidelines and Development Standards (DG/DS) for River Islands at Lathrop (Stage 2B, Phase 2)
3. Vicinity Map
4. STDRC NDP and DG/DS recommendation letter from its Meeting of May 28, 2018.
5. Old River Neighborhood Design Plan (NDP)
6. Old River Architectural Design Guidelines and Development Standards (DG/DS)

**CITY OF LATHROP
PLANNING COMMISSION RESOLUTION NO. 21-21**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LATHROP
APPROVING THE OLD RIVER DISTRICT NEIGHBORHOOD DEVELOPMENT
PLAN (NDP) FOR STAGE 2B, PHASE 2 OF THE RIVER ISLANDS AT LATHROP
PROJECT
(NDP-21-93)**

WHEREAS, the City of Lathrop has adopted the West Lathrop Specific Plan 2020 Amendment for Phase 2 (WLSP), which governs land use and development within Stewart Tract; and

WHEREAS, the WLSP provides that an Urban Design Concept 2020 Amendment for Phase 2 (UDC) be prepared, reviewed by the Planning Commission and approved by the City Council;

WHEREAS, the WLSP requires that a Neighborhood Development Plan (NDP) and Architectural Design Guidelines and Development Standards (DG/DS) be prepared, reviewed by the Stewart Tract Design Review Committee (STDRC), and approved by the Planning Commission for each community within the River Islands project; and

WHEREAS, an NDP for the Old River District has been prepared, reviewed and recommended to the Planning Commission for approval with revisions specified by the STDRC at their May 28, 2021 meeting; and

WHEREAS, approval of the NDP would have no potentially significant environmental effects and are therefore exempt from the California Environmental Quality Act.

NOW, THEREFORE, BE IT RESOLVED the Planning Commission of the City of Lathrop does hereby make the following findings:

1. The Planning Commission finds that the Old River District NDP is compatible and consistent with the West Lathrop Specific Plan 2020 Amendment for Phase 2, the Urban Design Concept 2020 Amendment for Phase 2, and the Lathrop General Plan, as amended, and with existing and planned land uses in the project vicinity.
2. The Planning Commission finds that environmental review for the Old River District NDP has been adequately provided in the certified Subsequent Environmental Impact Report (SEIR) for the River Islands at Lathrop Phase 2 Project, and the Plan does not require further review under the California Environmental Quality Act (CEQA), for the following reasons:
 - a) The City Council certified the Final Subsequent Environmental Impact Report for the River Islands Phase 2 Project in June 2021 (State Clearinghouse No. 1993112027).

The certified River Islands SEIR comprehensively addresses the potential environmental effects of urban development of the entire RI Project, including the intensive urban development of the Phase 2 development area. The Old River District NDP merely provides guidance to permitted public uses so that they are consistent with the West Lathrop Specific Plan 2020 Amendment for Phase 2, the Urban Design Concept 2020 Amendment for Phase 2, Vesting Tentative Map Tract 6716 and certified SEIR.

- b) The Old River District NDP is statutorily exempt from CEQA under Section 15262 of the CEQA Guidelines and relevant sections of the Public Resources Code, since it only involves guidance for already approved development that has project level CEQA review and can be considered a planning study for possible future actions (such as the issuance of a building permit, which is ministerial) for which the City has not yet approved and does not require the preparation of an EIR or Negative Declaration. The River Islands SEIR has already considered environmental factors for proposed development in Phase 2 and the Old River District NDP does not include any new information regarding these factors.

BE IT FURTHER RESOLVED that based on the findings set forth in this Resolution, evidence in the Staff Report, and evidence presented during the public meeting, the Planning Commission hereby approves the Old River Neighborhood Development Plan (NDP) for Stage 2B, Phase 2 of the River Islands at Lathrop Project as included in Attachment 4 as recommended by Staff and the STDRC.

PASSED AND ADOPTED by the Planning Commission of the City of Lathrop at a Special Meeting on the 4th day of August 2021, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Steve Dresser, Chair

ATTEST:

APPROVED AS TO FORM:

Mark Meissner, Secretary



Salvador Navarrete, City Attorney

**CITY OF LATHROP
PLANNING COMMISSION RESOLUTION NO. 21-22**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LATHROP
APPROVING THE OLD RIVER DISTRICT ARCHITECTURAL DESIGN
GUIDELINES & DEVELOPMENT STANDARDS (DG/DS) (STAGE 2B, PHASE 2 OF
THE RIVER ISLANDS AT LATHROP PROJECT)**

WHEREAS, the City of Lathrop has adopted the West Lathrop Specific Plan 2020 Amendment for Phase 2 (WLSP), which governs land use and development within Stewart Tract; and

WHEREAS, the WLSP provides that an Urban Design Concept 2020 Amendment for Phase 2 (UDC) be prepared, reviewed by the Planning Commission and approved by the City Council;

WHEREAS, the WLSP requires that a Neighborhood Design Plan (NDP) and Architectural Design Guidelines (DG/DS) be prepared, reviewed by the Stewart Tract Design Review Committee (STDRC), and approved by the Planning Commission for each community within the River Islands project; and

WHEREAS, the Architectural Design Guidelines & Development Standards for the Old River District has been prepared, reviewed and recommended to the Planning Commission for approval with revisions specified by the STDRC at their May 28, 2021 meeting; and

WHEREAS, approval of the Architectural Design Guidelines & Development Standards would have no potentially significant environmental effects and are therefore exempt from the California Environmental Quality Act.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Lathrop does hereby make the following findings:

1. The Planning Commission finds that the Old River District DG/DS is compatible and consistent with the West Lathrop Specific Plan 2020 Amendment for Phase 2, the Urban Design Concept 2020 Amendment for Phase 2, and the Lathrop General Plan, as amended, and with existing and planned land uses in the project vicinity.
2. The Planning Commission finds that environmental review for the Old River District DG/DS has been adequately provided in the certified Subsequent Environmental Impact Report (SEIR) for the River Islands at Lathrop Phase 2 Project, and the Plan does not require further review under the California Environmental Quality Act (CEQA), for the following reasons:
 - a) The City Council certified the Final Subsequent Environmental Impact Report for the River Islands Phase 2 Project in June 2021 (State Clearinghouse No. 1993112027).

The certified River Islands SEIR comprehensively addresses the potential environmental effects of urban development of the entire RI Project, including the intensive urban development of the Phase 2 development area.

The Old River District DG/DS merely provides guidance to permitted public uses so that they are consistent with the West Lathrop Specific Plan 2020 Amendment for Phase 2, the Urban Design Concept 2020 Amendment for Phase 2, Vesting Tentative Map Tract 6716 and certified SEIR.

- b) The Old River District DG/DS is statutorily exempt from CEQA under Section 15262 of the CEQA Guidelines and relevant sections of the Public Resources Code, since it only involves guidance for already approved development that has project level CEQA review and can be considered a planning study for possible future actions (such as the issuance of a building permit, which is ministerial) for which the City has not yet approved and does not require the preparation of an EIR or Negative Declaration. The River Islands SEIR has already considered environmental factors for proposed development in Phase 2 and the Old River NDP does not include any new information regarding these factors.

BE IT FURTHER RESOLVED that based on the findings set forth in this Resolution, evidence in the Staff Report, and evidence presented during the public meeting, the Planning Commission hereby approves the Old River District Architectural Design Guidelines and Development Standards (DG/DS) for Stage 2B, Phase 2 of the River Islands at Lathrop Project as included in Attachment 5 as recommended by Staff and the STDRC.

PASSED AND ADOPTED by the Planning Commission of the City of Lathrop at a Special Meeting on the 4th day of August 2021, by the following vote:

AYES:

NOES:

ABSTAIN:


ABSENT:

Steve Dresser, Chair

ATTEST:

APPROVED AS TO FORM:

Mark Meissner, Secretary



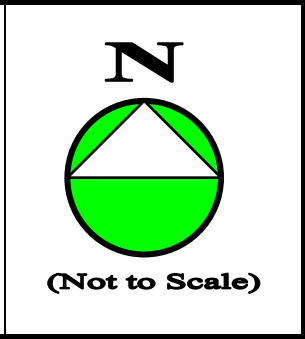
Salvador Navarrete, City Attorney

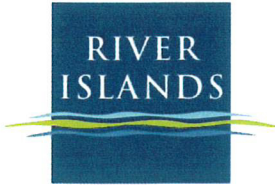


PLANNING DIVISION
Vicinity Map



**Neighborhood Development Plan (NDP)
 & Architectural Design Guidelines and
 Development Standards (DG/DS)
 Old River District
 River Islands**





June 1, 2021

Mr. Mark Meissner
Community Development Director
City of Lathrop
390 Towne Centre Drive
Lathrop, CA 95330

Email: mmeissner@ci.lathrop.ca.us

Subject: Review and Recommendation of Old River District NDP and AG/DS Documents

Dear Mark:

At its scheduled meeting of May 28, 2021, the Stewart Tract Design Committee reviewed the following Phase 2 related documents and plans:

1. Old River District Neighborhood Development Plan (NDP)
2. Old River District Architectural Guidelines and Design Standards (AG/DS)

After review, the STDRC voted unanimously to recommend approval of the public review drafts as provided to your staff.

If you have any questions regarding this letter, please feel free to contact me at (209) 879-7900 or at sdelloso@riverislands.com.

Sincerely,

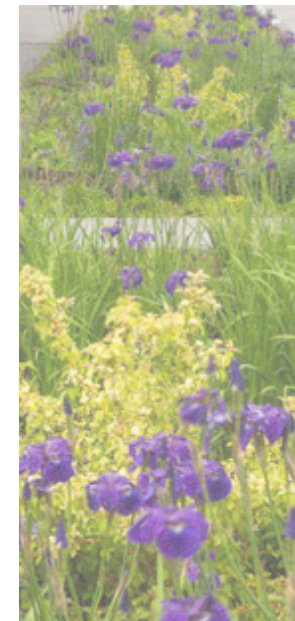
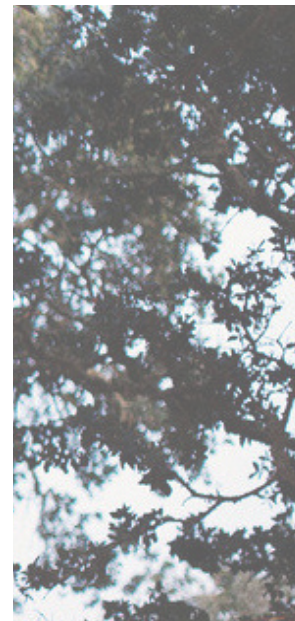
A handwritten signature in black ink, appearing to read "Susan Dell'Osso", written over a light blue horizontal line.

Susan Dell'Osso
President

cc: Glenn Gebhardt, City Engineer
Michael King, Public Works Director
Stephen Salvatore, City Manager
Salvador Navarrete, City Attorney
David Niskanen, Contract Planner

RIVER ISLANDS OLD RIVER DISTRICT NEIGHBORHOOD DEVELOPMENT PLAN

RIVER ISLANDS / LATHROP / CALIFORNIA



JULY 2021

**RIVER ISLANDS
OLD RIVER DISTRICT
NEIGHBORHOOD DEVELOPMENT PLAN**

07.23.2021

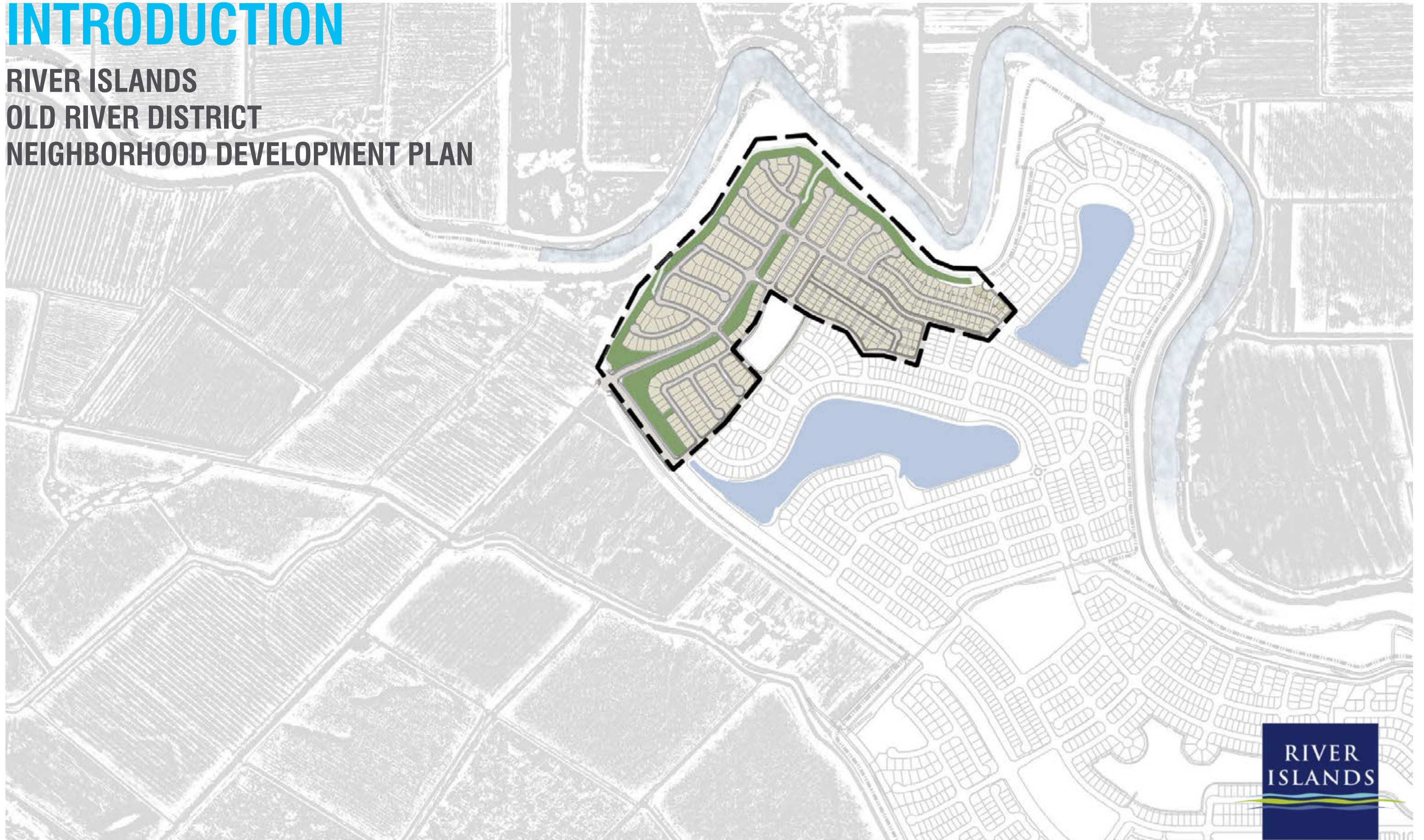


TABLE OF CONTENTS

INTRODUCTION Intent & Scope Consistency Site Orientation Master Plan Evolution Character & Context Vision of the NDP/Guiding Principles	5	PARKS AND OPEN SPACE Master Plan Intent Park & Open Space Designation Map Park & Open Space Acreage	33	APPENDICES Example of Construction & Plant Materials Plant Selection Guide	51
NEIGHBORHOOD CONCEPTS Land Use Neighborhood Elements Open Space Land Use Park Designation Map	13	IN-TRACT LANDSCAPING Parkway Strips Street Trees	36		
CIRCULATION Circulation Concept Circulation: Bike & Pedestrian	18	LANDSCAPE AND PLANTING Landscape Plan Irrigation Soil Preparation	39		
STREETSCAPES Street Character Community Collector Streets Street Tree Master Plan Street Sections Neighborhood Gateways Round-A-bouts Neighborhood Entries	21	FENCING & WALLS Fences & Walls	43		
		SITE FURNISHINGS Colors Paving Street Lights Street Furniture Signage	47		

INTRODUCTION

RIVER ISLANDS
OLD RIVER DISTRICT
NEIGHBORHOOD DEVELOPMENT PLAN



INTENT & SCOPE

The objective of this Neighborhood Development Plan (NDP) for River Islands Old River District is to create an urban community that feels as if it grew within the context of the California Delta and riverways as a corridor between the rural agricultural and country living of the San Joaquin Valley, paying homage to this unique and historical region. The River Islands Community seeks to continue the unique spirit of the San Joaquin Valley by once again creating a parcel of ground that will grow a community and recreational way of life that celebrates the San Joaquin River.

As development of this new community continues, the opportunity exists to integrate River Islands into its surroundings in a way that is both authentic and restorative. Now, more than ever, we recognize the usefulness of working with nature and adopting the environmental stewardship that will serve in maintaining and expanding proper use of the land. The River Islands concept serves to integrate ornamental and durable plantings and natural materials such as river cobbles, boulders, and wood, creating an environment similar to nearby riparian environments.

Development of recreational spaces and trail systems will serve as respite from fast-paced and stressful modern lives, allowing for individual discovery of harmony and rejuvenation through interaction and exercise within ones home community.

Old River District will also include investment in green infrastructure via a riverfront park and greenway spanning the levee. The purpose of this feature is to connect residents and visitors to the natural beauty of the San Joaquin River System. Landscape material will be selected specifically with an eye to native plants and materials that will withstand seasonal variations in water depth. The riverfront park feature will double as an educational element, showcasing the community's forward-thinking investment in the environmental health of the region.

The NDP addresses the City of Lathrop's requirements for implementation of projects at the River Islands at Lathrop Master Planned Community as required by the West Lathrop Specific Plan (Specific Plans or WLSP) and as specified in the Lathrop Municipal Code, Section 17.61.120. The NDP provides specific direction for the use, development, implementation and maintenance of developer-constructed portions of the River Islands project. The term "neighborhood(s)" refer to specific areas shown on page 14: Land Use.

This NDP serves to direct the course of the design for the Old River District portion of the project comprised of Phase 2. This document breaks down the project into several separate and distinct design aspects: Streetscapes and Entries; Parks and Open Space; and In-Tract Design Parameters.

This document is specific to "public or other public agencies" improvements that will be designed and built by River Islands Development, LLC. Individual builders will conform to the approved Architectural Guidelines (see Appendix 2: Architectural Guidelines). These guidelines and standards are referenced as needed and aspects that will be required by both Developer and Builder will be identified within this NDP and the approved Architectural Guidelines.

This NDP provides direction on the intended character for the Old River District and should be considered and consistent in the themes and concepts developed herein for use in development of future construction drawings within the Old River District project areas. This NDP identifies project features, themes and concepts; however, exact materials, locations and final appearances will be deferred to construction drawings and the recommendations by the DRB to be reviewed and approved by the City based upon these guidelines.



CONSISTENCY

Previous approvals for the River Islands project include:

1. West Lathrop Specific Plan – Describes land use, circulation, infrastructure, implementation and standards for both the River Islands and Mossdale Village planning areas.
2. River Islands at Lathrop Urban Design Concept (UDC) – detailed urban design guidelines and land use development standards for the 4,800 acre planned Community
3. River Islands Vesting Tentative Map – Defines lotting patterns, descriptions, major roads, grade elevations and conceptual utility layouts for Phase 1 of River Islands (Tract 3694 1,793 acres).
4. Neighborhood Design Plan (NDP) for the Community at South River Bend – detailed material and plant selections, landscape concepts, layout and design intent for entry roads, Vega Park, Sunset Park, Pocket Parks and In-Tract landscape improvements.
4. Neighborhood Design Plan (NDP) for River Islands, Phase 1B (Lakeside East District Stage 2A, Lakeside West District Stage 2B).
5. Stage 2B Preliminary Development Plan (PDP)

This NDP is intended to be consistent with the themes and concepts of the River Islands Development as previously defined and shall conform with the City of Lathrop's General Plan, Subdivision Code and Zoning Code. Images may differ, however, concept shall be consistent with themes and intent. For purposes of this document, the term NDP shall mean Neighborhood Development Plan and/or Neighborhood Design Plan, which can be used interchangeably and share the same meaning under the adopted WLSP and UDC.



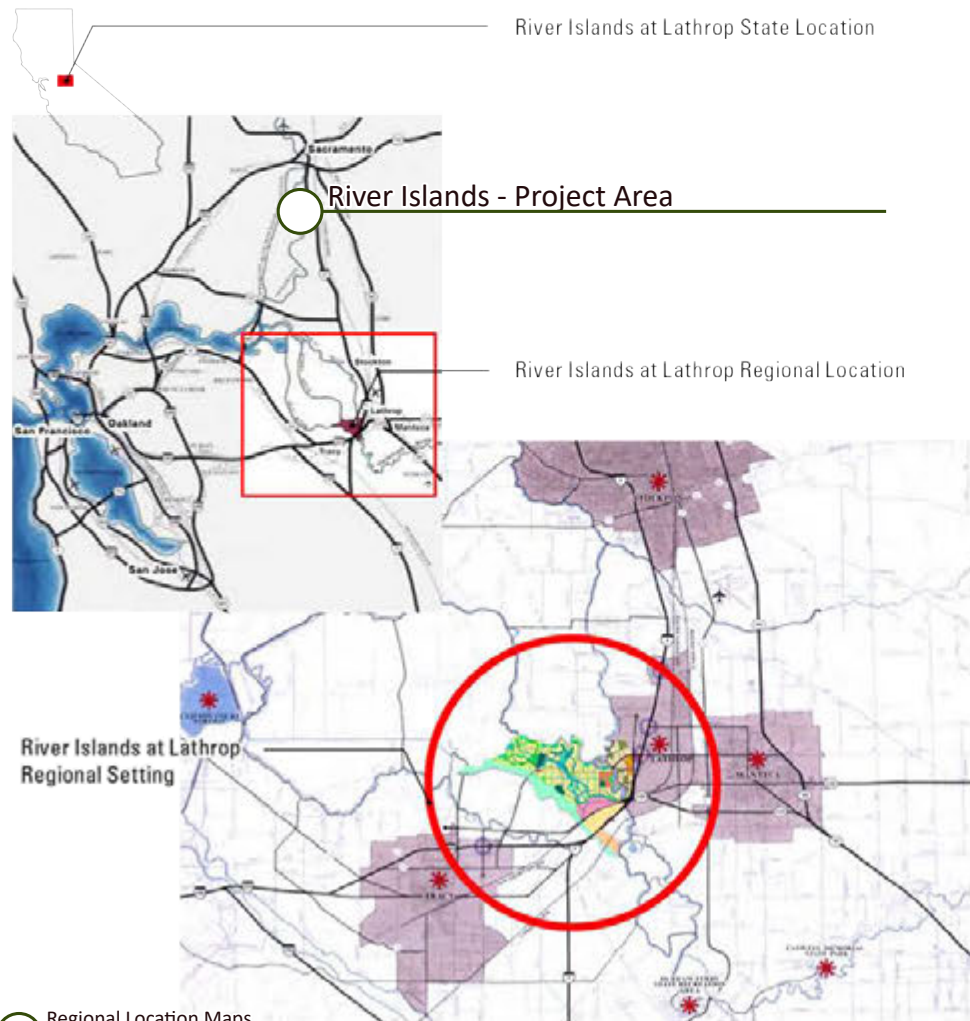
SITE ORIENTATION

Located along the western edge of the San Joaquin River and southeastern edge of the California Delta, River Islands is centrally located an hour's drive from the San Francisco Bay Area, Sierra Nevada Mountains and the California State Capitol. This community facilitates its own schools, commercial center, and vehicular access to the state's rapidly growing job markets, and features development of a recreation-based community with pedestrian access to numerous parks, trails, lakes and rivers within the sunny agricultural Central Valley. The River Islands community is ideal for families with a desire to connect to the region's rural past.

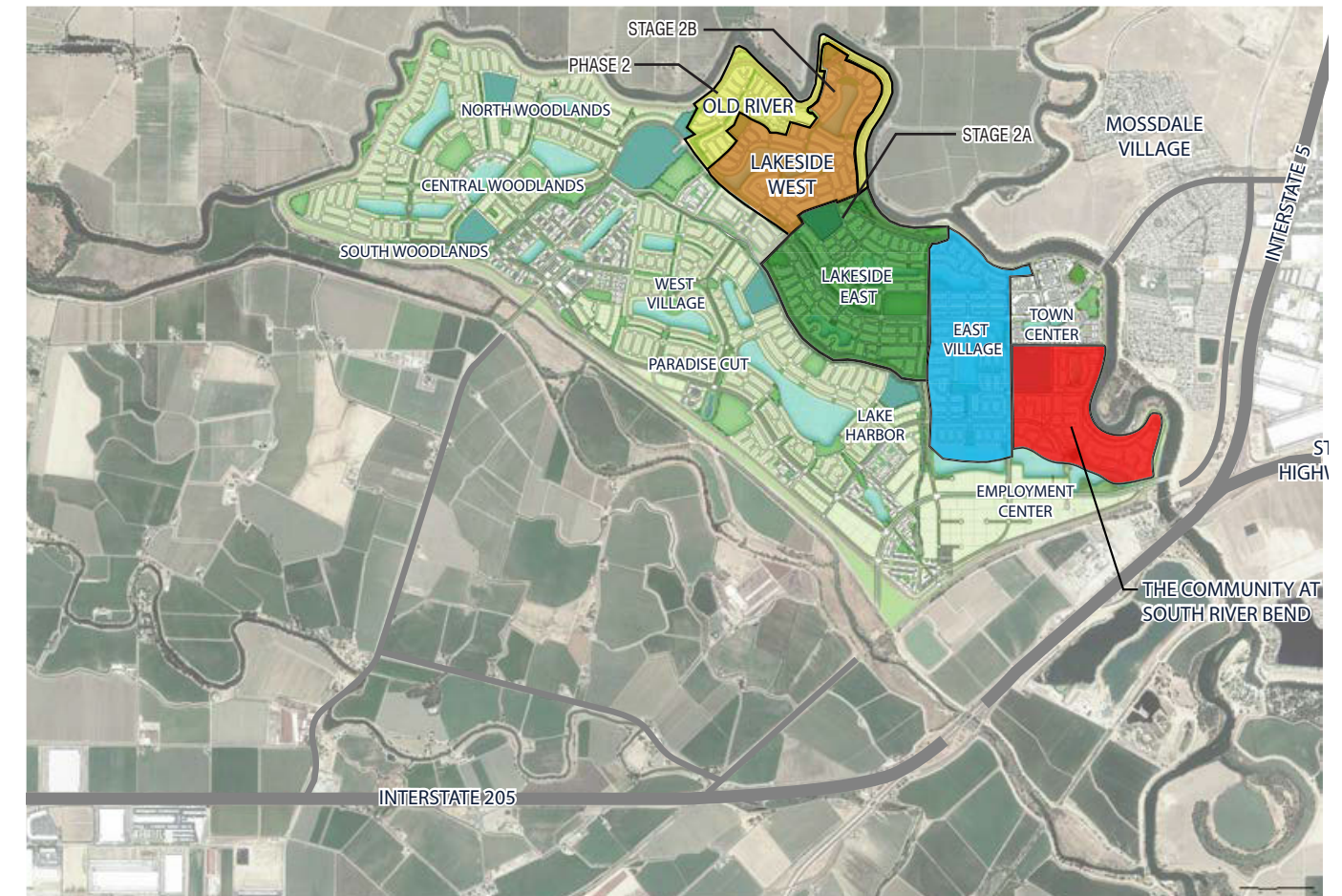
Images shown on this page identify the regional location of the River Islands project as well as previous concepts and approved plans.



○ Planning Context Diagram



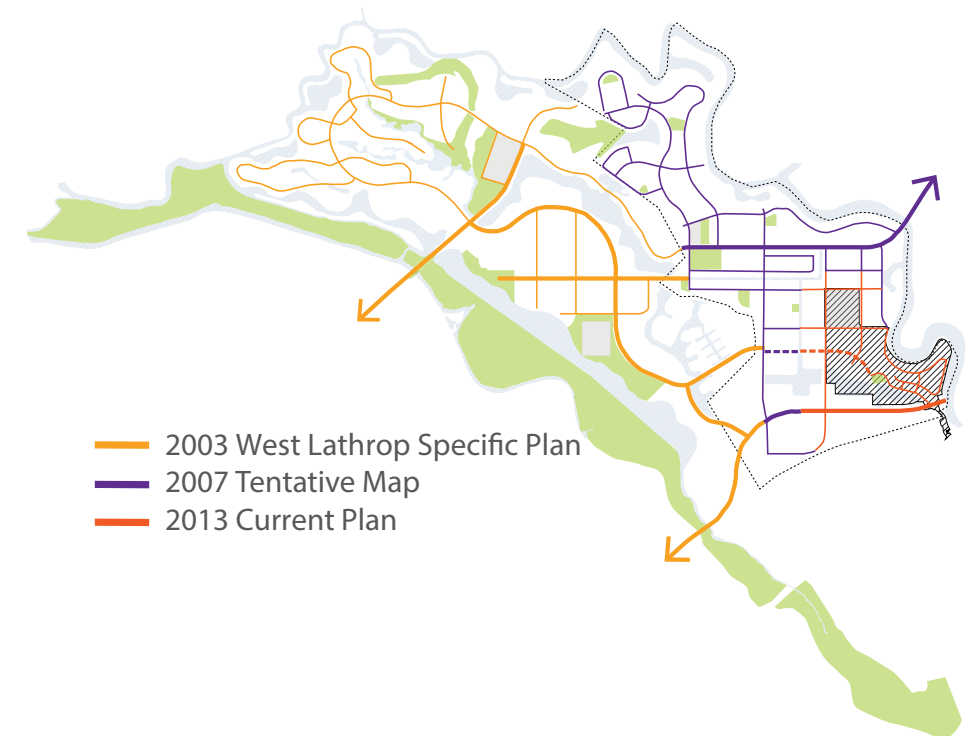
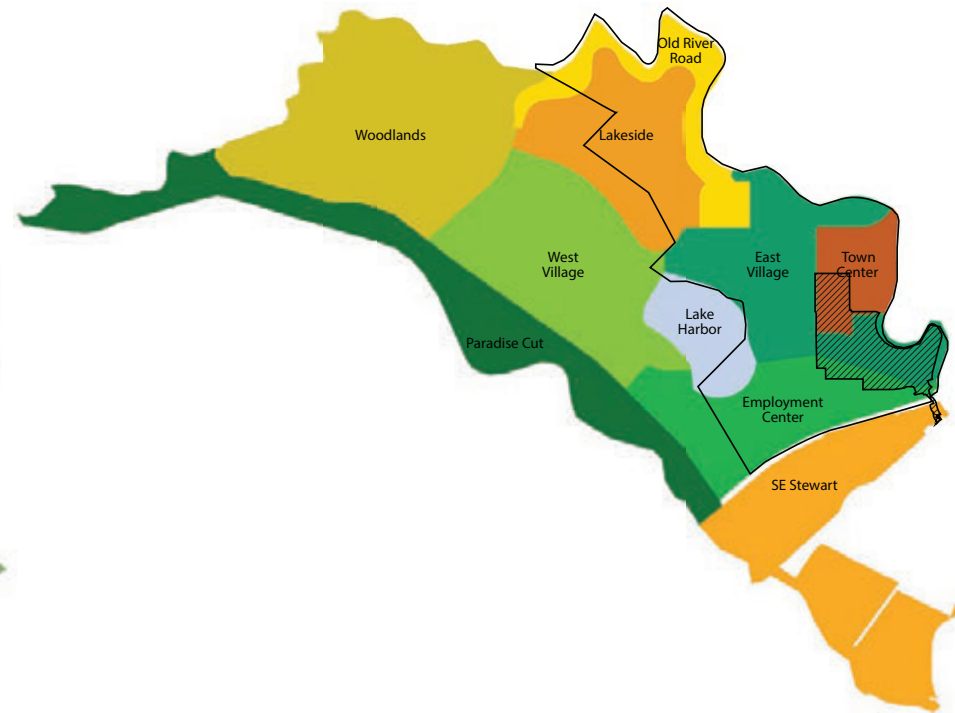
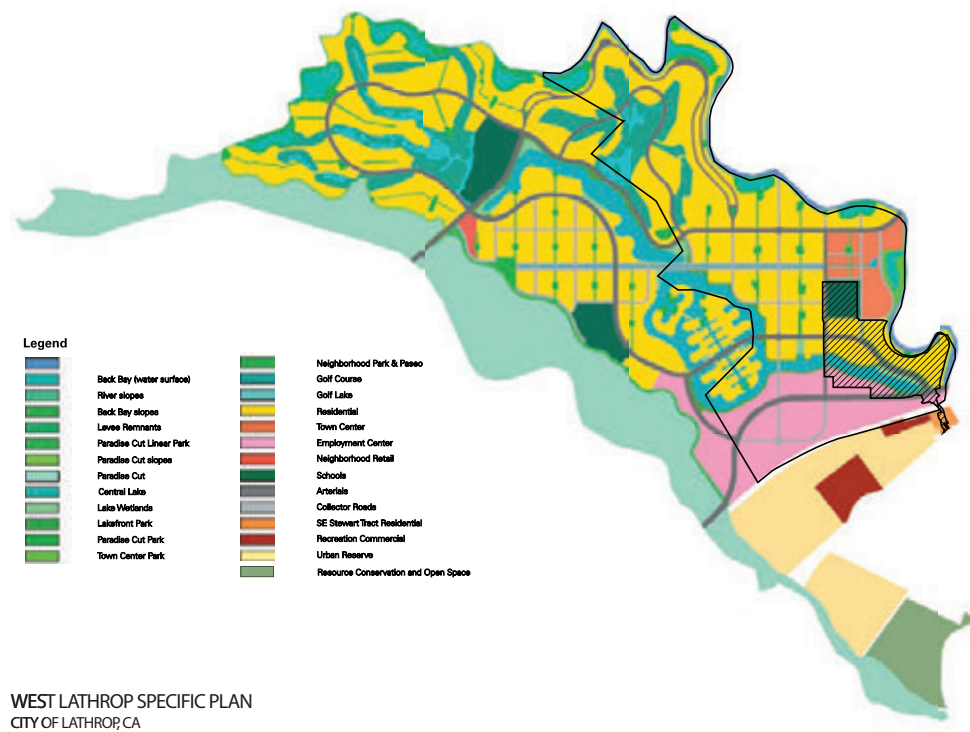
○ Regional Location Maps



○ River Islands Illustrative Master Plan

MASTER PLAN EVOLUTION

History, land use and plans evolve. Through intelligent land planning, study and vision, the River Islands Master plan also evolved to best serve land use and circulation patterns. The Old River District (Phase 2) concept continues to interact with the built environment and the natural context and character of the unique landscape of the California Delta.



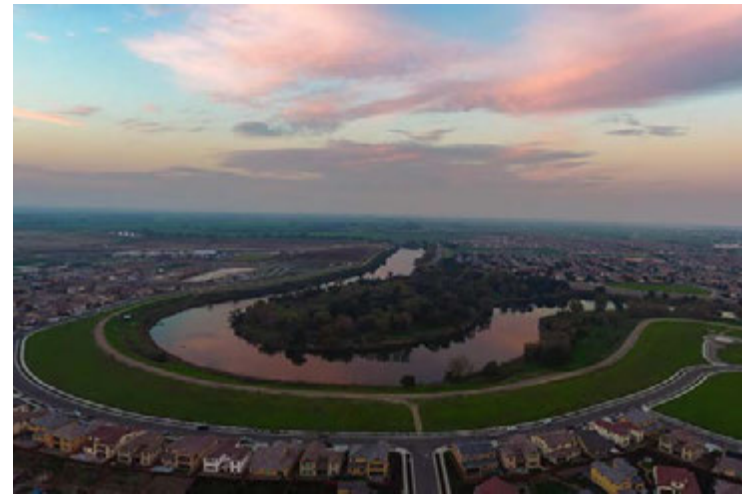
2003 West Lathrop Specific Plan - Proposed Land Use

2003 West Lathrop Specific Plan - Districts

Plan Evolution & Road Network Connectivity

CHARACTER & CONTEXT

River Islands attempts to intertwine the historical setting of the Delta Valley by paying homage to the riparian environment and the agricultural setting of the San Joaquin Valley. This concept seeks to blend modern homes into historical land uses of Central Valley farm lands and surrounding waterways that give such life to the environment. Each community seeks to create its own unique identity while tying each of them together through familiar paseos, trails, open spaces and parks which reflect the region's agricultural and open feel.



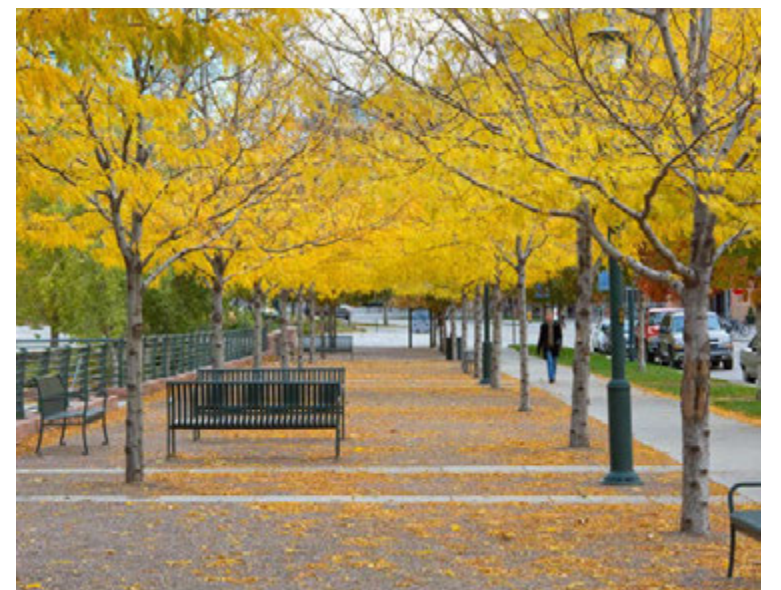
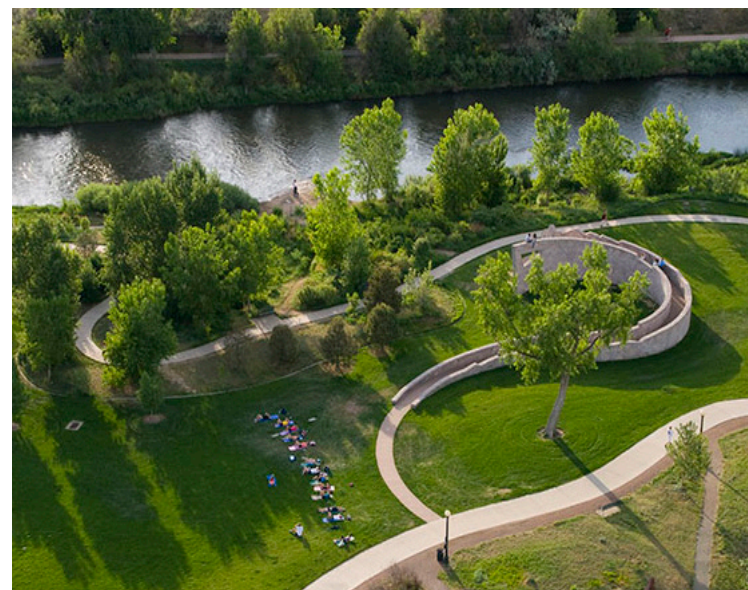
VISION OF NDP

The vision for River Islands Old River District (Phase 2) is to create a formal urban community that has emerged within the context of a natural riparian and agricultural corridor of the delta. River Islands will celebrate the valley's historic riparian ties to its communities. The Old River District will promote development of strong pedestrian pathways that connect usable spaces and encourage pedestrian interaction. The Old River District will also expand into a showcase river trail with river overlook vistas, pedestrian trails, and bridges that will connect the community directly to the beauty of this regional asset.

Landscape character will intermingle the site's primary influences of rich agricultural farms and numerous serpentine San Joaquin waterways and habitat. This community will develop through a hierarchy of perimeter river access ways, paseos, and other pedestrian trails at and near lake systems. These areas will create a patchwork of distinct neighborhoods, all of which reflect the character of the Central Valley.

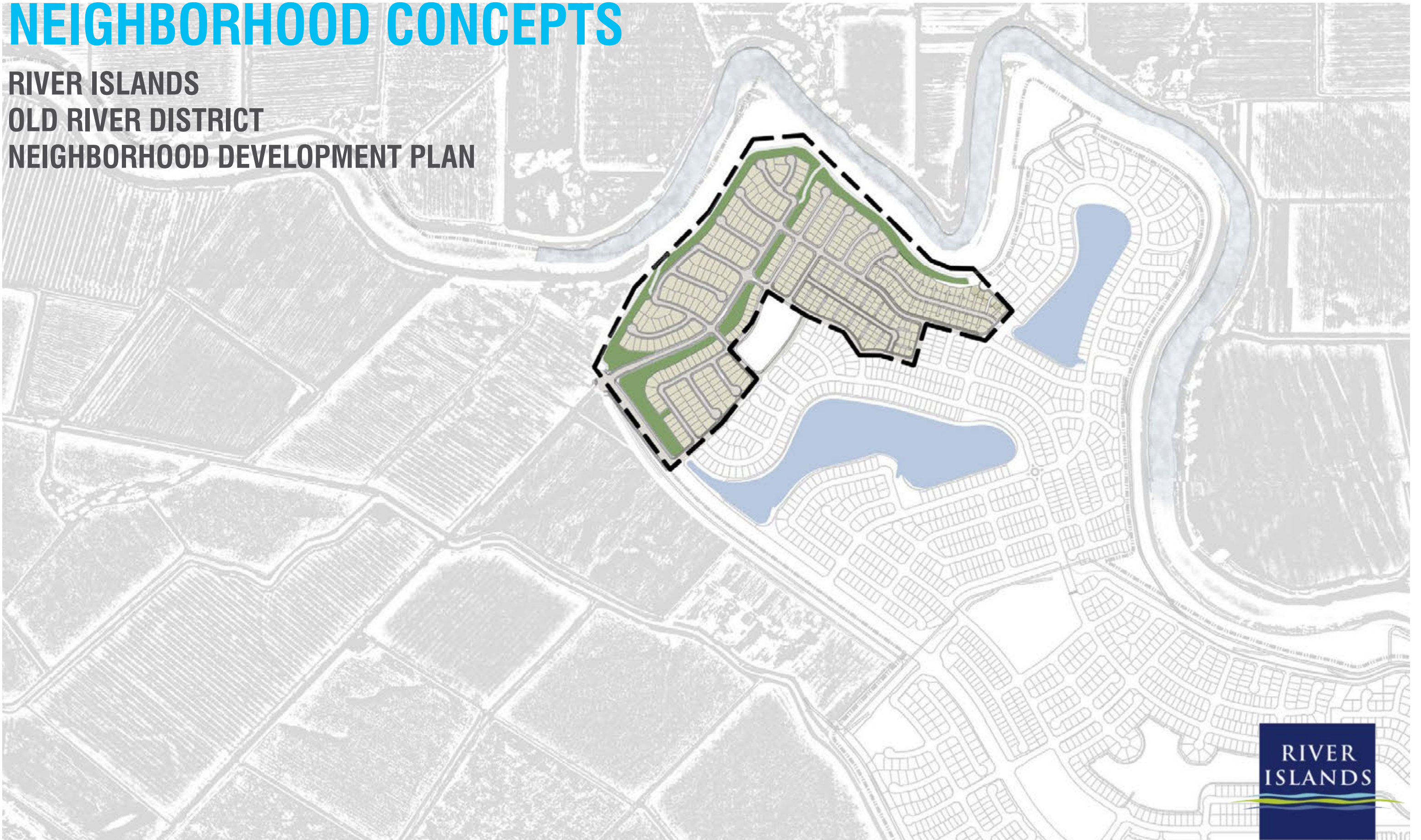
GUIDING PRINCIPLES FOR RIVER ISLANDS

- A community connected to the land and to unique employment, recreation and cultural opportunities of the Central Valley.
- A lush and fertile landscape that blends rich waterways and wetlands into a structured environment with agrarian character of surrounding agricultural land.
- A community that continues to focus on principles of water management, native environments and productive agricultural land.
- A thriving neighborhood community tied to the river and its waterways through walking opportunities and bike trails connecting plentiful parks and open spaces.
- A unique and self-supporting community embedded within an agricultural valley.



NEIGHBORHOOD CONCEPTS

RIVER ISLANDS
OLD RIVER DISTRICT
NEIGHBORHOOD DEVELOPMENT PLAN



LAND USE

River Islands Old River District (Phase 2) neighborhoods will be developed with 5 villages, 440 homes, related street improvements, trails, and open spaces. These land uses comply with the West Lathrop Specific Plan, which designate the areas as Low Density Residential development with an RL-R1 zoning classification. Per the Specific Plan, uses are as follows:

Permitted Uses

- Single Family Residential
- Townhomes
- Public Parks and Open Space
- Home Business (subject to City approval)






Density:

- 3-9 dwelling units/ Acre (Max Coverage 50%)
- Setbacks, lot depth and width, per UDC. (See Architectural Guidelines for lot standards.)

Note: Total number of units in Old River District may increase due to pending re-zoning. Final layouts for Villages II and KK may vary from shown subject to final map approval.



Lotting Summary

AREA	VILLAGE	PRODUCT TYPE	Units
	KK	55' x 60'	84
	II	50' x 80'	95
	FF (PARTIAL)	52' x 100'	60
	HH	50' x 80'	91
	GG	55' x 100'	110

NEIGHBORHOOD ELEMENTS

As River Islands grows to expand into the communities of Old River District (Phase 2), the same strong neighborhood character established in the Lakeside East District, South River Bend Community, East Village, and the first phase of River Islands will be used as a basis for further residential development. A variety of lot sizes and types will be provided. New neighborhoods will be connected through a strong framework of roads, entries and numerous open spaces, lakes and parks.

The intention for River Islands Old River District (Phase 2) is to create a community that feels integrated into the rural agrarian context synonymous with the Delta Valley; a place where nature and the community can interact and residents are re-energized by this rediscovery of their connection to nature. The open space and unifying bioswale element will contribute to the distinctive quality of Old River District (Phase 2). The community establishes its unique character through urban elements that create a community space at pedestrian scales.



Neighborhood Elements Legend

FEATURE AREA	PARK NAME
	Open Space
SYMBOL	FEATURE TYPE
	Neighborhood Entry
	Neighborhood Gateway
	Community Wall

OPEN SPACE LAND USE

Open spaces help define places and provide meeting locations, recreational opportunities and visually stimulating points of interest. Open spaces can be defined as large neighborhood parks, pocket parks, lake frontage, streetscapes and trails. Each open space creates an environment specific to its location and context.









In-tract streetscapes are defined as landscape areas between curbs and sidewalks and create consistent themes for streets within each community.

Off-site streetscapes are areas outside the subdivision along major streets and include parkway strips, areas between the sidewalk and masonry walls or fences and neighborhood gateways. These spaces create a consistent theme throughout Old River District (Phase 2) and encourage passive recreation and pedestrian interaction.

The Old River District (Phase 2) encourages pedestrian access throughout the entire community. A network of trails and pathways throughout River Islands makes this a unique and interactive community. Proximity to the San Joaquin River affords the opportunity for an open space trail to encourage pedestrian and bicycle recreation. Several pedestrian connections from the community trail network to surrounding open space trails exist to encourage interaction with natural and rural opportunities surrounding River Islands.



