

# May 11, 2020 – City Council Regular Meeting – 7:00 p.m.



City Council Chamber  
390 Towne Centre Drive  
Lathrop, California  
(209) 941-7200  
[www.ci.lathrop.ca.us](http://www.ci.lathrop.ca.us)

## City Council

Sonny Dhaliwal, Mayor  
Martha Salcedo, Vice Mayor  
Paul Akinjo  
Diane Lazard  
Jennifer Torres-O'Callaghan

## City Staff

Stephen Salvatore, City Manager  
Salvador Navarrete, City Attorney  
Teresa Vargas, City Clerk  
Glenn Gebhardt, City Engineer  
Michael King, Public Works Director  
Cari James, Finance & Administrative Services Director  
Mark Meissner, Community Development Director  
Zachary Jones, Parks & Recreation Director  
Ryan Biedermann, Chief of Police

## General Order of Business

1. Preliminary
  - Call to Order
  - Closed Session
  - Roll Call
  - Invocation
  - Pledge of Allegiance
  - Announcements by Mayor/City Mgr.
  - Informational Items
  - Declaration of Conflict of Interest
2. Presentations
3. Citizen's Forum
4. Consent Calendar
5. Scheduled Items
  - Public Hearings
  - Appeals
  - Referrals and Reports from Commissions and Committees
  - All Other Staff Reports and/or Action Items
  - Study Sessions
6. Council Communications
7. Adjournment

## Order of Discussion

Generally, the order of discussion after introduction of an item by the Mayor will include comments and information by staff followed by City Council questions and inquiries. The applicant, or their authorized representative, or interested residents, may then speak on the item; each speaker may only speak once to each item. At the close of public discussion, the item will be considered by the City Council and action taken.

## Consent Calendar

Items on the Consent Calendar are considered to be routine by the City Council and will be enacted by one motion and one vote. There will be no separate discussion of these items unless a Councilmember or interested resident so requests, in which case the item will be removed from the Consent Calendar and considered separately.



**MAY 11, 2020 – Regular Meeting Agenda – 7:00 p.m.**



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See Reverse

## **Addressing the Council**

Any person may speak once on any item under discussion by the City Council after receiving recognition by the Mayor. Purple speaker cards will be available prior to and during the meeting. To address City Council, a card must be submitted to the City Clerk indicating name, address and number of the item upon which a person wishes to speak. When addressing the City Council, please walk to the lectern located in front of the City Council. State your name and address. In order to ensure all persons, have the opportunity to speak, a time limit will be set by the Mayor for each speaker (see instructions on speaker form). In the interest of time, each speaker may only speak once on each individual agenda item; please limit your comments to new material; do not repeat what a prior speaker has said. If you challenge the nature of a proposed action in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City Council at, or prior to, the public hearing.

## **Citizen's Forum**

Any person desiring to speak on a matter which is not scheduled on this agenda may do so under the Citizen's Forum section. Please submit your purple speaker card to the City Clerk prior to the commencement of Citizen's Forum. Only those who have submitted speaker cards, or have expressed an interest to speak, prior to the conclusion of Citizen's Forum will be called upon to speak. Please be aware the California Government Code prohibits the City Council from taking any immediate action on an item which does not appear on the agenda, unless the item meets stringent statutory requirements. The Mayor will limit the length of your presentation (see instructions on speaker form) and each speaker may only speak once on this agenda item.

## **Public Participation**

Attendance to this meeting is allowed with the following guidelines. However, in accordance with Executive Order N-25-20, guidance from the California Department of Public Health on gatherings, and to protect our employees and the public, public participation is allowed in the following additional ways:

- Council Meetings are live-streamed on Comcast Cable Channel 97 and on the City's website at <https://www.ci.lathrop.ca.us/citycouncil/page/live-stream>
- Public comment/questions will be accepted by email to City Clerk Teresa Vargas at [Tvargas@ci.lathrop.ca.us](mailto:Tvargas@ci.lathrop.ca.us)
- In order to allow the City Council adequate time to review questions and comments, please submit written questions or comments by 3:00 p.m., on the day of the meeting.

If you have travelled internationally and/or you have had direct contact with someone who has travelled internationally or tested positive for Coronavirus (COVID-19), or you are experiencing symptoms such as coughing, sneezing, fever, difficulty breathing or other flu-like symptoms, please DO NOT ATTEND this meeting in person.

If you are in the group of individuals who may be most vulnerable to COVID-19, including older adults and those with underlying health conditions, including but not limited to heart disease, lung disease, immune-compromised, diabetes, or other conditions that could interfere with your ability to fight COVID-19, please consider carefully before attending this meeting in person and keep a six-foot distance from others as much as possible.

To leave a voice message for the Mayor and all Councilmembers simultaneously, dial (209) 941-7230. To send an e-mail for the Mayor and all Councilmembers simultaneously email: [citycouncil@ci.lathrop.ca.us](mailto:citycouncil@ci.lathrop.ca.us)

**This City Council Agenda and meeting materials can be accessed by computer or any smart device at: <https://www.ci.lathrop.ca.us/meetings>**

**LIVE STREAMING & CLOSED CAPTIONING – Available, please visit the City Council Webpage: <https://www.ci.lathrop.ca.us/citycouncil/page/live-stream>**

## **Information**

Copies of the Agenda are available in the lobby at the Lathrop City Hall, 390 Towne Centre Drive, Lathrop, on Thursday preceding a regularly scheduled City Council meeting. Supplemental documents relating to specific agenda items are available for review in the City Clerk's Office. This agenda was posted at the following locations: City Hall, Community Center, Generations Center, Senior Center, and the Lathrop-Manteca Fire District "J" Street and Somerston Parkway Offices. The meetings of the Lathrop City Council are broadcast on Lathrop Comcast Cable Television Channel 97.

Assistance will be provided to those requiring accommodations for disabilities in compliance with the Americans with Disabilities Act of 1990. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility and/or accommodations to this meeting. [28 CFR 35.102-35.104 ADA Title II] Interested persons must request the accommodation at least 2 working days in advance of the meeting by contacting the City Clerk at (209) 941-7230.

Information about the City or items scheduled on the Agenda may be referred to:

City of Lathrop  
Teresa Vargas, City Clerk  
390 Towne Centre Drive, Lathrop, CA 95330  
Telephone: (209) 941-7230

**CITY OF LATHROP  
CITY COUNCIL REGULAR MEETING  
MONDAY, MAY 11, 2020  
7:00 P.M.  
COUNCIL CHAMBER, CITY HALL  
390 Towne Centre Drive  
Lathrop, CA 95330**

**AGENDA**

**PLEASE NOTE: There will be a Closed Session commencing at 6:45 p.m. The Regular Meeting will reconvene at 7:00 p.m., or immediately following the Closed Session, whichever is later.**

**1. PRELIMINARY**

1.1 CALL TO ORDER

1.2 CLOSED SESSION

1.2.1 CONFERENCE WITH LABOR NEGOTIATOR Pursuant to Government Code Section 54957.6  
Agency Negotiator: Stephen J. Salvatore, City Manager  
Employee Organization: Service Employees International Union (SEIU) Local 1021

1.2.2 CONFERENCE WITH LABOR NEGOTIATOR Pursuant to Government Code Section 54957.6  
Agency Negotiator: Stephen J. Salvatore, City Manager  
Employee Organization: Lathrop Mid-Managers and Confidential Employees Association (LMCEA)

1.2.3 CONFERENCE WITH LABOR NEGOTIATOR Pursuant to Government Code Section 54957.6  
Agency Negotiator: Stephen J. Salvatore, City Manager  
Unrepresented Employees: Chief Information Officer, City Clerk, City Engineer, Director of Administrative Services, Director of Community Development, Director of Finance, Director of Parks and Recreation, Director of Public Works and Human Resources Manager

**RECONVENE**

1.2.4 REPORT FROM CLOSED SESSION

1.3 ROLL CALL

1.4 INVOCATION

1.5 PLEDGE OF ALLEGIANCE

1.6 ANNOUNCEMENT(S) BY MAYOR / CITY MANAGER



1.7 INFORMATIONAL ITEM(S) – None

1.8 DECLARATION OF CONFLICT(S) OF INTEREST

2. **PRESENTATIONS** - None

3. **CITIZEN'S FORUM**

Any person desiring to speak on a matter which is not scheduled on this agenda may do so under Citizen's Forum. Please submit a purple speaker card to the City Clerk prior to the commencement of Citizen's Forum. Only those who have submitted speaker cards, or have expressed an interest to speak, prior to the conclusion of Citizen's Forum will be called upon to speak. Please be aware the California Government Code prohibits the City Council from taking any immediate action on an item which does not appear on the agenda, unless the item meets stringent statutory requirements.

The City Council can, however, allow its members or staff to briefly (no more than five (5) minutes) respond to statements made, to ask questions for clarification, make a brief announcement or report on his or her own activities. (See California Government Code Section 54954.2(a)). Unless directed otherwise by a majority of the City Council, all questions asked and not answered at the meeting will be responded to in writing within 10 business days. ALL PUBLIC COMMENTS MUST BE MADE IN COMPLIANCE WITH THE LATHROP CITY COUNCIL HANDBOOK OF RULES AND PROCEDURES!!

4. **CONSENT CALENDAR**

Items on the Consent Calendar are considered to be routine by the City Council and will be enacted by one motion and one vote. There will be no separate discussion of these items unless the Mayor, Councilmember, or citizen so requests, in which event the item will be removed from the Consent Calendar and considered separately.

4.1 WAIVING OF READING OF ORDINANCES AND RESOLUTIONS

Waive the Reading in Full of Ordinances and Resolutions on Agenda and Adopt by Reading of Title Only, Unless Otherwise Requested by the Mayor or a Councilmember

4.2 APPROVAL OF MINUTES

Approved Minutes for the Regular Council Meeting of March 9, 2020.

4.3 APPROVAL OF MINUTES

Approved Minutes for the Special Council Meeting of March 19, 2020.

4.4 APPROVAL OF MINUTES

Approved Minutes for the Regular Council Meeting of April 13, 2020.

4.5 TREASURER'S REPORT FOR MARCH 2020

Approve Quarterly Treasurer's Report for March 2020

- 4.6 RATIFY CONTRACT AMENDMENT WITH CONDOR EARTH TECHNOLOGIES, INC. FOR ENGINEERING SUPPORT SERVICES  
Adopt Resolution Ratifying the City Manager's Action to Execute Amendment No. 1 to Professional Services Agreement with Condor Earth Technologies, Inc. to Provide Engineering Support Services
- 4.7 CIP PK 19-17 SENIOR CENTER IMPROVEMENTS BUDGET AMENDMENT  
Adopt a Resolution Approving an Increase in Funding for Capital Improvement Project PK 19-17 Senior Center Improvements and Related Budget Amendment
- 4.8 CREATE CIP PK 20-23 FOR IMPROVEMENTS AT THE LATHROP GENERATIONS CENTER  
Adopt Resolution Approving the Creation of CIP PK 20-23 for the Design and Installation of Improvements at the Lathrop Generations Center and Related Budget Amendment
- 4.9 CREATE CIP GG 20-24 BACK-UP GENERATOR INSTALLATION AT THE COMMUNITY CENTER  
Adopt Resolution Approving the Creation of CIP GG 20-24 Community Center Backup Power Generator, Related Budget Amendment and Ratification of the Purchase
- 4.10 APPROVE CONSTRUCTION CONTRACT AND AUTHORIZE THE CITY MANAGER TO SIGN CALTRANS AGREEMENT FOR CIP PS 18-03 TRAFFIC SIGNAL INSTALLATION – INTERSECTION OF GOLDEN VALLEY PARKWAY & SPARTAN WAY  
Adopt Resolution Approving a Construction Contract and Authorizing the City Manager to Sign a Caltrans Agreement Between the City and Mike Brown Electric Co. for Construction of CIP PS 18-03 Traffic Signal Installation – Intersection of Golden Valley Parkway & Spartan Way and Related Budget Amendment
- 4.11 APPROVAL OF PARCEL MAP 20-02, DEDICATION OF PARCEL 5 TO THE CITY, SUBDIVISION IMPROVEMENT AGREEMENT, AND JOINT ESCROW INSTRUCTIONS FOR NORTH CROSSROADS BUSINESS CENTER  
Adopt Resolution Approving the North Crossroads Business Center Parcel Map 20-02, Totaling Five (5) Lots, Accepting Dedication to the City of Parcel 5, and Approving Subdivision Improvement Agreement and Related Joint Escrow Instructions
- 4.12 APPROVAL OF THE PRELIMINARY ENGINEER'S REPORT AND DECLARING INTENTION TO LEVY ANNUAL ASSESSMENTS FOR FISCAL YEAR 2020/21 FOR INDUSTRIAL LIGHTING MAINTENANCE DISTRICT; RESIDENTIAL LIGHTING MAINTENANCE DISTRICT; MOSSDALE LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT; STONEBRIDGE LANDSCAPE MAINTENANCE DISTRICT; STONEBRIDGE DRAINAGE AND LIGHTING DISTRICT; STORM DRAIN DISTRICT ZONE 1; AND STORM DRAIN DISTRICT ZONE 1A

Council to Consider the Following:

1. Adopt a Resolution Approving the Preliminary Engineer's Report for the Industrial Lighting Maintenance District and Declaring Intention to Levy Annual Assessments for Fiscal Year 2020/21
2. Adopt a Resolution Approving the Preliminary Engineer's Report for the Residential Lighting Maintenance District and Declaring Intention to Levy Annual Assessments for Fiscal Year 2020/21
3. Adopt a Resolution Approving the Preliminary Engineer's Report for the Mossdale Landscape and Lighting Maintenance District and Declaring Intention to Levy Annual Assessments for Fiscal Year 2020/21
4. Adopt a Resolution Approving the Preliminary Engineer's Report for the Stonebridge Landscape Maintenance District and the Stonebridge Drainage & Lighting District and Declaring Intention to Levy Annual Assessments for Fiscal Year 2020/21
5. Adopt a Resolution Approving the Preliminary Engineer's Report for the Storm Drain Districts Zones 1 and 1A and Declaring Intention to Levy Annual Assessments for Fiscal Year 2020/21

4.13 APPROVAL OF THE PRELIMINARY ENGINEER'S REPORT AND DECLARING INTENTION TO LEVY ANNUAL ASSESSMENTS FOR FISCAL YEAR 2020/21 FOR LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT NO. 93-1 (WOODFIELD PARK)

Adopt a Resolution Approving the Preliminary Engineer's Report for Landscape and Lighting Maintenance District No. 93-1 (Woodfield Park) and Declaring Intention to Levy Annual Assessments for Fiscal Year 2020/21

*RIVER ISLANDS CONSENT ITEM(S)*

4.14 APPROVAL OF FINAL MAP AND SUBDIVISION IMPROVEMENT AGREEMENT (SIA) FOR 44 LOTS IN TRACT 4021 VILLAGE "S" WITHIN LAKESIDE EAST DISTRICT OF RIVER ISLANDS Adopt Resolution Approving a Final Map for Tract 4021 Village "S" within the Lakeside East District of River Islands, Totaling 44 Single Family Detached Units (44 Lots), and a Subdivision Improvement Agreement with River Islands Development, LLC, and City of Lathrop Annexation No. 12 CFD

**5. SCHEDULED ITEMS**

5.1 CONSIDER APPEAL OF THE PLANNING COMMISSION'S DECISION TO APPROVE THE CFT PHASE 2 PROJECT

Council to Consider the Following:

1. Consider All Written and Oral Information Presented in this Report and at the Meeting of May 11, 2020; and

2. Adopt a Resolution to Affirm the Planning Commission's Decision to Approve Resolution No. 20-6 for a Site Plan Review for the Construction of a 1,608 sq. ft. Sonic Drive-In Restaurant on a 0.69 Acre Site and an 862 Sq. Ft. Dutch Brothers Coffee with Drive-Through on a 0.49 Acre Site, with Related Site Work Including Landscaping, Lighting, and Frontage Improvements

5.2 CREATE AN EMERGENCY GENERAL ASSISTANCE PROGRAM UTILIZING CDBG-CV ALLOCATION, AUTHORIZE USE OF MEASURE D FUNDS FOR A SMALL BUSINESS ASSISTANCE PROGRAM, AND APPROVE RESPECTIVE BUDGET AMENDMENTS

Council to Consider the Following:

1. Adopt a Resolution to Accept CDBG-CV Allocation for Creation of an Emergency General Assistance Grant Program and Authorize Budget Amendment; and
2. Adopt a Resolution Establishing a Small Business Assistance Grant Program and Authorizing Its Funding with the Use of Measure D Funds Pursuant to a Budget Amendment

5.3 CITY OF LATHROP COMMUNITY EVENT CANCELLATIONS DUE TO THE CORONAVIRUS (COVID-19)

Review and Adopt Resolutions Cancelling Community Events in Compliance with the Governor's Shelter at Home Order Due to the COVID-19 Pandemic

**6. COUNCIL COMMUNICATIONS**

6.1 MAYOR & COUNCILMEMBER COMMITTEE REPORT(S)

- *Central Valley Executive Committee/LOCC (Akinjo/Salcedo)*
- *Council of Governments (Dhaliwal/Lazard)*
- *Integrated Waste Management Solid Waste Division (Akinjo/Torres-O'Callaghan)*
- *Reclamation District 17 Joint Powers Authority (Salvatore)*
- *San Joaquin Partnership Board of Directors (Salvatore)*
- *San Joaquin County Commission on Aging (Zavala)*
- *San Joaquin Valley Air Pollution Control District (Akinjo/Dhaliwal)*
- *Water Advisory Board (Torres-O'Callaghan/Lazard)*
- *Tri Valley-San Joaquin Valley Regional Rail Authority (Akinjo)*
- *San Joaquin Area Flood Control Agency (Akinjo & Lazard)*

6.2 MAYOR & COUNCILMEMBER COMMENT(S)

**7. ADJOURNMENT**

*/Teresa Vargas/*

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Teresa Vargas, CMC  
City Clerk

**CITY OF LATHROP  
CITY COUNCIL REGULAR MEETING  
MONDAY, MARCH 9, 2020  
7:00 P.M.  
COUNCIL CHAMBER, CITY HALL  
390 Towne Centre Drive  
Lathrop, CA 95330**

**MINUTES**

**PLEASE NOTE: There was a Closed Session which commenced at 6:31 p.m. The Regular Meeting reconvened at 7:07 p.m.**

**1. PRELIMINARY**

1.1 CALL TO ORDER – Mayor Dhaliwal called the meeting to order at 6:31 p.m.

1.2 CLOSED SESSION

1.2.1 CONFERENCE WITH LEGAL COUNSEL: Anticipated Litigation - Significant Exposure to Litigation Pursuant to Government Code Section 54956.9(b)

- 3 Potential Case(s)

**RECONVENE** – Mayor Dhaliwal reconvened the meeting at 7:07 p.m.

1.2.2 REPORT FROM CLOSED SESSION

City Attorney Salvador Navarrete reported that the City Council met in Closed Session pursuant to Item 1.2 and provided staff with appropriate direction; no other reportable action was taken.

1.3 ROLL CALL Present: Mayor Dhaliwal; Vice Mayor Salcedo; Councilmembers: Akinjo, Lazard and Salcedo.

Absent: Councilmember Torres-O’Callaghan

1.4 INVOCATION – Pastor Troy Stein, New Life Church, provided the invocation.

1.5 PLEDGE OF ALLEGIANCE – Pastor Troy Stein led the pledge of allegiance.

1.6 ANNOUNCEMENT(S) BY MAYOR / CITY MANAGER

City Manager Stephen Salvatore provided an overview of the Public Safety Power Shutoff (PSPS) Resiliency Program Funding, grant award in the amount of \$185,000, to be used for the Lathrop Community Center backup power generator.

1.7 INFORMATIONAL ITEM(S) – None

1.8 DECLARATION OF CONFLICT(S) OF INTEREST

Councilmember Lazard declared a conflict of interest with Items 4.14 and 5.1, due to her employment with Dell’Osso Family Farms.

## **2. PRESENTATIONS**

2.1 INTRODUCTION OF NEW EMPLOYEES:

Public Works Director Michael King introduced new employee Hailey Emery, Permit Technician in the Public Works Building Division.

2.2 PRESENTATION: SUSTAINABLE GROUNDWATER MANAGEMENT ACT OVERVIEW

City Clerk Teresa Vargas announced public comment letter received from Martin Harris regarding Item 2.2. Director of Public Works Michael King introduced Consultant Kristen Pringle, Associate Public Affairs Specialist with Stantec. Mr. King and Ms. Pringle provided the presentation and responded to questions of the Council.

2.3 PRESENTATION: CITY OF LATHROP POLICE STATION CONSTRUCTION UPDATE

Senior Construction Inspector Ken Reed introduced Consultant Eric Whole, Principal Architect with LDA Partners. Mr. Reed and Mr. Whole provided the presentation and responded to questions of the Council.

## **3. CITIZEN’S FORUM**

Dan Doyle (Manteca, CA) announced recently selling his property in Lathrop; expressed gratitude to staff for the assistance throughout the years.

## **4. CONSENT CALENDAR**

On a motion by Councilmember Akinjo, seconded by Councilmember Lazard, the City Council approved the Consent Calendar, except Item 4.14, by the following roll call vote, unless otherwise indicated:

Ayes: Akinjo, Lazard, Salcedo and Dhaliwal  
Noes: None  
Absent: Torres-O’Callaghan  
Abstain: None

*\*Item 4.14 was voted on by the City Council separately, following the vote of the Consent Calendar, due to declared conflict of interest by Councilmember Lazard on Item 1.8.*

*\*\*City Clerk Teresa Vargas announced public comment letter, dated March 9, 2020, addressing Consent Items 4.5, 4.6, 4.7, 4.8, 4.9, 4.10, 4.11, 4.12, 4.13, 4.14, and Schedules Items 5.1, 5.2, 5.3 and 5.4, submitted by Martin Harris with Terra Land Group, LLC. The letter was distributed to the City Council (via their tablets; same process as the agenda) and copies were made available for the public at the beginning of the meeting.*

*\*\*\* City Clerk Teresa Vargas announced public comment letter, dated March 2, 2020, addressing Consent Item 4.12, submitted by Christine Mendes. The letter was distributed to the City Council (via their tablets; same process as the agenda) and copies were made available for the public at the beginning of the meeting. Ms. Mendes also provided a supplemental letter during the meeting.*

#### 4.1 WAIVING OF READING OF ORDINANCES AND RESOLUTIONS

Waived the reading in full of ordinances and resolutions on agenda and adopt by reading of title only, unless otherwise requested by the Mayor or a Councilmember.

#### 4.2 APPROVAL OF MINUTES

Approved Minutes for the Regular Council Meeting of February 10, 2020.

#### 4.3 SECOND READING AND ADOPTION OF ORDINANCE 20-413 BY TITLE ONLY AMENDING LATHROP MUNICIPAL CODE SECTION 3.20.070(A), AMOUNT TO BE PAID AND TIMING OF PAYMENT, OF THE LATHROP MUNICIPAL CODE

Waived full reading and adopted **Ordinance 20-413** by title only amending Section 3.20.070, titled "Amount to be Paid and Timing of Payment", of the City of Lathrop Municipal Code, to eliminate the allowance of Capital Facility Fee Deferral for residential developments in place of a program By Resolution.

#### 4.4 TREASURER'S REPORT FOR ~~MARCH 2020~~ DECEMBER 2019

City Clerk Teresa Vargas announced title correction for Item 4.4, from Treasurer's Report for March 2020 to December 2019; correct Treasurer's Report for December 2019 was included in the packet.

Approved, title as amended, Quarterly Treasurer's Report for ~~March 2020~~ December 2019.

#### 4.5 \*\*GENERAL PLAN HOUSING ELEMENT ANNUAL PROGRESS REPORT FOR CALENDAR YEAR 2019

Adopted **Resolution 20-4682** accepting the General Plan Housing Element Annual Progress Report for Calendar Year 2019 and authorized staff to submit the Report to the Governor's Office of Planning and Research and State Department of Housing and Community Development.

- 4.6 \*\*APPROVE AMENDMENT NO. 6 TO THE WASTEWATER TREATMENT PLANT OPERATION AND MAINTENANCE AGREEMENT WITH VEOLIA WATER WEST OPERATING SERVICES, INC.

Adopted **Resolution 20-4683** approving Amendment No. 6 to the Wastewater Plant Operation and Maintenance Agreement with Veolia Water West Operating Services, Inc., and approved associated budget amendment.

- 4.7 \*\*APPROVE PROFESSIONAL SERVICES AGREEMENT WITH CAROLLO ENGINEERS, INC. FOR WELL 21 IMPROVEMENTS CIP PW 08-09

Adopted **Resolution 20-4684** approving Professional Services Agreement with Carollo Engineers, Inc. for Phase 1 engineering design services for Well 21 Improvements, CIP PW 08-09.

- 4.8 \*\*APPROVE MASTER AND PROGRAM SUPPLEMENT AGREEMENTS WITH CALTRANS FOR CONSTRUCTION OF A TRAFFIC SIGNAL AT GOLDEN VALLEY PARKWAY AND SPARTAN WAY FOR CIP PS 18-03

Adopted **Resolution 20-4685** approving Master and Program Supplement Agreements with Caltrans for the Construction of a Traffic Signal at Golden Valley Parkway and Lathrop Road/Spartan Way, CIP PS 18-03.

- 4.9 \*\*APPROVE PROFESSIONAL SERVICES AGREEMENT WITH PEI FOR LOUISE AVENUE REHABILITATION, PURSUANT TO CITYWIDE ROAD MAINTENANCE AND REPAIR PROGRAM CIP PS 18-01

Adopted **Resolution 20-4686** approving Professional Services Agreement with Pavement Engineering Inc. for Louise Avenue pavement rehabilitation, pursuant to the Citywide Road Maintenance and Repair Program, CIP PS 18-01.

