



PLANNING COMMISSION
STAFF REPORT

DATE: December 18, 2024

APPLICATION NO: River Islands – Woodlands West Neighborhood Development Plan No. NDP-24-157

LOCATION: Woodlands West District (Phase 2 of River Islands at Lathrop)

REQUEST: Planning Commission to Consider Adoption of a Resolution Approving the Woodlands West Neighborhood Development Plan for River Islands at Lathrop (Phase 2)

APPLICANT: River Islands Stage 2B, LLC
73 W. Stewart Road
Lathrop, CA 95330

PROPERTY OWNER: River Islands Development Area 4, LLC
73 W. Stewart Road
Lathrop, CA 95330

CEQA STATUS: The Proposed Project Falls Within the Scope of the Previously Certified Subsequent Environmental Impact Report (SEIR) (SCH No. 1993112027) for the River Islands at Lathrop Phase 2 Project; therefore, no further environmental review is required in accordance with the California Environmental Quality Act.

SUMMARY:

The applicant is requesting approval of the Neighborhood Development Plan (NDP) for the Woodlands West District of River Islands Phase 2. In compliance with the West Lathrop Specific Plan (WLSP) for Phase 2, River Islands Development, LLC (“RID”) has prepared the NDP for Planning Commission review and approval.

Staff recommends the Planning Commission adopt Resolution No. 24-20 approving the Neighborhood Development Plan for the Woodlands West District of River Islands at Lathrop (Phase 2).

SITE DESCRIPTION

The Woodlands West District is located within Phase 2 of the River Islands development, specifically within the boundaries of Vesting Tentative Map (VTM) 6716. The District consists of ten (10) villages and six (6) different lot sizes to potentially accommodate approximately 1,107 single-family residential homes. The District also includes fifteen (15) pocket parks, two (2) neighborhood parks, one (1) community park, and open space. The location and boundary of the Woodlands West District is illustrated in Attachment 2.

BACKGROUND

In 2021, the River Islands project received approval for various major entitlements for Phase 2. The approval included a Subsequent Environmental Impact Report, Phase 2 WLSP, Phase 2 Urban Design Concept, and the Phase 2 Vesting Tentative Map Tract 6716, which provides for the development of 10,726 residential units (single and multifamily), commercial development, mixed use development, transit-oriented development, and associated public amenities including parks, schools, roadways, open space, and public rights-of-way, and the Phase 2 Preliminary Development Plan.

The West Lathrop Specific Plan for Phase 2 requires the preparation of a Neighborhood Development Plan for areas of new development within River Islands. The NDP provides requirements for the use, development, improvement and maintenance of master developer-constructed portions of the River Islands project.

The NDP for the Woodlands West District was presented to the Stewart Tract Design Review Committee (STDRC) on November 18, 2024, and the STDRC voted unanimously to recommend the NDP for Planning Commission approval.

ANALYSIS

The proposed Woodlands West NDP addresses the requirements for implementation of projects in River Islands as required by the WLSP Phase 2, UDC, and Lathrop Municipal Code Section 17.61.120: *Neighborhood Development Plan*. The NDP provides requirements for the use, development, improvement and maintenance of master developer-constructed portions of the River Islands project.

The NDP is limited to public improvements that will be designed and constructed by RID and its public partners: Reclamation District 2062 (“RD 2062”), Lathrop Irrigation District, and the River Islands Public Financing Authority (“RIPFA”) and subsequently maintained by either the City, RD 2062 or RIPFA. The Woodlands West NDP is also meant to provide general guidance to the STDRC in considering more specific proposals for public improvements in certain cases. Specific proposals and resulting construction drawings will need to be consistent with the design themes, concepts, guidelines and standards set forth in the NDP.

The NDP describes specific project features that will be reflected in project design, but the exact materials, location and appearance of each project will be further defined in construction drawings to be reviewed and recommended by the STDRC and approved by the City. As an example, there are Gateway features proposed with the NDP to announce certain neighborhoods in the Project Area. The NDP describes the purpose, intent and general appearance and location of these Gateways, but the specific designs, materials, location and construction will be defined as improvement plans are prepared and considered by the design professionals of the STDRC and submitted to the City for approval with construction drawings.

In order for the applicant to move forward and begin construction of utilities, roads, and infrastructure for this District, the applicant's improvement plans must be approved by the City Engineer. However, the NDP needs to be approved first before the City Engineer can approve the improvement plans and the final map. Additionally, River Islands will be submitting the Design Guidelines and Development Standards (DG/DS) for the Woodlands West District at a future date to establish all of the architectural design guidelines and development standards that will be used.

The NDP serves as resource documents for the STDRC, Planning Commission, City Council (as applicable) and City staff in their review of subsequent projects. The Planning Commission is the final authority for approval of the NDP. Approval of the NDP does not require a formal public hearing.

CEQA REVIEW

Environmental review for the River Islands project as a whole was addressed in the certified Subsequent Environmental Impact Report (SEIR) for the River Islands at Lathrop Phase 2 Project (State Clearinghouse No. 1993112027). The SEIR considered the full range of potential environmental effects of urban development of the entire River Islands Project, including the planned urban development of the Project Site.

The proposed project will not produce any new significant environmental impacts, and no new mitigation measures are required. The SEIR specified the mitigation measures needed to reduce potentially significant environmental effects of the River Islands project to a less than significant level. The proposed project is required to conform to these mitigation measures.

RECOMMENDATION:

Staff recommends that the Planning Commission adopt Resolution 24-20 approving the Woodlands West Neighborhood Development Plan for River Islands at Lathrop (Phase 2).

Approvals:


James Michaels, Senior Planner

12/3/2024
Date


Rick Caguiat, Community Development Director

12/3/24
Date


Salvador Navarrete, City Attorney

12-3-2024
Date

Attachments:

1. PC Resolution No. 24-20 for Woodlands West NDP
2. Vicinity Map
3. STDRC NDP Recommendation Letter dated November 19, 2024
4. Woodlands West NDP

**CITY OF LATHROP
PLANNING COMMISSION RESOLUTION NO. 24-20**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LATHROP
TO APPROVE THE WOODLANDS WEST DISTRICT NEIGHBORHOOD
DEVELOPMENT PLAN (NDP-24-157)**

WHEREAS, the City of Lathrop Planning Commission held a duly noticed public meeting to consider the proposed project pursuant to the Lathrop Municipal Code; and

WHEREAS, the request is to approve the Neighborhood Development Plan (NDP) for the Woodlands West District of River Islands at Lathrop (Phase 2); and

WHEREAS, the City of Lathrop has adopted the West Lathrop Specific Plan (WLSP) for Phase 2, which governs land use and development for the Woodlands West District; and

WHEREAS, the River Islands Urban Design Concept (UDC) for Phase 2 has been prepared and approved by the City Council in accordance with the requirements of the WLSP Phase 2; and

WHEREAS, the Phase 2 WLSP requires that a Neighborhood Development Plan be prepared, reviewed by the Stewart Tract Design Review Committee (STDRC), and approved by the Planning Commission for each Planning District within the River Islands project; and

WHEREAS, on November 18, 2024, the STDRC voted unanimously to recommend the NDP for Planning Commission approval; and

WHEREAS, the environmental review for the River Islands project as a whole was addressed in the certified Subsequent Environmental Impact Report (SEIR) for the River Islands at Lathrop Phase 2 Project (State Clearinghouse No. 1993112027). The SEIR considered the full range of potential environmental effects of urban development of the entire River Islands Project, including the planned urban development of the Project Site. The proposed project will not produce any new significant environmental impacts, and no new mitigation measures are required. The SEIR specified the mitigation measures needed to reduce potentially significant environmental effects of the entire River Islands project to a less than significant level. The proposed project is required to conform to these mitigation measures; and

WHEREAS, proper notice of this public meeting was given in all respects as required by law; and

WHEREAS, the Planning Commission has reviewed all written evidence and oral testimony presented to date.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Lathrop pursuant to Chapter 17.61.140 of the City of Lathrop Municipal Code does hereby make the following findings:

- a) *“The neighborhood development plan meets the purpose and intent of this chapter.”* The proposed project meets the purpose and intent of Lathrop Municipal Code Chapter 17.61.140 and the River Islands Urban Design Concept for Phase 2.
- b) *“The neighborhood development plan is consistent with the Lathrop General Plan.”* The proposed project is consistent with the Lathrop General Plan.
- c) *“The neighborhood development plan is consistent with the West Lathrop Specific Plan.”* The proposed project is consistent with the West Lathrop Specific Plan for Phase 2 of River Islands.
- d) *“The neighborhood development plan is consistent with the urban design concept, urban, architectural and landscape guidelines for the applicable Planning District.”* The proposed project is consistent with the Phase 2 Urban Design Concept and the applicant will submit a subsequent architectural and landscape guidelines for the Woodlands West District at a future date.
- e) *The neighborhood development plan is consistent with the preliminary development plan.”* The proposed project is consistent with the approved Vesting Tentative Map 6716, Preliminary Development Plan, and the Woodlands West Findings of Substantial Conformance Approval Letter dated September 25, 2024.

BE IT FURTHER RESOLVED that the Planning Commission of the City of Lathrop based on substantial evidence in the administrative record of proceedings and pursuant to its independent review and consideration, does hereby approve the Neighborhood Development Plan for the Woodlands West District of River Islands at Lathrop (Phase 2).

PASSED AND ADOPTED by the Planning Commission of the City of Lathrop at a Regular Meeting on the 18th day of December 2024, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Ash Ralmilay, Chair

ATTEST:

APPROVED AS TO FORM:

Rick Caguiat, Secretary



Salvador Navarrete, City Attorney

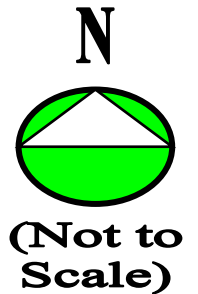
Project Site



**PLANNING DIVISION
Vicinity Map**



**NDP-24-157
Neighborhood Design Plan
Woodlands West District
River Islands Phase 2**





November 19, 2024

Mr. Rick Caguiat
City of Lathrop
390 Towne Centre Drive
Lathrop, CA 95330
Email: rcaguiat@ci.lathrop.ca.us

Subject: Recommendation for Approval the River Islands Woodlands West NDP

Dear Rick:

At its meeting of November 18, 2024, the Stewart Tract Design Review Committee voted unanimously to recommend approval of the River Islands Woodlands West Neighborhood Development Plan (NDP) to the Lathrop Planning Commission.

The Committee added corrections/additions to pages 9, 11 and 68 to the amendments/corrections already recommended by City staff. This included adding a page reference on page 9 for the Introduction section, clarifying the UDC acronym on page 11 and adding language on page 68 to clarify the maintenance and operation of docks along lakes (maintenance agreements between River Islands Public Financing Authority and adjacent homeowners).

Attached is a hard copy of the revised document and we will transmit an electronic (PDF) copy to you as well. Please let us know if you require additional hard copies for the Planning Commission.

If you have any questions regarding this letter, please feel free to contact me at (209) 879-7900 or at sdelloso@riverislands.com.

Sincerely,

A handwritten signature in black ink, appearing to read "Susan Dell'Osso", written over a large, stylized flourish that loops back to the left.

Susan Dell'Osso, President
River Islands Development Area 4, LLC

cc: Brad Taylor, City Engineer
Ed Short, City of Lathrop Chief Building Official
James Michaels, Senior Planner
Trent Dedalt, City of Lathrop Associate Planner



RIVER ISLANDS
WOODLANDS WEST
NEIGHBORHOOD
DEVELOPMENT PLAN
Lathrop, California



RIVER ISLANDS Phase 2 Woodlands West Neighborhood Development Plan DRAFT

12/18/2024

**Prepared for:
River Islands at Lathrop
73 W. Stewart Road
Lathrop, California 95330
(209) 879 - 7900**

**Prepared by:
O'Dell Engineering
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Modesto, CA 95350
(209) 571-1765**



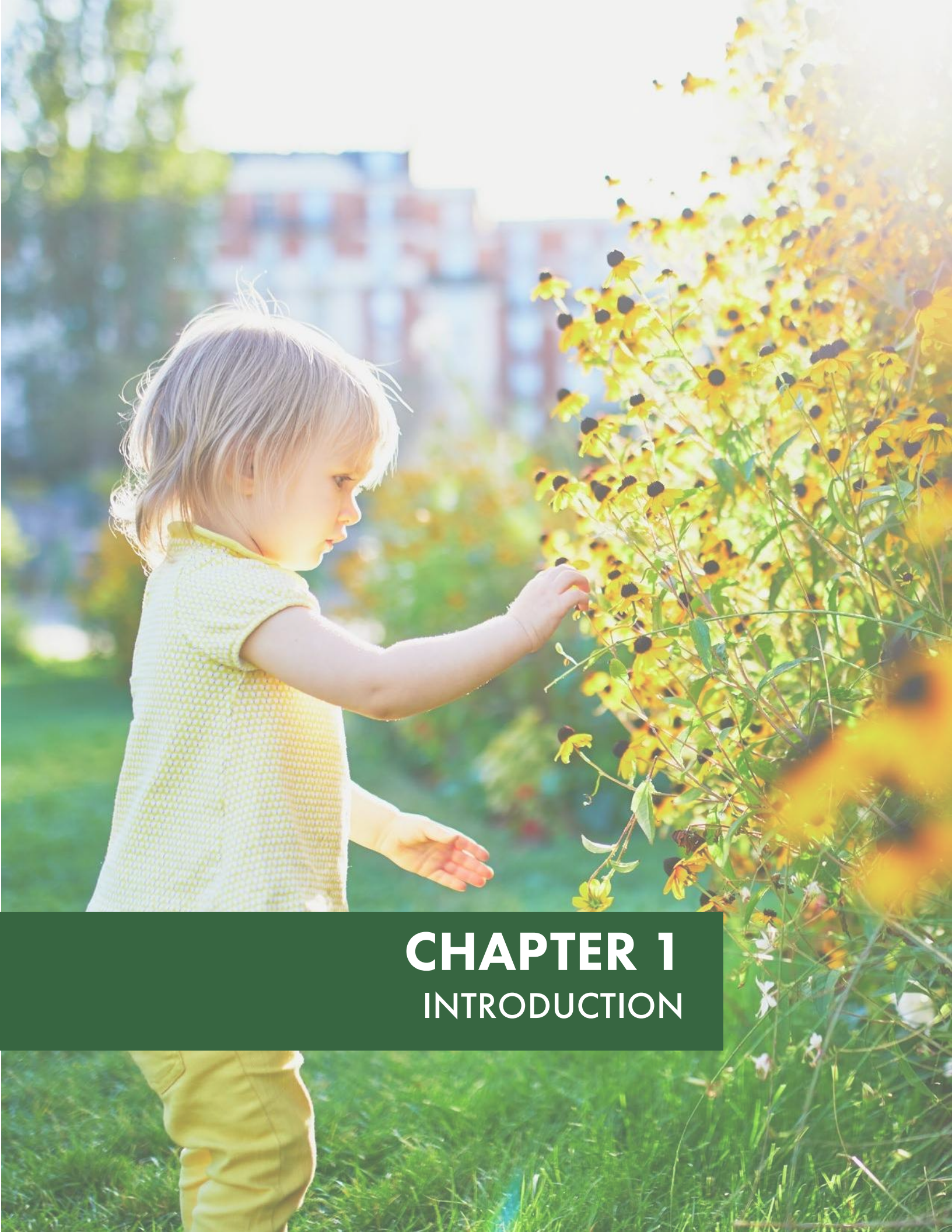
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CHAPTER 1
INTRODUCTION



INTRODUCTION

Bounded by the Woodlands East Neighborhood and the Old River, the Woodlands West Neighborhood occupies a land of 330 acres at the western end of the River Islands Phase 2 development. The neighborhood consists 10 villages, 15 pocket parks, 2 neighborhood parks, and a community park. This Neighborhood Development Plan (NDP) recreates a network of parks, open spaces, and trails to provide a variety of recreational amenities and opportunities for the community to experience and interact with the surrounding river system. The arrangement of parks and trails ensures that recreational amenities are easily accessible to all community members. Pedestrian and bicycle connections are laid out to provide safe non-vehicular circulation between the residences and park sites.

1.1 PURPOSE OF DOCUMENT

The purpose of this document is to establish a cohesive neighborhood vision for Woodlands West that seamlessly integrates the distinct essence of the San Joaquin Valley and its rich agricultural and river heritage. The aim of developing Woodlands West is to offer residents a serene and self-sufficient lifestyle, while also encouraging connections with and appreciation for the San Joaquin River. We plan to create opportunities for community building and a strong sense of belonging through recreational activities, convenient access to green spaces, and the incorporation of historical elements into the overall design.





The neighborhood plan plays a pivotal role in shaping the design and overall character of the Woodlands West Neighborhood development. The neighborhood is divided into distinct design components, including the Neighborhood Concept, Circulation, Streetscapes and Entries; Parks and Open Space; Landscape and Planting; Fencing and Walls; and Site Furnishings.

Woodlands West adheres to the City of Lathrop's requirements outlined in the River Islands at Lathrop Master Planned Community, as mandated by the West Lathrop Specific Plans (WLSP) and specified in the Lathrop Municipal Code, Section 17.61.120. It offers specific guidance for the utilization, development, execution, and upkeep of developer-built sections of the River Islands project. The term "neighborhood(s)" refers to designated areas delineated on "FIGURE 2.1 LAND USE MAP" (PAGE 19).

This document pertains to improvements designated for "public or other public agencies," which will be designed and constructed by the River Islands Public Financing Authority (RIPFA) and RD2062. Individual builders must adhere to the approved Architectural Guidelines outlined in Appendix 2. These guidelines and standards are referenced as necessary, and requirements applicable to both developers and builders are identified within this NDP and the approved Architectural Guidelines.

1.2 CONSISTENCY

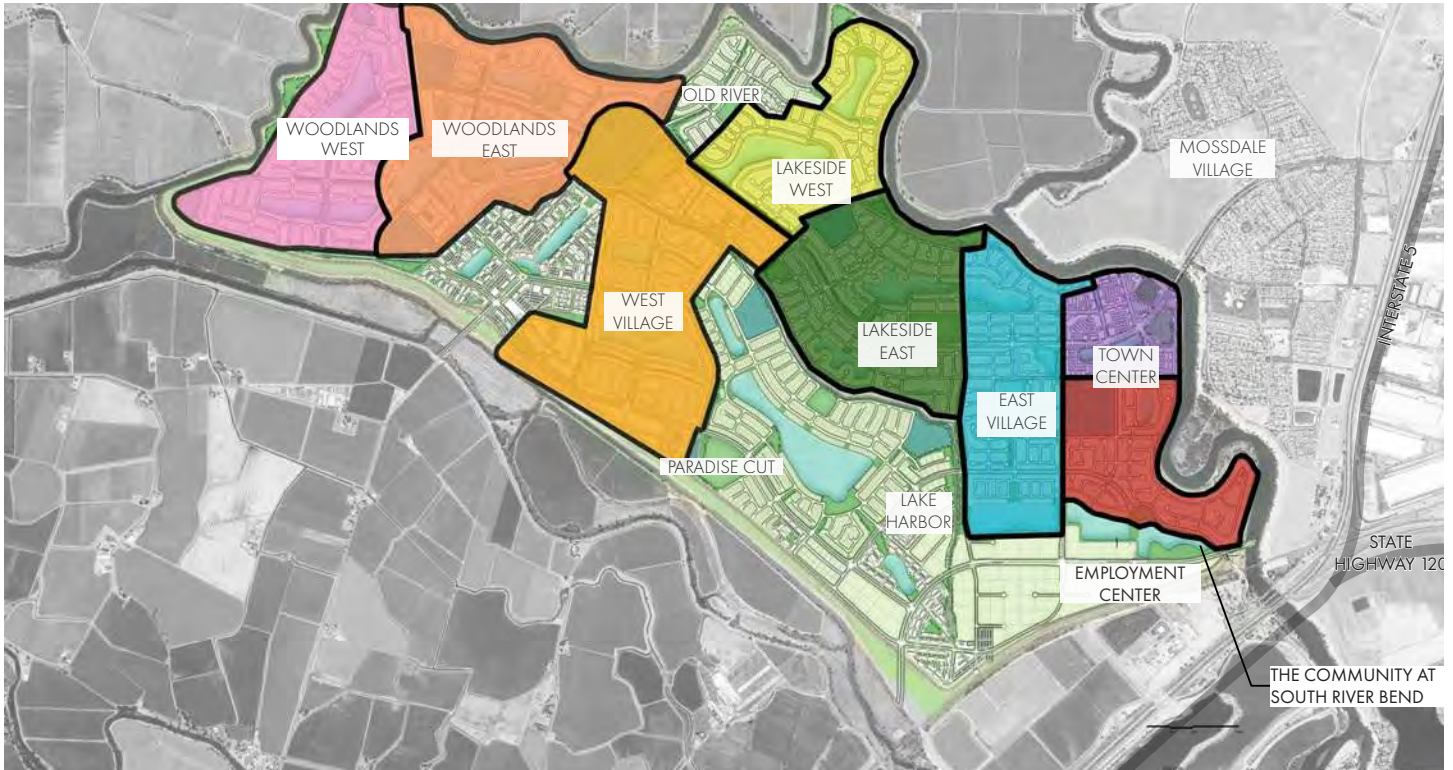
This NDP is intended to be consistent with the themes and concepts of the River Islands Development as previously defined and shall conform with the City of Lathrop's General Plan, Subdivision Code and Zoning Code. Images may differ, however, concepts shall be consistent with themes and intent. For purposes of this document, the term NDP shall mean Neighborhood Development Plan and/or Neighborhood Design Plan, which can be used interchangeably and share the same meaning under the adopted WLSP and Urban Design Concept (UDC).