Open Space / Streetscapes Legend

OPEN SPACE AREA	FEATURE NAME
	Community Park (NA)
	Off-Site Streetscape
	Bioswale
IN-TRACT STREETScape	VILLAGE NAME
	Village KK
	Village II
	Village FF
	Village GG
	Village HH

PARK DESIGNATION MAP

PARK #	PARK NAME	ACREAGE	QUIMBY ACT	OWNERSHIP
--------	-----------	---------	------------	-----------

Neighborhood Parks ----- 64.36

N1	Neighborhood Park 1	5.97	X	RD 2062
N2	Neighborhood Park 2	6.02	X	CITY
N3	Neighborhood Park 3	4.55	X	CITY
N4	Neighborhood Park 4	4.01	X	CITY
N5	Neighborhood Park 5	5.39	X	CITY
N6	Neighborhood Park 6	7.10	X	CITY
N7	Neighborhood Park 7	5.12	X	CITY
N8	Neighborhood Park 8	5.28	X	RD 2062
N9	Neighborhood Park 9	4.19	X	RD 2062
N10	Neighborhood Park 10	2.73	X	RD 2062
N11	Neighborhood Park 11	4.00	X	CITY
	School Sites*	10.0	X	SCHOOL

Pocket Parks ----- 20.06

P1	Pocket Park 1	0.81		RD 2062
P2	Pocket Park 2	0.31		RD 2062
P3	Pocket Park 3	0.49		RD 2062
P4	Pocket Park 4	0.37		RD 2062
P5	Pocket Park 5	0.33		RD 2062
P6	Pocket Park 6	1.47		RD 2062
P7	Pocket Park 7	0.19		RD 2062
P8	Pocket Park 8	1.13		RD 2062
P9	Pocket Park 9	0.48		RD 2062
P10	Pocket Park 10	0.54		RD 2062
P11	Pocket Park 11	0.46		RD 2062
P12	Pocket Park 12	0.76		RD 2062
P13	Pocket Park 13	1.41		RD 2062
P14	Pocket Park 14	0.65		RD 2062
P15	Pocket Park 15	0.33		RD 2062
P16	Pocket Park 16	0.35		RD 2062
P17	Pocket Park 17	0.89		RD 2062
P18	Pocket Park 18	0.33		RD 2062
P19	Pocket Park 19	0.73		RD 2062
P20	Pocket Park 20	0.29		RD 2062
P21	Pocket Park 21	0.45		RD 2062
P22	Pocket Park 22	0.37		RD 2062
P23	Pocket Park 23	0.79		RD 2062
P24	Pocket Park 24	0.28		RD 2062
P25	Pocket Park 25	0.31		RD 2062
P26	Pocket Park 26	0.22		RD 2060
P27	Pocket Park 27	0.20		RD 2062
P28	Pocket Park 28	0.93		RD 2062
P29	Pocket Park 29	0.86		RD 2062
P30	Pocket Park 30	0.42		RD 2062
P31	Pocket Park 31	0.27		RD 2062
P32	Pocket Park 32	0.20		RD 2062
P33	Pocket Park 33	0.39		RD 2062
P34	Pocket Park 34	1.22		RD 2062
P35	Pocket Park 35	0.12		RD 2062
P36	Pocket Park 36	0.21		RD 2062
P37	Pocket Park 37	0.50		RD 2062

PARK #	PARK NAME	ACREAGE	MILES	QUIMBY ACT	OWNERSHIP
--------	-----------	---------	-------	------------	-----------

Community Parks ----- 97.44

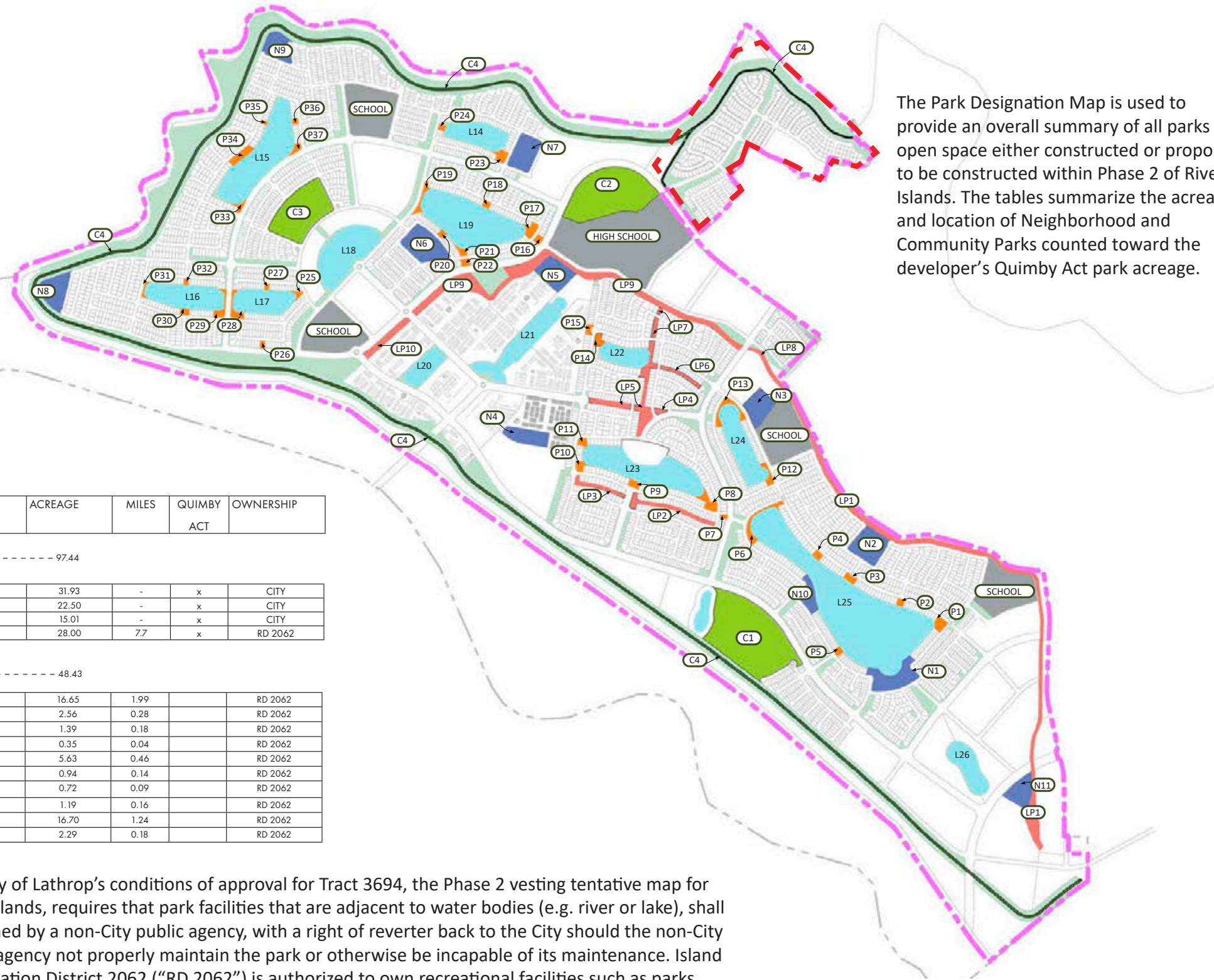
C1	Community Park 1**	31.93	-	x	CITY
C2	Community Park 2	22.50	-	x	CITY
C3	Community Park 3	15.01	-	x	CITY
C4	Levee Trail***	28.00	7.7	x	RD 2062

Linear Parks ----- 48.43

LP1	Linear Park 1	16.65	1.99		RD 2062
LP2	Linear Park 2	2.56	0.28		RD 2062
LP3	Linear Park 3	1.39	0.18		RD 2062
LP4	Linear Park 4	0.35	0.04		RD 2062
LP5	Linear Park 5	5.63	0.46		RD 2062
LP6	Linear Park 6	0.94	0.14		RD 2062
LP7	Linear Park 7	0.72	0.09		RD 2062
LP8	Linear Park 8	1.19	0.16		RD 2062
LP9	Linear Park 9	16.70	1.24		RD 2062
LP10	Linear Park 10	2.29	0.18		RD 2062

Open Space ----- 272.48 acres

Phase 2 Limits



The Park Designation Map is used to provide an overall summary of all parks and open space either constructed or proposed to be constructed within Phase 2 of River Islands. The tables summarize the acreage and location of Neighborhood and Community Parks counted toward the developer's Quimby Act park acreage.

The City of Lathrop's conditions of approval for Tract 3694, the Phase 2 vesting tentative map for River Islands, requires that park facilities that are adjacent to water bodies (e.g. river or lake), shall be owned by a non-City public agency, with a right of reverter back to the City should the non-City public agency not properly maintain the park or otherwise be incapable of its maintenance. Island Reclamation District 2062 ("RD 2062") is authorized to own recreational facilities such as parks under the State's Water Code and currently owns Michael Vega Park and will own all other "wet parks" in the future.

Maintenance of parks and open space is/will be conducted by River Islands Public Financing Authority (RIPFA) and RD 2062.

* School Sites Calculation: # of Schools x 2.5 acres = total acres

** Community Park 1 acreage does not include wetland area.

- When a park is adjacent to the levee, a 20' distance from the toe of levee is not included in park acreage calculations.

*** Levee Trail Calculation: Total Linear Feet x 30' width = total sq ft (43,560 sq ft = 1 acre)

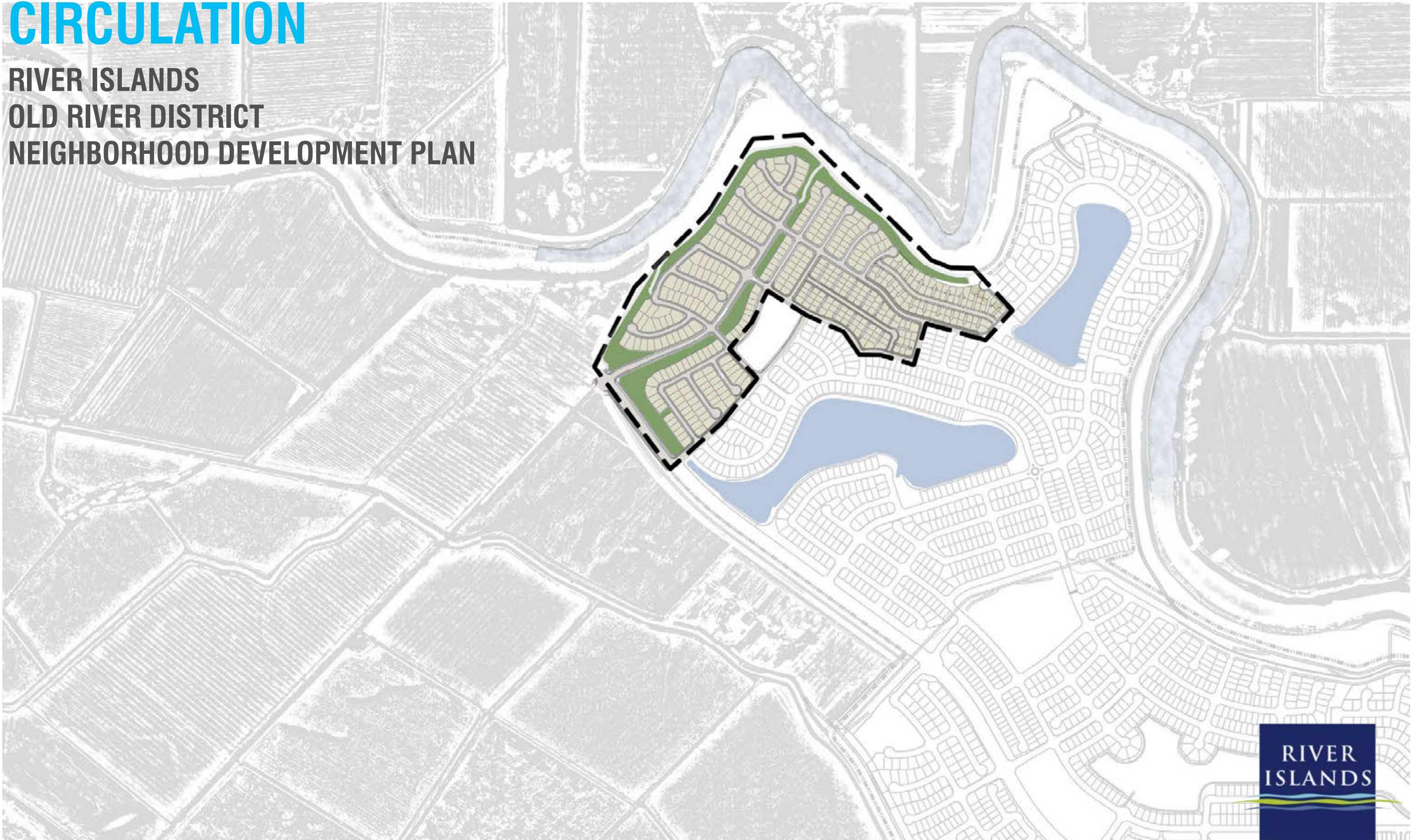
Total Miles = 7.7 Miles

The 30' wide levee trail has been used to calculate acreage of the Quimby Act and does not include the levee slopes or 20-foot levee toe.

The applicant intends to regrade the federal levee into a waterside bench which will be maintained by Reclamation District 2062. There will be no public access to the levee, only the waterside bench.

CIRCULATION

RIVER ISLANDS
OLD RIVER DISTRICT
NEIGHBORHOOD DEVELOPMENT PLAN






CIRCULATION CONCEPT

Streets create a necessary and important framework for the community of River Islands Old River District (Phase 2). This framework connects and separates neighborhoods, creates key vehicular paths of travel, and creates identifiable community spaces and pedestrian-friendly routes throughout the community. As depicted in the circulation exhibit on this page, the street network has a hierarchy of major roads, collector streets and neighborhood streets.



Circulation Legend

ROUTE	ROUTE TYPE
	Regional Arterial (Future)
	Neighborhood Collector
	Neighborhood Local Street

CIRCULATION BIKE AND PEDESTRIAN CONCEPT

In order to support a healthy, active community, the River Islands Master Plan has developed recreational infrastructure intent on encouraging bicycle and pedestrian pathways.

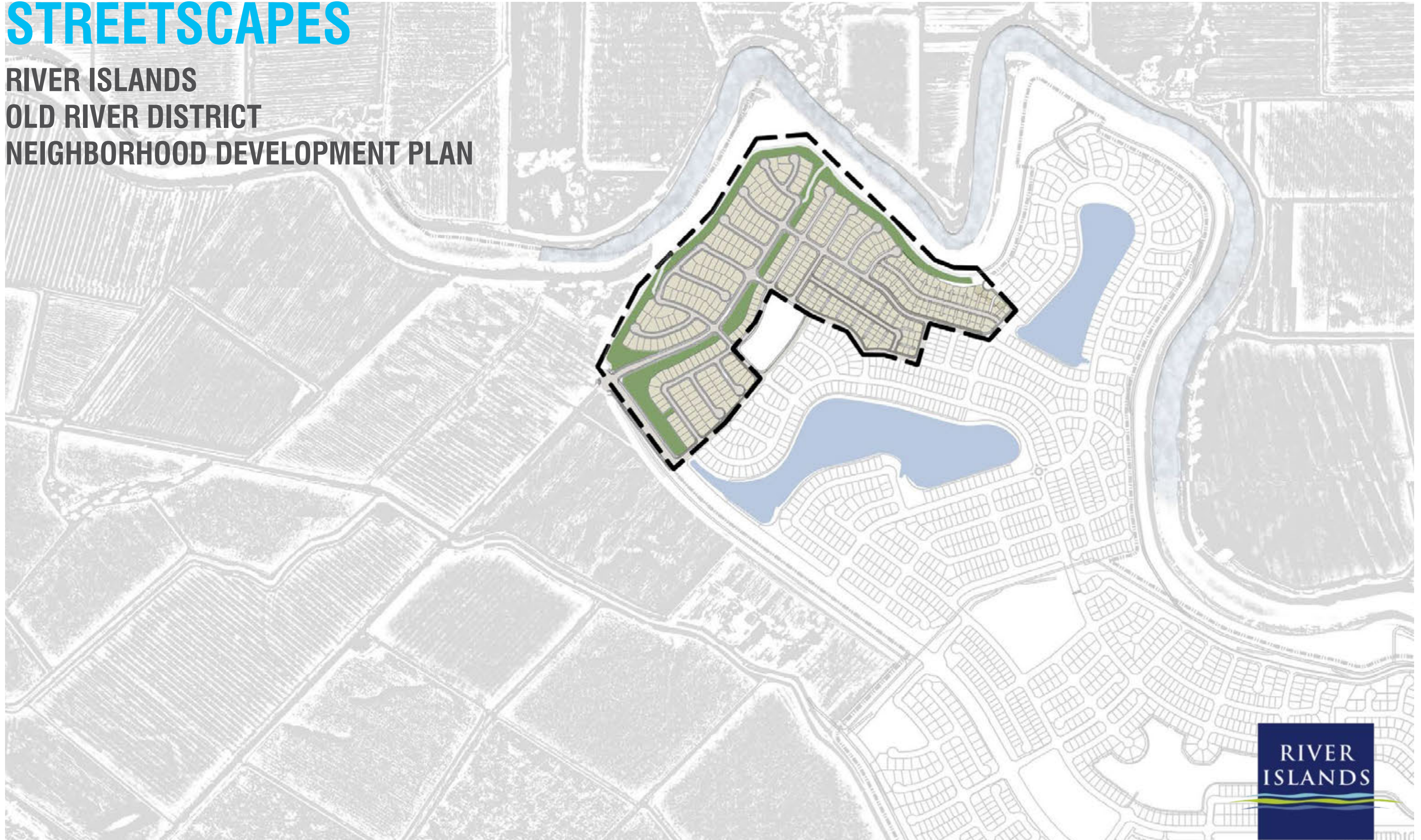
The figures on this page show pedestrian and non-motorized vehicular circulation pathways and wayfinding signage specific to the Old River District (Phase 2) development area.

Legend	
Earthen Trail Hikers and Bicyclists	
Bicycle Lane Class 1 Separated from Automobile traffic	
Class 1 Bicycle Lane Duet One way lanes on opposite sides of street	
Bicycle Lane Class 2 Striped and Signed Lane on Roadway	
Bicycle Lane Class 3 Signage on Roadway	
8' Pedestrian Trail	
Pedestrian Connection	



STREETSCAPES

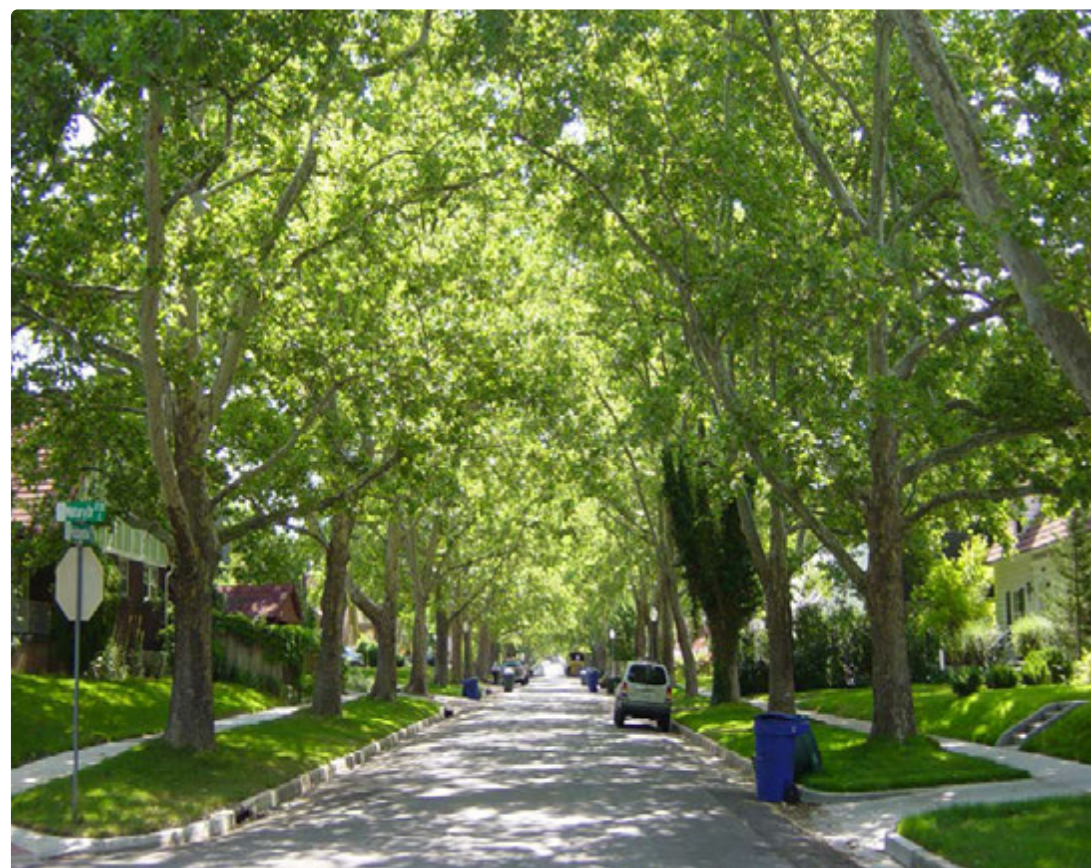
RIVER ISLANDS
OLD RIVER DISTRICT
NEIGHBORHOOD DEVELOPMENT PLAN



STREET CHARACTER

Streets are classically defined by the trees that line them. These streets create a sense of identity and pedestrian friendly environments. Street trees help create memorable, livable spaces. However, trees do much more than define spaces. Trees create much needed shade for pedestrians, help reduce energy consumption, moderate temperatures and increase property values. Proper selection of tree species helps identify and differentiate communities, spaces and uses. Trees also provide valued wildlife habitat. To this purpose, this NDP proposes street tree varieties for the roadways, as identified on page 23.

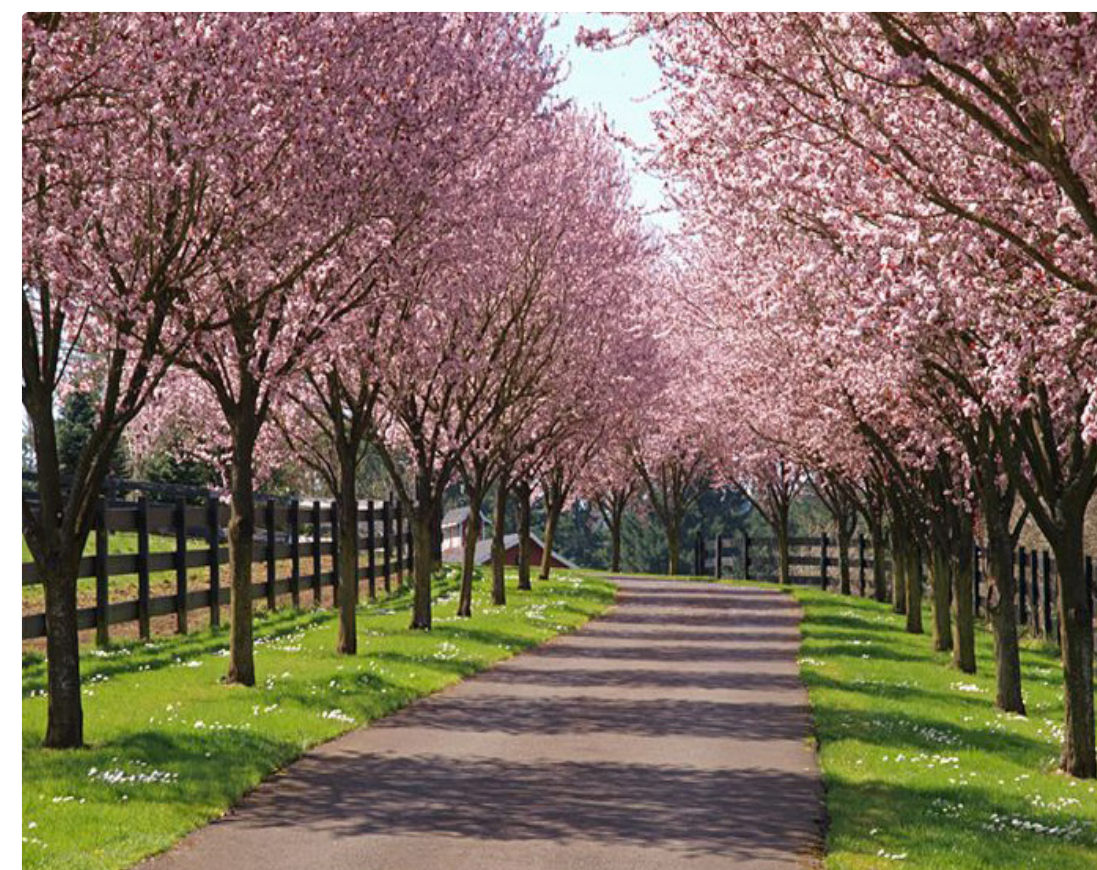
Local neighborhood streets are scaled to support lower volumes of traffic and encourage pedestrian and bicycle use. Separated parkway strips provide continuous landscape buffers between from vehicular traffic and support a street lined tree canopy. Each neighborhood should receive one to two varieties of street tree species to maintain a community identity, buffer against potential losses due to disease and insects and bolster diversity in the urban forest.



COMMUNITY COLLECTOR STREETS

A series of roadways connect project entries as Stage 2B joins with Old River District (Phase 2). These streets service the majority of the project through Stage 2B, connecting existing and future phases to the East and West. It is important to establish a project theme as these entries are gateways into and through major project amenities, such as lakes, parks, trails, and open space.

Establishment of formal, landscaped neighborhood gateway entries followed by a rural feel of windrow and shade trees and a riparian river concept will lead visitors along major collector streets. A naturalized riparian corridor serves as an immediate reminder of historical uses of the Delta Valley river lands.



STREET TREE MASTER PLAN

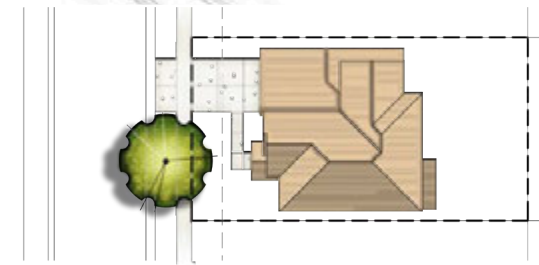
STREET TREE MASTER LIST

VILLAGE	STREET DIRECTION	BOTANICAL NAME	COMMON NAME
KK	East/West	Tilia c. 'Greenspire'	Greenspire Little-Leaf Linden
II	East/West	Chitalpa t. 'Pink Dawn'	Pink Dawn Chitalpa
FF	East/West	Ulmus p. 'Drake'	Chinese Evergreen Elm
HH	North/South	Zelkova serrata 'Green Vase'	Green Vase Zelkova
GG	North/South East/West	Tilia c. 'Greenspire' Acer rubrum 'October Glory'	Greenspire Little-Leaf Linden October Glory Red Maple



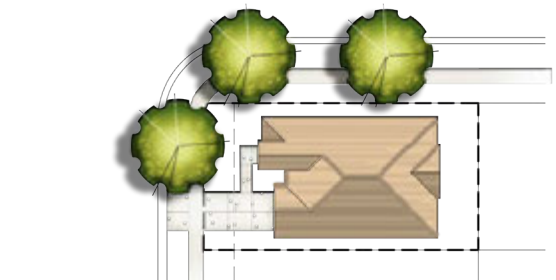
STREET TREE LIST BY CONNECTOR STREET

STREET	BOTANICAL NAME	COMMON NAME
L ST	Ginkgo biloba	Ginkgo
RIVER ISLAND PKWY	Quercus coccinea	Scarlet Oak
IRISH MEADOW WAY	Tilia c. 'Greenspire'	Greenspire Little-Leaf Linden
SHRUTE DRIVE	Carpinus b. 'Franz Fontaine'	Franz Fontaine Hornbeam
POSEY ST	Carpinus b. 'Franz Fontaine'	Franz Fontaine Hornbeam
WALERA DRIVE	Quercus Palustris	Pin Oak
ENNEKING DRIVE	Acer rubrum 'October Glory'	'October Glory' Red Maple



TYPICAL INTERNAL LOT STREET TREE PLANTING

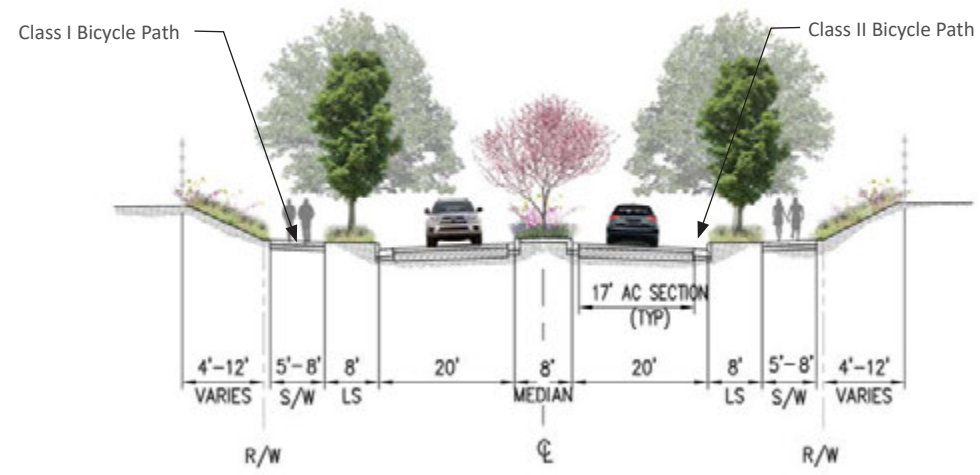
SCALE: 1"=20'



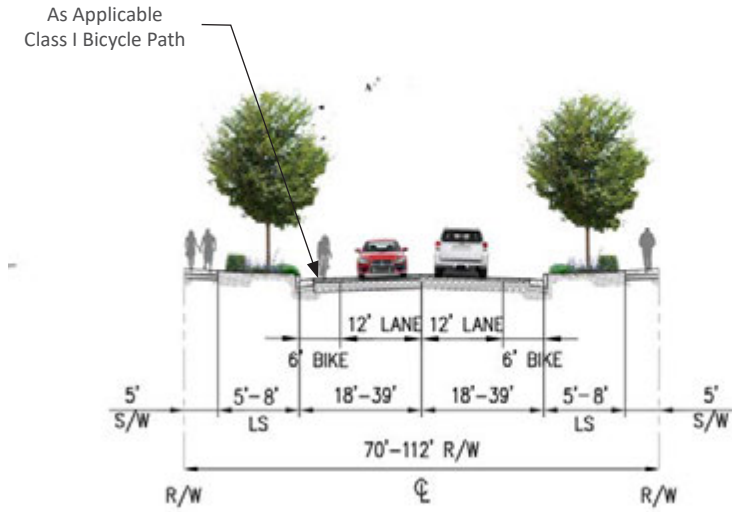
TYPICAL CORNER LOT STREET TREE PLANTING

SCALE: 1"=20'

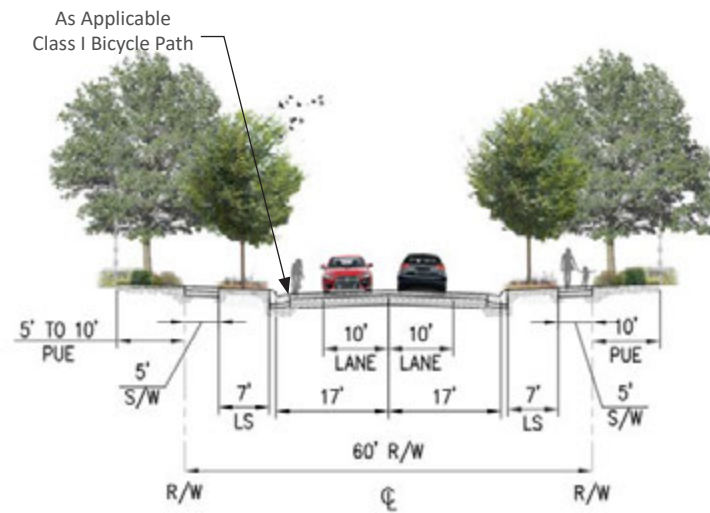
STREET SECTIONS



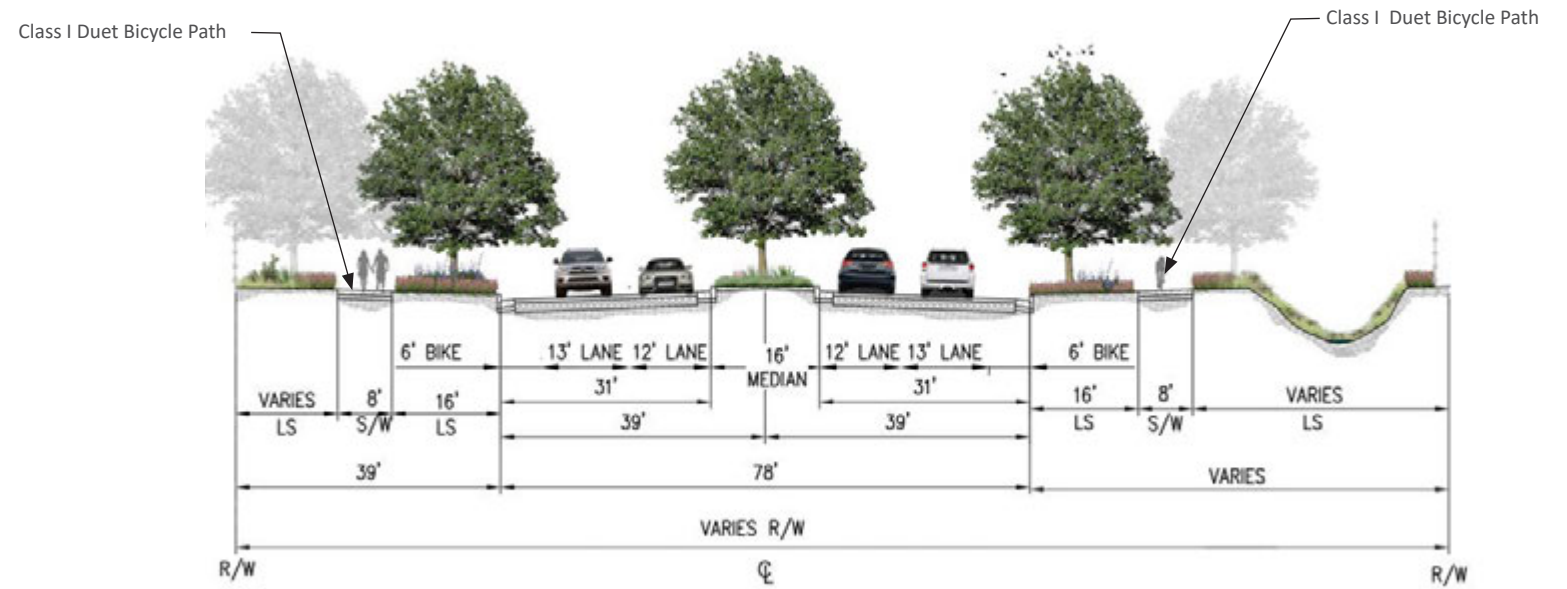
TYPICAL NEIGHBORHOOD ENTRY SECTION
NOT TO SCALE



TYPICAL NEIGHBORHOOD STREET SECTION
NOT TO SCALE



TYPICAL LOCAL STREET 2 LANE SECTION
NOT TO SCALE

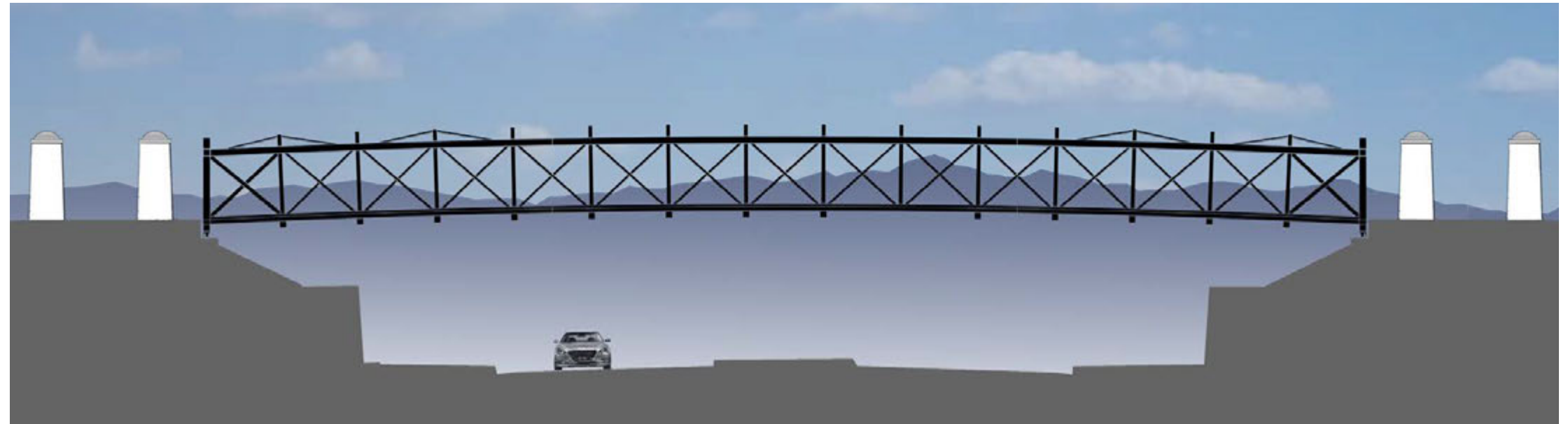


TYPICAL RIVER ISLANDS PARKWAY SECTION
NOT TO SCALE

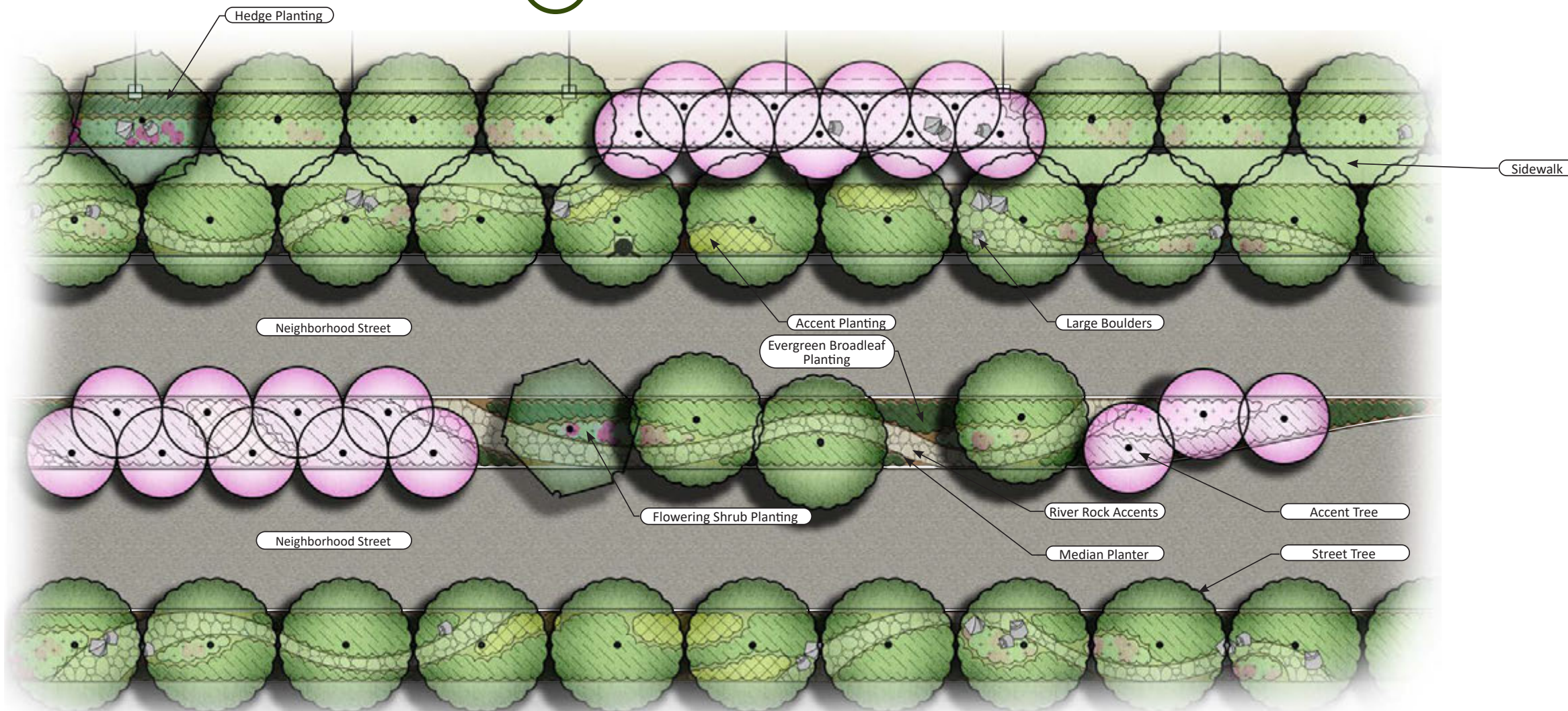
The vision for River Islands Old River District (Phase 2) Streetscapes is to formalize the natural context of the delta riparian and agricultural corridors.

Use of natural materials like meandering bands of river cobble and boulders that mimic the numerous waterways of the Delta Valley surrounded by groundcovers and both evergreen and flowering shrubs should be the overriding layout within parkway strip areas. Perimeter boundary plantings should receive larger, more structured shrubs that take on their own natural shape without the need for hedging or continuous pruning to maintain size and shape. These spaces imitate the numerous hedgerow plantings that abut the waterways and agricultural fields.

(See Plant Selection Guide for plant varieties)



River Islands Parkway Pedestrian Bridge at Boundary of Stage 2A & Stage 2B



Typical Major Collector Road Layout (River Islands Parkway)



 River Islands Parkway Layout, Typical

In an effort to reduce its footprint on the built environment and continue the strong focus of land stewardship, the River Islands Master Plan has incorporated the use of onsite bio-swale retention areas to filter surface water draining from nearby catch basins and surrounding roadways. This will allow stormwater to percolate back into the ground in a cleaner state, as it will have been naturally filtered by grasses and ground covers.

Bio-swale slopes will create a canvas of naturalized shrubs and groundcover that meander and establish visual interest through selection of both naturalized and flowering groundcover species with scattered groupings of native and ornamental trees.

The use of decomposed granite, river cobbles and boulders should be intermixed and placed to provide a mix of visual interest as well as reduce the amount of plant material requiring maintenance.



 Bioswale Planting Layout, Typical

NEIGHBORHOOD GATEWAYS

The Old River District (Phase 2) concept encourages pedestrian connection to each of the communities and promotes interaction and sense of place. Gateways should be inviting and comfortable to all pedestrians, create visual interest to passing vehicles, and be unique enough to create a sense of individualism and identity for each community.



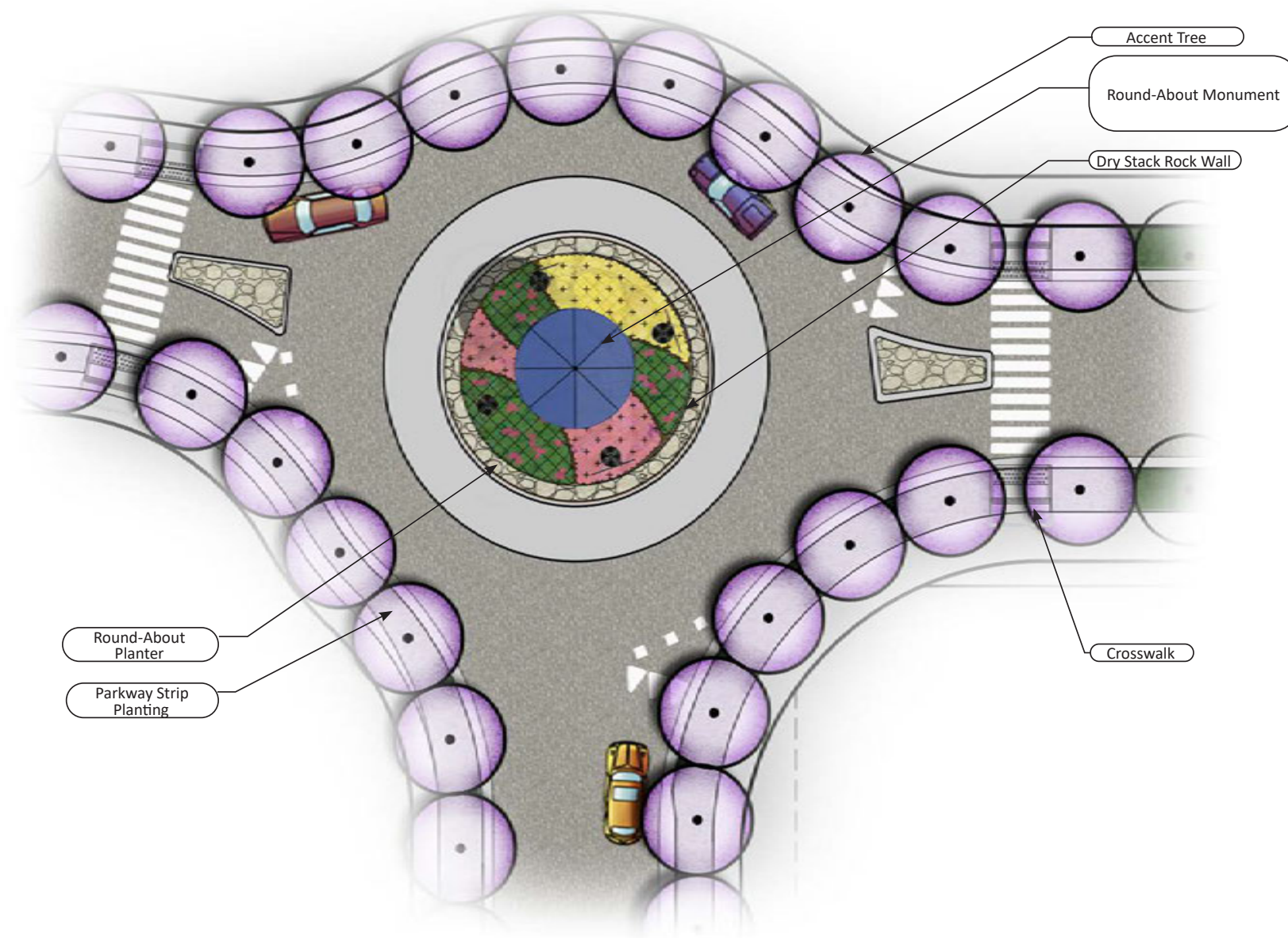
NEIGHBORHOOD GATEWAYS CONCEPT

Neighborhood gateways mark pedestrian entrances to each neighborhood. Designs should incorporate the large spatial environment of major street intersections and create a consistent and special feel. Each entry should have unique elements such as monument features that are typical of the surrounding delta water ways.

Entryways may include seating areas, patterns typical of row crops, paving materials typical of waterways (cobble and decomposed granite) and monuments such as light houses, windmills, sails, and nautical structures. These spaces may create inviting and interesting landmarks with way finding and community identity benefits.