- 4.10 \*\*APPROVE FEE CREDIT AGREEMENT WITH LATHROP LAND ACQUISITIONS, LLC AND SJAFCA FOR ULOP FLOOD PROTECTION DEVELOPMENT IMPACT FEES

Adopted **Resolution 20-4687** approving a Fee Credit Agreement with Lathrop Land Acquisitions, LLC, ("Saybrook") and San Joaquin Area Flood Control Agency (SJAFCA) for Urban Level of Flood Protection (ULOP) Development Impact Fees.

- 4.11 \*\*APPROVE PUBLIC INFRASTRUCTURE CREDIT AND REIMBURSEMENT AGREEMENT RELATING TO THE CENTRAL LATHROP SPECIFIC PLAN AREA

Adopted **Resolution 20-4688** approving a Public Infrastructure Credit and Reimbursement Agreement with Saybrook CLSP, LLC and Lathrop Land Acquisition, LLC, relating to the Central Lathrop Specific Plan Area.



4.12 \*\*/\*\*APPROVAL OF PARCEL MAP 19-03, SUBDIVISION IMPROVEMENT AGREEMENT, AND JOINT ESCROW INSTRUCTIONS FOR LATHROP GATEWAY BUSINESS PARK

Christine Mendes and Frank Mendes (18401 S. McKinley Avenue) expressed various concerns related to the Lathrop Gateway Business Park Specific Plan development project. Trevor Smith (Vice Present, Lazares Company) developer of the proposed item provided additional information related to the project.

Adopted **Resolution 20-4689** approving the Lathrop Gateway Business Park Parcel Map 19-03, totaling two (2) lots, and approving Subdivision Improvement Agreement and related joint escrow instructions with Lathrop Gateway 1, LLC.

4.13 \*\*ACCEPTANCE OF CENTRAL LATHROP PUBLIC IMPROVEMENTS FOR TRACTS 3808, 3809, 3810, 3811, AND 3812

Adopted **Resolution 20-4690** approving public improvements for Tracts 3808, 3809, 3810, 3811, and 3812 in the Central Lathrop Development Area.

*RIVER ISLANDS CONSENT ITEM(S)*

*Councilmember Lazard recused herself, following the vote of the consent calendar (Items 4.1-4.13), and left the chamber/dais at 7:59 p.m., prior to the vote of Item 4.14, due to declared conflict of interest as noted in Item 1.8.*

On a motion by Vice Mayor Salcedo, seconded by Mayor Dhaliwal, the City Council approved Item 4.14, by the following roll call vote, unless otherwise indicated:

Ayes: Akinjo, Salcedo and Dhaliwal  
Noes: None  
Absent: Torres-O'Callaghan  
Abstain: Lazard

4.14 \*\*/\*\*APPROVE TASK ORDER NO. 12 FOR J.B. ANDERSON LAND USE PLANNING TO PROVIDE CONTRACT PLANNING SERVICES FOR THE RIVER ISLANDS PHASE 2 PROJECT

Adopted **Resolution 20-4691** approving Task Order No. 12 for J.B. Anderson Land Use Planning to provide professional contract planning services to manage and process the River Islands Phase 2 Project.

## 5. SCHEDULED ITEMS

### *RIVER ISLANDS SCHEDULED ITEM(S)*

- 5.1 \*\*PUBLIC HEARING (PUBLISHED NOTICE) TO CONSIDER GENERAL PLAN AMENDMENT, ZONING MAP AMENDMENT AND AMENDMENT TO THE PRELIMINARY DEVELOPMENT PLAN FOR THE RIVER ISLANDS PHASE 1 PROJECT

Community Development Director Mark Meissner provided the presentation. A question and answer period ensued throughout the presentation.

Mayor Dhaliwal opened the public hearing. Susan Dell'Osso (Project Director, River Islands Development) provided additional project information and responded to questions of the Council. There were no other speakers. Mayor Dhaliwal closed the public hearing.

On a motion by Vice Mayor Salcedo, seconded by Councilmember Akinjo, the City Council considered the following:

1. Held a public hearing; and
2. Adopted **Resolution 20-4692** approving the General Plan map amendment from residential low to residential medium and mixed use for three (3) parcels within the River Islands phase 1 project and amendment to the phase 1 preliminary development plan for stage 2B (GPA-19-131 and PDP-19-133); and
3. Introduced and waived reading of an ordinance approving a zoning map amendment from residential low to residential medium and mixed use for the River Islands phase 1 project. (REZ-19-132)

Ayes: Akinjo, Salcedo and Dhaliwal  
Noes: None  
Absent: Torres-O'Callaghan  
Abstain: Lazard

### *GENERAL SCHEDULED ITEM(S)*

*Councilmember Lazard returned to the chamber/dais after Item 5.1, at 8:15 p.m. for the remainder of the meeting.*

- 5.2 \*\*PUBLIC HEARING (PUBLISHED NOTICE) TO CONSIDER ADOPTION OF THE CITY OF LATHROP SEWER REIMBURSEMENT CAPITAL FACILITIES FEES STUDY AND THE FEES RECOMMENDED THEREIN

Principal Engineer Jay Davidson provided the presentation. A question and answer period ensued throughout the presentation.

Mayor Dhaliwal opened the public hearing. There were no speakers. Mayor Dhaliwal closed the public hearing.

On a motion by Councilmember Akinjo, seconded by Councilmember Lazard, the City Council considered the following:

1. Held a public hearing; and
2. Adopted **Resolution 20-4693** approving the City of Lathrop Sewer Reimbursement Capital Facilities Fees Study and the fees recommended therein.

Ayes: Akinjo, Lazard, Salcedo and Dhaliwal  
Noes: None  
Absent: Torres-O'Callaghan  
Abstain: None

### 5.3 \*\*BIENNIAL BUDGET FISCAL YEAR (FY) 2019–2020 MID-YEAR REPORT

City Clerk Teresa Vargas announced into the record revised Attachment H to the staff report. The revised attachment was distributed to the City Council and copies were made available for the public at the beginning of the meeting.

Administrative Services and Finance Director Cari James announced Accounting Manager Thomas Hedegard. Mr. Hedegard provided the presentation. A question and answer period ensued throughout the presentation.

On a motion by Vice Mayor Salcedo, seconded by Councilmember Lazard, the City Council adopted **Resolution 20-4694** approving the Mid-Year Budget Report for Year 1 of the Biennial Budget Fiscal Year 2019/20 and 2020/21, approved related budget augmentation and staffing requests.

Ayes: Akinjo, Lazard, Salcedo and Dhaliwal  
Noes: None  
Absent: Torres-O'Callaghan  
Abstain: None

### 5.4 \*\*OUT-OF-STATE TRAVEL APPROVAL FOR THE 2020 SAN JOAQUIN COUNTY ONE-VOICE TRIP

City Clerk Teresa Vargas provided the presentation. A question and answer period followed.

On a motion by Mayor Dhaliwal, seconded by Councilmember Lazard, the City Council adopted **Resolution 20-4695** authorizing Option 2, out-of-state travel for one (1) Council Member (the Council nominated Councilmember Akinjo) and the City Manager to attend the 2020 San Joaquin One Voice Trip to Washington, D.C. from May 10-14, 2020, and approved related budget amendment.

Ayes: Akinjo, Lazard, Salcedo and Dhaliwal  
Noes: None  
Absent: Torres-O'Callaghan  
Abstain: None

**6. COUNCIL COMMUNICATIONS**

**6.1 MAYOR DHALIWAL REFERRAL - Propose Discussion on Adopt-A-Park Terms, Conditions, and Guidelines**

Mayor Dhaliwal provided an overview. Council consensus directed staff to agendaize the matter to a future meeting.

**6.1 MAYOR & COUNCILMEMBER COMMITTEE REPORT(S)**

Councilmember Akinjo reported attendance to a recent San Joaquin Area Flood Control Agency public meeting.

**6.2 MAYOR & COUNCILMEMBER COMMENT(S)**

Councilmember Akinjo commented on the city's progress and improved quality of life. Councilmember Lazard commented receiving spam callers disguised as city phone lines on city issued phones. Vice Mayor Salcedo thanked those in attendance. Mayor Dhaliwal echoed Councilmember Akinjo's sentiments and commented on city's rapid growth and prosperity.

**7. ADJOURNMENT** – There being no further business, Mayor Dhaliwal adjourned the meeting at 8:56 p.m.

  
Teresa Vargas, CMC  
City Clerk



CITY OF LATHROP  
CITY COUNCIL SPECIAL MEETING

THURSDAY, MARCH 19, 2020, 5:00 P.M.

COUNCIL CHAMBER, CITY HALL  
390 Towne Centre Drive, Lathrop, CA 95330

MINUTES

**Pursuant to the Governor's Executive Order N-25-20**

On March 12, 2020, Governor Newsom issued Executive Order N-25-20, which allowed Council Members to attend City Council meetings telephonically/teleconference during the COVID-19 pandemic. The City of Lathrop City Council Members attended this meeting telephonically. Attendance by teleconference was not mandatory. The meeting was available by teleconference and in-person to the public. However, in accordance with Executive Order N-25-20, guidance from the California Department of Public Health on gatherings, and to protect our employees and the public, remote public participation was allowed.

**1. PRELIMINARY**

- 1.1 CALL TO ORDER – City Clerk Teresa Vargas provided guidelines for the teleconference meeting. Mayor Dhaliwal called the meeting to order at 5:11 p.m.
- 1.2 ROLL CALL Present: Mayor Dhaliwal; Vice Mayor Salcedo; Councilmembers: Akinjo, Lazard and Torres-O’Callaghan  
  
Absent: None
- 1.3 PLEDGE OF ALLEGIANCE – Councilmember Torres-O’Callaghan led the pledge of allegiance.

**2. SCHEDULED ITEMS**

- 2.1 CITY COUNCIL TO ADOPT RESOLUTION PROCLAIMING THE EXISTENCE OF A LOCAL EMERGENCY DUE TO IMMINENT AND PROXIMATE THREAT TO PUBLIC HEALTH FROM NOVEL CORONAVIRUS (COVID-19) IN THE CITY, AND RATIFYING THE PROCLAMATION OF LOCAL EMERGENCY BY THE CITY MANAGER IN HIS CAPACITY AS DIRECTOR OF EMERGENCY SERVICES

City Clerk Teresa Vargas provided the staff report and summary of the current local emergency due to the imminent and proximate threat to public health from COVID-19. A question and answer period followed the staff report.

On a motion by Councilmember Lazard, seconded by Councilmember Torres-O'Callaghan, the City Council adopted **Resolution 20-4696** declaring the existence of a local emergency, ratify Proclamation dated March 16, 2020, of existence of a local emergency as executed by City Manager, in his capacity of Director of Emergency Services, and approved seeking all available assistance and financial aid from Federal, State and County authorities.

Ayes: Akinjo, Lazard, Salcedo, Torres-O'Callaghan and Dhaliwal  
Noes: None  
Absent: None  
Abstain: None

- 3. ADJOURNMENT** – there being no further business, Mayor Dhaliwal adjourned the meeting at 5:23 p.m.

  
Teresa Vargas, CMC  
City Clerk

**CITY OF LATHROP  
CITY COUNCIL REGULAR MEETING  
MONDAY, APRIL 13, 2020  
7:00 P.M.  
COUNCIL CHAMBER, CITY HALL  
390 Towne Centre Drive  
Lathrop, CA 95330**

**MINUTES**

**Pursuant to the Governor's Executive Order N-25-20**

On March 12, 2020, Governor Newsom issued Executive Order N-25-20, which allowed Council Members to attend City Council meetings telephonically/teleconference during the COVID-19 pandemic. The majority of the City of Lathrop City Council Members attended this meeting telephonically. Attendance by video/teleconference was not mandatory. The meeting was available by Cisco Webex video/teleconference to the City Council and members of the public, as well as in-person participation. However, in accordance with Executive Order N-25-20, guidance from the California Department of Public Health on gatherings, and to protect our employees and the public, remote public participation was allowed.

**PLEASE NOTE: There was no Closed Session. The Regular Meeting commenced at 7:03 p.m.**

**1. PRELIMINARY**

1.1 CALL TO ORDER – Mayor Dhaliwal called the meeting to order at 7:03 p.m. City Clerk Teresa Vargas provided guidelines for the video/teleconference meeting.

1.2	ROLL CALL	Present (in person):	Mayor Dhaliwal
		Present (Webex):	Councilmembers: Akinjo, Lazard, Torres-O’Callaghan
		Absent:	*Vice Mayor Salcedo

*\*Vice Mayor Salcedo logged into the Cisco Webex video/teleconference at approximately 7:13 p.m., during the discussion of Item 4.7. However, she was declared absent for the entire meeting due to inability to connect to audio and confirm attendance.*

1.3 INVOCATION – Pastor Ryan Strong, Grace Community Church, provided the invocation.

1.4 PLEDGE OF ALLEGIANCE - Pastor Ryan Strong, led the pledge of allegiance

1.5 ANNOUNCEMENT(S) BY MAYOR / CITY MANAGER - None

1.6 INFORMATIONAL ITEM(S) – None

## 1.7 DECLARATION OF CONFLICT(S) OF INTEREST

Councilmember Lazard declared a conflict of interest with Items 4.11, 4.12 and 4.13, due to her employment with Dell'Osso Family Farms.

## 2. PRESENTATIONS - None

## 3. CITIZEN'S FORUM – There were no requests to speak from the public.

## 4. CONSENT CALENDAR

On a motion by Mayor Dhaliwal, seconded simultaneously by Councilmember Akinjo, the City Council approved the Consent Calendar, except **\*\*Items 4.11, 4.12 and 4.13**, by the following roll call vote, unless otherwise indicated:

Ayes: Akinjo, Lazard, Torres-O'Callaghan and Dhaliwal  
Noes: None  
Absent: Salcedo  
Abstain: None

*\*\*Items 4.11, 4.12 and 4.13 were voted on by the City Council separately, following the vote of the Consent Calendar, due to declared conflict of interest by Councilmember Lazard on Item 1.8.*

*\*\*\* City Clerk Teresa Vargas announced public comment letter, dated April 13, 2020, addressing Consent Items 4.7, 4.10 and 4.11, submitted by Martin Harris with Terra Land Group, LLC.*

### 4.1 WAIVING OF READING OF ORDINANCES AND RESOLUTIONS

Waived the reading in full of ordinances and resolutions on agenda and adopt by reading of title only, unless otherwise requested by the Mayor or a Councilmember.

### 4.2 APPROVE RESOLUTION DECLARING SIX POLICE VEHICLES AS SURPLUS PROPERTY AND AUTHORIZING DISPOSAL BY AUCTION

Adopted **Resolution 20-4697** declaring six police vehicles as surplus property and authorizing disposal by auction.

### 4.3 CREATE CIP GG 20-22 FOR CITY HALL PARKING LOT IMPROVEMENTS

Pulled by Councilmember Akinjo; requested additional information regarding the parking lot improvements. City Manager Stephen Salvatore provided the information.

Adopted **Resolution 20-4698** approving the creation of CIP GG 20-22 for City Hall parking lot improvements and related budget amendment.

### 4.4 APPROVE CONSTRUCTION CONTRACT FOR LATHROP GENERATION CENTER PARKING LOT CIP PK 20-01



Pulled by Councilmember Akinjo; requested additional information regarding the parking lot expansion at the Generation Center improvements. City Manager Stephen Salvatore provided the information.

Adopted **Resolution 20-4699** approving a Construction Contract with McFadden Construction, Inc. for the construction of Lathrop Generation Center parking lot CIP PK 20-01 and related budget amendment.

- 4.5 APPROVE CONSTRUCTION CONTRACT FOR RETAINING WALL LANDSCAPING CIP GG 10-17

Adopted **Resolution 20-4700** approving a Construction Contract with Odyssey Landscaping Company, Inc. for the Construction of the retaining wall landscaping CIP GG 10-17.

- 4.6 APPROVE CONSTRUCTION CONTRACT FOR SANITARY SEWER PUMP STATION UPGRADES, PURSUANT TO WOODFIELD SEWER PUMP STATION UPGRADES CIP WW 19-01, AND RELATED BUDGET AMENDMENT

Pulled by Mayor Dhaliwal; requested clarification on potential conflict of interest. City Manager Stephen Salvatore and City Attorney Salvador Navarrete confirmed there was no conflict of interest.

Adopted **Resolution 20-4701** approving a Construction Contract with GSE Construction Company Inc. for Woodfield Sewer Pump Station upgrades CIP WW 19-01 and related budget amendment.

- 4.7 \*\*RATIFY CONTRACTS WITH ASCENT AND KPFF FOR CIP WW 20-17 SURFACE WATER DISCHARGE PROJECT AND RELATED BUDGET AMENDMENT

Pulled by Councilmember Akinjo; requested additional information regarding the contract ratification. City Manager Stephen Salvatore provided the information.

Adopted **Resolution 20-4702** ratifying the City Manager's action to execute professional service agreements with Ascent Environmental and KPFF for CIP WW 20-17 surface water discharge project and approving related budget amendment.

- 4.8 ACCEPT IMPROVEMENTS FROM COLLINS ELECTRICAL COMPANY, INC. FOR THE SPARTAN WAY LIGHTED CROSSWALK WARNING SYSTEM CIP PS18-02

Adopted **Resolution 20-4703** accepting improvements from Collins Electrical Company, Inc. for the Spartan Way lighted crosswalk warning system CIP PS 18-02 and authorizing the filing of a notice of completion.

- 4.9 ACCEPT A QUITCLAIM DEED FOR PIPELINE CONSTRUCTED WITHIN CITY RIGHT-OF-WAY LOCATED ADJACENT TO TESLA DRIVE AND HARLAN ROAD

Adopted **Resolution 20-4704** accepting a Quitclaim Deed for pipeline constructed within city right-of-way located (APNs 198-120-08 / 198-140-16) adjacent to Tesla Drive and Harlan Road.

4.10 \*\*\*FISCAL YEAR 20-21 PROJECT LIST ASSOCIATED WITH SENATE BILL 1

Adopted **Resolution 20-4705** approving project list for Fiscal Year 2020-21 funded by Senate Bill 1 (SB 1) the Road Repair and Accountability Act of 2017 and related budget amendment.

*RIVER ISLANDS CONSENT ITEM(S)*

*Councilmember Lazard recused herself for the remainder of the meeting, following the vote of the consent calendar (Items 4.1 to 4.10), and logged off from Webex video/teleconference at 7:21 p.m., prior to the vote of Item 4.11, due to declared conflict of inters as noted in Item 1.8.*

On a motion by Mayor Dhaliwal, seconded by Councilmember Akinjo, the City Council approved Items 4.11, 4.12 and 4.13, by the following roll call vote, unless otherwise indicated:

Ayes: Akinjo, Torres-O'Callaghan and Dhaliwal  
Noes: None  
Absent: Salcedo  
Abstain: Lazard

4.11 \*\*/\*\*SECOND READING AND ADOPTION OF ORDINANCE 20-414 BY TITLE ONLY AMENDING LATHROP MUNICIPAL CODE ORDINANCE APPROVING A ZONING MAP AMENDMENT FROM RESIDENTIAL LOW TO RESIDENTIAL MEDIUM AND MIXED USE FOR THE RIVER ISLANDS PHASE 1 PROJECT (REZ-19-132)

Waived full reading and adopted **Ordinance 20-414** of the City Council of the City of Lathrop, by title only, approving a zoning map amendment for the River Islands Phase 1 Project (Rez-19-132).

4.12 \*\*APPROVE PROFESSIONAL SERVICES AGREEMENT WITH MACKAY & SOMPS CIVIL ENGINEERS, INC. FOR ENGINEERING AND SURVEYING SERVICES

Adopted **Resolution 20-4706** approving a professional services agreement with MacKay & Soms Civil Engineers, Inc. to provide civil engineering and surveying services associated with River Islands Parkway widening project CIP PS 06-06.

4.13 \*\*APPROVAL OF FINAL MAP AND SUBDIVISION IMPROVEMENT AGREEMENT FOR 120 UNITS (16 LOTS) IN TRACT 4022 VILLAGE "CC" WITHIN LAKESIDE EAST DISTRICT OF RIVER ISLANDS

Adopted **Resolution 20-4707** approving final map for Tract 4022 Village "CC" within the Lakeside East District of River Islands, totaling 120 single family attached condominium units (16 Lots), and a Subdivision Improvement Agreement with River Islands Development, LLC, and City of Lathrop Annexation No. 11 CFD.

**5. SCHEDULED ITEMS** – None

**6. COUNCIL COMMUNICATIONS**

6.1 MAYOR & COUNCILMEMBER COMMITTEE REPORT(S) - None

6.2 MAYOR & COUNCILMEMBER COMMENT(S)

Councilmember Torres-O'Callaghan expressed appreciation to staff for coordinating the video/teleconference meeting and the public for sheltering in place during the COVID-19 pandemic. Councilmember Akinjo and Mayor Dhaliwal echoed similar sentiments and thanked the public for their efforts during this difficult time.

**7. ADJOURNMENT** – There being no further business, Mayor Dhaliwal adjourned the at 7:27 p.m.

  
Teresa Vargas, CMC  
City Clerk

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## Quarterly Investment Report March 2020

This report presents a detailed discussion of the City’s investment portfolio as of March 31, 2020. It includes all investments managed by the City on its own behalf as well as the City’s Trustees. The report provides information on cash flows, broken down by both investment manager (City or Trustee) and by percentage allocation within the portfolio.

As of March 31, 2020, the investment portfolio was in compliance with all state laws and the City’s Investment Policy (see Attachment 1).

### Current Portfolio Summary

As directed by the Investment Policy adopted by City Council, City staff strives to attain three primary goals with the City’s investments as follows (in order of priority):

1. Safety – Preservation of the principal of invested funds
2. Liquidity – Ability to liquidate one or more of the City’s investments if unexpected expenditures arise
3. Return – Attainment of a market rate of return

The majority of the portfolio is invested in the Local Agency Investment Fund (LAIF), which is administered by the California State Treasurer’s office. LAIF provides the City with an investment vehicle with yields that are slightly greater than U.S. Treasuries (T-bills) with a 2-year maturity or less. LAIF is a high quality investment in terms of safety, liquidity, and yield. Additionally, LAIF is an “On Demand” account; meaning funds may be withdrawn upon with 1 day notice, representing maximum liquidity.

In addition to LAIF, the City holds investments in Money Market Mutual Funds, Nonnegotiable Certificates of Deposit, and State and Local Government Securities (SLGS). These investments are prudent investment choices and are included in the City’s Investment Policy as allowable investments.

Each investment mentioned above has a specific maturity date. However, much of the portfolio is On Demand. The short weighted average maturity provides the City with a great deal of liquidity during this period of heightened economic uncertainty and period of low investment yields. This liquidity places the City to invest in longer term maturity investments once interest rates begin to move up toward their historical norms; overall macroeconomic indicators signal solid and consistent growth in future years.

The following table (Table: 1) provides a summary of the City’s cash and investments, by holding party, based on recorded value as of March 31, 2020 compared with the prior quarter:

<b>Table: 1</b>				
<b>Holding Party</b>	<b>December 31, 2019</b>		<b>March 31, 2020</b>	
	<b>Fund Amounts (1)</b>	<b>% of Portfolio</b>	<b>Fund Amounts (1)</b>	<b>% of Portfolio</b>
Investments/Cash held by the City	\$121,757,615	77%	\$120,969,616	76%
Investments held by Trustees	36,970,381	23%	37,700,343	24%
<b>TOTAL</b>	<b>\$158,727,996</b>	<b>100%</b>	<b>\$158,669,959</b>	<b>100%</b>

(1) Small variances are due to the summation and rounding of multiple figures to the nearest whole dollar

Please see the following pages (Tables: 2 through 5) for a more detailed analysis of transactional additions and reductions due to cash flow needs, debt service payments, and maturities/rollovers of certain investments.

Revenues arrived during the quarter, per City staff expectations, are as follows: utility payments, property tax, franchise fees, sales tax (including Measure C), developer billing fees, grant reimbursements, building permit fees, plan check fees, and Transient Occupancy Tax (TOT).


Significant payables paid out during the quarter include:

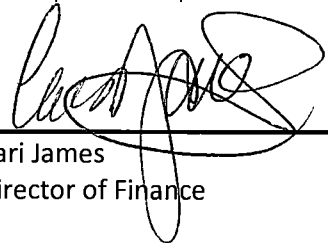
- I. Nonrecurring Expenditure Capital Improvement Projects – General Government, Parks, Streets, Water, and Wastewater
- II. Recurring Expenditures
  - a. Contractual – Park & Street Landscaping, and Water Treatment Services
  - b. Intergovernmental payments – San Joaquin County (Police Services), Lathrop Manteca Fire District, City of Manteca ( Wastewater Contract)

**Quarterly Economic Update**

According to the latest projections from PFM Asset Management, although the U.S. economy entered the year on strong footing, conditions deteriorated quickly as the COVID-19 pandemic took hold across the globe. Treasury yields plunged in response to the Fed’s new zero interest rate policy, with longer-term Treasury yields reaching new historic lows. These moves led to positive returns on Treasury indices, and as a result, the portfolio delivered strong absolute performance for the past quarter. Consumers have slowed spending as the coronavirus pandemic has closed stores and led to strict social-distancing measures. Across the U.S. Retail sales fell a record 8.7% in March, the Commerce Department reported. The previous record slump for any month was a 3.8% fall in November 2008. Locally, the San Joaquin Valley area experienced an increase in unemployment rates (San Joaquin County: 8.3%; City of Lathrop: 6.1%). Unemployment rates have quickly surpassed previously forecasted levels due to the COVID-19 pandemic, caution is key to carry out with the business demands of the City.