1.3 MASTER PLAN EVOLUTION

Over time, historical factors, changes in land use, and evolving plans have shaped the landscape. By carefully considering land planning, conducting studies, and envisioning the future, the River Islands Master Plan has adapted to effectively accommodate the shifting needs of land use and circulation. The Woodlands West concept remains engaged with both the constructed environment and the natural features of the distinctive California Delta landscape, maintaining its interaction and alignment with the area's context and character.



1.4 CHARACTER & CONTEXT

River Islands strives to honor the historical ambiance of the Delta Valley by acknowledging the riparian landscape and agricultural heritage of the San Joaquin Valley. This vision seamlessly integrates contemporary homes with the traditional land uses of the Central Valley's farmlands and the surrounding waterways that breathe life into the environment. The Woodlands West Neighborhood endeavors to establish its distinctive identity while connecting each element through recognizable paseos, trails, open spaces, and parks that capture the essence of the region's agricultural heritage and spacious atmosphere.



1.5 VISION OF THE NDP/GUIDING PRINCIPLES

The vision for River Islands Woodlands West is to establish a formal urban neighborhood amidst the natural backdrop of the delta's riparian and agricultural corridor. River Islands aims to honor the valley's historical ties to its communities through this development. The Woodlands West Neighborhood will prioritize the creation of well-defined pedestrian pathways that connect various spaces and encourage pedestrian interaction.

The landscape design will harmonize the site's predominant influences, including fertile agricultural lands and meandering San Joaquin waterways and habitats. This community will evolve through a network of paseos and pedestrian trails, particularly around the lake systems, forming a mosaic of distinct neighborhoods, each reflecting the unique character of the Central Valley.

Guiding principles include:

- A community connected to the land and to unique employment, recreation, and cultural opportunities of the Central Valley.
- A lush and fertile landscape that blends rich waterways and wetlands into a structured environment with agrarian character of surrounding agricultural land.
- A community that continues to focus on principles of water management, native environments, and productive agricultural land.
- A thriving neighborhood community tied to the river and its waterways through walking opportunities and bike trails connecting quality parks and open spaces.
- A unique and self-supporting community embedded within an agricultural valley.



1.6 WOODLANDS WEST NEIGHBORHOOD DEVELOPMENT PLAN OVERVIEW

Chapter 1: Introduction (Page 9)

This chapter introduces the purpose of the Woodlands West NDP, and reviews the process of preparation of the Neighborhood Development Plan.

Chapter 2: Neighborhood Concept (Page 17)

This chapter provides proposed land use, concepts of neighborhood elements, and entry designs for the Woodlands West Neighborhood.

Chapter 3: Circulation (Page 27)

This chapter provides circulation concepts of vehicular paths of travel and pedestrian trails within the framework of residential neighborhoods and open spaces.

Chapter 4: Streetscapes (Page 33)

This chapter provides concepts of streetscapes including; street character, street trees, street sections, and key street connections to neighborhood gateways and entries.

Chapter 5: Parks and Open Space (Page 45)

This chapter includes an overview of the proposed parks and open space, and preliminary park design concepts within the Woodlands West Neighborhood.

Chapter 6: Landscape and Planting (Page 67)

This chapter provides proposed planting palette and irrigation concepts.

Chapter 7: Fencing and Walls (Page 77)

This chapter includes hierarchy of fencing and walls to delineate spaces and uses within the Woodlands West Neighborhood.

Chapter 8: Site Furnishings (Page 85)

This chapter provides the design and appearance of the Woodlands West Neighborhood, including site furniture, colors and paving, street lights, and street furniture.

Appendices (Page 91)



Chapter 2

NEIGHBORHOOD CONCEPT

NEIGHBORHOOD CONCEPT

2.1 LAND USE

According to the adopted West Lathrop Specific Plan, the River Islands Phase II Woodlands West neighborhood is designated as Low Density Residential development with an RL-R1 zoning classification. Per the Specific Plan, uses are as follows:

Permitted Uses:

- Single-Family Residential Uses
- Multi-Family residential Uses
- Public Parks and Open Space
- Private Recreation
- Home Business (subject to City approval)

Conditional Uses:

- Childcare Facilities
- Religious Facilities and Schools

Density / Lot Coverage:

- Low Density (3-9 DU/AC); 50% max.

Maximum Building Height: 35 feet

Setbacks, lot depth and width, per UDC. (See Architectural Guidelines for lot standards.)
















The River Islands Phase II Woodlands West neighborhood will be developed with 10 villages, 1,107 homes, related street improvements, a community park, neighborhood parks, trails and open spaces. The acreage and units per acre of each village are as follow:

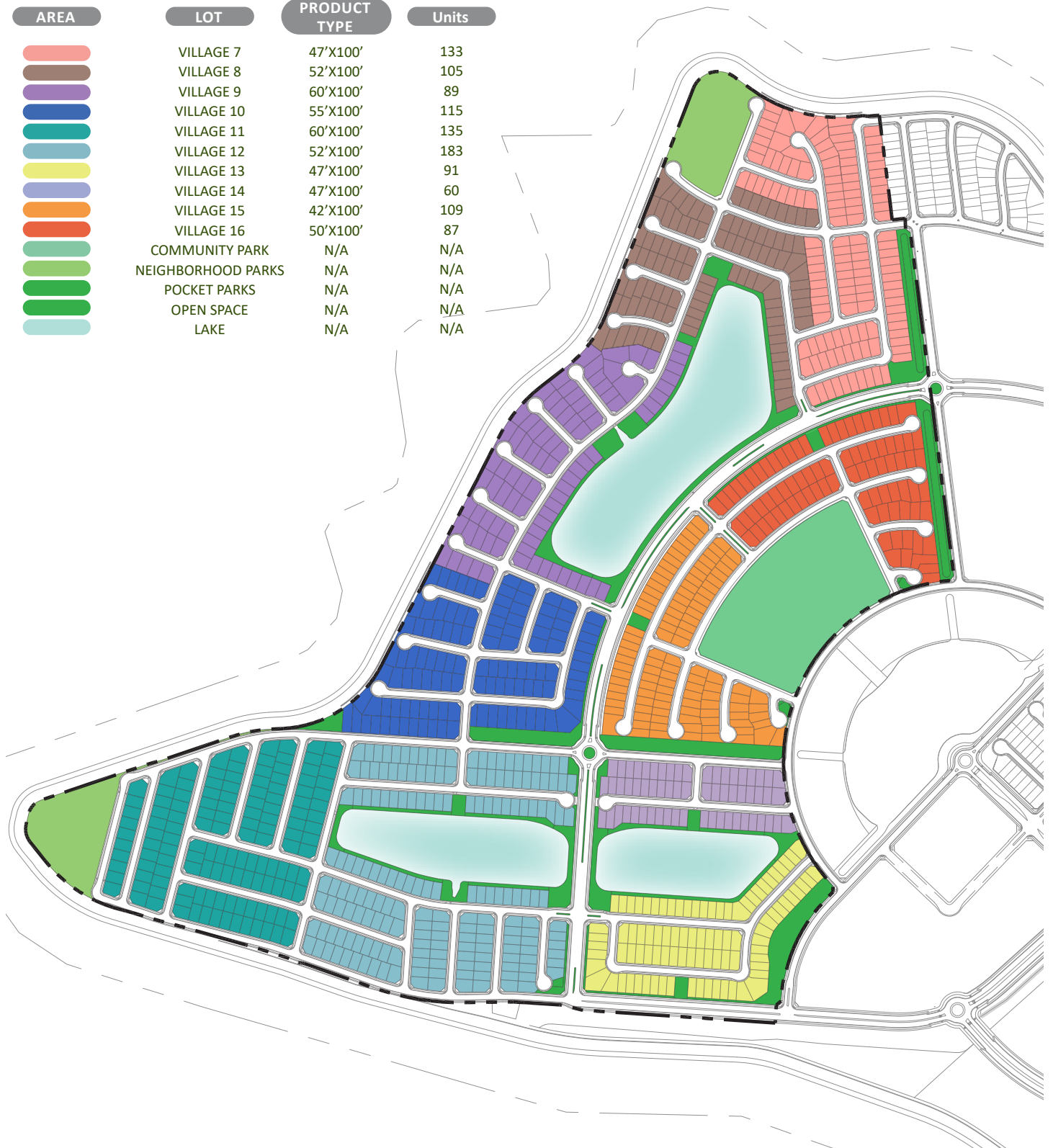
Village	Acreage	Units per Acre
Village 7	24.1	5.5
Village 8	20.7	5.1
Village 9	21.2	4.2
Village 10	24.3	4.7
Village 11	32.8	4.1
Village 12	38.0	4.8
Village 13	16.2	5.6
Village 14	12.7	4.7
Village 15	18.9	5.8
Village 16	20.0	4.4



FIGURE 2.1 LAND USE MAP

Lotting Summary

AREA	LOT	PRODUCT TYPE	Units
	VILLAGE 7	47'X100'	133
	VILLAGE 8	52'X100'	105
	VILLAGE 9	60'X100'	89
	VILLAGE 10	55'X100'	115
	VILLAGE 11	60'X100'	135
	VILLAGE 12	52'X100'	183
	VILLAGE 13	47'X100'	91
	VILLAGE 14	47'X100'	60
	VILLAGE 15	42'X100'	109
	VILLAGE 16	50'X100'	87
	COMMUNITY PARK	N/A	N/A
	NEIGHBORHOOD PARKS	N/A	N/A
	POCKET PARKS	N/A	N/A
	OPEN SPACE	N/A	N/A
	LAKE	N/A	N/A





2.2 NEIGHBORHOOD ELEMENTS




Similar to the Woodlands East District, the Woodlands West District allows residents to enjoy a relaxed yet active lifestyle, where the region’s history, the proximity to the San Joaquin River, and the natural environment have been woven into the design of both this neighborhood and River Islands. The Woodlands West Neighborhood maintains a cohesive sense of identity by integrating River Islands’ consistent themes of colors, plantings, site furnishings, and signage with its own distinct character. Urban elements are employed to establish community spaces on a pedestrian scale, promoting inclusivity through dedicated programming. The incorporation of parks, trails, and recreational facilities contributes to the neighborhood’s unique atmosphere.








Woodlands West prioritizes pedestrian access throughout the community, aiming to rekindle residents’ connection with nature. A network of trails and pathways fosters walkability and encourages engagement with the natural and rural surroundings. Recreational amenities such as fitness centers, sports courts, community gardens, and walking and biking trails are easily accessible, catering to both passive and active recreation. Residential lots are designed appropriately for the community, and new neighborhoods are interconnected through a robust network of roads, entries, open spaces, lakes, and parks.

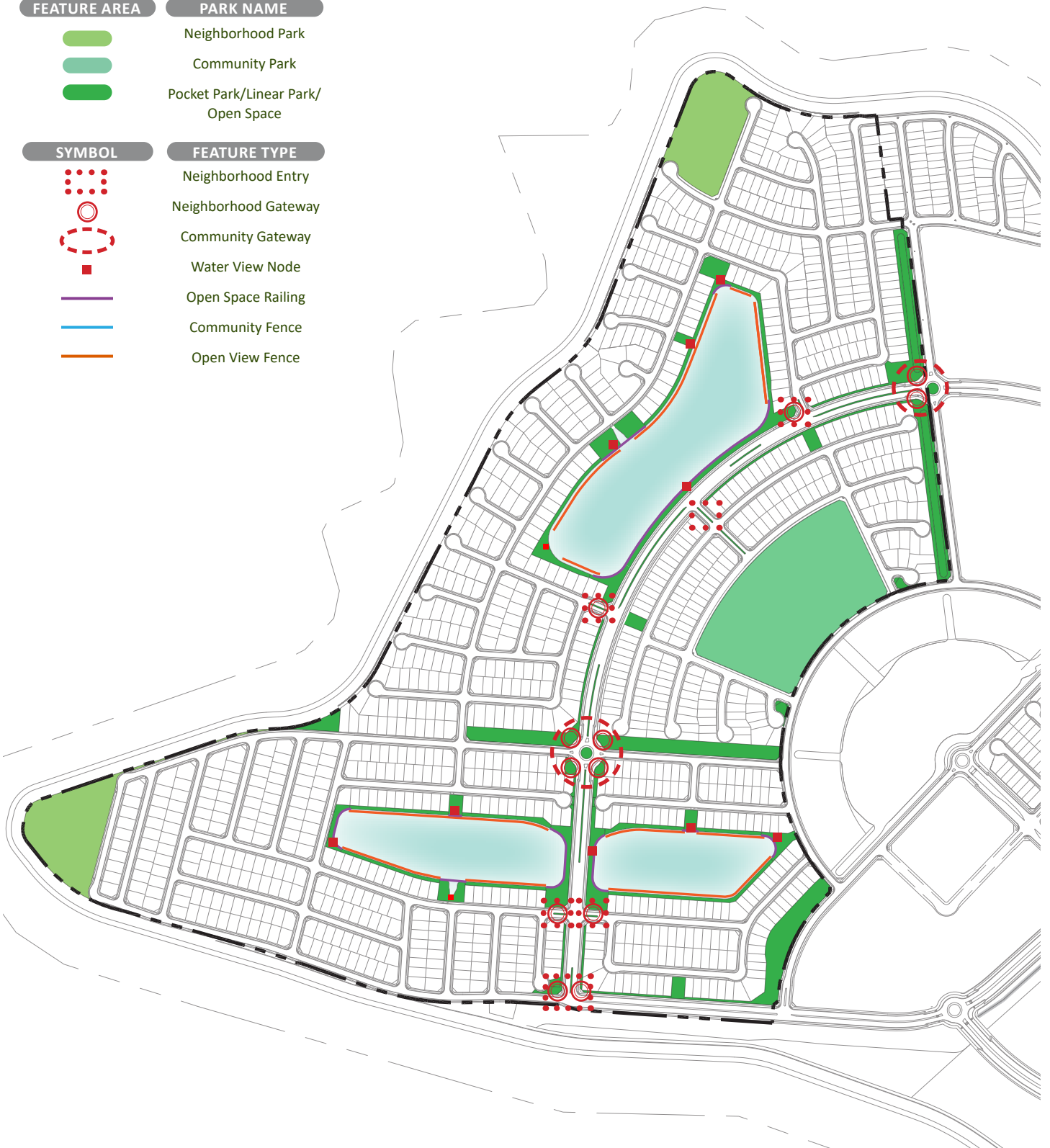


FIGURE 2.2 NEIGHBORHOOD ELEMENTS MAP

Neighborhood Elements Legend

FEATURE AREA	PARK NAME
	Neighborhood Park
	Community Park
	Pocket Park/Linear Park/ Open Space

SYMBOL	FEATURE TYPE
	Neighborhood Entry
	Neighborhood Gateway
	Community Gateway
	Water View Node
	Open Space Railing
	Community Fence
	Open View Fence



2.3 OPEN SPACE AND LAND USE

Functioning as a recreation-centric community, Woodlands West consists of an interconnected system of trails, pathways, and streets intersecting with parks, open spaces, lakefront areas, and residential lots. The abundant and varied spaces are strategically located for easy access, encouraging residents to actively engage with the natural surroundings and recreational facilities. Through a combination of outdoor spaces, urban elements, and distinctive features, opportunities are provided for residents to discover and connect with the region’s rural heritage. The following section outlines the various types of outdoor spaces envisioned within the community:

Open spaces help define places and provide meeting locations, recreational opportunities and visually stimulating points of interest. Open spaces can be defined as large neighborhood parks, pocket parks, lake frontage, streetscapes and trails. Each open space creates an environment specific to its location and context.

In tract streetscapes are designed as landscape areas between curbs and sidewalks and create consistent themes for streets within each community.

Off-site streetscapes are areas outside the subdivision along major streets and include parkway strips, areas between the sidewalk and masonry walls or fences and neighborhood gateways. These spaces create a consistent theme throughout the Woodlands West Neighborhood and encourage passive recreation and pedestrian interaction.

Open spaces adjacent to lakes should also encourage light recreation and provide small scale open pedestrian interaction. These spaces should provide opportunities for relaxation and contemplation within a visually stimulating environment.

Neighborhood parks, linear parks, and pocket parks should create places for more structured recreational interaction. Parks should encourage large scale pedestrian use and create opportunities for exercise, relaxation, and physical recharge from day-to-day obligations.

A signature feature of the Woodlands West District is the abundant accessibility and connectivity of pedestrian trails within the neighborhood beyond typical street sidewalks. Many trails weave throughout the neighborhood, allowing many opportunities for recreation and interactions with the natural environment within a short distance from home.



FIGURE 2.3 OPEN SPACE LAND USE MAP

Open Space / Streetscapes Legend



Phase 2 Parks Master Plan

The parks, open spaces, trails, and pathways within Woodlands West are integral components of a broader network of recreational areas within the River Islands development.

The Park Designation Map, presented in Figure 2.4 on the following page, offers a comprehensive overview of all parks and open spaces planned for construction during Phase 2 of River Islands. These include Neighborhood Parks, Pocket Parks, Community Parks, Linear Parks, Lakes, Trails, and Water-Related Open Spaces. All Neighborhood and community park facilities are proposed to fulfill the developer's Quimby Act park acreage requirement. Details regarding the acreage and locations of these required facilities are summarized in the chart on the subsequent page.

According to the City of Lathrop's conditions of approval and the Phase 2 vesting tentative map for River Islands, park facilities adjacent to water bodies (such as rivers or lakes) must be owned by a non-City public agency, with a provision for reversion to the City if the agency fails to maintain them. Island Reclamation District 2062 (RD 2062) is authorized to own such "wet parks" under the State's Water Code.

The maintenance of parks and open spaces is or will be carried out by the River Islands Public Financing Authority (RIPFA) and RD 2062.