Neighborhood Gateway - River Islands Parkway and Walera St



○ Example Typical Round-a-bout

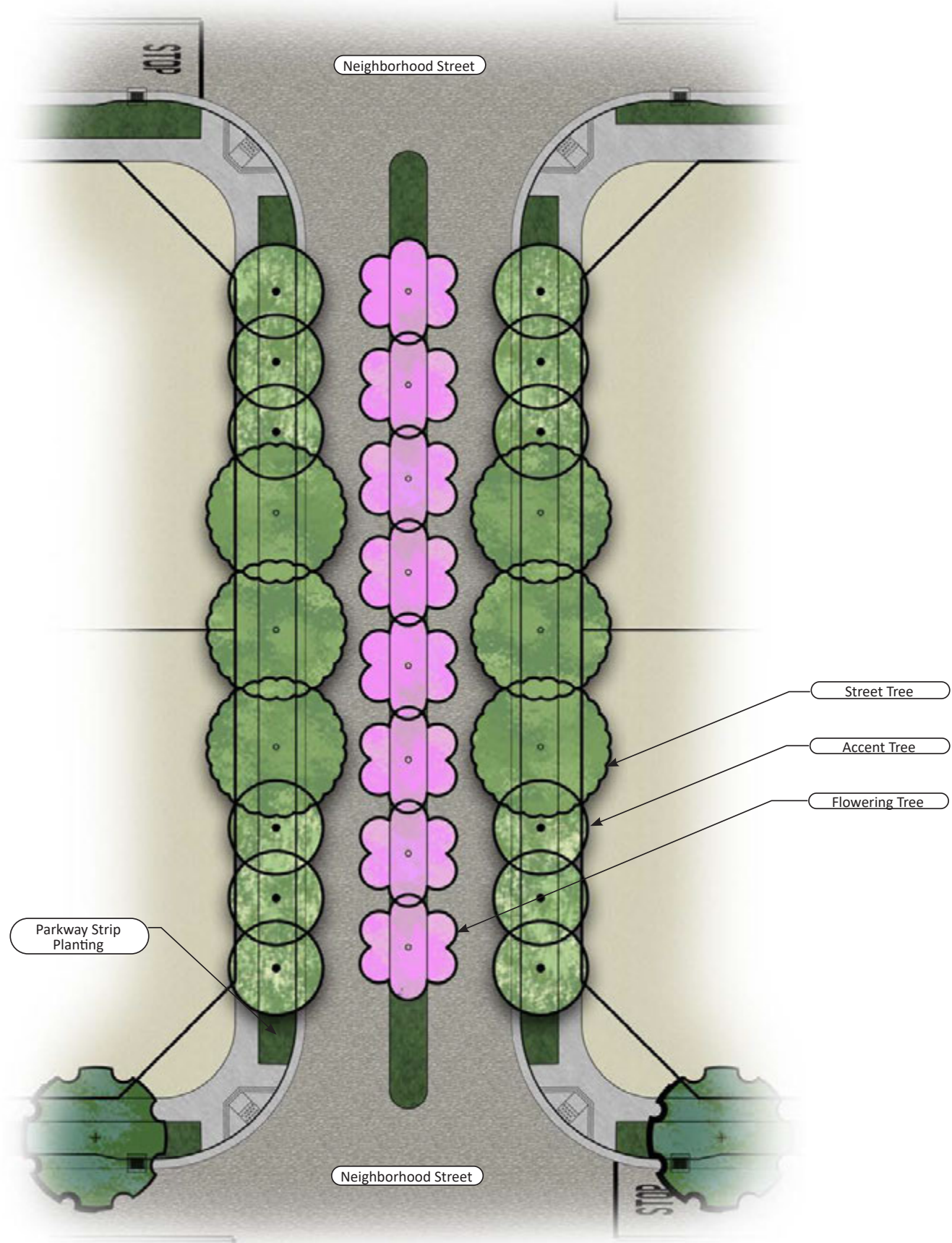


○ Example Traditional Buoy Monument with Signage

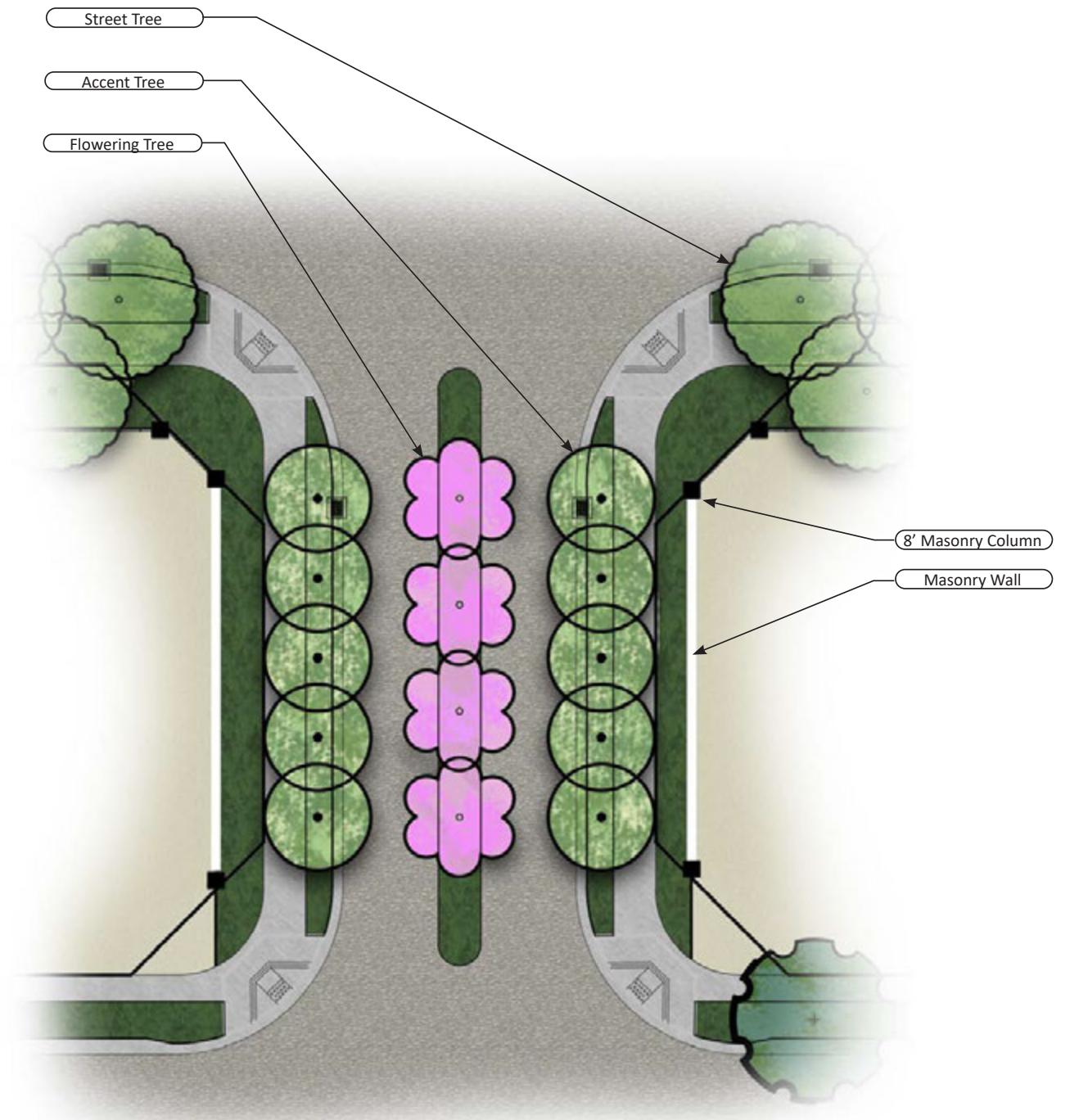
NEIGHBORHOOD ENTRIES

Neighborhood entries have been identified to establish a more formal and traditional entrance to interior villages within Old River District (Phase 2). The entries will be defined by structured plantings that differentiate themselves from more naturalized riparian plantings of surrounding collector streets. Planting should include columnar trees along the edges of the roadways with flowering trees in entry medians.





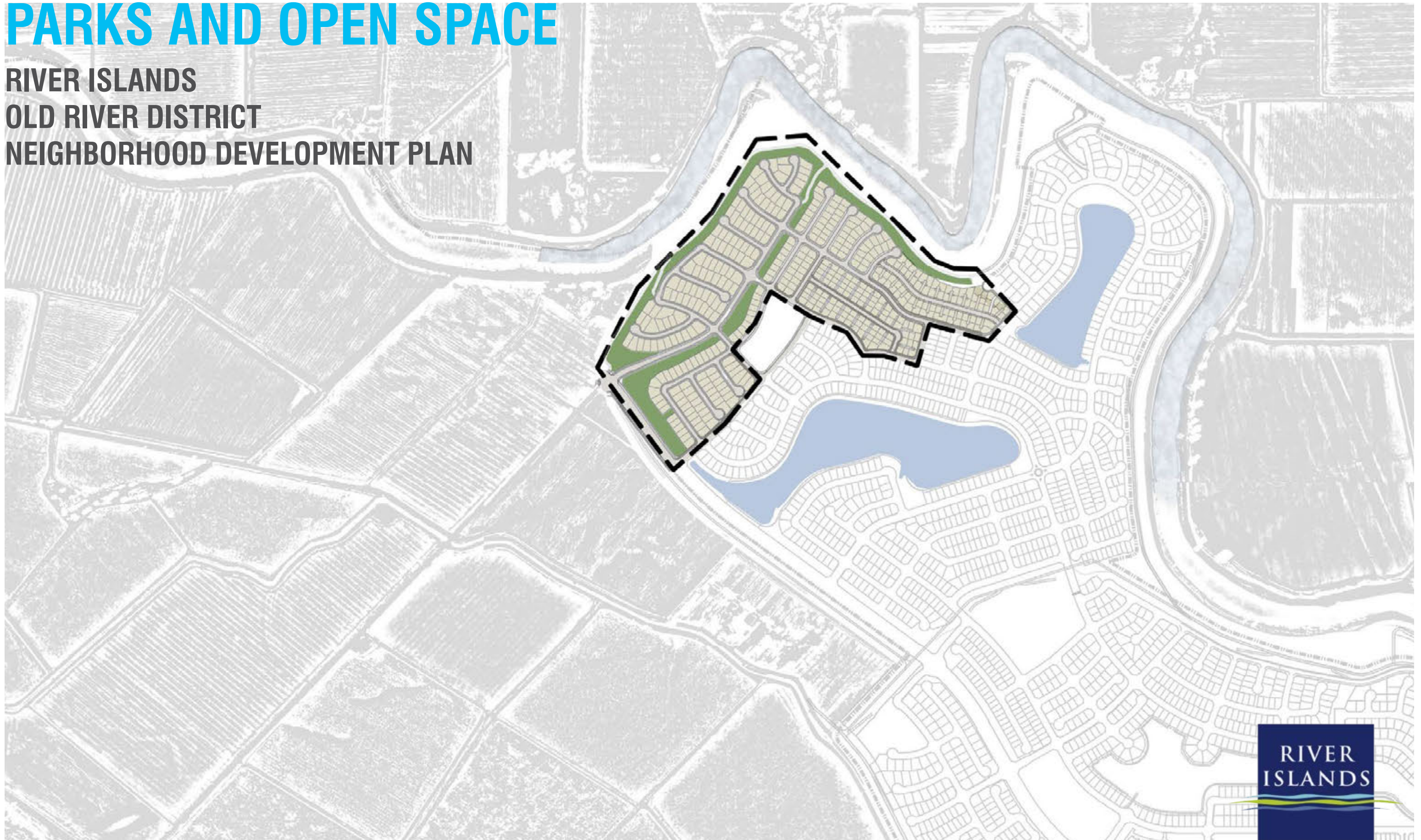
○ Dual Lot Neighborhood Entry - No Walls



○ Example Neighborhood Entry

PARKS AND OPEN SPACE

RIVER ISLANDS
OLD RIVER DISTRICT
NEIGHBORHOOD DEVELOPMENT PLAN



MASTER PLAN INTENT

The River Islands Phase 2 Parks Master Plan lays out the network of pocket, neighborhood and community parks, trails, and paseos within the River Islands master planned community. In addition to parks and open spaces that offer varying scales and levels of passive and active recreation, the Master Plan highlights the relationship between the community and the San Joaquin River by providing opportunities for water-oriented, outdoor living and recreation.

Locations of parks and open spaces in River Islands ensure that recreational amenities are accessible to all community members, including pedestrian and bicycle connections to facilitate non-vehicular circulation throughout the community and between park sites. Varying classes (Class I, II & III) of bicycle paths are integrated to promote easy access to open space and extend cycling or running opportunities to River Islands and Lathrop residents. Parks are designed to support community members of all ages and abilities.



PARK DESIGNATION MAP

PARK #	PARK NAME	ACREAGE	QUIMBY ACT	OWNERSHIP
--------	-----------	---------	------------	-----------

Neighborhood Parks ----- 64.36

N1	Neighborhood Park 1	5.97	X	RD 2062
N2	Neighborhood Park 2	6.02	X	CITY
N3	Neighborhood Park 3	4.55	X	CITY
N4	Neighborhood Park 4	4.01	X	CITY
N5	Neighborhood Park 5	5.39	X	CITY
N6	Neighborhood Park 6	7.10	X	CITY
N7	Neighborhood Park 7	5.12	X	CITY
N8	Neighborhood Park 8	5.28	X	RD 2062
N9	Neighborhood Park 9	4.19	X	RD 2062
N10	Neighborhood Park 10	2.73	X	RD 2062
N11	Neighborhood Park 11	4.00	X	CITY
	School Sites*	10.0	X	SCHOOL

Pocket Parks ----- 20.06

P1	Pocket Park 1	0.81		RD 2062
P2	Pocket Park 2	0.31		RD 2062
P3	Pocket Park 3	0.49		RD 2062
P4	Pocket Park 4	0.37		RD 2062
P5	Pocket Park 5	0.33		RD 2062
P6	Pocket Park 6	1.47		RD 2062
P7	Pocket Park 7	0.19		RD 2062
P8	Pocket Park 8	1.13		RD 2062
P9	Pocket Park 9	0.48		RD 2062
P10	Pocket Park 10	0.54		RD 2062
P11	Pocket Park 11	0.46		RD 2062
P12	Pocket Park 12	0.76		RD 2062
P13	Pocket Park 13	1.41		RD 2062
P14	Pocket Park 14	0.65		RD 2062
P15	Pocket Park 15	0.33		RD 2062
P16	Pocket Park 16	0.35		RD 2062
P17	Pocket Park 17	0.89		RD 2062
P18	Pocket Park 18	0.33		RD 2062
P19	Pocket Park 19	0.73		RD 2062
P20	Pocket Park 20	0.29		RD 2062
P21	Pocket Park 21	0.45		RD 2062
P22	Pocket Park 22	0.37		RD 2062
P23	Pocket Park 23	0.79		RD 2062
P24	Pocket Park 24	0.28		RD 2062
P25	Pocket Park 25	0.31		RD 2062
P26	Pocket Park 26	0.22		RD 2060
P27	Pocket Park 27	0.20		RD 2062
P28	Pocket Park 28	0.93		RD 2062
P29	Pocket Park 29	0.86		RD 2062
P30	Pocket Park 30	0.42		RD 2062
P31	Pocket Park 31	0.27		RD 2062
P32	Pocket Park 32	0.20		RD 2062
P33	Pocket Park 33	0.39		RD 2062
P34	Pocket Park 34	1.22		RD 2062
P35	Pocket Park 35	0.12		RD 2062
P36	Pocket Park 36	0.21		RD 2062
P37	Pocket Park 37	0.50		RD 2062

Open Space ----- 272.48 acres

Phase 2 Limits

PARK #	PARK NAME	ACREAGE	MILES	QUIMBY ACT	OWNERSHIP
--------	-----------	---------	-------	------------	-----------

Community Parks ----- 97.44

C1	Community Park 1**	31.93	-	x	CITY
C2	Community Park 2	22.50	-	x	CITY
C3	Community Park 3	15.01	-	x	CITY
C4	Levee Trail***	28.00	7.7	x	RD 2062

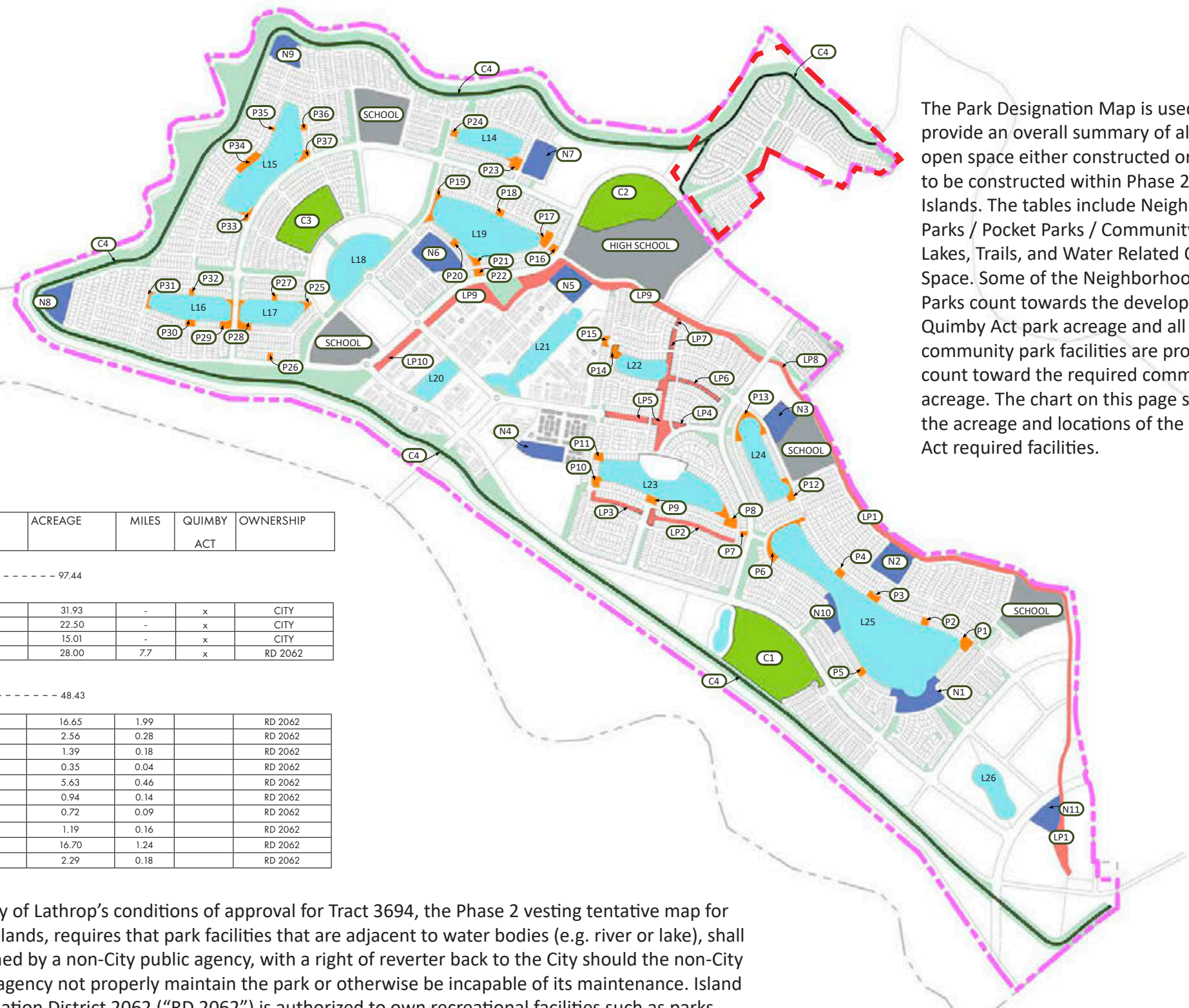
Linear Parks ----- 48.43

LP1	Linear Park 1	16.65	1.99		RD 2062
LP2	Linear Park 2	2.56	0.28		RD 2062
LP3	Linear Park 3	1.39	0.18		RD 2062
LP4	Linear Park 4	0.35	0.04		RD 2062
LP5	Linear Park 5	5.63	0.46		RD 2062
LP6	Linear Park 6	0.94	0.14		RD 2062
LP7	Linear Park 7	0.72	0.09		RD 2062
LP8	Linear Park 8	1.19	0.16		RD 2062
LP9	Linear Park 9	16.70	1.24		RD 2062
LP10	Linear Park 10	2.29	0.18		RD 2062

The City of Lathrop's conditions of approval for Tract 3694, the Phase 2 vesting tentative map for River Islands, requires that park facilities that are adjacent to water bodies (e.g. river or lake), shall be owned by a non-City public agency, with a right of reverter back to the City should the non-City public agency not properly maintain the park or otherwise be incapable of its maintenance. Island Reclamation District 2062 ("RD 2062") is authorized to own recreational facilities such as parks under the State's Water Code and currently owns Michael Vega Park and will own all other "wet parks" in the future.

Maintenance of parks and open space is/will be conducted by River Islands Public Financing Authority (RIPFA) and RD 2062.

The Park Designation Map is used to provide an overall summary of all parks and open space either constructed or proposed to be constructed within Phase 2 of River Islands. The tables include Neighborhood Parks / Pocket Parks / Community Parks, Lakes, Trails, and Water Related Open Space. Some of the Neighborhood / Pocket Parks count towards the developer's Quimby Act park acreage and all community park facilities are proposed to count toward the required community park acreage. The chart on this page summarizes the acreage and locations of the Quimby Act required facilities.



*School Sites Calculation: # of Schools x 2.5 acres = total acres

**Community Park 1 acreage does not include wetland area.

- When a park is adjacent to the levee, a 20' distance from the toe of levee is not included in park acreage calculations.

***Levee Trail Calculation: Total Linear Feet x 30' width = total sq ft (43,560 sq ft = 1 acre)

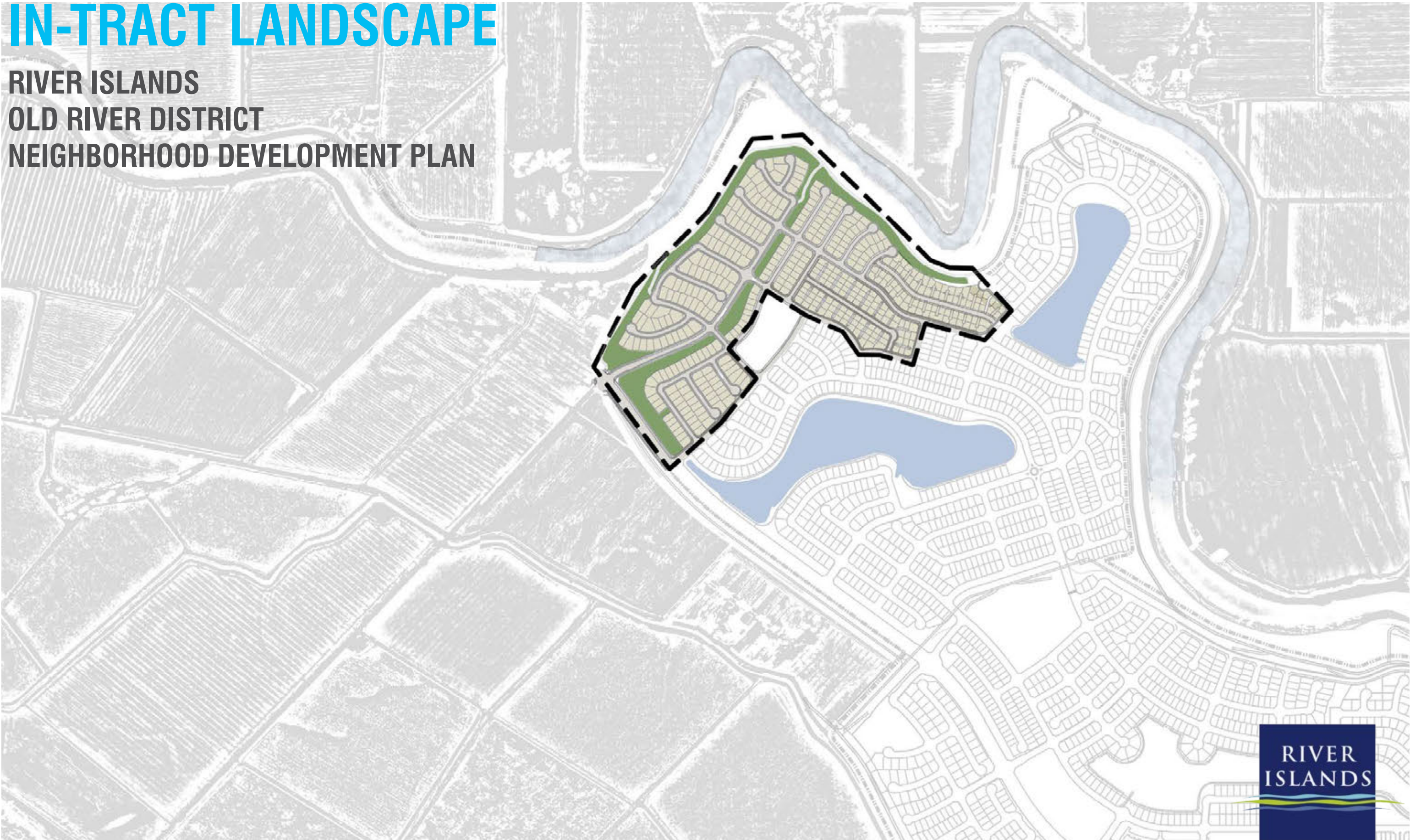
Total Miles = 7.7 Miles

The 30' wide levee trail has been used to calculate acreage of the Quimby Act and does not include the levee slopes or 20-foot levee toe.

The applicant intends to regrade the federal levee into a waterside bench which will be maintained by Reclamation District 2062. There will be no public access to the levee, only the waterside bench.

IN-TRACT LANDSCAPE

RIVER ISLANDS
OLD RIVER DISTRICT
NEIGHBORHOOD DEVELOPMENT PLAN



PARKWAY STRIPS

PARKWAY STRIP MASTER PLANT LIST

VILLAGE	STREET DIRECTION	BOTANICAL NAME	PLANT SPACING
KK	East/West	Arctostaphylos 'Pacific Mist'	36" O.C.
II	East/West	Myoporum pavifolium	36" O.C.
HH	North/South	Juniper	36" O.C.
FF	East/West	Rosmarinus offic. 'Huntington Carpet'	36" O.C.
GG	East/West	Myoporum pavifolium	36" O.C.
GG	North/South	Coprosma p. 'Verde Vista'	36" O.C.
POSEY ST	East/West	Myoporum pavifolium	36" O.C.
L ST	North/South	Coprosma p. 'Verde Vista'	36" O.C.
IRISH MEADOW WAY	East/West	Arctostaphylos 'Pacific Mist'	36" O.C.
SHRUTE DRIVE	East/West	Rosa x 'Noaschnee'	36" O.C.
WALERA DRIVE	North/South	Rosa x 'Noaschnee'	36" O.C.
ENNEKING DRIVE	North/South	Rosmarinus offic. 'Huntington Carpet'	36" O.C.



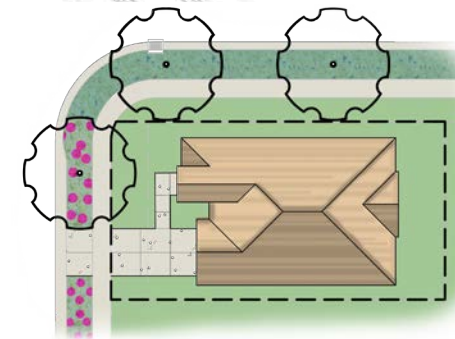
PARKWAY STRIP PLANT LIST

BOTANICAL NAME	COMMON NAME
Juniper	Juniper
Coprosma p. 'Verde Vista'	Coprosma
Cotoneaster dammeri 'Coral Beauty'	Bearberry Cotoneaster
Arctostaphylos 'Pacific Mist'	Manzanita
Cistus Salvifolius	Sageleaf Rockrose
Myoporum parvifolium	Australian Racer
Rosa x 'Noaschnee'	Flower Carpet White Rose
Rosa 'White Meidiland'	White Meidiland Rose
Rosmarinus offic. 'Huntington Carpet'	Huntington Carpet Rosemary
Teucrium chamaedrys 'Prostratus'	Germander
Rosmarinus O. 'Prostratus'	Dwarf Rosemary



PARKSTRIP SECTION

NOT TO SCALE



TYPICAL PARKSTRIP PLANTING SCHEME

NOT TO SCALE

STREET TREES

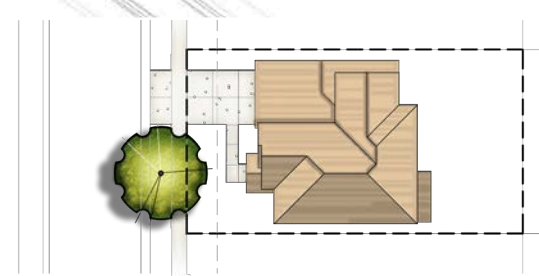
STREET TREE MASTER LIST

VILLAGE	STREET DIRECTION	BOTANICAL NAME	COMMON NAME
KK	East/West	Tilia c. 'Greenspire'	Greenspire Little-Leaf Linden
II	East/West	Chitalpa t. 'Pink Dawn'	Pink Dawn Chitalpa
FF	East/West	Ulmus p. 'Drake'	Chinese Evergreen Elm
HH	North/South	Zelkova serrata 'Green Vase'	Green Vase Zelkova
GG	North/South East/West	Tilia c. 'Greenspire' Acer rubrum 'October Glory'	Greenspire Little-Leaf Linden October Glory Red Maple



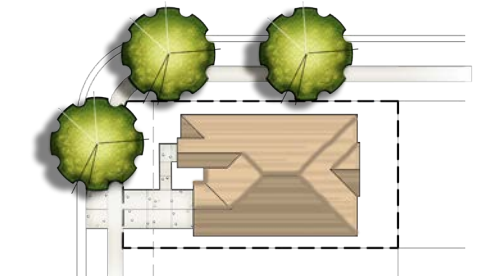
STREET TREE LIST BY CONNECTOR STREET

STREET	BOTANICAL NAME	COMMON NAME
L ST	Ginkgo biloba	Ginkgo
RIVER ISLAND PKWY	Quercus coccinea	Scarlet Oak
IRISH MEADOW WAY	Tilia c. 'Greenspire'	Greenspire Little-Leaf Linden
SHRUTE DRIVE	Carpinus b. 'Franz Fontaine'	Franz Fontaine Hornbeam
POSEY ST	Carpinus b. 'Franz Fontaine'	Franz Fontaine Hornbeam
WALERA DRIVE	Quercus Palustris	Pin Oak
ENNEKING DRIVE	Acer rubrum 'October Glory'	'October Glory' Red Maple



TYPICAL INTERNAL LOT STREET TREE PLANTING

SCALE: 1"=20'

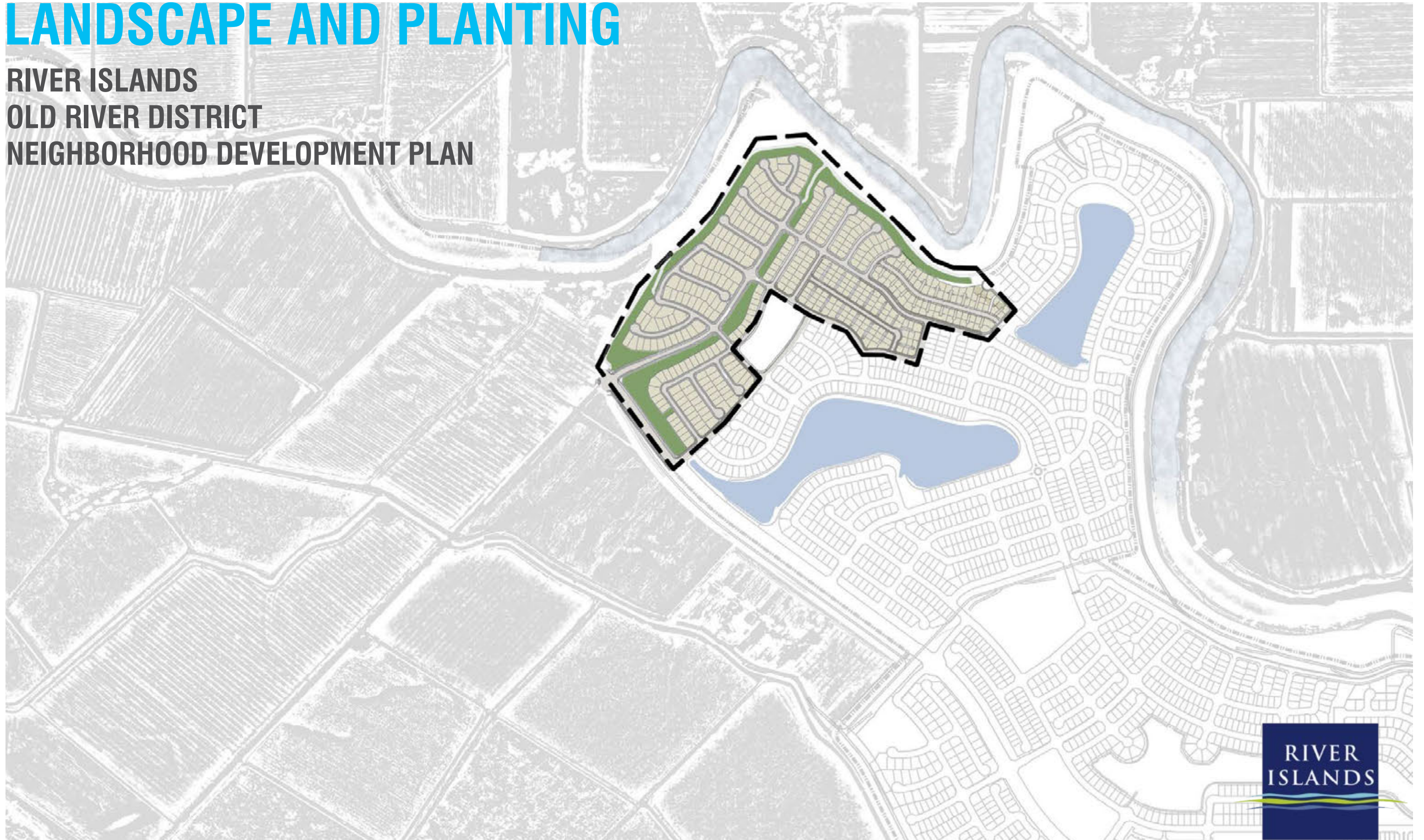


TYPICAL CORNER LOT STREET TREE PLANTING

SCALE: 1"=20'

LANDSCAPE AND PLANTING

RIVER ISLANDS
OLD RIVER DISTRICT
NEIGHBORHOOD DEVELOPMENT PLAN



LANDSCAPE PLAN

River Islands will be responsible for the design, construction and maintenance of all public use areas within the Old River District (Phase 2). These include but are not limited to: public streets (also referred to as streetscapes), parks, trails, open-space lake frontage, levees and/or river edges. In some cases, builders will be responsible for levee installation.

Ongoing maintenance will be continued under the jurisdiction of one of the following agencies, including but not limited to: River Islands Public Finance Authority, RD 2062, and the City of Lathrop. Individual use areas will be assigned to specific jurisdictions based upon their overall facility use.

Generally, each builder will be responsible for landscaping individual private yards, parkway strips, alleys, courtyards, private parks and rear yard lake frontage. Homeowners will be responsible for private yard areas (backyards) enclosed within fenced areas. Homes with rear yard lake frontage will be irrigated and installed by the individual builder through a common design. Following construction, the rear yard lake frontage will be irrigated by the individual homeowners' irrigation service.

Construction of individual landscape areas will be based upon phasing and builder programs. Preferred schedule for the installation of landscape and maintenance of streetscapes will be as follows:

- Developer/Builder will install individual tract improvements (including underground utilities (wet & dry), curbs and sidewalks, finished road surfaces and perimeter walls/fences.
- Developer/Builder will then install all pertinent landscape improvements to off-site areas including streetscapes, parks, open space lake frontages, levees and/or river edges.
- Builder will then build individual homes and in-tract (property line) fencing.
- Builder will then install front yard landscape and parkway landscape strips. For the lots that abut the lakes the builder will install landscape areas adjacent to lake areas.
- Homeowners will maintain their own parkway

strip landscape areas including the irrigation which is part of their isolated irrigation system.

- Parkway strip landscape areas at the neighborhood entries will be installed by the developer and will be maintained by the appropriate jurisdiction. Neighborhood entries may include the parkway strip areas between the curb and sidewalk from the primary collector street down to the first cross-street in-tract.
- In some cases individual lots may include lots that include a sideyard or rearyard slope area that is not owned by a public agency in which this area will be granted as an easement to the property owner and said property owner may landscape, irrigate and maintain the slope area in conformance to the public agencies requirements. The property owner must grant the public agency access for inspection of slope areas on an as needed basis.
- Landscape areas may also include medians and landscape areas from the back of the sidewalks to the sideyard fences from the collector street to the first cross-street in-tract.

Plant materials will be selected from the Appendix starting on page 53: Plant Selection Guide. Alternative species may be substituted or added and will be considered by the River Islands Architectural Review Board (RIARB) based on the suitability of the species in terms of similarity of theme, characteristics, size, form, tolerance of climatic conditions, soil requirements and water usage.

Planting themes have been selected to mimic existing characteristics and habitat of the delta waterways and vegetated agricultural hedgerows. Plant material selection should strongly consider the use of drought-tolerant, durable and long-lived species that give the appearance and imagery of the Delta Valley. Species should be well adapted to the climatic conditions and soil types typical of the River Islands Development. Robust evergreen shrub species intermixed with flowering native shrub species are strongly encouraged. Large naturally shaped flowering shrubs species should be selected to mimic the image of traditional hedgerows typical of the

surrounding agricultural region. Flowering species that create year-round interest are of high preference.

Plant and tree selections should avoid varieties with invasive characteristics, such as: surface roots that can spread, creating trip hazards or that can be destructive to surrounding curbs and walks, species that produce large wind blown seed varieties that become invasive or destructive, varieties that are extremely allergenic and varieties with toxic properties that can be digested by humans or animals.

While fruiting varieties of trees or shrubs may hearken to the true agricultural use of the River Islands project, the use of such species can create maintenance challenges and become problematic as litter creating rodent or pest problems. These species should be avoided except in specific locations where maintenance and control can be exercised.

Plant selections should be determined based upon natural shape of species with minimal pruning or maintenance. Shrubs should be considered for use as a screen of fences or utility structures. Evergreen plant material as a background is preferable to maintain year-round screening, however, the usage of decorative deciduous plant species is desirable and recommended with care being taken to maintain year-round interest and structure. Spacing of plant material should be selected based upon the species being utilized to create fullness and allow for ultimate growth impact.

The use of traditional "lawn" species and spaces should be limited to parks and public open spaces that should encourage recreational uses unless individual builders incorporate grey water usage. Drought-tolerant, durable and long-lived ground cover species that maintain a year round cover and interest through leaf structure or flower varieties should be encouraged. When "lawn" species are utilized, varieties should include deep rooting species that use less water than traditional varieties. The use and application of "lawn" species shall follow the guideline and requirements set for in AB1881.

Where bio-swales have been incorporated, species

should be selected that filter and slow the movement of water from curb inlets to drain inlets. Species should be tolerant of flooding and should be irrigated to maintain an alternative appearance year-round.

Tree varieties should be selected to imitate a rural Delta Valley aesthetic and should include a predominance of Oak species typical in valley habitats. Evergreen varieties should be used to frame and give additional interest year-round to selected areas. Flowering or accent trees should be selected for year-round interest through flower characteristics, branching patterns, bark color and shape. Additional "accent" trees installed outside of the parkway strip areas may be of a different species (refer to the Plant Selection Guide tree selection for a list of acceptable trees.)

Design of private landscape areas should incorporate energy efficient methodologies such as the use of local materials, local suppliers and natural on-site composting through mulching to reduce green waste. Plant material should be selected to reduce constant pruning and sheering to reduce green waste. Tree species should be selected to encourage solar gain during winter months and to shade windows and large walls to reduce energy consumption during the summer months. Irrigation of private landscape spaces should be installed and should conform to current state water reduction mandates and AB1881.

Landscape plans for all areas shall be prepared by a landscape architect licensed to practice in the State of California.

IRRIGATION

The State of California’s current water shortage has created valuable opportunities for River Islands to show its conservation emphasis and ties to the region’s innovative irrigation techniques. Currently the State of California has instituted measures to reduce waste of water through high distribution products and control systems capable of automatic adjustment and proper system management. Designers and contractors familiarize themselves with all pertinent guidelines, standards and requirements to align irrigation system design with the best intent of the State’s Water Mandate. The City of Lathrop Municipal Code, Chapter 17.92 - Landscape and Screen Standards, contains additional requirements for irrigation and water conservation.

The following applies to all landscape areas to be constructed within the River Islands Old River District (Phase 2) Master Plan area:

Non-potable water shall be the preferred source for irrigation applications. In areas that are to receive non-potable water, designated installation methodologies shall comply with RD2062, City of Lathrop, and State guidelines for the application of non-potable water. In locations where non-potable water will be utilized, connections will be coordinated to the best of the ability of the design team to foresee irrigation “stub-outs”. There are areas, however, that may not be deemed appropriate for “non-potable” water applications, and will instead utilize potable water service.

Irrigation shall be provided to all planted areas and shall be designed and laid out to efficiently and uniformly distribute water to all plant material.

Plant material will be laid out and organized into similar water use hydrozones by separating high, medium and low water-use plant materials as best as possible. Irrigation zones should also take into account all sun exposures (north/east versus south/west). Trees should be designed and placed on separate irrigation zones to aid in the proper application of water to promote long term health of trees. Irrigation shall be designed and installed to accommodate water demands by plant type.

The use of low volume broadcast spray heads, drip and bubbler types is strongly encouraged; however, all innovative irrigation techniques should be considered only if they adhere to State and local guidelines and requirements.

Irrigation components will have the following requirements:

- Broadcast spray heads will incorporate “in-head” pressure regulation and check valves.
- Drip tubing will be of a “brown” color and will incorporate individual pressure compensating emitters; and will utilize a root inhibitor. When utilizing reclaimed water, conform to national guidelines regarding product color and identification.
- Bubblers will incorporate a built in pressure compensator and filter.
- Tree bubbler will utilize a “deep root” water device that incorporates a bubbler, check valve and swing joint with filter “sock” around tube to reduce impaction of soil into air tube device.
- Valves will be capable of adding pressure regulating devices to them at any time and valves that utilize filter for drip distribution will incorporate filters with mechanical image notification of filter clogs and built-in pressure compensation to reduce overall size of the irrigation valve box.
- Main lines will have 18” of cover and have a conduit for the irrigation control wire to reduce the potential of damage to wire and aid in future repairs or renovations.

With advancements in standard irrigation control, system design should include master valves and flow sensors that have the ability to maximize system flows to reduce overall run-times by operating multiple valves per program and/or multiple programs simultaneously. Irrigation controllers will be selected that can be programmed simply and easily from the controller itself with no outside components and have the ability to be remotely controlled and programmed via internet

connection. Controllers will have the ability to produce flow, run time and system failure reports. Controllers will also be able to automatically adjust irrigation schedules based upon real-time weather reports from industry recognized and approved devices and/or services.

In an effort to further properly manage irrigation systems, only allow certified and trained personnel to operate the system. Controllers shall have the ability to be remotely locked and only be adjusted by utilizing individual “PIN” codes to identify personnel making adjustments to irrigation programming. Individual irrigations zones will be programmed with other similar type irrigation zones of the same distribution type and water consumption demands.

With the nature of construction and the methodology of phased construction, the use of “2-Wire” irrigation technology is strongly encouraged.

The irrigation system designed moving forward for River Islands may include Toro Sentinel or Rain Bird ESP-LXD utilizing the Rain Bird IQ central control software. This system will allow control of up to (5) Points Of Connection (POC) with flow management of each POC and control 200 valves per controller. The system allows for traditional programming and adjustment at the controller with all facets of the programming capability and may be monitored with true 2-way communication, reports and email notifications, as well as be automatically adjusted with ET (evapo-transpiration) data.

No system is capable of running itself and therefore, proper training and management of the irrigation system is mandatory. Frequent and regimented inspections should be factored into all maintenance operations to ensure long term efficient application. Installing contractors will perform irrigation audits on the constructed system prior to the installation of plant material, and make necessary adjustments to aid in the success of the system. Annual irrigation audits and quarterly system reviews will be performed to ensure proper maintenance practices and care are being implemented.



SOIL PREPARATION

The River Islands Master Plan will require an Agricultural Suitability Test be performed to ensure successful and healthy plant environments. Due to mass grading of the overall site, the once fertile ground that provided such a stable base for vegetation and crops that covered the development in the past may no longer be within the planting soil horizon.

Ongoing installation of required underground utilities, compaction and construction materials may have introduced less fertile growing mediums and therefore, the landscape area should be ripped to a depth of 12” and then thoroughly tilled to a depth of 8”.

Tests will identify current agricultural suitability, parasitic nematodes, leftover herbicides or other contaminants. Soils test will be performed from several different locations to ensure proper and thorough soil amendment requirements.

All planting areas will receive amendment in an effort to improve the planting medium and ensure healthy soil structure needed for plant establishment and long term suitability.

Soil amendments should include: Nitrified compost or redwood shavings, soil sulfur, gypsum, Nitrogen, Potassium, and Iron Sulfate at a minimum with any other amendment suggested by a soil laboratory. Amendments shall evenly displaced and be completely roto-tilled into the top 6” of soil. For plant material whose initial rooting depth will extend beyond the 6” amended soil horizon, plant pits will be additionally amended with the topsoil and additional soil amendments and plant fertilizer tablets.

All planting areas, except lawn or lawn like substitutes, shall receive a 3” minimum layer of chip bark after all plantings have been completed. This will help reduce evaporation and weed growth.

To avoid staining of concrete or pavement surfaces, contractors will avoid prolonged storage of soil, soil amendments, and bark and shall sweep and clean surfaces at the end of each work day.

BIO-FILTRATION SWALE

Treatment of stormwater runoff through biofiltration drainage swales have become an increasingly popular way to clean runoff and re-introduce it to the natural system. River Islands Master has incorporated a large bio-filtration swale that runs parallel to River Islands Parkway and will aid in the developments quest to be environmentally friendly.

Biofiltration is a pollution control technique in which waste/storm water is captured and re-introduced into a permeable treatment area where the water can flow and be cleansed through a biologically friendly planting area where pollutants can be separated out and water can begin to percolate back into the subgrade to aid in recharging the groundwater aquifers.

Biofiltration soil mixes are comprised generally of a porous soil strata consisting of a soil mixture of 60-70% sand and 30-40% compost with a gravel sub-base. Storm water flows should be able to percolate through this soil treatment at a rate of 5-6” (inches)/hour.

Plant material should be selected with the following criteria:

Plants along the top of the slope should be able to slow water down as it begins its decent from impervious surfaces down in the biofiltration swale. These plants, because they are generally adjacent to the public right-of-way should be visually interesting with leaf and plant structure along with seasonal showings of flowers as well as hardy and capable of long term viability with public interaction.

As plant material moves down the slope, species should be selected which bind and hold the slope together. These plans can be a mixture of evergreen groundcover, evergreen shrubs and grasses. Species should be selected for the ability to bind and hold the slope together, assist in slowing down the turbulence of the water which allows sediment and contaminants to filter out.