I certify that all of the investments reported herein are in accordance with the "City of Lathrop Investment Policy" adopted on November 5, 2012, with the Government Code, and other contractual agreements. I further certify the investments reported herein provide for the ability of the City to meet cash flow needs for the next six months.

  
 \_\_\_\_\_  
 Stephen Salvatore  
 City Manager

  
 \_\_\_\_\_  
 Cari James  
 Director of Finance

**TABLE: 2**  
**CITY OF LATHROP**  
**Summary of All Investments**  
**As of March 31, 2020**

<b>City Held Investments</b>	<b>Recorded Value</b>	<b>Current Yield</b>	<b>Percent of Portfolio</b>	<b>Market Value</b>
Local Agency Investment Fund	\$ 53,144,273	0.228%	51.13%	\$ 53,144,273
Wells Fargo Money Market Mutual Funds	\$ 2,883,462	0.000%	2.77%	\$ 2,883,462
California Asset Management Program	\$ 10,221,495	2.610%	9.83%	\$ 10,221,495
<b>Total Investments Held by the City (1)</b>	<b>\$ 66,249,230</b>	<b>0.586%</b>	<b>63.73%</b>	<b>\$ 66,249,229</b>

<b>Trustee Held Investments</b>	<b>Recorded Value</b>	<b>Current Yield</b>	<b>Percent of Portfolio</b>	<b>Market Value</b>
Union Bank	\$ 3,607,281	0.027%	3.47%	\$ 3,607,281
UMB Bank	\$ 598,623	0.000%	0.58%	\$ 598,623
US Bank	\$ -	0.025%	0.00%	\$ -
SJ County Pooled Funds	\$ 304,329	0.260%	0.29%	\$ 304,329
PFM Asset Management	\$ 32,697,300	0.000%	31.45%	\$ 32,697,300
BBVA Compass Bank	\$ 492,810	0.230%	0.47%	\$ 492,810
<b>Total Investments Held by Trustees (2)</b>	<b>\$ 37,700,343</b>	<b>0.008%</b>	<b>36.27%</b>	<b>\$ 37,700,343</b>

<b>Total City &amp; Trustee Held Investments &amp; Cash</b>	<b>Recorded Value</b>	<b>Current Yield</b>	<b>Percent of Portfolio</b>	<b>Market Value</b>
Investments Held by the City and Trustees	\$ 103,949,573	0.376%	100.00%	\$ 103,949,573
Cash in Checking Accounts - Recorded Value	\$ 54,720,387			
<b>Total Cash and Investments</b>	<b>\$ 158,669,960</b>			

Weighted Average Maturity of Portfolio (days): 1  
One month benchmark for U.S. Treasuries: 0.02%  
Three month benchmark for U.S. Treasuries: 0.03%

**Notes:**

- (1) See Table: 4 for detailed investments held by the City.  
(2) See Table: 5 for detailed investments held by Trustees.

**TABLE: 3**  
**CITY OF LATHROP**  
**Summary of All Investments**  
**As of March 31, 2020**

<b>Investments Held by the City</b>	<b>Prior Month Recorded Value</b>	<b>Purchased (Buy)</b>	<b>Redeemed (Sell)</b>	<b>Current Month Recorded Value</b>
Local Agency Investment Fund (1)	\$ 53,144,273	-	-	\$ 53,144,273
Wells Fargo Money Market Mutual Funds (2)	\$ 2,880,468	2,994	-	\$ 2,883,462
California Asset Management Program	\$ 10,208,547	12,948	-	\$ 10,221,495
<b>Total Investments Held by the City</b>	<b>\$ 66,233,288</b>	<b>15,942</b>	<b>-</b>	<b>\$ 66,249,229</b>

<b>Investments Held by Trustees</b>	<b>Prior Month Recorded Value</b>	<b>Purchased (Buy)</b>	<b>Redeemed (Sell)</b>	<b>Current Month Recorded Value</b>
BBVA Compass Bank	\$ 492,434	376	-	\$ 492,810
SJ County Pooled Funds	\$ 305,995	-	(1,666)	\$ 304,329
UMB Bank	\$ 1,845,307	442	(1,247,125)	\$ 598,623
Union Bank (3)	\$ 4,516,844	186,111	(1,095,674)	\$ 3,607,281
PFM Asset Management	\$ 32,175,204	5,140,791	(4,618,695)	\$ 32,697,300
<b>Total Investments Held by Trustees</b>	<b>\$ 39,335,783</b>	<b>\$ 5,327,719</b>	<b>\$ (6,963,159)</b>	<b>\$ 37,700,343</b>

<b>Total Cash in Checking Accounts Held by the City (2)</b>	<b>\$ 54,638,650</b>	<b>4,571,208</b>	<b>(4,489,472)</b>	<b>\$ 54,720,387</b>
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<b>Total Cash and Investments Held by the City and Trustees</b>	<b>\$ 160,207,721</b>	<b>\$ 9,914,869</b>	<b>\$ (11,452,631)</b>	<b>\$ 158,669,959</b>
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**Notes:**

(1) LAIF interest income is paid quarterly (Mar/Jun/Sept/Dec) and received in the following month (Apr/Jul/Oct/Jan).

(2) Property Tax, Building permit revenue, TOT, Developer payments, and Utility payments; nonrecurring expenses paid during the month: General government, Parks, Streets, Wastewater, and Water CIPs; also, recurring expenses: Park & street landscape maintenance, and water treatment services; lastly, intergovernmental payments and transfers: Police Services expenses, and SSJID SCSWSP O & M expenses.

(3) Interest earnings, debt service payments.



**TABLE: 4**  
**CITY OF LATHROP**  
**Summary of All Investments**  
**As of March 31, 2020**

Agency (Broker)	Investment Description	Coupon Rate	Yield to Maturity	Purchase Date	Maturity Date	Market Value (No Accruals)	Recorded Value
<b>Local Agency Investment Fund</b>							
	Money Market Fund City Acct No. 98-39-437	N/A	0.257%	Varies	On Demand	53,144,273	53,144,273
						<b>\$ 53,144,273</b>	<b>\$ 53,144,273</b>
<b>Wells Fargo Mutual Funds</b>							
	Money Market Mutual Fund City Acct No. 12641627	N/A	0.000%	Varies	On Demand	2,883,462	2,883,462
						<b>\$ 2,883,462</b>	<b>\$ 2,883,462</b>
<b>Califorina Asset Management Program</b>							
	Liquidity Account No. 6084-001	N/A	2.610%	Varies	On Demand	10,221,495	10,221,495
						<b>\$ 10,221,495</b>	<b>\$ 10,221,495</b>
<b>TOTAL INVESTMENTS HELD BY CITY</b>						<b>\$ 66,249,229</b>	<b>\$ 66,249,230</b>

**TABLE: 5**  
**CITY OF LATHROP**  
**Summary of All Investments**  
**As of March 31, 2020**

Investment Description	Acct Number	Coupon Rate	CUSIP	Current Yield	Purchase	Maturity Date	Value	Recorded Value
<b>Investments Held by Union Bank by Account</b>								
<i>03-1 Series 2015 - Mossdale Village Assessment District</i>								
Mossdale Village Assessment Dist. No. 03-1 Series 2015 - Redemption Fund	6712138601			0.010%	10/18/05	On Demand	\$ 13	\$ 13
Mossdale Village Assessment Dist. No. 03-1 Series 2005/2015 - Reserve Fund	6712138602			0.010%	10/18/05	On Demand	\$ 240,759	\$ 240,759
<i>2000 North Harlan Improvement District 99-01</i>								
Money Market - Reserve Account	6711651103			0.010%	7/12/00	On Demand	\$ 91,984	\$ 91,984
Money Market - Redemption Account	6711651101			0.010%	7/12/00	On Demand	\$ 0	\$ 0
<i>2003-2A Lathrop CFD</i>								
Money Market- Interest Account	6711720001			0.010%	12/12/03	On Demand	\$ 29	\$ 29
LAIF - Interest Account	6711720002			0.257%	03/19/03	On Demand	\$ 721,138	\$ 721,138
<i>CDPH/CDWR - SRF Loan</i>								
Agreement Account	6711908800			0.000%	12/22/10	On Demand	\$ 724	\$ 724
Agreement Account - Reserve Fund	6711908801			0.000%	12/22/10	On Demand	\$ 598,331	\$ 598,331
<i>2013-1 Mossdale Village</i>								
2013-1 Refunding Improvement Bonds	6712076900			0.000%	10/01/13	On Demand	\$ -	\$ -
2013-1 Refunding Improvement Bonds	6712076901			0.000%	10/01/13	On Demand	\$ 38	\$ 38
2013-1 Refunding Improvement Bonds	6712076903			0.000%	10/01/13	On Demand	\$ 948,398	\$ 948,398
<i>2013-1 Special Tax Bonds</i>								
2013-1 Mossdale Special Tax	6712076801			0.000%	10/01/13	On Demand	\$ 24	\$ 24
2013-1 Mossdale Special Tax	6712076803			0.000%	10/01/13	On Demand	\$ -	\$ -
2013-1 Mossdale Special Tax	6712076804			0.000%	10/01/13	On Demand	\$ 263,239	\$ 263,239
2013-1 Mossdale Special Tax	6712076806			0.000%	10/01/13	On Demand	\$ 75	\$ 75
<i>2015 Crossroads Series B</i>								
2015 Crossroads Series B - LOIB RDP	6712138801			0.000%	09/01/15	On Demand	\$ 26	\$ 26
2015 Crossroads Series B - LOIB Reserve	6712138803			0.000%	09/01/15	On Demand	\$ 742,106	\$ 742,106
2015 Crossroads Series B - Cost of Issuance	6712138804			0.000%	09/01/15	On Demand	\$ 0	\$ 0
2015 Crossroads Series B - Improvements	6712138805			0.000%	09/01/15	On Demand	\$ 396	\$ 396
2015 Crossroads Series B - COI Custodian Agreement	6712198801			0.000%	9/1/15	On Demand	\$ -	\$ -
<b>Total Investments Held by Trustee - Union Bank</b>							<b>\$ 3,607,281</b>	<b>\$ 3,607,281</b>
<b>Investments Held by BBVA Compass Bank by Account</b>								
<i>2012 Water Loan (Refunding of 2000 Water COPs)</i>								
Certificate of Deposit - Reserve Fund		N/A		0.090%	5/22/19	5/21/21	\$ 492,810	\$ 492,810
<b>Total Investments Held by Trustee -BBVA Compass Bank</b>							<b>\$ 492,810</b>	<b>\$ 492,810</b>

**TABLE: 5**  
**CITY OF LATHROP**  
**Summary of All Investments**  
**As of March 31, 2020**

Investment Description	Acct Number	Coupon Rate	CUSIP	Current Yield	Purchase	Maturity Date	Value	Recorded Value
<b>Investments Held by UMB Bank by Account</b>								
<b>2006-1 Central Lathrop Phase I Infrastructure CFD</b>								
Special Tax Fund	141226.1	N/A		0.000%	09/12/06	On Demand	\$ -	\$ -
Interest Fund	141226.2	N/A		0.000%	09/12/06	On Demand	\$ -	\$ -
Principal	141226.3	N/A		0.001%	08/26/10	On Demand	\$ -	\$ -
Redemption	141226.4	N/A		0.001%	08/26/10	On Demand	\$ -	\$ -
TTEE Fee & Comp Exp.	141226.5	N/A		0.002%	09/12/06	On Demand	\$ -	\$ -
Reserve Fund	141226.6	N/A		0.000%	09/12/06	On Demand	\$ -	\$ -
Improvement Fund	141226.7	N/A		0.000%	09/12/06	On Demand	\$ -	\$ -
<b>2018-1 Central Lathrop CFD</b>								
Improvement Area 1 - Admin Expense Reserve Fund	149232.1	N/A		0.000%	02/01/19	On Demand	\$ 52,663	\$ 52,663
Other Improvement Areas - Admin Expense Reserve Fund	149232.2	N/A		0.000%	02/01/19	On Demand	\$ 213,151	\$ 213,151
Improvement Area 1 - Principal Account	149232.3	N/A		0.000%	02/01/19	On Demand	\$ 2,500	\$ 2,500
Improvement Area 1 - Redemption Account	149232.4	N/A		0.000%	02/01/19	On Demand	\$ -	\$ -
Improvement Area 1 - Interest Account	149232.5	N/A		0.000%	02/01/19	On Demand	\$ 27	\$ 27
Improvement Area 1 - Admin Expense Account	149232.6	N/A		0.000%	02/01/19	On Demand	\$ 16,549	\$ 16,549
Improvement Area 1 - Reserve Fund	149232.7	N/A		0.000%	02/01/19	On Demand	\$ 79,003	\$ 79,003
Improvement Area 1 - Surplus Fund	149232.8	N/A		0.000%	02/01/19	On Demand	\$ -	\$ -
Improvement Area 2 - Principal Account	149265.1	N/A		0.000%	02/01/19	On Demand	\$ 2,500	\$ 2,500
Improvement Area 2 - Redemption Account	149265.2	N/A		0.000%	02/01/19	On Demand	\$ -	\$ -
Improvement Area 2 - Interest Account	149265.3	N/A		0.000%	02/01/19	On Demand	\$ 17	\$ 17
Improvement Area 2 - Admin Expense Account	149265.4	N/A		0.000%	02/01/19	On Demand	\$ 16,726	\$ 16,726
Improvement Area 2 - Reserve Fund	149265.5	N/A		0.000%	02/01/19	On Demand	\$ 36,764	\$ 36,764
Improvement Area 2 - Surplus Fund	149265.6	N/A		0.000%	02/01/19	On Demand	\$ -	\$ -
Improvement Area 3 - Principal Account	149267.1	N/A		0.000%	02/01/19	On Demand	\$ 2,500	\$ 2,500
Improvement Area 3 - Redemption Account	149267.2	N/A		0.000%	02/01/19	On Demand	\$ -	\$ -
Improvement Area 3 - Interest Account	149267.3	N/A		0.000%	02/01/19	On Demand	\$ 33	\$ 33
Improvement Area 3 - Admin Expense Account	149267.5	N/A		0.000%	02/01/19	On Demand	\$ 15,793	\$ 15,793
Improvement Area 3 - Reserve Fund	149267.6	N/A		0.000%	02/01/19	On Demand	\$ 103,518	\$ 103,518
Improvement Area 3 - Surplus Fund	149267.7	N/A		0.000%	02/01/19	On Demand	\$ -	\$ -
Improvement Area 4 - Principal Account	149268.1	N/A		0.000%	02/01/19	On Demand	\$ 2,500	\$ 2,500
Improvement Area 4 - Redemption Account	149268.2	N/A		0.000%	02/01/19	On Demand	\$ -	\$ -
Improvement Area 4 - Interest Account	149268.3	N/A		0.000%	02/01/19	On Demand	\$ -	\$ -
Improvement Area 4 - Admin Expense Account	149268.4	N/A		0.000%	02/01/19	On Demand	\$ 17,279	\$ 17,279
Improvement Area 4 - Reserve Fund	149268.5	N/A		0.000%	02/01/19	On Demand	\$ 13,063	\$ 13,063
Improvement Area 4 - Surplus Fund	149268.6	N/A		0.000%	02/01/19	On Demand	\$ -	\$ -
Improvement Area 5 - Principal Account	149269.1	N/A		0.000%	02/01/19	On Demand	\$ -	\$ -
Improvement Area 5 - Redemption Account	149269.2	N/A		0.000%	02/01/19	On Demand	\$ -	\$ -
Improvement Area 5 - Interest Account	149269.3	N/A		0.000%	02/01/19	On Demand	\$ 9	\$ 9
Improvement Area 5 - Admin Expense Account	149269.4	N/A		0.000%	02/01/19	On Demand	\$ 17,709	\$ 17,709

**TABLE: 5**  
**CITY OF LATHROP**  
**Summary of All Investments**  
**As of March 31, 2020**

Investment Description	Acct Number	Coupon Rate	CUSIP	Current Yield	Purchase	Maturity Date	Value	Recorded Value
Improvement Area 5 - Reserve Fund	149269.5				2/1/19	On Demand	\$ 5,225	\$ 5,225
Improvement Area 5 - Surplus Fund	149269.6				2/1/19	On Demand	\$ -	\$ -
<b>2018-2 Central Lathrop CFD</b>							\$ -	
Special Tax Fund	149261.1	N/A		0.000%	2/1/19	On Demand	\$ 1,095	\$ 1,095
Surplus Fund	149261.2	N/A		0.000%	2/1/19	On Demand	\$ -	\$ -
<b>Total Investments Held by Trustee - UMB Bank</b>							<b>\$ 598,623</b>	<b>\$ 598,623</b>
<b>Investments Held by San Joaquin County by Account</b>								
<i>Sanitary Sewer Assessment District #1</i>								
Pooled Funds - Redemption Account	Fund 57961	N/A		0.260%	10/1/87	On Demand	\$ 304,329	\$ 304,329
<b>Total Investments Held by Trustee -San Joaquin County</b>							<b>\$ 304,329</b>	<b>\$ 304,329</b>
<b>Investments Held by PFM Asset Management by Account</b>								
<i>PFM Asset Management</i>								
Money Market Fund	20260109	N/A		0.000%	05/28/15	05/28/15	\$ 43,905	\$ 43,905
<b>US Treasury Bond / Note</b>								
US Treasury Notes			912828N89	1.38%	01/31/16	01/31/21	\$ 504,922	\$ 504,922
US Treasury Notes			912828N89	1.38%	01/31/16	01/31/21	\$ 691,743	\$ 691,743
US Treasury N/B Notes			912828X6	2.25%	02/01/18	02/15/21	\$ 626,147	\$ 626,147
US Treasury Notes			912828C57	2.25%	03/31/14	03/31/21	\$ 484,574	\$ 484,574
US Treasury Notes			912828C57	2.25%	03/31/14	03/31/21	\$ 586,590	\$ 586,590
US Treasury Notes			912828WG1	2.25%	04/30/14	01/00/00	\$ 1,124,234	\$ 1,124,234
US Treasury Notes			912828WN6	2.00%	06/02/14	05/31/21	\$ 663,508	\$ 663,508
US Treasury Notes			912828WR7	2.13%	06/30/14	06/30/21	\$ 1,100,027	\$ 1,100,027
US Treasury Notes			9128284W7	2.75%	08/15/18	08/15/21	\$ 1,033,750	\$ 1,033,750
US Treasury Notes			912828D72	2.00%	09/02/14	08/31/21	\$ 997,852	\$ 997,852
US Treasury Notes			912828D72	2.00%	09/02/14	08/31/21	\$ 1,125,781	\$ 1,125,781
US Treasury N/B			9128285A4	2.75%	09/17/18	09/15/21	\$ 517,891	\$ 517,891
US Treasury Notes			912828T34	1.13%	09/30/16	09/30/21	\$ 202,469	\$ 202,469
US Treasury Notes			912828T34	1.13%	09/30/16	09/30/21	\$ 303,703	\$ 303,703
US Treasury Notes			912828T67	1.25%	10/31/16	10/31/21	\$ 689,988	\$ 689,988
US Treasury Notes			9128285L0	2.88%	11/15/18	11/15/21	\$ 781,406	\$ 781,406
US Treasury Notes			912828U65	1.75%	11/30/16	11/30/21	\$ 1,024,375	\$ 1,024,375
US Treasury Notes			9128285V8	2.50%	01/15/19	01/15/22	\$ 244,253	\$ 244,253
US Treasury Notes			9128285V8	2.50%	01/15/19	01/15/22	\$ 779,531	\$ 779,531
US Treasury Notes			912828V72	1.88%	01/31/17	01/31/22	\$ 899,883	\$ 899,883
US Treasury Notes			912828V72	1.88%	01/31/17	01/31/22	\$ 2,313,984	\$ 2,313,984
US Treasury Notes			9128286C9	2.50%	02/15/19	02/15/22	\$ 1,119,008	\$ 1,119,008

**TABLE: 5**  
**CITY OF LATHROP**  
**Summary of All Investments**  
**As of March 31, 2020**

Investment Description	Acct Number	Coupon Rate	CUSIP	Current Yield	Purchase	Maturity Date	Value	Recorded Value
US Treasury Notes			912828W55	1.88%	02/28/17	02/28/22	\$ 309,094	\$ 309,094
US Treasury Notes			912828M7	2.25%	04/15/19	04/15/22	\$ 779,297	\$ 779,297
US Treasury Notes			912828WZ9	1.75%	04/30/15	04/30/22	\$ 1,029,688	\$ 1,029,688
US Treasury Notes			9128282P4	1.88%	07/31/17	07/31/22	\$ 751,281	\$ 751,281
US Treasury Notes			9128282P4	1.88%	07/31/17	07/31/22	\$ 1,165,781	\$ 1,165,781
US Treasury Notes			912828YA2	1.50%	08/15/19	08/15/22	\$ 874,172	\$ 874,172
US Treasury Notes			9128282S8	1.63%	08/31/17	08/31/22	\$ 283,551	\$ 283,551
US Treasury Notes			9128282S8	1.63%	08/31/17	08/31/22	\$ 902,207	\$ 902,207
US Treasury Notes			912828YK0	1.38%	10/15/19	10/15/22	\$ 770,039	\$ 770,039
US Treasury Notes			912828Z29	1.50%	01/15/20	01/15/23	\$ 1,033,594	\$ 1,033,594
US Treasury Notes			912828P38	1.75%	02/01/16	01/31/23	\$ 545,836	\$ 545,836
US Treasury Notes			912828O29	1.50%	03/31/16	03/31/23	\$ 1,707,234	\$ 1,707,234
<b>US Treasury Subtotal:</b>							<b>\$ 27,967,392</b>	<b>\$ 27,967,392</b>
<b>Supra-national Agency Bond / Note</b>								
Int'l BK Recon & Develop SN Note			459058GU1	2.125%	5/29/19	07/01/22	\$ 310,526	\$ 310,526
<b>Supra-National Agency Subtotal</b>							<b>\$ 310,526</b>	<b>\$ 310,526</b>
<b>Federal Agency Bond/Note</b>								
Fannie Mae Notes			3135G0U35	2.75%	06/25/18	06/22/21	\$ 457,867	\$ 457,867
Federal Home Loan Banks Agcy			3130AGLD5	1.88%	06/07/19	07/07/21	\$ 244,340	\$ 244,340
Federal Home Loan Banks Agcy			3130AF589	3.00%	10/12/18	10/12/21	\$ 441,396	\$ 441,396
Fannie Mae Notes			3135G0U92	2.65%	01/11/19	01/11/22	\$ 311,445	\$ 311,445
Fannie Mae Notes			3135G0U92	2.65%	01/11/19	01/11/22	\$ 311,445	\$ 311,445
Federal Farm Credit Banks Notes			3133ELTN4	0.53%	03/18/20	01/18/22	\$ 650,728	\$ 650,728
Federal Home Loan Banks Agcy			313379O69	2.13%	06/01/12	06/10/22	\$ 647,284	\$ 647,284
Fannie Mae Notes			3135G0W33	1.38%	09/06/19	09/06/22	\$ 628,023	\$ 628,023
Federal Home Loan Banks Notes			3130AJ7E3	1.38%	02/21/20	02/17/23	\$ 558,708	\$ 558,708
<b>Federal Agency Subtotal:</b>							<b>\$ 4,251,237</b>	<b>\$ 4,251,237</b>
<b>Interest</b>								
Accrued Interest							\$ 124,240	\$ 124,240
<b>Total Investments Held by Trustee -PFM Asset Management</b>							<b>\$ 32,697,300</b>	<b>\$ 32,697,300</b>
* Investments made per CLSP Bond Indenture								
<b>Total Investments Held by Trustees</b>							<b>\$ 37,700,343</b>	<b>\$ 37,700,343</b>

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**ITEM 4.6**

**CITY MANAGER'S REPORT  
MAY 11, 2020 CITY COUNCIL REGULAR MEETING**

**ITEM:** **RATIFY CONTRACT AMENDMENT WITH  
CONDOR EARTH TECHNOLOGIES, INC. FOR  
ENGINEERING SUPPORT SERVICES**

**RECOMMENDATION:** **Adopt Resolution Ratifying the City Manager's  
Action to Execute Amendment No. 1 to  
Professional Services Agreement with Condor  
Earth Technologies, Inc. to Provide  
Engineering Support Services**

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**SUMMARY:**

The Public Works Department currently has an open engineering position that staff is actively recruiting to fill. In order to keep up with current Land Development projects and Capital Improvement Projects (CIPs) during the hiring process, the City executed an agreement with Condor Earth Technologies, Inc. (Condor) to provide engineering support services in the amount of \$50,000.

The hiring process has taken longer than anticipated due to Governor Newsom's Executive Order No. 33-20 issued on March 19, 2020 directing all residents to stay at home due to COVID-19. Additional engineering support services are needed until the hiring process can resume. In an effort to maintain critical infrastructure as defined in the Governor's Executive Order, the City Manager executed Amendment No. 1 with Condor in the amount of \$50,000.

Staff requests City Council adopt a resolution ratifying the City Manager's action to execute Amendment No. 1 to the Agreement with Condor in the amount of \$50,000 to provide continued engineering support services.

**BACKGROUND:**

The Public Works Department is made up of five divisions: Administration, Building, Engineering, Construction, and Operations & Maintenance. The Engineering division provides engineering review and project management services for CIPs and Land Development. This includes project plan review, permit processing, construction inspection and public assistance. The division also works closely with the Community Development Department and the City Engineer to process Land Development projects by providing conditions of approval associated with Building and Planning permit applications.