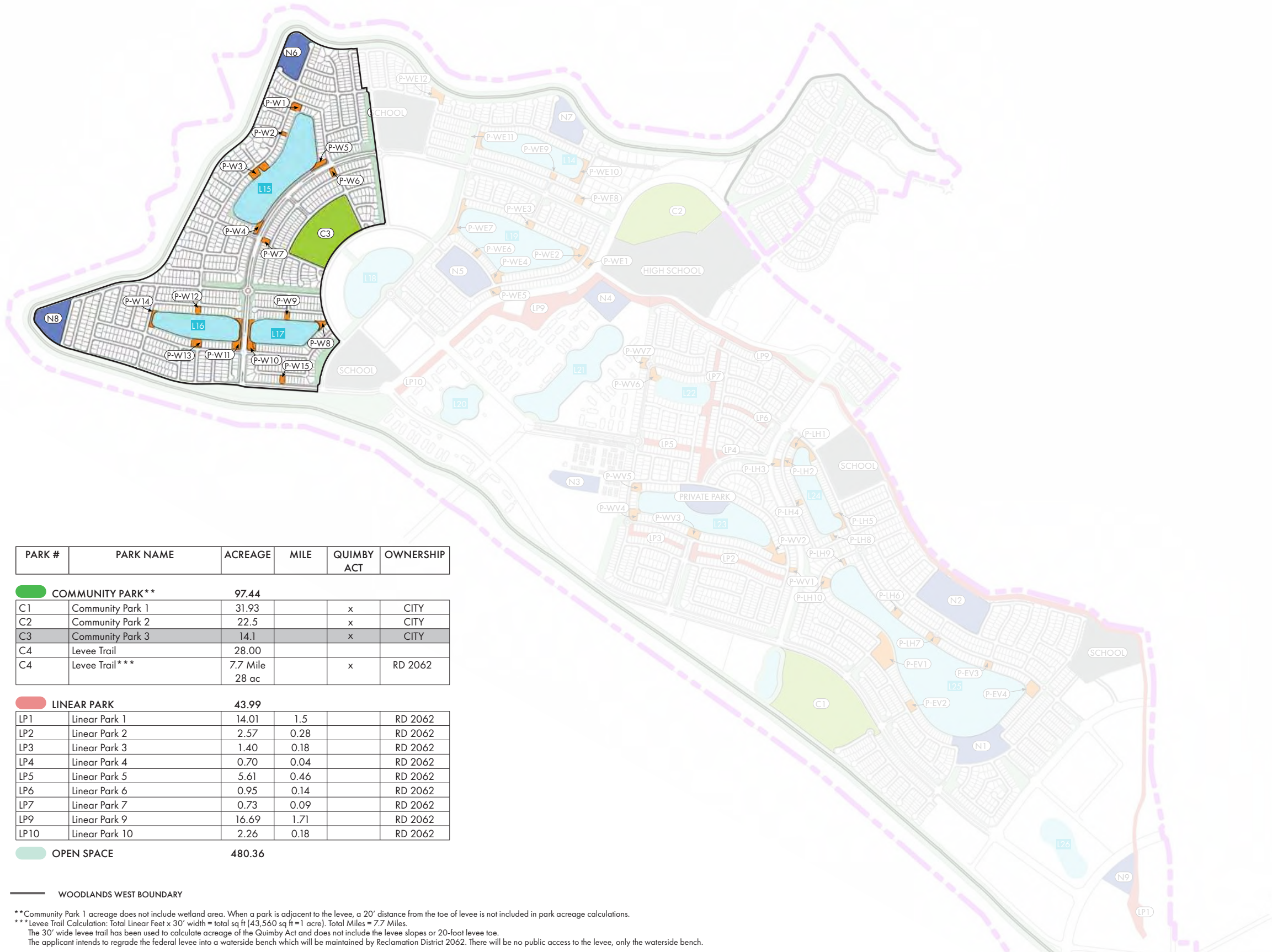
The parks and open spaces in Woodlands West are designed to offer a blend of passive and active recreational opportunities to meet the needs of both residents and visitors. Emphasis is placed on ensuring accessibility and safety for the community's benefit and the long-term success of the parks. Common amenities include open lawn areas, shaded benches/tables, community gardens, and fitness equipment. These spaces also offer educational, cultural, and historical programs and facilities for community engagement, providing additional benefits beyond physical health.



FIGURE 2.4 PHASE 2 PARK DESIGNATION MAP

PARK #	PARK NAME	ACREAGE	QUIMBY ACT	OWNERSHIP
NEIGHBORHOOD PARK		68.05		
N1	Neighborhood Park 1	7.18	x	RD 2062
N2	Neighborhood Park 2	12.47	x	CITY
N3	Neighborhood Park 3	4.0	x	CITY
N4	Neighborhood Park 4	5.4	x	CITY
N5	Neighborhood Park 5	7.8	x	CITY
N6	Neighborhood Park 6	5.2	x	CITY
N7	Neighborhood Park 7	5.4	x	RD 2062
N8	Neighborhood Park 8	6.5	x	CITY
N9	Neighborhood Park 9	4.0	x	CITY
	School Sites	10	x	SCHOOL

POCKET PARK		22.46		
P-EV1	Pocket Park - East Village - 1	2.72		
P-EV2	Pocket Park - East Village - 2	0.47		
P-EV3	Pocket Park - East Village - 3	0.31		
P-EV4	Pocket Park - East Village - 4	0.81		
P-LH1	Pocket Park - Lake Harbor - 1	0.94		
P-LH2	Pocket Park - Lake Harbor - 2	0.34		
P-LH3	Pocket Park - Lake Harbor - 3	0.29		
P-LH4	Pocket Park - Lake Harbor - 4	0.19		
P-LH5	Pocket Park - Lake Harbor - 5	0.42		
P-LH6	Pocket Park - Lake Harbor - 6	0.37		
P-LH7	Pocket Park - Lake Harbor - 7	0.49		
P-LH8	Pocket Park - Lake Harbor - 8	0.12		
P-LH9	Pocket Park - Lake Harbor - 9	0.13		
P-LH10	Pocket Park - Lake Harbor - 10	0.51		
P-W1	Pocket Park - Woodland - 1	0.28		
P-W2	Pocket Park - Woodland - 2	0.12		
P-W3	Pocket Park - Woodland - 3	0.87		
P-W4	Pocket Park - Woodland - 4	0.30		
P-W5	Pocket Park - Woodland - 5	0.36		
P-W6	Pocket Park - Woodland - 6	0.22		
P-W7	Pocket Park - Woodland - 7	0.22		
P-W8	Pocket Park - Woodland - 8	0.32		
P-W9	Pocket Park - Woodland - 9	0.20		
P-W10	Pocket Park - Woodland - 10	0.68		
P-W11	Pocket Park - Woodland - 11	0.73		
P-W12	Pocket Park - Woodland - 12	0.22		
P-W13	Pocket Park - Woodland - 13	0.42		
P-W14	Pocket Park - Woodland - 14	0.27		
P-W15	Pocket Park - Woodland - 15	0.22		
P-WE1	Pocket Park - Woodland East - 1	0.36		
P-WE2	Pocket Park - Woodland East - 2	0.89		
P-WE3	Pocket Park - Woodland East - 3	0.33		
P-WE4	Pocket Park - Woodland East - 4	0.52		
P-WE5	Pocket Park - Woodland East - 5	0.4		
P-WE6	Pocket Park - Woodland East - 6	0.3		
P-WE7	Pocket Park - Woodland East - 7	0.73		
P-WE8	Pocket Park - Woodland East - 8	0.38		
P-WE9	Pocket Park - Woodland East - 9	0.22		
P-WE10	Pocket Park - Woodland East - 10	0.68		
P-WE11	Pocket Park - Woodland East - 11	0.5		
P-WE12	Pocket Park - Woodland East - 12	0.66		
P-WV1	Pocket Park - West Village - 1	0.19		
P-WV2	Pocket Park - West Village - 2	1.12		
P-WV3	Pocket Park - West Village - 3	0.57		
P-WV4	Pocket Park - West Village - 4	0.54		
P-WV5	Pocket Park - West Village - 5	0.46		
P-WV6	Pocket Park - West Village - 6	0.65		
P-WV7	Pocket Park - West Village - 7	0.33		



PARK #	PARK NAME	ACREAGE	MILE	QUIMBY ACT	OWNERSHIP
COMMUNITY PARK**		97.44			
C1	Community Park 1	31.93		x	CITY
C2	Community Park 2	22.5		x	CITY
C3	Community Park 3	14.1		x	CITY
C4	Levee Trail	28.00			
C4	Levee Trail***	7.7 Mile 28 ac		x	RD 2062

LINEAR PARK		43.99			
LP1	Linear Park 1	14.01	1.5		RD 2062
LP2	Linear Park 2	2.57	0.28		RD 2062
LP3	Linear Park 3	1.40	0.18		RD 2062
LP4	Linear Park 4	0.70	0.04		RD 2062
LP5	Linear Park 5	5.61	0.46		RD 2062
LP6	Linear Park 6	0.95	0.14		RD 2062
LP7	Linear Park 7	0.73	0.09		RD 2062
LP9	Linear Park 9	16.69	1.71		RD 2062
LP10	Linear Park 10	2.26	0.18		RD 2062

OPEN SPACE 480.36

WOODLANDS WEST BOUNDARY

**Community Park 1 acreage does not include wetland area. When a park is adjacent to the levee, a 20' distance from the toe of levee is not included in park acreage calculations.
 ***Levee Trail Calculation: Total Linear Feet x 30' width = total sq ft (43,560 sq ft = 1 acre). Total Miles = 7.7 Miles.
 The 30' wide levee trail has been used to calculate acreage of the Quimby Act and does not include the levee slopes or 20-foot levee toe.
 The applicant intends to regrade the federal levee into a waterside bench which will be maintained by Reclamation District 2062. There will be no public access to the levee, only the waterside bench.

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Chapter 3

CIRCULATION

CIRCULATION

3.1 CIRCULATION CONCEPT

The streets network connects and separates neighborhoods, creates key vehicular paths of travel, and defines identifiable community spaces and pedestrian friendly routes. Streets are important framework elements for the River Islands Woodlands West Neighborhood. The street hierarchy in Woodlands West includes a neighborhood collector, a neighborhood arterial street, and local streets. The circulation exhibit on the following page shows the layout of the street network in Woodlands West.

3.2 CIRCULATION BIKE AND PEDESTRIAN CONCEPT

In order to support a healthy, active community, the River Islands Master Plan has developed recreational infrastructure intent on encouraging bicycle and pedestrian pathways. Safe pedestrian and bicyclist connections linking parks and open spaces throughout the Woodlands West is a priority. A detailed non-motorized circulation system has been designed specifically for Woodlands West, which is an integral part of the broader circulation plan for Phase 2 of River Islands. The circulation plan, depicted in Figure 3.2 - Circulation Bike and Pedestrian Concept Map, includes various elements such as classes 1, 2, and 3 bicycle lanes, pedestrian trails, and connections that complement the diverse street types found within the community (as illustrated in Figure 3.1).



FIGURE 3.1 CIRCULATION CONCEPT

Circulation Legend

- Neighborhood Collector
- Neighborhood Local Street



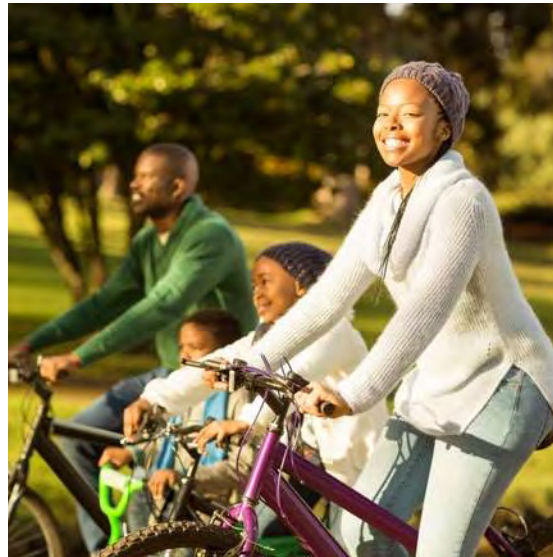


FIGURE 3.2 CIRCULATION BIKE AND PEDESTRIAN CONCEPT MAP

Circulation Legend







Chapter 4

STREETSCAPES

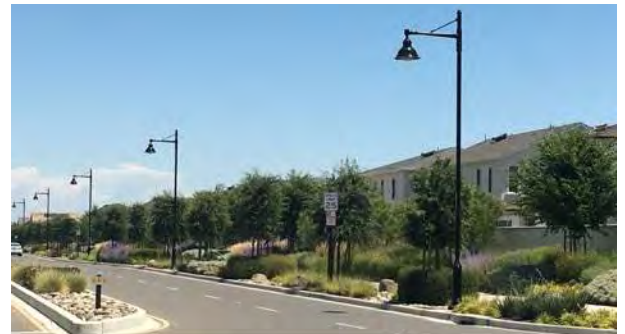
STREETSCAPES

4.1 STREET CHARACTER

Traditionally, streets are defined by the trees lining them, which not only establish identity but also foster pedestrian-friendly environments. These trees contribute significantly beyond aesthetics, providing essential shade for pedestrians, reducing energy usage, moderating temperatures, and enhancing property values. Thoughtful selection of tree species helps delineate and distinguish communities, spaces, and functions, while also offering habitat for wildlife.

In line with this, the Woodlands West NDP proposes specific varieties of street trees for the roadways, as outlined on page 37. Local neighborhood streets are designed to accommodate lower traffic volumes and promote pedestrian and bicycle usage. Separated parkway strips serve as continuous landscape buffers between vehicles and contribute to a canopy of street-lined trees. Each neighborhood is recommended to have one to two types of street tree species to maintain a cohesive community identity, mitigate potential losses due to pests and diseases, and promote diversity in the urban forest.

Streets in Woodlands West are envisioned to feature trees, signage, and urban elements such as light poles, harmonizing to create a unified community identity and character across all neighborhoods. Street trees, parkway strips, and front yard plantings are carefully chosen for each neighborhood to foster a unique sense of community identity and enhance biodiversity in the San Joaquin Valley.







4.2 COMMUNITY COLLECTOR STREETS

Community collector streets serve as connections between various neighborhoods, marked by distinct gateways and entries. Establishing a coherent project theme for these entries is crucial, as they serve as gateways to key project amenities such as lakes, parks, trails, and open spaces.

Formal, landscaped neighborhood gateway entries will transition into a more rural aesthetic with windrow shade trees and a riparian river concept along major collector streets. The naturalized riparian corridor serves as a reminder of the historical ecology of the Delta Valley's river lands.

The vision for the streetscapes in River Islands Woodlands West is to formalize the natural context of the delta's riparian and agricultural corridors. Natural materials such as meandering bands of river cobble and boulders, reflecting the numerous waterways of the Delta Valley, will be incorporated alongside groundcovers, evergreen, and flowering shrubs within parkway strip areas. Perimeter boundary plantings will feature large, structured shrubs that maintain their natural shape without continuous pruning, resembling the hedgerow plantings along waterways and agricultural fields. (Refer to the Appropriate Plant Species List in the Appendices.) The plans presented in this document are illustrative and are intended to serve as guidelines for the overall neighborhood design.

Neighborhood Gateways

Woodlands West promotes pedestrian connectivity between communities and fosters engagement with the natural surroundings and community identity. Gateways are intended to be welcoming and comfortable for pedestrians, visually appealing to passing vehicles, and distinctive enough to establish a unique identity for each community.

Streets in Woodlands West serve as important entry points not only for vehicles but also for pedestrians and cyclists, featuring safe and walkable sidewalks, landscape buffers, and wide trails to encourage non-motorized mobility throughout the neighborhood. Consistent use of ornamental side plantings, street tree rows, and urban site features adds aesthetic value and reinforces community identity, while design elements evoke the natural context of the delta waterways.

Neighborhood Entries

Formal neighborhood entries have been designated to establish traditional entrances to the interior villages within Woodlands West. These entries will be characterized by structured plantings that set them apart from the more naturalized riparian plantings along surrounding collector streets. Plantings should include columnar trees lining the road edges and flowering trees in entry medians.

Neighborhood entryways serve as pedestrian entrances to each neighborhood within Woodlands West. Designs should capitalize on the spacious environment of major street intersections and create distinctive, welcoming entrances. Each entry should feature unique elements such as monument features inspired by the surrounding delta waterways.

Entryways may incorporate seating areas, patterns reminiscent of row crops, paving materials evocative of waterways (such as cobble and decomposed granite), and monuments such as lighthouses, windmills, sails, and nautical structures. These spaces can serve as inviting and captivating landmarks, providing wayfinding assistance and reinforcing community identity.

FIGURE 4.1 STREET TREE MASTER PLAN

STREET TREE MASTER LIST

LOTS	STREET DIRECTION	BOTANICAL NAME	COMMON NAME
Village 7	North/South East/West	Ulmus p. 'Drake' Acer rubrum 'October Glory'	Chinese Evergreen Tree October Glory Red Maple
Village 8	North/South East/West	Ulmus p. 'Drake' Acer rubrum 'October Glory'	Chinese Evergreen Tree October Glory Red Maple
Village 9	North/South East/West	Ulmus p. 'Drake' Chitalpa t. 'Pink Dawn'	Chinese Evergreen Tree Pink Dawn Chitalpa
Village 10	North/South East/West	Pistacia c. 'Keith Davey' Zelkova s. 'Greenspire'	Keith Davey Chinese Pistache Green Vase Zelkova
Village 11	North/South East/West	Acer rubrum 'October Glory' Ulmus p. 'Drake'	October Glory Red Maple Chinese Evergreen Tree
Village 12	North/South East/West	Pistacia c. 'Keith Davey' Platanus a. Columbia	Keith Davey Chinese Pistache Columbia Plane Tree
Village 13	North/South East/West	Acer rubrum 'October Glory' Ulmus p. 'Drake'	October Glory Red Maple Chinese Evergreen Tree
Village 14	North/South East/West	Zelkova s. 'Greenspire' Platanus a. Columbia	Green Vase Zelkova Columbia Plane Tree
Village 15	North/South East/West	Ulmus p. 'Drake' Acer rubrum 'October Glory'	Chinese Evergreen Tree October Glory Red Maple
Village 16	North/South East/West	Tilia c. 'Greenspire' Platanus a. Columbia	Greenspire Little-Leaf Linden Columbia Plane Tree

STREET TREE LIST BY CONNECTOR STREET

STREET	BOTANICAL NAME	COMMON NAME
Sonny Dhaliwal Pwky	Zelkova s. 'Green Vase'	Green Vase Zelkova
Edinburgh Avenue	Zelkova s. 'Greenspire'	Green Vase Zelkova
Notting Hill Drive	Acer rubrum 'October Glory'	October Glory Red Maple

ACCENT TREE LIST

BOTANICAL NAME	COMMON NAME
Cercis occidentalis	Western Redbud
Chitalpa tashkentensis	Chitalpa
Lagerstroemia indica	Crape Myrtle
Prunus c. 'Krauter Vesuvius'	Purple Leaf Flowering Plum
Prunus serrulata 'Kwanzan'	Kwanzan Flowering Cherry

Note: These species are for reference and are not intended to be the only type of accent trees. See Appendix B for additional species.