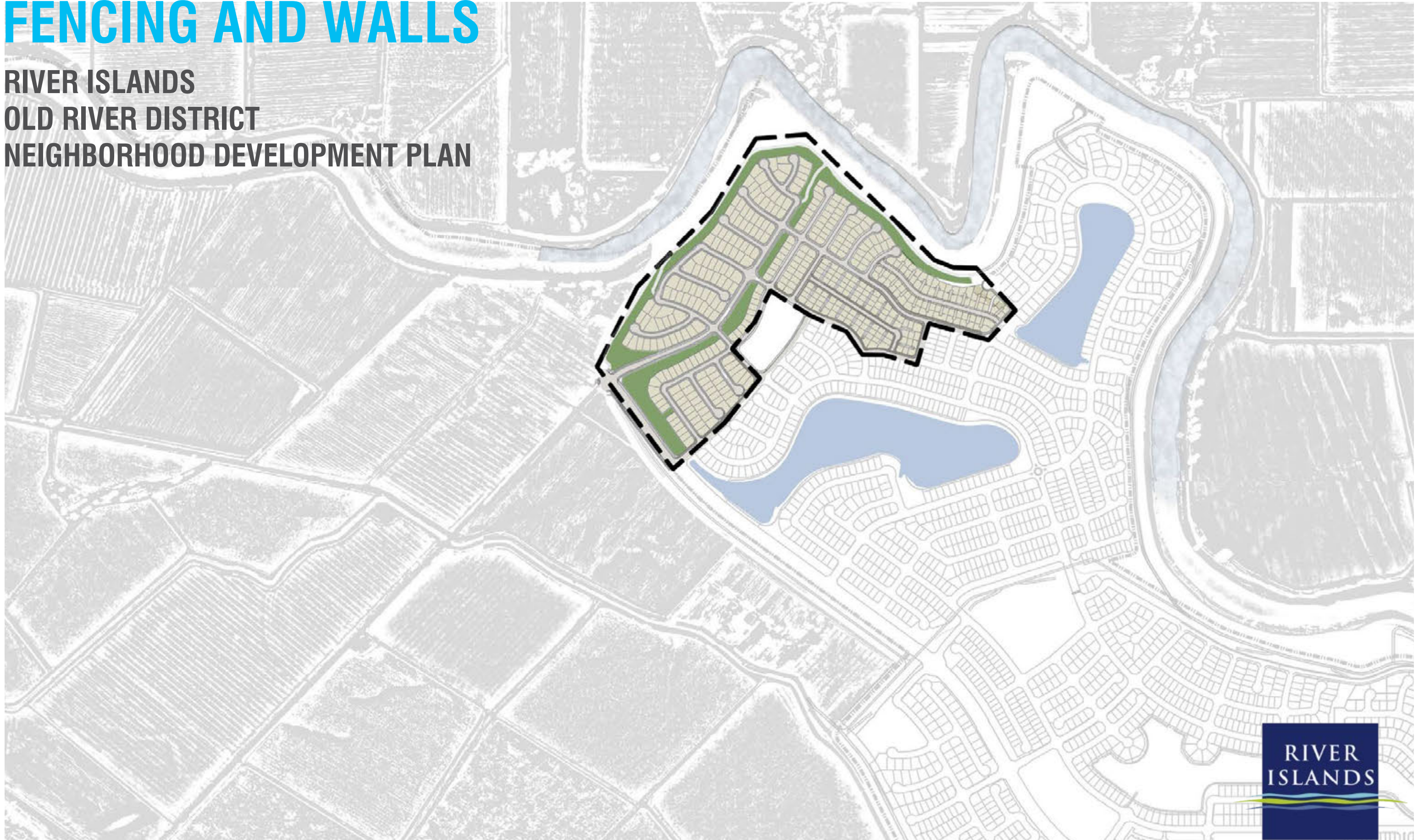
As the slope reaches the bottom of the biofiltration swale, it should be anticipated that there may be water present for most of the year. Plant material should be selected which can handle long term or frequent saturation and should be of a variety which slows water down to allow sedimentation and contaminants to filter out of the main flow areas.

The use of gravel/rock check dams are visually interesting and also act as a way to slow the water down and allow sedimentation to drop to the bottom of the drainage channel.



FENCING AND WALLS

RIVER ISLANDS
OLD RIVER DISTRICT
NEIGHBORHOOD DEVELOPMENT PLAN



FENCES & WALLS

The River Islands Master Plan uses a hierarchy of elements to delineate spaces and uses. Walls and fences that create useable spaces are key to maintaining continuity and identity.

Decorative masonry columns and walls frame the major collector streets and establish a solid, formal pedestrian space. Masonry soundwalls will be deferred to noise studies. Minor neighborhood collectors are established with masonry columns and decorative wood fences. Any fences along top slopes should be installed at top of slope.

All individual lot fences may be decorative wood fences at a slightly smaller scale, while maintaining a formal yet natural feel.

Bio-filtration areas will receive an “open space railing” fence to establish continuity throughout the development.

Fences will not be located at the end of cul-de-sacs to allow pedestrian access to the lower (toe) levee trail. However, removable bollards shall be placed at the end of these cul-de-sacs to prevent vehicular access but allowing emergency vehicle access as necessary.





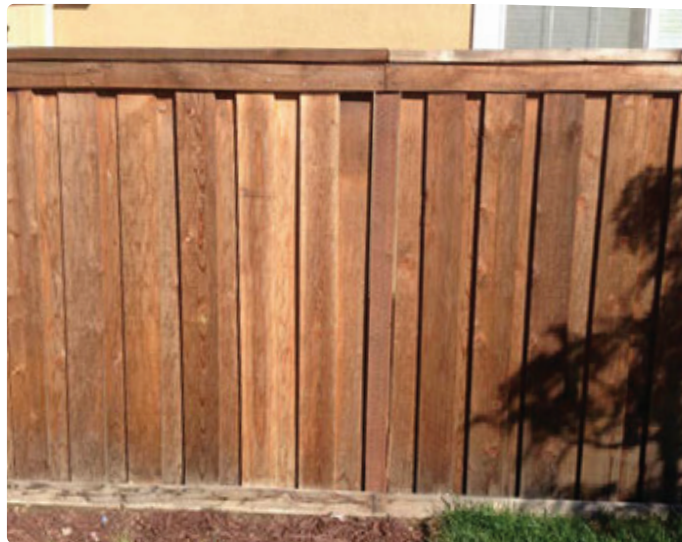
8' Masonry Column with Decorative Wood Community Fence



8' Masonry Column with 6' Community Masonry Wall



6' Community Masonry Wall



6' Wood Side Yard (Lot to Lot) Fence



6' Decorative Wood Lot Fencing



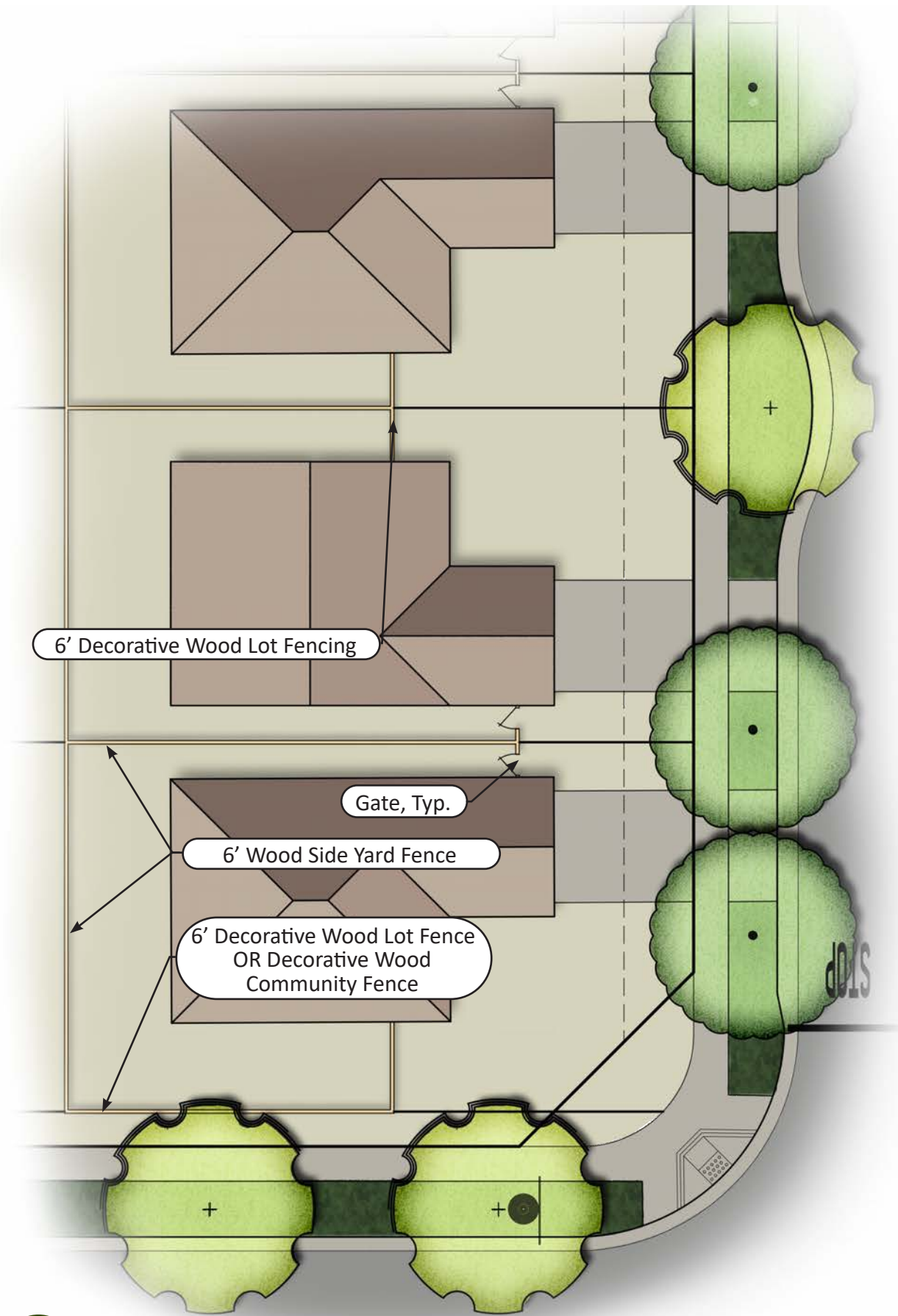
Decorative Wood Community Fence



Open Space Rail Fence



Removable Bollards (Typical)



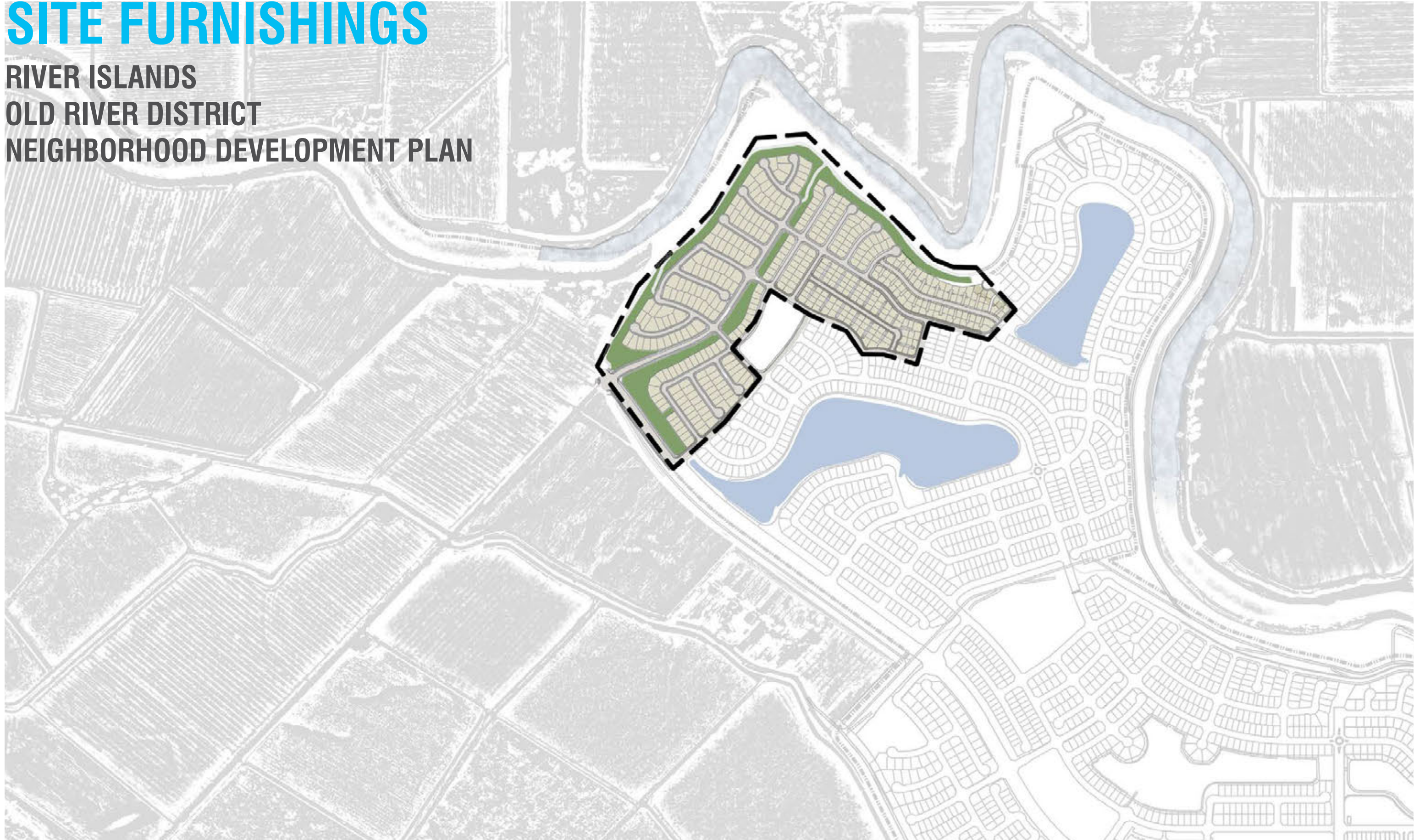
○ Typical Interior Lot Fencing Layout

SITE FURNISHINGS

RIVER ISLANDS

OLD RIVER DISTRICT

NEIGHBORHOOD DEVELOPMENT PLAN



COLORS

The color palette for the Old River District (Phase 2) should be based upon earthy, natural colors derived from the Delta Valley and riparian themes. These colors should be used on structures for public spaces such as parks, open spaces, trails, bridges, site furnishings, and hardscapes.

PAVING

Pavement concepts should establish strong, bold direct lines wide enough to encourage multi-directional use. Colors should be earth tones with contrasting shades to establish differing paths or shapes.

Finishes should be light to medium broom finishes, exposed aggregate, stamped concrete, brick, wood plank, or decomposed granite surfaces.

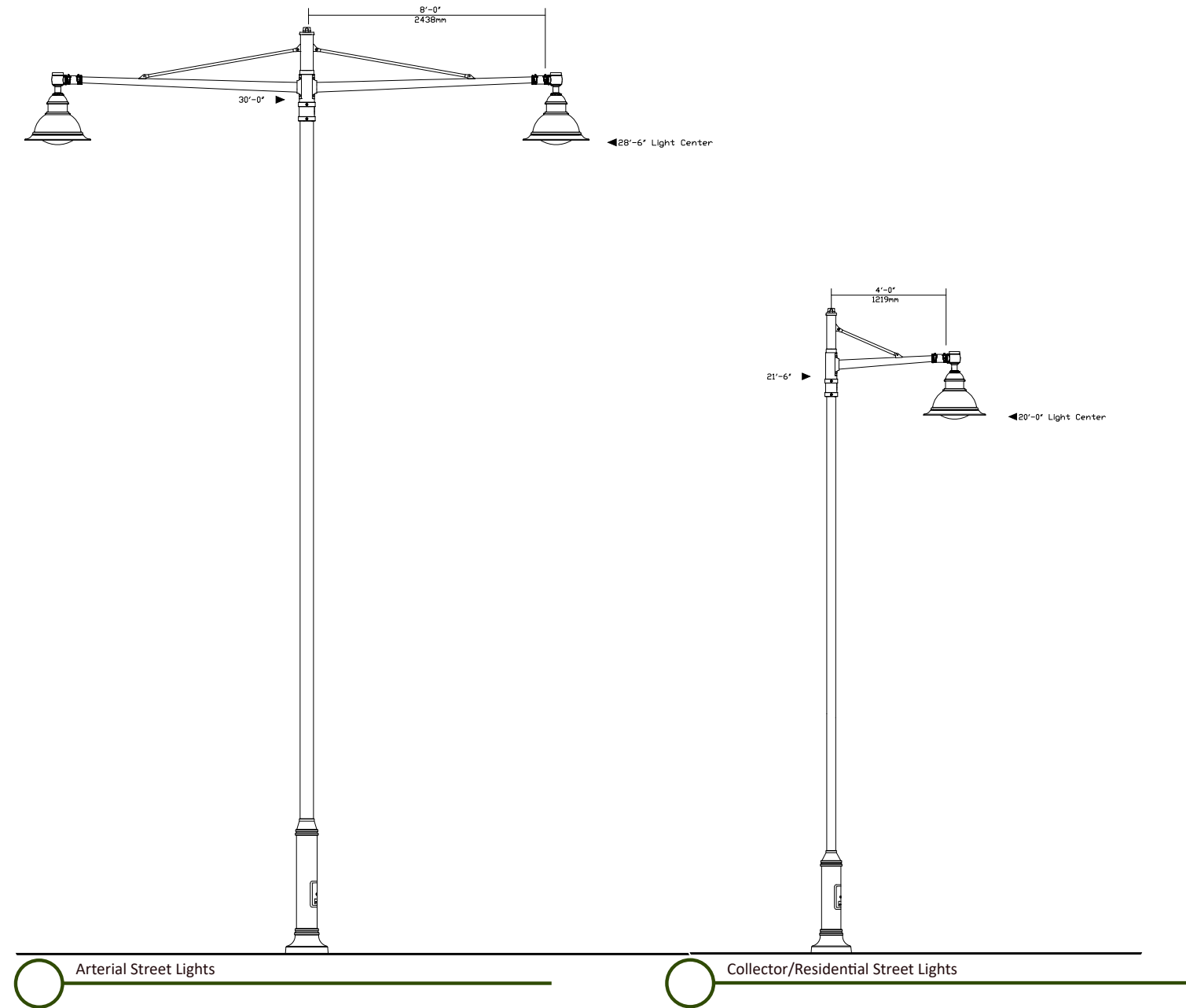
Scoring and expansion joints should be of a size and spacing to create visible patterns and to control and isolate cracking. Scoring should be limited to no more than ten feet (10') on center in any direction.



STREET LIGHTS AND BOLLARDS

The lighting concept for the Old River District (Phase 2) will continue the feel and physical characteristics of street lights established in initial phases of development.

- Landscape lighting includes:
- Street lights
 - Bollard lighting
 - Special feature lighting at neighborhood gateways



STREET FURNITURE

Street furniture should be available to all and provide a benefit to the community by enhancing use of all spaces. Benches should be welcoming and comfortable, located to create destinations and promote both recreational use as well as visual engagement with the community. All furnishings with logos will include the City of Lathrop's logo.

Street furniture includes:

- Benches
- Bike racks
- Trash receptacles
- Mailboxes
- Bollards
- Bus shelters

Note: Images are for reference only. Please defer to approved site amenities.



SIGNAGE

Signage helps the public travel through spaces and establishes order. Proposed signage continues the theme of the River Islands Master Plan by evoking images typical of waterways and the historic nature of the valley's rural communities.

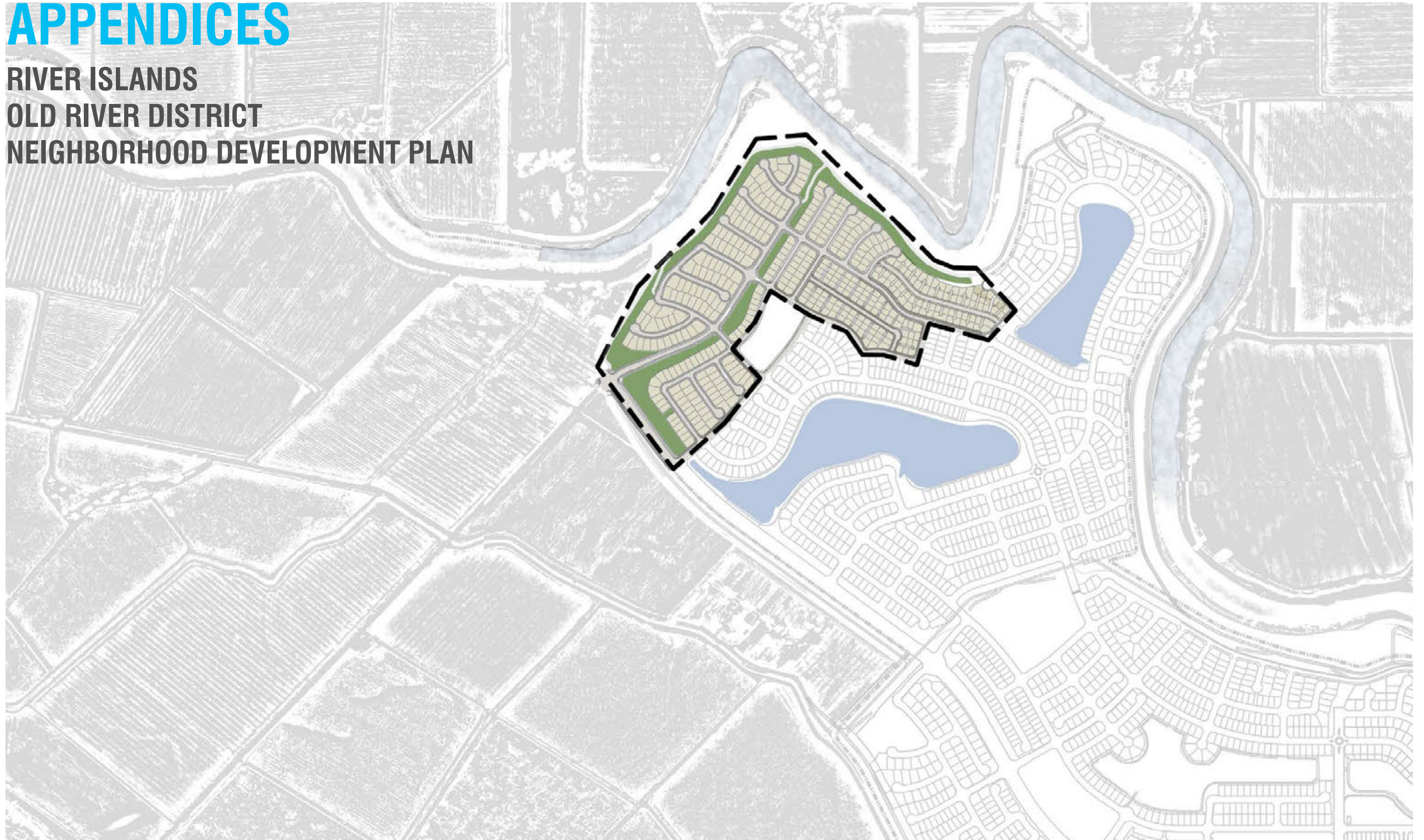
Signage includes:

- Street signs
- Neighborhood/Amenity signs



APPENDICES

RIVER ISLANDS OLD RIVER DISTRICT NEIGHBORHOOD DEVELOPMENT PLAN



EXAMPLE OF CONSTRUCTION & PLANT MATERIALS

INERT MATERIALS



4" - 8" Inch Cobbles



1 1/2 Inch Crushed stone



2 Inch Minus Cobble



Decomposed Granite



Colored Concrete w/ Pattern



Colored Asphalt w/ Pattern



Granite Blocks



Large Boulders

RIVER ISLANDS PHASE 2B- PLANT SELECTION GUIDE

Streetscape Between Wall and Walk	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bio-Swale	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Rear-Yard Lake Frontage	Levees, Trails and Restoration Areas	Botanical Name	Common Name	Use Height	Use Width	Water Use	Attributes
									Trees					
									<i>Acer buergerlanum</i>	Trident Maple	20'-25'	20'-25'	M	
									<i>Acer x freemanii</i> 'Autumn Blaze'	Maple, 'Autumn Blaze'	40'-50'	40'	M	
									<i>Acer macrophyllum</i>	Big Leaf Maple	30'-75'	30'-50'	H	
									<i>Acer negundo</i> var. <i>californica</i>	California Box Elder	30'-50'		M	
									<i>Acer rubrum</i> 'Armstrong', 'October Glory', Redpointe'	Armstrong Red Maple	40'-50'	15'	H	
									<i>Aesculus californica</i>	Buckeye	20'-30'	20'-30'	VL	
									<i>Aesculus carnea</i>	Red Horsechestnut	40'	30'	M	
									<i>Alnus rhombifolia</i>	White Alder				
									<i>Arbutus unedo</i>	Strawberry Tree	8'-25'	8'-25'	L	
									<i>Arbutus</i> 'Marina'	Marina' Strawberry Tree	20'-30'	20'-30'	L	
									<i>Arbutus marina</i> - 'Multi-trunked'	Strawberry Tree	15'-30'	15'-20'	L	Dark green oblong foliage with rosy pink fall flowers
									<i>Betula jacquemontii</i> (<i>Betula utilis</i> <i>jacquemontii</i>)	White Barked Himalyan Birch	40'-60'	25'-30'	H	
									<i>Carpinus betulus</i> 'Fastigiata'	European Hornbeam	40'	30'	M	
									<i>Catalpa speciosa</i>	Western Catalpa	40'-60'	20'-40'	M	
									<i>Cercidium</i> x 'Desert Museum'	Desert Museum Palo Verde	20'	20'	?	
									<i>Cercis canadensis</i> 'Oklahoma'	Eastern Redbud	25'-35'	25'-35'	M	
									<i>Cercis occidentalis</i>	Western Redbud	10'-20'	10'-20'	VL	
									<i>Cercis occidentalis</i> - 'Multi-trunked'	Western Red Bud	12'-18'	10'-18'	L	Blue-green foliage with magenta flowers
									<i>Cercocarpus betuloides</i>	Island Mountain Mahogany	5'-20'	5'-20'	VL	
									<i>Chilopsis linearis</i> 'Monhews'	Timeless Beauty Desert Willow	15'-20'	15'-20'	VL	Fragrant showy purple flowers
									<i>Chionanthus retusus</i>	Chinese Fringe Tree	20'	15'	M	
									X <i>Chitalpa tashkentensis</i>	Chitalpa	30'	30'	L	White to pale or dark pink flowers
									<i>Crataegus phaenopyrum</i>	Washington Hawthorn	25'	20'	M	
									<i>Cupressus sempervirens</i>	Italian Cypress	40'-70'	10'-20'	M	
									<i>Cupressus arizonica</i>	Arizona Cypress	40'	20'	VL	
									<i>Ginkgo biloba</i> 'Autumn Gold' (Male only)	Ginkgo, 'Autumn Gold'	35'-40'	25'-35'	M	Use male only varieties
									<i>Gleditsia tricanthos</i> <i>inermis</i>	Thornless Honey Locust	25'-50'	25'-50'	L	
									<i>Koelreuteria paniculata</i>	Goldenrain Tree	20'-35'	25'-40'	M	
									<i>Lagerstroemia indica</i> 'Dynamite'	Crape Myrtle	15'-25'	15'-20'	L	Red Flowers
									<i>Lagerstroemia</i> x <i>fauriei</i> 'Natchez'	Crape Myrtle	20'-30'	15'-20'	L	
									<i>Lagerstroemia</i> x <i>fauerei</i> 'Natchez' - 'Multi-Trunked'	Natchez Crape Myrtle	15'-20'	12' Wide	L	White flowers
									<i>Lagerstroemia</i> x <i>fauriei</i> 'Muskogee'	Crape Myrtle	20'-30'	15'-20'	L	
									<i>Magnolia soulangiana</i> 'D.D. Blanchard'	Tulip Magnolia	50'	25'-35'	M	

RIVER ISLANDS PHASE 2B - PLANT SELECTION GUIDE

Streetscape Between Wall and Walk	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bio-Swale	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Rear-Yard Lake Frontage	Levees, Trails and Restoration Areas	Plant Name	Height	Width	Category	
									Malus	Flowering Crabapple, 'Snowdrift', 'Golden Raindrops'	15'-20'	15'-20'	M
									Olea europaea 'Swan Hill'	Swan Hill Olive	25'-30'	25'-30'	VL
									Parkinsonia aculeata	Mexican Palo Verde	15'-20'	10'-20'	VL
									Pinus pinea	Stone Pine			L
									Pinus radiata	Monterey Pine	80'-100'	25'-35'	M
									Pistacia chinensis 'Pearl Street', 'Red Push' or 'Keith Davey'	Chinese Pistache Varieties	30'-60'	50'	L
									Platanus acerifolia 'Bloodgood'	London Plane	40'-50'	25'-30'	M
									Platanus X acerifolia 'Columbia'				M
									Platanus racemosa	California Sycamore	50'-90'	30'-50'	M
									Populus alba 'Pyramidalis'	Seedless Bolleana Poplar	50'	15'	M
									Populus fremontii	Fremont Cottonwood	40'-60'	30'-40'	M
									Populus nigra 'Italica'	Lombardy Poplar	100'	15'-30'	M
									Prosopis glandulosa 'Maverick'	Texas Mesquite	25'-30'	25'-30'	L
									Prunus caroliniana 'Bright 'N Tight' (Compacta)	Bright N' Tight Cherry Laurel	8'-10'	6'-8'	L
									Quercus agrifolia	Coast Live Oak	20'-70'	40'-80'	VL
									Quercus coccinea	Scarlet Oak	60'-80'	40'-60'	M
									Quercus douglasii	Blue Oak	30'-50'	40'-70'	VL
									Quercus ilex	Holly Oak	40'-60'	40'-60'	L
									Quercus lobata	Valley Oak	50'-75'	50'-80'	L
									Quercus muehlenbergii	Quinkpin Oak			?
									Quercus robur	English Oak	50'-60'	30'	M
									Quercus suber	Cork Oak	30'-60'	30'-60'	L
									Quercus virginiana	Southern Live Oak	40'-80'	60'-90'	M
									Quercus wislizenii	Interior Live Oak	30'-70'	30'-70'	VL
									Robinia 'Purple Robe'				L
									Salix goodingii	Gooding's Black Willow	10'-25'		H
									Salix laevigata	Red Willow	15'-30'		H
									Salix lucida var. lasiandra	Pacific Willow			H
									Schinus molle	California Pepper tree	25'-40'	25'-40'	L
									Sophora japonica 'Regent'	Pagoda Tree	40'	40'-60'	L
									Syringa reticulata	Japanese Tree Lilac	30'	20'	M
									Tilia cordata 'Greenspire'	Littleleaf Linden	30'-50'	15'-30'	M
									Ulmus parvifolia 'Drake'	Chinese Elm	50'-70'	30'-50'	M
									Ulmus wilsoniana 'Frontier'		20'		M
									Ulmus wilsoniana 'Patriot'		30'		L
									Ulmus wilsoniana 'Emerald Sunshine'				L

RIVER ISLANDS PHASE 2B - PLANT SELECTION GUIDE

Streetscape Between Wall and Walk	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bio-Swale	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Rear-Yard Lake Frontage	Levees, Trails and Restoration Areas							
									Ulmus wilsoniana 'Prospector'					L	
									Umbellularia californica	California Laurel	20'-35'	20'-35'		M	
									Vitex agnus-castus	Chaste Tree	15'-20'	15'-20'		L	
									Zelkova serrata 'Green Vase'	Zelkova, Green Vase	50'	50'		M	
Shrubs (Large Background)															
									Abelia grandiflora	Glossy Abelia	8'	5'		M	
									Agave filifera					L	
									Alyogene heugelii	Blue Hibiscus	6'-10'	6'-8'		L	Light blue flowers
									Anisodonteia x hypomandarum	Cape Mallow	4'	4'		M	Purple/pink flowers
									Arbutus u. 'Oktoberfest'	Strawberry Tree	6'-8'	6'-8'		L	Dark green foliage
									Arctostaphylos densiflora 'Howard McMinn'	Howard McMinn	5'- 6'	7'		L	
									Berberis thunbergii	Japanese Barberry	4'-6'			L	
									Buddleja davidii	Butterfly Bush	6'-10'	6'-10'		M	
									Carpenteria californica	Bush Anemone	3'-6'			L	
									Cephalanthus occidentalis	Button Willow	3'-15'	3'-15'		M	
									Cistus hybridus (Cistus corbariensis)	White Rockrose	2'-5'	2'-4'		L	
									Cistus ladanifer (Cistus ladaniferus maculatus)	Crimson-Spot Rockrose	3'-5'	3'-5'		L	
									Cistus x purpureus	Orchid Roserock	4'	4'		M	Dark pink flowers
									Coprosma repens	Mirror Plant	10'	6'		M	
									Cornus stolonifera (sericea) 'Baileyi'	Red-Twigged Dogwood	6'-8'	6'-8'		H	
									Cotinus coggygia (Rhus cotinus) 'Purpureus'	Smoke Bush	15'	15'		L	
									Dodonaea viscosa 'Purpurea'	Purple Hopseed Bush	10'	8'-10'		L	Red/burgundy foliage
									Elaeagnus pungens	Silverberry	6'-15'			L	
									Eriogonum fasciculatum	California Buckwheat	1'-3'	4'		L	
									Fremontodendron californicum	California Flannelbush				VL	
									Grevillea x 'Noelii'	Noell Grevillea	5'	6'		L	Glossy lime green needle-like foliage with pink and white
									Heteromeles arbutifolia	Toyon	6'-10'			VL	
									Laurus nobilis	Bay Laurel	12'-40'			L	
									Lavatera maritima	Tree Mallow	6'	6'		L	Gray-Green foliage with light pink/purple flowers
									Lavatera thuringiaca 'Mrs Barnsley'	Mallow				L	
									Leucophyllum frutescens 'Compactum'	Texas Ranger	4'-5'	4'-5'		L	
									Lupinus arboreus	Yellow Bush Lupine	5'-8'	5'-8'		L	
									Mahonia aquifolium	Oregon Grape	6'			M	
									Myrtus communis	True Myrtle	5'-6'	4'-5'		L	
									Nandina domestica	Heavenly Bamboo	3'-8'	2'-4'		L	
									Nerium oleander 'Little Red'	Dwarf Red Oleander	4'	4'		L	Red flowers
									Nerium oleander 'Petite Pink'	Dwarf Pink Oleander	4'	4'		L	Pink flowers

RIVER ISLANDS PHASE 2B - PLANT SELECTION GUIDE

Streetscape Between Wall and Walk	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bio-Swale	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Rear-Yard Lake Frontage	Levees, Trails and Restoration Areas						
									Osmanthus fragrans	Sweet Olive	10'	10'-12'	M	
									Osmanthus x fortunei	Hybrid Tea Olive	6'-20'	10'-12'	M	
									Philadelphus lewisii	Wild Mock-orange	4'-10'	6'-10'	M	
									Philadelphus 'Belle Etoile'	Purple Spot Mock Orange	5'-7'	5'-7'	M	
									Phormium tenax 'Atropurpureum'	New Zealand Flax	4'-5'	4'-5'	L	Burgundy-bronze bladed foliage
									Phormium 'Yellow Wave'	Yellow Wave New Zealand Flax	4'-5'	4'-5'	M	Yellow and lime green bladed foliage
									Prunus caroliniana 'Bright 'N Tight' (Compacta)	Bright N' Tight Cherry Laurel	8'-10'	6'-8'	L	
									Raphiolepis indica	India Hawthorn	4'-5'		L	
									Raphiolepis indica 'Clara'	India Hawthorn	3'-5'	3'-5'	L	
									Raphiolepis indica 'Springtime'	India Hawthorn	4'-6'		L	
									Raphiolepis umbellata	Yeddo Hawthorn	4'-6'	4'-6'	L	
									Rhamnus californica 'Mound San Bruno'	San Bruno Coffeberry	3'-15'	8'	L	
									Rhamnus californica 'Eve Case'	Dwarf Coffeberry	4'-8'	4'-6'	L	
									Rhamnus crocea	Redberry				
									Rhamnus tomentella	Hoary Coffeberry			L	
									Ribes aureum (var. gracillimum)	Golden Currant	3'-6'		L	
									Ribes sanguineum	Pink Flowering Currant	4'-12'		M	
									Rosa californica 'Plena'	California Wild Rose			L	
									Teucrium fruticans	Bush Germander	5'-6'	5'-6'	L	Gray leaves, lavender flowers
									Teucrium fruticans	Bush Germander	4'-8'	4'-10'	L	
									Viburnum t. 'Spring Bouquet'	Spring Bouquet Viburnum	4'-6'	4'-6'	M	Deep green leathery foliage with tight clusters of pink bu
									Xylosma congestum	Shiny Xylosma	8-10'	8-10'	L	
Shrubs (Medium Foreground)														
									Abelia x grandiflora 'Kaleidoscope'	Glossy Abelia	2'-2.5'	3'-4'	M	White flower
									Berberis thunbergii 'Cruzam'	Crimson Ruby Japanese Barberry	2'	2'	M	Deep red/burgundy foliage
									Callistemon citrinus 'Compacta'	Bottlebrush			L	
									Callistemon citrinus 'Little John' or 'Captain Cook'	Dwarf Bottlebrush	3'	3'	L	
									Coleonema pulchrum 'Varieties'	Pink Breath of Heaven	3'-4'	4'	M	Light green foliage with tiny pink flowers
									Mahonia aquifolium 'Compacta'				M	
									Myrsine africana	African Boxwood	3'-8'	3'-6'	L	
									Pittosporum t. 'Wheeler's Dwarf'	Mock Orange	3'-4'	4'-5'	M	White flower
									Punica granatum 'Nana'	Dwarf Pomegranate	3'	5'	L	Orange flowers
									Raphiolepis indica 'Ballerina'	Dwarf Pink Indian Hawthorne	2'	4'	L	Pink flowers
									Salvia greggii / Salvia x jamensis	Autumn Sage	3-4'	2'	L	
									Salvia greggii 'Alba'		1'-4'	1'-4'	L	
									Salvia microphylla	Mint Bush Sage	3-5'	4'-8'	M	

RIVER ISLANDS PHASE 2B - PLANT SELECTION GUIDE

Streetscape Between Wall and Walk	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bio-Swale	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Rear-Yard Lake Frontage	Levees, Trails and Restoration Areas						
									Spiraea bumalda	Spiraea	2'-3'	3'-4'	M	
									Spiraea x bumalda 'Goldflame'	Goldflame Spirea	3'-4'	4'	M	Yellow-green foliage with pink/red flowers
									Viburnum davidii	David Viburnum	3'	3'	M	Large glossy green deep veined foliage, tight clusters of p
									Zauschneria californica	California Fuschia	3'	3'-4'	L	Gray leaves w/ red flowers
Shrubs (Accents)														
									Achillea millefolium californica	Yarrow	1-3'	1-3'	L	
									Achillea millefolium rosea 'Island Pink'	Pink Yarrow	1'-3'		L	
									Achillea tomentosa	Woolly Yarrow	6"		L	
									Agapanthus africanus	lily-of-the-Nile	1.5'-2'	1.5'-2'	M	Blue/white flower
									Aloe species		varies		L	
									Amsonia tabernaemontana	Blue Star Flower	2'-3'		?	
									Aquilegia eximia	Serpentine Columbine	2'	1-3'	L	
									Artemisia 'Powis Castle'	Powis Castle Sagebrush	3'	6'	L	
									Asclepias fascicularis	Narrow-leaved Milkweed	1'-3'	1'	?	
									Ceratostigma plumbaginoides	Plumbago	0.75'-1'	1'-1.5'	M	Deep blue flower
									Carex divulsa	Berkeley Sedge			L	Deep green clumping evergreen grass
									Dietes bicolor	Fortnight Lily, Bicolor Iris			L	
									Dietes vegeta	Fortnight Lily	3'-4'	2'-3'	M	White flower
									Erigeron karvinskianus	Santa Barbara Daisy	1'-2'	3'-5'	L	White with some pink flowers
									Eschscholzia californica	California Poppy	1'	1.5'	VL	
									Festuca idahoensis'siskiyou blue'	Blue Bunch Grass	14"	10"	L	
									Festuca mairei	Atlas Fescue	2'-3'	2-3'	L	Evergreen clumping yellowish gray-green foliage
									Festuca ovina 'Glauca'	Elijah's Blue, Blue Festuca	4"-10"	6"	M	
									Festuca rubra	Red Fescue	3"-12"	6"	M	
									Helleborus x hybridus	Lenten Rose			M	
									Hemorcallis x 'Stella de Oro'	Stella De Oro Dwarf Daylily	2'	2'	M	Heavy clusters of large yellow flowers
									Hemorcallis fulva	Orange Daylily	2'-2.5'	2'-2.5'	M	Tawny orange
									Hesperaloe parviflora	Coral Yucca	2'	2'	/	
									Heuchera 'Lillian's Pink'	Lillian's Pink Coral Bells			/	
									Heuchera 'Rosada'	Rosada Coral Bells			?	
									Heuchera sanguinea	Coral Bells			M	
									Iris 'Canyon Snow'	Canyon Snow Pacific Iris			?	
									Juncus patens	CA Gray Rush	2'	2'	H	
									Kniphofia uvaria	Red Hot Poker			M	
									Lavandula angustifolia	English Lavender	8"-2'	8"-2'	L	
									Lavandula a. 'Buena Vista'	English Lavender	2'	2'	L	Gray-green foliage with deep violet blue flowers
									Lavandula 'Goodwin Creek Grey'	Goodwin Creek Lavender			L	

RIVER ISLANDS PHASE 2B - PLANT SELECTION GUIDE

Streetscape Between Wall and Walk	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bio-Swale	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Rear-Yard Lake Frontage	Levees, Trails and Restoration Areas						
									Lavandula stoechas 'Otto Quast'	Otto Quast Spanish Lavender	18"-3'	2'	L	
									Leymus condensatus 'Canyon Prince'	Canyon Prince Wild Rye	2'-4'	2'	VL	
									Liriope muscari	Lily Turf			M	
									Lomandra l. 'Breeze'	Dwarf Mat Rush	2'-3'	2'-4'	L	
									Lupinus albifrons	Bush Lupine	3-5'	2-3'	L	
									Miscanthus sinensis 'Morning Light'		5'-6'	3'-4'	M	
									Muhlenbergia dubia	Mexican Deergrass	2'-3'	2'-3'	L	
									Pennisetum setaceum 'Cupreum'	Red Fountain Grass	3'-4'	3'-4'	L	
									Penstemon heterophylus 'Margarita'	Foothill Penstemon	1'-3'	1'-2'	L	Lavender flowers
									Penstemon species				M-L	
									Penstemon spectabilis	Showy Penstemon	3'		M-L	
									Perovskia a. 'Little Spire'	Russian Sage	2'	2'	L	Vertical spikey gray-green foliage with lavender-blue flow
									Phormium tenax 'Apricot Queen'	New Zealand Flax	3'	4'	L	Yellow wit green margined bladed foliage
									Phormium tenax 'Dusky Chief'	New Zealand Flax	5'-6'	4'-5'	L	Reddish brown bladed foliage
									Phormium tenax 'shirazz'	New Zealand Flax			L	
									Phormium tenax 'Tom Thumb'	New Zealand Flax	1'-2'	1'-2'	L	
									Salvia				L-M	
									Salvia 'Bee's Bliss'	Bee's Bliss Salvia	1'-2'	8'	M	
									Salvia m. 'Hot Lips'	Hot Lips Sage	3'	3'	L	Red/white flowers
									Salvia 'Mrs. Beard'	Mrs. Beard Salvia	2'	3 - 6'	L	
									Salvia sonomensis	Creeping Sage			L	
									Salvia spathacea	Hummingbird Sage			L	
									Solidago californica	California Goldenrod	1-3'	18"-3'	L	
									Symphyotrichum chilense	California aster	1-3'		L	
									Tulbaghia violacea	Society Garlic	18"	18"	L	Purple flowers
									Tulbaghia v. 'Silver lace'	Variegated Society Garlic	18"	18"	L	Silver/white blades w/purple flowers
									Veronica austriaca 'Crater Lake Blue'	Crater Lake Blue Speedwell	18"	12"	M	Gentian blue
									Zauschneria californica 'Catalina'	Island California Fuschia	1-3'	1-3'	L	
									Zauschneria cana	California Fuschia	2-3'	18"-3'	L	
Shrubs (Groundcovers)														
									Acacia r. 'Desert Carpet'	Desert Carpet Acacia	1'-2'	10'-12'	L	Leathery gray green foliage with puffy yellow ball shaped
									Ajuga species	Carpet Bugles	1'	3'	M	
									Arctostaphylos 'Pacific Mist'		2 1/2'	4'	L	
									Artemisia californica 'Montara'	California Sagebrush	18"-5'		L	
									Artemesia 'Powis Castle'	Powis Castle Artemesia	3'	5'	M	gray green foliage
									Baccharis pilularis	Coyote Bush			L	

RIVER ISLANDS PHASE 2B - PLANT SELECTION GUIDE

Streetscape Between Wall and Walk	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bio-Swale	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Rear-Yard Lake Frontage	Levees, Trails and Restoration Areas						
									Baccharis pilularis 'Pigeon Point'	Dwarf Coyote Brush	6'	6'	L	
									Ceanothus griseus horizontalis 'Yankee Point'	Shrub Ceanothus	2'-3'	8'	L	Blue flowers
									Ceanothus maritimus 'Valley Violet'	Valley Violet Maritime Lilac			L	
									Ceanothus thyrsoiflorus 'Skylark'	Blueblossom	3'-6'	5'	L	
									Ceanothus 'Concha'				L	
									Ceanothus 'Dark Star'	Dark Star California Lilac	5'-6'	8'-10'	L	
									Ceanothus 'Joyce Coulter'	Wild California Lilac	3'-5'	8'-10'	L	
									Ceanothus 'Ray Hartman'	Ray Hartman California	12'-20'	15'-20'	L	
									Cistus salvifolius	Sageleaf Rockrose	2'	6'	L	
									Coprosma kirkii	Kirk's Coprosma	2-3'		L	
									Cotoneaster dammeri 'Eichholz'	Bearberry Cotoneaster	8"	6'-8'	L	White flowers, red berries
									Cotoneaster lacteus (Cotoneaster parneyi)		8'	10'	L	
									Cotoneaster microphyllus	Rockspray Cotoneaster	2-3'	6'	L	
									Erigeron 'Wayne Roderick'	Wayne Roderick Seaside Daisy	8"	1 1/2'	M	
									Erigeron karvinskianus	Santa Barbara Daisy	10"-20"	3'	L	
									Eschscholzia californica	California Poppy	1'	1.5'	VL	
									Hypericum calycinum	Aaron's Beard	1'		M	
									Hypericum moserianum	Gold Flower	1'		M	
									Lessingia filaginifolia var. californica 'Silver Carpet'	Silver Carpet California- Aster			M	
									Lobularia maritima	Sweet Alyssum	2"-12"	8"-12"	M	
									Lupinus microcarpus	Chick Lupine	2 1/2'		M	
									Myoporum parvifolium	Myoporum	6"	9'	L	
									Oenothera hookeri	Evening Primrose	1'-3'	1'-3'	L	
									Phacelia californica	Phacelia	18"		M	
									Potentilla verna	Spring Cinquefoil	2'-3'	3'-4'	M	
									Ribes viburnifolium	Evergreen Currant	3'-6'	12'	L	
									Rosa 'Noamel'	Apple Blossom Flower Carpet Rose	2'	3'	M	White/pink flowers
									Rosa 'Noare'	Red Flower Carpet Rose	2'	3'	M	Red flowers
									Rosa 'Noaschnee'	White Flower Carpet Rose	2'	3'	M	White flowers
									Rosa 'Noatraum'	Pink Flower Carpet	2'	3'	M	Pink flowers
									Rosmarinus o. 'Irene'	Rosemary	1'-1 1/2'	2"-3"	L	Blue flowers
									Rosmarinus o. Prostratus	Dwarf Rosemary	2'	4'	L	Blue flowers

RIVER ISLANDS PHASE 2B - PLANT SELECTION GUIDE

Streetscape Between Wall and Walk	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bio-Swale	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Rear-Yard Lake Frontage	Levees, Trails and Restoration Areas					
									ETY Mix (Carex Divulsa, Eschscholzia californica, Festuca Idahoensis, Layia platyglossa, Salvia l. "Bee's Bliss", Sysryncium idahoensis)	Entry Mix	1'-2'	1-2'	L
									Native Mow Free Mix (Festuca idahoensis, Festuca rubra, Festuca occidentalis)	No Mow Fescue	12"-18"		M
Vines													
									Aristolochia californica	California Pipevine			L
									Campsis radicans (Bignonia radicans)	Common Trumpet Creeper			L
									Clematis arandii 'Snow Drift'	Evergreen clematis	15-20'		M
									Clytostoma callistgioides	Violet Trumpet Vine			M
									Distictis buccinatoria	Trumpet Vine	20'-30'		M
									Ficus pumila	Creeping Fig	10'		M
									Gelsemium sempervirens	Carolina Jessamine	20'		L
									Hardenberdia violacea 'Happy Wanderer'	Hardenbergia Vine	10'		M
									Jasminum polyanthum	Pink Jasmine	20'		M
									Lonicera hispidula	Honeysuckle	3-10'		L
									Macfadyena unguis-cati	Cats Claw	20-40'		L
									Vitis californica	California Wild Grape	12-30'		VL
									Wisteria sinensis 'Alba' or 'Cooke's Special'				M

RIVER
ISLANDS



OLD RIVER DISTRICT

JULY 23, 2021

Attachment 6

ARCHITECTURAL
DESIGN GUIDELINES

&

DEVELOPMENT
STANDARDS

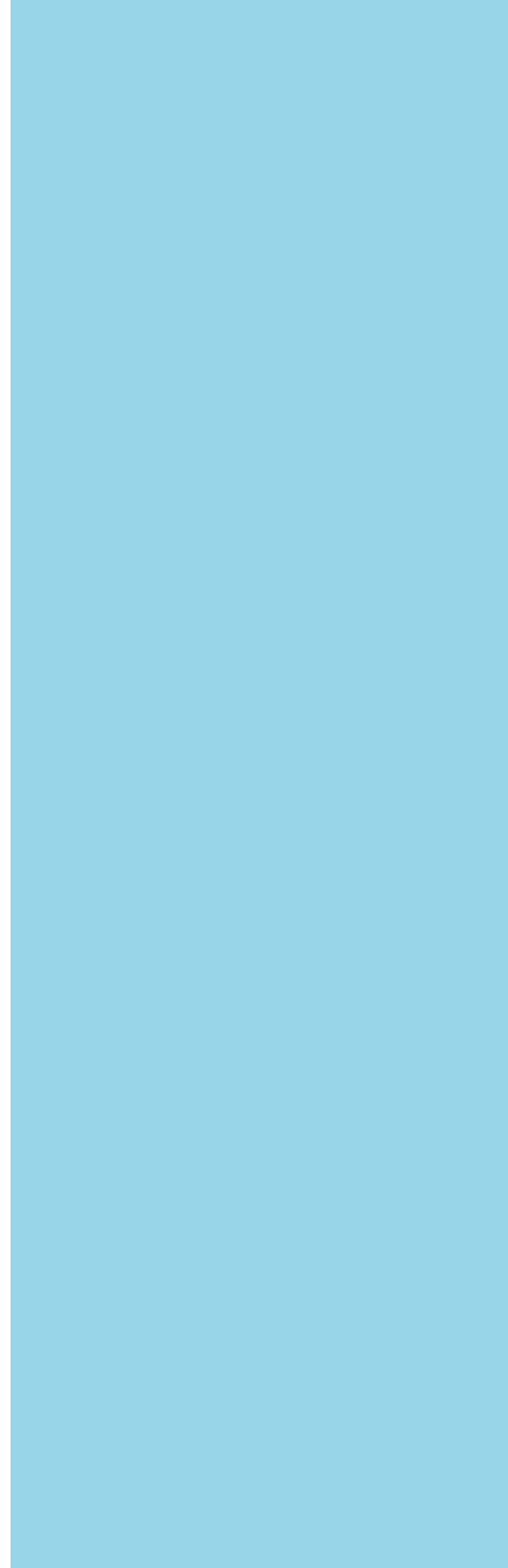


Imagery depicted on this document is used only for purposes of conveying architectural and/or planning concepts and may or may not represent the work of Dahlin Group Architecture Planning.