The City of Lathrop has an existing agreement with Condor that was approved in March 2020 in the amount of \$50,000. Amendment No. 1 was approved by the City Manager to provide continued engineering support services during the Governor's Executive Order.

**CITY MANAGER'S REPORT** **PAGE 2**  
**MAY 11, 2020, CITY COUNCIL REGULAR MEETING**  
**RATIFY CONTRACT AMENDMENT NO. 1 WITH CONDOR EARTH FOR**  
**ENGINEERING SUPPORT SERVICES**

**REASON FOR RECOMMENDATION:**

Governor Newsom's Executive Order has caused the hiring process to take longer than anticipated. Amendment No. 1 to Condor's agreement will allow the City to continue maintaining critical infrastructure.

The City Manager utilized section 2.36.080 "Emergency Procedures" of the Lathrop Municipal Code (LMC) to execute Amendment No. 1 with Condor in the amount of \$50,000.

**FISCAL IMPACT:**

Condor's existing agreement is in the amount of \$50,000. Amendment No. 1 is in the amount of \$50,000 bringing the total contracted services to \$100,000.

The cost of the Amendment No. 1 is not to exceed \$50,000, and paid for using salary savings from approved Fiscal Year 2019/20 budget in Public Works Administration.

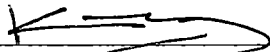
**ATTACHMENTS:**

- A. Resolution Ratifying the City Manager's Action to Execute Amendment No. 1 to Professional Services Agreement with Condor Earth Technologies, Inc. to Provide Engineering Support Services
- B. Signed Amendment No. 1 to the Agreement with Condor Earth Technologies, Inc.
- C. Signed Professional Services Agreement with Condor Earth Technologies, Inc.

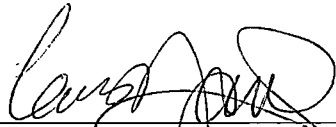


**CITY MANAGER'S REPORT**  
**MAY 11, 2020, CITY COUNCIL REGULAR MEETING**  
**RATIFY CONTRACT AMENDMENT NO. 1 WITH CONDOR EARTH FOR**  
**ENGINEERING SUPPORT SERVICES**

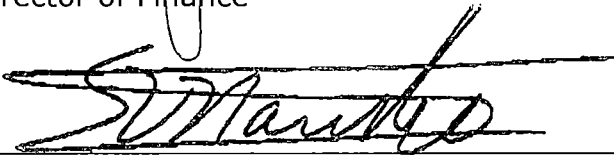
**APPROVALS:**

  
\_\_\_\_\_  
Michael King  
Public Works Director

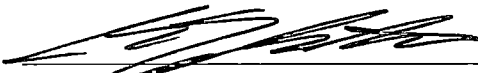
5-5-2020  
Date

  
\_\_\_\_\_  
Cari James  
Director of Finance

5-5-2020  
Date

  
\_\_\_\_\_  
Salvador Navarrete  
City Attorney

5/5/2020  
Date

  
\_\_\_\_\_  
Stephen J. Salvatore  
City Manager

5.6.2020  
Date

**RESOLUTION NO. 20-**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP RATIFYING THE CITY MANAGER'S ACTION TO EXECUTE AMENDMENT NO. 1 TO PROFESSIONAL SERVICES AGREEMENT WITH CONDOR EARTH TECHNOLOGIES, INC. TO PROVIDE ENGINEERING SUPPORT SERVICES**

**WHEREAS**, the Public Works Department currently has an open engineering position that staff is actively recruiting to fill; and

**WHEREAS**, in order to keep up with current Land Development projects and Capital Improvement Projects (CIPs), it is necessary to hire a consultant on an interim basis while recruiting; and

**WHEREAS**, in March, 2020 and the City entered into an agreement with Condor Earth Technologies, Inc. (Condor) to provide engineering support services in the amount of \$50,000; and

**WHEREAS**, the hiring process has taken longer than anticipated due to Governor Newsom's Executive Order No. 33-20 issued on March 19, 2020 directing all residents to stay at home due to COVID-19; and

**WHEREAS**, additional engineering support services are needed until the hiring process can resume and in an effort to maintain critical infrastructure as defined in the Governor's Executive Order the City Manager executed Amendment No. 1 with Condor in the amount of \$50,000; and

**WHEREAS**, section 2.36.080 "Emergency Procedures" of the Lathrop Municipal Code (LMC) was utilized by the City Manager to efficiently and timely maintain essential public services; and

**WHEREAS**, staff requests City Council adopt a resolution ratifying the City Manager's action to execute Amendment No. 1 to the Agreement with Condor in the amount of \$50,000 to provide continued engineering support services; and

**WHEREAS**, the cost of the Amendment No. 1 is not to exceed \$50,000, and paid for using salary savings from approved Fiscal Year 2019/20 budget in Public Works Administration.

**NOW, THEREFORE, BE IT RESOLVED**, that the City Council of City of Lathrop hereby the City Manager's Action to Execute Amendment No. 1 to Professional Services Agreement with Condor Earth Technologies, Inc. to Provide Engineering Support Services; and

The foregoing resolution was passed and adopted this 11<sup>th</sup> day of May 2020, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSTAIN:

ABSENT:

\_\_\_\_\_  
Sonny Dhaliwal, Mayor

**ATTEST:**

\_\_\_\_\_  
Teresa Vargas, City Clerk

**APPROVED AS TO FORM:**

  
\_\_\_\_\_  
Salvador Navarrete, City Attorney



Office of the City Manager

390 Towne Centre Dr. - Lathrop, CA 95330  
Phone (209) 941-7220 - fax (209) 941-7248  
[www.ci.lathrop.ca.us](http://www.ci.lathrop.ca.us)

## NOTICE TO PROCEED

Condor Earth Technologies, Inc.  
Attention: Brad Peterson, Project Director  
188 Frank West Circle, Suite I  
Stockton, CA 95209

*Sent via email & original mailed: [bpeterson@condorearth.com](mailto:bpeterson@condorearth.com)*

Dear Mr. Peterson,

Enclosed please find your original executed Amendment No. 1 to provide **Continued Engineering and Administrative Support**. This is your Notice to Proceed to the attached Amendment.

Should you have any questions regarding this project, please contact Michael King at (209) 941-7454, the staff member directly involved with this project.

Sincerely,

A handwritten signature in black ink, appearing to read "Stephen J. Salvatore".

Stephen J. Salvatore  
City Manager

Copy: Teresa Vargas, City Clerk  
Project File

**AMENDMENT NO.1**

**TO AGREEMENT FOR CONSULTING SERVICES BETWEEN THE CITY  
OF LATHROP AND CONDOR EARTH TECHNOLOGIES, INC.  
DATED MARCH 11, 2020**

**BUDGET AMENDMENT TO PROVIDE CONTINUED ENGINEERING  
AND ADMINISTRATION SUPPORT**

This Amendment (hereinafter "AMENDMENT NO. 1") to the agreement between Condor Earth Technologies, Inc. and the City of Lathrop dated March 11, 2020, (hereinafter "AGREEMENT") dated for convenience this April 20, 2020, is by and between Condor Earth Technologies, Inc. ("CONSULTANT") and the City of Lathrop, a California municipal corporation ("CITY");

**RECITALS:**

**WHEREAS**, CONSULTANT is specifically trained, experienced, and competent to provide Engineering and Administration Support services required by this agreement; and

**WHEREAS**, on March 11, 2020 CONSULTANT and CITY entered into an AGREEMENT to provide Engineering and Administration Support not to exceed \$50,000; and

**WHEREAS**, continued Engineering and Administration Support, are needed to assist in implementing the Citywide Capital Improvement Program along with supporting development services, at a cost not to exceed \$50,000.

**NOW, THEREFORE**, CONSULTANT and the CITY agree as follows:

**AMENDMENT NO. 1 TO AGREEMENT**

- (1) **Scope of Service.** Section (1) of the CONSULTANT AGREEMENT is hereby amended to add the following:

CONSULTANT agrees to perform services in accordance with the scope of work and fee proposal provided by CONSULTANT, attached hereto as Exhibit "A" and incorporated herein by reference. CONSULTANT agrees to diligently perform these services in accordance with the upmost standards of its profession and to CITY'S satisfaction.

**CITY OF LATHROP – AMENDMENT NO.1 - BUDGET AMENDMENT TO PROVIDE CONTINUED ENGINEERING AND ADMINISTRATION SUPPORT**

**(2) Compensation. Section (2) of the CONSULTANT AGREEMENT is hereby amended as follows:**

CITY hereby agrees to pay CONSULTANT a sum not to exceed **\$50,000** for the services as set forth in Exhibit "A" of this AMENDMENT NO. 1. CONSULTANT shall be paid within thirty (30) days of receipt of progress billings containing all information contained in Paragraph 5 of the original AGREEMENT. In no event shall CONSULTANT be entitled to compensation for work not included in the original scope of work, and this AMENDMENT NO. 1 unless a written change order or authorization describing the extra work and payment terms has been executed by CITY'S Authorized Representative prior to the commencement of the work.

**(3) Effective Date and Term. Section (3) of the AGREEMENT for Consulting is hereby amended to add:**

The effective date of AMENDMENT NO. 1 is **April 30, 2020**, and it shall terminate no later than **December 31, 2020**. All other terms of the original AGREEMENT shall remain in full force and effect

**(4) Applicability to Original Consultant AGREEMENT**

All terms and conditions set forth in the AGREEMENT dated March 11, 2020 are still in effect and are incorporated by reference herein and said AGREEMENT is incorporated by reference herein.

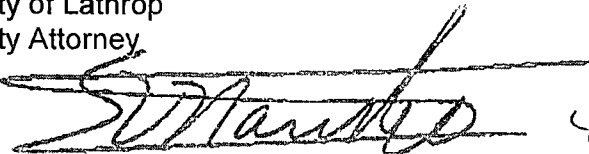
**(5) Signatures**

The individuals executing this Agreement represent and warrant that they have the right, power, legal capacity, and authority to enter into and to execute this Agreement on behalf of the respective legal entities of the CONSULTANT and the CITY. This agreement shall inure to the benefit of and be binding upon the parties hereto and their respective successors and assigns.

**CITY OF LATHROP – AMENDMENT NO.1 - BUDGET AMENDMENT TO PROVIDE CONTINUED ENGINEERING AND ADMINISTRATION SUPPORT**

Approved as to Form:

City of Lathrop  
City Attorney

  
\_\_\_\_\_  
Salvador Navarrete Date 4/14/2020

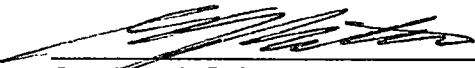
Recommended for Approval:

City of Lathrop  
Public Works Director

  
\_\_\_\_\_  
Michael King Date 4.16.2020

Approved By:

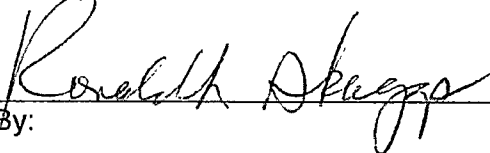
City of Lathrop  
390 Towne Centre Drive  
Lathrop, CA 95330

  
\_\_\_\_\_  
Stephen J. Salvatore Date 4.20.2020  
City Manager

CONSULTANT:

Condor Earth Technologies, Inc.  
188 Frank West Circle, Suite I  
Stockton, CA 95209-95206

Fed ID # 94-2908050  
Lathrop Bus License #20535

  
\_\_\_\_\_  
By: Date 4/14/2020



**CONDOR EARTH**  
188 Frank West Circle, Suite I  
Stockton, CA 95206  
209.234.0518  
Fax 209.234.0538  
www.condorearth.com

Condor Project No. 7569F

April 13, 2020

Michael King, PE  
City of Lathrop  
390 Towne Centre Drive  
Lathrop, CA 95330

**Subject: Proposal for Continued Engineering and Administration Support Services  
Amendment No. 1**

Dear Mr. King:

Condor Earth (Condor), is pleased to provide the attached hourly rates for engineering and administrative support services. We understand that the City desires continued full-time engineering support to assist with implementing the Citywide Capital Improvement Program, along with supporting development services. Condor proposes to provide these services in accordance with the attached Fee Schedules.

Acceptance of this Proposal by the City means that the City agrees to keep assigned professional in positions as described herein, to notify Condor if the assignment will change and to not assign supervisory duties to any staff under this agreement. In addition, all work associated with this position will be performed under the direction, supervision and responsible charge of City engineering staff. If the City is no longer in need of our assigned professionals, the City will provide a 2-week notice of termination.

Condor appreciates the opportunity to submit this Proposal. Please contact us if you have any questions.

Respectfully submitted,

CONDOR EARTH

Brad Peterson  
Project Director

Attachments:

- Prevailing Wage Schedule of Fees
- Schedule of Fees



**CONDOR EARTH  
SCHEDULE OF FEES  
2020**

<u>STAFF MEMBER</u>	<u>RATE PER HOUR (\$)</u>
<b>PRINCIPALS/PROJECT MANAGEMENT</b>	
Senior Principal .....	240.00
Principal Tunneling Consultant.....	230.00
Principal Engineer/Geologist.....	215.00
Project Director .....	205.00
Construction Manager .....	200.00
Project/Senior Manager .....	180.00
<b>TECHNICAL</b>	
Senior Geotechnical Engineer .....	205.00
Registered Geotechnical Engineer.....	195.00
Certified Hydrogeologist/Engineering Geologist .....	195.00
Senior Geologist/Engineer/Environmental Specialist .....	185.00
Senior Process Safety Management Specialist .....	175.00
Unmanned Aerial System (UAS) Specialist.....	150.00
GIS Programmer/Analyst .....	150.00
Process Safety Management Specialist .....	150.00
Resident Construction Inspector.....	150.00
Associate Geologist/Engineer/Environmental Specialist .....	150.00
Aboveground Storage Tank (AST) Certified Inspector.....	140.00
Staff Geologist/Engineer/Environmental Specialist .....	135.00
GIS Technician.....	125.00
Engineering Assistant.....	110.00
Senior Technician.....	105.00
Draftsperson .....	100.00
Technician .....	85.00
<b>MATERIALS TESTING *</b>	
MTSI Project/Laboratory Manager .....	125.00
Certified Welding Inspector .....	120.00
Special Inspector .....	100.00
Senior Materials Technician.....	95.00
Materials Technician .....	80.00
<b>SUPPORT STAFF</b>	
Senior Project Administrator.....	130.00
Administrative Specialist.....	105.00
Project Coordinator .....	105.00
Technical Editor .....	77.00
Administrative Assistant .....	72.00
<b>MISCELLANEOUS</b>	
Overtime (all Saturday work is overtime) .....	(1.3 times rate)
Double-time (all Sundays and Holidays).....	(1.7 times rate)
Litigation Support.....	300.00 – 400.00
<b>NON-LABOR CHARGES</b>	
Vehicle charge .....	\$55 per day plus 50 cents per mile
Unit Charges per Condor Unit Fee Schedule	
Billable Field Equipment per Condor Billable Field Equipment Schedule	
Laboratory Charges per Condor Laboratory Fee Schedule	
*A 2-hour minimum charge will be applied to all field services, and a 4-hour minimum will be applied for the cancellation of work within 24 hours of scheduled field work.	

**OUT-OF-POCKET EXPENSES**

Billed at cost plus 15% and includes such items as travel expenses, equipment rental, laboratory fees, subcontractors, postage and freight, subcontracted printing or reproduction fees, supplies, etc.

**PREVAILING WAGE**

Refer to Condor Prevailing Wage Schedule of Fees





Office of the City Manager

390 Towne Centre Dr. - Lathrop, CA 95330

Phone (209) 941-7220 - fax (209) 941-7248

[www.ci.lathrop.ca.us](http://www.ci.lathrop.ca.us)

## NOTICE TO PROCEED

Condor Earth Technologies, Inc.  
Attention: Brad Peterson, Project Director  
188 Frank West Circle, Suite I  
Stockton, CA 95209

*Sent via email & original mailed: [bpeterson@condorearth.com](mailto:bpeterson@condorearth.com)*

Dear Mr. Peterson,

Enclosed please find your original executed Agreement to provide **Engineering and Administrative Support**. This is your Notice to Proceed to the attached Agreement.

Should you have any questions regarding this project, please contact Michael King at (209) 941-7454, the staff member directly involved with this project.

Sincerely,

A handwritten signature in black ink, appearing to read "Stephen J. Salvatore".

Stephen J. Salvatore  
City Manager

Copy: Teresa Vargas, City Clerk  
Project File

**AGREEMENT FOR CONSULTING SERVICES  
BETWEEN THE CITY OF LATHROP  
AND CONDOR EARTH TECHNOLOGIES, INC  
TO PROVIDE ENGINEERING AND ADMINISTRATION SUPPORT**

THIS AGREEMENT, dated for convenience this 11 day of ~~January~~ <sup>March</sup>, 2020, is by and between Condor Earth Technologies, Inc. ("CONSULTANT") and the CITY OF LATHROP, a California municipal corporation ("CITY");

**RECITALS:**

**WHEREAS**, CONSULTANT is specially trained, experienced, and competent provide Engineering and Administration Support; and

**WHEREAS**, CONSULTANT was selected by the CITY as the most qualified to perform these services; and is specially trained, experienced, and competent to provide Engineering and Administration Support; and

**WHEREAS**, CONSULTANT is willing to render such Engineering and Administration Support services, as hereinafter defined, on the following terms and conditions; and

**NOW, THEREFORE**, CONSULTANT and the CITY agree as follows:

**AGREEMENT**

**(1) Scope of Service.**

CONSULTANT agrees to perform services in conformance with the scope of work submitted by the CONSULTANT, hereafter referred to as Exhibit "A" and incorporated herein by reference. CONSULTANT agrees to diligently perform these services in accordance with the standards of its profession, as stated in Article 11, and CITY'S satisfaction.

**(2) Compensation.**

CITY hereby agrees to pay CONSULTANT on a time and expense reimbursement basis in accordance with Exhibit "A" up to a sum not to exceed **\$50,000** to provide Engineering and Administration Support services as set forth in Exhibit "A" and incorporated herein by reference, notwithstanding any contrary indications which may be contained in CONSULTANT'S proposal. CONSULTANT shall be paid within thirty (30) days of receipt of billings containing all information pursuant to Paragraph 5 below.

CITY OF LATHROP – CONSULTING SERVICES AGREEMENT  
CONDOR EARTH TECHNOLOGIES, INC. – ENGINEERING AND ADMINISTRATION  
SUPPORT SERVICES

Compensation for any task must be equal or less than the percentage complete. In no event shall CONSULTANT be entitled to compensation for work not included in Exhibit "A", Scope of Work, unless a written change order or authorization describing the extra work and payment terms has been executed by CITY's authorized representative prior to the commencement of the work.

Payment is made based on a time and material basis.

(3) **Effective Date and Term.**

The effective date of this Agreement is ~~January~~ <sup>March</sup> 11, 2020, and it shall terminate no later than December 31, 2020.

(4) **Independent Contractor Status.**

It is expressly understood and agreed by both parties that CONSULTANT, while engaged in carrying out and complying with any of the terms and conditions of this Agreement, is an independent contractor and not an employee of the CITY. CONSULTANT is responsible for controlling the means and methods to complete the scope of work described in Exhibit "A" to City's satisfaction. CONSULTANT expressly warrants not to represent, at any time or in any manner, that CONSULTANT is an employee of the CITY.

(5) **Billings.**

CONSULTANT'S bills shall include a list of all tasks, a total amount due, the amounts previously billed, and the net amount due on the invoice. Except as specifically authorized by CITY, CONSULTANT shall not bill CITY for duplicate services performed by more than one person. In no event shall CONSULTANT submit any billing for an amount in excess of the rates or the maximum amount of compensation provided in section (2) for the entire Agreement, unless modified by a properly executed change order.

(6) **Advice and Status Reporting.**

CONSULTANT shall provide the CITY with timely reports, orally or in writing, of all significant developments arising during performance of its services hereunder, and shall furnish to CITY such information as is necessary to enable CITY to monitor the performance of this Agreement.

(7) **Assignment of Personnel.**

CONSULTANT shall assign only competent personnel to perform services pursuant to this Agreement. If CITY asks CONSULTANT to remove a person assigned to the work called for under this Agreement, CONSULTANT agrees to do so immediately, regardless of the reason, or the lack of a reason, according to the CITY'S request.

CITY OF LATHROP – CONSULTING SERVICES AGREEMENT  
CONDOR EARTH TECHNOLOGIES, INC. – ENGINEERING AND ADMINISTRATION  
SUPPORT SERVICES

The services shall be performed by, or under the direct supervision of CONSULTANT's Authorized Representative: **Brad Peterson**, CONSULTANT shall not replace its Authorized Representatives without the prior written approval by the CITY.

**(8) Assignment and Subcontracting.**

It is recognized by the parties hereto that a substantial inducement to CITY for entering into this Agreement was, and is, the professional reputation and competence of CONSULTANT. Neither this Agreement nor any interest therein may be assigned by CONSULTANT without the prior written approval of CITY'S Public Works Director. CONSULTANT shall not subcontract any portion of the performance contemplated and provided for herein, other than the subcontractors noted in the proposal, without prior written approval of the CITY'S Public Works Director.

**(9) Insurance.**

On or before beginning any of the services or work called for by any term of this Agreement, CONSULTANT, at its own cost and expense, shall carry, maintain for the duration of the Agreement, and provide proof thereof that is acceptable to the CITY the insurance specified in subsections (a) through (c) below with insurers and under forms of insurance satisfactory in all respects to the CITY. CONSULTANT shall not allow any subcontractor to commence work on any subcontract until all insurance required of the CONSULTANT has also been obtained for the subcontractor, unless otherwise authorized by City. Verification of this insurance shall be submitted and made part of this Agreement prior to execution.

- (a) Workers' Compensation. CONSULTANT shall, at CONSULTANT'S sole cost and expense, maintain Statutory Workers' Compensation Insurance and Employer's Liability Insurance for any and all persons employed directly or indirectly by CONSULTANT. Workers Compensation Insurance shall be provided as required by law, and Employer's Liability Insurance shall be provided with limits of not less than one million dollars. In the alternative, CONSULTANT may rely on a self-insurance program to meet these requirements provided that the program of self-insurance complies fully with the provisions of the California Labor Code. The insurer, if insurance is provided, or the CONSULTANT, if a program of self-insurance is provided, shall waive all rights of subrogation against the CITY for loss arising from work performed under this Agreement.

CITY OF LATHROP – CONSULTING SERVICES AGREEMENT  
**CONDOR EARTH TECHNOLOGIES, INC. – ENGINEERING AND ADMINISTRATION  
SUPPORT SERVICES**

- (b) Commercial General and Automobile Liability Insurance. CONSULTANT, at CONSULTANT'S own cost and expense, shall maintain commercial general and automobile liability insurance for the period covered by this Agreement in an amount not less than one million dollars per occurrence, combined single limit coverage for risks associated with the work contemplated by this Agreement.

If a Commercial General Liability Insurance or an Automobile Liability form or other form with a general aggregate limit is used, either the general aggregate limit shall apply separately to the work to be performed under this Agreement or the general aggregate limit shall be at least twice the required occurrence limit. Such coverage shall include but shall not be limited to, protection against claims arising from bodily and personal injury, including death resulting therefrom, and damage to property resulting from activities contemplated under this Agreement, including the use of owned and non-owned automobiles.

Coverage shall be at least as broad as Insurance Services Office Commercial General Liability occurrence form CG 0001 (ed. 11/88) and Insurance Services Office Automobile Liability form CA 0001 (ed. 12/90) Code 1 (any auto).

Each of the following shall be included in the insurance coverage or added as an endorsement to the policy:

- (i) CITY, its officers, employees, agents, and volunteers are to be additional insured with respect to each of the following: liability arising out of activities performed by or on behalf of CONSULTANT, including general supervision of CONSULTANT; products and completed operations of CONSULTANT; premises owned, occupied or used by CONSULTANT. The coverage shall contain no special limitations on the scope of protection afforded to CITY, its officers, employees, agents, or volunteers.
- (ii) The insurance shall cover on an occurrence or an accident basis, and not on a claim made basis.
- (iii) An endorsement must state that coverage is primary insurance and that no other insurance affected by the CITY will be called upon to contribute to a loss under the coverage.
- (iv) Any failure of CONSULTANT to comply with reporting provisions of the policy shall not affect coverage provided to CITY and its officers, employees, agents, and volunteers.

CITY OF LATHROP – CONSULTING SERVICES AGREEMENT  
**CONDOR EARTH TECHNOLOGIES, INC. – ENGINEERING AND ADMINISTRATION  
SUPPORT SERVICES**

- (v) Insurance is to be placed with California-admitted insurers with a Best's rating of no less than A:VII.
- (vi) Notice of cancellation or non-renewal must be received by CITY at least thirty days prior to such change.
- (c) Professional Liability. CONSULTANT, at CONSULTANT'S own cost and expense, shall maintain for the period covered by this Agreement professional liability insurance for licensed professionals performing work pursuant to this Agreement in an amount not less than One Million Dollars (\$1,000,000) per claim made and per policy aggregate covering the licensed professionals' errors and omissions, as follows:
  - (i) Any deductible or self-insured retention shall not exceed \$150,000 per claim.
  - (ii) Notice of cancellation, material change, or non-renewal must be received by the CITY at least thirty days prior to such change shall be included in the coverage or added as an endorsement to the policy.
  - (iii) The policy must contain a cross liability or severability of interest clause.
  - (iv) The following provisions shall apply if the professional liability coverages are written on a claims made form:
    1. The retroactive date of the policy must be shown and must be before the date of the Agreement.
    2. Insurance must be maintained and evidence of insurance must be provided for at least five years after completion of the Agreement or the work, so long as commercially available at reasonable rates.
    3. If coverage is canceled or not renewed and it is not replaced with another claims made policy form with a retroactive date that precedes the date of this Agreement, CONSULTANT must provide extended reporting coverage for a minimum of five years after completion of the Agreement or the work. The CITY shall have the right to exercise at the CONSULTANT'S cost, any extended reporting provisions of the policy should the CONSULTANT cancel or not renew the coverage, so long as commercially available at reasonable rates.