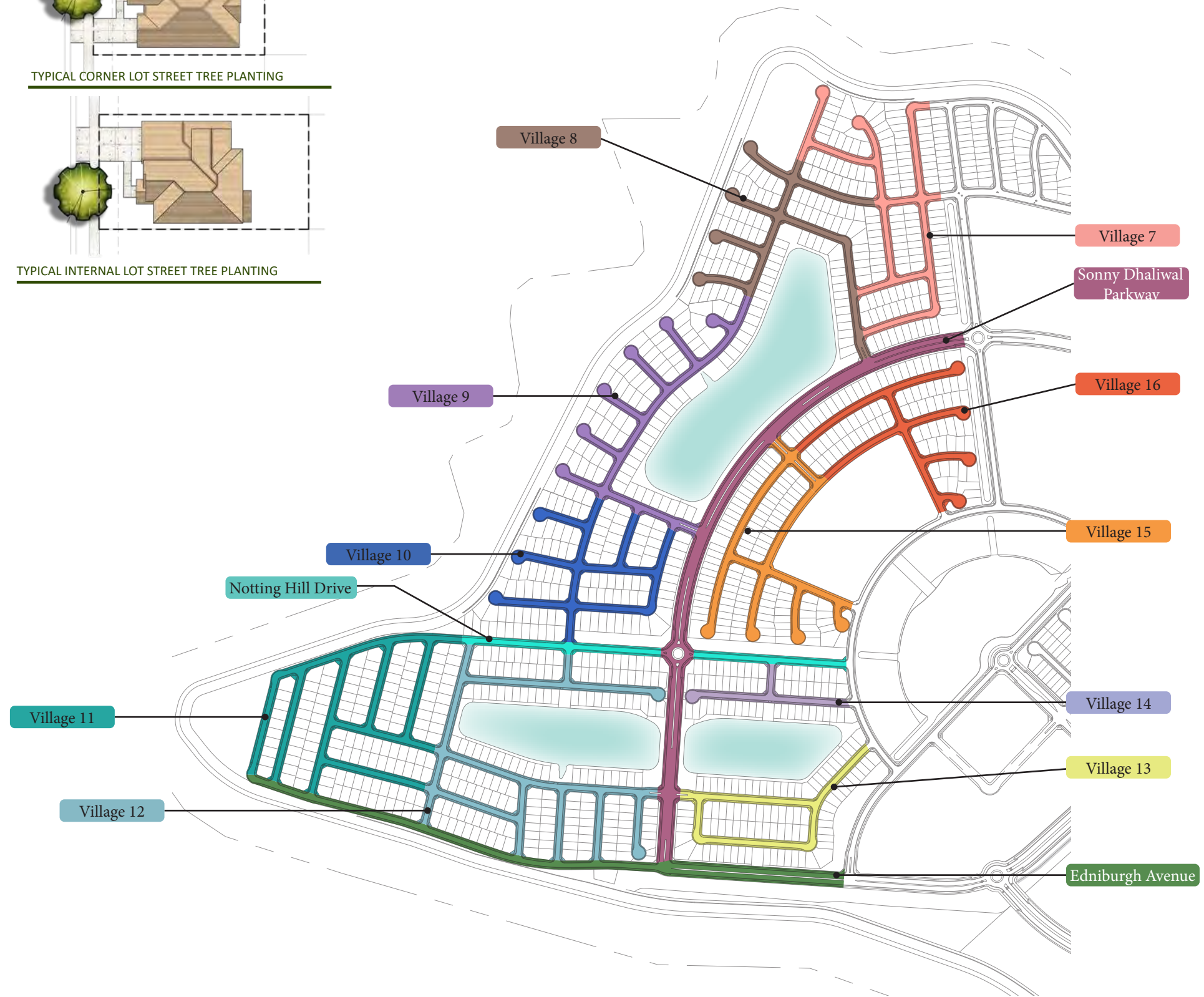
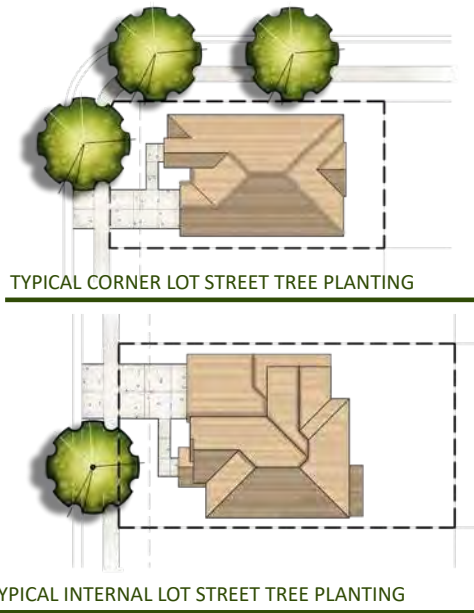
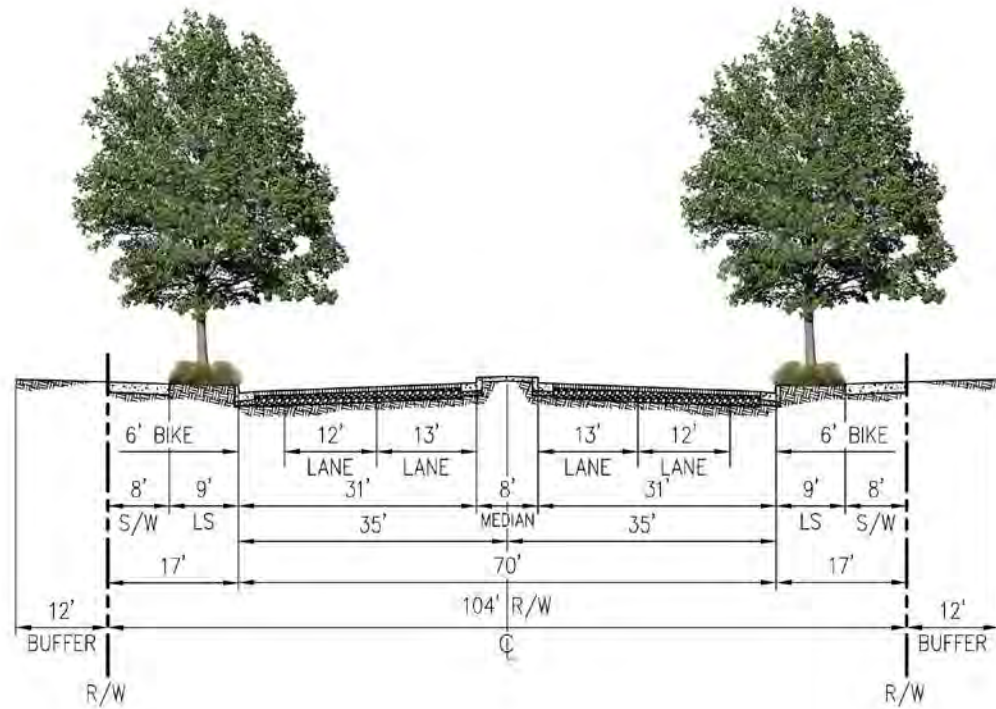
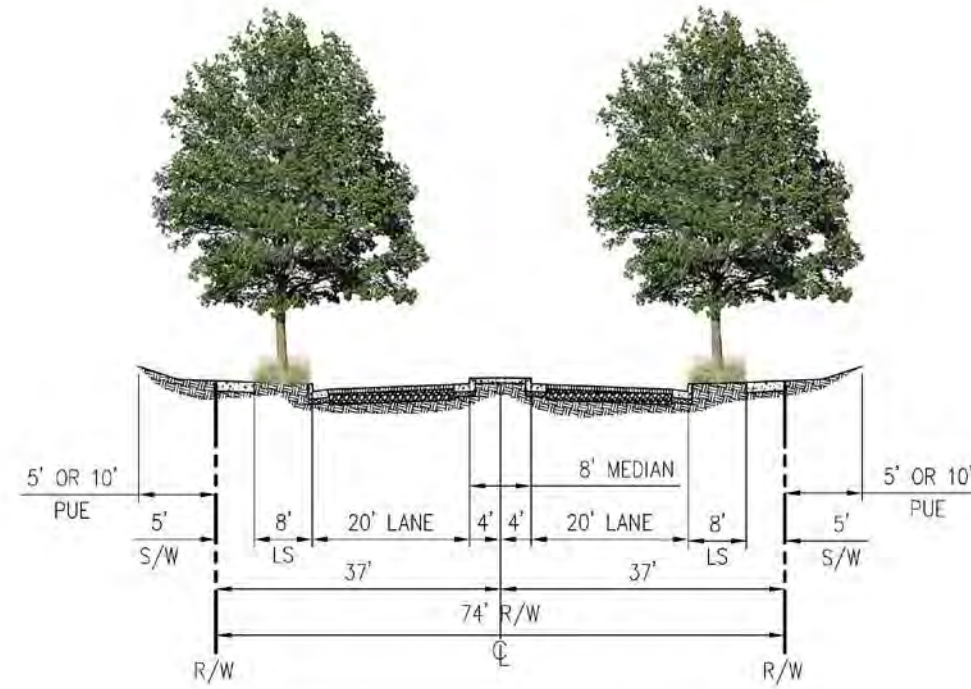


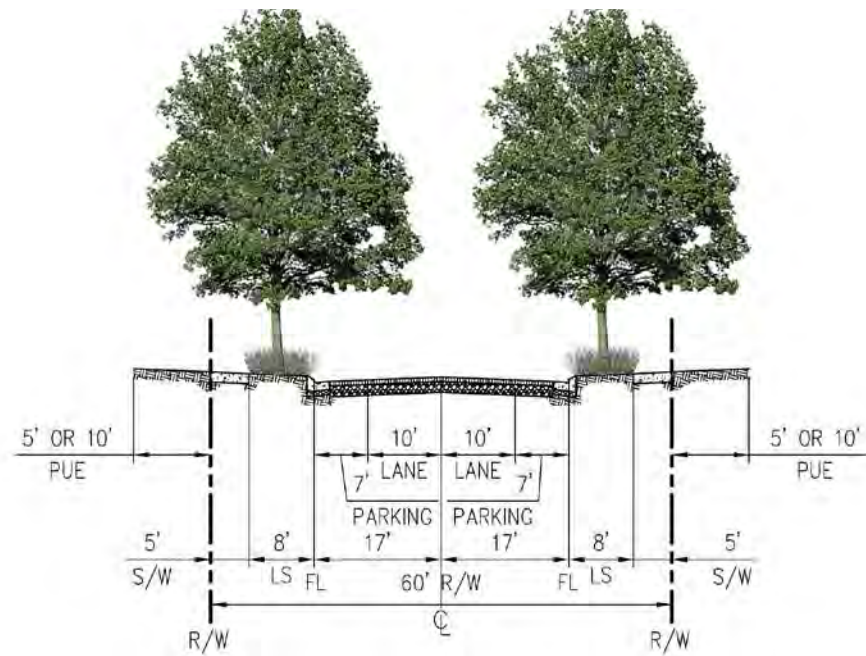
FIGURE 4.2 STREET SECTIONS



TYPICAL SONNY DHALIWAL PARKWAY AND EDINBURGH AVENUE STREET SECTION
NOT TO SCALE



TYPICAL LOCAL STREET ENTRY SECTION
NOT TO SCALE










TYPICAL LOCAL STREET SECTION
NOT TO SCALE



FIGURE 4.3 NEIGHBORHOOD ELEMENTS MAP

Neighborhood Elements Legend

FEATURE AREA	PARK NAME
	Neighborhood Park
	Community Park
	Pocket Park/Linear Park/ Open Space

SYMBOL	FEATURE TYPE
	Neighborhood Entry
	Neighborhood Gateway
	Community Gateway
	Water View Node

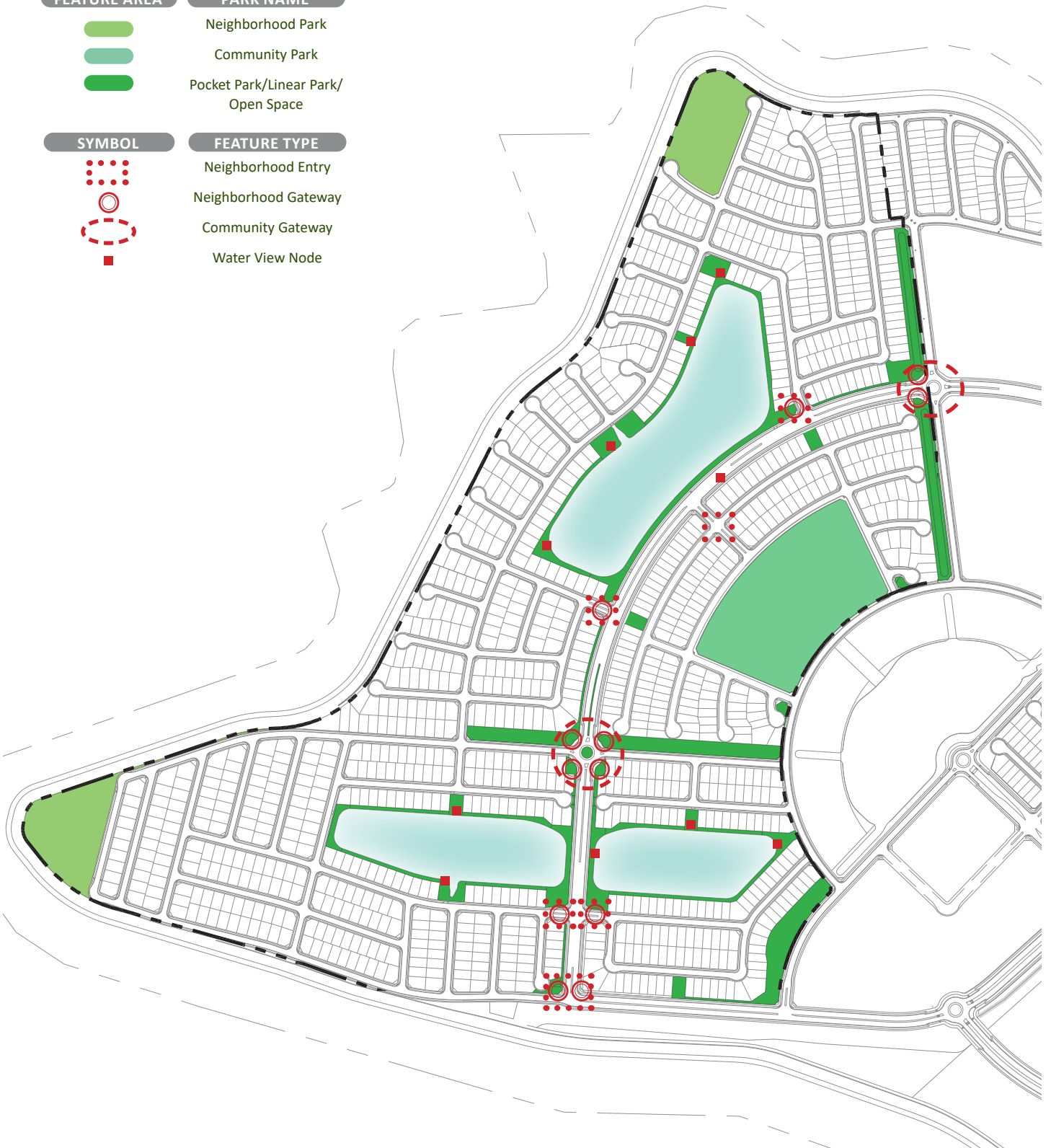


FIGURE 4.4 SONNY DHALIWAL PARKWAY & PARITO EMATA WAY CONCEPT



FIGURE 4.5 SONNY DHALIWAL PARKWAY & NOTTING HILL DRIVE CONCEPT



FIGURE 4.6 SONNY DHALIWAL PARKWAY & EDINBURGH AVENUE CONCEPT



FIGURE 4.7 EXAMPLE ROUND-ABOUT MONUMENT SIGNAGE





Chapter 5

PARKS AND OPEN SPACE

PARKS AND OPEN SPACE

5.1 MASTER PLAN INTENT

The River Islands Phase II Parks Master Plan outlines the network of pocket parks, neighborhood parks, community parks, trails, and paseos within the River Islands master-planned community. Alongside parks and open spaces catering to diverse levels of passive and active recreation, the Master Plan underscores the community's connection with the San Joaquin River by providing opportunities for water-oriented outdoor living and recreation.

Park and open space locations are strategically chosen to ensure accessibility for all community members, facilitated by pedestrian and bicycle connections that promote non-vehicular circulation within the community and between park sites. Various classes of bicycle paths (Class I, II, and III) are incorporated to facilitate easy access to open space and extend cycling or running opportunities to residents of River Islands and Lathrop. Parks are designed to accommodate community members of all ages and abilities.

5.2 NEIGHBORHOOD PARKS

Neighborhood parks serve as an extended back yard for local residents and provide both passive and active recreation opportunities. The idea Neighborhood Park connects residents to outdoor recreation and increases residents' sense of ownership of their own community. Neighborhood parks are generally a minimum of four acres and are recommended to be accessible to resident within a quarter to half mile radius. There are two neighborhood parks in Woodlands West District; a 5.2 acre park that will contain a dog park, multi-purpose field and a basketball court and a 6.5 acre park with an adult soccer field, playground, pickleball court and multi-purpose field.

5.3 POCKET PARKS

The lots and open space areas bordering these lakes should be designed as versatile and functional spaces, accommodating pedestrian activities for both recreation and relaxation while offering views of the lakes and the prevalent wildlife. Landscaping behind single-family detached parcels should add visual interest through a diverse palette of plant materials, incorporating various textures, heights, and year-round color variations in flowers and foliage.

Park spaces should celebrate their connection to the water and encourage both active and passive recreation to fully utilize this valuable resource. Lots with lake frontage should maintain visual access from neighboring parcels to promote connectivity to surrounding areas. Additionally, pocket parks may provide access to adjacent lots through boat docks or observation platforms. No trees should be planted along slopes outside of fenced backyard areas. A decorative masonry column will be placed at the property line of every pocket park.



5.4 COMMUNITY PARKS

Community parks often incorporate a variety of recreational programming to provide active and passive recreational opportunities for all. Most residents should be able to access a community park within ½ to 1 mile from their home. An ideal Community Park connects residents to outdoor recreation options, fosters public growth and establishes collective identity. Per the City of Lathrop, community parks are primarily intended to serve the needs of organized sports and active recreation.

Community Parks are recommended for development on land greater than fifteen (15) acres; exceptions to this are acceptable but require approval from the City. The service area for Community Parks is measured as ½ mile from the boundaries of the park, approximately 10-20 minute walk for pedestrians. Typical features include those found in a Neighborhood Park (see Neighborhood Parks description) with the addition of any number of other features. These may include sports fields (lighted and unlighted depending on programming), sport courts, concession stands, restrooms, and amphitheater or performing arts facilities, nature education opportunities, splash pads or other water-play features, dog parks, and fitness courses. The design may also include areas for specialty athletics and recreation. Each design will attempt to provide the highest level of accessibility and safety possible for the benefit of the community and the for the park's continued success.

The Woodlands West District includes one community park of 14.1 net acres and will include features similar to other community parks in River Islands, including sports fields, pickleball courts, basketball courts, on-site parking, a BBQ area, a shade structure and restrooms.





FIGURE 5.1 WOODLANDS WEST DESIGNATION MAP

Park #	Park Name	AC.	Quimby Act	Ownership
Pocket Park -----				5.43 ac
P-W1	Pocket Park-Woodlands West-1	0.28		
P-W2	Pocket Park-Woodlands West-2	0.12		
P-W3	Pocket Park-Woodlands West-3	0.87		
P-W4	Pocket Park-Woodlands West-4	0.30		
P-W5	Pocket Park-Woodlands West-5	0.36		
P-W6	Pocket Park-Woodlands West-6	0.22		
P-W7	Pocket Park-Woodlands West-7	0.22		
P-W8	Pocket Park-Woodlands West-8	0.32		
P-W9	Pocket Park-Woodlands West-9	0.20		
P-W10	Pocket Park-Woodlands West-10	0.68		
P-W11	Pocket Park-Woodlands West-11	0.73		
P-W12	Pocket Park-Woodlands West-12	0.22		
P-W13	Pocket Park-Woodlands West-13	0.42		
P-W14	Pocket Park-Woodlands West-14	0.27		
P-W15	Pocket Park-Woodlands West-15	0.22		
Neighborhood Park -----				11.7 ac
N6	Neighborhood Park	5.2	x	CITY
N8	Neighborhood Park	6.5	x	CITY
Community Park -----				14.1 ac
C3	Community Park C3	14.1	x	CITY



FIGURE 5.2 NEIGHBORHOOD PARK N6



PARK AMENITIES

- Playground
- Basketball Court (1)
- Multi Court (1)
- Sundial Feature
- Shade Structure
- BBQ
- Open Space
- Connection to Levee Trail
- Picnic Table
- Bench
- Natural Walk



FIGURE 5.3 NEIGHBORHOOD PARK N8



For illustrative purposes only

PARK AMENITIES

- Adult Soccer (1)
- Multi Purpose Field (1)
- Pickleball Court (1)
- Playground
- Bench
- Picnic Table
- Shade Structure
- BBQ
- Connection to Levee Trail
- Open Space

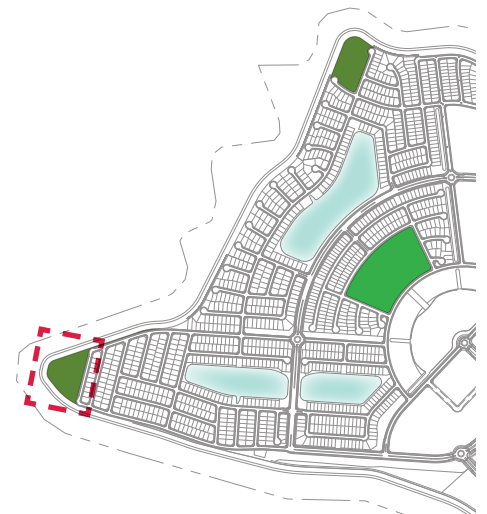


FIGURE 5.4 COMMUNITY PARK C3



For illustrative purposes only

PARK AMENITIES

- Soccer Field (3)
- Football Sized Sports Field (1)
- Pickleball Courts (2)
- Tennis Courts (2)
- Bocce Ball Courts (2)
- Basketball Court (1)
- On-site Parking Lot
- Playground
- Restroom Building
- Bench
- Picnic Table
- Shade Structure
- BBQ