RIVER ISLANDS



TABLE OF CONTENTS





Chapter 1 Community Overview	1	Chapter 3 Landscape	60
1.1 Introduction.....	3	3.1 Introduction.....	61
1.1.1 Purpose & Intent.....	4	3.2 Residential Landscape.....	62
1.1.2 Relationship to West Lathrop Specific Plan	4	3.2.1 Planting Design.....	62
1.1.3 Language and Organization of Document.....	4	3.2.2 Front and Side Yards	65
1.2 Architecture Design Principles	6	3.2.3 Rear Yards	65
1.2.1 Regional Precedents	6	3.3 Site Furnishings/ Materials.....	68
1.2.2 Three Architectural Districts.....	7	3.3.1 Fences	68
1.2.3 Energy Efficiency	8	3.3.2 Signage.....	71
Chapter 2 Architecture.....	9	3.3.3 Landscape Lighting.....	71
2.1 Design Guidelines	11	3.3.4 Paving and Hardscape	71
2.1.1 Architectural Character	11	3.4 Landscape Construction Practices	72
2.1.2 Streetscape.....	11	3.4.1 Irrigation and Water Conservations	72
2.1.3 Building Elements.....	12	3.4.2 Soil Preparation and Mulching.....	72
2.1.4 Building Materials and Colors.....	14	3.4.3 Planting.....	73
2.1.5 Heritage Architectural Styles.....	15	Chapter 4 Project Implementation	77
American Traditional.....	16	4.1 Project Implementation.....	77
European Cottage	20	4.1.1 Stewart Tract Design Review and Committee	
Savannah	24	(STDRC)	77
California Ranch	28	4.1.2 Consistency Requirements.....	77
Craftsman	32	4.1.3 Design Review Submittal Requirements	77
California Modern	36	APPENDIX	79
Farmhouse Modern	40	Accessory Structures	80
2.2 Development Standards	44	Builder Identification Signs	81
Enhanced Architectural Elevation Locations.....	45	Plant List	85
Old River District Lotting Summary.....	46		
2.2.1 Low Density Res. (LDR) Dev. Standards.....	47		
2.2.2 Medium Density Res. (MDR) Dev. Standards..	48		
2.3 Technical Specifications:.....	55		
2.3.1 Structural Wiring	55		



1

1.1 Introduction

River Islands has been designed as the premier master planned community in Northern California. Its island location, on the San Joaquin River in Lathrop, provides a backdrop of nearly 5,000 acres for a mixed use community of 15,000 homes, nearly 4 million square feet of commercial space and ten schools. Such community recreational amenities as lakes, walking trails, parks and a boathouse are all part of the vision for our first neighborhoods. The Old River District is comprised of 431 residential units.

It is important to note that only the Old River District portion of the guidelines will be approved at this time. Old River District is considered part of the Phase 2 area of River Islands.

Figure 1.1 shows the location of River Islands, and its relationship to the major highways and surrounding cities.

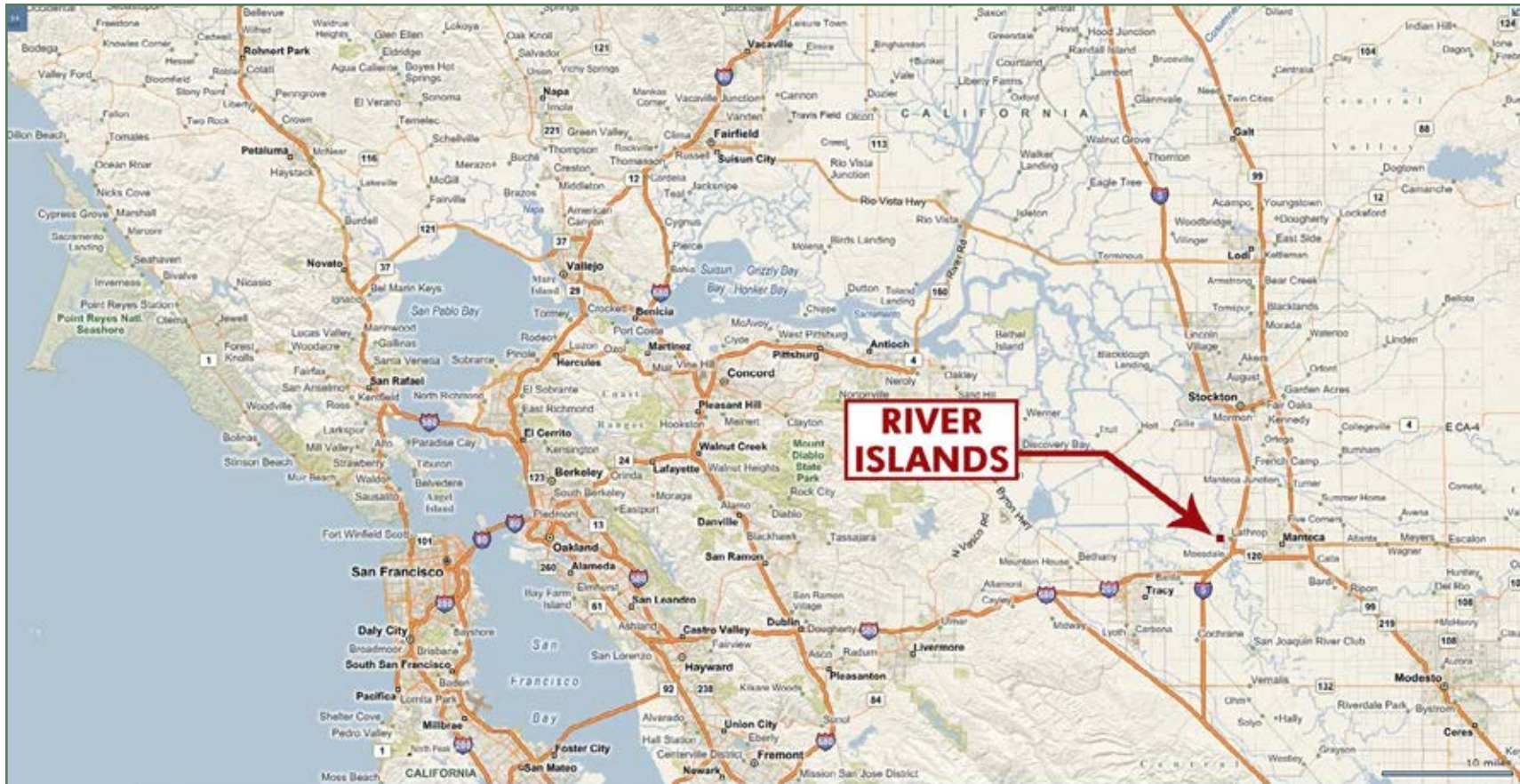


Figure 1.1 Location Map

1.1.1 Purpose & Intent

The Design Guidelines and Development Standards of River Islands (DG/DS) complement the River Islands Urban Design Concept (UDC) adopted by the Lathrop City Council. The Phase 2 UDC contains the conceptual framework for the design of the River Islands project consistent with the performance standards of the West Lathrop Specific Plan (WLSP). These DG/DS are specific to the Lakeside West development district as defined in the UDC. Their intent is to provide the specific standards and guidelines necessary for the Stewart Tract Design Review Committee (STDRC) and the City of Lathrop Community Development Department to review and evaluate proposed new homes for the River Islands development area also known as Stage 2B. Along with the UDC, this handbook is intended to provide home builders and their architects and planners the documents to fully analyze and guide any given development project.

1.1.2 Relationship to West Lathrop Specific Plan

The West Lathrop Specific Plan (WLSP) provides the authority under which the River Islands DG/DS has been prepared. As described in the WLSP, each Specific Plan sub area is required to have a written document that provides guidelines for development. This set of DG/DS applies only to the River Islands portion of the Specific Plan area known as Lakeside West District at this time. Further action for the approval for Old River District will be required at a later date.

1.1.3 Language and Organization of Document

These DG/DS are divided into three major sections: Architecture; Landscape and Project Implementation. Architecture and Landscape are each further divided into Design Guidelines and Development Standards. Together, these will assure that neighborhood home builders and individual homeowners have the guidance to carry out the vision for River Islands.

The Design Guidelines describe the overall design quality that River Islands envisions. Complementary sketches, imagery, diagrams, and other graphic materials further illustrate the DG/DS design intent. The words “should”; “may” and “can” indicates that the guideline is highly recommended and suggests possible design solutions that are acceptable and encouraged, but not required.

The Development Standards section addresses the particular design criteria, conditions and standards that shall be met when designing homes and landscape. The River Islands DG/DS uses careful language to assist the STDRC in reviewing design proposals. The words, “shall”, “will”, and “must” are to be implemented requirements. All development standards intended to supplement the WLSP’s and City of Lathrop’s zoning requirements use this language.

The Project Implementation Section will guide home builders and home owners through the approval and permit process.

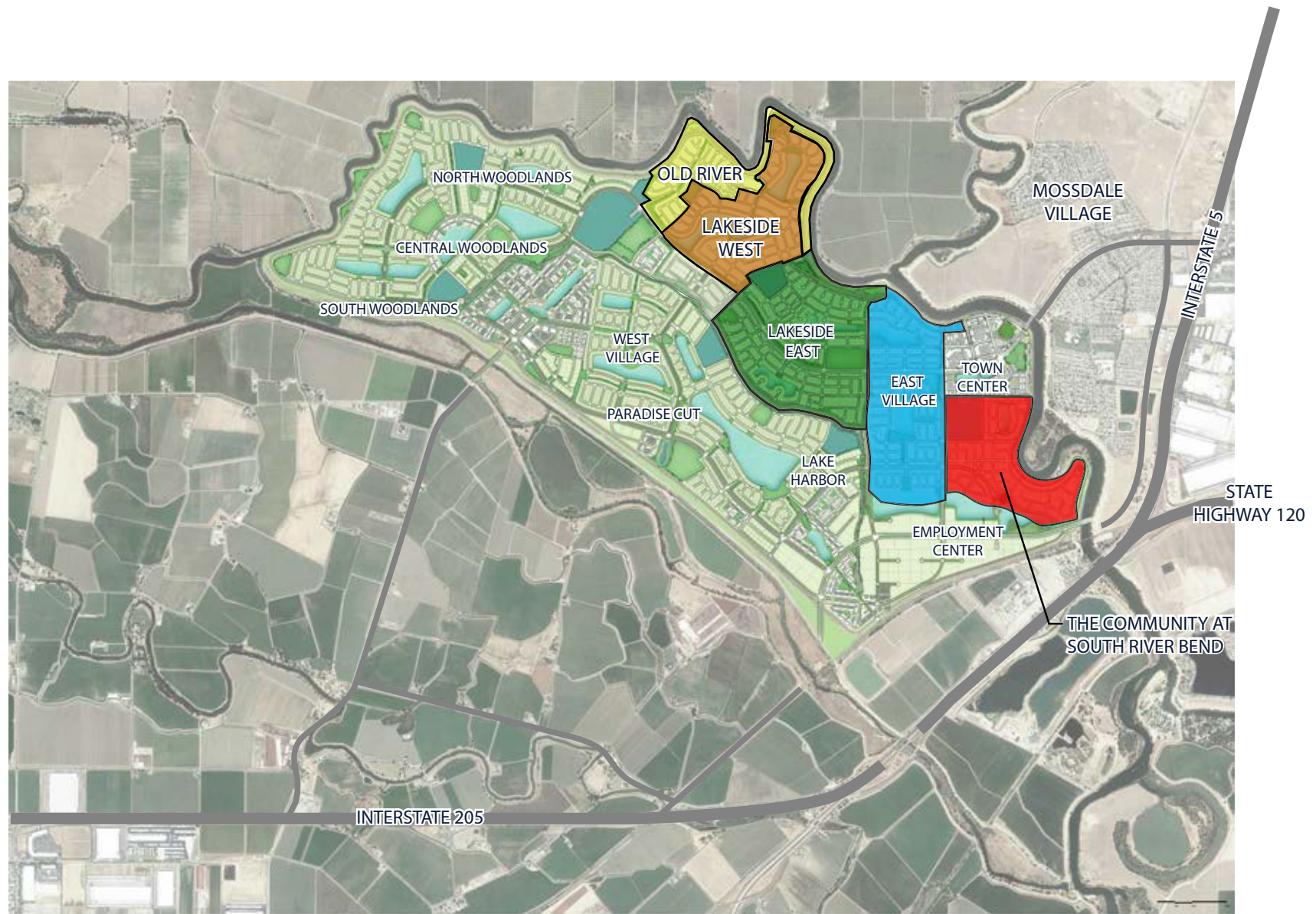


Figure 1.2 River Islands District Diagram

1.2 Architecture Design Principles

The character and quality of River Islands' architecture is an important factor in creating the overall identity of the community. Although it is likely that there will ultimately be a variety of architectural styles in the community, the following design principles are intended to provide the guidance that will assure unity and consistency in architectural design.

1.2.1 Regional Precedents

The region of San Joaquin and Sacramento River Deltas is rich in precedents that can serve as the basis for the architecture of River Islands. These include not only the historical architectural tradition, but the climate, natural environment, and cultural history. There are 4 distinct influences identified for this area, that provide us with the architectural styles that will be considered for the River Islands community.

River Edge

The use of the river system for commerce has been largely replaced by recreational use. Still, remnants of the river's use as the primary conduit for goods and materials, as well as the agricultural products of the region, remain. The simple, economical forms and materials of river edge industrial buildings, and their docks and quays provide a meaningful source for the architecture of the Town Center.

Similarly, the tradition of placing large homes on high ground near the river edge, with their small docks and boat houses provides inspiration for the design of residential buildings along the river.

River Delta

Because of the abundant water, flat slopes and easily worked soils, river deltas have always been desirable for agriculture. The tradition of farmsteads in the Delta, with their simple farmhouses and outbuildings, can be a particularly rich source for residential building design.



Mediterranean Climate

The climate of the delta is Mediterranean: cool, moist winters are followed by warm, dry summers. The prevailing westerly winds bring in cool air from the Pacific, making evenings pleasant, even in the summer. Often homes in this area were built with large roof overhangs and porches to limit the heat gain in the house, or with carefully placed large trees and shade structures.

Delta History & Culture

Originally part of the Rancho Pescadero, River Islands has a direct historical connection to the Spanish and Mexican Land Grant system that characterized California in the eighteenth and early nineteenth century. The discovery of gold north and east of River Islands, and the subsequent boom are also part of the region's architectural influences. The simple, slapdash architecture of boom towns, and the subsequent opulence of the Victorian Era are a part of the architectural history of the region. The traditions of agriculture and river-based industry are the most prevalent historical influences, however, and provide perhaps the most fitting stimulus for architectural design at River Islands.

1.2.2 Three Architectural Districts

River Islands is divided into three architectural districts based primarily on the dominant use within the district: Residential, Town Center and Employment Center. The requirements for the architecture of each district vary, as described in the following paragraphs.

Residential District

The architecture of the residential districts of the River Islands community will contain a wide variety of architectural styles and influences. The styles will be based on historical precedents from the region, such as those found in farmsteads, the river edge, or in the older residential neighborhoods of valley and delta cities. Modern adaptations of these styles may be proposed, though the intent is to create an appearance and feeling of old tradition architecture. The mixing of styles within individual neighborhoods will be limited so that visual unity can be achieved, and strange juxtapositions avoided.

Employment Center District

As the primary uses of this district are office, retail and commercial, the architectural styles will be the most contemporary of any of the three districts. Office and commercial buildings will generally be simple, modern, rectilinear forms with flat roofs. Masonry, concrete tilt-up and other economical building types will predominate. Buildings with historical references will likely be limited to retail centers or restaurants. Architectural design guidelines & development standards for Town Center and Employment Center Districts will be developed and adapted to supplement the UDC at the appropriate time prior to the official launch of these two districts.

Town Center District

The architecture of the Town Center will vary according to land use and location. Next to the river, particularly in the retail and commercial areas, the architecture should be based on historical commercial and industrial building types that might have been found in other river front towns. Ideally, this area should appear as if it developed over time, with the participation of numerous designers. Unity will be achieved primarily by uniformity of use and development standards, such as building mass and setbacks.

Residential areas of the Town Center may follow the guidelines for the residential district described previously, or may show the influence of riverfront industrial buildings, or Victorian estates. Individual development proposals will be judged by the Stewart Tract Design Review Committee on the effectiveness with which they create an architectural richness in the Town Center that mimics real riverfront towns.

Civic buildings, such as schools and city offices, can be special architectural features of the Town Center. They may be traditional or modern in architectural treatment.

1.2.3 Energy Efficiency

All buildings within River Islands should be designed to conserve energy. Among the methods that should be considered are:

- ^ Passive solar design: thermal masses to absorb winter sun energy, roof overhangs, and carefully placed deciduous trees to provide summer shade;
- ^ Active solar design: solar collectors to heat water, or photo voltaic cells to generate electricity;
- ^ Energy efficient mechanical equipment for heating and cooling, such as heat pumps;
- ^ Extra thermal insulation in roofs and walls to control heat gain and loss;
- ^ Operable windows in commercial buildings; to reduce dependence on mechanical ventilation;
- ^ Home integrated systems: wireless PC based systems that allow homeowners to program appliances to restrict usage during peak energy periods;
- ^ Load shifting technologies: thermal energy storage for residential and commercial use that moves the operation of air conditioning compressors from on-peak operation to off-peak hours;
- ^ Thermal rated glazing, including reflective coatings to reduce heat load in the summer;
- ^ Utilization of Energy Star rated appliances.

RIVER ISLANDS



CHAPTER 2

ARCHITECTURE

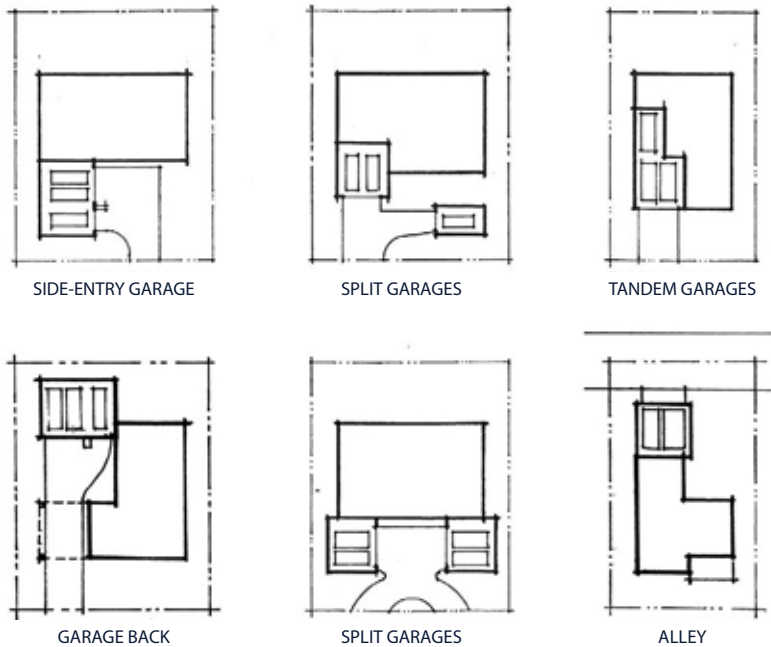
2

2.1 Design Guidelines

2.1.1 Architectural Character

Future residential village neighborhoods in River Islands will present diverse and varied streetscapes with interesting mix of architectural styles and motifs. Individual Village Districts should be designed and developed into themed residential neighborhoods with a coordinated mix of plans and elevation styles within any specific housing product line. The primary theme of each residential neighborhood will aim to create authentic Central Valley-inspired community with well crafted architectural mix and site-specific landscape features.

The key to a visually cohesive residential neighborhood can be achieved by modern interpretation of heritage architectural styles surveyed and collected throughout the region with keen attention to details and craftsmanship.



Encouraged garage layouts

2.1.2 Streetscape

Minimizing the visual impact of garage doors on the front elevations is strongly encouraged. Merchant builders are encouraged to mix their product to provide a variety of garage placements relative to floor plan and site plan. By providing a mix of side facing or angled garage doors, garage doors set back further than living areas and garage doors that tie into courtyard entry portals, as well as by setting street facing garage doors back a minimum 18" into structures, this impact can be minimized. To encourage streetscape variety, side-facing garages may in some cases reduce front yard setbacks so as not to prohibit buildable square footage. Tandem (two deep) garages are encouraged so as to cut down on the number and width of garage doors facing the street. Front facing garage doors are encouraged to be single width and builders must strive to reduce driveway paving, including the use of 18' long driveways when allowed by the standards for certain lot sizes.

Split garage layouts that utilize a "horseshoe" driveway shall be pre-plotted to avoid utility conflicts.

Garages that are not tandem or split, shall be a minimum size of 20'x20' (at least 20' deep) and are encouraged to be deeper to accommodate longer vehicles. All garages shall allow for the parking of at least two cars.

Mailboxes shall be ganged together and not on individual lots. Cluster box units similar to Florence "vogue" series should be used, location to be determined.

2.1.3 Building Elements

Building Form

The massing, articulation and proportion of homes within River Islands should be designed to reflect the interior uses and the specific architectural style. Attention to massing, articulation and proportion are not limited to the primary street elevation. Equal care should be given to any elevation that sides or backs onto an alley or street when that elevation is visible from the street or in public view. Particular attention should be given to ensuring that appropriate window openings are incorporated in these instances.

The design should focus on breaking the main façade of the home into three to four distinct elements: entry, main building mass, a single story element and the roof. The following guidelines will encourage greater massing variety:

Massing:

- ^ The upper level of a two or three-story home should step back min. 24" to reduce the scale of the front building façade facing the street, unless appropriate to a historical style. This can be achieved with a roofed porch provided all other criteria are met.
- ^ Two-story houses should have a single story element, e.g. porch, bay window or building projection closest to the front of the house and/or next to the street.
- ^ Varying front setbacks, addition of a defined entry courtyard and a covered porch will be encouraged to create architectural interest and diversity along residential street front.
- ^ Alleys are encouraged to promote pedestrian friendly streetscapes.



Roof Form and Slope

Roof form and slope are important design elements in creating a well-conceived streetscape.

- Roof treatments should be consistent with the architectural style of residential unit.
- A mix of single story, two story elements, and undulating planes, wall and garage plans. No two story flat walls more than two houses in a row.
- Variety of roof design and treatment is encouraged to provide visual diversity through the village neighborhoods by extensive use of gable, cross-gable, hip or a combination of these roof forms.
- When visible from a public space or street, repetitious gable ends framed side to side on rear elevations are not permitted along perimeter edges of residential neighborhoods.
- Vertical and horizontal roof articulations are strongly encouraged.

Roof Materials

Developments of residential neighborhoods within River Islands should have varying roof materials, such as concrete shake, Spanish tile or “architectural” grade composition shingles. Metal roofings are encouraged when appropriate to an architectural style.



2.1.4 Building Materials and Colors

Building materials and color are important elements to maintain the visual quality of homes within the neighborhoods of River Island at Lathrop. The use of traditional materials and colors should dominate throughout the residential neighborhoods.

- ^ Selection and application of architectural materials and details should relate well and be expressive of the architectural style of the residence.
- ^ Exterior materials and architectural details should be designed to appear as an integral part of the design.
- ^ Acceptable primary exterior building materials including brick, masonry, stucco, stone and wood, (or a high quality wood composite material, such as Hardie siding or similar.)
- ^ Secondary or accent materials should include real or cultured masonry materials (such as stone, brick and decorative block or tile), horizontal siding, and composite wood shingles, or composite shingles.
- ^ Material changes at the outside corners of structures provide the visual impression of thinness and artificiality. Materials should fully wrap around outside building corners to the next substantial change in wall planes or direction, i.e. at an inside corner, or fence line.
- ^ The color palette should be selected with the design intent of avoiding monotony while providing balanced variety of color schemes that further enhancing visual diversity. A minimum of 2 (3 preferred) color schemes per elevation style is required.
- ^ Homes shall have a minimum of 3 colors per elevation, for field (body), accent and trim locations. If 2 different siding materials are used, 2 different but complementary colors are highly encouraged. (Stone or masonry not included).
- ^ The same color schemes shall not be plotted next to each other.



2.1.5 Heritage Architectural Styles

For concept and inspiration, architectural tradition across many notable and well established residential neighborhoods in proximity to the City of Lathrop were surveyed and compiled to generate 7 representative heritage architectural styles recommended for the River Islands neighborhoods. These heritage architectural styles have proven to possess market appeal, and community acceptance when they are successfully executed and delivered by contemporary merchant home builders.

The architectural styles are categorized into three architectural groups. Each group represents a major residential stylistic development trend introduced in the Central Valley over the past decades. Builders may propose additional styles which can be added by administrative action.

Continental Influence

- American Traditional
- European Cottage
- Savannah



Western Regional Influence

- California Ranch
- Craftsman



Modern Influence

- California Modern
- Modern Farmhouse
- Spanish Eclectic
- Modern Ranch
- Transitional Spanish
- Modern Prairie
- Progressive Traditional



More detailed descriptions of the first seven representative building styles are presented on the following pages and are intended to guide the builders and developers in creating a quality and finesse to the homes in the Lakeside West and Old River Road Districts.



- 1) Window shutters
- 2) Centered front gable (pediment)
- 3) Entry porch
- 4) Elliptical fanlight over paneled door
- 5) Multi-paned windows with double hung sashes



American Traditional

The American Traditional, also known as Colonial Revival, is a nationalistic style. When “manifest destiny” was at its peak in the early 1890s, Americans began to value their own heritage and architecture. Colonial Revival sought to follow the style of the period around the Revolutionary War. Distinctive in this style are multiple columned porches and doors with fanlights and sidelights. The trend arrived in California soon after the turn of century in reaction to the excessive usage of the Queen Anne style at the time.

Exterior Features

American Traditional style features porticos, slender columns, restrained capitals and classical Greek moldings, and narrow clapboard siding is used to cover the exterior and trimmed with strong accent colored shutters.

American Traditional - (Detached Homes)

American Traditional design details

Elements	Minimum	Enhanced
Form	-Symmetrical one- and two-story stacked massing -Simple plan form massing and simple roof design	
Roof	-Front to back dominant gable roof with one intersecting gable roof -Moderate pitched roof slope (5:12-9:12 slope) -Wide projecting eaves with exposed rafter tails, and decorative beams or braces added under the gables -Flat tile -Composition shingles of high quality	-Gambrel roof form
Walls	-Blend of stucco and siding at exterior finish -Used brick -Stucco sand, light lace, or medium dash finish	-Narrow clapboard, board/batten, wood shingles or siding as primary building material -Brick veneer wainscot -Decorative shingles -Stone or brick accent materials
Windows	-Symmetrical placement of windows on front elevation -Vertical, wood cased, multi-paned -Standardized, single hung windows	-Bay window as principal window on front elevation
Details	-Colonial detailing -Porticos with colonial detailing -Decorative attic vents -Door trim surround is simple and elegant	-Cornice gable-end trim -Doors with fan lights and side lights -Louver, plank, or panel shutters -Restrained moldings
Colors	-Off-white to light colors with contrasting trim and accent colors	
Outdoor Space	-Porch, 4'-6' minimum depth -Substantial portion of front elevation	

Decorative gable vent & gable enhancement



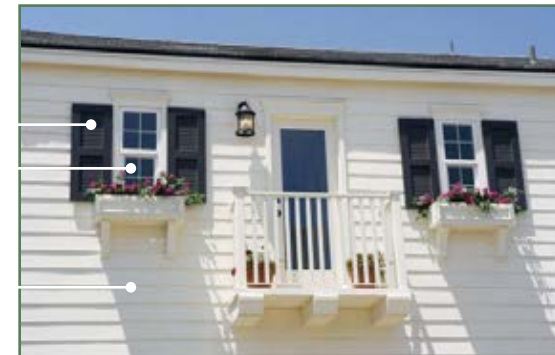
Lap siding

Square columns

Entry porch

Shutters
Multi grid single housing windows

Lap siding



Shingle siding



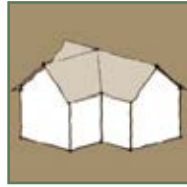
Entry Porch Square columns Pickets

American Traditional/Design Element Kit of Parts

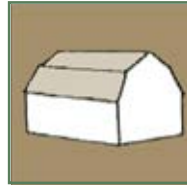
Roof types



Side



Cross



Gambrel

Posts, columns, and piers



Wood post with bracket



Wood post with corbel



Double wood posts



Round columns



Square column

Chimneys



Stucco



Stucco



Brick



Lap siding

Door shapes



Rectilinear



Flat arch

Door styles



Panel door



Panel door with glass



Single with divided lite

Window shapes



Rectangular



Round



Square

Window style



Single hung with mullions



Slider with mullions



Picture



Bay window

American Traditional/Design Element Kit of Parts

Window sills



Trim surround



Header and sill



Sill with corbels

Shutter designs



Louver



Panel



Plank

Eaves and fascia



Square rafter tails



Chamfered rafter tails



Corbel to fascia



Bracket to fascia



Cornice



Return at rake

Garage door styles



Framed panel



Framed panel w/
door lights

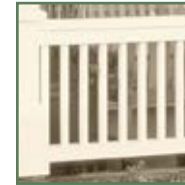


Carriage Door

Railing



Decorative



Straight picket



Turned picket

Detail elements



Ornamental
light fixture



Louvered vent



Decorative gable
detailing



Gamble dormer



Classical entry
features



- 1) Dominant front facade with multiple, steeply pitched front gables
- 2) Massive chimneys crowned by decorative chimney pots
- 3) Multi-paned ribbon window
- 4) Recessed entry alcove



European Cottage

The European Cottage is a style that evolved out of Medieval Tudor and Norman architecture. The combination of these two architectural influences eventually translated into the popular English and French “Cottage” style homes that received further acceptance with the addition of stone and brick veneer details developed in the 1920s.

Exterior Features

This evolving architectural style is characterized by its steep roofs, that are usually side-gabled, and facades that are dominated by cross gables. The primary material is stucco with heavy use of stone and brick at bases, as are rounded doorways, multi-paned casement windows, large and elaborate chimney feature. Some of the most recognizable features for this style are the accent details in gable ends, sculptured swooping walls at the front elevation and tower or alcove element at the entry.

European Cottage - (Detached Homes)

Elements	Minimum	Enhanced
Form	-Asymmetrical one- and two-stories -Rectangular plan form mass	-Varied plan shapes -Tower at entry
Roof	-Side-gabled, rarely hipped or front-gabled -Façade dominated by one or more cross gables -Steeply pitched roof -Gable roof overhang, 9"-24" eave -Architectural quality wood/ asphalt shingles, or smooth flat concrete tiles	-Sculptured swooping roofs -Steeply pitched roof: 8:12 to 12:12 and steeper
Walls	-Primary Walls: Stucco – sand, light lace, or medium dash finish	-Stucco – smooth finish -Use of stone & brick -Horizontal siding accents -Wood claddings on principal gables or upper stories
Windows	-Tall, narrow windows, usually in multiple groups and with multi-pane glazing -Typically casements of wood or metal or double hung sash windows	-Bay window as principal window on front elevation -Stone mullions to divide casements and transoms -Grouped in strings of three or more -Stone mullions to divide casements and transoms
Details	-Louver and panel shutters -Simple round-arched doorways with board-and batten doors -Small boxed eaves -Accent details at gable ends	-Elaborate chimney feature -Entry accents with real or faux stone -Decorative details -Partial porches with wood columns and railings
Colors	-Off-white and light tones with contrasting color accents/trim	
Outdoor Space	-Porches or enclosed front yards -5' minimum depth	

European Cottage design details



Louvered vent

Entry accents with real or faux stone

Panel shutter design

Off-white and light tones with contrasting color accents/trim

Decorative gable-end detailing

Decorative wooden balcony



European Cottage/Design Element Kit of Parts

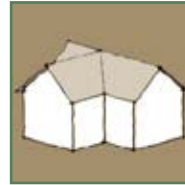
Roof types



Front



Side



Cross

Posts, columns, and piers



Wood post with bracket

Chimneys



Stucco



Brick



Stone

Door shapes



Rectilinear



Full arch



Flattened Arch

Door styles



Panel door



Panel door with glass



Single with divided light



Plank door



Plank door with glass

Window shapes



Rectangular



Square



Rectangular horizontally proportioned

Window styles



Single hung with mullions



Slider with mullions



Picture



Bay window



Multi-sash

European Cottage/Design Element Kit of Parts

Window sills



Trim surround



Sculptured stucco



Potsheff with corbels

Shutter designs



Louver



Panel



Plank

Eaves and fascia



Square eaves



Cornice

Garage door styles



Framed panel



Framed panel w/ door lights



Plank w/ door lights

Railing



Decorative



Straight pick& t



Turned pick& t

Detail elements



Ornamental light fixture



Brick surrounds



Louvered vent



Wood pot shelf



Decorative gable-end detailing



Entry tower



Decorative wooden balcony



- 1) Dominant decorated brick chimney
- 2) Wide hipped roof extends over porch
- 3) Wide wrap-around porch (galleries)
- 4) Wooden square column



Savannah

The Savannah, also known as Rural French Colonial, Tidewater or Plantation, typically refers to the two-story square-shaped home plan, which originated near Southern waterways. It is designed with a central entrance that leads to the traditional hall-and-parlor floor plan. Tidewater house plans, with their distinctive abundant windows and doors and large shade porches (galleries), were built for the Southern marshy climates.

Exterior Features

The Savannah style features symmetrical massing with dual-pitched hipped roofs and always lack interior hallways. Openings are placed solely for the convenience of the interior often with the rear range of rooms consisting of an open loggia with a small room at each end known as a cabinet.

Savannah - (Detached Homes)

Elements	Minimum	Enhanced
Form	-Asymmetrical one- and two-story massing -Strong horizontal emphasis	
Roof	-Side-gabled or hip roofs -Modest to high pitched roof -Shallow or moderate eave overhangs (3" - 18")	-Dual-pitched hipped roof -Concrete shake roof tiles -Metal roofs -Flat composite roofs
Walls	-Clapboard, wood shingles or siding	Accent material -Brick
Windows	-Multi-paned windows -Double-hung casement, sliding and picture windows	-Bands of vertically-proportioned windows tied together with continuous head and or sill trim
Details	-Front porch supported by square hood columns -Full porches and second story balconies -Shallow-molded, unadorned cornice on front facade -Single posts should be a minimum 6x6 dimension	-Dormers -Featured cornice with decorative moldings -Paired columns -Triple grouped columns at corners of porches
Colors	Light to medium earth tone colors with contrasting trim and accent colors	
Outdoor Space	-Wide porch/balcony, 5' minimum depth	

Savannah design details



Brick chimney

Square windows

Square Column



Single hung windows with mullions

Straight picket railing

Rectilinear panel door



Wood shingles

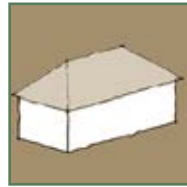
Square Column

Savannah/Design Element Kit of Parts

Roof types



Side



Hip

Posts, columns, and piers



Double wide wood posts



Double wood posts



Square Column

Chimneys



Stucco



Brick



Lap siding

Door shapes



Rectilinear

Door styles



Panel door



Panel door with glass



Single with divided light

Window shapes



Rectangular



Round



Square

Window styles



Single hung with mullions



Slider with mullions



Picture



Multi-sash

Savannah/Design Element Kit of Parts

Window sills



Trim surround



Header and sill

Shutter designs



Louver



Panel

Eaves and fascia



Square rafter tails



Chamfered rafter tails



Cornice



Cornice

Garage door styles



Framed panel



Framed panel w/
door lights



Carriage Door

Railing



Cut out panels



Straight picket



Turned picket

Detail elements



Ornamental
light fixture



Louvered vent



- 1) Low pitched cross-gabled roof with wide eave overhang
- 2) Partial width porch
- 3) Enclosed entry courtyard



California Ranch

The Ranch style was originated in the mid-1930s by several creative California architects. It gained in popularity during the 1940s to become the dominant style throughout the country. The style is loosely based on early Spanish Colonial precedents of the American southwest, modified by influences borrowed from Craftsman and Prairie modernism of the early 20th Century.

Exterior Features

Asymmetrical one-story shapes with low-pitched roofs dominate. Moderate or wide eave overhangs with exposed rafters, along with built-in garage, wood or brick exterior walls, sliding and picture windows, and sliding doors leading to patios are the characteristics for the California Ranch style.

California ranch - (Detached Homes)

California Ranch design details

Elements	Minimum	Enhanced
Form	-Asymmetrical one- and two-story massing -Strong horizontal emphasis	-Single story massing
Roof	-Front to back gable or hip with intersecting hip or gable roofs -Low to moderate pitched roof (3:12 - 5:12) -Moderate or wide eave overhangs with exposed rafters 12" - 30" -Flat concrete tile to simulate shake or split shake high quality composition shingle	-Lower pitched main roof or porch: 3:12 – 4:12 -Wide eave overhangs (18"~24") with exposed rafters -Concrete shake roof tiles
Walls	-Stucco with Clapboard, Wood Shingles or Siding -Stucco sand, light lace, or medium dash finish	-Clapboard, wood shingles, or siding as primary material -Use of stone and brick -Stone or brick accent materials
Windows	-Vertical multi-paned double hung casement windows -Multi-paned windows -Sliding and picture windows	-Bay window as principal window on front elevation -Round top accent or bay windows
Details	-The entry should be covered by porch -Front porch supported by square wood columns with trim -Full porches and balconies -Wood porches with classic square railings -Simplified cornice trim at gable ends	-Wide porch with decorative columns and trim -Entry doors will have side-lights, basic geometric patterns, and or multi paned windows with wood trim surround -Enhanced sills and louvered shutters
Colors	-Light to medium earth tone colors with contrasting trim and accent colors	
Outdoor Space	-Wide porch, 5' minimum depth	



Stone surround
Panel door with glass
Straight picket railing



Single hung windows with mullions
Wood post with bracket
Brick accent material



Low pitched roof
Bay window

California Ranch/Design Element Kit of Parts

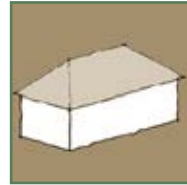
Roof types



Front



Side



Hip



Cross

Posts, columns, and piers



Wood post with bracket



Double wood posts



Wood post with corbel

Chimneys



Stucco



Stucco



Brick



Lap siding

Door shapes



Rectilinear

Door styles



Panel door



Panel door with glass



Single with divided light

Window shapes



Rectangular



Square



Rectangular horizontally proportioned

California Ranch/Design Element Kit of Parts

Window styles



Single hung with mullions



Slider with mullions



Picture



Bay window



Multi-sash

Window sills



Trim surround



Header and sill



Sill with corbels

Shutter designs



Louver



Panel



Plank

Eaves and fascia



Square rafter tails



Chamfered rafter tails



Quarter round rafter tails



Shaped rafter tails



Bracket to fascia

Garage door styles



Framed panel



Framed panel w/ door lights



Carriage Door

Railing



Cut out panels



Straight picket



Turned picket

Detail elements



Ornamental light fixture



Louvered vent



- 1) Low-pitched gabled roof with wide, unenclosed eave overhang
- 2) Full width entry porch with square tapered column support
- 3) Decorative (false) triangular knee brace under gable
- 4) Exposed roof rafter tails
- 5) Battered or tapered columns



Craftsman

The Craftsman style was inspired by the English Arts and Crafts movement of the late 19th Century, and is considered native to the California architectural tradition with notable early contribution by architects such as Greene and Greene and Bernard Maybeck.

Exterior Features

The physical character is dominated by its low-pitched, gabled roof with wide, unenclosed eave overhang. In addition, the style features exposed roof rafters and decorative beams or braces commonly added under gables. Large porches with distinctive supporting columns that extend across the entire front of the house along with extensive use of natural materials (wood and stones) are all defining features of the Craftsman style.

Craftsman - (Detached Homes)

Elements	Minimum	Enhanced
Form	-Asymmetrical one- and two-story boxy forms -Low lines with simple wide projecting roofs	-Horizontal forms through boxed massing with vertical and horizontal offsets
Roof	-Low-pitched gable roofs, rarely hipped PITCH -Low pitched roof slopes (3:12 - 5:12) -Wide projecting eaves with exposed rafter tails, and decorative beams or braces added under the gables (12"-30") -Flat concrete tile -Composition shingles of high quality	-Varied porch roofs: shed or gabled -Minimum Overhang: 18" -Concrete shakes
Walls	-Blend of stucco and siding at exterior finish -Stucco sand, light lace, or medium dash finish	-Clapboard, board/batten, wood shingles or siding as primary building material -River rock stone or brick accent materials
Windows	-Simple double-hung casement windows -Large front windows, often in 3 parts -Typically, multi-paned upper sash with single pane below	-Bands of vertically-proportioned windows tied together with continuous head and or sill trim
Details	-Exposed structural elements -Prominent front porch with columns and gabled roof element -Wide projecting eaves, decorative beams, or added braces under gables -Strong header and sill with beams or braces under sill -Exposed eaves and rafter tails	-Heavy square or tapered columns resting on stone or brick piers -Arts and Crafts style lighting fixtures -"Dormers" with shed or gable roof
Colors	-Light to medium earth tone colors with contrasting trim and accent colors	
Outdoor Space	-Wide porch, 5' minimum depth	

Craftsman design details

Stucco chimney

Sill with corbels

Decorative gable
-end portal



Decorative gable
-end detailing

Single hung with
mullions



Knee brace



Panel door

Craftsman/Design Element Kit of Parts

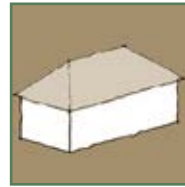
Roof types



Front



Side



Hip



Cross

Posts, columns, and piers



Wood post with bracket



Double wood posts



Battered columns



Corbel



Knee brace

Chimneys



Stucco



Stucco



Stone



Brick



Lap siding

Door shapes



Rectilinear

Door styles



Panel door



Panel door with glass



Single with divided light



Plank door



Plank door with glass

Window shapes



Square

Craftsman/Design Element Kit of Parts

Window styles



Single hung with mullions



Slider with mullions



Picture



Multi-sash



Awning

Window sills



Trim surround



Header and sill



Sill with corbels

Shutter designs



Louver



Panel



Plank

Eaves and fascia



Square rafter tails



Chamfered rafter tails



Quarter round rafter tails



Shaped Tails

Garage door styles



Framed panel



Framed panel w/ door lights



Carriage Door

Railing



Decorative



Straight picket

Detail elements



Ornamental light fixture



Decorative gable-end detailing



Decorative gable-end portal



- 1) Mix of shed, hipped or gable roofs
- 2) Mix of stucco, wood and stone siding
- 3) Horizontal lines
- 4) Clean detailing



California Modern

As the economy continues to bounce back, Contemporary styled homes continue to grow in popularity. California Modern homes take traditional styles and contemporize the shapes, massing and details, which often appeals to a younger demographic of homeowner. Simple detailing and careful selection of low maintenance materials characterize this style.