CITY OF LATHROP – CONSULTING SERVICES AGREEMENT  
**CONDOR EARTH TECHNOLOGIES, INC. – ENGINEERING AND ADMINISTRATION  
SUPPORT SERVICES**

4. A copy of the claim reporting requirements must be submitted to the CITY prior to the commencement of any work under this Agreement.
- (d) Deductibles and Self-Insured Retentions. CONSULTANT's policies shall have self-insured retentions not exceeding \$100,000 except with concurrence of the CITY.
  - (e) Notice of Reduction in Coverage. In the event that any coverage required under subsections (a), (b), or (c) of this section of the Agreement is reduced, limited, or materially affected in any other manner, CONSULTANT shall provide written notice to CITY at CONSULTANT'S earliest possible opportunity and in no case later than five days after CONSULTANT is notified of the change in coverage.
  - (f) In addition to any other remedies CITY may have if CONSULTANT fails to provide or maintain any insurance policies or policy endorsements to the extent and within the time herein required, CITY may, at its sole option:
    - (i) Obtain such insurance and deduct and retain the amount of the premiums for such insurance from any sums due under the Agreement, so long as commercially available at reasonable rates.
    - (ii) Order CONSULTANT to stop work under this Agreement or withhold any payment which becomes due to CONSULTANT hereunder, or both stop work and withhold any payment, until CONSULTANT demonstrates compliance with the requirements hereof;
    - (iii) Terminate this Agreement.

Exercise of any of the above remedies, however, is an alternative to other remedies CITY may have and is not the exclusive remedy for CONSULTANT'S breach.

**(10) Indemnification - CONSULTANT'S Responsibility.**

As to the CONSULTANT'S work hereunder, it is understood and agreed that (a) CONSULTANT has the professional skills necessary to perform the work, that (b) CITY relies upon the professional skills of CONSULTANT to perform the work in a skillful and professional manner, and (c) CONSULTANT thus agrees to so perform in accordance with the Standard of Care in Article 11.



CITY OF LATHROP – CONSULTING SERVICES AGREEMENT  
**CONDOR EARTH TECHNOLOGIES, INC. – ENGINEERING AND ADMINISTRATION  
SUPPORT SERVICES**

Acceptance by CITY of the work performed under this Agreement does not operate as a release of said CONSULTANT from such professional responsibility for the work performed. It is further understood and agreed that CONSULTANT is apprised of the scope of the work to be performed under this Agreement and CONSULTANT agrees that said work can and shall be performed in a fully competent manner in accordance with the standard of care applicable to CONSULTANT'S profession in accordance with Article 11.

Pursuant to Civil Code 2782.2 CONSULTANT shall indemnify, defend, and hold CITY, its officers, employees, and agents harmless from and against any and all liability, claims, suits, actions, damages, and causes of action arising out of any personal injury, bodily injury, loss of life, or damage to property, or any violation of any federal, state, or municipal law or ordinance, to the extent caused by the willful misconduct or negligent acts or omissions of CONSULTANT, its employees, or agents, or on account of the performance or character of this work, except for any such claim arising out of the negligence or willful misconduct of the CITY, its officers, employees or agents. It is understood that the duty of CONSULTANT to indemnify and hold harmless includes the duty to defend as set forth in Section 2782.8 of the California Civil Code. This agreement further clarifies that the duty to defend shall not be a duty to provide upfront defense. The duty shall be to provide reimbursement for defense costs incurred by City proportional to the extent that such cost are attributable to CONSULTANT's negligence. Acceptance of insurance certificates and endorsements required under this Agreement does not relieve CONSULTANT from liability under this indemnification and hold harmless clause. This indemnification and hold harmless clause shall apply whether or not such insurance policies shall have been determined to be applicable to any of such damages or claims for damages. Consultant will include these insurance provisions and indemnification in the sub-consultants contracts and shall have the sub-consultants provide the City with a Certificate of Insurance. Notwithstanding the foregoing, CONSULTANT's liability shall not exceed available insurance proceeds

**(11) Standard of Care.**

CONSULTANT agrees that, in connection with its services to be performed under this Agreement, such services are performed with the care and skill ordinarily exercised by members of the profession practicing under similar conditions at the same time and in the same or a similar locality. CITY recognizes that the state of practice, particularly with respect to hazardous waste conditions, is changing and evolving.

While CONSULTANT will perform in reasonable accordance with standards in effect at the time its services are performed, it is recognized that such standards may subsequently change because of improvements in the state of practice. When the findings and recommendations of CONSULTANT are based on information supplied by CITY and others, CONSULTANT shall have the right to rely on the accuracy and completeness of such information.

CITY OF LATHROP – CONSULTING SERVICES AGREEMENT  
**CONDOR EARTH TECHNOLOGIES, INC. – ENGINEERING AND ADMINISTRATION  
SUPPORT SERVICES**

No warranty or guarantee, express or implied, is made or intended by providing of consulting services or by furnishing oral or written reports of the findings made.

**(12) Licenses.**

If a license of any kind, which term is intended to include evidence of registration, is required of CONSULTANT, its employees, agents, or subcontractors by federal or state law, by signing this agreement CONSULTANT states that such license has been obtained, is valid and in good standing, and CONSULTANT shall keep it in effect at all times during the term of this Agreement, and that any applicable bond has been posted in accordance with all applicable laws and regulations.

**(13) Business Licenses.**

CONSULTANT shall obtain and maintain a CITY of Lathrop Business License until all Agreement services are rendered and accepted by the CITY.

**(14) Termination.**

Either CITY or CONSULTANT may cancel this Agreement at any time for convenience upon thirty (30) days written notification to other party. In the event of termination, the CONSULTANT shall be entitled to compensation for services performed to the effective date of termination; provided, however, that the CITY may condition payment of such compensation upon CONSULTANT'S delivery to the CITY of any or all documents, photographs, computer software, video and audio tapes, and other materials provided to CONSULTANT or prepared by or for CONSULTANT or the CITY in connection with this Agreement.

**(15) Funding.**

CONSULTANT agrees and understands that renewal of this agreement in subsequent years is contingent upon action by the City Council consistent with the appropriations limits of Article XIII (B) of the California Constitution and that the Council may determine not to fund this agreement in subsequent years. CONSULTANT shall not be required to provide services beyond available funding.

CITY OF LATHROP – CONSULTING SERVICES AGREEMENT  
CONDOR EARTH TECHNOLOGIES, INC. – ENGINEERING AND ADMINISTRATION  
SUPPORT SERVICES

**(16) Notices.**

All contracts, appointments, approvals, authorizations, claims, demands, Change Orders, consents, designations, notices, offers, requests and statements given by either party to the other shall be in writing and shall be sufficiently given and served upon the other party if (1) personally served, (2) sent by the United States mail, postage prepaid, (3) sent by private express delivery service, or (4) in the case of a facsimile transmission, if sent to the telephone FAX number set forth below during regular business hours of the receiving party and followed with two (2) Days by delivery of a hard copy of the material sent by facsimile transmission. Personal service shall include, without limitation, service by delivery and service by facsimile transmission.

To City: City of Lathrop  
City Clerk  
390 Towne Centre Drive  
Lathrop, CA 95330

Copy to: City of Lathrop  
Department of Public Works  
390 Towne Centre Drive  
Lathrop, CA 95330

Phone: (209) 941-7430  
Fax: (209) 941-7449

To Consultant: Condor Earth Technologies, Inc.  
188 Frank West Circle, Suite I  
Stockton, CA 95209  
Phone: (209) 934-0518  
Fax: (209) 234-0538  
Attn: Brad Peterson, Project Director

**(17) Miscellaneous.**

- (a) Consent. Whenever in this Agreement the approval or consent of a party is required, such approval or consent shall be in writing and shall be executed by a person having the express authority to grant such approval or consent.
- (b) Controlling Law. The parties agree that this Agreement shall be governed and construed by and in accordance with the Laws of the State of California.
- (b) Definitions. The definitions and terms are as defined in these specifications.

CITY OF LATHROP – CONSULTING SERVICES AGREEMENT  
CONDOR EARTH TECHNOLOGIES, INC. – ENGINEERING AND ADMINISTRATION  
SUPPORT SERVICES

- (d) Force Majeure. Neither party shall be deemed to be in default on account of any delay or failure to perform its obligations under this Agreement, which directly results from an Act of God or an act of a superior governmental authority.
- (e) Headings. The paragraph headings are not a part of this Agreement and shall have no effect upon the construction or interpretation of any part of this Agreement.
- (f) Incorporation of Documents. All documents constituting the Agreement documents described in Section 1 hereof and all documents which may, from time to time, be referred to in any duly executed amendment hereto are by such reference incorporated in the Agreement and shall be deemed to be part of this Agreement.
- (g) Integration. This Agreement and any amendments hereto between the parties constitute the entire Agreement between the parties concerning the Project and Work, there are no other prior oral or written agreements between the parties that are not incorporated in this Agreement.
- (h) Modification of Agreement. This Agreement shall not be modified or be binding upon the parties unless such modification is agreed to in writing and signed by the parties.
- (i) Provision. Any agreement, covenant, condition, clause, qualification, restriction, reservation, term or other stipulation in the Agreement shall define or otherwise control, establish or limit the performance required or permitted or to be required of or permitted by either party. All provisions, whether covenants or conditions, shall be deemed to be both covenants and conditions.
- (j) Severability. If a court of competent jurisdiction finds or rules that any provision of this Agreement is void or unenforceable, the provisions of this Agreement not so affected shall remain in full force and effect.
- (k) Status of CONSULTANT. In the exercise of rights and obligations under this Agreement, CONSULTANT acts as an independent contractor and not as an agent or employee of CITY. CONSULTANT shall not be entitled to any rights and benefits accorded or accruing to the City Council members, officers or employees of CITY, and CONSULTANT expressly waives any and all claims to such right and benefits.

CITY OF LATHROP – CONSULTING SERVICES AGREEMENT  
CONDOR EARTH TECHNOLOGIES, INC. – ENGINEERING AND ADMINISTRATION  
SUPPORT SERVICES

- (l) Successors and Assigns. The provisions of this Agreement shall inure to the benefit of, and shall apply to and bind, the successors and assigns of the parties.
- (m) Time of the Essence. Time is of the essence of this Agreement and each of its provisions. In the calculation of time hereunder, the time in which an act is to be performed shall be computed by excluding the first Day and including the last. If the time in which an act is to be performed falls on a Saturday, Sunday or any Day observed as a legal holiday by CITY, the time for performance shall be extended to the following Business Day.
- (n) Venue. In the event that suit is brought by either party hereunder, the parties agree that trial of such action shall be vested exclusively in the state courts of California in the County of San Joaquin or in the United States District Court for the Eastern District of California.
- (o) Recovery of Costs. The prevailing party in any action brought to enforce the terms of this Agreement or arising out of this Agreement may recover its reasonable costs, including reasonable attorney's fees, incurred or expended in connection with such action against the non-prevailing party.

**(18) General Contractor Responsibilities.**

Neither the professional activities of CONSULTANT, nor the presence of CONSULTANT or CONSULTANT'S sub-consultants shall relieve the any General Contractor retained by the CITY of its obligations, duties and responsibilities.

CITY agrees that the CITY, CONSULTANT and its sub-consultants shall be indemnified by the General Contractor and shall be made additional insured under the General Contractor' general liability insurance policy and that a Waiver of Subrogation in favor of CONSULTANT will be provided under the General Contractor's Workers Compensation policy. CITY will require General Contractor to provide evidence of such insurance to CITY and CONSULTANT prior to General Contractor beginning work on the project.

**(19) Notice to Proceed.**

Prior to commencing work under this agreement, CONSULTANT shall receive a written "Notice to Proceed" from CITY. A Notice to Proceed shall not be issued until all necessary bonds and insurances have been received. City shall not be obligated to pay CONSULTANT for any services prior to issuance of the Notice to Proceed.

CITY OF LATHROP – CONSULTING SERVICES AGREEMENT  
CONDOR EARTH TECHNOLOGIES, INC. – ENGINEERING AND ADMINISTRATION  
SUPPORT SERVICES

**(20) Cost Estimates.**

Any statements of estimated construction costs or future operation and maintenance costs furnished by CONSULTANT are predicted costs and are based on professional opinions and judgment. CONSULTANT is not responsible for fluctuations in construction costs due to bidding conditions and other factors which could not be anticipated at the time of preparation of the particular estimate.

**(21) CADD Documents.**

Any Computer Aided Design and Drafting (CADD) documents, drawings and data files provided by CONSULTANT in an electronic format, on tape, computer disk or other electronic media, in accordance with the services covered by this Agreement or as a courtesy to CITY do not constitute the delivery of CONSULTANT's professional work product. Only the original paper prints constitute CONSULTANT'S professional work product. Because the electronic media may be damaged during transfer or altered, the paper prints shall control where there are any differences between the paper prints and the electronic media. CONSULTANT makes no warranties, either express or implied, of the merchantability, applicability, compatibility with CITY'S computer equipment or software, or fitness for any particular purpose for the electronic media or that the electronic media contain no defects or are virus free.

Modification or use by CITY of any documents or electronic media prepared by CONSULTANT for any purpose or project other than the project subject to this Agreement shall be at CITY'S sole risk. CITY agrees to indemnify and hold CONSULTANT harmless from any claims, damages, liabilities or costs, including attorneys' fees and costs of defense, arising from any reuse or modification of any documents or electronic media prepared by CONSULTANT without the prior written consent of CONSULTANT.


**(22) Signatures.**

The individuals executing this Agreement represent and warrant that they have the right, power, legal capacity, and authority to enter into and to execute this Agreement on behalf of the respective legal entities of the CONSULTANT and the CITY. This agreement shall inure to the benefit of and be binding upon the parties hereto and their respective successors and assigns.

CITY OF LATHROP – CONSULTING SERVICES AGREEMENT  
CONDOR EARTH TECHNOLOGIES, INC. – ENGINEERING AND ADMINISTRATION  
SUPPORT SERVICES

Approved as to Form: |

City of Lathrop  
City Attorney

  
\_\_\_\_\_  
Salvador Navarrete 1-23-20  
Date


Recommended for Approval:

City of Lathrop  
Public Works Director

  
\_\_\_\_\_  
Michael King 1-24-20  
Date

Accepted By:

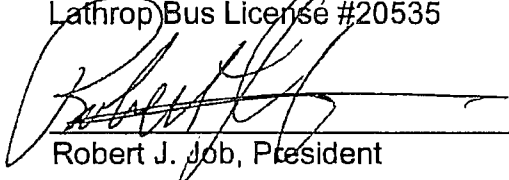
City of Lathrop  
390 Towne Centre Drive  
Lathrop, CA 95330

  
\_\_\_\_\_  
Stephen J. Salvatore 3-11-2020  
Date  
City Manager

CONSULTANT:

Condor Earth Technologies, Inc.  
188 Frank West Circle, Suite 1  
Stockton, CA 952069

Fed ID # 94-2908050  
Lathrop Bus License #20535

  
\_\_\_\_\_  
Robert J. Job, President 1/20/2020  
Date



**Exhibit A**

**CONDOR EARTH**  
188 Frank West Circle, Suite I  
Stockton, CA 95206  
209.234.0518  
Fax 209.234.0538  
www.condorearth.com

Condor Proposal No. 7569F

January 20, 2020

Michael King, PE  
City of Lathrop  
390 Towne Centre Drive  
Lathrop, CA 95330

**Subject: Proposal for Engineering and Administration Support Services**

Dear Mr. King:

Condor Earth (Condor), is pleased to provide the attached hourly rates for engineering and administrative support services. We understand that the City desires full-time engineering support to assist with implementing the Citywide Capital Improvement Program, along with supporting development services. Condor proposes to provide these services in accordance with the attached Fee Schedule.

Acceptance of this Proposal by the City means that the City agrees to keep assigned professional in positions as described herein, to notify Condor if the assignment will change and to not assign supervisory duties to any staff under this agreement. In addition, all work associated with this position will be performed under the direction, supervision and responsible charge of City engineering staff. If the City is no longer in need of our assigned professionals, the City will provide a 2-week notice of termination.

Condor appreciates the opportunity to submit this Proposal. Please contact us if you have any questions.

Respectfully submitted,

CONDOR EARTH

Brad Peterson  
Project Director

Attachments:

Prevailing Wage Schedule of Fees  
Schedule of Fees



**CONDOR EARTH  
PREVAILING WAGE SCHEDULE OF FEES  
2020**

<u>STAFF MEMBER</u>	<u>RATE PER HOUR (\$)</u>
<b>PRINCIPALS/PROJECT MANAGEMENT</b>	
Senior Principal.....	240.00
Principal Tunneling Consultant.....	230.00
Principal Engineer/Geologist.....	215.00
Project Director.....	205.00
Construction Manager.....	200.00
Project/Senior Manager.....	180.00
<b>TECHNICAL</b>	
Senior Geotechnical Engineer.....	205.00
Certified Hydrogeologist/Engineering Geologist.....	195.00
Senior Geologist/Engineer/Environmental Specialist.....	185.00
Unmanned Aerial System (UAS) Specialist.....	150.00
Resident Construction Inspector.....	150.00
Associate Geologist/Engineer/Environmental Specialist.....	150.00
Staff Geologist/Engineer/Environmental Specialist.....	135.00
Field Environmental Specialist (Group 2).....	135.00
Engineering Assistant.....	110.00
Draftsperson.....	100.00
<b>MATERIALS TESTING*</b>	
Material Technician (Group 1**). .....	140.00
Material Technician (Group 2**). .....	135.00
Material Technician (Group 3**). .....	130.00
Material Technician (Group 4**). .....	125.00
MTSI Project/Laboratory Manager.....	125.00
Senior Materials Technician (non-PW).....	95.00
<b>SUPPORT STAFF</b>	
Senior Project Administrator.....	130.00
Administrative Specialist.....	105.00
Project Coordinator.....	105.00
Technical Editor.....	77.00
Administrative Assistant.....	72.00
<b>MISCELLANEOUS</b>	
Overtime (all Saturday work is overtime).....	(1.3 times rate)
Double-time (all Sundays and Holidays).....	(1.7 times rate)
Shift Pay*** (Night Shift).....	(1.3 – 1.7 times rate)
Litigation Support.....	300.00 – 400.00

**NON-LABOR CHARGES**

Vehicle charge..... \$55 per day plus 50 cents per mile  
 Laboratory Charges per Laboratory Fee Schedule. Billable Field Equipment per Billable Field Equipment Schedule.

\*A 2-hour minimum charge will be applied to all field services, and a 4-hour minimum will be applied for the cancellation of work within 24 hours of scheduled field work.

**OUT-OF-POCKET EXPENSES**

Billed at cost plus 15% and includes such items as travel expenses, equipment rental, laboratory fees, subcontractors, postage and freight, subcontracted printing or reproduction fees, supplies, etc.

**CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS GROUP CLASSIFICATIONS**

<u>Group 1</u>	<u>Group 2</u>	<u>Group 3</u>	<u>Group 4</u>
ASNT Level II-III	AWS-CWI	Geotechnical Driller	ACI
DSA Masonry	ICC Certified Structural Inspector	Soils/Asphalt	Drillers Helper
DSA Shotcrete	NICET Level III	Earthwork Grading	ICC Fireproofing
Lead Inspector	Shear Wall/Floor System Inspector	Excavation and Backfill	Proofload Testing
NICET Level IV	Building/Construction Inspector	NICET Level II	Torque Testing
NDT Level Two			NDT Level One

\*\*California Prevailing Wage increase effective July 1, 2020 for Group 1 and Group 2 (All Shifts) of \$3.45; Group 3 of \$2.58; Group 4 of \$1.84. Condor bill rates for these staff types will increase by these amounts on the effective date.

\*\*\*Shift Pay: A night shift is a shift which commences after 2:00 p.m. or before 4:00 a.m. during any twenty-four (24) hour period commencing at 12:01 a.m.



**CONDOR EARTH  
SCHEDULE OF FEES  
2020**

<u>STAFF MEMBER</u>	<u>RATE PER HOUR (\$)</u>
<b>PRINCIPALS/PROJECT MANAGEMENT</b>	
Senior Principal .....	240.00
Principal Tunneling Consultant.....	230.00
Principal Engineer/Geologist.....	215.00
Project Director .....	205.00
Construction Manager .....	200.00
Project/Senior Manager .....	180.00
<b>TECHNICAL</b>	
Senior Geotechnical Engineer .....	205.00
Registered Geotechnical Engineer.....	195.00
Certified Hydrogeologist/Engineering Geologist.....	195.00
Senior Geologist/Engineer/Environmental Specialist .....	185.00
Senior Process Safety Management Specialist.....	175.00
Unmanned Aerial System (UAS) Specialist.....	150.00
GIS Programmer/Analyst .....	150.00
Process Safety Management Specialist .....	150.00
Resident Construction Inspector.....	150.00
Associate Geologist/Engineer/Environmental Specialist .....	150.00
Aboveground Storage Tank (AST) Certified Inspector.....	140.00
Staff Geologist/Engineer/Environmental Specialist .....	135.00
GIS Technician.....	125.00
Engineering Assistant.....	110.00
Senior Technician.....	105.00
Draftsperson .....	100.00
Technician .....	85.00
<b>MATERIALS TESTING *</b>	
MTSI Project/Laboratory Manager .....	125.00
Certified Welding Inspector .....	120.00
Special Inspector .....	100.00
Senior Materials Technician.....	95.00
Materials Technician .....	80.00
<b>SUPPORT STAFF</b>	
Administrative Specialist.....	105.00
Project Coordinator .....	105.00
Technical Editor .....	77.00
Administrative Assistant .....	72.00
<b>MISCELLANEOUS</b>	
Overtime (all Saturday work is overtime) .....	(1.3 times rate)
Double-time (all Sundays and Holidays).....	(1.7 times rate)
Litigation Support.....	300.00 – 400.00

**NON-LABOR CHARGES**

Vehicle charge ..... \$55 per day plus 50 cents per mile

Unit Charges per Condor Unit Fee Schedule

Billable Field Equipment per Condor Billable Field Equipment Schedule

Laboratory Charges per Condor Laboratory Fee Schedule

\*A 2-hour minimum charge will be applied to all field services, and a 4-hour minimum will be applied for the cancellation of work within 24 hours of scheduled field work.

**OUT-OF-POCKET EXPENSES**

Billed at cost plus 15% and includes such items as travel expenses, equipment rental, laboratory fees, subcontractors, postage and freight, subcontracted printing or reproduction fees, supplies, etc.

**PREVAILING WAGE**

Refer to Condor Prevailing Wage Schedule of Fees





# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
1/16/2020

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> Hall & Company A/E Insurance Services 19660 10th Ave NE Poulsbo WA 98370	<b>CONTACT NAME:</b> Theresa Swanson CA#0N1416	
	<b>PHONE (A/C, No, Ext):</b> 360-626-2957	<b>FAX (A/C, No):</b> 360-626-2957
<b>E-MAIL ADDRESS:</b> tswanson@hallandcompany.com		
<b>INSURER(S) AFFORDING COVERAGE</b>		<b>NAIC #</b>
<b>INSURER A :</b> Valley Forge Insurance Company		20508
<b>INSURER B :</b> Continental Insurance Company		35289
<b>INSURER C :</b> Hartford Underwriters Insurance Company		30104
<b>INSURER D :</b> Scottsdale Indemnity Company		15580
<b>INSURER E :</b> North American Capacity Insurance Company		25038
<b>INSURER F :</b>		

**INSURED** CONDEAR-01  
 Condor Earth Technologies Inc  
 PO Box 3905  
 Sonora CA 95370

**COVERAGES**

CERTIFICATE NUMBER: 958375560

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSD WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR  GENL AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC <input type="checkbox"/> OTHER	Y	6079217456	10/1/2019	10/1/2020	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 1,000,000 MED EXP (Any one person) \$ 15,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$
B	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY		6079221278	10/1/2019	10/1/2020	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
B	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTION \$ 10,000		6079223919	10/1/2019	10/1/2020	EACH OCCURRENCE \$ 3,000,000 AGGREGATE \$ 3,000,000 \$
C	<input checked="" type="checkbox"/> WORKERS COMPENSATION AND EMPLOYERS' LIABILITY <input type="checkbox"/> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N N/A	57WEGAD1ARN	5/1/2019	5/1/2020	<input checked="" type="checkbox"/> PER STATE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
D E	Professional Liab, Claims Made Cyber Liability		JES0000017 C-4LSP-145225-CYBER-2019	10/1/2019 10/1/2019	10/1/2020 10/1/2020	\$2,000,000 Per Claim \$4,000,000 Agg \$1,000,000 Per Claim \$1,000,000 Agg

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)  
 Re: Engineering and Administration Support - City, its officers, employees, agents, and volunteers are named as Additional Insureds as respects General Liability and Automobile Liability coverage. General Liability insurance is Primary/Non-Contributory per policy form wording. Severability of Interest applies to the General Liability policy. Waiver of Subrogation applies to Worker's Compensation. 30 Days Notice of Cancellation.