FIGURE 5.5 POCKET PARK-WOODLANDS WEST-1



For illustrative purposes only

PARK AMENITIES

- Bench
- Open Lawn Space
- Lake Overlook
- Picnic Table
- Shade Structure



FIGURE 5.6 POCKET PARK-WOODLANDS WEST-2



PARK AMENITIES

- Bench
- Open Lawn Space
- Lake Overlook
- Picnic Table
- Shade Structure



FIGURE 5.7 POCKET PARK-WOODLANDS WEST-3



For illustrative purposes only

PARK AMENITIES

- Bench
- Picnic Table
- Open Lawn Space
- Lake Overlook
- Boat Ramp



FIGURE 5.8 POCKET PARK-WOODLANDS WEST-4



PARK AMENITIES

Bench

Picnic Table

Open Lawn Space

Lake Overlook



FIGURE 5.9 POCKET PARK-WOODLANDS WEST-5



PARK AMENITIES

Bench

Open Lawn Space

Lake Overlook



FIGURE 5.10 POCKET PARK-WOODLANDS WEST-6



PARK AMENITIES

Bench

Open Lawn Space



FIGURE 5.11 POCKET PARK-WOODLANDS WEST-7



PARK AMENITIES

Bench

Picnic Table

Open Lawn Space



FIGURE 5.12 POCKET PARK-WOODLANDS WEST-8



For illustrative purposes only

PARK AMENITIES

Bench

Picnic Table

Open Lawn Space

Lake Overlook



FIGURE 5.13 POCKET PARK-WOODLANDS WEST-9



PARK AMENITIES

- Bench
- Picnic Table
- Shade Structure
- Open Lawn Space
- Lake Overlook



FIGURE 5.14 POCKET PARK-WOODLANDS WEST-10&11



PARK AMENITIES

Bench

Picnic Table

Shade Structure

Open Lawn Space

Lake Overlook



FIGURE 5.15 POCKET PARK-WOODLANDS WEST-12



PARK AMENITIES

- Bench
- Picnic Table
- Open Lawn Space
- Lake Overlook



FIGURE 5.16 POCKET PARK-WOODLANDS WEST-13



PARK AMENITIES

Bench

Picnic Table

Shade Structure

Open Lawn Space

Lake Overlook



FIGURE 5.17 POCKET PARK-WOODLANDS WEST-14



PARK AMENITIES

- Bench
- Picnic Table
- Open Lawn Space
- Lake Overlook



FIGURE 5.18 POCKET PARK-WOODLANDS WEST-15



PARK AMENITIES

Bench

Picnic Table

Shade Structure

Open Lawn Space

Lake Overlook

Boat Ramp





Chapter 6

LANDSCAPE AND PLANTING



LANDSCAPE AND PLANTING

6.1 LANDSCAPE PLAN

River Islands will oversee the design, construction, and upkeep of all public use areas within the Phase 2 Woodlands West Neighborhood (refer to Figure 2.3). These areas encompass public streets (referred to as streetscapes), parks, trails, open-space lakefronts, levees, and river edges. In some instances, builders may be tasked with levee installation.

Ongoing maintenance will fall under the purview of agencies such as the River Islands Public Finance Authority, RD 2062, and the City of Lathrop, depending on the specific use of each area.

Typically, individual builders will handle landscaping for private yards, parkway strips, alleys, courtyards, private parks, and rear yard lakefronts. Homeowners shall also be responsible for maintenance of private yards and parkway strips. Homeowners will be responsible for maintaining private yard areas (front and back yards) enclosed within fenced areas. Homes with rear yard lakefronts will have irrigation systems installed by the builder according to a common design. Post-construction, the rear yard lakefronts will be irrigated by a common area irrigation service, but individual homeowners remain responsible for maintenance of the landscaped area on the lake slope under an easement agreement with RIPFA/RD 2062, along with the shared docks for those lots that have access to a lake.



Construction Intent of Landscape Areas

Construction of individual landscape areas will be based upon phasing and builder programs. Preferred schedule for the installation of landscape and maintenance of streetscapes will be as follows:

- Developer/Builder will install individual tract improvements (including underground utilities (wet & dry), curbs and sidewalks, finished road surfaces and perimeter walls/fences.
- Developer/Builder will then install all pertinent landscape improvements to off-site areas including streetscapes, parks, and open space lake frontages.
- Builder will then build individual homes and in-tract (property line) fencing.
- Builder will then install front yard landscape and parkway landscape strips. For the lots that abut the lakes, the builder will install landscape areas adjacent to lake areas, with homeowners responsible for lake slope maintenance.
- Homeowners will maintain their own parkway strip landscape areas including the irrigation which is part of their isolated irrigation system.
- Parkway strip landscape areas at the neighborhood entries will be installed by the developer and will be maintained by the appropriate jurisdiction. Neighborhood entries may include the parkway strip areas between the curb and sidewalk from the primary collector street down to the first cross-street in-tract.
- In some cases individual lots may include a side-yard or rear-yard slope area that is not owned by a public agency in which this area will be granted as an easement to the property owner and said property owner may landscape, irrigate and maintain the slope area in conformance to the public agencies requirements. The property owner must grant the public agency access for inspection of slope areas on an as needed basis.
- Landscape areas may also include medians and landscape areas from the back of the sidewalks to the side-yard fences from the collector street to the first cross-street in-tract.

Proposed Plant Materials

Plant materials will be selected from the Appendix starting on page 91. Appropriate Plant Species List for Parks & Open Spaces within River Islands Phase 2 Woodlands West. Alternative species may be substituted or added and will be considered by the River Islands Architectural Review Board

RIARB) based on the suitability of the species in terms of similarity of theme, characteristics, size, form, tolerance of climatic conditions, soil requirements and water usage.

Planting themes have been selected to mimic existing characteristics and habitat of the delta waterways and vegetated agricultural hedgerows. Plant material selection should strongly consider the use of drought-tolerant, durable and long-lived species that give the appearance and imagery of the Delta Valley. Species should be well adapted to the climatic conditions and soil types typical of the River Islands Development. Robust evergreen shrub species intermixed with flowering native shrub species are strongly encouraged. Large naturally shaped flowering shrub species should be selected to mimic the image of traditional hedgerows typical of the surrounding agricultural region. Flowering species that create year-round interest are of high preference.

Plant and tree selections should avoid varieties with invasive characteristics, such as: surface roots that can spread, creating trip hazards or that can be destructive to surrounding curbs and

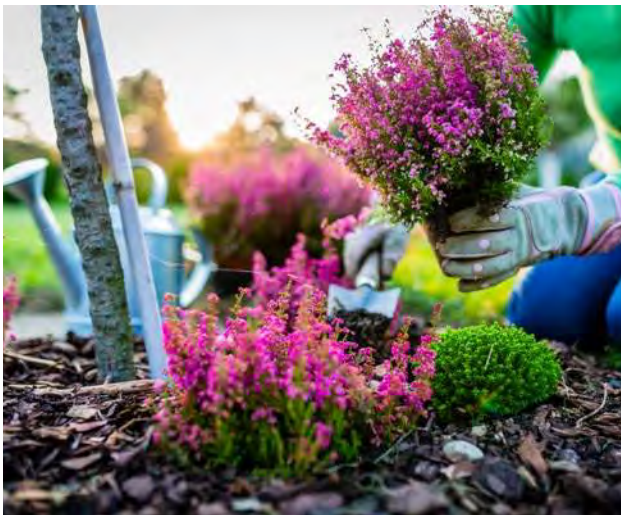


walls, species that produce large wind blown seed varieties that become invasive or destructive, varieties that are extremely allergenic and varieties with toxic properties that can be ingested by humans or animals.

While fruiting varieties of trees or shrubs may harken to the true agricultural use of the River Islands project, the use of such species can create maintenance challenges and become problematic as litter creating rodent or pest problems. These species should be avoided except in specific locations where maintenance and control can be exercised. If fruiting varieties are desired, refrain from planting within 20' of hardscape to reduce fruit litter on walking paths and reduce maintenance.

Plant selections should be determined based upon natural shape of species with minimal pruning or maintenance. Shrubs should be considered for use as a screen of fences or utility structures. Evergreen plant material as a background is preferable to maintain year-round screening, however, the usage of decorative deciduous plant species is desirable and recommended with care being taken to maintain year-round interest and structure. Spacing of plant material should be selected based upon the species being utilized to create fullness and allow for ultimate growth impact.

The use of traditional "lawn" species and spaces should be limited to parks and open spaces that should encourage recreational uses unless individual builders incorporate grey water usage. Drought-tolerant, durable and long-lived ground cover species that maintain a year round cover and interest through leaf structure or flower varieties should be encouraged. When "lawn" species are utilized, varieties should include deep rooting species that use less water than traditional varieties. The use and application of "lawn" species shall follow the guidelines and requirements set in the California Model Water Efficient Landscape Ordinance (MWELO).



Tree varieties should be selected to imitate a rural Delta Valley aesthetic and should include a predominance of Oak species typical in valley habitats. Evergreen varieties should be used to frame and give additional interest year-round to selected areas. Flowering or accent trees should be selected for year-round interest through flower characteristics, branching patterns, bark color and shape.

Tree varieties should be selected to imitate a rural Delta Valley aesthetic and should include a predominance of Oak species typical in valley habitats. Evergreen varieties should be used to frame and give additional interest year-round to selected areas. Flowering or accent trees should be selected for year-round interest through flower characteristics, branching patterns, bark color and shape.

Private Landscape Areas

Design of private landscape areas should incorporate energy efficient methodologies such as the use of local materials, local suppliers and natural on-site composting through mulching to reduce green waste. Plant material should be selected to reduce constant pruning and sheering to reduce green waste. Tree species should be selected to encourage solar gain during the winter months and to shade windows and large walls to reduce energy consumption during the summer months. Irrigation of private landscape spaces should be installed and should conform to current state water reduction mandates(MWELO) and AB 1881.

Landscape plans for all areas shall be prepared by a landscape architect licensed to practice in the State of California.



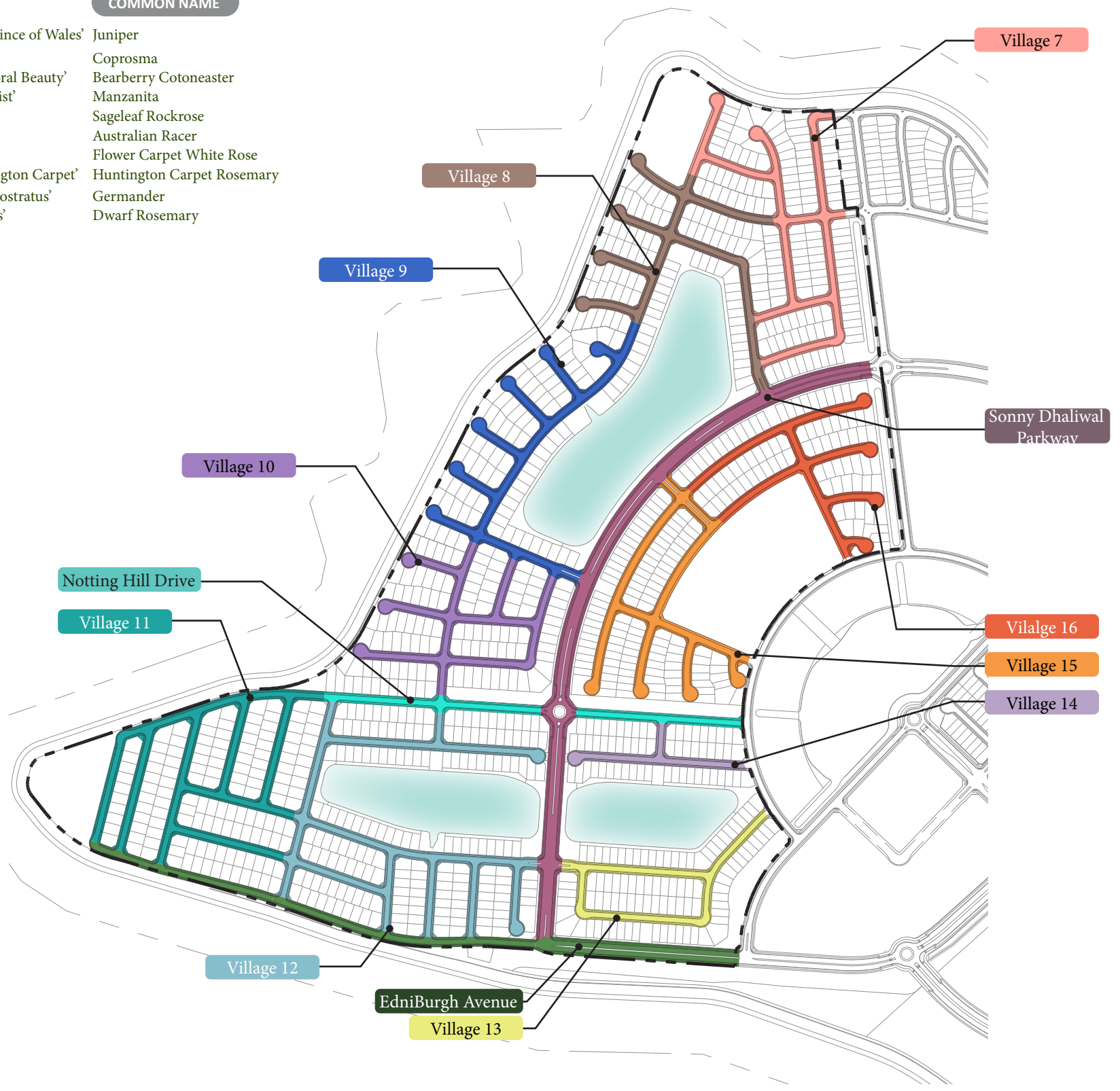
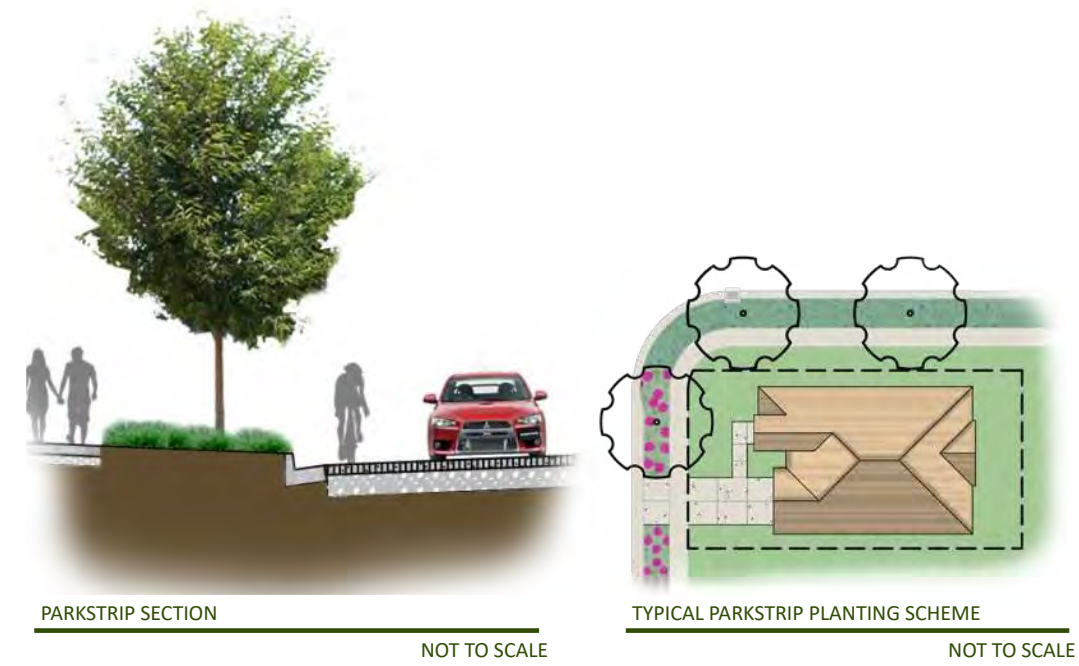
FIGURE 6.1 PARKWAY STRIPS

PARKWAY STRIP MASTER PLANT LIST

VILLAGE / STREET	STREET / DIRECTION	BOTANICAL NAME	PLANT SPACING
Village 7	North/South East/West	Rosa x 'Noaschnee' Juniperus horizontalis 'Prince of Wales'	36" O.C 36" O.C
Village 8	North/South East/West	Rosmarinus offic. 'Huntington Carpet' Juniperus horizontalis 'Prince of Wales'	36" O.C 36" O.C
Village 9	North/South East/West	Rosmarinus offic. 'Huntington Carpet' Juniperus horizontalis 'Prince of Wales'	36" O.C 36" O.C
Village 10	North/South East/West	Rosmarinus offic. 'Huntington Carpet' Coprosa p. 'Verde Vista'	36" O.C 36" O.C
Village 11	North/South East/West	Rosa x 'Noaschnee' Myoporum pavifolium	36" O.C 36" O.C
Village 12	North/South East/West	Arctostaphylos 'Pacific Mist' Juniperus horizontalis 'Prince of Wales'	36" O.C 36" O.C
Village 13	North/South East/West	Myoporum pavifolium Coprosma p. 'Verde Vista'	36" O.C 36" O.C
Village 14	North/South East/West	Rosa x 'Noaschnee' Arctostaphylos 'Pacific Mist'	36" O.C 36" O.C
Village 15	North/South East/West	Rosa x 'Noaschnee' Teurium c. 'Prostatus'	36" O.C 36" O.C
Village 16	North/South East/West	Teurium c. 'Prostatus' Rosa x 'Noaschnee'	36" O.C 36" O.C
Notting Hill Drive	-	Rosmarinus offic. 'Huntington Carpet'	36" O.C
Sonny Dhaliwal Parkway	-	Rosa x 'Noaschnee'	36" O.C
Edinburgh Ave.	-	Myoporum pavifolium	36" O.C

PARKWAY STRIP PLANT LIST

BOTANICAL NAME	COMMON NAME
Juniperus horizontalis 'Prince of Wales'	Juniper
Coprosma p. 'Verde Vista'	Coprosma
Cotoneaster dammeri 'Coral Beauty'	Bearberry Cotoneaster
Arctostaphylos 'Pacific Mist'	Manzanita
Cistus Salvifolius	Sageleaf Rockrose
Myoporum parvifolium	Australian Racer
Rosa x 'Noaschnee'	Flower Carpet White Rose
Rosmarinus offic. 'Huntington Carpet'	Huntington Carpet Rosemary
Teucrium chamaedrys 'Prostratus'	Germander
Rosmarinus O. 'Prostratus'	Dwarf Rosemary



PARKSTRIP SECTION

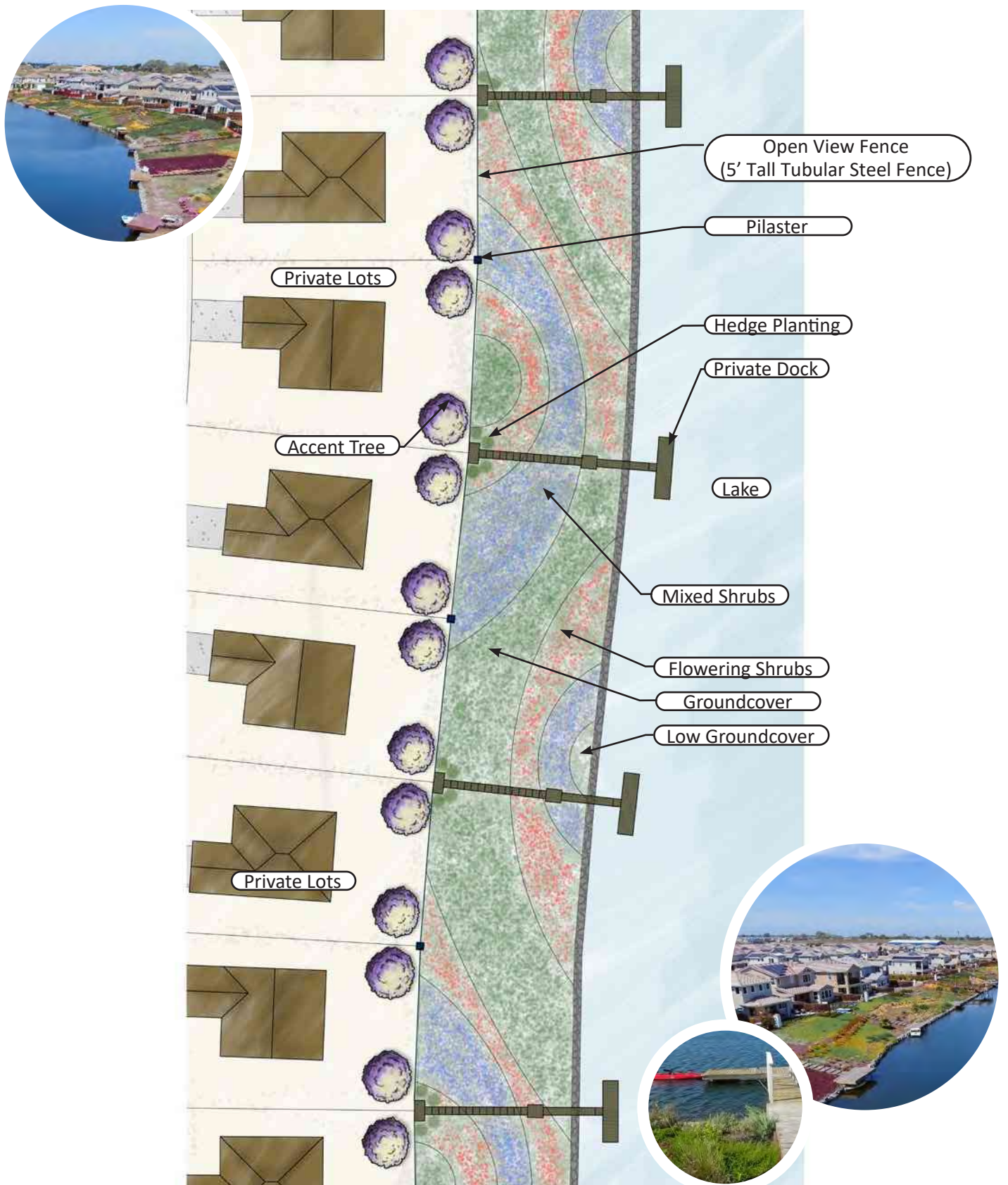
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TYPICAL PARKSTRIP PLANTING SCHEME

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FIGURE 6.2 REAR YARD LAKE FRONTAGE



6.2 IRRIGATION

The State of California’s current water shortage has created valuable opportunities for River Islands to show its conservation emphasis and ties to the region’s innovative irrigation techniques. Currently the State of California has instituted measures to reduce waste of water through high distribution products and control systems capable of automatic adjustment and proper system management. Designers and contractors familiarize themselves with all pertinent guidelines, standards and requirements to align irrigation system design with the best intent of the State’s Water Mandate (MWELO). The City of Lathrop Municipal Code, Chapter 17.92 - Landscape and Screen Standards, contains additional requirements for irrigation and water conservation.