Exterior Features

Sculptural forms can include smooth surfaces, shifted volumes, and projecting cantilevers. Floor-to-ceiling windows and an array of square openings placed throughout the façade present straightforward geometry. Retractable shutter panels provide ways to both shade interiors from daylight while maintaining a cutting-edge look. A mix of roof styles can include hip, gable, and sloping shed. A mix of stucco and wood, horizontal lines with contrasting vertical towers or elements and distinct design elements such as sunshades add to the new geometry of the California Modern home.

California Modern - (Detached Homes)

Elements	Minimum	Enhanced
Form	-Asymmetrical one- and two-story boxy forms -Low lines with simple wide projecting roofs	-Horizontal character through the use of boxed massing with vertical and horizontal offsets
Roof	-Low-pitched hipped roofs, low & steep pitched gables, shed form -A mix of low and steep-pitched roof slopes (3:12 - 5:12) & (8:12 - 10:12) -Wide eaves with enclosed rafter tails, decorative beams/braces under gables (12"-30") -Flat concrete tile -Composition shingles of high quality	-Varied porch roofs: shed or gabled -Minimum Overhang: 18" -Concrete shakes -Composition shingle with shadow relief
Walls	-Stucco and siding at exterior finish -Stucco sand, light lace, or medium dash finish -Horizontal siding and panel systems	-Stucco, clapboard, board/batten, wood shingles or siding -Horizontal stone
Windows	-Double-hung casement windows -Large front windows, often divided -Square windows, minimal breakups	-Vertically-proportioned windows tied together with continuous head or sill trim -Storefront windows -Stacking window walls
Details	-Prominent front porch with columns and gabled roof element -Wide projecting eaves, decorative beams, or added braces under gables -Strong header and sill with beams or braces under sill -Enclosed eaves and rafter tails -Use of Horizontal stone columns - sometimes spanning 1 - 1/2 stories.	-Heavy square or tapered columns resting on horizontal stone -Contemporary lighting fixtures
Colors	-Light to medium earth tone colors with contrasting trim and accent colors, bold base colors, multi colored	
Outdoor Space	-Wide porch, 5' minimum depth	

California Modern design details



California Modern / Design Element Kit of Parts

Roof types



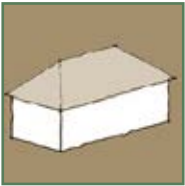
Shed



Shed



Side



Hip



Cross

Posts, columns, and piers



Round columns



Square Columns

Door styles



Panel door



Single with glass



Panel door with side lights



Panel door with glass and side lights

Eaves and fascia



Enclosed Eaves



Enclosed Eaves

California Modern / Design Element Kit of Parts

Window styles



Multi sash (Fixed or arching)



Multi paned



Picture



Plate glass



Square



Window wall with stacking doors

Exterior Lighting



Ornamental light fixture



Ornamental light fixture



Ornamental light fixture

Garage door styles



Framed panel with door lights



Framed panel w/ door lights



Framed panel w/ door lights

Railing



Tube Steel



Straight picket



Cable railing



Vertical Picket



- 1) Mix of shed, hipped or gable roofs
- 2) Mix of stucco, wood and stone siding
- 3) Vertical lines
- 4) Clean detailing



Modern Farmhouse

The Modern Farmhouse style is a contemporary interpretation of the traditional farmhouse that incorporates classic farmhouse elements such as gable end roofs, strong vertical lines, and a sense of overall symmetry and puts a contemporary spin on them for a more streamlined modern feel. Modern Farmhouse homes are simply framed and rectangular in shape, with the most recognizable characteristic being the gable roof, typically with a 12:12 pitch. The steep pitch emphasizes the height of the house, and sets the tone for strong vertical lines.

Exterior Features

Most Modern Farmhouse-styled homes are two-story buildings with symmetrical arrangement of parts, with entrance at the center and typically a strong vertical element capped with a gable roof. A short set of wide steps leads from the sidewalk to the porch at the front entrance. The two main exterior siding materials commonly found on Modern Farmhouse styles are lap, and board and batten. Shutters commonly found on the traditional farmhouse are typically replaced with horizontal working barn door style shutters.

Modern Farmhouse - (Detached Homes)

Elements	Minimum	Enhanced
Form	-Simple plan form massing and roof shape	
Roof	-6:12 to 12:12 roof pitch -Front-to-back main gable roof -12" minimum overhangs -Smooth, flat concrete tiles or high-quality composition singles -Standing seam material	-Main gable roof with one or two intersecting gable roofs -16" minimum overhangs
Walls	-Blend of siding, stone and stucco -Stucco sand, light lace, or medium dash finish	-Full-wrapped horizontal siding, board-and batten or fine-sand finish stucco
Windows	-Vertical, multi-lined windows at front elevations	-Built-up header trims at front windows
Details	-Porches with simple wood columns and wood railings. -Stucco finished or horizontal siding-wrapped chimney, if applicable -Complementary garage door patterns -Barn door style shutters -Wood columns shall be doubled (or tripled at corners) or 6" min. dimension	-Shaped-wood columns with brackets and knee braces -Wood pot shelves -Gable or hip dormers at front elevation -Doors with fan-lights and side lite windows
Colors	-Light to medium colors with contrasting trim and accent colors	
Outdoor Space	- Wide porch: Minimum 6' in depth	

Modern Farmhouse design details

Enclosed eaves

Square columns

Panel door with glass



Ornamental light fixture

Panel shutter



Single hung window

Light to medium colors with contrasting trim and accent



Modern Farmhouse / Design Element Kit of Parts

Roof types



Front



Shed



Side



Cross

Posts, columns, and piers



Round columns



Square Columns

Door styles



Panel door



Barn door



Single with glass



Panel door with side lights



Panel door with glass and side lights

Eaves and fascia



Enclosed Eaves



Enclosed Eaves

Modern Farmhouse / Design Element Kit of Parts

Window styles



Multi sash (Fixed or arching)



Multi paned



Picture



Plate glass



Square



Window wall with stacking doors

Exterior Lighting



Ornamental light fixture



Ornamental light fixture



Ornamental light fixture

Garage door styles



Framed panel with door lights



Framed panel w/ door lights



Framed panel w/ door lights



Carriage Door

Railing



Tube Steel



Straight picket



Cable railing



Vertical Picket

2.2 Development Standards

The River Islands Architectural Development Standards contains specific development standards for the first Residential Neighborhood. Future Residential Neighborhoods may be modified or updated over time as the project evolves.

The numerical and dimensional development standards necessary to regulate housing development of the Residential Neighborhoods within River Islands are summarized in Table 2.1 Summary of River Islands - Architectural Development Standards.

The summary is supplemented with more detailed development standards for each Architectural land use designation in illustrative lot diagrams based on various lot sizes. Yard-street relationships, lot design, setbacks and building height are covered in detail.

The Old River Development Standards augment and further define the standards and guidelines initially described in the River Islands UDC.

The City, based on recommendation of the STDRC shall have the authority to accept, review and grant any minor architectural variance on a case document so long as such variances are not in direct conflict with this document or the UDC.



Figure 2.1 The Old River District Illustrative Plan

LEGEND

 ENHANCED ARCHITECTURAL ELEVATION LOCATIONS

Enhanced architectural elevations are side and/or rear elevations that are in more visible locations to the general area, including lakes, major streets, and near levees. Additional architectural elements, such as enhanced trim, window treatments, wainscotting, and similar items will likely be required by designers. Note that medium density areas of Village II and Village KK may require different areas of enhancement depending on the product chosen for development; the STDRC will consider enhancements to these areas on a case by case basis.

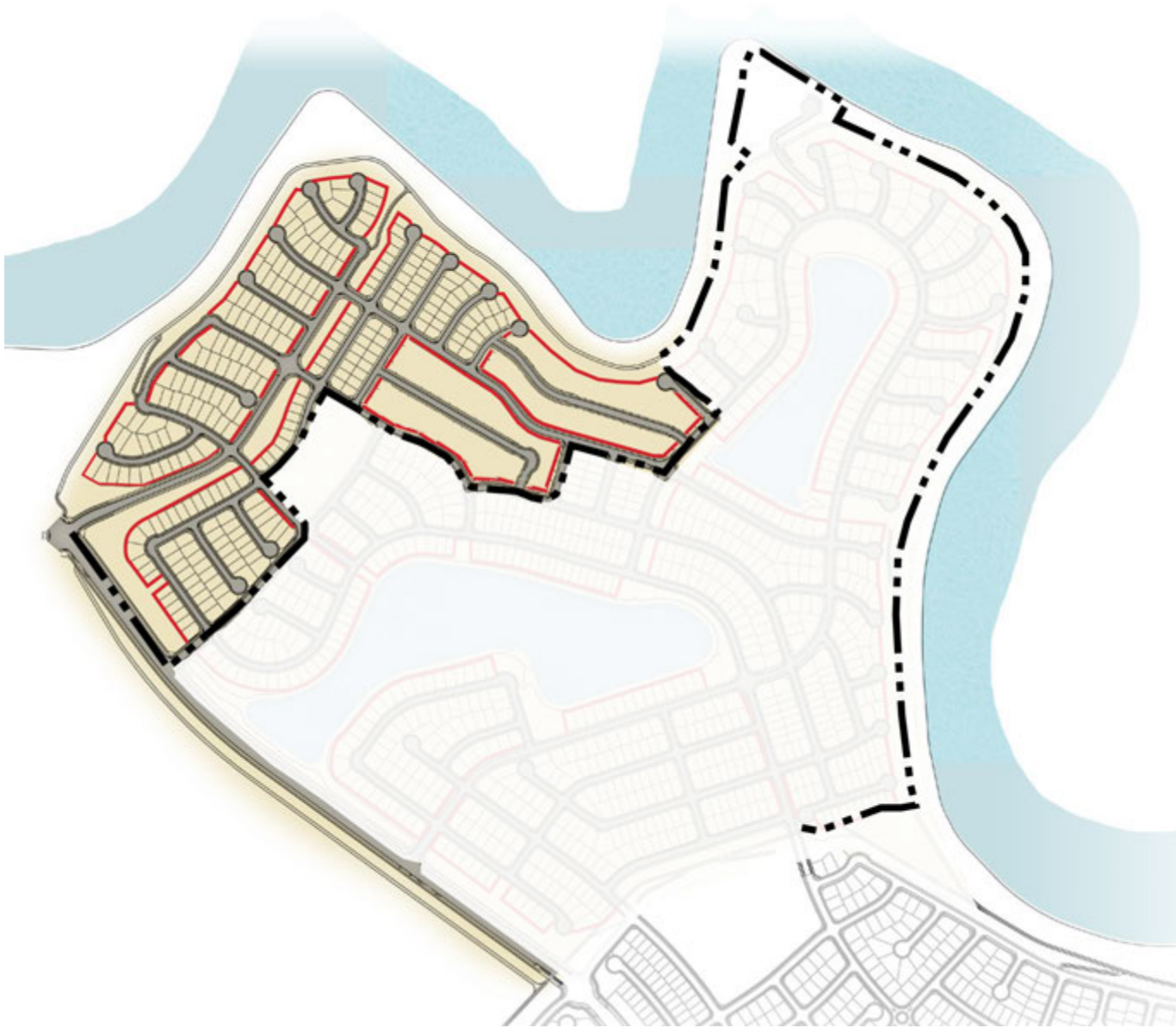
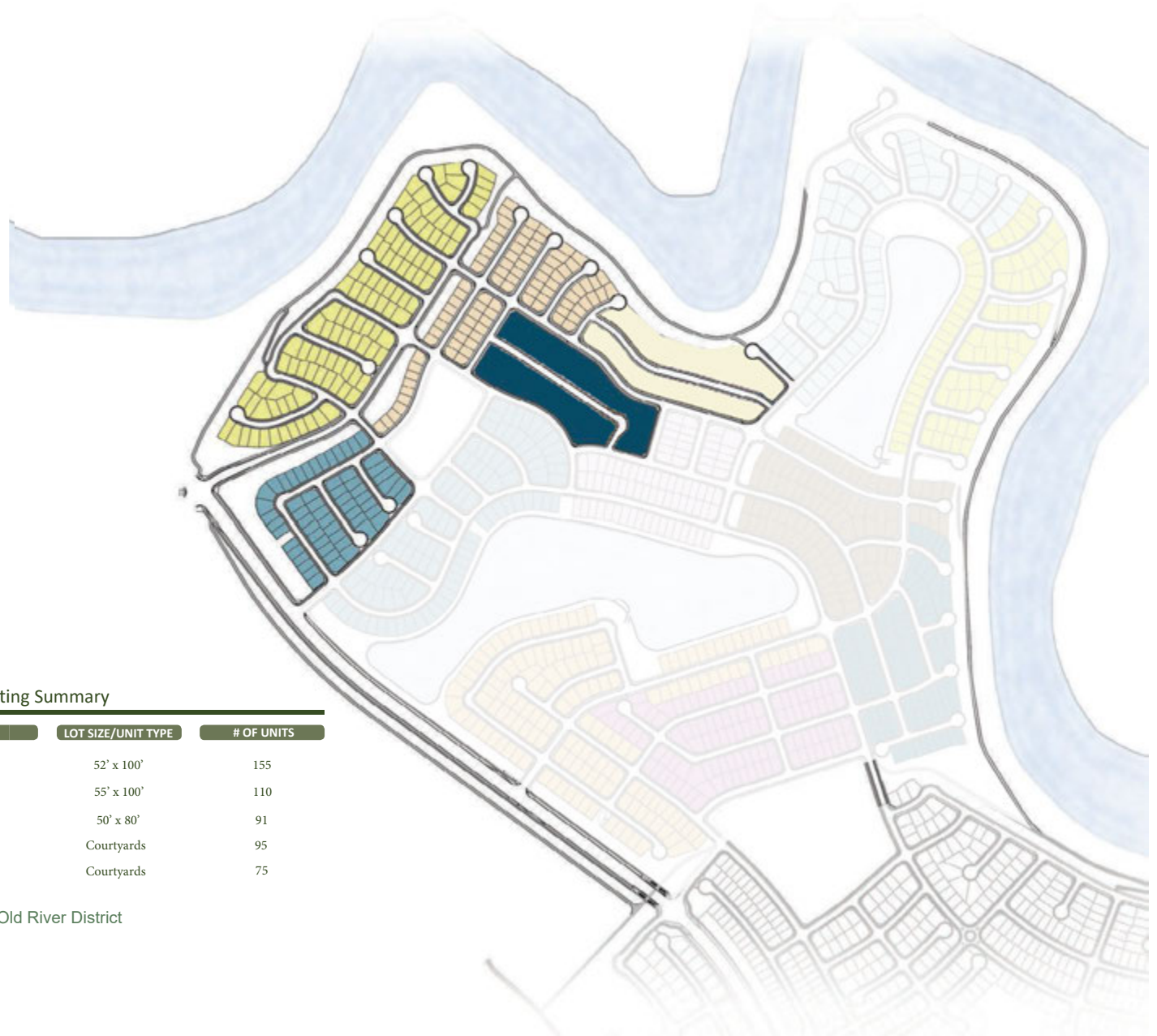


Figure 2.2 The Old River District Enhanced Architectural Elevation Location Map



Lotting Summary






AREA	VILLAGE	LOT SIZE/UNIT TYPE	# OF UNITS
	FF	52' x 100'	155
	GG	55' x 100'	110
	HH	50' x 80'	91
	II	Courtyards	95
	KK	Courtyards	75

Figure 2.3 Lot Sizes Diagram - Old River District

2.2.1 Low Density Architectural (LDR) Development Standards

The LDR land use designation is intended to provide a wide range of single family detached housing products. The permitted density range for this category is typically between 3~9 dwellings per acre (du/ac), with lot sizes ranging from approximately 2,500 s.f. to 7,500 s.f.

Land Use Designation:	Low Density Residential (LDR) Front Loaded Lots			
	Lot Sizes:	55 X 100 Lots	52 X 100 Lots	50 X 80 Lots
Setbacks (Minimum)				
Front Yard @ street				
Living Space (First/Second Story)	(17'/22')	(15'/20')	(14'/16')	
Porch (6' min. clear depth)	12'	12'	8'	
Garage Front Facing (Door)	20'	20'	18'	
Side-Entry Garage Wall ⁽⁴⁾	10'	Not Allowed	Not Allowed	
Front Courtyard walls	10'	10'	10'	
Side-Entry Garage Conversion	10'	Not Allowed	Not Allowed	
Side Yard				
Living Space (Interior Property Line) ⁽⁵⁾	5'	5'	4'	
Living Space (Corner Property Line)	10'	10'	9'	
Wrap Around Porch (Corner)	7'	7'	7'	
Detached Garages	5'	5'	N/A	
Rear Yard				
Living Space (Min./Ave) ⁽¹⁾	(15'/20')	(15'/20')	(10'/12')	
Front Entry Attached/Detached	N/A	N/A	N/A	
Garages ⁽²⁾				
Garages with Rear Access	N/A	N/A	N/A	
Patio Covers (1 Story Height)	10' min.	10' min.	10 min.	
Height (Maximum to Ridge Line)				
Primary Dwelling	35' (2 Stories)	35' (2 Stories)	35' (2 Stories)	
Detached Garage	N/A	N/A	N/A	
Detached Garage/Accessory Unit	N/A	N/A	N/A	
Parking				
Resident (Garage)	2 Cars min.	2 Cars min.	2 Cars min.	
Guest (Apron)	2 Min.	2 Min.	2 Min.	
Building Coverage	55%	55%	60%	

- Minimum rear setback may be for only 1/2 width of the allowed house width.
- Front entry garages located in rear of lot limited to 22' in width
- Single story only; facades shall have enhanced architectural elements.
- Parking space shall be a minimum of 10', with width of 12' to allow for ease of use; adequate back-up distance shall be provided on lot.
- At 4' side yard minimums unless an exception is approved for 3' on one side - at least one side yard must provide front yard access.
- Front, side, rear and street side yard setbacks may be reduced and lot coverage increased for single story units at DRC recommendation to encourage single story units. To be considered for these exceptions, the product must demonstrate reduced massing from other units in the subdivision, create a diverse front yard streetscape by varying setbacks and encourage living space of the unit to be forward of the garage. Under no circumstance shall an exception be granted that allows encroachment into a public utility easement.
- See Appendix for accessory structure standards.

Table 2.1 Summary of River Islands Stage 2B - Architectural Development Standards ARCHITECTURE

2.2.2 Medium Density Architectural (MDR) Development Standards

The MDR land use designation is intended to provide a denser attached single family or multi-family housing products. The permitted density range for this category is 6 to 14 units per acre.

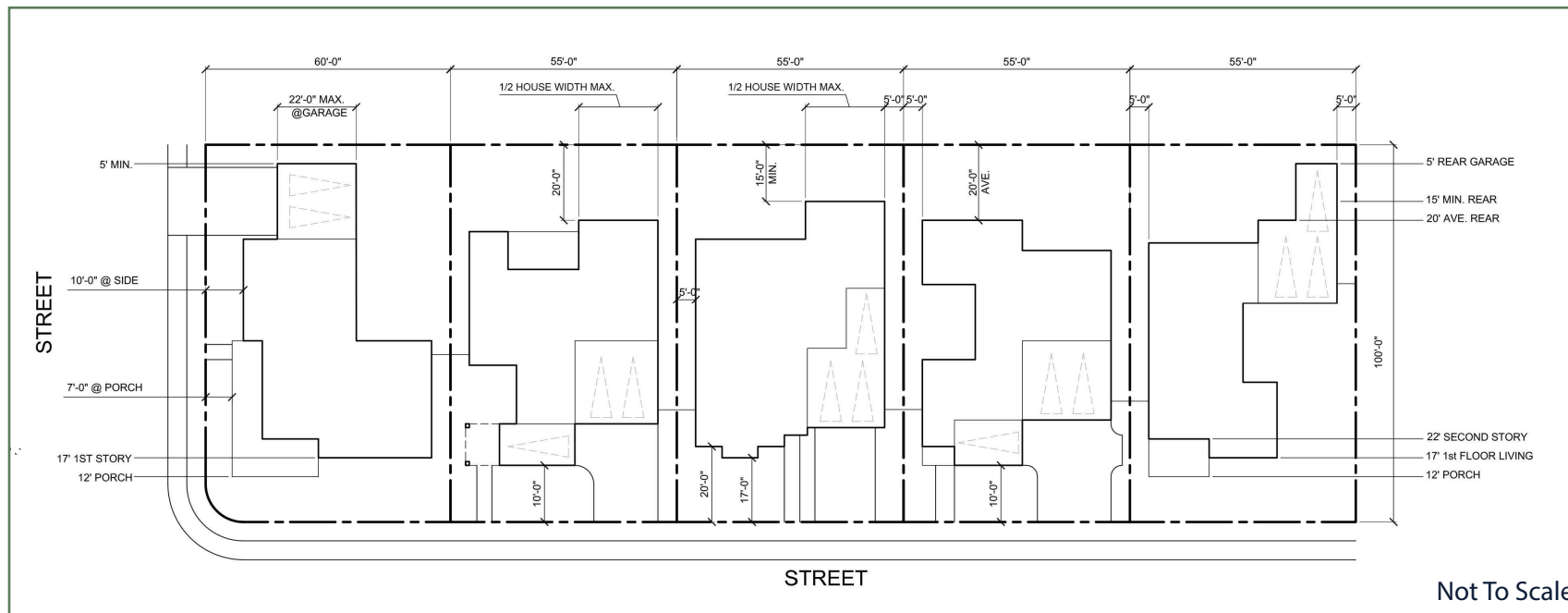
Lot Sizes:	Courtyard lots (Four Packs)	Courtyard lots (Eight/Six Packs)
Setbacks (Minimum)		
Front Yard @ Street		
Living Space (First/Second Story)	(10'/14')	(10'/10')
Porch (5' min. clear depth)	10'	5'
Garage Front Facing (Door)	18'	18'*
Side-Entry Garage Wall	N/A	N/A
Front Courtyard walls	N/A	N/A
Front walls (Private Street)	N/A	N/A
Front Yard @ Private Street		
Living Space (First/Second Story)	7'/10'	7'/10'
Porch (5' min. clear depth)	4'	3'
Garage Front Facing (Door)	18'	18'
Side-Entry Garage Wall	N/A	N/A
Side Yard		
Living Space (Interior Property Line)	4'	4'
Living Space (Corner Property Line)	N/A	N/A
Detached Garages	N/A	N/A
Street Side Yard	10'	10'
Rear Yard		
Living Space (Min./Ave)	10'/10'	10'/10'
Front Entry Attached/Detached Garages	N/A	N/A
Garages with Rear Access (Apron)	N/A	N/A
Patio Covers (1 Story Height)	N/A	N/A
Paseo Walk		
Living Space (to enter of Paseo)	N/A	N/A
Porch (to center of Paseo)	N/A	N/A
Alley / Private Drive		
Garage (door)	18'	18'
Garage (to center of Private Drive)	N/A	N/A
Porch	5'	4'
Height (Maximum to Ridge Line)		
Primary Dwelling	35' (2 Stories)	35' (2 Stories)
Detached Garage/Accessory Unit	N/A	N/A
Parking		
Resident (Garage)	2 Cars min.	2 Cars min.
Guest (Apron)	N/A	N/A
Building Coverage	N/A	N/A

*The setback for the front facing garage door along the private street may be reduced at the discretion of the City with recommendation from the STDRC.

Table 2.1 Summary of River Islands - Architectural Development Standards (Continued)

Table 2.3 Low Density Architectural (LDR) - 55 x 100 Lots

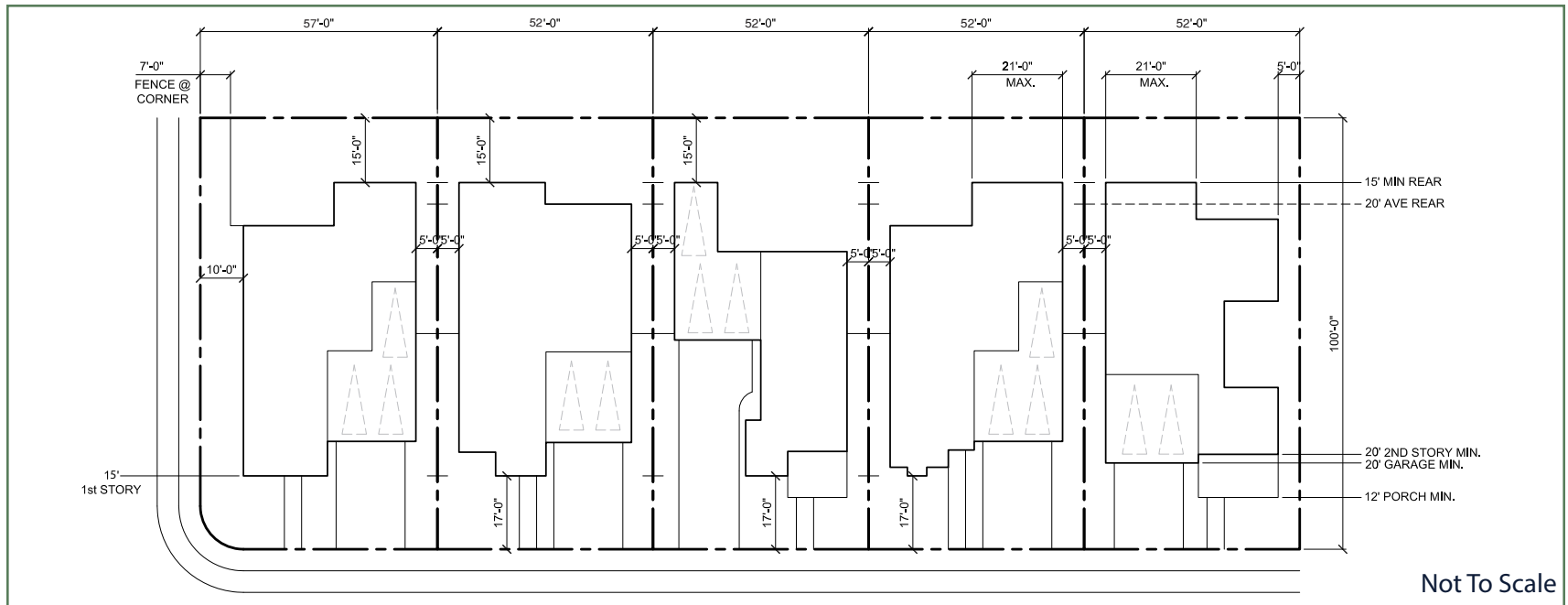
Setbacks (minimum)	
Front Yard	
Living Space (First/Second Story)	(17'/22')
Porch (5' min. Clear Depth)	12'
Garage Front Facing (Door)	20'
Side-Entry Garage Wall	10'
Side-Entry Garage Conversion	10'
Front Courtyard walls	10'
Side Yard	
Living Space (Interior Property Line)	5' min.
Living Space (Corner Property Line)	10'
Wrap Around Porch (Corner)	7'
Detached Garages/Accessory Unit	5'
Rear Yard	
Living Space (Min./Ave.) ⁽¹⁾	(15'/20')
Front Entry Attached/Detached Garages	5'
Garages with Rear Access	N/A
Patio Covers (1 Story Height)	10' min
Building Coverage	55% ⁽⁶⁾



Dimensions shown are for example purpose only
See table above for setbacks

Table 2.4 Low Density Architectural (LDR) - 52 x 100 Lots

Setbacks (minimum)	
Front Yard	
Living Space (First/Second Story)	(15'/20')
Porch (5' min. Clear Depth)	12'
Garage Front Facing (Door)	20'
Side-Entry Garage Wall ⁽¹⁾	Not Allowed
Side-Entry Garage Conversion ⁽¹⁾	Not Allowed
Front Courtyard walls	10'
Side Yard	
Living Space (Interior Property Line)	5'
Living Space (Corner Property Line)	10'
Wrap Around Porch (Corner)	7'
Detached Garages/Accessory Unit	5'
Rear Yard	
Living Space (Min./Ave.) ⁽⁴⁾	(15'/20')
Front Entry Attached/Detached Garages	5'
Garages with Rear Access	N/A
Patio Covers (1 Story Height)	10' min
Building Coverage	55% ⁽⁶⁾



Dimensions shown are for example purpose only
See table above for setbacks

Table 2.5 Low Density Architectural (LDR) - 50x80 Lots

Setbacks (minimum)	
Front Yard	
Living Space (First/Second Story)	(14'/16')
Porch (5' min. Depth)	8'
Garage Front Facing (Door)	18'
Side-Entry Garage Wall	Not Allowed
Side-Entry Garage Conversion ⁽¹⁾	Not Allowed
Front Courtyard walls	8'
Side Yard	
Living Space (Interior Property Line) (2)	4'
Living Space (Corner Property Line)	9'
Wrap Around Porch (Corner)	7'
Detached Garages/Accessory Unit	N/A
Rear Yard	
Living Space (Min./Ave.)	(10'/12')
Front Entry Attached/Detached Garages	N/A
Garages with Rear Access (1)	N/A
Patio Covers (1 Story 10' max. Height)	10 min.
Building Coverage	60%

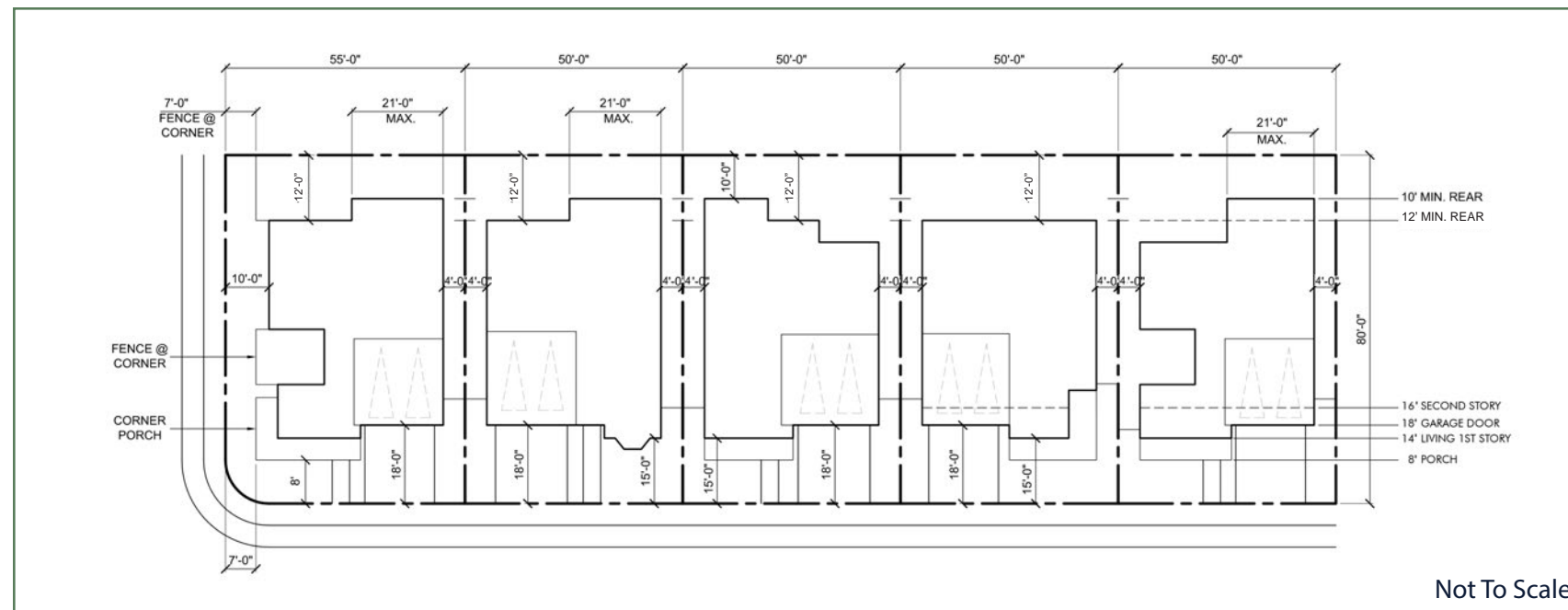
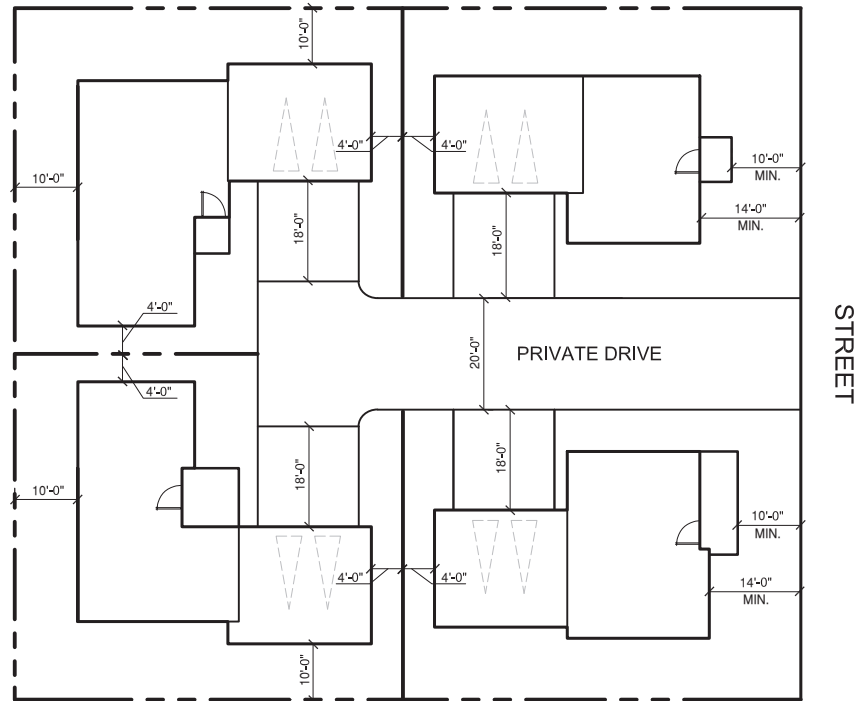


Table 2.6 Medium Density Architectural (MDR) - Courtyard - "Four Packs"

Setbacks (Minimum)	
Front Yard @ Street	
Living Space (First/Second Story)	(10'/14')
Porch (5' min. clear depth)	10'
Garage Front Facing (Door)	18'
Side-Entry Garage Wall	N/A
Front Courtyard walls	N/A
Front Yard @ Private Street	
Living Space (First/Second Story)	(7'/10')
Porch (5' min. clear depth)	4'
Garage Front Facing (Door)	18'
Side-Entry Garage Wall	N/A

Setbacks (Minimum)	
Side Yard	
Living Space (Interior Property Line)	4'
Living Space (Corner Property Line)	N/A
Wrap Around Porch (Corner)	N/A
Detached Garages	N/A
Street Side Yard	10'
Rear Yard	
Living Space (Min./Ave)	10'/10'
Front Entry Attached/Detached Garages	N/A
Garages with Rear Access	N/A
Patio Covers (1 Story Height)	N/A

Setbacks (Minimum)	
Alley / Private Drive	
Garage (door)	18'
Garage (to center of Private Drive)	N/A
Porch	5'
Height (Maximum to Ridge Line)	
Primary Dwelling	35' (2 Stories)
Detached Garage	N/A
Parking	
Residence (Garage)	2 cars min.
Guest (Apron)	N/A
Building Coverage	
	N/A

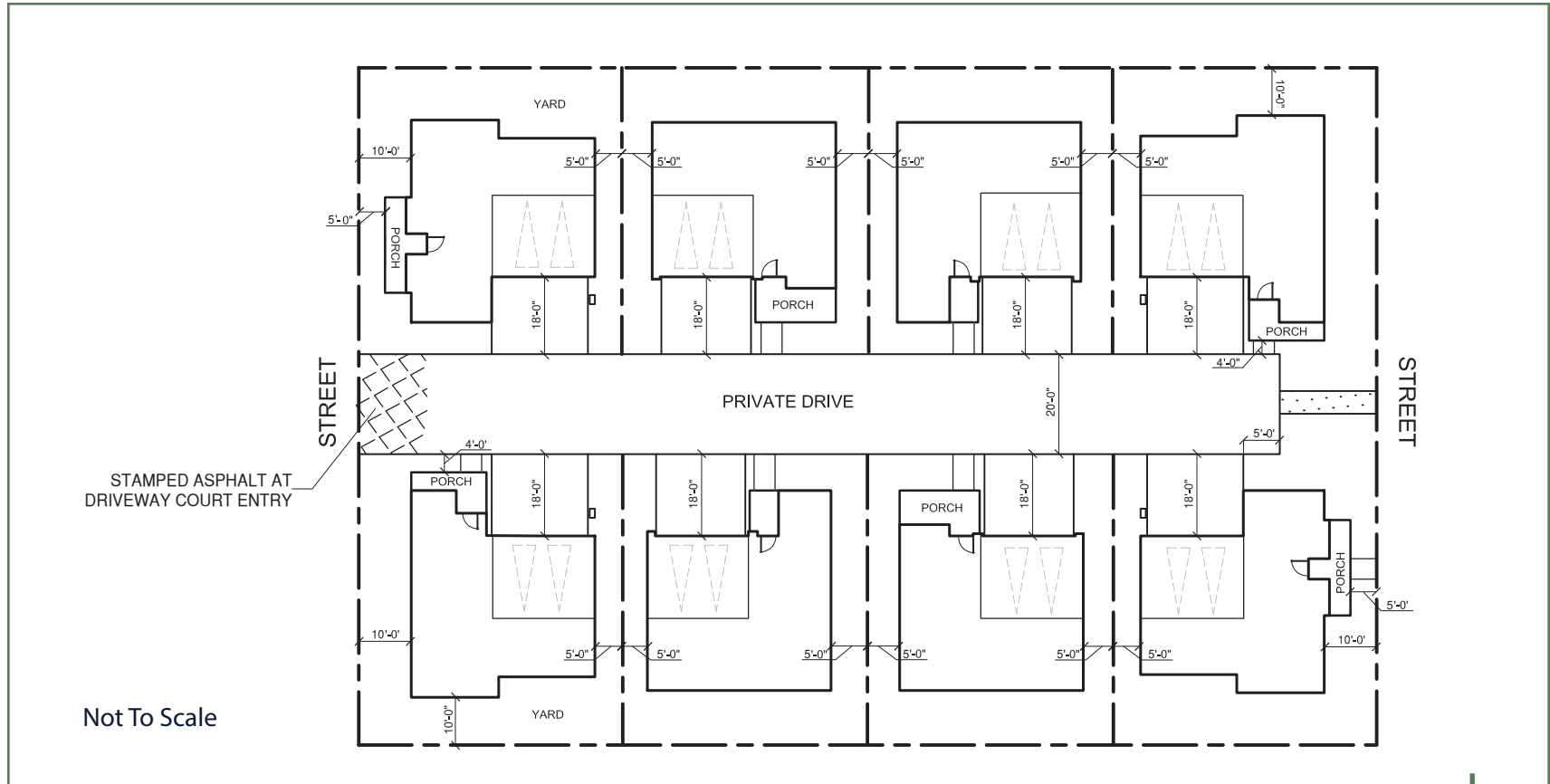


Not To Scale

Dimensions shown are for example purpose only
See table above for setbacks

Table 2.7 Medium Density Architectural (MDR) - Courtyard - "Six and Eight Packs"

Setbacks (Minimum)		Setbacks (Minimum)		Setbacks (Minimum)	
Front Yard @ Street		Side Yard		Alley / Private Drive	
Living Space (First/Second Story)	(10'/10')	Living Space (Interior Property Line)	4'	Garage (door)	18'
Porch (5' min. clear depth)	5'	Living Space (Corner Property Line)	N/A	Garage (to center of Private Drive)	N/A
Garage Front Facing (Door)	18'	Wrap Around Porch (Corner)	N/A	Porch	4'
Side-Entry Garage Wall	N/A	Detached Garages	N/A	Height (Maximum to Ridge Line)	
Front Courtyard walls	N/A	Street Side Yard	10'	Primary Dwelling	35' (2 Stories)
Front Yard @ Private Street		Rear Yard		Detached Garage	
Living Space (First/Second Story)	(7'/10')	Living Space (Min./Ave)	10'/10'	Parking	
Porch (5' min. clear depth)	3'	Front Entry Attached/Detached Garages	N/A	Residence (Garage)	2 cars min.
Garage Front Facing (Door)	18'	Garages with Rear Access	N/A	Guest (Apron)	N/A
Side-Entry Garage Wall	N/A	Patio Covers (1 Story Height)	N/A	Building Coverage	
				N/A	



Not To Scale

Dimensions shown are for example purpose only
See table above for setbacks

2.3 Technical Specifications:

2.3.1 Structural Wiring

Introduction

The Structured Wiring System shall be installed in a star topology (often called a homerun topology). The system shall consist of a central structured wiring panel (SWP) that terminates cable feeds from each telecommunications provider's network demarcation point. Cables emanate from the SWP and terminate in outlets conveniently located throughout the home.

When possible, all connecting hardware, cables, and SWP shall be purchased from a single manufacturer and installed to the manufacturer's specifications required to provide for a limited product warranty.

All components shall be installed in compliance with applicable local, state, and national building codes. If these specifications conflict with building codes, the building codes shall apply.

Components

Outlets and Terminations

Outlet Locations:

- ^ A minimum of three (3) Media Outlets shall be installed in each home. Media Outlets should be considered in the Kitchen, Home Office, Master Bedroom, and Family Room/Living Room locations. Builders are encouraged, but not required to add more media outlets than the required minimum.
- ^ A minimum of one (1) Quad Media Outlet shall be installed in each home. Typically, this outlet should be placed in the Family Room/Great Room or wherever the main audio/video entertainment equipment is placed within the home. Builders are encouraged, but not required to add more quad media outlets than the

required minimum.

- ^ A minimum of two (2) Data Outlets shall be installed in each home. Data Outlets should be considered in the Kitchen/Great Room area and in the Master Bedroom. A Media Outlet may be substituted. Builders are encouraged, but not required to add more data outlets than the required minimum.
- ^ All outlets shall be located within three feet (3') of an electrical outlet.
- ^ It is recommended that two (2) Media Outlets be installed on opposing walls in each Master Bedroom.

Terminations:

Cat 5e/6 cables shall be placed from the SWP to the following locations:

- ^ Near the HVAC Unit (within 16", blank plated)
- ^ Near any irrigation control (within 16", blank plated)
- ^ These cables are not terminated and shall be labeled by destination (example: "HVAC").

Cable and Connection Requirements

Data:

- ^ All Cat 5e/6 connections are made with an RJ-45 8-conductor modular plugs and jacks wired to the EIA 568A criteria.
- ^ All components shall be rated for Cat 5e/6 performance, including those designated for telephone terminations. Cable runs shall meet EIA 568A criteria for performance, minimum bend radius, and connections.
- ^ Cross-connects at the SWP shall use modular jacks and plugs. The incoming service feeds may use "punch-down" termination.

Video:

- ^ Only hex crimp or radial compression connectors may be used. Twist-on and reusable type connectors are not acceptable.
- ^ Media Outlets are the minimum requirement for any video location.
- ^ All unused coax network ports shall be terminated into a 75-ohm termination device or utilize self-terminating connectors.
- ^ The video distribution system shall include a 4 port passive "splitter" for the distribution of RF signals. If more than 4 video outlets are active, then a bi-directional amplifier shall be installed.

General:

- ^ Unshielded twisted pair (UTP) cable compliant with the Cat 5e/6 or greater EIA 568A specification shall be used to distribute voice and data signals.
- ^ RG-6 coaxial cable is used to distribute video and data signals.
- ^ All cabling shall be installed in a homerun from the SWP to each outlet with maximum individual cable lengths of no greater than 295' (90m) in compliance with TIA/ EIA 568A specifications.
- ^ Cables shall be installed according to manufacturers' instructions adhering to minimum bending radius and cable tension specifications.
- ^ At least eighteen inches (18") of cable slack shall be left at all outlets.
- ^ Where possible, the horizontal routing of the cables shall be done between floors (ceilings) and basements or crawlspace (if applicable/available) rather than through studs.
- ^ All cables installed into the SWP shall include a minimum of 24" of slack.

- ^ All installed cable runs shall be tested individually, end-to-end for parity and continuity after final termination. It is recommended that all Cat 5e/6 cabling be mapped and certified to then current, industry accepted standards for the cabling grade.
- ^ The cables can be deployed individually or bundled in a common sheath.
- ^ Hard fasteners may compromise cable performance and shall not be used.
- ^ All cables shall be at least twelve inches (12") from parallel 110 VAC cable runs, and shall never pass through the same holes. If the cable must cross the 110 VAC cable, it shall do so at a 90-degree angle.
- ^ Electrical boxes may cause damage by exceeding allowable bend radius to cables and will not allow for the required 18" of wire or wires to be left for future re-configuring. Cables and outlet cover plates shall be clearly labeled. All cables entering or exiting the SWP shall be labeled. A legend shall be left in the SWP.
- ^ Where it is necessary to penetrate a fire-rated wall, the hole shall be sleeved with EMT. The sleeve and penetrating hole shall be sealed with a fire retardant sealant. Where it is necessary to place an outlet in a fire-rated wall, install a plaster ring (P-Ring), and then block, drywall, and caulk per local fire coding.
- ^ All wires and cables in the attic shall not contact bathroom vents, lighting fixtures, hot water pipes, and heating vents. If possible, all wires and cables in the attic should be routed above the attic floor.

Service Feed:

Service feed cabling shall be placed from the exterior network termination location in an uninterrupted path to the SWP. The service feed bundle shall contain a minimum of two (2) Cat 5e/6 cables and two (2) RG-6 cables. The service feed cable shall exit

the home at a height of 5' 6" (five foot, six inches) above finished grade.

Structured Wiring Panel (SWP) and Components

- The SWP shall accommodate all necessary wiring and devices, while maintaining minimum bend radius requirements for incoming and outgoing wiring.
- When the SWP is mounted on an interior concrete wall, plywood backing shall be used.
- A 110 VAC 20 Amp, non-GFI dedicated duplex outlet shall be installed within the SWP.
- The SWP shall be located within the climate controlled (conditioned space) area of the home.