**CERTIFICATE HOLDER****CANCELLATION**

City of Lathrop  
 390 Towne Centre Drive  
 Lathrop CA 95330

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

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## CNA PARAMOUNT

Endorsement

Effective Date: 01/29/2020

**Insured Name:**

CONDOR EARTH TECHNOLOGIES INC

21663 BRIAN LN  
PO BOX 3905  
SONORA, CA 95370-9065

Policy Number: 6079217456

Policy Period: 10/01/2019 ~ 10/01/2020

**Producer's Information:**

VICTOR INSURANCE MANAGERS INC.  
STE 1100  
2 WISCONSIN CIR  
CHEVY CHASE, MD 20815  
(301)961-9800

Producer Code: 028570

CNA Branch Number: 886

**CNA Branch Name and Address:**

DESIGN ONE CENTER  
TWO WISCONSIN CIRCLE

CHEVY CHASE, MD 20815  
( ) -

**Thank you for choosing CNA!**

With your CNA Paramount package policy, you have insurance coverage tailored to meet the needs of your modern business. The international network of insurance professionals and the financial strength of CNA, rated "A" by A.M. Best, provide the resources to help you manage the daily risks of your organization so that you may focus on what's most important to you.

**Claim Services — There When You Need Us**

Claims are reported through a single point of entry available 24/7, connecting you to the individuals and information to help you resume your business when you need it most.

To report a claim, please call 877-CNA-ASAP, fax (800) 953-7389,  
email [lossreport@cnaasap.com](mailto:lossreport@cnaasap.com), or visit [www.cna.com/claim](http://www.cna.com/claim).

**Risk Control Services — Help Avoid A Claim Before It Occurs**

As a CNA policyholder, you have access to certified risk control professionals, risk mitigation programs and online resources to help identify and manage exposures that may disrupt your operation. We collaborate with business leaders to develop customized programs to assist you in safeguarding your assets and improving the bottom line.

To learn how our award-winning Risk Control services can help your business, please call (866) 262-0540, email us at [riskcontrolwebinfo@cna.com](mailto:riskcontrolwebinfo@cna.com) or visit [www.cna.com/riskcontrol](http://www.cna.com/riskcontrol).

When it comes to providing the coverage, service and resources paramount to your business success ... we can show you more.

40020005680792174564747





Amendment of Forms and Endorsements Schedule  
Addition or Deletion of Endorsements

It is understood and agreed as follows:

I. ADDITION OF FORMS OR ENDORSEMENTS

The Forms and Endorsements Schedule is amended to add the following forms or endorsements effective as of the date set forth in such form or endorsement

Endm't Number	Form or Endorsement Name	Form Number	Form Edition
43	Amendment of Forms and Endorsements Schedule Addition or Deletion of Endorsements	CNA62673XX	09-12
44	Additional Insured - Owners, Lessees or Contractors - Scheduled Person or Organization Endorsement	CG 20 10	04-13
45	Additional Insured - Owners, Lessees or Contractors - Completed Operations Endorsement	CG 20 37	04-13

II. DELETION OF FORMS OR ENDORSEMENTS

The Forms and Endorsements Schedule is amended to delete the following forms or endorsements effective as of the "deletion date" indicated below.

The net premium change, if any, for the above endorsements in Sections I. and II. is: \$0.00

Total change is : \$0.00

All other terms and conditions of the Policy remain unchanged.

This endorsement, which forms a part of and is for attachment to the Policy issued by the designated Insurers, takes effect on the effective date of said Policy at the hour stated in said Policy, unless another effective date is shown below, and expires concurrently with said Policy.



CNA62673XX 09-12

Page 1 of 1

VALLEY FORGE INSURANCE COMPANY

Insured Name: CONDOR EARTH TECHNOLOGIES INC

Policy No: 6079217456

Endorsement No: 43

Effective Date: 01/29/2020

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CNA PARAMOUNT

**Additional Insured - Owners, Lessees or Contractors -  
Scheduled Person or Organization Endorsement**

This endorsement modifies insurance provided under the following:

COMMERCIAL GENERAL LIABILITY COVERAGE PART

**SCHEDULE**

**Name Of Additional Insured Person(s) Or Organization(s)**

CITY OF LATHROP ITS OFFICERS, CITY COUNCIL, BOARDS AND COMMISSIONS AND MEMBERS  
THEREOF, ITS EMPLOYEES AND AGENTS

Empty rows for additional insured information.

Empty rows for additional insured information.

**Location(s) Of Covered Operations**

Empty space for location information.

Information required to complete this Schedule, if not shown above, will be shown in the Declarations.

It is understood and agreed as follows:

CG 20 10 (04-13)

Page 1 of 2

VALLEY FORGE INSURANCE COMPANY

Insured Name: CONDOR EARTH TECHNOLOGIES INC

Policy No: 6079217456

Endorsement No: 44

Effective Date: 01/29/2020

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**Additional Insured - Owners, Lessees or Contractors -  
Scheduled Person or Organization Endorsement**

A. Section II – Who Is An Insured is amended to include as an additional insured the person(s) or organization(s) shown in the Schedule, but only with respect to liability for **bodily injury, property damage or personal and advertising injury** caused, in whole or in part, by:

1. Your acts or omissions; or
2. The acts or omissions of those acting on your behalf;

in the performance of your ongoing operations for the additional insured(s) at the location(s) designated above.

However:

1. The insurance afforded to such additional insured only applies to the extent permitted by law; and
2. If coverage provided to the additional insured is required by a contract or agreement, the insurance afforded to such additional insured will not be broader than that which you are required by the contract or agreement to provide for such additional insured.

B. With respect to the insurance afforded to these additional insureds, the following additional exclusions apply:

This insurance does not apply to **bodily injury or property damage** occurring after:

1. All work, including materials, parts or equipment furnished in connection with such work, on the project (other than service, maintenance or repairs) to be performed by or on behalf of the additional insured(s) at the location of the covered operations has been completed; or
2. That portion of **your work** out of which the injury or damage arises has been put to its intended use by any person or organization other than another contractor or subcontractor engaged in performing operations for a principal as a part of the same project.

C. With respect to the insurance afforded to these additional insureds, the following is added to **Section III – Limits Of Insurance**:

If coverage provided to the additional insured is required by a contract or agreement, the most we will pay on behalf of the additional insured is the amount of insurance:

1. Required by the contract or agreement; or
  2. Available under the applicable Limits of Insurance shown in the Declarations;
- whichever is less.

This endorsement shall not increase the applicable Limits of Insurance shown in the Declarations.



CNA PARAMOUNT

Additional Insured - Owners, Lessees or Contractors - Completed Operations Endorsement

This endorsement modifies insurance provided under the following:

COMMERCIAL GENERAL LIABILITY COVERAGE PART
PRODUCTS/COMPLETED OPERATIONS LIABILITY COVERAGE PART

Table with columns for Name Of Additional Insured Person(s) Or Organization(s) and Location And Description Of Completed Operations. Includes entry for CITY OF LATHROP ITS OFFICERS, CITY COUNCIL, BOARDS AND COMMISSIONS AND MEMBERS THEREOF, ITS EMPLOYEES AND AGENTS.

40020005660792174564750



Information required to complete this Schedule, if not shown above, will be shown in the Declarations.

CG 20 37 (04-13)

Page 1 of 2

VALLEY FORGE INSURANCE COMPANY

Insured Name: CONDOR EARTH TECHNOLOGIES INC

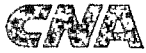
Policy No: 6079217456

Endorsement No: 45

Effective Date: 01/29/2020

Copyright Insurance Services Office, Inc., 2012





**Additional Insured - Owners, Lessees or Contractors -  
Completed Operations Endorsement**

It is understood and agreed as follows:

A. **Section II – Who Is An Insured** is amended to include as an additional insured the person(s) or organization(s) shown in the Schedule, but only with respect to liability for **bodily injury or property damage** caused, in whole or in part, by **your work** at the location designated and described in the Schedule of this endorsement performed for that additional insured and included in the **products-completed operations hazard**.

However:

1. The insurance afforded to such additional insured only applies to the extent permitted by law; and
2. If coverage provided to the additional insured is required by a contract or agreement, the insurance afforded to such additional insured will not be broader than that which you are required by the contract or agreement to provide for such additional insured.

B. With respect to the insurance afforded to these additional insureds, the following is added to **Section III – Limits Of Insurance**:

If coverage provided to the additional insured is required by a contract or agreement, the most we will pay on behalf of the additional insured is the amount of insurance:

1. Required by the contract or agreement; or
2. Available under the applicable Limits of Insurance shown in the Declarations;

whichever is less.

This endorsement shall not increase the applicable Limits of Insurance shown in the Declarations.



40020005660792174564751

**END OF COPY**



## Business Auto Policy

### Insured Name

CONDOR EARTH TECHNOLOGIES INC  
PO BOX 3905  
SONORA, CA 95370-3905

### Producer Information

VICTOR INSURANCE MANAGERS INC.  
2 WISCONSIN CIR  
STE 1100  
CHEVY CHASE, MD 20815-7003

### Policy Number

BUA 6079221278

### Producer Processing Code

886-028570

### Policy Period

10/01/2019 to 10/01/2020

### CNA Branch

VOSCO

### Endorsement

### Thank you for choosing CNA!

With your Business Auto Policy, you have insurance coverage tailored to meet the needs of your business. The international network of insurance professionals and the financial strength of CNA, rated "A" by A.M. Best, provide the resources to help you manage the daily risks of your organization so that you may focus on what's most important to you.

### Claim Services

- To report a loss go to [www.cna.com/claim](http://www.cna.com/claim) or send an email to [lossreport@cnaasap.com](mailto:lossreport@cnaasap.com), or call 877-CNA-ASAP (877-262-2727)
- To find a network provider, go to [www.cna.com/claim](http://www.cna.com/claim)
- To request loss runs send an email to [fsrmail@cnacentral.com](mailto:fsrmail@cnacentral.com)
- For additional questions call CNA Customer Service at (877)-574-0540, or contact your independent CNA Insurance Agent.

### Risk Control Services

To learn more about our award winning Risk Control Services and how to improve your bottom line, please email us at [riskcontrolwebinfo@cna.com](mailto:riskcontrolwebinfo@cna.com), call (866) 262-0540 or visit [www.cna.com/riskcontrol](http://www.cna.com/riskcontrol).

### Commercial Automobile Identification Cards

Evidence of automobile insurance is required and must be produced upon request by law enforcement. Enclosed you will find your Automobile Insurance Identification Cards for each insured auto. The applicable Card must be carried in the insured auto at all times. If you are not the person directly responsible for having these Automobile Identification Cards displayed in each vehicle, please direct these cards to the appropriate person within your organization. The information displayed on the individual card(s) and the quantity supplied is based on the vehicle information provided by your independent CNA Insurance Agent.



**Quality Assurance**

Questions pertaining to this transaction should be referred to CNA Customer Interaction Center at 877-574-0540, Option 3. Please send endorsement requests to [ciet@cna.com](mailto:ciet@cna.com) or fax 877-363-8669.



**AMENDMENT OF FORMS AND ENDORSEMENTS SCHEDULE  
ADDITION OR DELETION OF ENDORSEMENTS**

It is understood and agreed as follows:

**I. ADDITION OF FORMS OR ENDORSEMENTS**

The **Forms and Endorsements Schedule** is amended to add the following forms or endorsements effective as of the date set forth in such form or endorsement.

Endorsement Number	Form or Endorsement Name	Form Number	Edition Date	Effective Date	Expiration Date
28	AMENDMENT OF FORMS AND ENDORSEMENTS SCHEDULE ADDITION OR DELETION OF ENDORSEMENTS	CNA62673XX	06-2017	01/29/2020	10/01/2020
29	DESIGNATED INSURED FOR COVERED AUTOS LIABILITY COVERAGE	CA 20 48	10-2013	01/29/2020	10/01/2020

**II. DELETION OF FORMS OR ENDORSEMENTS**

The **Forms and Endorsements Schedule** is amended to delete the following forms or endorsements effective as of the "deletion date" indicated below.

The net premium change, if any, for the above endorsements in Sections I. and II. is: \$0.00

Surcharge Taxes and Fees changes are:

Total change is: \$0.00

All other terms and conditions of the policy remain unchanged.

This endorsement, which forms a part of and is for attachment to the policy issued by the designated Insurers, takes effect on the Policy Effective Date of said policy at the hour stated in said policy, unless another effective date (the Endorsement Effective Date) is shown below, and expires concurrently with said policy unless another expiration date is shown below.

Form No: CNA62673XX (06-2017)	Endorsement Effective Date: 01/29/2020	Endorsement Expiration Date:	Policy No: BUA 6079221278
Endorsement No: 28; Page: 1 of 1	Underwriting Company: Continental Casualty Company, 151 N Franklin St, Chicago, IL 60606		Policy Effective Date: 10/01/2019



**DESIGNATED INSURED FOR COVERED AUTOS LIABILITY COVERAGE**

**THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.**

This endorsement modifies insurance provided under the following:

AUTO DEALERS COVERAGE FORM

BUSINESS AUTO COVERAGE FORM

MOTOR CARRIER COVERAGE FORM

With respect to coverage provided by this endorsement, the provisions of the Coverage Form apply unless modified by this endorsement.

This endorsement identifies person(s) or organization(s) who are "insureds" for Covered Autos Liability Coverage under the Who Is An Insured provision of the Coverage Form. This endorsement does not alter coverage provided in the Coverage Form.

This endorsement changes the policy effective on the inception date of the policy unless another date is indicated below.

**Named Insured:** CONDOR EARTH TECHNOLOGIES INC  
**Endorsement Effective Date:** 01/29/2020

<b>SCHEDULE</b>
<b>Name Of Person(s) Or Organization(s):</b>
CITY OF LATHROP, ITS OFFICERS, CITY COUNCIL, BOARDS AND COMMISSIONS AND MEMBERS THEREOF, ITS EMPLOYEES AND AGENTS
Information required to complete this Schedule, if not shown above, will be shown in the Declarations.

Each person or organization shown in the Schedule is an "insured" for Covered Autos Liability Coverage, but only to the extent that person or organization qualifies as an "insured" under the Who Is An Insured provision contained in Paragraph A.1. of Section II - Covered Autos Liability Coverage in the Business Auto and Motor Carrier Coverage Forms and Paragraph D.2. of Section I - Covered Autos Coverages of the Auto Dealers Coverage Form.

Form No: CA 20 48 10 13	Endorsement Effective Date: 01/29/2020	Endorsement Expiration Date:	Policy No: BUA 6079221278
Endorsement No: 29; Page: 1 of 1	Underwriting Company: Continental Casualty Company, 151 N Franklin St, Chicago, IL 60606		Policy Effective Date: 10/01/2019

**ITEM: CIP PK 19-17 SENIOR CENTER IMPROVEMENTS**

**RECOMMENDATION: Adopt a Resolution Approving an Increase in Funding for Capital Improvement Project PK 19-17 Senior Center Improvements and Related Budget Amendment.**

---

**SUMMARY:**

Staff requests that City Council consider adoption of a resolution approving an increase in funding of \$50,000 from the General Fund to be reimbursed by the Community Development Block Grant (CDBG) for the Capital Improvement Project (CIP) PK 19-17 Senior Center Improvements.

**BACKGROUND:**

At the June 10, 2019 City Council meeting, the City Council approved the creation and funding of CIP PK 19-17 for Senior Center Improvements, this project was approved for funding through the Fiscal Year (FY) 2019-20 Community Development Block Grant (CDBG) program.

The Lathrop Senior Center, located at 15707 Fifth Street, is approximately a 5,000 square-foot modular building that was placed into service in September 2000. This facility has since served the daily needs of Lathrop seniors and surrounding communities. This project is proposed to include, but not limited to, the removal, repair and replacement of the existing flooring, repair and repaint the drop down ceiling grid, replace stained ceiling tiles, paint interior walls, install Americans with Disabilities Act (ADA)-compliant toilets, repair or replace restroom partitions, place ADA-compliant hand rails, and other various improvements.

**REASON FOR RECOMMENDATION:**

As reported during the June 10, 2019 regular meeting, the Senior Center has begun to show the toll of daily use. The existing flooring is worn and buckling in places, and needs to be replaced. The existing ceiling panels are worn, water-stained, mismatched and the ceiling grid needs to be repainted. The interior walls need to be cleaned and painted. The restroom toilets will be replaced with taller ADA-compliant toilets. We will install additional ADA-compliant handrails as well as repair or replace the existing restroom partitions as required.

In anticipation of the increased expenses associated with contracting services for this project, City staff applied for an additional \$50,000 in funding from the CDBG program under the FY 20-21 allocation. This improvement project will be initially funded through the City's general fund, and the City will be reimbursed through the CDBG program upon completion of the project.

**FISCAL IMPACT:**

Staff is requesting City Council consider a budget amendment of \$50,000 to increase funding associated with CIP PK 19-17, which upon completion will be reimbursed to the City from the CDBG program.

<b>Revenue Increase</b>	
2650-3001-333-01-00	\$50,000
 <b>Proposed Budget Amendment</b>	
CDBG Fund Transfer Out	
2650-99-00-990-90-10	\$50,000
 Increase Transfer In PK 19-17	
3010-9900-393-00-00	\$50,000
 Increase Expense In PK 19-17	
3010-80-00-420-12-00	\$50,000

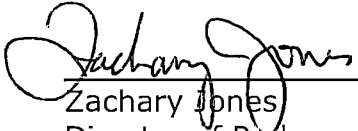
**ATTACHMENTS:**

- A. A Resolution of the City Council of the City of Lathrop Approving an Increase in Funding for CIP PK 19-17 Senior Center Improvements and Related Budget Amendment



**CITY MANAGER'S REPORT**  
**May 11, 2020 CITY COUNCIL REGULAR MEETING**  
**INCREASE FUNDING FOR CIP PK 19-17 SENIOR CENTER IMPROVEMENTS**


**APPROVALS:**

  
\_\_\_\_\_  
Zachary Jones  
Director of Parks and Recreation

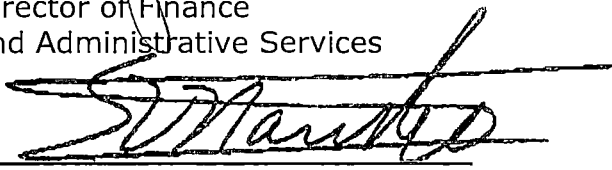
4-30-2020  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Michael King  
Director of Public Works

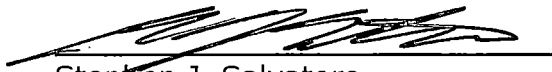
5.4.2020  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Cari James  
Director of Finance  
and Administrative Services

5-4-2020  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Salvador Navarrete  
City Attorney

5/4/2020  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Stephen J. Salvatore  
City Manager

5.5.2020  
\_\_\_\_\_  
Date

**RESOLUTION NO. 20-**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP  
APPROVING AN INCREASE IN FUNDING FOR CIP PK 19-17 SENIOR CENTER  
IMPROVEMENTS AND RELATED BUDGET AMENDMENT**

**WHEREAS**, the Senior Center is in need of repairs and ADA updates; and

**WHEREAS**, the proposed Senior Center improvements will replace existing flooring, repair, replace and repaint drop down ceiling items, paint walls, replace toilets and associated restroom partitions, and other various improvements; and

**WHEREAS**, at the June 10, 2019 City Council regular meeting, the City Council approved the creation and funding of Capital Improvement Project (CIP) PK 19-17; and

**WHEREAS**, the expenses from the Senior Center improvements will be reimbursed to the City from grant funding through the Community Development Block Grant (CDBG) program upon completion of the project; and

**WHEREAS**, in anticipation of increased contracting service expenses associated with this project, City staff applied for an additional \$50,000 in funding from the CDBG program; and

**WHEREAS**, approval of this item will allow staff to proceed with the improvement project;

**NOW, THEREFORE, BE IT RESOLVED**, that the City Council of the City of Lathrop approves an increase in funding as well as the following budget amendment for CIP PK 19-17 Senior Center Improvements.

**Revenue Increase**

2650-3001-333-01-00 \$50,000

**Budget Amendment**

General Fund Transfer Out  
1010-99-00-990-90-10 \$50,000

Increase Transfer In PK 19-17  
3010-9900-393-00-00 \$50,000

Increase Expense PK 19-17  
3010-80-00-420-12-00 \$50,000

The foregoing resolution was passed and adopted this 11<sup>TH</sup> day of May 2020, by the following vote of:

AYES:

NOES:

ABSTAIN:

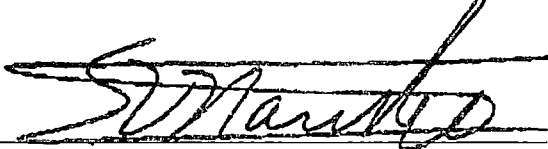
ABSENT:

\_\_\_\_\_  
Sonny Dhaliwal, Mayor

**ATTEST:**

\_\_\_\_\_  
Teresa Vargas, City Clerk

**APPROVED AS TO FORM:**

  
\_\_\_\_\_  
Salvador Navarrete, City Attorney

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**CITY MANAGER'S REPORT  
MAY 11, 2020 CITY COUNCIL REGULAR MEETING**

**ITEM: CREATE CIP PK 20-23 FOR IMPROVEMENTS AT THE LATHROP GENERATIONS CENTER**

**RECOMMENDATION: Adopt Resolution Approving the Creation of CIP PK 20-23 for the Design and Installation of Improvements at the Lathrop Generations Center and Related Budget Amendment**

---

**SUMMARY:**

The Lathrop Generations Center was constructed in 2014 utilizing a grant from the State Parks Commission in the amount of \$5,000,000. The Generations Center parcel was not fully developed at the time due to funding constraints and because the surrounding area (Central Lathrop) was undeveloped. Central Lathrop is currently being built, including a 4-acre park directly south of the Generations Center.

Staff has identified some potential improvements for the remaining portion of undeveloped land between the Generations Center and the new Central Lathrop Park being built by the developer. These improvements include lighting, landscaping, benches, upgrades to park equipment, covered picnic area, and pickle ball courts.

Staff requests City Council approve the creation of CIP PK 20-23 for the design and installation of improvements at the Lathrop Generations Center and a related budget amendment. Staff anticipates returning to Council for the award of a construction contract.

**BACKGROUND:**

The Lathrop Generations Center, which opened 2014, is one of the City's premier locations for family events and programs for the residents of Lathrop. Events such as movie nights, concerts in the park, and the City's Annual Anniversary Celebration have taken place at this location. Since the center's opening in 2014 there has been an undeveloped portion of land behind the center, as there was no sufficient grant funding available to complete as part of the original project.

A 4-acre park site is currently being constructed along the southern edge of the Generations Center, and on April 13, 2020, City Council adopted Resolution No. 20-4699, approving the construction of the additional parking at the Lathrop Generations Center. The proposed project, combined with CIP PK 20-01 Generations Center Parking Lot, will complete the undeveloped parcel and provide the final piece to join the Generations Center.

**CITY MANAGER'S REPORT** **PAGE 2**  
**MAY 11, 2020 CITY COUNCIL REGULAR MEETING**  
**APPROVE CREATION CIP PK 20-23 FOR IMPROVEMENTS AT THE LATHROP**  
**GENERATIONS CENTER**

Approval of PK 20-23 will allow staff to move forward with the design for the project, as well as the installation of parking lot lighting, a large covered picnic shelter (33'x46') with 6 tables and a barbecue, pickle ball courts adjacent to the existing basketball court, preferred rubberized playground surfacing instead of the engineered wood fiber at the adjacent park site, as well as to finish all associated landscaping which will allow for the conversion of existing decomposed granite pathways to concrete sidewalks that will connect the existing park with new parking lot sidewalks as well as to the new park sidewalks. This project will provide the final piece to tie all of the projects together and to complete the improvements at the Generations Center.

**REASON FOR RECOMMENDATION:**

This project will complete the development of the Lathrop Generations Center parcel and provide connectivity to the new Central Lathrop Park being built by the developer. Creation of CIP PK 20-23 will allow staff to move forward with the development of engineering and construction documents. Staff anticipates returning to Council for the award of a construction contract.