Irrigation Design

The following applies to all landscape areas to be constructed within Woodlands West Neighborhood.

Non-potable water shall be the preferred source for irrigation applications. In areas that are to receive non-potable water, designated installation methodologies shall comply with RD2062, City of Lathrop, and State guidelines for the application of non-potable water. In locations where non-potable water will be utilized, connections will be coordinated to the best of the ability of the design team to foresee irrigation “stub-outs”. There are areas, however, that may not be deemed appropriate for “non-potable” water applications, and will instead utilize potable water service.

Irrigation shall be provided to all planted areas and shall be designed and laid out to efficiently and uniformly distribute water to all plant material.

Plant material will be laid out and organized into similar water use hydrozones by separating high, medium and low water-use plant materials as best as possible. Irrigation zones should also take into account all sun exposures (north/east versus south/west). Trees should be designed and placed on separate irrigation zones to aid in the proper applications of water to promote long term health of trees. Irrigation shall be designed and installed to accommodate water demands by plant type.

The use of low volume overhead broadcast heads, drip and bubbler types is strongly encouraged; however, all innovative irrigation techniques should be considered only if they adhere to State and local guidelines and requirements.



Irrigation components will have the following requirements:

- » **Overhead broadcast heads** will incorporate “in-head” pressure regulation and check valves.
- » **Drip tubing** will be of a “brown” color and will incorporate individual pressure compensating emitters; and will utilize a root inhibitor. When utilizing reclaimed water, conform to national guidelines regarding product color and identification.
- » **Bubblers** will incorporate a built in pressure compensator and filter.
- » **Tree bubbler** will utilize a “deep root” water device that incorporates a bubbler, check valve and swing joint with filter “sock” around tube to reduce impaction of soil into air tube device.
- » **Valves** will be capable of adding pressure regulating devices to them at any time and valves that utilize filter for drip distribution will incorporate filters with mechanical image notification of the filter clogs and built-in pressure compensation to reduce overall size of the irrigation valve box.
- » **Main lines** will have 18” of cover and have a conduit for the irrigation control wire to reduce the potential of damage to wire and aid in future repairs or renovations.

With advancements in standard irrigation control, system design should include master valves and flow sensors that have the ability to maximize system flows to reduce overall run-times by operating multiple valves per program and/or multiple programs simultaneously. Irrigation controllers will be selected that can be programmed simply and easily from the controller itself with no outside components and have the ability to be remotely controlled and programmed via internet connection. Controllers will have the ability to produce flow, run time and system failure reports. Controllers will also be able to automatically adjust irrigation schedules based upon real-time weather reports from industry recognized and approved devices and/or services.

In an effort to further properly manage irrigation systems, only allow certified and trained personnel to operate the system. Controllers shall have the ability to be remotely locked and only be adjusted by utilizing individual “PIN” codes to identify personnel making adjustments to irrigation programming. Individual irrigation zones will be programmed with other similar type irrigation zones of the same distribution type and water consumption demands.

With the nature of construction and the methodology of phased construction, the use of “2-Wire” irrigation technology is strongly encouraged.

The irrigation system designed moving forward for River Islands may include Toro Sentinel / Toro Evolution or Rain Bird ESP-LXIVM utilizing the Rain Bird IQ central control software. This system will allow control of up to (8) Points of Connection (POC) with flow management of each POC and control 200 valves per controller. The system allows for traditional programming and adjustment at the controller with all facets of the programming capability and may be monitored with the 2-way communication, reports and email notifications, as well as be automatically adjusted with ET (evapo-transpiration) data.

No system is capable of running itself and therefore, proper training and management of the irrigation system is mandatory. Frequent and regimented inspections should be factored into all maintenance operations to ensure long term efficient application. Installing contractors will perform irrigation audits on the constructed system prior to the installation of plant material, and make necessary adjustments to aid in the success of the system. Annual irrigation audits and quarterly system reviews will be performed to ensure proper maintenance practices and care are being implemented.



6.3 SOIL PREPARATION

The River Islands Master Plan will require an Agricultural Suitability Test be performed to ensure successful and healthy plant environments. Due to mass grading of the overall site, the once fertile ground that provided such a stable base for vegetation and crops that covered the development in the past may no longer be within the planting soil horizon.

Ongoing installation of required underground utilities, compaction and construction materials may have introduced less fertile growing mediums and therefore, the landscape area should be ripped to a depth of 12" and then thoroughly tilled to a depth of 8".

Tests will identify current agricultural suitability, parasitic nematodes, leftover herbicides or other contaminants. Soils test will be performed from several different locations to ensure proper and thorough soil amendment requirements.

All planting areas will receive amendment in an effort to improve the planting medium and ensure healthy soil structure needed for

plant establishment and long term suitability.

Soil amendments should include: Nitrified compost or redwood shavings, soil sulfur, gypsum, Nitrogen, Potassium, and Iron Sulfate at a minimum with any other amendment suggested by a soil laboratory. Amendments shall evenly displaced and be completely roto-tilled into the top 6" of soil. For plant material whose initial rooting depth will extend beyond the 6" amended soil horizon, plant pits will be additionally amended with the topsoil and additional soil amendments and plant fertilizer tablets.

All planting areas, except lawn or lawn like substitutes, shall receive a 3" minimum layer of chip bark or otherwise approved organic mulch after all plantings have been completed. This will help reduce evaporation and weed growth.

To avoid staining of concrete or pavement surfaces, contractors will avoid prolonged storage of soil, soil amendments, and bark and shall sweep and clean surfaces at the end of each work day.



Chapter 7
FENCING AND WALLS



FENCING AND WALLS

7.1 FENCES AND WALLS

The Woodlands West NDP uses a hierarchy of elements to delineate spaces and uses. Walls and fences that create usable spaces are key to maintaining continuity and identity.






Decorative community wood fencing and masonry columns will frame the major collector streets and establish a solid, formal pedestrian space. Masonry soundwalls will be deferred to noise studies. Upgrades to decorative community wood fencing may occur upon approval from the DRC and City Planning Commission. Minor neighborhood collectors are established with decorative wood fences. Any fences along top slopes should be installed at top of slope.

All individual lot fences may be decorative wood fences at a slightly smaller scale, while maintaining a formal yet natural feel. Lots fronting any lakes will have lake access via individual ramps and docks. Side-yard fencing will reduce from 6' to 5' tall within 16' of the rear property line and an open view fence (tubular steel) will line at the rear property line to enhance peripheral views of the lakes from individual backyard spaces.

Open spaces and parks adjacent to public open space lakes will receive an "open space railing" to establish continuity throughout the development. See pages 82-83 for fencing examples.

FIGURE 7.1 FENCING AND WALLS MAP

Neighborhood Elements Legend

SYMBOL	FEATURE TYPE
	Open View Fence (5' Tall Tubular Steel Fence)
	7' Tall Community Wood Fence
	Open Space Railing
	6' Tall Lot Fencing
	6' Tall Decorative Lot Fencing

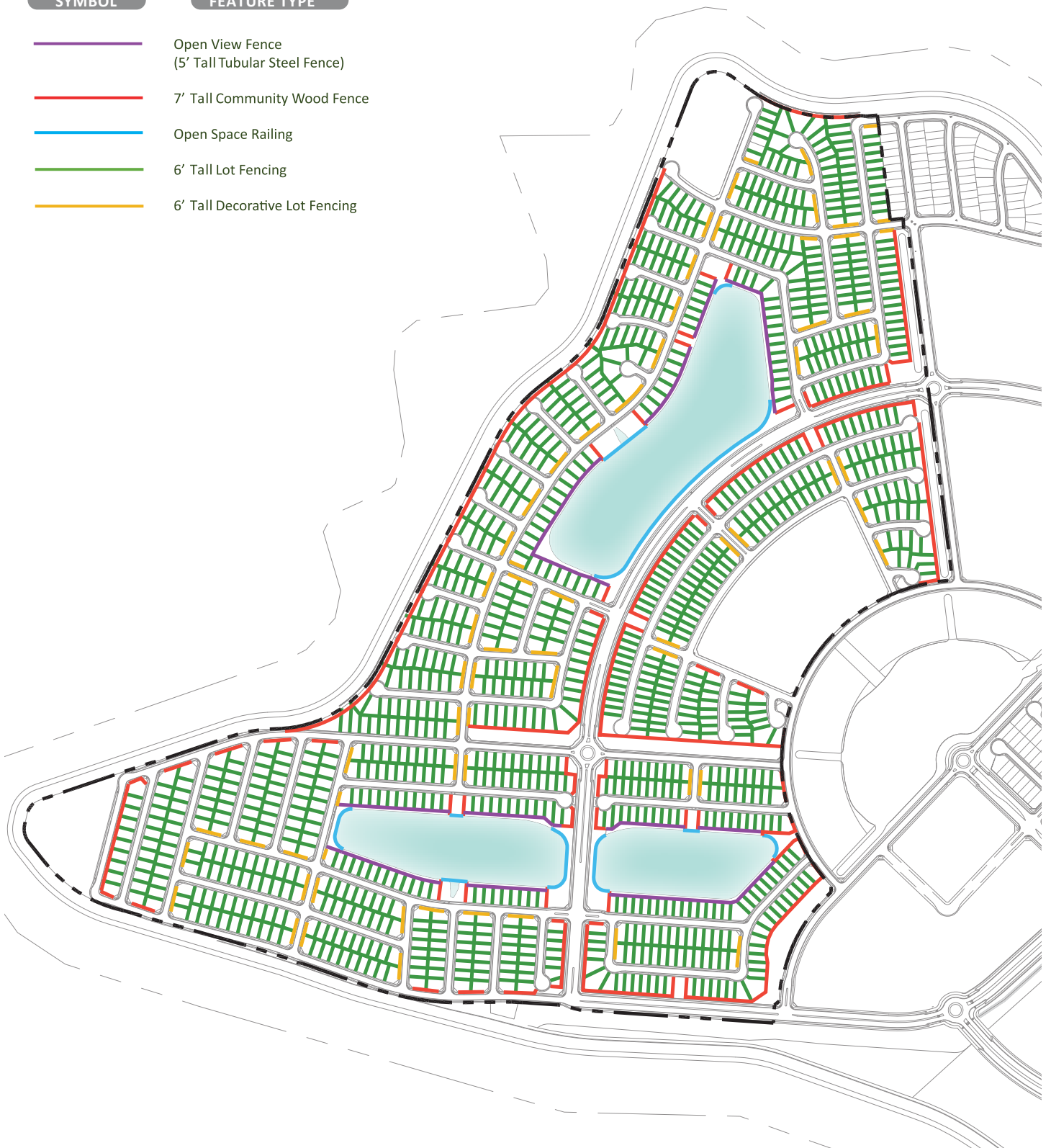


FIGURE 7.2 FENCING AND WALLS IMAGERY



8' Tall Masonry Column with 6' Tall Community Masonry Wall



6' Tall Masonry Wall



8' Tall Masonry Column with Decorative Wood Community Fence



6' Tall Decorative Wood Lot Fencing



7' Tall Decorative Wood Community Fence



6' Tall Wood Side Yard (Lot to Lot) Fence



5' Tall to 6' Tall Lake Front Transition Fence



8' Tall Masonry Column with Open View Fence (5' Tall Tubular Steel Fence)



8' Tall Masonry Column with 5' Tall Lake Front Transition Fence



Open Space Rail Fence

FIGURE 7.3 TYPICAL INTERIOR LOT FENCING LAYOUT

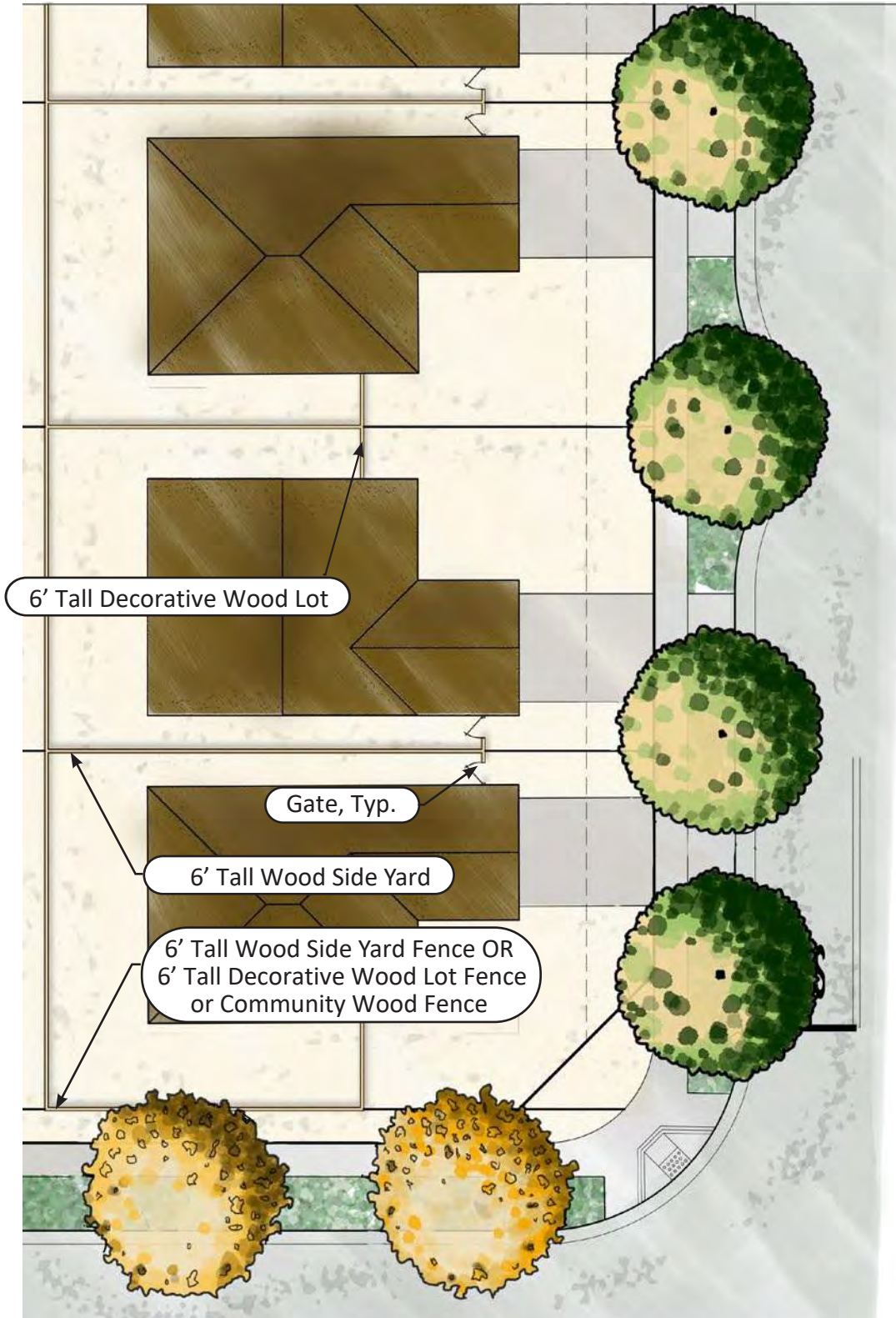
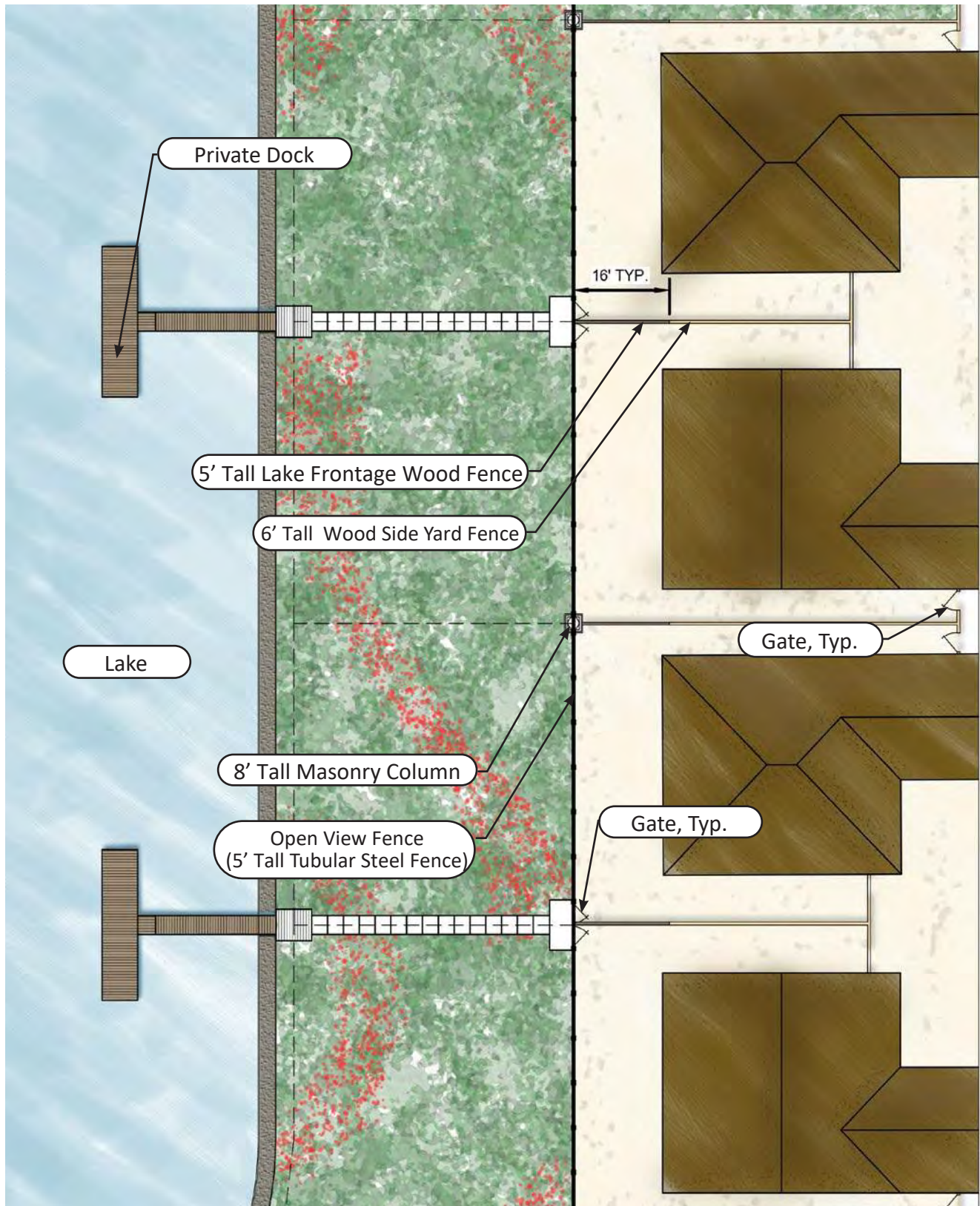


FIGURE 7.4 TYPICAL LAKE FRONTAGE FENCING LAYOUT





Chapter 8

SITE FURNISHINGS

SITE FURNISHINGS

8.1 SITE FURNITURE

Site Furnishings within the Woodlands West Neighborhoods should be made up of consistent materials, colors, and themes to promote community sense of place and identifiable neighborhood character, while creating aesthetic value and blending with the region’s agricultural and natural environment. Site furniture should follow these guidelines:

- Site furniture should be attractive and inviting, yet durable enough to withstand heavy use.
- Site furniture will be manufactured to include the River Islands logo to reinforce consistent community sense of place.
- Post concise, bilingual signage (English & Spanish) requiring dog owners to clean up after their pets.
- Add dog waster bag dispensers at prominent entrances and at intervals along pedestrian pathways at park facilities.
- Fixtures should be selected that will discourage lying down. Handrail-divided or curvilinear benches are options.
- Site furniture and other fixtures should discourage skateboarding and activities in non-designated areas.