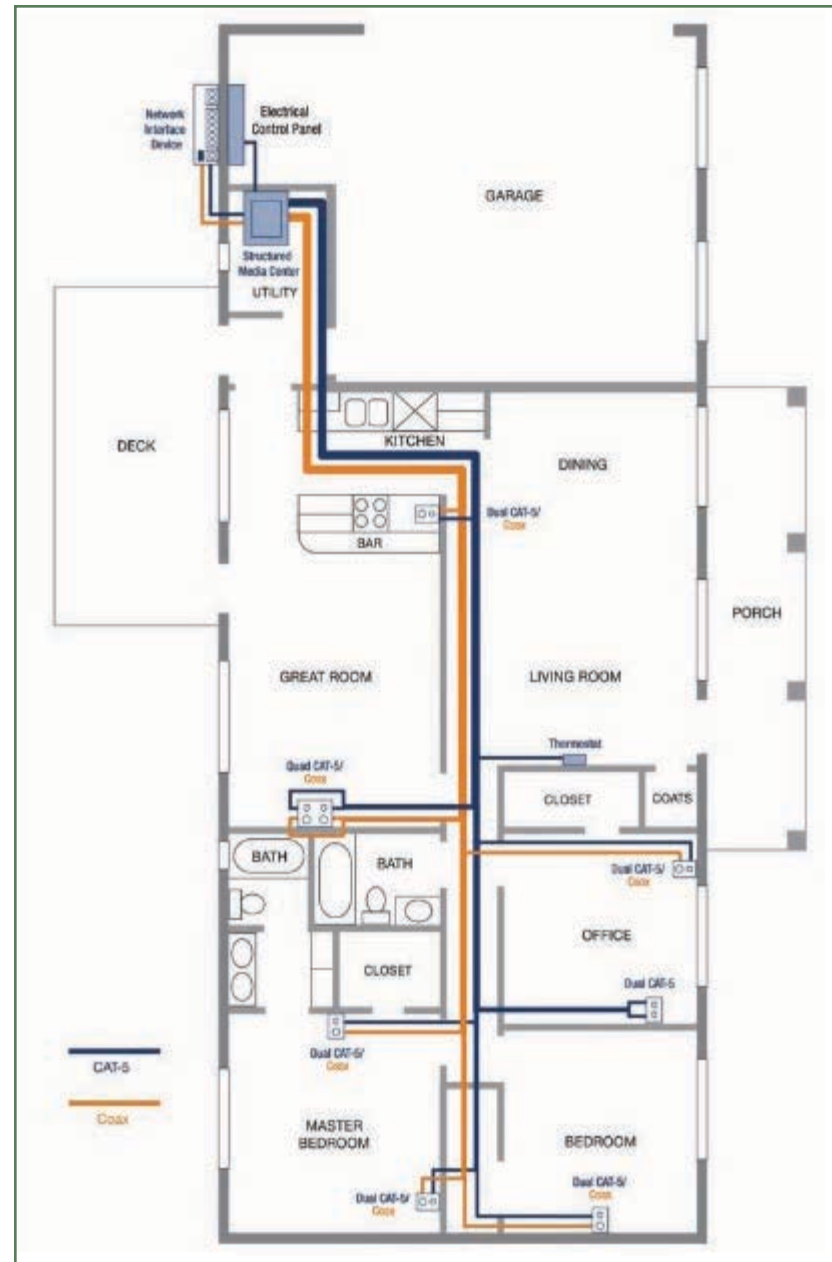
Router:

A router is optional. If provided, the router shall be installed and securely fastened inside of the SWP.

- Wireless routers or access points are not recommended within the SWP. The wireless performance may be degraded due to interference from the SWP. Additionally, wireless routers are not recommended to be included due to the problematic nature of the devices.

Service Provider Drop Requirement

- A 1.5" (1½ inch) conduit from the network demarcation point of each residence to the property line is required at a location specified by the communication provider.
- All communication conduits from the property line to the dwelling unit shall be buried at least 24" (twenty-four inches) from finished grade.



Definitions

Blank Outlet

An outlet with unterminated cables covered with a blank plate.

Cat 5e/6

Category 5e or Category 6 wiring standard, as defined in a revision to the EIA 568A Commercial Wiring Standard. The Category 5e wiring standard shall be the lowest acceptable performance designation for twisted pair wiring and Category 6 is recommended.

Structured Wiring Panel (SWP)

The structured wiring enclosure or wiring distribution panel.

Data Outlet

An outlet with two Cat 5e terminations. One termination is labeled voice and the other data.

Media Outlet

An outlet containing one RG-6 and one Cat 5e/6 cable. RG-6 The coaxial cable grade that ensures adequate bandwidth for the delivery of video signals.

Router

The device connecting the data network in the home (LAN) with the communications provider's data network (WAN).

Quad Media Outlet

An outlet with two Cat 5e/6 terminations and two coax terminations.

UTP

Unshielded Twisted Pair Wire.

Homerun

A wiring topology where every wire is run separately from its termination point back to a central distribution point, usually in a utility room or dedicated A/V room. Also known as "star topology."



RIVER ISLANDS



CHAPTER 3

LANDSCAPE GUIDELINES AND STANDARDS

3.1 INTRODUCTION

This chapter addresses guidelines and standards for landscape elements to be installed by Builders. These elements include planting and irrigation of residential yards, driveways, site furnishings, and sustainable design measures. The provisions set forth within this chapter will provide a closely coordinated, cohesive, and memorable landscape experience to unify neighborhood character and ensure that every resident feels well-connected to site and landscape. The goal is to create a welcoming residential landscape that enhances the living experience, adds lasting value to homes and the neighborhood as a whole, and incorporates sustainable measures for landscape design and construction.

The Lakeside West District, as part of Phase 1/Stage 2B, should reinforce the overall theme of River Islands, with an urban community that feels as if it grew within the context of the California Delta as a corridor between the rural agricultural and country living of the San Joaquin Valley. The concept seeks to blend the modern home into the historical land use of the natural environment of the Central Valley's farm land and the surrounding waterways, which give such life to the environment. This theme may be expressed through use of orchard-style planting, wildlife-attracting hedgerows, riparian-type planting, abundant trees, and durable, long-lasting materials that convey a genuine sense of place.



Typical frontyard planting along residential streets



Parkway strip shrub and tree groupings create a sense of place

The City of Lathrop Municipal Code, Chapter 17.92: Landscape and Screening Standards and the City of Lathrop Design and Construction Standards provide additional requirements for landscape. Where documents differ, these Builder Guidelines and Standards shall apply.

3.2 RESIDENTIAL LANDSCAPE

3.2.1 Planting Design

Guidelines

- Planting themes have been selected to mimic existing characteristics and habitat of the delta waterways and vegetated agricultural hedgerows. Plant material selection should strongly consider the use of drought-tolerant, durable and long-lived species that give the appearance and imagery of the Delta Valley. Species should be well adapted to the climatic conditions and soil types typical of the River Islands Development. Robust evergreen shrub species intermixed with flowering native shrub species are strongly encouraged. Large naturally shaped flowering shrubs species should be selected to mimic the image of traditional hedgerows typical of the surrounding agricultural region. Flowering species that create year-round interest are of high preference.
- Landscape design should emphasize the use of nectar-producing and flowering plants that supply food, shelter and breeding habitat for beneficial insects that pollinate edible crops and control pests. Gardens for butterflies, hummingbirds, and native bees are encouraged.
- Landscape design should provide effective screening of retaining walls, utility enclosures, utility cabinets, or service areas to reduce negative visual impacts. Screen landscaping should incorporate evergreen plant species in order to maintain year-round leaf cover.
- Plant selection should avoid the use of tree species with invasive root systems near utility lines and paving and avoid the use of non-native, invasive species that may spread into open space areas. All plants should be carefully selected to avoid toxic species that could

- be harmful to children or cause allergic reactions.
- Low groundcover of robust evergreen species should be used for ground plane landscape, as an alternative to turf. Turf should only be used for high use areas and the selected turf should be a deep rooting variety or a California Native variety. The use of turf should follow the guideline and requirements as described in AB1881 and Chapter 17.92 of the Lathrop Municipal Code.
- Plants with higher water demands should be located in shade or where more runoff occurs.
- Landscape around homes should be designed to provide shading in the summer months and solar access during the winter. Planting deciduous trees next to buildings will reduce ambient temperature, reduce heat gain, and allow for cooler natural ventilation. Deciduous trees and vines in front of south-facing walls and windows will further cool buildings by intercepting sunlight during summer months, yet allow direct sunlight during the winter.
- Energy-efficient landscaping techniques are encouraged such as use of local materials, on-site composting, and chipping to reduce green waste hauling.
- Structures such as trellises and porticoes may be incorporated into the building/landscape edge, especially on south- and west-facing exposures, to provide shade in the summer and allow solar penetration when the sun is at a low angle in the winter.

Standards

- All private yard areas visible from public parks, streets, alleys or lakes shall be landscaped by the Builder/Developer. Homeowners shall be responsible for private yard areas enclosed within fences.
- Landscape plans for all areas where the builder is required to install landscaping shall be prepared by a landscape architect registered to practice in the State of California.
- Landscape construction practices shall adhere to the provisions in Section 3.4, below.

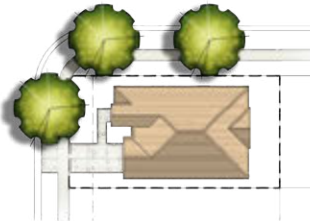
ACCENT TREE LIST

BOTANICAL

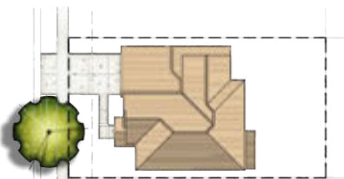
- Cercis occidentalis
- Chitalpa tashkentensis
- Lagerstroemia indica
- Prunus c. 'Krauter Vesuvius'
- Prunus serrulata 'Kwanzan'

COMMON

- Western Redbud
- Chitalpa
- Crape Myrtle
- Purple Leaf Flowering Plum
- Kwanzan Flowering Cherry



TYPICAL CORNER LOT STREET TREE



TYPICAL INTERNAL LOT STREET TREE



Figure 3-1: Street Tree Master Plan

STREET TREE MASTER LIST

VILLAGE	STREET DIRECTION	BOTANICAL NAME	COMMON NAME
KK	East/West	Tilia c. 'Greenspire'	Greenspire Little-Leaf Linden
II	East/West	Chitalpa t. 'Pink Dawn'	Pink Dawn Chitalpa
FF	East/West	Ulmus p. 'Drake'	Chinese Evergreen Elm
HH	North/South	Zelkova serrata 'Green Vase'	Green Vase Zelkova
GG	North/South East/West	Tilia c. 'Greenspire' Acer rubrum 'October Glory'	Greenspire Little-Leaf Linden October Glory Red Maple

STREET TREE LIST BY CONNECTOR STREET

STREET	BOTANICAL NAME	COMMON NAME
L ST	Ginkgo biloba	Ginkgo
RIVER ISLAND PKWY	Quercus coccinea	Scarlet Oak
IRISH MEADOW WAY	Tilia c. 'Greenspire'	Greenspire Little-Leaf Linden
SHRUTE DRIVE	Carpinus b. 'Franz Fontaine'	Franz Fontaine Hornbeam
POSEY ST	Carpinus b. 'Franz Fontaine'	Franz Fontaine Hornbeam
WALERA DRIVE	Quercus Palustris	Pin Oak
ENNEKING DRIVE	Acer rubrum 'October Glory'	'October Glory' Red Maple



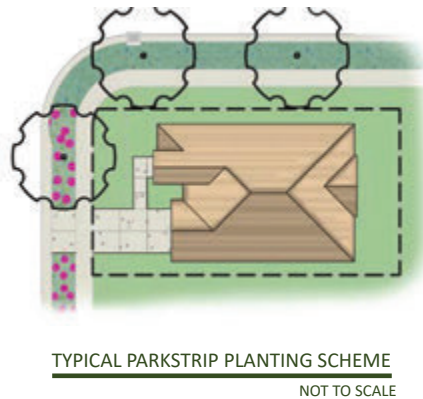
Figure 3-2: Parkway Strip Planting Master Plan

PARKWAY STRIP PLANT LIST

BOTANICAL NAME	COMMON NAME
Juniper	Juniper
Coprosma p. 'Verde Vista'	Coprosma
Cotoneaster dammeri 'Coral Beauty'	Bearberry Cotoneaster
Arctostaphylos 'Pacific Mist'	Manzanita
Cistus Salvifolius	Sageleaf Rockrose
Myoporum parvifolium	Australian Racer
Rosa x 'Noaschnee'	Flower Carpet White Rose
Rosa 'White Meidiland'	White Meidiland Rose
Rosmarinus offic. 'Huntington Carpet'	Huntington Carpet Rosemary
Teucrium chamaedrys 'Prostratus'	Germander
Rosmarinus O. 'Prostratus'	Dwarf Rosemary

PARKWAY STRIP MASTER PLANT LIST

VILLAGE	STREET DIRECTION	BOTANICAL NAME	PLANT SPACING
KK	East/West	Arctostaphylos 'Pacific Mist'	36" O.C.
II	East/West	Myoporum pavifolium	36" O.C.
HH	North/South	Juniper	36" O.C.
FF	East/West	Rosmarinus offic. 'Huntington Carpet'	36" O.C.
GG	East/West North/South	Myoporum pavifolium Coprosma p. 'Verde Vista'	36" O.C. 36" O.C.
POSEY ST	East/West	Myoporum pavifolium	36" O.C.
L ST	North/South	Coprosma p. 'Verde Vista'	36" O.C.
IRISH MEADOW WAY	East/West	Arctostaphylos 'Pacific Mist'	36" O.C.
SHUTE DRIVE	East/West	Rosa x 'Noaschnee'	36" O.C.
WALERA DRIVE	North/South	Rosa x 'Noaschnee'	36" O.C.
ENNEKING DRIVE	North/South	Rosmarinus offic. 'Huntington Carpet'	36" O.C.



3.2.2 Front and Side Yards

- Front yards of lots should be designed and installed by the Builder as a continuous landscape with consistent plant materials and dimensions that unify the street edge (see Figure 3-1). Dominant ground plane plant material should consist of shrubs, perennials and grasses that maintain an attractive appearance and enhance natural habitat values.
- Hedgerows may be used on side property lines for privacy and definition of yard areas, and a continuous low border of low shrubs or groundcover may be installed adjacent to the sidewalk (see Figure 3-2).
- Shrubs located near street frontages or on corner lots should not exceed three feet in height.
- Builder is responsible for landscape, irrigation and maintenance of front and side yards.

Standards

- Landscaping for all front yard areas shall be installed by the Builder.
- The Builder shall design front yard landscape for all lots. These front yards shall include a minimum of one tree for regular lots and three trees for corner lots which shall match the species and size of the adjacent street trees or as indicated in Figure 3-1. Additional “accent” trees installed outside of the parkway strip areas may be of a different species (refer to Appendix for a list of acceptable “accent trees”).
- Other front yard areas shall be planted with shrubs and perennials that enhance habitat values and maintain an attractive year-round appearance along the street.
- All front and side yards shall be maintained by the homeowner.
- Irrigation shall be provided for all planted areas (see Section 3.4). The Builder shall install irrigation for all areas that they landscape. After construction, homeowners shall be responsible for irrigation of all yards and adjacent parkway strips. Parkway landscaping shall be maintained by the homeowner fronting along that parkway section, unless it’s the responsibility of a non-City public agency, HOA or maintenance district.

3.2.3 Rear Yards

See Section 3.3 for fencing requirements in lakeside rear yards.

Guidelines

- All rear yards of all lakeside homes should contain a minimum of two trees.
- For lakeside homes, the slope area from the rear yard fence to the lake edge should be planted in informal drifts of shrubs, grasses and perennials. Plant material should be located to maintain views of the water, with higher planting allowed on lower terraces and shorter species on upper portions of the slope. No trees are allowed within the slope areas outside of the 5’ tubular steel fence.

Standards

- All rear yards adjacent to the lake (from rear yard view fence to lake edge) shall be landscaped and mulched (with bark or gorilla hair) by the Builder. This includes view fencing installation at the top of rear yard slopes and side yard fencing installation.
- Developer shall install rear yard pilasters at every other lot corner, pathways to docks, and docks (see Figure 3-4). (Builder may install with the consent of the Developer).
- Irrigation shall be provided for all planted areas (see Section 3.4). The Builder shall install irrigation for all areas that they landscape. After construction, homeowners shall be responsible for irrigation of all yards and adjacent parkway strips.

3.2.4 Levee Landscaping

Standards

- All levee landscape areas adjacent to residential lots and roadways shall be landscaped with hydroseed mix (Figure 3-7).
- Areas adjacent to levee shall be the responsibility of the Reclamation District to maintain from top of curb and in.

- Areas beginning at the homeowner's fence and into the property shall be of the responsibility of the homeowner to maintain.



Figure 3-4: Builder Responsibility at Rear Yards

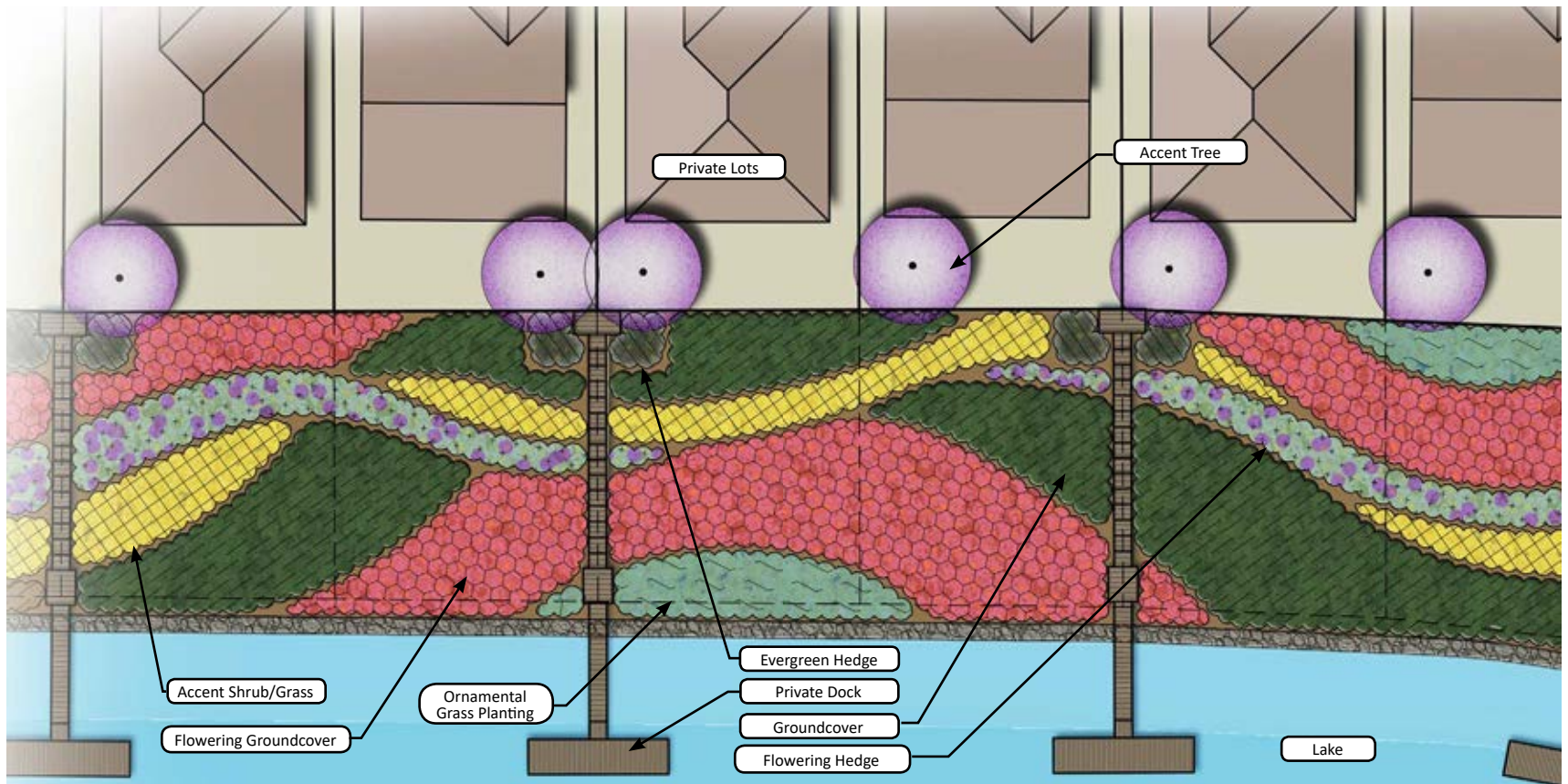


Figure 3-3: Rear Yards at Lakeside Homes

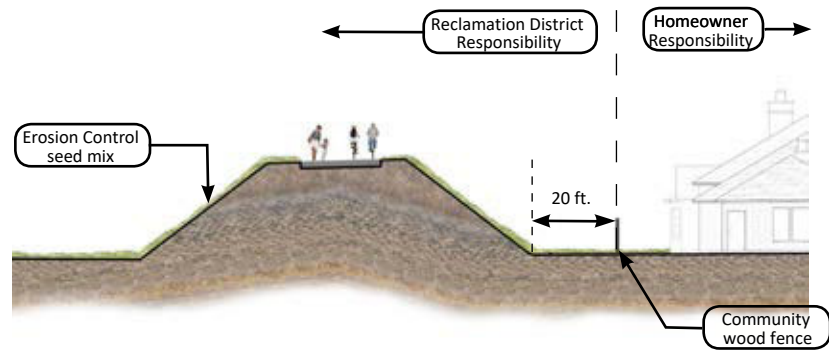


Figure 3-5: Levee next to residential yard

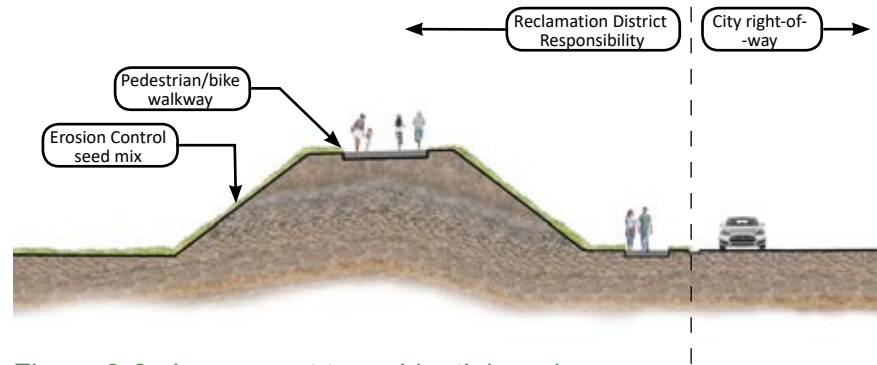


Figure 3-6: Levee next to residential roadway

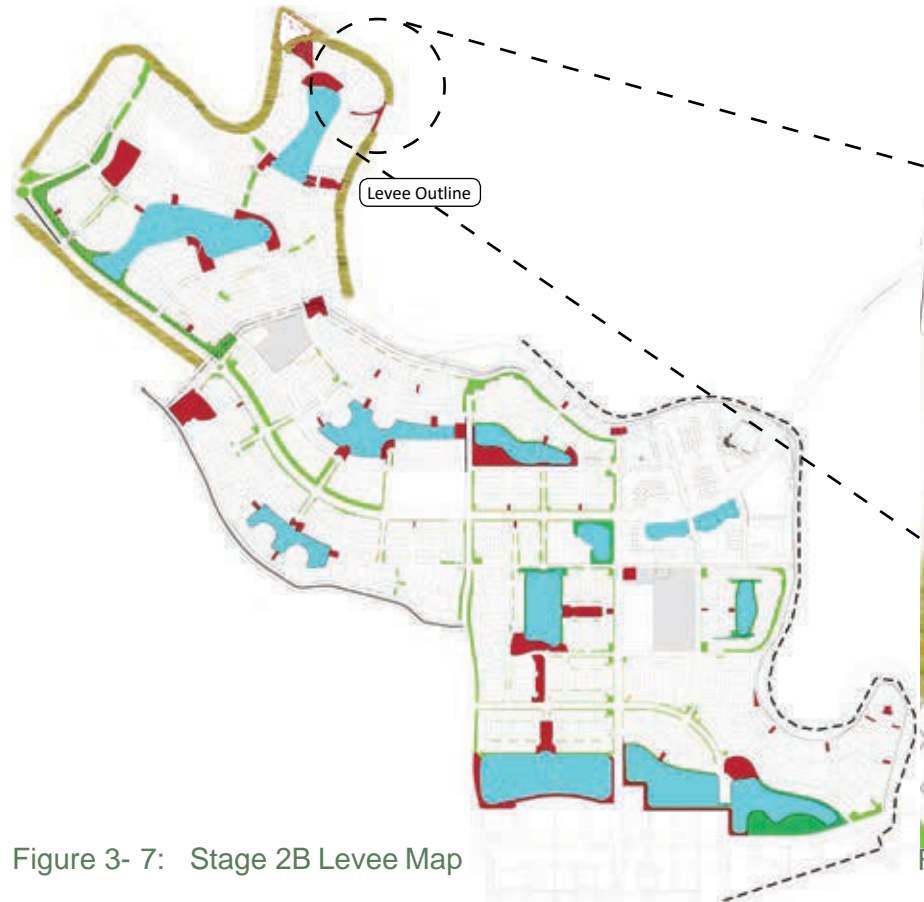


Figure 3- 7: Stage 2B Levee Map

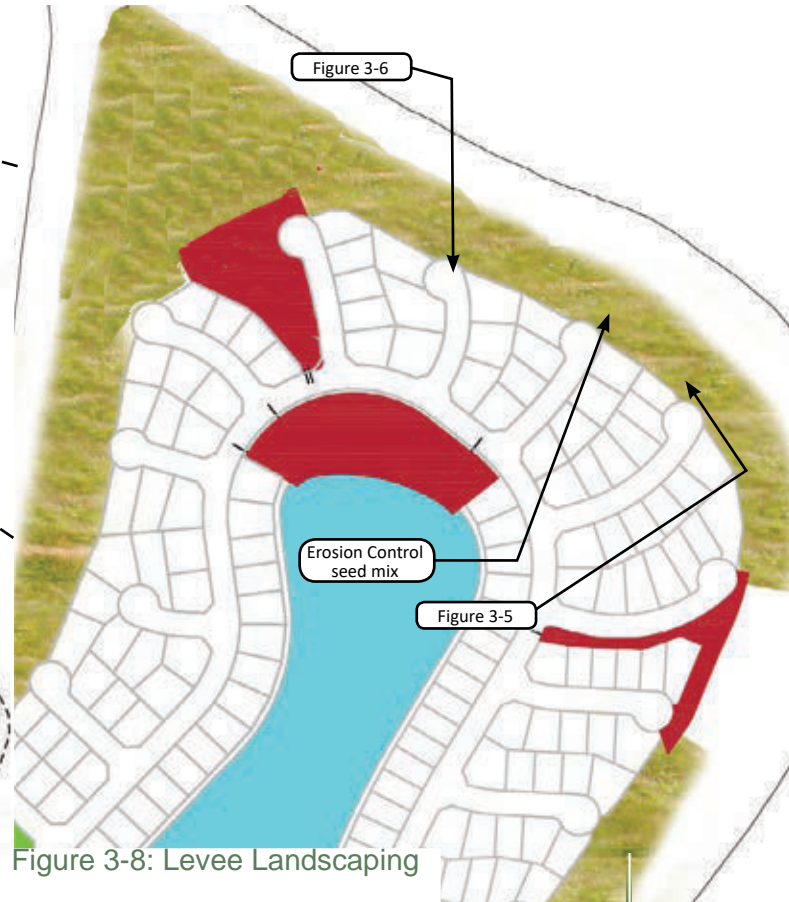


Figure 3-8: Levee Landscaping

3.3 SITE FURNISHINGS/ MATERIALS

3.3.1 Fences

Figures 3-10, 3-11, 3-12 and 3-13 illustrates the location and types of fencing to be used, with a variety of heights and design to be used for various conditions. These fences consist of a ‘family’ of elements, similar in style and materials, used in a consistent manner throughout the neighborhood. Additional fencing and walls, including view fencing in the rear yards of lakeside homes, will be installed by the Developer (Figure 3-10, 3-11 and 3-12).





Guidelines

- In general, fencing should be designed to be natural-appearing and durable, compatible with neighborhood character, and reflective of the “Delta Agrarian” character of River Islands.
- Fencing should be made from high quality materials, be of durable construction, and present a “finished” appearance from adjacent properties.
- Solid fences or walls used for privacy or security may be used in either side or rear yard conditions. Fencing should be limited to six (6) feet in height and, in areas facing a public street or alley, must incorporate a change in articulation for the top 12-18 inches of the fence.
- Solid side yard privacy fencing that intersects open space view fencing should not exceed 5 feet in height within the rear setback.
- To reduce their visual prominence, fences should be used in combination with tree, vine, shrub, and hedge planting.

Standards

- 6’ Decorative wood fencing and 6’ side yard wood fencing shall be installed by Builder using the design treatments illustrated in Figure 3-10 and in locations indicated by Figures 3-10, 3-12, and 3-13.
- 6’Decorative wood fencing with lattice treatment shall be used for areas visible from public areas including roadways and parks.
- 6’ Decorative wood fencing shall be set back 10 feet from the sidewalk. Gates shall be installed on one side of the home to allow access from front yard to side yard.

Neighborhood Elements Legend

SYMBOL	FEATURE TYPE
	Community Masonry Wall
	Community Wood Fence
	Open Space Railing
	Lot Fencing



NOTE: BUILDER SHALL ALSO INSTALL PRIVACY FENCES PER FIGURES 3-7, 3-8 AND 3-9
Figure 3-10: Community Wall and Fence Diagram

- 6' Decorative wood fencing shall be used on side property lines. Fencing shall be limited to six (6) feet in height. Decorative privacy fencing (with lattice) shall be used in areas visible from public streets or other public areas. Privacy fencing for lakeside homes shall transition from six feet to five feet in height as indicated in Figure 3-12.
- In sloping areas visible from public streets or public use areas, fencing shall step down the slope. Fencing may slope with the grade in

- areas that are outside of public view.
- On corner lots, front yard fencing shall be continuous along the front and side property line. Where slopes occur, fencing shall be installed along the top of slope. For corner lots, side yard fencing along street frontages shall be located a minimum of five (5) feet from the sidewalk.
- Maximum unbroken length of side yard fences should be 100 feet for adjacent street-facing lots. Fencing can be reduced in height at corners as required to allow for traffic safety and visibility.

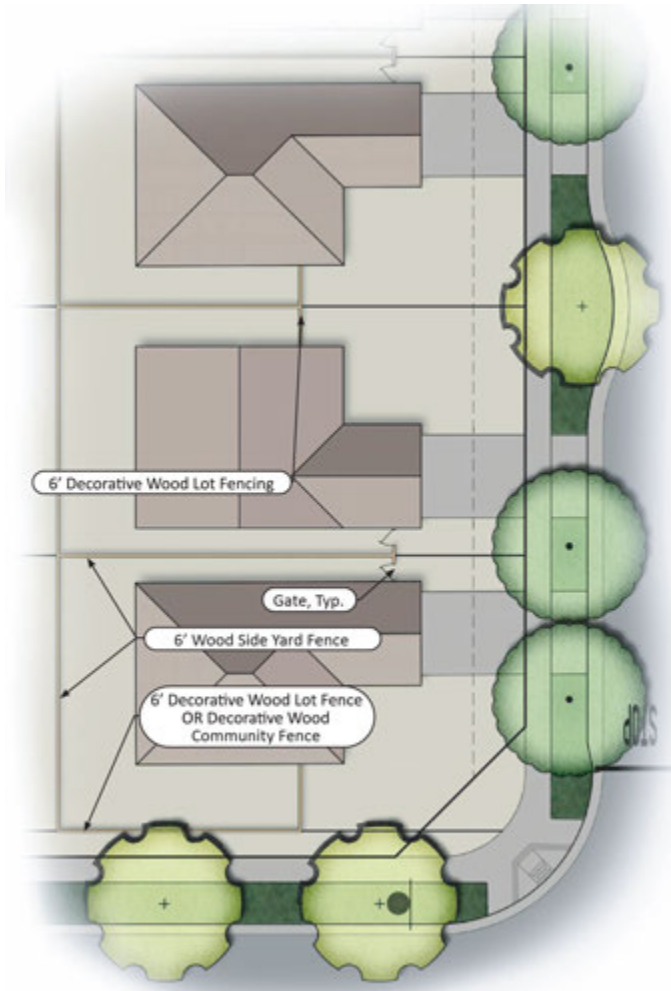


Figure 3-11: Prototypical Fence Conditions

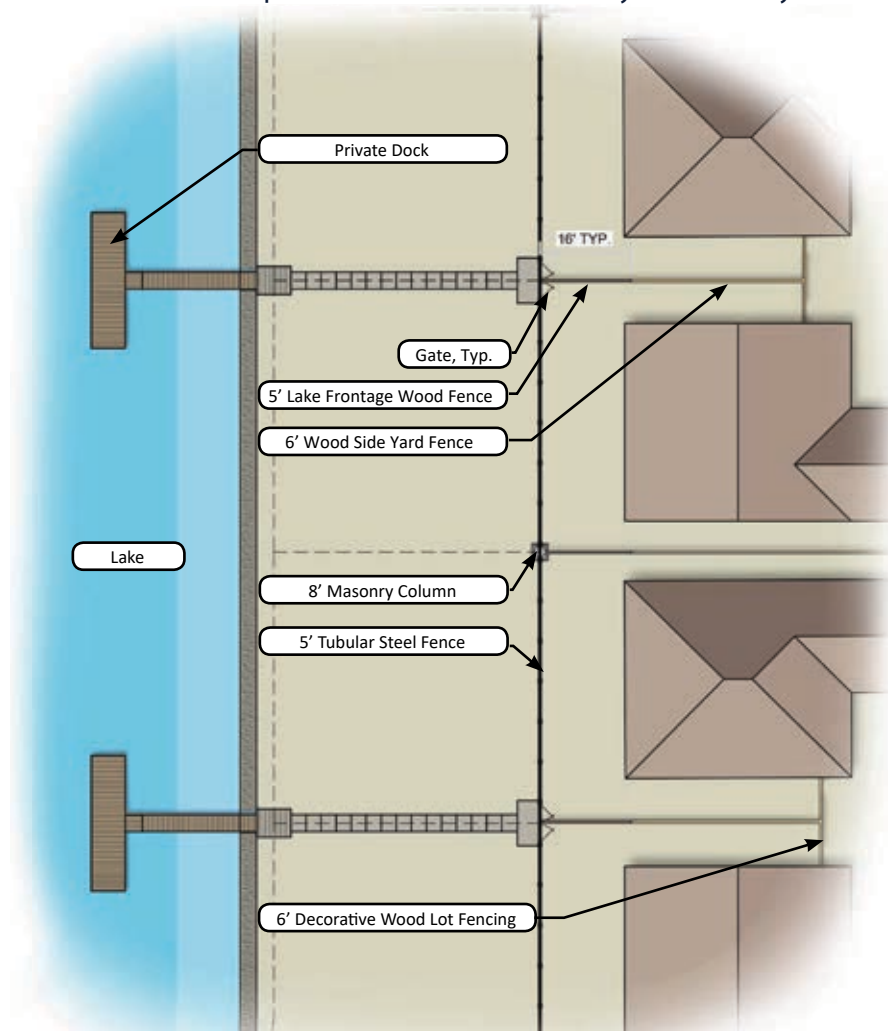


Figure 3-12: Prototypical Fence Conditions (Water Edge)

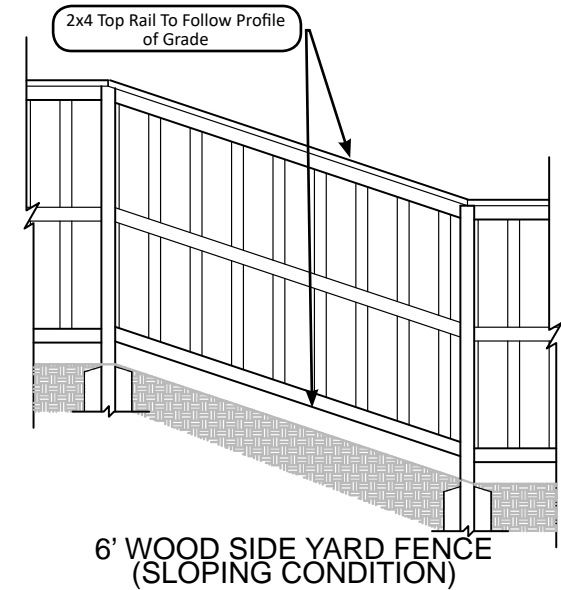
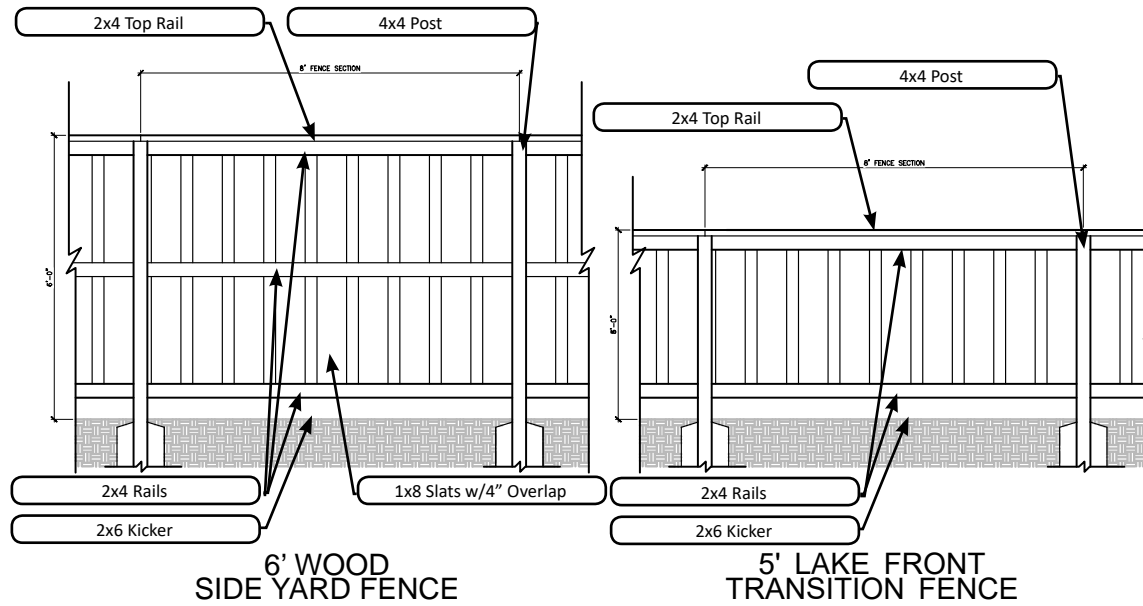
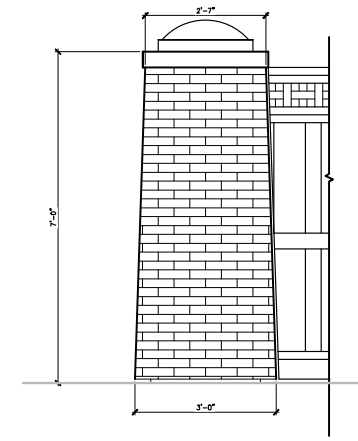
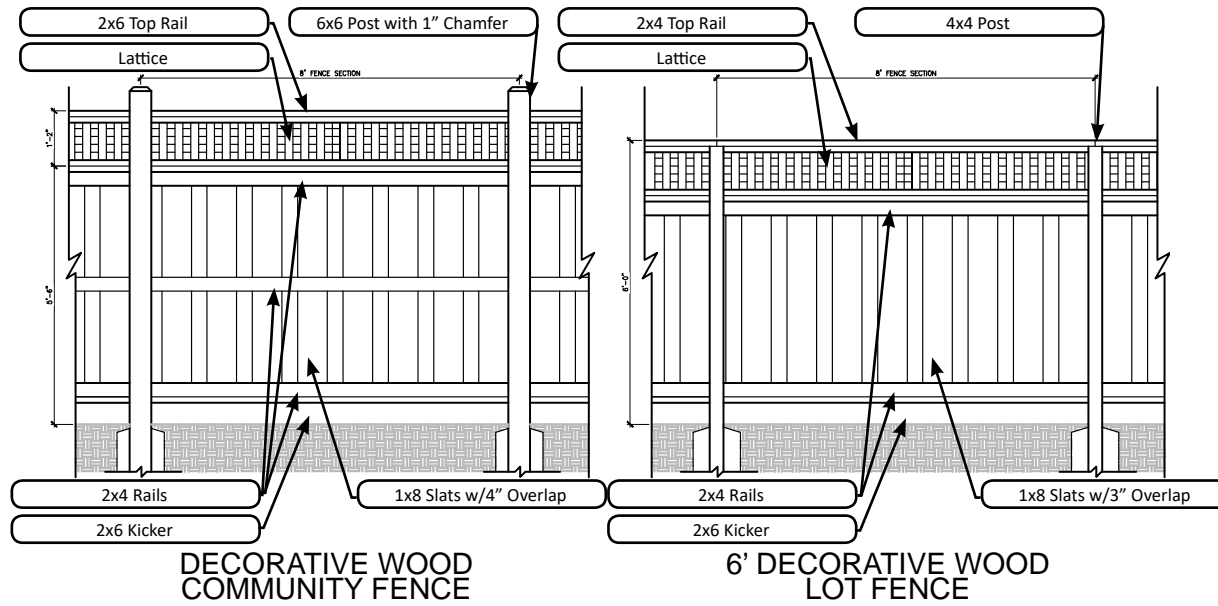
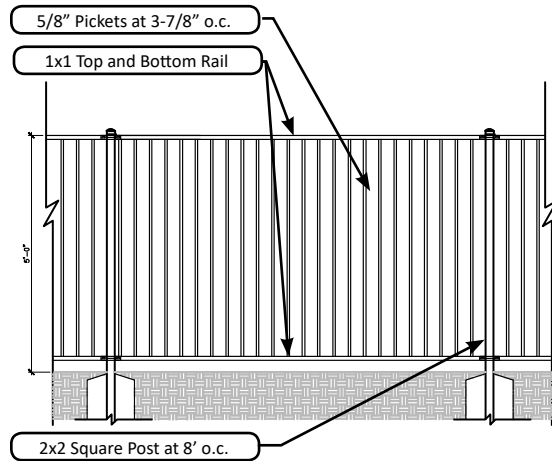
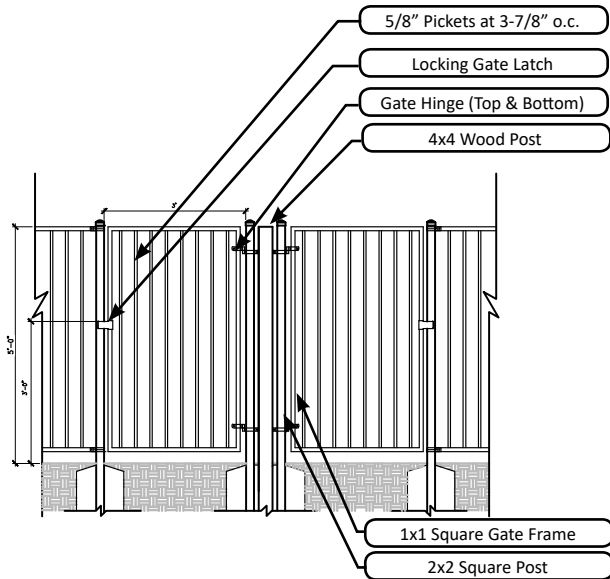


Figure 3-13: Prototypical Fence Conditions (For Builder)



5' TUBULAR STEEL FENCE AT LAKE FRONTAGE



5' TUBULAR STEEL FENCE WITH 3' GATE AT LAKE FRONTAGE

Figure 3-13: Prototypical Fence Conditions (For Builder) (CONTINUED)

- Security fencing shall be provided around pool and spa areas in compliance with all applicable codes and ordinances.
- Barbed or razor wire, chain link and plastic/vinyl fencing is prohibited on residential properties.

3.3.2 Signage

- Temporary signage to market the sale of new homes – to be provided by River Islands. Signage should conform to the signage types and hierarchy described in the Appendix.

3.3.3 Landscape Lighting

Guidelines

- Landscape lighting should be designed to be hidden from direct view and to minimize glare and impacts to adjacent land uses, especially residences. Low-level, pedestrian-scale fixtures should be utilized to the degree possible.
- Landscape lighting should utilize durable, energy-efficient fixtures that provide pleasing color. High efficiency fixtures are encouraged to direct light where it is needed to avoid excessive glare and reduce impacts upon night sky and open space. No lighting should blink, flash, or be of unusually high intensity or brightness, except in the case of holiday lighting.
- Landscape lighting should be minimized to reduce light pollution and minimize energy usage.
- LED fixtures and intelligent control systems should be utilized to the extent possible.

3.3.4 Paving and Hardscape

Guidelines

- Paving surfaces on residential lots should be limited to the driveway, walkways, and patios. Paving to replace landscaping shall comply with the Lathrop Municipal Code.
- The general intent of pavement design is to provide an aspect of permanence with subtle textural variety using materials that

appear related to the natural landscape. Brightly-colored and highly reflective materials are not acceptable. Pervious paving is encouraged to the extent feasible.

- Use of enhanced paving materials (exposed aggregate, broom finish, integral color, unit pavers, stamped concrete, and bricks, etc.) is encouraged for front walks, patios and driveways. Planting areas are recommended between pavement and walls or fences. Concrete areas on the landscape plans should be designated with surface finish, color, expansion joints, and score joints. Expansion and score joints help isolate cracking locations in concrete and should occur 8 feet on center (max.) in each direction.
- Residential driveways serving front-facing garages should use enhanced materials, and/or scoring patterns to reduce the visual impacts.
- Selected paving color/albedo should meet a minimum SRI (Solar Reflective Index) value of 29 in order to aid in reducing the heat island effect (note: typical grey concrete usually falls between 38-52).

3.4 LANDSCAPE CONSTRUCTION PRACTICES

The following provisions address construction practices techniques to ensure healthy and successful projects and adhere to requirements and measures for sustainable landscape.

3.4.1 Irrigation and Water Conservation

The City of Lathrop Municipal Code, Chapter 17.92 Landscape and Screening Standards, contains additional requirements for irrigation and water conservation.

Guidelines

- The irrigation system should be designed to conserve water resources by efficiently and uniformly distributing water. Designs should be based upon applicable California Department of Water Resources ordinances and tailored to the climate of the City of Lathrop.

- Use of low volume spray heads and drip irrigation systems should be maximized. New irrigation techniques and drip irrigation systems should be used to ensure more efficient delivery of water.
- Irrigation design should accommodate hydrozones accordingly, separating high, medium and low water-use plants. Trees should be put on a separate system, specifically in lawn areas, and shrubs and trees should be irrigated with a drip or bubblers to provide deeper, more even watering and promote water conservation. Systems should also be separated by sun exposure, i.e., north/east exposures versus south/west exposures.
- Turf and groundcover should be irrigated with a conventional rotary nozzle spray system, using head-to-head spray coverage. In-stem pressure regulation and check valves are required on all heads. To effectively meet the intent of the state of California's conservation effort sub-surface drip irrigation should be the primary irrigation method. No above ground irrigation distribution method should be incorporated in areas less than ten feet (10") wide and shall maintain a twenty-four inch (24") offset from all pavement surfaces that drain directly to catchbasins.
- The irrigation controllers should be programmed according to the water needs of plants on each circuit, with consideration of the time of year and plant maturity. If precipitation rate exceeds the soil absorption rate, multiple shorter cycles should be programmed as required to allow absorption.
- Automatic irrigation controllers should be automatically adjusted using, at a minimum, daily ET (Evapotranspiration) rates and preferably hourly ET with an onsite rain shut-off device. Should an ET based controller not be utilized an onsite rain sensor with active moisture sensor may be used.
- All homes should be installed with an automatic master valve at the irrigation point of connection in conformance with AB1881 (MWEL0)
- Main lines should have 18" of cover.
- Irrigation valves should be screened from view from the street by landscaping or other attractive site materials.
- Irrigation systems should be monitored regularly for proper operation, leaks and broken heads, adjustment of controller programming, and elimination of excessive over spray and runoff.

Standards

- Irrigation shall be provided for all planted areas.
- Builder shall provide each home with an automatic irrigation controller that accommodates all aspects of the landscape design, including independent programming of multiple stations to cover front yard (including parkway strip), side yard, and backyard areas..