**FISCAL IMPACT:**

Staff estimates the total cost of the proposed improvements at \$500,000. Staff requests City Council approve a budget amendment transferring \$500,000 from the Culture and Leisure Fund (2260) as follows:

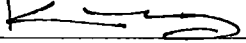
<u>Increase Transfer Out</u>		
2260-9900-990-9010		\$500,000
 <u>Increase Transfer In</u>		
3010-9900-393-0000	PK 20-23	\$500,000
 <u>Increase Appropriation</u>		
3010-8000-420-1200	PK 20-23	\$500,000

**ATTACHMENTS:**

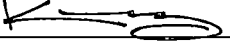
- A. Resolution Approving the Creation of CIP PK 20-23 for the Design and Installation of Improvements at the Lathrop Generations Center and Related Budget Amendment

**CITY MANAGER'S REPORT** **PAGE 3**  
**MAY 11, 2020 CITY COUNCIL REGULAR MEETING**  
**APPROVE CREATION CIP PK 20-23 FOR IMPROVEMENTS AT THE LATHROP**  
**GENERATIONS CENTER**

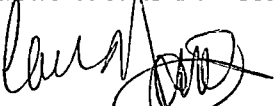
**APPROVALS:**

  
\_\_\_\_\_  
Jay Davidson      **MICHAEL KING**  
Principal Engineer      - FOR -

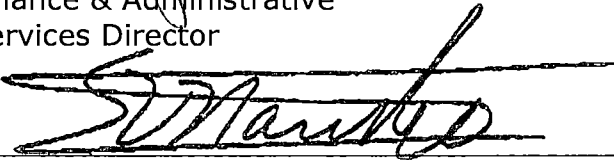
5.5.2020  
Date

  
\_\_\_\_\_  
Michael King  
Public Works Director

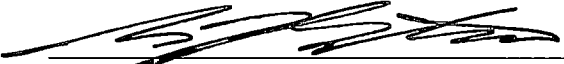
5.5.2020  
Date

  
\_\_\_\_\_  
Cari James  
Finance & Administrative  
Services Director

5-5-2020  
Date

  
\_\_\_\_\_  
Salvador Navarrete  
City Attorney

5/5/2020  
Date

  
\_\_\_\_\_  
Stephen J. Salvatore  
City Manager

5.6.2020  
Date

**RESOLUTION NO. 20-**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP APPROVING THE CREATION OF CIP PK 20-23 FOR THE DESIGN AND INSTALLATION OF IMPROVEMENTS AT THE LATHROP GENERATIONS CENTER AND RELATED BUDGET AMENDMENT**

**WHEREAS**, the Lathrop Generations Center, which opened 2014, is one of the City's premier locations for family events and programs for the residents of Lathrop; and

**WHEREAS**, the Generations Center parcel was not fully developed at the time due to funding constraints and because the surrounding area (Central Lathrop) was undeveloped; and

**WHEREAS**, a 4-acre park site is currently being constructed along the southern edge of the Generations Center, and on April 13, 2020, City Council adopted Resolution No. 20-4699, approving the construction of the additional parking at the Lathrop Generations Center CIP PK 20-01; and

**WHEREAS**, the proposed project includes the design and installation of lighting, landscaping, benches, upgrades to park equipment, covered picnic area, and pickle ball courts; and

**WHEREAS**, the proposed project, combined with CIP PK 20-01, will complete the development of the Lathrop Generations Center parcel and provide connectivity to the new Central Lathrop Park being built by the developer; and

**WHEREAS**, creation of CIP PK 20-23 will allow staff to move forward with the development of engineering and construction documents and staff anticipates returning to Council for the award of a construction contract; and

**WHEREAS**, staff estimates the total cost of the proposed improvements at \$500,000.

**NOW, THEREFORE, BE IT RESOLVED**, that the City Council of the City of Lathrop does hereby approve the Creation of CIP PK 20-23 for the Design and Installation of Improvements at the Lathrop Generations Center; and

**BE IT FURTHER RESOLVED**, that the City Council of the City of Lathrop does hereby approve the following budget amendment from the Culture and Leisure Fund (2260) to cover the cost of the improvements:



Increase Transfer Out  
2260-9900-990-9010 \$500,000

Increase Transfer In  
3010-9900-393-0000 PK 20-23 \$500,000

Increase Expenditures  
3010-8000-420-1200 PK 20-23 \$500,000

The foregoing resolution was passed and adopted this 11th day of May 2020, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSTAIN:

ABSENT:

\_\_\_\_\_  
Sonny Dhaliwal, Mayor

**ATTEST:**

\_\_\_\_\_  
Teresa Vargas, City Clerk

**APPROVED AS TO FORM:**

  
\_\_\_\_\_  
Salvador Navarrete, City Attorney

## ITEM 4.9

### **CITY MANAGER'S REPORT MAY 11, 2020 CITY COUNCIL REGULAR MEETING**

**ITEM:** **CREATE CIP GG 20-24 BACK-UP GENERATOR  
INSTALLATION AT THE COMMUNITY CENTER**

**RECOMMENDATION:** **Adopt Resolution Approving the Creation of  
CIP GG 20-24 Community Center Backup  
Power Generator, Related Budget Amendment  
and Ratification of the Purchase**

---

#### **SUMMARY:**

In 2019, all Pacific Gas and Electric (PG&E) customers were notified that their power may be turned off for safety when extreme fire danger conditions are forecasted, this event is referred to as a Public Safety Power Shutoff (PSPS). Staff evaluated City facilities for backup power needs and at the July 8, 2019 Council Meeting, staff was directed to pursue backup power at the Community Center.

Staff utilized temporary backup power during the 2019 fire season and pursued available funding sources to offset the cost of a backup generator. In February 2020, the City of Lathrop was awarded \$185,000 from the San Joaquin Office of Emergency Services for the purchase and installation of backup power at the Community Center.

Staff has researched backup generators to determine that a 400KVA Doosan Generator would meet the needs of the Community Center and was the most cost effective. Due to the long lead-time for generators and the need to have one installed during the summer 2020, the City Manager authorized the purchase of a backup generator for the Community Center.

Staff requests City Council approve the creation of Capital Improvement Project (CIP) GG 20-24 Community Center Backup Power Generator and a related budget amendment. Staff also requests City Council ratify the City Manager's action to purchase a 400KVA Doosan Generator in the amount of \$156,039 from Pac Machine Company.

#### **BACKGROUND:**

In 2019, all Pacific Gas and Electric (PG&E) customers were notified that their power may be turned off for safety when extreme fire danger conditions are forecasted, this event is referred to as a Public Safety Power Shutoff (PSPS). Staff evaluated City facilities for backup power needs and at the July 8, 2019 Council Meeting staff was directed to pursue backup power at the Community Center.

The proposal has been acquired utilizing Sourcewell, formally National Joint Powers Alliance (NJPA), who is a governmental agency that establishes purchasing contracts through a competitive bidding process.

**CITY MANAGER'S REPORT  
MAY 11, 2020 CITY COUNCIL REGULAR MEETING  
CREATE CIP GG 20-24 BACK-UP GENERATOR INSTALLATION**

In addition to being competitively bid, Sourcewell is able to negotiate prices that are 5%-10% lower than if the City purchased directly from the manufacturer. Based on Sourcewell's competitive bidding process and their similarities with California Office of Procurement exemption listed in Lathrop Municipal Code Section 2.36.110, staff recommends the approval of the purchase.

Staff has researched backup generators to determine that a 400KVA Doosan Generator would meet the needs of the Community Center and was the most cost effective. Due to the long lead-time for generators and the need to have one installed before summer 2020, the City Manager authorized the purchase of a backup generator for the Community Center. Utilizing section 2.36.080 "Emergency Procedures" of the Lathrop Municipal Code (LMC), the City Manager approved the immediate purchase of a backup generator to preserve public health and safety.

**REASON FOR RECOMMENDATION:**

Creating a CIP and ratifying the purchase of a generator will allow staff to provide a cooling center, cooking facility and restrooms for residents impacted by a PSPS.

**FISCAL IMPACT:**

The Public Safety Power Shutoff (PSPS) Resiliency Program award approval was received from the San Joaquin Office of Emergency Services (OES) in the amount not to exceed \$185,000 for the cost associated with equipping the Lathrop Community Center with backup power. The PSPS Resiliency Program funding is a reimbursement program, which requires the City to spend funds prior to receiving reimbursement from OES.

The cost to purchase the 400KVA Doosan Generator is \$156,039 and the remaining \$28,961 to be used for electrical improvements to the Community Center to meet appropriate building codes and for generator permitting with the San Joaquin Valley Air Pollution Control District. Staff is requesting Council approve a budget amendment as follows:

<u>Increase Revenue</u>		
2160-8000-331-0500		\$185,000
<u>Increase Transfer Out</u>		
2160-9900-990-9010	GG 20-24	\$185,000
<u>Increase Transfer In</u>		
3010-9900-393-0000	GG 20-24	\$185,000
<u>Increase Expenditures</u>		
3010-8000-450-2000	GG 20-24	\$185,000

**ATTACHMENT:**

- A. Resolution Approving the Creation of CIP GG 20-24 Community Center Backup Power Generator, Related Budget Amendment and Ratification of the Purchase

**CITY MANAGER'S REPORT  
MAY 11, 2020 CITY COUNCIL REGULAR MEETING  
CREATE CIP GG 20-24 BACK-UP GENERATOR INSTALLATION**

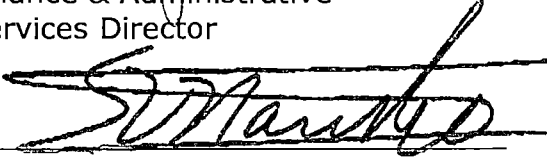
**APPROVALS:**

  
\_\_\_\_\_  
Michael King  
Public Works Director


5.5.2020  
Date

  
\_\_\_\_\_  
Cari James  
Finance & Administrative  
Services Director

5-5-2020  
Date

  
\_\_\_\_\_  
Salvador Navarrete  
City Attorney

5/5/2020  
Date

  
\_\_\_\_\_  
Stephen J. Salvatore  
City Manager

5.6.2020  
Date

## RESOLUTION NO. 20-

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP APPROVING THE CREATION OF CIP GG 20-24 COMMUNITY CENTER BACKUP POWER GENERATOR, RELATED BUDGET AMENDMENT AND RATIFICATION OF THE PURCHASE**

**WHEREAS**, in 2019, all Pacific Gas and Electric (PG&E) customers were notified that their power may be turned off for safety when extreme fire danger conditions are forecasted, this event is referred to as a Public Safety Power Shutoff (PSPS); and

**WHEREAS**, staff evaluated City facilities for backup power needs and at the July 8, 2019 Council Meeting, staff was directed to pursue backup power at the Community Center; and

**WHEREAS**, in February 2020, the City of Lathrop was awarded \$185,000 from the San Joaquin Office of Emergency Services for the purchase and installation of backup power at the Community Center; and

**WHEREAS**, staff has researched backup generators to determine that a 400KVA Doosan Generator in the amount of \$156,039 would meet the needs of the Community Center and was the most cost effective; and

**WHEREAS**, the proposal has been acquired utilizing Sourcewell, formally National Joint Powers Alliance (NJPA), who is a governmental agency that establishes purchasing contracts through a competitive bidding process; and

**WHEREAS**, in addition to being competitively bid, Sourcewell is able to negotiate prices that are 5%-10% lower than if the City purchased directly from the manufacturer; and

**WHEREAS**, based on Sourcewell's competitive bidding process and their similarities with California Office of Procurement exemption listed in Lathrop Municipal Code Section 2.36.110, staff recommends the approval of the purchase; and

**WHEREAS**, section 2.36.080 "Emergency Procedures" of the Lathrop Municipal Code (LMC) allows for the elimination of the purchasing procedures in an effort to efficiently and timely maintain essential public services; and

**WHEREAS**, staff requests City Council approve the creation of Capital Improvement Project (CIP) GG 20-24 Community Center Backup Power Generator, related budget amendment and ratify the City Manager's action to purchase a 400KVA Doosan Generator in the amount of \$156,039 from Pac Machine Company.

**NOW, THEREFORE, BE IT RESOLVED,** that the City Council of the City of Lathrop does hereby approve the creation of CIP GG 20-24 Community Center Backup Power and related budget amendment as follows:

<u>Increase Revenue</u>		
2160-8000-331-0500		\$185,000
<u>Increase Transfer Out</u>		
2160-9900-990-9010	GG 20-24	\$185,000
<u>Increase Transfer In</u>		
3010-9900-393-0000	GG 20-24	\$185,000
<u>Increase Expenditures</u>		
3010-8000-450-2000	GG 20-24	\$185,000

**BE IT FURTHER RESOLVED,** that the City Council of the City of Lathrop hereby ratifies the City Manager's action to purchase a 400KVA Doosan Generator in the amount of \$156,039 from Pac Machine Company.

The foregoing resolution was passed and adopted this 11th day of May 2020, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSTAIN:

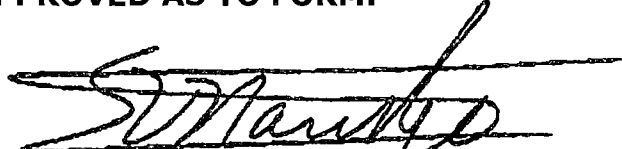
ABSENT:

\_\_\_\_\_  
Sonny Dhaliwal, Mayor

**ATTEST:**

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Teresa Vargas, City Clerk

  
\_\_\_\_\_  
Salvador Navarrete, City Attorney



**ITEM 4.10**

**CITY MANAGER'S REPORT  
MAY 11, 2020 CITY COUNCIL REGULAR MEETING**

**ITEM: APPROVE CONSTRUCTION CONTRACT AND AUTHORIZE THE CITY MANAGER TO SIGN CALTRANS AGREEMENT FOR CIP PS 18-03 TRAFFIC SIGNAL INSTALLATION – INTERSECTION OF GOLDEN VALLEY PARKWAY & SPARTAN WAY**

**RECOMMENDATION: Adopt Resolution Approving a Construction Contract and Authorizing the City Manager to Sign a Caltrans Agreement Between the City and Mike Brown Electric Co. for Construction of CIP PS 18-03 Traffic Signal Installation – Intersection of Golden Valley Parkway & Spartan Way and Related Budget Amendment**

---

**SUMMARY:**

Capital Improvement Project (CIP) PS 18-03 Traffic Signal Installation – Intersection of Golden Valley Parkway & Spartan Way is needed to facilitate development and ease traffic congestion in Central Lathrop. The project was designed per City standards and a bid solicitation package was advertised in accordance with Public Contract Code and the Lathrop Municipal Code, Section 2.36.060. A total of four (4) bids were received and reviewed by staff with the lowest responsive and responsible bidder determined to be Mike Brown Electric Co. with a bid amount of \$599,495.

Staff requests the City Council approve a construction contract and authorize the City Manager to sign a California Department of Transportation (Caltrans) agreement between the City of Lathrop and Mike Brown Electric Co. for CIP PS 18-03 Traffic Signal Installation – Intersection of Golden Valley Parkway & Spartan Way in the amount of \$599,495 and authorize a 10% construction contingency in the amount of \$59,950, for a total construction budget of \$659,445.

The project is largely funded by a Congestion Mitigation and Air Quality (CMAQ) grant in the amount of \$400,000 and by the Central Lathrop developer (Saybrook CLSP, LLC) with their proportionate share in the amount of \$180,000. However, due to increased construction costs, staff also requests City Council approve a budget amendment in the amount of \$45,000.

**BACKGROUND:**

The intersection of Golden Valley Parkway and Spartan Way / Lathrop Road is a critical entrance point to the City and Central Lathrop. A project location map is included as Attachment B. This all-way stop-controlled intersection serves as the primary access point for Lathrop High School and the Generations Center. This intersection will ultimately serve approximately 7,000 residential units and 5 million square feet of commercial and retail space.

**MAY 11, 2020 CITY COUNCIL REGULAR MEETING**

**APPROVE CONSTRUCTION CONTRACT AND AGREEMENT FOR CIP PS 18-03 TRAFFIC SIGNAL INSTALLATION – GOLDEN VALLEY PARKWAY & SPARTAN WAY**

According to the City’s current Traffic Monitoring Plan (TMP), Golden Valley Parkway and Spartan Way / Lathrop Road intersection has operated at an unacceptable level of service (LOS) during peak traffic conditions since 2016. At that time, this project was developed as a function of a Congestion Mitigation and Air Quality (CMAQ) grant from the Federal Highway Administration.

This project will include the installation of a traffic signal with a detection system and conduits for future interconnection to proximal signals, improved traffic control devices such as signage and striping, pedestrian controls, and a slurry seal application to all four approaches to the intersection. The slurry seal will increase safety by eliminating potential confusion between removed and newly-installed traffic striping and extend the life of the road by sealing over the asphalt cuts that will be made to install the traffic detector loops.

The project plans were completed by TJKM in March 2020 and the specifications were completed by staff in March 2020, and were advertised for bid on April 7, 2020, according to the Public Contract Code and Lathrop Municipal Code Section 2.36.060. A total of four (4) bids were received that were determined to be responsive and responsible. The bid results are summarized in Table 1 below:

**Table 1: Summary of Bid Results**

<b>Contractor</b>	<b>Total Bid</b>
Mike Brown Electric Co.	\$599,495.00
St. Francis Electric, LLC	\$618,025.00
Tennyson Electric, Inc.	\$698,066.50
Pacific Excavation	\$755,484.00

Staff reviewed bids and determined that the lowest responsive and responsible bidder is Mike Brown Electric Co. Staff requests the City Council adopt a resolution approving a construction contract and authorizing the City Manager to sign a Caltrans agreement between the City and Mike Brown Electric Co. in the amount of \$599,495. The agreement is a requirement Caltrans for the \$400,000 in CMAQ funding that the City received for construction. Staff also requests City Council authorize a 10% construction contingency of \$59,950 and authorize staff to spend the contingency as necessary to achieve the goals of the project for a total cost not to exceed \$659,445.

Staff complied with the CEQA process for this project with the preparation and filing of a Notice of Exemption (NOE) pursuant to the CEQA Guidelines Section 15301(c). Upon examination of the proposed project under NEPA, it was determined that the project met the requirements of a Categorical Exclusion. This Categorical Exclusion was approved by Caltrans on May 23, 2018.

**CITY MANAGER’S REPORT** **PAGE 3**  
**MAY 11, 2020 CITY COUNCIL REGULAR MEETING**  
**APPROVE CONSTRUCTION CONTRACT AND AGREEMENT FOR CIP PS 18-03**  
**TRAFFIC SIGNAL INSTALLATION – GOLDEN VALLEY PARKWAY & SPARTAN**  
**WAY**

**REASON FOR RECOMMENDATION:**

Signalization of this intersection will benefit air quality by reducing the number of idling vehicles during peak hours, with corresponding reductions in greenhouse gas emissions. In addition to the air quality benefits, the project would improve the safety of all modes of transportation accessing Lathrop High School and the Generations Center. The project will also help improve the LOS of this intersection.

**FISCAL IMPACT:**

The proposed contract with Mike Brown Electric Co. is for \$599,495. A 10% construction contingency is requested in the amount of \$59,950 for a total cost not to exceed \$659,445.

The amount of \$450,000 was included in the FY 19/20 Budget for CIP PS 18-03 Traffic Signal Installation – Intersection of Golden Valley Parkway & Spartan Way, of which \$400,000 is from a grant received from the Federal Congestion Mitigation and Air Quality Improvement Program for construction. Also, the developer Saybrook CLSP, LLC contributed \$180,000 towards construction of the project as a required condition of the CLSP triangle area neighborhood final maps. Sufficient funds were not allocated in the adopted FY 19/20 Budget. As a result, staff also requests City Council approve a budget amendment transferring \$45,000 from Gas Tax Fund 2030 as follows:

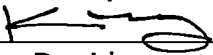
<u>Increase Transfer Out</u>		
2030-9900-990-9010		\$45,000
 <u>Increase Transfer In</u>		
3310-9900-393-0000	PS 18-03	\$45,000
 <u>Increase Expenditures</u>		
3310-8000-420-1200	PS 18-03	\$45,000

**ATTACHMENTS:**

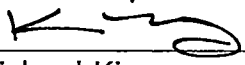
- A. Resolution Approving a Construction Contract and Authorizing the City Manager to sign a Caltrans Agreement Between the City and Mike Brown Electric Co. for Construction of CIP PS 18-03 Traffic Signal Installation – Intersection of Golden Valley Parkway & Spartan Way and Related Budget Amendment
- B. Project Location Map
- C. Construction Contract with Mike Brown Electric Co., for Construction of CIP PS 18-03 Traffic Signal Installation – Intersection of Golden Valley Parkway & Spartan Way

**CITY MANAGER'S REPORT** **PAGE 4**  
**MAY 11, 2020 CITY COUNCIL REGULAR MEETING**  
**APPROVE CONSTRUCTION CONTRACT AND AGREEMENT FOR CIP PS 18-03**  
**TRAFFIC SIGNAL INSTALLATION – GOLDEN VALLEY PARKWAY & SPARTAN**  
**WAY**

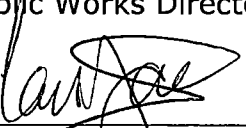
**APPROVALS:**

 FOR \_\_\_\_\_  
Jay Davidson  
Principal Engineer

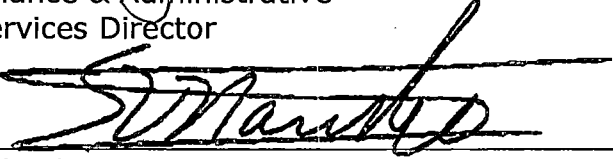
5.5.2020  
Date

 \_\_\_\_\_  
Michael King  
Public Works Director

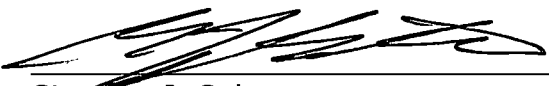
5.5.2020  
Date

 \_\_\_\_\_  
Cari James  
Finance & Administrative  
Services Director

5-5-2020  
Date

 \_\_\_\_\_  
Salvador Navarrete  
City Attorney

5/5/2020  
Date

 \_\_\_\_\_  
Stephen J. Salvatore  
City Manager

5.6.2020  
Date

## RESOLUTION NO. 20-

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP APPROVING A CONSTRUCTION CONTRACT AND AUTHORIZE THE CITY MANAGER TO SIGN A CALTRANS AGREEMENT BETWEEN CITY AND MIKE BROWN ELECTRIC CO. FOR CONSTRUCTION OF CIP PS 18-03 TRAFFIC SIGNAL INSTALLATION – INTERSECTION OF GOLDEN VALLEY PARKWAY & SPARTAN WAY AND RELATED BUDGET AMENDMENT**

**WHEREAS**, in 2018 City Council approved via budget amendment CIP PS 18-03 Traffic Signal Installation – Intersection of Golden Valley Parkway & Spartan Way (“Signal Project”) located at the intersection of Golden Valley Parkway and Spartan Way; and

**WHEREAS**, the plans for the Signal Project were completed by TJKM Transportation Consultants in March 2020 and specifications were completed by staff in March 2020 and were advertised for bid on April 7, 2020, according to the Public Contract Code and Lathrop Municipal Code Section 2.36.060; and

**WHEREAS**, a total four (4) bids were received and opened by the City Clerk on April 28, 2020; and

**WHEREAS**, upon review and evaluation of the bids, the lowest responsive and responsible bidder for the project was determined to be Mike Brown Electric Co. with a bid amount of \$599,495; and

**WHEREAS**, staff requests the City Council approve a construction contract with Mike Brown Electric Co. for the Signal Project in the amount of \$599,495; and

**WHEREAS**, staff requests the City Council authorize the City Manager to sign an agreement between the City and Mike Brown Electric Co. for the Signal Project that is a requirement of the California Department of Transportation (Caltrans) for the \$400,000 in CMAQ funding that the City received for construction; and

**WHEREAS**, staff also requests Council authorize a 10% construction contingency in the amount of \$59,950 and authorize staff to spend the contingency as necessary to achieve the goals of the project for a total cost not to exceed \$659,445; and

**WHEREAS**, the developer Saybrook CLSP, LLC contributed \$180,000 towards construction of the project as a required condition of the CLSP triangle area neighborhood final maps; and

**WHEREAS**, sufficient funds were not allocated in the adopted FY 19/20 Budget. As a result, staff also requests City Council approve a budget amendment transferring \$45,000 from Gas Tax Fund 2030 as follows:

<u>Increase Transfer Out</u> 2030-9900-990-9010		\$45,000
<u>Increase Transfer In</u> 3310-9900-393-0000	PS 18-03	\$45,000
<u>Increase Expenditures</u> 3310-8000-420-1200	PS 18-03	\$45,000

**NOW THEREFORE, BE IT RESOLVED,** that the City Council of the City of Lathrop hereby approves a construction contract and authorizes the City Manager to sign a Caltrans agreement between City and Mike Brown Electric Co. for CIP PS 18-03 Traffic Signal Installation – Intersection of Golden Valley Parkway and Spartan Way for a cost of \$599,495; and

**BE IT FURTHER RESOLVED,** that the City Council of the City of Lathrop does hereby approve a 10% construction contingency in the amount of \$59,950 for a total cost not to exceed \$659,445 for CIP PS 18-03 Traffic Signal Installation – Intersection of Golden Valley Parkway and Spartan Way, and authorizes staff to spend up to this amount as necessary to accomplish the goals of the project; and

**BE IT FURTHER RESOLVED,** that the City Council of Lathrop does hereby approve a budget amendment for CIP PS 18-03 Traffic Signal Installation – Intersection of Golden Valley Parkway & Spartan Way by transferring \$45,000 from Gas Tax Fund 2030.