- Site furniture should be made of durable material that can withstand heavy use.
- Select fixtures that will not create visual obstructions or potential blind spots which could impair surveillance.
- Provide trash receptacles at locations that may be easily monitored and emptied by maintenance staff.
- Park signs will include the River Islands logo and City of Lathrop logo to reinforce commitment to the community.
- Site furniture will be approved by the City of Lathrop. Drinking fountains should include an option for dog watering stations where appropriate.



8.2 COLORS AND PAVING

The color palette for the Woodlands West Neighborhoods should be based upon earthy, natural colors derived from the Delta Valley and riparian themes. These colors should be used on structures for public spaces such as parks, open spaces, trails, bridges, site furnishings, and hardscapes.

Pavement concepts should establish strong, bold direct lines wide enough to encourage multi-directional use. Colors should be earth tones with contrasting shades to establish differing paths or shapes.

River Islands Colors and Paving



8.3 STREET LIGHTS AND BOLLARDS

The lighting concept for the Woodlands West Neighborhoods will continue the feel and physical characteristics of street lights established in initial phases of River Islands development.

Landscape lighting includes:

- Street Lights
- Bollard Lighting
- Special feature lighting at neighborhood gateways



Bollard Light



Arterial Street Lights



Collector/Residential Street Lights

8.4 STREET FURNITURE

Street furniture should be available to all and provide a benefit to the community by enhancing use of all spaces. Benches should be welcoming and comfortable, located to create destinations and promote both recreational use as well as visual engagement with the community. All furnishings with logos will include the City of Lathrop’s logo.

Street furniture includes:

- Benches
- Bike racks
- Trash receptacles
- Bollards
- Bus shelters

River Islands Street Furnishings

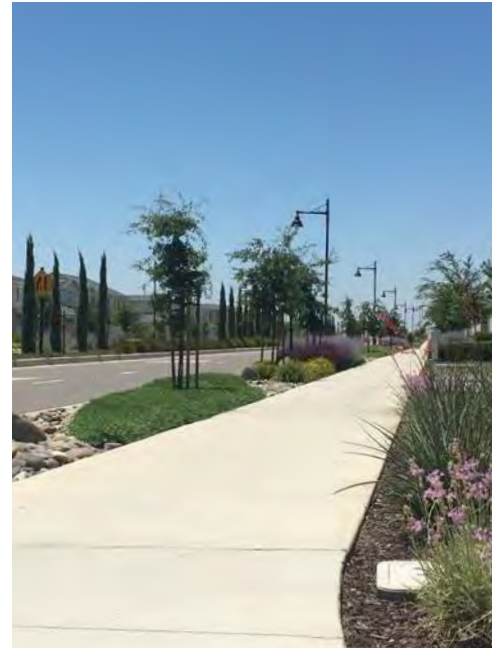


8.5 SIGNAGE

Signage helps the public travel through spaces and establishes order. Proposed signage continues the theme of the River Islands Master Plan by evoking images typical of waterways and the historic nature of the valley's rural communities. Signage is intended to be placed in parkway strips that are a minimum 5' wide and up to 15'. Signage height shall be a minimum of 7' when adjacent or within sidewalk. Street signs shall comply with the current version of CA MUTCD.

Signage includes:

- Street signs
- Neighborhood/Amenity signs





Appendix

APPENDIX A

Example of Construction and Plant Materials



4"- 8" Inch Cobbles



Decomposed Granite



1 1/2 Inch Crushed stone



Colored Asphalt w/ Pattern



2 Inch Minus Cobble



Large Boulders



Colored Concrete w/ Pattern



Granite Blocks

APPENDIX B

PARKS & OPEN SPACE PLANT SPECIES LIST

APPROPRIATE PLANT SPECIES FOR PARKS & OPEN SPACES WITHIN RI PHASE 2 WOODLANDS WEST							
Parks	Trail*	Botanical Name	Common Name	Use Height	Use Width	Water Use	Attributes
Trees							
	✓	<i>Acer negundo</i> var. <i>californica</i>	California Box Elder	30'-50'	50'	M	
✓	✓	<i>Acer rubrum</i> 'Armstrong', 'October Glory', Redpointe'	Red Maple Varieties	40'-50'	15'	M	
✓		<i>Aesculus carnea</i>	Red Horsechestnut	40'	30'	M	
	✓	<i>Alnus rhombifolia</i>	White Alder	50'-90'	40'-60'	H	
✓	✓	<i>Arbutus unedo</i>	Strawberry Tree	8'-25'	8'-25'	L	
✓	✓	<i>Arbutus</i> 'Marina'	Marina' Strawberry Tree	20'-30'	20'-30'	L	
✓	✓	<i>Arbutus Marina</i> - ('Multi-trunked')	Strawberry Tree	15'-30'	15'-20'	L	Dark green oblong foliage with rosy pink fall flowers
✓		<i>Betula jacquemontii</i> (<i>Betula utilis jacquemontii</i>)	White Barked Himalyan Birch	40'-60'	25'-30'	H	
✓	✓	<i>Carpinus betulus</i> 'Fastigiata'	European Hornbeam	40'	30'	M	
✓	✓	<i>Catalpa speciosa</i>	Western Catalpa	40'-60'	20'-40'	M	
✓	✓	<i>Cercidium</i> x 'Desert Museum'	Desert Museum Palo Verde	20'	20'	VL	
✓	✓	<i>Cercis canadensis</i> 'Oklahoma'	Eastern Redbud	25'-35'	25'-35'	M	
✓	✓	<i>Cercis occidentalis</i>	Western Redbud	10'-20'	10'-20'	VL	
	✓	<i>Cercocarpus betuloides</i>	Island Mountain Mahogany	5'-20'	5'-20'	VL	
✓	✓	<i>Chilopsis linearis</i> 'Monhews'	Timeless Beauty Desert Willow	15'-20'	15'-20'	VL	Fragrant showy purple flowers
✓	✓	<i>Cupressus sempervirens</i>	Mediterranean Cypress	40'	20'	VL	
✓	✓	<i>Ginkgo biloba</i> 'Autumn Gold' (Male only)	Ginkgo, 'Autumn Gold'	35'-40'	25'-35'	M	Use male only varieties
✓	✓	<i>Gleditsia tracanthos</i>	Golden Honey Locust	60'-80'	60'-80'	L	
✓	✓	<i>Koelreuteria paniculata</i>	Goldenrain Tree	20'-35'	25'-40'	M	
✓	✓	<i>Juniperus</i> 'Staked'	Juniper	15'-25'	15'-20'	L	Red Flowers
✓	✓	<i>Lagerstroemia</i> x <i>fauriei</i> 'Natchez'	Natchez Crape Myrtle	20'-30'	15'-20'	L	White flowers
✓	✓	<i>Lagerstroemia</i> x <i>faurei</i> 'Natchez' - 'Multi-Trunked'	Natchez Crape Myrtle	15'-20'	12' Wide	L	White flowers
✓	✓	<i>Lagerstroemia</i> x <i>fauriei</i> 'Muskogee'	Muskogee Crape Myrtle	20'-30'	15'-20'	L	Lavender flowers
✓	✓	<i>Magnolia grandiflora</i> 'D.D. Blanchard'	D.D. Blanchard Magnolia	50'	25'-35'	M	Evergreen
✓	✓	<i>Malus</i> 'Snowdrift'	Flowering Crabapple	15'-20'	15'-20'	M	White flowers
✓	✓	<i>Olea europaea</i> 'Swan Hill'	Swan Hill Olive	25'-30'	25'-30'	VL	Evergreen fruitless
✓		<i>Parkinsonia aculeata</i>	Mexican Palo Verde	15'-20'	10'-20'	VL	

APPROPRIATE PLANT SPECIES FOR PARKS & OPEN SPACES WITHIN RI PHASE 2 WOODLANDS WEST							
Parks	Trail*	Botanical Name	Common Name	Use Height	Use Width	Water Use	Attributes
✓		<i>Pinus pinea</i>	Stone Pine	40'-80'	40'-60'	L	
✓		<i>Pinus radiata</i>	Monterey Pine	80'-100'	25'-35'	M	
✓	✓	<i>Pistacia chinensis</i> 'Pearl Street', 'Red Push' or 'Keith Davey'	Chinese Pistache Varieties	30'-60'	50'	L	
✓		<i>Platanus Xacerifolia</i> 'Bloodgood'	Bloodgood London Plane	40'-50'	25'-30'	M	
✓		<i>Platanus X acerifolia</i> 'Columbia'	Columbia London Plane	40'-50'	25'-40'	M	
✓		<i>Platanus racemosa</i>	California Sycamore	50'-90'	30'-50'	M	
	✓	<i>Populus alba</i> 'Pyramidalis'	Seedless Bolleana Poplar	50'	15'	M	
	✓	<i>Populus fremontii</i>	Fremont Cottonwood	40'-60'	30'-40'	M	
	✓	<i>Populus nigra</i> 'Italica'	Lombardy Poplar	100'	15'-30'	M	
		<i>Prunus cerasifera</i> 'Krauter Vesuvius'	Krauter Vesuvius Cherry Plum	15'-20'	15'-20'	M	
		<i>Pyrus calleryana</i> 'Bradford'	Bradford Pear	30'-50'	20'-35'	M	
✓		<i>Prosopis glandulosa</i> 'Maverick'	Texas Mesquite	25'-30'	25'-30'	L	
✓	✓	<i>Quercus agrifolia</i>	Coast Live Oak	20'-70'	40'-80'	VL	
✓	✓	<i>Quercus coccinea</i>	Scarlet Oak	60'-80'	40'-60'	M	
✓	✓	<i>Quercus douglasii</i>	Blue Oak	30'-50'	40'-70'	VL	
✓		<i>Quercus ilex</i>	Holly Oak	40'-60'	40'-60'	L	
✓	✓	<i>Quercus lobata</i>	Valley Oak	50'-75'	50'-80'	L	
✓		<i>Quercus muehlenbergii</i>	Chinquapin Oak	40'-50'	50'-60'	M	
✓	✓	<i>Quercus robur</i>	English Oak	50'-60'	30'	M	
✓		<i>Quercus suber</i>	Cork Oak	30'-60'	30'-60'	L	
✓		<i>Quercus virginiana</i>	Southern Live Oak	40'-80'	60'-90'	M	
✓		<i>Quercus wislizenii</i>	Interior Live Oak	30'-70'	30'-70'	VL	
✓		<i>Robinia</i> 'Purple Robe'	Purple Robe Robinia			L	
	✓	<i>Salix goodingii</i>	Gooding's Black Willow	10'-25'		H	
	✓	<i>Salix laevigata</i>	Red Willow	15'-30'		H	
	✓	<i>Salix lucida</i> var. <i>lasiandra</i>	Pacific Willow			H	
✓	✓	<i>Schinus molle</i>	California Pepper tree	25'-40'	25'-40'	L	
✓		<i>Tilia cordata</i> 'Greenspire'	Greenspire Littleleaf Linden	30'-50'	15'-30'	M	
✓		<i>Ulmus parvifolia</i> 'Drake'	Chinese Drake Elm	40'-60'	50'-70'	M	Weeping Habit
✓		<i>Ulmus x 'Frontier'</i>	Frontier Elm	30'-40'	20'-31'	M	
✓	✓	<i>Ulmus x 'Patriot'</i>	Patriot Elm	40'	25'	L	
✓	✓	<i>Ulmus x 'Emerald Sunshine'</i>	Emerald Sunshine Elm	35'	25'-30'	M	
✓	✓	<i>Ulmus wilsoniana</i> 'Prospector'	Prospector Elm	40'-50'	25'-30'	L	
✓	✓	<i>Umbellularia californica</i>	California Laurel	20'-35'	20'-35'	M	
✓	✓	<i>Zelkova serrata</i> 'Green Vase'	Zelkova, Green Vase	50'	50'	M	

APPROPRIATE PLANT SPECIES FOR PARKS & OPEN SPACES WITHIN RI PHASE 2 WOODLANDS WEST							
Parks	Trail*	Botanical Name	Common Name	Use Height	Use Width	Water Use	Attributes
Shrubs (Large Background)							
✓	✓	Abelia grandiflora (varieties)	Glossy Abelia	5'-8'	5'	M	
	✓	Agave filifera		2'-3'	2'-3'	L	
✓	✓	Anisodonteia x hypomandarum	Cape Mallow	4'	4'	M	Purple/pink flowers
✓	✓	Arbutus u. 'Oktoberfest'	Strawberry Tree	6'-8'	6'-8'	L	Dark green foliage
✓	✓	Berberis thunbergii	Japanese Barberry	4'-6'	4'-6'	L	
✓	✓	Buddleja davidii	Butterfly Bush	6'-10'	6'-10'	M	
✓	✓	Carpenteria californica	Bush Anemone	3'-6'	3'-6'	L	
	✓	Cephalanthus occidentalis	Button Willow	3'-15'	3'-15'	M	
✓	✓	Cistus hybridus (Cistus corbariensis)	White Rockrose	2'-5'	2'-4'	L	
✓	✓	Cistus ladanifer (Cistus ladaniferus maculatus)	Crimson-Spot Rockrose	3'-5'	3'-5'	L	
✓	✓	Cistus x purpureus	Orchid Roserock	4'	4'	M	Dark pink flowers
	✓	Cornus stolonifera (sericea) 'Bailey'	Red-Twigged Dogwood	6'-8'	6'-8'	H	
✓		Cotinus coggygria (Rhus cotinus) 'Purpureus'	Smoke BTree	15'	15'	L	
✓		Coprosma repens	Mirror Plant	3'-5'	4'-6'	M	
✓	✓	Dodonaea viscosa 'Purpurea'	Purple Hopseed Bush	10'	8'-10'	L	Red/burgundy foliage
✓	✓	Elaeagnus pungens	Silverberry	6'-15'		L	
	✓	Eriogonum fasciculatum	California Buckwheat	1'-3'	4'	L	
✓		Fremontodendron californicum	California Flannelbush			VL	
✓	✓	Grevillea x 'Noelii'	Noelii Grevillea	5'	6'	L	Glossy lime green needle-like foliage with pink and white flowers
✓	✓	Heteromeles arbutifolia	Toyon	6'-10'		VL	
✓	✓	Laurus nobilis	Bay Laurel	12'-40'		L	
✓	✓	Lavatera maritima	Tree Mallow	6'	6'	L	Gray-Green foliage with light pink/purple flowers
✓	✓	Lavatera thuringiaca 'Mrs Barnsley'	Mallow			L	
✓	✓	Leucophyllum frutescens 'Compactum'	Texas Ranger	4'-5'	4'-5'	L	
	✓	Lorepetalum chinese 'Rubrum'	Chinese Fringe Flower	3'-6'	3'-6'		Red/burgunday foliage, Pink Flowers
✓	✓	Lupinus arboreus	Yellow Bush Lupine	5'-8'	5'-8'	L	
✓	✓	Mahonia aquifolium	Oregon Grape	6'		M	
✓	✓	Nerium oleander 'Little Red'	Dwarf Red Oleander	4'	4'	L	Red flowers
✓	✓	Nerium oleander 'Petite Pink'	Dwarf Pink Oleander	4'	4'	L	Pink flowers

APPROPRIATE PLANT SPECIES FOR PARKS & OPEN SPACES WITHIN RI PHASE 2 WOODLANDS WEST							
Parks	Trail*	Botanical Name	Common Name	Use Height	Use Width	Water Use	Attributes
✓		<i>Osmanthus fragrans</i>	Sweet Olive	10'	10'-12'	M	
✓		<i>Osmanthus x fortunei</i>	Hybrid Tea Olive	6'-20'	10'-12'	M	
	✓	<i>Philadelphus lewisii</i>	Wild Mock-orange	4'-10'	6'-10'	M	
	✓	<i>Philadelphus 'Belle Etoile'</i>	Purple Spot Mock Orange	5'-7'	5'-7'	M	
✓		<i>Phormium x tenax 'Atropurpureum'</i>	New Zealand Flax	4'-5'	4'-5'	L	Burgundy-bronze bladed foliage
✓		<i>Phormium 'Yellow Wave'</i>	Yellow Wave New Zealand Flax	4'-5'	4'-5'	M	Yellow and lime green bladed foliage
✓	✓	<i>Prunus caroliniana 'Brite N Tight'</i>	Compact Carolina Cherry Laurel	8'-10'	4'-5'	L	
✓		<i>Raphiolepis indica</i>	India Hawthorn	4'-5'		L	
✓		<i>Raphiolepis indica 'Clara'</i>	India Hawthorn	3'-5'	3'-5'	L	
✓		<i>Raphiolepis indica 'Springtime'</i>	India Hawthorn	4'-6'		L	
✓	✓	<i>Raphiolepis umbellata</i>	Yeddo Hawthorn	4'-6'	4'-6'	L	
✓	✓	<i>Rhamnus californica 'Mound San Bruno'</i>	San Bruno Coffeberry	3'-15'	8'	L	
✓	✓	<i>Rhamnus californica 'Eve Case'</i>	Eve Case Coffeberry	4'-8'	4'-6'	L	
✓	✓	<i>Rhamnus crocea</i>	Redberry	2'-3'	3'-6'	L	
✓	✓	<i>Rhamnus tomentella</i>	Hoary Coffeberry			L	
	✓	<i>Ribes aureum (var. gracillimum)</i>	Golden Currant	3'-6'		L	
✓		<i>Ribes sanguineum</i>	Pink Flowering Currant	4'-12'		L	
	✓	<i>Rosa californica 'Plena'</i>	California Wild Rose			L	
✓	✓	<i>Salvia gregii</i>	Autumn Sage			L	
✓		<i>Teucrium fruticans</i>	Bush Germander	4'-8'	4'-10'	L	Gray leaves, lavender flowers
✓		<i>Viburnum t. 'Spring Bouquet'</i>	Spring Bouquet Viburnum	4'-6'	4'-6'	M	Deep green leathery foliage with tight clusters of pink buds and white flowers
✓	✓	<i>Xylosma congestum</i>	Shiny Xylosma	8-10'	8-10'	L	
Shrubs (Medium Foreground)							
✓	✓	<i>Abelia grandiflora. (varieties)</i>	Glossy abelia	1'-4'	4'-6'		
✓	✓	<i>Berberis thunbergii (varieties)</i>	Japanese Barberry	3'-5'	3'-5'	M	Deep red/burgundy foliage
✓	✓	<i>Callistemon citrinus 'Compacta'</i>	Bottlebrush			L	
✓	✓	<i>Callistemon viminalis 'Little John' or 'Captain Cook'</i>	Dwarf Bottlebrush	3'	3'	L	
✓	✓	<i>Coleonema pulchrum (varieties)</i>	Pink Breath of Heaven	3'-4'	4'	M	Light green foliage with tiny pink flowers
✓	✓	<i>Mahonia aquifolium 'Compacta'</i>	Compact oregon grape	2'-3'	4'	M	