3.4.2 Soil Preparation and Mulching

Standards

- Finish landscape grading by Builders after construction of homes, if required, shall maintain or re-establish the overland release per the design intention of the Developer's Civil Engineer. Builders shall be responsible for maintaining proper drainage without creating depressions or dams.
- Builders should require an Agricultural Suitability Soil Test. The soils should be tested for agricultural suitability, parasitic nematodes and herbicide or deleterious contamination. The test should be completed by a reputable testing agency and should include recommendation for amendments, soil conditioners, pH correction, and fertilization.
- Subsequent to installation of underground utilities, soil compacted by construction should be rototilled to a minimum depth of eight (8) inches. In order to prevent interface layers between import topsoil and native soil, native soil should be broken up by ripping or rototilling to a depth of 8 to 12 inches before the addition of import topsoil or amendment.
- All planted areas should be amended to provide for an optimum growing media for most plants.
- Amendments (e.g. nitrolized compost, gypsum, soil sulphur, fertilizer, iron sulfate, etc.) should be rototilled into the soil to a depth of 4 to 6 inches. Amendments are more effective when thoroughly incorporated into the soil. Avoid staining when using ferrous sulfate as an amendment by washing off all hardscape immediately after applying or mixing.

- At all planting areas except lawns, a minimum of two inches of organic mulch shall be applied on top of the soil surface after planting in order to cool the soil surface, reduce evaporation, and suppress weed growth. Organic mulches, including wood chips, shredded bark, and other commercially available mulches are preferred to inorganic materials. Organic mulches should not be dyed an artificial color, but should be a natural brown or dark brown in color. Permanent visible applications of inorganic sheeting, fabric, netting, etc. are not acceptable.

3.4.3 Planting

Standards

- Plant materials shall be selected from Appendix: Plant Selection Guide. Substitutions or additions may be considered by the DRB based on the suitability of the species in terms of similarity of form, adaptability, tolerance to site soils, climatic conditions or water quality, or other pertinent characteristics.
- Plant sizes and spacing shall comply with the specifications noted on Appendix: Plant Palette and shall be sufficient to provide healthy growth, attractive appearance, and full coverage of planting areas when plants are mature. In general, size and spacing requirements are as follows:
 - Primary front yard tree: Size to match adjacent street tree (24" box); spacing per requirements in Section 3.2 above.
 - Other front yard trees or side/rear yard trees: 15 gallon min.; spacing varies.
 - Hedgerows: 5 gallon; 36" o.c. or as needed to create hedge, given anticipated growth pattern
 - Other shrubs: 5 gallon; 48" o.c. or as needed for full cover, given anticipated growth pattern.
 - Groundcovers for habitat and border planting: 1 gallon; 18" o.c. or as needed for full cover, given anticipated growth pattern.
 - Smaller groundcovers or perennials for parkway strips or yards: 1 gallon; 12" o.c. or as needed for full cover, given anticipated growth pattern.
 - Riparian planting for lakeside slope area: see Figure 3-2.
 - See Figure 3-14 for tree and planting details.

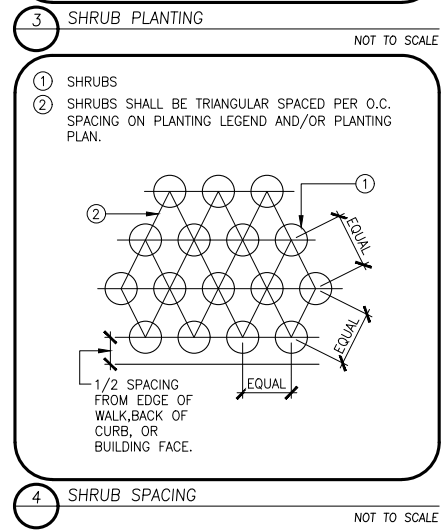
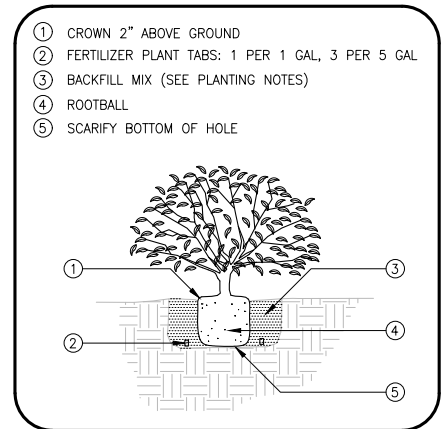
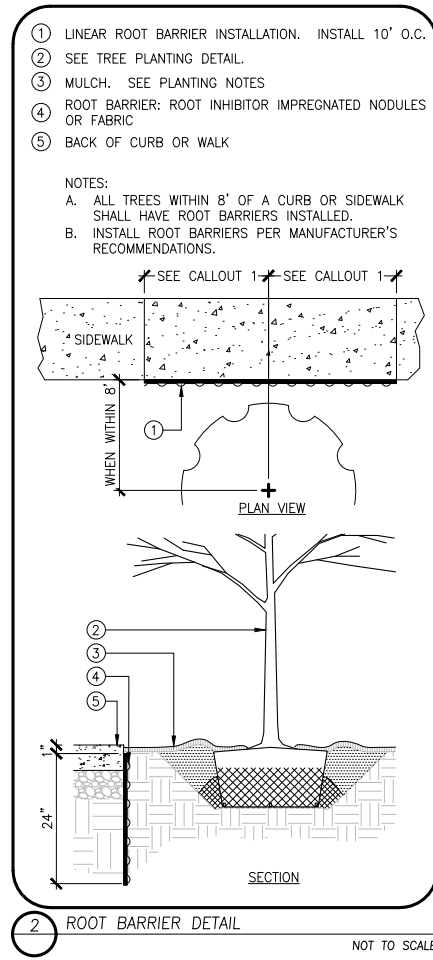
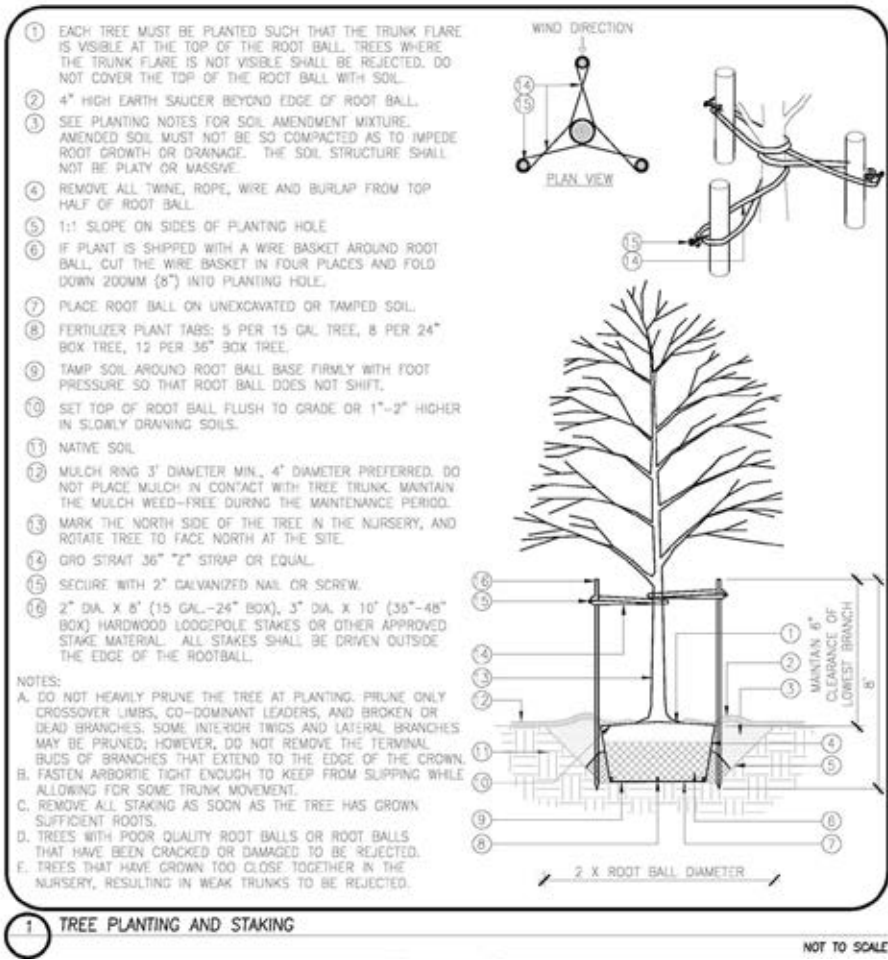


Figure 3-14: Planting Detail

RIVER ISLANDS



CHAPTER 4

PROJECT
IMPLEMENTATION

4.1 Project Implementation

4.1.1 Stewart Tract Design Review Committee (STDRC)

All projects shall be subject to the design review process and submittal requirements described in the following sections. Projects will be reviewed by the Stewart Tract Design Review Committee (STDRC), according to the requirements set forth below and Section 17.61.160 of the Lathrop Municipal Code. The STDRC is a group of three design professionals that represent the master developer. The STDRC will review design and improvement plans for new construction on undeveloped and improved lands within the community for conformance with these Lakeside West and Old River Road District Design Guidelines/Design Standards (DG/DS) and with all applicable plans (described below). The STDRC's review is advisory only and does not guarantee approval of any permit from other agencies. The City of Lathrop utilizes the STDRC's recommendation for certain approvals to Building Division, Planning Commission and some cases Lathrop City Council, if applicable.

After STDRC review is advisory only, applicants are still required to obtain approval by the City of Lathrop for all construction projects and necessary approvals and permits. This includes landscaping and infrastructure permits if applicable.

Prior to the submission of development proposals to the City of Lathrop, the STDRC shall review such proposals and make recommendations to the Master Developer and the City; the STDRC shall also recommend exceptions and revisions to the Old River District DG/DS to the City for further consideration and potential action by the Planning Commission. The STDRC may create exceptions to the DG/DS to accommodate development pro-posals which might suggest minor design changes or adjustments that are consistent with the intent of these DG/DS; in some cases, an exception might apply to a design condition not foreseen in the original drafting of the DG/DS. A STDRC recommendation to grant an exception may or may not be coupled with a proposed project

proposal already being reviewed by the STDRC. A request for revision to the DG/DS must be made in writing to the City of Lathrop Community Development Department and be approved by the Planning Commission after review and recommendation of the STDRC.

4.1.2 Consistency Requirements

Plans must be found consistent with this document and other applicable City of Lathrop land use entitlements, as well as any recorded River Islands CC&Rs. While the adopted DG/DS document itself is consistent with previously approved planning documents for River Islands, the Builder should be aware of requirements of other applicable entitlements/plans that may also apply to your project. These entitlements/plans include:

1. City of Lathrop Comprehensive General Plan (as amended)
2. West Lathrop Specific Plan (as amended)
3. River Islands Phase 2 Urban Design Concept (UDC)
4. City of Lathrop Development Title (zoning and subdivision ordinances)
5. River Islands Development Agreement and Performance Standards
6. Vesting Tentative Map No. 6716 Conditions of Approval (as amended)
7. Old River District Neighborhood Development Plan (NDP) Adopted River Islands Conditions, Covenants and Restrictions (CC&Rs), if applicable

4.1.3 Design Review Submittal Requirements

As a minimum, all applicants shall provide the following to the Master Developer for processing STDRC review:

1. Location Map - should include Tract, lot and/or parcel numbers if available.
2. Conceptual Plans and Elevations- this shall include preliminary building floor plans for each architectural style and model type represented. This includes enhanced

elevations for those structures which will be adjacent to major streets and project features which are exposed to the public.

3. Conceptual front yard landscaping plans for each lot type.
4. Conceptual neighborhood landscaping plans.
5. Preliminary Color Palette & Materials (can be submitted in a "board" format).
6. Conceptual Lotting Plan (Subdivisions) - the lotting plans shall show at least five contiguous lots, including one corner lot (if applicable). The footprints for proposed structure shall be shown on the lot, along with any driveways, walks, landscaped areas, dimensioned setbacks, fencing and other major features.
7. Conceptual Streetscape Plan – shall show all proposed models and architectural themes on one elevation in color to depict the representative streetscape.

All submitted architectural plans and elevations shall be at a minimum scale of 1/8" to 1/4" =1'-0" on 24" x 36" paper, as well provided as an electronic file in PDF format. 11" x 17" sized documents may be allowed on a case by case basis. Any other exceptions to the submittal requirements must be approved by the Master Developer.

At least one STDRC meeting shall be held to review the application materials. Each applicant is strongly encouraged to have the architect and other design professionals in attendance for this meeting. Additional meetings may be required if the submittal is incomplete or additional questions or issues cannot be addressed in the initial meeting. STDRC can conduct subsequent meetings via an e-mail discussion once the supplemental information has been provided which addresses the concerns raised.

The STDRC will submit a written recommendation letter and minutes reflecting the STDRC action to the applicant and to the City of Lathrop and any other applicable agencies after its review. The Master Developer may also provide a separate recommendation letter based upon the STDRC's recommendation

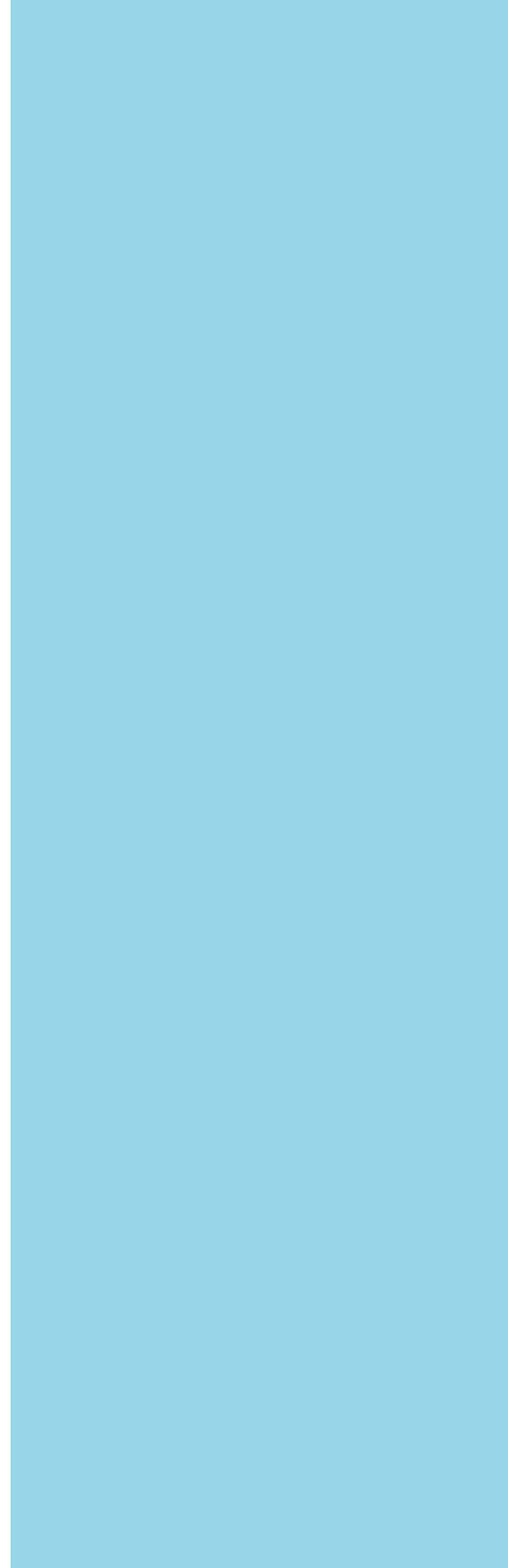
as may be required by CC&Rs or individual agreements between the Master Developer and the applicant.

All applicants shall be advised that the City of Lathrop has a separate design review process for review of proposed model homes and construction documents prior to planning and/or building permit approval. The actions taken by the STDRC shall be used to supplement the application process required by the City of Lathrop. The City of Lathrop Planning Division should be contacted for specific Information related to the requirements associated with Architectural Design Review and Administrative Approval.

RIVER ISLANDS



APPENDIX



Old River District Architectural Design Guidelines and Development Standards

Accessory Structures Addendum
June 19, 2021

Accessory Structures:

Minimum Setback Distance from Property Line

Structure Height	Front Yard*	Street Side Yard (corner lot)	Side Yard (interior)	Rear Yard
≤ 8 ft.	Not allowed	10 ft.	3 ft.	3 ft.
>8 ft. to 15 ft.	Not allowed	10 ft.	5 ft.	5 ft.

*Landscape features are allowed in the front yard as shown in definition below.

1. Setback Measurement - Minimum setback distance between property line and accessory structure shall be measured from the wall or post(s) of the supporting structural member of the structure. Overhangs are allowed consistent with the current City adopted Building Code.
2. Separation Between Structures - All accessory structures shall maintain the minimum separation between other buildings as required under current City adopted Building Code.
3. Building Permit Required when Applicable – A building permit shall be obtained for all accessory structures as required by the City adopted Building Code, if applicable.
4. Attached Patio Covers – attached patio covers, sunrooms and similar structures not first approved with the original dwelling unit building permit, shall meet all setbacks of the dwelling unit, unless exceptions are approved by the River Islands Architectural Review Board with appeal to STDRC.

Definitions:

Accessory Structure - An attached or detached structure that is either entirely enclosed by walls and a solid roof or is partially enclosed with a solid or limited roof covering. Examples include, but are not limited to, detached garages, greenhouses, pool houses,

sunrooms, workshops, storage sheds, barns, as well as, free standing patio covers, carports, gazebos and stables. Accessory structures also include play equipment, windmills, water towers, and other similar structures.

Landscape Feature - A detached decorative structure with a maximum height of eight (8) feet typically used in conjunction with plant materials for aesthetic enhancement, including, but not limited to, garden trellis covers with non-solid roof construction, arched trellises, vertical lattice structures, statues, fountains, and similar features may be allowed in the front yard setback, subject to building/electrical/mechanical permits of the City of Lathrop and subject to review and approval of the River Islands Architectural Review Board (RIARB). Any decision of the RIARB may be appealed to the Stewart Tract Design Review Committee (STDRC).

Architectural Features:

1. Architectural features including sills, chimneys, fireplaces, cornices and eaves may extend into a required side yard, rear yard or a space between structures not more than two (2) feet and may extend into a required front yard not more than five (5) feet; provided, that where an architectural feature extends more than two (2) feet into a required side yard, the extension shall be protected by a minimum one-hour fire resistant standard.
2. Open, unenclosed, uncovered metal fire escapes and depressed ramps or stairways may project into any required yard or space between buildings not more than four (4) feet, subject to review and approval of the RIARB and may be appealed to the STDRC.
3. Planter boxes attached to a dwelling may be extended into a required front yard by not more than three (3) feet.
4. Walks, driveways and retaining walls may occupy any required yard, subject to City regulations regarding public utility easements, right of way encroachments and possible building permit regulations. Any extension or modification of approved walks, driveways and retaining walls approved with the original construction of the dwelling unit shall be subject to the review and approval of the RIARB and may be appealed to the STDRC.
5. Swimming pools, in-ground spas and hot tubs are subject to the regulations contained in the City's currently adopted Building Code.

Builder Identification Signs

Builders are to choose from 3 style options as shown on following pages.

River Islands Builder Site Signs

Option 1

Scale: .5" = 1'

AMERICAN TRADITIONAL

Black Steel Fence,

Digital Print on Aluminum



River Islands Builder Site Signs
Option 2
Scale: .5" = 1'

CRAFTSMAN COTTAGE
Wood Frame with Pickets,
Digital Print or
Blasted Sign Foam



River Islands Builder Site Signs

Option 3a

Scale: .5" = 1'

CALIFORNIA RANCH

Wood Frame with Pickets,

Digital Print or

Blasted Sign Foam





Plant List - O' DELL ENGINEERING

RIVER ISLANDS STAGE 2B - PLANT SELECTION GUIDE

Streetcape Between Wall and Walk	Streetcape Parkway Strips	Streetcape Medians	Streetcape Bio-Swale	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Rear-Yard Lake Frontage	Levees, Trails and Restoration Areas	Botanical Name	Common Name	Use Height	Use Width	Water Use	Attributes
									Trees					
									Acer buergerianum	Trident Maple	20'-25'	20'-25'	M	
									Acer x freemanii 'Autumn Blaze'	Maple, 'Autumn Blaze'	40'-50'	40'	M	
									Acer macrophyllum	Big Leaf Maple	30'-75'	30'-50'	H	
									Acer negundo var. californica	California Box Elder	30'-50'		M	
									Acer rubrum 'Armstrong', 'October Glory', 'Redpointe'	Armstrong Red Maple	40'-50'	15'	H	
									Aesculus californica	Buckeye	20'-30'	20'-30'	VL	
									Aesculus carnea	Red Horsechestnut	40'	30'	M	
									Alnus rhombifolia	White Alder				
									Arbutus unedo	Strawberry Tree	8'-25'	8'-25'	L	
									Arbutus 'Marina'	Marina' Strawberry Tree	20'-30'	20'-30'	L	
									Arbutus marina - 'Multi-trunked'	Strawberry Tree	15'-30'	15'-20'	L	Dark green oblong foliage with rosy pink fall flowers
									Betula jacquemontii (Betula utilis jacquemontii)	White Barked Himalyan Birch	40'-60'	25'-30'	H	
									Carpinus betulus 'Fastigiata'	European Hornbeam	40'	30'	M	
									Catalpa speciosa	Western Catalpa	40'-60'	20'-40'	M	
									Cercidium x 'Desert Museum'	Desert Museum Palo Verde	20'	20'	?	
									Cercis canadensis 'Oklahoma'	Eastern Redbud	25'-35'	25'-35'	M	
									Cercis occidentalis	Western Redbud	10'-20'	10'-20'	VL	
									Cercis occidentalis - 'Multi-trunked'	Western Red Bud	12'-18'	10'-18'	L	Blue-green foliage with magenta flowers
									Cercocarpus betuloides	Island Mountain Mahogany	5'-20'	5'-20'	VL	
									Chilopsis linearis 'Monhews'	Timeless Beauty Desert Willow	15'-20'	15'-20'	VL	Fragrant showy purple flowers
									Chionanthus retusus	Chinese Fringe Tree	20'	15'	M	
									X Chitalpa tashkentensis	Chitalpa	30'	30'	L	White to pale or dark pink flowers
									Crataegus phaenopyrum	Washington Hawthorn	25'	20'	M	
									Cupressus sempervirens	Italian Cypress	40'-70'	10'-20'	M	
									Cupressus arizonica	Arizona Cypress	40'	20'	VL	
									Ginkgo biloba 'Autumn Gold' (Male only)	Ginkgo, 'Autumn Gold'	35'-40'	25'-35'	M	Use male only varieties
									Gleditsia tricanthos inermis	Thornless Honey Locust	25'-50'	25'-50'	L	
									Koelreuteria paniculata	Goldenrain Tree	20'-35'	25'-40'	M	
									Lagerstroemia indica 'Dynamite'	Crape Myrtle	15'-25'	15'-20'	L	Red Flowers
									Lagerstroemia x fauriei 'Natchez'	Crape Myrtle	20'-30'	15'-20'	L	
									Lagerstroemia x fauriei 'Natchez' - 'Multi-Trunked'	Natchez Crape Myrtle	15'-20'	12' Wide	L	White flowers
									Lagerstroemia x fauriei 'Muskogee'	Crape Myrtle	20'-30'	15'-20'	L	
									Magnolia soulangiana 'D.D. Blanchard'	Tulip Magnolia	50'	25'-35'	M	

RIVER ISLANDS PHASE 2B - PLANT SELECTION GUIDE

Streetscape Between Wall and Walk	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bio-Swale	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Rear-Yard Lake Frontage	Leaves, Trails and Restoration Areas					
									Malus	Flowering Crabapple, 'Snowdrift', 'Golden Raindrops'	15'-20'	15'-20'	M
									Olea europaea 'Swan Hill'	Swan Hill Olive	25'-30'	25'-30'	VL
									Parkinsonia aculeata	Mexican Palo Verde	15'-20'	10'-20'	VL
									Pinus pinea	Stone Pine			L
									Pinus radiata	Monterey Pine	80'-100'	25'-35'	M
									Pistacia chinensis 'Pearl Street', 'Red Push' or 'Keith Davey'	Chinese Pistache Varieties	30'-60'	50'	L
									Platanus acerifolia 'Bloodgood'	London Plane	40'-50'	25'-30'	M
									Platanus X acerifolia 'Columbia'				M
									Platanus racemosa	California Sycamore	50'-90'	30'-50'	M
									Populus alba 'Pyramidalis'	Seedless Bolleana Poplar	50'	15'	M
									Populus fremontii	Fremont Cottonwood	40'-60'	30'-40'	M
									Populus nigra 'Italica'	Lombardy Poplar	100'	15'-30'	M
									Prosopis glandulosa 'Maverick'	Texas Mesquite	25'-30'	25'-30'	L
									Prunus caroliniana 'Bright 'N Tight' (Compacta)	Bright 'N' Tight Cherry Laurel	8'-10'	6'-8'	L
									Quercus agrifolia	Coast Live Oak	20'-70'	40'-80'	VL
									Quercus coccinea	Scarlet Oak	60'-80'	40'-60'	M
									Quercus douglasii	Blue Oak	30'-50'	40'-70'	VL
									Quercus ilex	Holly Oak	40'-60'	40'-60'	L
									Quercus lobata	Valley Oak	50'-75'	50'-80'	L
									Quercus muehlenbergii	Quinkpin Oak			?
									Quercus robur	English Oak	50'-60'	30'	M
									Quercus suber	Cork Oak	30'-60'	30'-60'	L
									Quercus virginiana	Southern Live Oak	40'-80'	60'-90'	M
									Quercus wislizenii	Interior Live Oak	30'-70'	30'-70'	VL
									Robinia 'Purple Robe'				L
									Salix goodingii	Gooding's Black Willow	10'-25'		H
									Salix laevigata	Red Willow	15'-30'		H
									Salix lucida var. lasiandra	Pacific Willow			H
									Schinus molle	California Pepper tree	25'-40'	25'-40'	L
									Sophora japonica 'Regent'	Pagoda Tree	40'	40'-60'	L
									Syringa reticulata	Japanese Tree Lilac	30'	20'	M
									Tilia cordata 'Greenspire'	Littleleaf Linden	30'-50'	15'-30'	M
									Ulmus parvifolia 'Drake'	Chinese Elm	50'-70'	30'-50'	M
									Ulmus wilsoniana 'Frontier'		20'		M
									Ulmus wilsoniana 'Patriot'		30'		L
									Ulmus wilsoniana 'Emerald Sunshine'				L

RIVER ISLANDS PHASE 2B - PLANT SELECTION GUIDE

Streetscape-Between Wall and Walk	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bio-Swale	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Rear-Yard Lake Frontage	Levees, Trails and Restoration Areas						
									Ulmus wilsoniana 'Prospector'					L
									Umbellularia californica	California Laurel	20'-35'	20'-35'		M
									Vitex agnus-castus	Chaste Tree	15'-20'	15'-20'		L
									Zelkova serrata 'Green Vase'	Zelkova, Green Vase	50'	50'		M
Shrubs (Large Background)														
									Abelia grandiflora	Glossy Abelia	8'	5'		M
									Agave filifera					L
									Alyogene heugelii	Blue Hibiscus	6'-10'	6'-8'		L Light blue flowers
									Anisodonteia x hypomandarum	Cape Mallow	4'	4'		M Purple/pink flowers
									Arbutus u. 'Oktoberfest'	Strawberry Tree	6'-8'	6'-8'		L Dark green foliage
									Arctostaphylos densiflora 'Howard McMinn'	Howard McMinn	5'-6'	7'		L
									Berberis thunbergii	Japanese Barberry	4'-6'			L
									Buddleja davidii	Butterfly Bush	6'-10'	6'-10'		M
									Carpenteria californica	Bush Anemone	3'-6'			L
									Cephalanthus occidentalis	Button Willow	3'-15'	3'-15'		M
									Cistus hybridus (Cistus corbariensis)	White Rockrose	2'-5'	2'-4'		L
									Cistus ladanifer (Cistus ladaniferus maculatus)	Crimson-Spot Rockrose	3'-5'	3'-5'		L
									Cistus x purpureus	Orchid Roserock	4'	4'		M Dark pink flowers
									Coprosma repens	Mirror Plant	10'	6'		M
									Cornus stolonifera (sericea) 'Bailey'	Red-Twigged Dogwood	6'-8'	6'-8'		H
									Cotinus coggygria (Rhus cotinus) 'Purpureus'	Smoke Bush	15'	15'		L
									Dodonaea viscosa 'Purpurea'	Purple Hopseed Bush	10'	8'-10'		L Red/burgundy foliage
									Elaeagnus pungens	Silverberry	6'-15'			L
									Eriogonum fasciculatum	California Buckwheat	1'-3'	4'		L
									Fremontodendron californicum	California Flannelbush				VL
									Grevillea x 'Noelii'	Noell Grevillea	5'	6'		L Glossy lime green needle-like foliage with pink and white
									Heteromeles arbutifolia	Toyon	6'-10'			VL
									Laurus nobilis	Bay Laurel	12'-40'			L
									Lavatera maritima	Tree Mallow	6'	6'		L Gray-Green foliage with light pink/purple flowers
									Lavatera thuringiaca 'Mrs Barnsley'	Mallow				L
									Leucophyllum frutescens 'Compactum'	Texas Ranger	4'-5'	4'-5'		L
									Lupinus arboreus	Yellow Bush Lupine	5'-8'	5'-8'		L
									Mahonia aquifolium	Oregon Grape	6'			M
									Myrtus communis	True Myrtle	5'-6'	4'-5'		L
									Nandina domestica	Heavenly Bamboo	3'-8'	2'-4'		L
									Nerium oleander 'Little Red'	Dwarf Red Oleander	4'	4'		L Red flowers
									Nerium oleander 'Petite Pink'	Dwarf Pink Oleander	4'	4'		L Pink flowers

RIVER ISLANDS PHASE 2B - PLANT SELECTION GUIDE

Streetscape Between Wall and Walk	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bio-Swale	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Rear-Yard Lake Frontage	Leaves, Trails and Restoration Areas						
									Ulmus wilsoniana 'Prospector'					L
									Umbellularia californica	California Laurel	20'-35'	20'-35'		M
									Vitex agnus-castus	Chaste Tree	15'-20'	15'-20'		L
									Zelkova serrata 'Green Vase'	Zelkova, Green Vase	50'	50'		M
Shrubs (Large Background)														
									Abelia grandiflora	Glossy Abelia	8'	5'		M
									Agave filifera					L
									Alyogene heugelii	Blue Hibiscus	6'-10'	6'-8'		L Light blue flowers
									Anisodonteia x hypomandarum	Cape Mallow	4'	4'		M Purple/pink flowers
									Arbutus u. 'Oktoberfest'	Strawberry Tree	6'-8'	6'-8'		L Dark green foliage
									Arctostaphylos densiflora 'Howard McMinn'	Howard McMinn	5'-6'	7'		L
									Berberis thunbergii	Japanese Barberry	4'-6'			L
									Buddleja davidii	Butterfly Bush	6'-10'	6'-10'		M
									Carpenteria californica	Bush Anemone	3'-6'			L
									Cephalanthus occidentalis	Button Willow	3'-15'	3'-15'		M
									Cistus hybridus (Cistus corbariensis)	White Rockrose	2'-5'	2'-4'		L
									Cistus ladanifer (Cistus ladaniferus maculatus)	Crimson-Spot Rockrose	3'-5'	3'-5'		L
									Cistus x purpureus	Orchid Roserock	4'	4'		M Dark pink flowers
									Coprosma repens	Mirror Plant	10'	6'		M
									Cornus stolonifera (sericea) 'Bailey'	Red-Twigged Dogwood	6'-8'	6'-8'		H
									Cotinus coggygia (Rhus cotinus) 'Purpureus'	Smoke Bush	15'	15'		L
									Dodonaea viscosa 'Purpurea'	Purple Hopseed Bush	10'	8'-10'		L Red/burgundy foliage
									Elaeagnus pungens	Silverberry	6'-15'			L
									Eriogonum fasciculatum	California Buckwheat	1'-3'	4'		L
									Fremontodendron californicum	California Flannelbush				VL
									Grevillea x 'Noelii'	Noell Grevillea	5'	6'		L Glossy lime green needle-like foliage with pink and white
									Heteromeles arbutifolia	Toyon	6'-10'			VL
									Laurus nobilis	Bay Laurel	12'-40'			L
									Lavatera maritima	Tree Mallow	6'	6'		L Gray-Green foliage with light pink/purple flowers
									Lavatera thuringiaca 'Mrs Barnsley'	Mallow				L
									Leucophyllum frutescens 'Compactum'	Texas Ranger	4'-5'	4'-5'		L
									Lupinus arboreus	Yellow Bush Lupine	5'-8'	5'-8'		L
									Mahonia aquifolium	Oregon Grape	6'			M
									Myrtus communis	True Myrtle	5'-6'	4'-5'		L
									Nandina domestica	Heavenly Bamboo	3'-8'	2'-4'		L
									Nerium oleander 'Little Red'	Dwarf Red Oleander	4'	4'		L Red flowers
									Nerium oleander 'Petite Pink'	Dwarf Pink Oleander	4'	4'		L Pink flowers

RIVER ISLANDS PHASE 2B - PLANT SELECTION GUIDE

Streetscape Between Wall and Walk	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bio-Swale	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Rear-Yard Lake Frontage	Leaves, Trails and Restoration Areas						
									Spiraea bumalda	Spiraea	2'-3'	3'-4'	M	
									Spiraea x bumalda 'Goldflame'	Goldflame Spirea	3'-4'	4'	M	Yellow-green foliage with pink/red flowers
									Viburnum davidii	David Viburnum	3'	3'	M	Large glossy green deep veined foliage, tight clusters of p
									Zauschneria californica	California Fuschia	3'	3'-4'	L	Gray leaves w/ red flowers
Shrubs (Accents)														
									Achillea millefolium californica	Yarrow	1'-3'	1'-3'	L	
									Achillea millefolium rosea 'Island Pink'	Pink Yarrow	1'-3'		L	
									Achillea tomentosa	Woolly Yarrow	6"		L	
									Agapanthus africanus	lily-of-the-Nile	1.5'-2'	1.5'-2'	M	Blue/white flower
									Aloe species		varies		L	
									Amsonia tabernaemontana	Blue Star Flower	2'-3'		?	
									Aquilegia eximia	Serpentine Columbine	2'	1-3'	?	
									Artemisia 'Powis Castle'	Powis Castle Sagebrush	3'	6'	L	
									Asclepias fascicularis	Narrow-leaved Milkweed	1'-3'	1'	?	
									Ceratostigma plumbaginoides	Plumbago	0.75'-1'	1'-1.5'	M	Deep blue flower
									Carex divulsa	Berkeley Sedge			L	Deep green clumping evergreen gras
									Dietes bicolor	Fortnight Lily, Bicolor Iris			L	
									Dietes vegeta	Fortnight Lily	3'-4'	2'-3'	M	White flower
									Erigeron karvinskianus	Santa Barbara Daisy	1'-2'	3'-5'	L	White with some pink flowers
									Eschscholzia californica	California Poppy	1'	1.5'	VL	
									Festuca idahoensis 'siskiyou blue'	Blue Bunch Grass	14"	10"	L	
									Festuca mairei	Atlas Fescue	2'-3'	2-3'	L	Evergreen clumping yellowish gray-green foliage
									Festuca ovina 'Glauca'	Elijah's Blue, Blue Festuca	4"-10"	6"	M	
									Festuca rubra	Red Fescue	3"-12"	6"	M	
									Helleborus x hybridus	Lenten Rose			M	
									Hemorcallis x 'Stella de Oro'	Stella De Oro Dwarf Daylily	2'	2'	M	Heavy clusters of large yellow flowers
									Hemorcallis fulva	Orange Daylily	2'-2.5'	2'-2.5'	M	Tawny orange
									Hesperaloe parviflora	Coral Yucca	2'	2'	/	
									Heuchera 'Lillian's Pink'	Lillian's Pink Coral Bells			/	
									Heuchera 'Rosada'	Rosada Coral Bells			?	
									Heuchera sanguinea	Coral Bells			M	
									Iris 'Canyon Snow'	Canyon Snow Pacific Iris			?	
									Juncus patens	CA Gray Rush	2'	2'	H	
									Kniphofia uvaria	Red Hot Poker			M	
									Lavandula angustifolia	English Lavender	8"-2'	8"-2'	L	
									Lavandula a. 'Buena Vista'	English Lavender	2'	2'	L	Gray-green foliage with deep violet blue flowers
									Lavandula 'Goodwin Creek Grey'	Goodwin Creek Lavender			L	

RIVER ISLANDS PHASE 2B - PLANT SELECTION GUIDE

Street	Wall and Walk	Strip	Median	Bio-Swale	Open Space	Street Tree	Strip	Yard	Levee	Restoration	Plant Name	Height	Spread	Life Span	Notes
											Lavandula stoechas 'Otto Quast'	18"-3'	2'	L	
											Otto Quast Spanish Lavender	18"-3'	2'	L	
											Leymus condensatus 'Canyon Prince'	2'-4'	2'	VL	
											Canyon Prince Wild Rye	2'-4'	2'	VL	
											Liriope muscari			M	
											Lily Turf			M	
											Lomandra l. 'Breeze'	2'-3'	2'-4'	L	
											Dwarf Mat Rush	2'-3'	2'-4'	L	
											Lupinus albilfrons	3'-5'	2'-3'	L	
											Bush Lupine	3'-5'	2'-3'	L	
											Miscanthus sinensis 'Morning Light'	5'-6'	3'-4'	M	
											Muhlenbergia dubia	2'-3'	2'-3'	L	
											Mexican Deergrass	2'-3'	2'-3'	L	
											Pennisetum setaceum 'Cupreum'	3'-4'	3'-4'	L	
											Red Fountain Grass	3'-4'	3'-4'	L	
											Penstemon heterophyllus 'Margarita'	1'-3'	1'-2'	L	Lavender flowers
											Penstemon species			M-L	
											Penstemon spectabilis	3'		M-L	
											Showy Penstemon	3'		M-L	
											Perovskia a. 'Little Spire'	2'	2'	L	Vertical spikey gray-green foliage with lavender-blue flow
											Russian Sage	2'	2'	L	Vertical spikey gray-green foliage with lavender-blue flow
											Phormium tenax 'Apricot Queen'	3'	4'	L	Yellow wit green margined bladed foliage
											New Zealand Flax	3'	4'	L	Yellow wit green margined bladed foliage
											Phormium tenax 'Dusky Chief'	5'-6'	4'-5'	L	Reddish brown bladed foliage
											New Zealand Flax	5'-6'	4'-5'	L	Reddish brown bladed foliage
											Phormium tenax 'shirazz'			L	
											New Zealand Flax			L	
											Phormium tenax 'Tom Thumb'	1'-2'	1'-2'	L	
											New Zealand Flax	1'-2'	1'-2'	L	
											Salvia			L-M	
											Salvia 'Bee's Bliss'	1'-2'	8"	M	
											Bee's Bliss Salvia	1'-2'	8"	M	
											Salvia m. 'Hot Lips'	3'	3'	L	Red/white flowers
											Hot Lips Sage	3'	3'	L	Red/white flowers
											Salvia 'Mrs. Beard'	2'	3 - 6'	L	
											Mrs. Beard Salvia	2'	3 - 6'	L	
											Salvia sonomensis			L	
											Creeping Sage			L	
											Salvia spathacea			L	
											Hummingbird Sage			L	
											Solidago californica	1-3'	18"-3'	L	
											California Goldenrod	1-3'	18"-3'	L	
											Symphotrichum chilense	1-3'		L	
											California aster	1-3'		L	
											Tulbaghia violacea	18"	18"	L	Purple flowers
											Society Garlic	18"	18"	L	Purple flowers
											Tulbaghia v. 'Silver lace'	18"	18"	L	Silver/white blades w/purple flowers
											Variogated Society Garlic	18"	18"	L	Silver/white blades w/purple flowers
											Veronica austriaca 'Crater Lake Blue'	18"	12"	M	Gentian blue
											Crater Lake Blue Speedwell	18"	12"	M	Gentian blue
											Zauschneria californica 'Catalina'	1-3'	1-3'	L	
											Island California Fuschia	1-3'	1-3'	L	
											Zauschneria cana	2-3'	18"-3'	L	
											California Fuschia	2-3'	18"-3'	L	
Shrubs (Groundcovers)															
											Acacia r. 'Desert Carpet'	1'-2'	10'-12'	L	Leathery gray green foliage with puffy yellow ball shapec
											Desert Carpet Acacia	1'-2'	10'-12'	L	Leathery gray green foliage with puffy yellow ball shapec
											Ajuga species	1'	3'	M	
											Carpet Bugles	1'	3'	M	
											Arctostaphylos 'Pacific Mist'	2 1/2'	4'	L	
											California Sagebrush	18"-5'		L	
											Artemisia californica 'Montara'			L	
											Powis Castle Artemesia	3'	5'	M	gray green foliage
											Artemesia 'Powis Castle'	3'	5'	M	gray green foliage
											Baccharis pilularis			L	
											Coyote Bush			L	

RIVER ISLANDS PHASE 2B - PLANT SELECTION GUIDE

Streetscape Between Wall and Walk	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bio-Swale	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Rear-Yard Lake Frontage	Levees, Trails, and Restoration Areas						
									Baccharis pilularis 'Pigeon Point'	Dwarf Coyote Brush	6'	6'	L	
									Ceanothus griseus horizontalis 'Yankee Point'	Shrub Ceanothus	2'-3'	8'	L	Blue flowers
									Ceanothus maritimus 'Valley Violet'	Valley Violet Maritime Lilac			L	
									Ceanothus thyrsiflorus 'Skylark'	Blueblossom	3'-6'	5'	L	
									Ceanothus 'Concha'				L	
									Ceanothus 'Dark Star'	Dark Star California Lilac	5'-6'	8'-10'	L	
									Ceanothus 'Joyce Coulter'	Wild California Lilac	3'-5'	8'-10'	L	
									Ceanothus 'Ray Hartman'	Ray Hartman California	12'-20'	15'-20'	L	
									Cistus salvifolius	Sageleaf Rockrose	2'	6'	L	
									Coprosma kirkii	Kirk's Coprosma	2-3'		L	
									Cotoneaster dammeri 'Eichholz'	Bearberry Cotoneaster	8"	6'-8'	L	White flowers, red berries
									Cotoneaster lacteus (Cotoneaster parneyi)		8"	10'	L	
									Cotoneaster microphyllus	Rockspray Cotoneaster	2-3'	6'	L	
									Erigeron 'Wayne Roderick'	Wayne Roderick Seaside Daisy	8"	1 1/2'	M	
									Erigeron karvinskianus	Santa Barbara Daisy	10"-20"	3'	L	
									Eschscholzia californica	California Poppy	1'	1.5'	VL	
									Hypericum calycinum	Aaron's Beard	1'		M	
									Hypericum moseranum	Gold Flower	1'		M	
									Lessingia filaginifolia var. californica 'Silver Carpet'	Silver Carpet California- Aster			M	
									Lobularia maritima	Sweet Alyssum	2"-12"	8"-12"	M	
									Lupinus microcarpus	Chick Lupine	2 1/2'		M	
									Myoporum parvifolium	Myoporum	6"	9'	L	
									Oenothera hookeri	Evening Primrose	1'-3'	1'-3'	L	
									Phacelia californica	Phacelia	18"		M	
									Potentilla verna	Spring Cinquefoil	2'-3'	3'-4'	M	
									Ribes viburnifolium	Evergreen Currant	3'-6'	12'	L	
									Rosa 'Noame!'	Apple Blossom Flower Carpet Rose	2'	3'	M	White/pink flowers
									Rosa 'Noare'	Red Flower Carpet Rose	2'	3'	M	Red flowers
									Rosa 'Noaschnee'	White Flower Carpet Rose	2'	3'	M	White flowers
									Rosa 'Noatraum'	Pink Flower Carpet	2'	3'	M	Pink flowers
									Rosmarinus o. 'Irene'	Rosemary	1'-1 1/2'	2'-3"	L	Blue flowers
									Rosmarinus o. Prostratus	Dwarf Rosemary	2'	4'	L	Blue flowers
									Sedum	Stone Crop	2"-5"	1'	L	
									Sisyrinchium bellum	Blue-eyed Grass	4"-12"	6"-24"	L	
									Trachelospermum asiaticum	Asian Jasmine	2'	10'	M	
									Trachelospermum jasminoides	Star Jasmine	2'	10'	M	

RIVER ISLANDS PHASE 2B - PLANT SELECTION GUIDE

Streetscape Between Wall and Walk	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bio-Swale	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Rear-Yard Lake Frontage	Levees, Trails and Restoration Areas					
									ETY Mix (Carex Divulsa, Eschscholzia californica, Festuca Idahoensis, Layia platyglossa, Salvia l. "Bee's Bliss", Sysrynchium idahoensis)	Entry Mix	1'-2'	1-2'	L
									Native Mow Free Mix (Festuca idahoensis, Festuca rubra, Festuca occidentalis)	No Mow Fescue	12"-18"		M
Vines													
									Aristolochia californica	California Pipevine			L
									Campsis radicans (Bignonia radicans)	Common Trumpet Creeper			L
									Clematis armandii 'Snow Drift'	Evergreen clematis	15-20'		M
									Clytostoma callistegioides	Violet Trumpet Vine			M
									Distictis buccinatoria	Trumpet Vine	20'-30'		M
									Ficus pumila	Creeping Fig	10'		M
									Gelsemium sempervirens	Carolina Jessamine	20'		L
									Hardenberdia violacea 'Happy Wanderer'	Hardenbergia Vine	10'		M
									Jasminum polyanthum	Pink Jasmine	20'		M
									Lonicera hispidula	Honeysuckle	3-10'		L
									Macfadyena unguis-cati	Cats Claw	20-40'		L
									Vitis californica	California Wild Grape	12-30'		VL
									Wisteria sinensis 'Alba' or 'Cooke's Special'				M

RIVER ISLANDS STAGE 2B - PLANT SELECTION GUIDE

Streetscape Between Wall and Walk	Streetscape Parkway Strips	Streetscape Medians	Streetscape Bio-Swale	Parks & Open Spaces	In-Tract Street Trees	In-Tract Parkway Strips	In-Tract Rear-Yard Lake Frontage	Levees, Trails and Restoration Areas				
									Native Mow Free Mix (Festuca idahoensis, Festuca rubra, Festuca occidentalis)	No Mow Fescue	12"-18"	M
Vines												
									Aristolochia californica	California Pipevine		L
									Campsis radicans (Bignonia radicans)	Common Trumpet Creeper		L
									Clematis armandii 'Snow Drift'	Evergreen clematis	15-20'	M
									Clytostoma callistegioides	Violet Trumpet Vine		M
									Distictis buccinatoria	Trumpet Vine	20'-30'	M
									Ficus pumila	Creeping Fig	10'	M
									Gelsemium sempervirens	Carolina Jessamine	20'	L
									Hardenberdia violacea 'Happy Wanderer'	Hardenbergia Vine	10'	M
									Jasminum polyanthum	Pink Jasmine	20'	M
									Lonicera hispidula	Honeysuckle	3-10'	L
									Macfadyena unguis-cati	Cats Claw	20-40'	L
									Vitis californica	California Wild Grape	12-30'	VL
									Wisteria sinensis 'Alba' or 'Cooke's Special'			M