APPROPRIATE PLANT SPECIES FOR PARKS & OPEN SPACES WITHIN RI PHASE 2 WOODLANDS WEST

Parks	Trail*	Botanical Name	Common Name	Use Height	Use Width	Water Use	Attributes
✓	✓	<i>Myrsine africana</i>	African Boxwood	3'-8'	3'-6'	L	
✓	✓	<i>Olea Europaea</i> 'Little Ollie'	Little Ollie Dwarf Olive	4'-6'	4'-6"	L	
✓	✓	<i>Raphiolepis indica</i> 'Ballerina'	Dwarf Pink Indian Hawthorne	2'	4'	L	Pink flowers
✓	✓	<i>Salvia greggii</i> / <i>Salvia x jamensis</i>	Autumn Sage	3-4'	2'	L	
✓	✓	<i>Salvia greggii</i> 'Alba'		1'-4'	1'-4'	L	
✓	✓	<i>Salvia microphylla</i>	Mint Bush Sage	3-5'	4'-8'	M	
✓	✓	<i>Spiraea japonica</i>	Spiraea	2'-3'	3'-4'	M	
✓	✓	<i>Spiraea japonica bumalda</i> 'Goldflame'	Goldflame Spirea	3'-4'	4'	M	Yellow-green foliage with pink/red flowers
✓	✓	<i>Viburnum davidii</i>	David Viburnum	3'-4'	3'-4'	M	Part shade, large glossy green deep veined foliage, pink buds and white flowers
✓		<i>Zauschneria californica</i>	California Fuschia	3'	3'-4'	L	Gray Leaves with red flowers
Shrubs (Accents)							
	✓	<i>Achillea millefolium californica</i>	Yarrow	1-3'	1-3'	L	
	✓	<i>Achillea millefolium rosea</i> 'Island Pink'	Pink Yarrow	1'-3'		L	
	✓	<i>Achillea tomentosa</i>	Woolly Yarrow	6"		L	
	✓	<i>Agapanthus africanus</i> 'Queen Anne'	Semi-Dwarf Blue Lily-of-the Nile	1'-2'	1'-2'	M	
	✓	<i>Amsonia tabernaemontana</i>	Blue Star Flower	2'-3'		M	
	✓	<i>Aquilegia eximia</i>	Serpentine Columbine	2'	1-3'	L	
✓	✓	<i>Artemisia</i> 'Powis Castle'	Powis Castle Sagebrush	3'	6'	L	
	✓	<i>Asclepias fascicularis</i>	Narrow-leaved Milkweed	1'-3'	1'	L	
✓	✓	<i>Dietes bicolor</i>	Fortnight Lily, Bicolor Iris	2'-3'	2'-3'	L	Yellow flowers
✓	✓	<i>Erigeron karvinskianus</i>	Santa Barbara Daisy	1'-2'	3'-5'	L	White with some pink flowers
✓		<i>Helleborus x hybridus</i>	Lenten Rose	1'-2'	1'-2'	M	Part Shade
✓	✓	<i>Hemorcallis x 'Stella de Oro'</i>	Stella De Oro Dwarf Daylily	2'	2'	M	Heavy clusters of large yellow flowers
✓	✓	<i>Hesperaloe parviflora</i>	Coral Yucca	2'	2'	L	
✓	✓	<i>Heuchera</i> 'Lillian's Pink'	Lillian's Pink Coral Bells	1'-2'	1'-2'	L	
✓	✓	<i>Heuchera</i> 'Rosada'	Rosada Coral Bells	1'-2'	1'-2'	M	
✓	✓	<i>Heuchera sanguinea</i>	Coral Bells	1'-2'	1'-2'	M	
	✓	<i>Iris</i> 'Canyon Snow'	Canyon Snow Pacific Iris	1'-2'	1'-2'	M	
✓	✓	<i>Kniphofia uvaria</i>	Red Hot Poker	2'-3'	2'-3'	M	
✓	✓	<i>Lavandula angustifolia</i>	English Lavender	8"-2'	8"-2'	L	

APPROPRIATE PLANT SPECIES FOR PARKS & OPEN SPACES WITHIN RI PHASE 2 WOODLANDS WEST							
Parks	Trail*	Botanical Name	Common Name	Use Height	Use Width	Water Use	Attributes
✓	✓	Lavandula a. 'Buena Vista'	English Lavender	2'	2'	L	Gray-green foliage with deep violet blue flowers
✓	✓	Lavandula 'Goodwin Creek Grey'	Goodwin Creek Lavender	2'-3'	3'-4'	L	
✓	✓	Lavandula stoechas 'Otto Quast'	Otto Quast Spanish Lavender	18"-3'	2'-3'	L	
✓		Liriope muscari	Lily Turf	1'-1 1/2'	1'-2'	M	
✓	✓	Lupinus albifrons	Bush Lupine	3-5'	2-3'	L	
✓	✓	Penstemon heterophylus 'Margarita" Bop	Foothill Penstemon	1'-3'	1'-2'	L	Lavender flowers
✓	✓	Penstemon species				M-L	
✓	✓	Penstemon spectabilis	Showy Penstemon	3'-4'	3'-4'	M-L	
✓	✓	Perovskia a. 'Little Spire'	Little Spire Russian Sage	2'	2'	L	Vertical spikey gray-green foliage with lavender-blue flowers
✓		Phormium tenax 'Apricot Queen'	New Zealand Flax	3'	5'	M	Yellow wit green margined bladed foliage
✓		Phormium tenax 'Dusky Chief'	New Zealand Flax	5'-6'	4'-5'	M	Reddish brown bladed foliage
✓		Phormium tenax 'shirazz'	New Zealand Flax			M	
✓	✓	Salvia speices	Sage			L-M	
✓	✓	Salvia 'Bee's Bliss'	Bee's Bliss Salvia	1'-2'	4'-6'	M	
✓	✓	Salvia m. 'Hot Lips'	Hot Lips Sage	2'-3'	2'-3'	L	Red/white flowers
✓	✓	Salvia 'Mrs. Beard'	Mrs. Beard Salvia	1'-2'	3 - 4'	L	
✓	✓	Salvia sonomensis	Creeping Sage	8"-12"	2'-3'	L	
✓	✓	Salvia spathacea	Hummingbird Sage	1'-2'	3'-4'	L	
	✓	Solidago californica	California Goldenrod	1-3'	18"-3'	L	
	✓	Symphyotrichum chilense	California aster	1-3'		L	
✓	✓	Tulbaghia violacea	Society Garlic	18"	18"	L	Purple flowers
✓	✓	Tulbaghia v. 'Silver lace'	Variegated Society Garlic	18"	18"	L	Silver/white blades w/ purple flowers
✓	✓	Zauschneria californica 'Catalina'	Island California Fuschia	1-3'	1-3'	L	
✓	✓	Zauschneria californica	California Fuschia	2-3'	18"-3'	L	
Shrubs (Grasses)							
✓		Bouteloua gracilis	Blue Grama Grass	6"-18"	6"-1'	L	
✓	✓	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster's Feather Reed Grass	2'-3'	2'	L	Stunning vertical feathery plumes, turn golden in fall
✓	✓	Carex barbarae	White Santa Barbara Sedge	1'-3'	1'-3'	M	Deep green native meadow grass

APPROPRIATE PLANT SPECIES FOR PARKS & OPEN SPACES WITHIN RI PHASE 2 WOODLANDS WEST

Parks	Trail*	Botanical Name	Common Name	Use Height	Use Width	Water Use	Attributes
✓	✓	<i>Carex divulsa</i>	Berkeley Sedge	18"-2'	18"-2'	L	Deep green clumping evergreen grass
✓	✓	<i>Carex pansa</i>	California Meadow Sedge	6"-8"	1'	M	
✓	✓	<i>Carex praegracilis</i>	Clustered-field Sedge	1'	6"	M	
✓	✓	<i>Carex testacea</i>	Orange Sedge	18"-24"	18"-24"	M	Evergreen, green and orange spring / summer, vibrant orange in winter
✓	✓	<i>Chondropetalum tectorum</i>	Cape Rush	2'-3'	3'-4'	H	
✓	✓	<i>Deschampsia cespitosa</i>	Tufted Hair Grass	1'-3'	1'-3'	L	
✓	✓	<i>Deschampsia elongata</i>	Slender Hair Grass	3'		L	
✓	✓	<i>Eleocharis macrostachys</i>	Spike Rush	3'	2'	L	
✓	✓	<i>Elymus glaucus</i> 'Anderson'	Blue Wild Rye	2-3'	2'	L	
✓	✓	<i>Elymus triticoides</i>	Creeping Wildrye			L	
✓	✓	<i>Eschscholzia californica</i>	California Poppy	1'	1.5'	VL	
✓	✓	<i>Festuca californica</i>	California Fescue	2'-3'	2-3'	M	
✓		<i>Festuca idahoensis</i> 'Siskiyou Blue'	Blue Bunch Grass	1'-2'	112"	L	
✓	✓	<i>Festuca mairei</i>	Atlas Fescue	2'-3'	2-3'	L	Evergreen clumping yellowish gray-green foliage
✓	✓	<i>Festuca occidentalis</i>				M	
✓	✓	<i>Festuca ovina</i> 'Glauca'	Elijah's Blue, Blue Festuca	4"-10"	6"	M	
✓	✓	<i>Festuca rubra</i>	Red Fescue	3"-12"	6"	M	
✓	✓	<i>Grindelia camporum</i>	Gum Plant	1'-3'	1'-3'	L	
✓	✓	<i>Helictotrichon sempervirens</i>	Blue Oat Grass	2'-3'		L	
✓	✓	<i>Hordeum brachyantherum</i> 'Californicum'	Meadow Barley			VL	
	✓	<i>Imperata cylindrica</i> 'Rubra'	Japanese Blood Grass	1'-2'	1'	H	
	✓	<i>Juncus balticus</i> (<i>balticus</i> ?)	Baltic Rush	3'		H	
	✓	<i>Juncus effusus</i>	Pacific Rush	3'-6'	3'	H	
	✓	<i>Juncus patens</i>	California Gray Rush	2'	2'	H	
	✓	<i>Leersia oryzoides</i>	Rice Cutgrass			M	
✓	✓	<i>Leymus condensatus</i> 'Canyon Prince'	Canyon Prince Wild Rye	2'-4'	3'	VL	
✓	✓	<i>Leymus triticoides</i> 'Grey Dawn'	Creeping Wild Rye	2'	18"	VL	
✓	✓	<i>Lomandra l.</i> 'Breeze'	Dwarf Mat Rush	2'-3'	2'-4'	L	
✓	✓	<i>Melica imperfecta</i>	Coast Melic Grass, Oniongrass	1'-2'	1'-2'	VL	
✓	✓	<i>Melica californica</i>	Melica	4'		L	
✓	✓	<i>Miscanthus sinensis</i>	Japanese Silver Grass	5'-6'	3'-4'	M	

APPROPRIATE PLANT SPECIES FOR PARKS & OPEN SPACES WITHIN RI PHASE 2 WOODLANDS WEST							
Parks	Trail*	Botanical Name	Common Name	Use Height	Use Width	Water Use	Attributes
✓	✓	Miscanthus sinensis 'Morning Light'	Variegated Eulalia	5'-6'	3'-4'	M	
✓	✓	Muhlenbergia capillaris	Hairy Awn Muhly	3'	6'	L	
✓	✓	Muhlenbergia rigens	Deer Grass	4'	4'	L	
✓	✓	Nasella pulchra 'Yolo'	Purple Needle Grass	2'	2'-3'	L	Self-sows
✓	✓	Pennisetum alopecuroides 'Little Bunny'	Dwarf Fountain Grass	18"	18"	L	Trim to ground in winter
✓	✓	Pennisetum alopecuroides 'Moudry'	Black Fountain Grass	18"-2'	18"-2'	L	
✓	✓	Pennisetum orientale	Oriental Fountain Grass	12"-18"	12"-18"	L	
✓	✓	Pennisetum setaceum 'Rubrum'	Red Fountain Grass	3'-4'	3'-4'	L	
✓	✓	Scirpus americanus	Three-square Bulrush	5'	5'	H	
✓	✓	Scirpus actus var. occidentalis	Hardstem Bulrush	5'-8'	5'-8'	H	
✓	✓	Scirpus californica	California Bulrush	6"-10"	6"-10"	H	
✓	✓	Scirpus microcarpus	Small-fruited Bulrush	6"-10"	6"-10"	H	
	✓	Sporobolus airoides	Alkali Sacaton	1'-3'	3'	VL	
✓	✓	Stipa cernua	Nodding Feather Grass	2'-3'	2'-3'	VL	
✓	✓	Stipa pulchra	Purple Needle Grass	1'-2'	1'-2'	L	
✓	✓	Stipa gigantea	Giant Feather Grass	2'-3'	2'-3'	VL	
✓	✓	ETY Mix (Carex Divulsa, Eschscholzia californica, Festuca Idahoensis, Layaia platyglossa, Salvia l. "Bee's Bliss", Sysyinchium idahoensis)	Entry Mix	1'-2'	1'-2'	L	
✓	✓	Native Mow Free Mix (Festuca idahoensis, Festuca rubra, Festuca occidentalis)	No Mow Fescue	12"-18"		M	
Shrubs (Groundcovers)							
✓		Acacia r. 'Desert Carpet'	Desert Carpet Acacia	1'-2'	10'-12'	L	Leathery gray green foliage with puffy yellow ball shaped flowers
✓	✓	Arctostaphylos 'Pacific Mist'	Pacific mist manzanita	2'-3'	4'-6'	L	
✓	✓	Artemisia californica 'Montara'	California Sagebrush	18"-5'		L	
✓	✓	Artemesia 'Powis Castle'	Powis Castle Artemesia	3'	5'	M	gray green foliage
✓		Baccharis pilularis	Coyote Bush			L	
✓		Baccharis pilularis 'Pigeon Point'	Dwarf Coyote Brush	6'	6'	L	
✓	✓	Ceanothus griseus horizontalis 'Yankee Point'	Yankee Point Ceanothus	2'-3'	8'	L	Blue flowers
✓	✓	Ceanothus maritimus 'Valley Violet'	Valley Violet Maritime Lilac	2'	4'	L	
✓	✓	Ceanothus thyrsiflorus 'Skylark'	Blueblossom	3'-6'	5'	L	

APPROPRIATE PLANT SPECIES FOR PARKS & OPEN SPACES WITHIN RI PHASE 2 WOODLANDS WEST							
Parks	Trail*	Botanical Name	Common Name	Use Height	Use Width	Water Use	Attributes
✓	✓	Ceanothus 'Concha'	Concha Ceanothus	6'-7'	6'-8'	L	
✓	✓	Ceanothus 'Dark Star'	Dark Star California Lilac	5'-6'	8'-10'	L	
✓	✓	Ceanothus 'Joyce Coulter'	Wild California Lilac	3'-5'	8'-10'	L	
✓	✓	Ceanothus 'Ray Hartman'	Ray Hartman California	12'-20'	15'-20'	L	
✓	✓	Cistus salvifolius	Sageleaf Rockrose	2'	6'	L	
✓	✓	Coprosma kirkii	Kirk's Coprosma	2-3'		L	
✓	✓	Cotoneaster dammeri (varieties)	Bearberry Cotoneaster	8"	6'-8'	L	White flowers, red berries
✓	✓	Cotoneaster lacteus (Cotoneaster parneyi)		8'	10'	L	
✓	✓	Cotoneaster microphyllus	Rockspray Cotoneaster	2-3'	6'	L	
✓	✓	Erigeron 'Wayne Roderick'	Wayne Roderick Seaside Daisy	8"	1 1/2'	M	
✓	✓	Erigeron karvinskianus	Santa Barbara Daisy	10"-20"	3'	L	
	✓	Eschscholzia californica	California Poppy	1'	1.5'	VL	
✓		Hypericum calycinum	Aaron's Beard	1'		M	
✓		Juniperus horizontalis 'Prince of Wales'	Creeping Juniper	1'	3'-6'	L	
✓		Lessingia flaginifolia var. californica 'Silver Carpet'	Silver Carpet California-Aster			M	
	✓	Lobularia maritima	Sweet Alyssum	2"-12"	8"-12"	M	Self-sows
	✓	Lupinus microcarpus	Chick Lupine	2 1/2'	18"-2'	M	Annual
	✓	Myrtus communis 'Compacta'	Myrtle	2'-3'	2'-3'	L	
✓		Oenothera hookeri	Evening Primrose	1'-3'	1'-3'	L	
	✓	Ribes viburnifolium	Evergreen Currant	3'-6'	12'	L	
✓		Rosa 'Noamel'	Apple Blossom Flower Carpet Rose	2'	3'	M	White/pink flowers
✓		Rosa 'Noare'	Red Flower Carpet Rose	2'	3'	M	Red flowers
✓	✓	Rosa 'Noaschnee'	White Flower Carpet Rose	2'	3'	M	White flowers
✓		Rosa 'Noatraum'	Pink Flower Carpet	2'	3'	M	Pink flowers
✓		Rosmarinus o. 'Irene'	Rosemary	1'-1 1/2'	2"-3"	L	Blue flowers
✓		Rosmarinus o. Prostratus	Creeping Rosemary	2'	4'	L	Blue flowers
	✓	Sisyrinchium bellum	Blue-eyed Grass	4"-12"	6"-24"	L	
✓		Trachelospermum asiaticum	Asian Jasmine	2'	10'	M	
✓		Trachelospermum jasminoides	Star Jasmine	2'	10'	M	
Vines							
	✓	Aristolochia californica	California Pipevine			L	
✓		Clematis armandii 'Snow Drift'	Evergreen clematis	15-20'		M	

APPROPRIATE PLANT SPECIES FOR PARKS & OPEN SPACES WITHIN RI PHASE 2 WOODLANDS WEST							
Parks	Trail*	Botanical Name	Common Name	Use Height	Use Width	Water Use	Attributes
✓		<i>Clytostoma callistegioides</i>	Violet Trumpet Vine			M	
✓		<i>Distictis buccinatoria</i>	Trumpet Vine	20'-30'		M	Red flower
✓	✓	<i>Ficus pumila</i>	Creeping Fig	10'		M	
✓	✓	<i>Hardenberdia violacea</i> 'Happy Wanderer'	Hardenbergia Vine	10'		M	Purple flower
✓		<i>Jasminum polyanthum</i>	Pink Jasmine	20'		M	
✓		<i>Lonicera hispidula</i>	Honeysuckle	3-10'		L	Yellow flower
✓		<i>Macfadyena unguis-cati</i>	Cats Claw	20-40'		L	Yellow flower
	✓	<i>Vitis californica</i>	California Wild Grape	12-30'		VL	Deciduous
✓		<i>Wisteria sinensis</i> 'Alba' or 'Cooke's Special'	Chinese Wisteria	10'-20'		M	

* Trails near waterways, bioswales, or other stormwater related infrastructure

Note: Current conditions and regulations do not allow irrigation, and thus horticultural plantings, to be installed on the levee and within 20' of the levee toe. It is possible that regulations may change, and that other design features such as "super levees" will be allowed to include irrigation and planting. If conditions and regulations are revised by the State, modifications to landscaping will be considered.