The foregoing resolution was passed and adopted this 11<sup>th</sup> day of May 2020, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSTAIN:

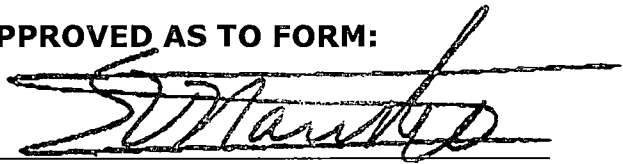
ABSENT:

\_\_\_\_\_  
Sonny Dhaliwal, Mayor

**ATTEST:**

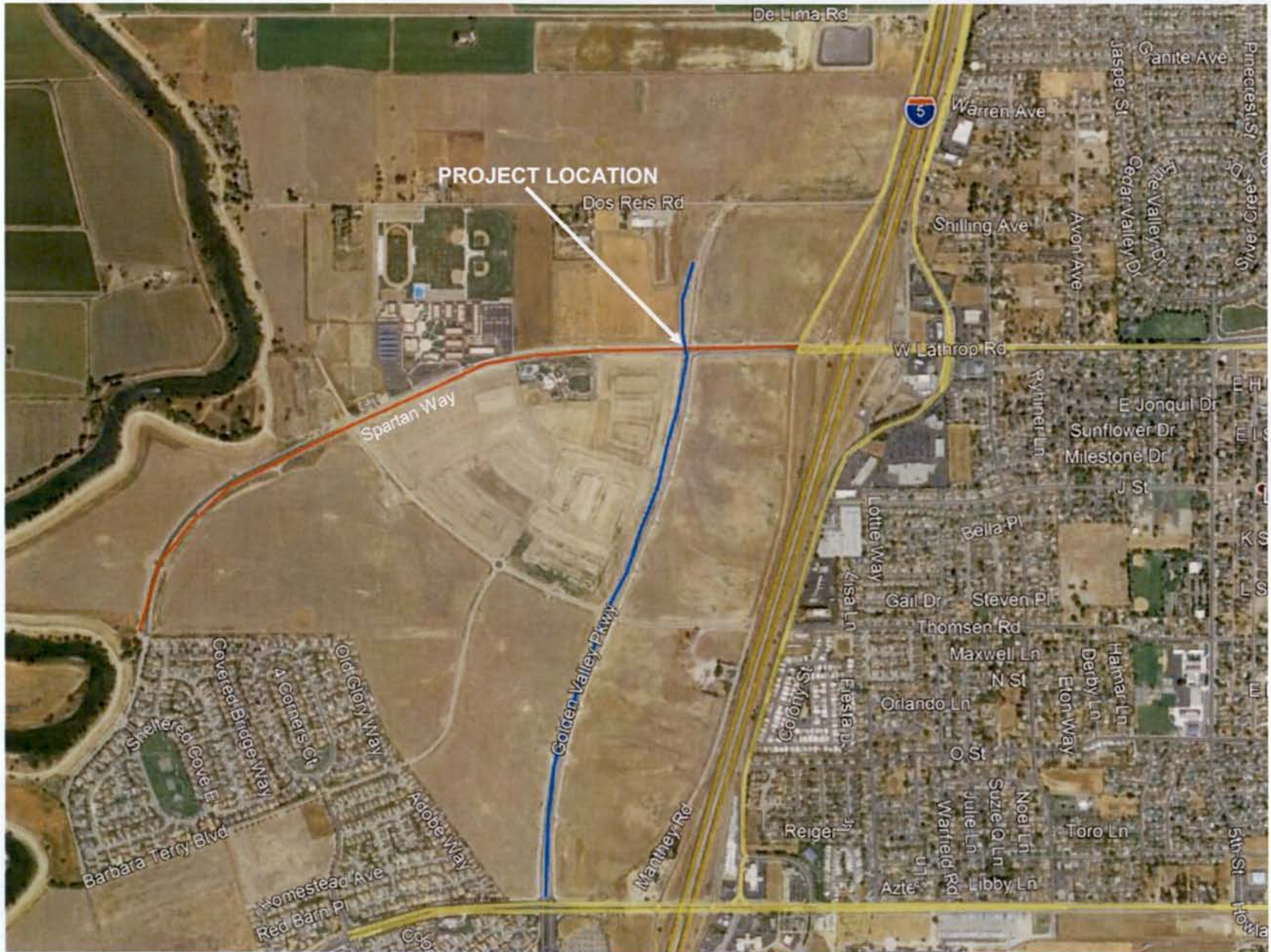
\_\_\_\_\_  
Teresa Vargas, City Clerk

**APPROVED AS TO FORM:**

  
\_\_\_\_\_  
Salvador Navarrete, City Attorney



PROJECT LOCATION MAP





**CONTRACT**

**THIS CONSTRUCTION CONTRACT** (hereinafter “Contract”), dated this **11<sup>th</sup> day of May, 2020**, is entered into by and between the **City of Lathrop**, a municipal corporation of the State of California (hereinafter “City”), and **Mike Brown Electric Co.**, (hereinafter “Contractor”), whose Taxpayer Identification Number is 68-0320151.

For and in consideration of the following covenants, terms and conditions, City and Contractor (the parties) agree:

1. Term. This Contract shall commence on, and be binding on the parties on, the date of execution of this Contract, and shall expire on the date of recordation of the Notice of Substantial Completion, or, if no such notice is required to be filed, on the date that final payment is made hereunder, subject to the earlier termination of this Contract.
2. General Scope of Project and Work. Construction Documents for the Traffic Signal Installation – **Golden Valley Parkway & Spartan Way, CIP PS 18-03 (Project)**. Contractor shall furnish labor, services, materials and equipment in connection with the construction of the Project and complete the Work in accordance with the covenants, terms and conditions of this Contract to the satisfaction of City. The Project and Work is generally described as follows:

The work to be performed under this contract includes all work contained in the Construction Documents, as detailed in Paragraph 3 below, including, but not limited to construction of a traffic signal and necessary components, a slurry seal, accessible curb ramps and removal and installation of road signage and striping; and any task necessary to accomplish the aforementioned tasks.

The work shall be **completed within 80 working days** following issuance of Notice to Proceed.

The Work shall be complete, and all appurtenant work, materials, and services not expressly shown or called for in the Construction Documents which may be necessary for the complete and proper construction of the Work in good faith shall be performed, furnished, and installed by the Contractor as though originally specified or shown. The Contractor will be compensated for work actual work performed in accordance with the unit prices and provisions contained in these Construction Documents.

**Base Bid Total: \$ 599,495 (Five Hundred Ninety-Nine Thousand Four Hundred Ninety-Five Dollars)**

3. Construction Documents. This Contract shall include the Construction Documents (hereby incorporated by reference within the bid specifications): Project Plans, Project Specifications and addenda, and Exhibit “A”: Contractor’s Submitted Bid Item List. For the purposes of construing, interpreting and resolving inconsistencies between the provisions of this Contract, these documents and the provisions thereof are set forth in the order of precedence described in Section 2-1.01 of the General Conditions.

4. Compensation. In consideration of Contractor's performance of its obligations hereunder, City shall pay to Contractor the amount set forth in Contractor's Bid in accordance with the provisions of this Contract and upon the receipt of written invoices and all necessary supporting documentation within the time set forth in the Construction Documents. Contractor hereby shall not be permitted to invoice the City nor accept compensation for work not yet complete. In no event, shall the Contractor be entitled to payment for work not included in the approved scope of work, a written task order, or change order signed by the City's Public Works Director prior to commencement of any work.
5. Insurance. On or before the Date of Execution, Contractor shall obtain and maintain the policies of insurance coverage described in Section 5.2 of the General Conditions on terms and conditions and in amounts as may be required by the City. City shall not be obligated to take out insurance on Contractor's personal property or the personal property of any person performing labor or services or supplying materials or equipment under the Project. Contractor shall furnish City with the certificates of insurance and with original endorsements affecting coverage required under this Contract on or before the Date of Execution. The certificates and endorsements for each insurance policy shall be signed by a person who is authorized by that insurer to bind coverage in its behalf. Proof of insurance shall be mailed to the Project Manager to the address set forth in Section 15 of this Contract.
6. Indemnification. Contractor agrees to protect, defend, indemnify and hold City, its City Council members, officers, employees, engineer, and construction manager harmless from and against any and all claims, demands, liabilities, losses, damages, costs, expenses, liens, penalties, suits, or judgments, arising in whole or in part, directly or indirectly, at any time from any injury to or death of persons or damage to property as a result of the willful or negligent act or omission of Contractor, or which results from Contractor's noncompliance with any Law respecting the condition, use, occupation or safety of the Project site, or any part thereof, or which arises from Contractor's failure to do anything required under this Contract or for doing anything which Contractor is required not to do under this Contract, or which arises from conduct for which any Law imposes strict liability on Contractor in the performance of or failure to perform the terms and conditions of this Contract, except as may arise from the sole willful or negligent act or omission of City or any of its City Council members, officers, employees. This indemnification shall extend to any and all claims, demands, or liens made or filed by reason of any construction, renovation, or remodeling work performed by Contractor under this Contract at any time during the term of this Contract, or arising thereafter.
7. Assumption of Risk. Contractor agrees to voluntarily assume any and all risk of loss, damage, or injury to the property of Contractor which may occur in, on, or about the Project site at any time and in any manner, excepting such loss, injury, or damage as may be caused by the sole willful or negligent act or omission of City or any of its City Council members, officers, or employees.
8. Waiver. The acceptance of any payment or performance, or any part thereof, shall not operate as a waiver by City of its rights under this Contract. A waiver by City of any breach of any part or provision of this Contract by Contractor shall not operate as a waiver or continuing waiver of any subsequent breach of the same or any other provision, nor shall any custom or practice which may arise between the parties in the administration of any part or provision of this Contract be construed to waive or to lessen the right of City to

insist upon the performance of Contractor in strict compliance with the covenants, terms and conditions of this Contract.

9. Compliance with Laws. Contractor shall comply with all Laws now in force or which may hereafter be in force pertaining to the Project and Work and this Contract, with the requirement of any bond or fire underwriters or other similar body now or hereafter constituted, with any discretionary license or permit issued pursuant to any Law of any public agency or official as well as with any provision of all recorded documents affecting the Project site, insofar as any are required by reason of the use or occupancy of the Project site, and with all Laws pertaining to nondiscrimination and affirmative action in employment and hazardous materials.

#### DEPARTMENT OF INDUSTRIAL RELATIONS- COMPLIANCE MONITORING UNIT

##### **DIR Registration.**

- a) **Contractor and Subcontractor Compliance.** Strict compliance with DIR registration requirements pursuant to Labor Code Section 1725.5 is a material obligation of the Contractor under the Contract Documents. The foregoing includes without limitation, compliance with DIR Registration requirements at all times during performance of the Work by the Contractor and all Subcontractors of any tier. The failure of the Contractor and all Subcontractors of every tier to be DIR registered at all times during the performance of the Work is the Contractor's default of a material obligation of the Contractor under the Contract Documents.
- b) **No Subcontractor Performance of Work Without DIR Registration.** No portion of the Work is permitted to be performed by a Subcontractor of any tier unless the Subcontractor is a DIR Registered contractor.
- c) **Contractor Obligation to Verify Subcontractor DIR Registration Status.** An affirmative and on-going obligation of the Contractor under the Contract Documents is the Contractor's verification that all Subcontractors, of all tiers, are at all times during performance of Work in full and strict compliance with DIR Registration requirements. The Contractor shall not permit or allow any Subcontractor of any tier to perform any Work without the Contractor's verification that all such Subcontractors are in full and strict compliance with DIR Registration requirements.
- d) **Contractor Obligation to Request Substitution of Non-DIR Registered Subcontractor.** If any Subcontractor identified in the Contractor's Subcontractor List submitted with the Contractor's proposal for the Work is not DIR Registered at the time of opening of proposals for the Work or if a Subcontractor's DIR registration lapses prior to or during a Subcontractor's performance of Work, the Contractor shall request the CITY's consent to substitute the non-DIR registered Subcontractor pursuant to Labor Code Section 1771.1(c)(3) and/ or Labor Code Section 1771.1(d).

**Certified Payroll Records**

- a) Compliance with Labor Code Section 1771.4 and 1776. A material obligation of the Contractor under the Contract Documents is: (i) the Contractor's strict compliance with the requirements pursuant to Labor Code Section 1771.4 and 1776 for preparation and submittal of Certified Payroll Records ("CPR"); and (ii) the Contractor's enforcement of CPR preparation and submittal for all Subcontractors of every tier.
- b) Express Condition Precedent to Payment of Contract Price. Strict compliance with CPR requirements established pursuant to Labor Code Section 1776 is an express condition precedent to the CITY's obligation to: (i) process any request for payment of any portion of the Contract Price; or (ii) to disburse any portion of the Contract Price to the Contractor. The Contractor shall demonstrate strict compliance with CPR preparation and submittal requirements by delivery to the CITY of electronic files or hard copies of all CPR's submitted by the Contractor and/ or Subcontractors for Work pursuant to Labor Code Section 1771.4 and 1776 concurrently with the submittal thereof to the Labor Commissioner. The CITY: (i) shall not be obligated to process or disburse any portion of the Contract Price; or (ii) shall not be deemed in default of the CITY's obligations under the Contract Documents unless the Contractor demonstrates strict compliance with CPR preparation and submittal requirements.
- c) PWR Monitoring and Enforcement. During the Work pursuant to Labor Code Section 1771.4(a)(4), the Department of Industrial Relations shall monitor and enforce the obligation of the Contractor and Subcontractors of every tier to pay the laborers performing any portion of the work the PWR established for the classification of work/ labor performed.

**RECORD OF WAGES PAID: INSPECTION**

Pursuant to Labor Code section 1776, Contractor stipulates to the following:

- a) Contractor and each subcontractor shall keep an accurate payroll record, showing the name, address, social security number, work classification, straight time and overtime hours worked each day and week, and the actual per diem wages paid to each journeyman, apprentice, worker, or other employee employed by him or her in connection with the public work under the Facilities lease and Construction Provisions. Such records shall be on forms provided by the Division of Labor Standards Enforcement or shall contain the same information of such forms. The payroll records may consist of payroll data that are maintained as computer records, if printouts contain the same information as the forms provided by the division and the printouts are verified as specified in subdivision (a) of Labor Code section 1776.

- b) The payroll records enumerated under subdivision (a) shall be certified and shall be available for inspection at all reasonable hours at the principal office of Contractor on the following basis:
- (1) A certified copy of an employee's payroll record shall be made available for inspection or furnished to such employees or his or her authorized representative on request.
  - (2) A certified copy of all payroll records enumerated in subdivision (a) shall be made available for inspection or furnished upon request to a representative of the CITY, the Division of Labor Standards Enforcement, and Division of Apprenticeship Standards of the Department of Industrial Relations.
  - (3) A certified copy of all payroll records enumerated in subdivision (a) shall be made available upon request by the public for inspection or copies thereof. However, a request by the public shall be made through either the CITY, the Division of Apprenticeship Standards, or the Division of Labor Standards Enforcement. If the requested payroll records have not been provided pursuant to paragraph (2), the requesting party shall, prior to being provided the records, reimburse the costs of preparation by Contractor, subcontractors, and the entity through which the request was made. The public shall not be given access to such records at the principal office of Contractor.
- c) Contractor shall file a certified copy of the records enumerated in subdivision (a) with the entity that requested such records within ten (10) days after receipt of the written request.
- d) Any copy of records made available for inspection as copies and furnished upon request to the public or any public agency, by the CITY, the Division of Apprenticeship Standards, or the division of Labor Standards Enforcement shall be marked or obliterated in such a manner as to prevent disclosure of an individual's name, address and social security number. The name and address of contractor awarded the contract or performing the contract shall not be marked or obliterated.
- e) Contractor shall inform the CITY of the location of the records enumerated under subdivision (a), including the street address, city, and county, and shall, within (5) working days, provide a notice of a change of location and address.
- f) In the event of noncompliance with the requirements of this Article, Contractor shall have ten (10) days in which to comply subsequent to receipt of written notice specifying in what respects Contractor must comply with this Article. Should noncompliance still be evident after such 10-day period, Contractor shall pay a penalty of One- Hundred Dollars (\$100.00) to the CITY for each calendar day, or portion thereof, for each worker, until strict compliance is effectuated. Upon the request of the Division of Apprenticeship Standards

or the Division of Labor Standards Enforcement, such penalties shall be withheld from the progress payment then due.

The responsibility for compliance with this Article shall rest upon Contractor.

10. Bonds. As a condition precedent to City's obligation to pay compensation to Contractor, and on or before the date of Execution, Contractor shall furnish to the Project Manager the Bonds as required under the Notice to Contractors.
11. Representations and Warranties. In the supply of any materials and equipment and the rendering of labor and services during the course and scope of the Project and Work, Contractor represents and warrants:
  - (1) Any materials and equipment which shall be used during the course and scope of the Project and Work shall be vested in Contractor;
  - (2) Any materials and equipment which shall be used during the course and scope of the Project and Work shall be merchantable and fit to be used for the particular purpose for which the materials are required;
  - (3) Any labor and services rendered and materials and equipment used or employed during the course and scope of the Project and Work shall be free of defects in workmanship for a period of one (1) year after the recordation of the Notice of Substantial Completion, or, if no such notice is required to be filed, on the date that final payment is made hereunder;
  - (4) Any manufacturer's warranty obtained by Contractor shall be obtained or shall be deemed obtained by Contractor for and on behalf of City.
  - (5) Any information submitted by Contractor prior to the award of Contract, or thereafter, upon request, whether or not submitted under a continuing obligation by the terms of the Contract to do so, is true and correct at the time such information is submitted or made available to the City;
  - (6) Contractor has not colluded, conspired, or agreed, directly or indirectly, with any person in regard to the terms and conditions of Contractor's Bid, except as may be permitted by the Notice to Contractors;
  - (7) Contractor has the power and the authority to enter into this Contract with City, that the individual executing this Contract is duly authorized to do so by appropriate resolution, and that this Contract shall be executed, delivered and performed pursuant to the power and authority conferred upon the person or persons authorized to bind Contractor;
  - (8) Contractor has not made an attempt to exert undue influence with the Project Manager or any other person who has directly contributed to City's decision to award the Contract to Contractor;
  - (9) There are no unresolved claims or disputes between Contractor and City which would materially affect Contractor's ability to perform under the Contract;

SECTION 3

- (10) Contractor has furnished and will furnish true and accurate statements, records, reports, resolutions, certifications, and other written information as may be requested of Contractor by City from time to time during the term of this Contract;
  - (11) Contractor and any person performing labor and services under this Project is duly licensed as a contractor with the State of California as required by California Business & Professional Code Section 7028, as amended; and
  - (12) Contractor has fully examined and inspected the Project site and has full knowledge of the physical conditions of the Project site.
12. Assignment. This Contract and the performance required hereunder is personal to Contractor, and it shall not be assigned by Contractor. Any attempted assignment shall be null and void.
13. Claims of Contractor. All claims pertaining to extra work, additional charges, or delays within the Contract Time or other disputes arising out of the Contract shall be submitted by Contractor in accordance with the General Conditions.
14. Audits by City. During the term of this Contract and for a period of not less than three (3) years after the expiration or earlier termination of this Contract, City shall have the right to audit Contractor's Project-related and Work-related writings and business records, as such terms are defined in California Evidence Code Sections 250 and 1271, as amended, during the regular business hours of Contractor, or, if Contractor has no such hours, during the regular business hours of City.
15. Notices. All contracts, agreements, appointments, approvals, authorizations, claims, demands, Change Orders, consents, designations, notices, offers, requests and statements given by either party to the other shall be in writing and shall be sufficiently given and served upon the other party if (1) personally served, (2) sent by the United States mail, postage prepaid, (3) sent by private express delivery service, or (4) in the case of a facsimile transmission, if sent to the telephone FAX number set forth below during regular business hours of the receiving party and followed with two (2) days by delivery of a hard copy of the material sent by facsimile transmission, in accordance with (1), (2) or (3) above. Personal service shall include, without limitation, service by delivery and service by facsimile transmission.

To City: City of Lathrop  
 Department of Public Works  
 390 Towne Centre Drive  
 Lathrop, CA 95330  
 Phone: (209)941-7363  
 FAX: (209) 941-7449  
 ATTN: Senior Construction Manager

To Contractor: Mike Brown Electric Co.  
 Phone: (707) 974-2059  
 Fax: (707) 792-8110  
 ATTN: Dustin Rubio

16. Miscellaneous.

- (1) Bailee Disclaimer. The parties understand and agree that City does not purport to be Contractor's bailee, and City is, therefore, not responsible for any damage to the personal property of Contractor.
- (2) Consent. Whenever in this Contract the approval or consent of a party is required, such approval or consent shall be in writing and shall be executed by a person having the express authority to grant such approval or consent.
- (3) Controlling Law. The parties agree that this Contract shall be governed and construed by and in accordance with the Laws of the State of California.
- (4) Definitions. The definitions and terms are as defined in these specifications.
- (5) Force Majeure. Neither party shall be deemed to be in default on account of any delay or failure to perform its obligations under this Contract, which directly results from an Act of God or an act of a superior governmental authority.
- (6) Headings. The paragraph headings are not a part of this Contract and shall have no effect upon the construction or interpretation of any part of this Contract.
- (7) Incorporation of Documents. All documents constituting the Construction Documents described in Section 3 hereof and all documents which may, from time to time, be referred to in any duly executed amendment hereto are by such reference incorporated in this Contract and shall be deemed to be part of this Contract.
- (8) Integration. This Contract and any amendments hereto between the parties constitute the entire contract between the parties concerning the Project and Work, and there are no other prior oral or written contracts between the parties that are not incorporated in this Contract.
- (9) Modification of Contract. This Contract shall not be modified or be binding upon the parties unless such modification is agreed to in writing and signed by the parties.
- (10) Provision. Any contract, covenant, condition, clause, qualification, restriction, reservation, term or other stipulation in the Contract shall define or otherwise control, establish, or limit the performance required or permitted or to be required of or permitted by either party. All provisions, whether covenants or conditions, shall be deemed to be both covenants and conditions.
- (11) Resolution. Contractor shall submit with its Bid a copy of any corporate or partnership resolution or other writing, which authorizes any director, officer or other employee or partner to act for or on behalf of Contractor or which authorizes Contractor to enter into this Contract.



SECTION 3

- (12) Severability. If a court of competent jurisdiction finds or rules that any provision of this Contract is void or unenforceable, the provisions of this Contract not so affected shall remain in full force and effect.
- (13) Status of Contractor. In the exercise of rights and obligations under this Contract, Contractor acts as an independent contractor and not as an agent or employee of City. Contractor shall not be entitled to any rights and benefits accorded or accruing to the City Council members, officers or employees of City, and Contractor expressly waives any and all claims to such rights and benefits.
- (14) Successors and Assigns. The provisions of this Contract shall inure to the benefit of, and shall apply to and bind, the successors and assigns of the parties.
- (15) Time of the Essence. Time is of the essence of this Contract and each of its provisions. In the calculation of time hereunder, the time in which an act is to be performed shall be computed by excluding the first Day and including the last. If the time in which an act is to be performed falls on a Saturday, Sunday, or any Day observed as a legal holiday by City, the time for performance shall be extended to the following Business Day.
- (16) Venue. In the event that suit is brought by either party hereunder, the parties agree that trial of such action shall be vested exclusively in the state courts of California in the County of San Joaquin or in the United States District Court for the Eastern District of California.
- (17) Recovery of costs. The prevailing party in any action brought to enforce the terms of this Contract or arising out of this Contract, including the enforcement of the indemnity provision(s), may recover its reasonable costs, including reasonable attorney's fees, incurred or expended in connection with such action against the non-prevailing party.
- (18) Contractor and subcontractors must comply with all applicable standards, orders, or requirements issued under Section 306 of the Clean Air Act (42 USC 1857(h)), Section 508 of the Clean Water Act (33 USC 1368), Executive Order 11738, and Environmental Protection Agency Regulations at 40 CFR Part 15.
- (19) Contractors and subcontractors must comply with mandatory standards and policies relating to the energy efficiency which are contained in the State Energy Conservation Plan issued in compliance with the Energy Policy and Conservation ACT (Public Law 94-163, 89 stat 871).
- (20) The Contractor shall provide access to the site for the Environmental Protection Agency and its duly authorized representatives, and the City.
- (21) If during the course of construction evidence of deposit of historical or archaeological interest is found, the Contractor shall cease operation affecting the find and shall notify the City, who shall notify the EPA and the State Historic Preservation Officer. No further disturbance of the deposits shall ensue until the Contractor has been notified by the City that construction may proceed. The City will issue a notice to proceed only after the state official has surveyed the find and made a determination to the EPA and the City. Compensation to the contractor, if

SECTION 3

any, for lost time or changes in construction to avoid the find, shall be determined in accordance with changed conditions or change order provisions of the Construction Documents.

- (22) Notice to Proceed. Prior to commencing work under this Contract, CONTRACTOR shall receive a written "Notice to Proceed" from CITY. A Notice to Proceed shall not be issued until all necessary bonds and insurances have been received. City shall not be obligated to pay CONTRACTOR for any services prior to issuance of the Notice to proceed.
- (23) Signatures. The individuals executing this Contract represent and warrant that they have the right, power, legal capacity, and authority to enter into and to execute this Contract on behalf of the respective legal entities of the CONTRACTOR and the CITY. This Contract shall inure to the benefit of and be binding upon the parties hereto and their respective successors and assigns.
- (24) This project is a public works project: Contractor shall comply with requirements of California Labor Code § 1700 and following, and prevailing wages shall be paid for work performed on this project.
- (25) The statutory provisions for penalties for failing to comply with the State of California wage and labor laws be enforced, as well as that for failing to pay prevailing wages.

EXHIBITS:

- EXHIBIT A: Contractor's Submitted Bid Item List  
*Certification of insurance, performance and payment bonds, and worker's compensation certification shall be furnished to the City by the Contractor after City Council's approval with resolution.*
- EXHIBIT B: California Department of Transportation Agreement Between the City of Lathrop and Mike Brown Electric Co.

IN WITNESS WHEREOF, the parties have executed this Agreement on the date first above stated in Lathrop, California.

**CONTRACTOR:**

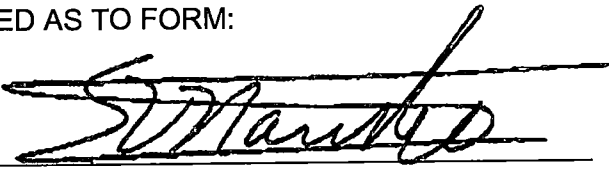
By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

**CITY OF LATHROP**

APPROVED AS TO FORM:

By:  \_\_\_\_\_  
Salvador Navarrete, City Attorney

RECOMMENDED FOR APPROVAL:

By: \_\_\_\_\_  
Michael King, Public Works Director

APPROVED:

By: \_\_\_\_\_  
Stephen Salvatore, City Manager

(END OF SECTION)

## CONTRACTOR'S SUBMITTED BID ITEM LIST

## Bid Schedule

Bid Item	F/S	Description	Quantity	Units	Unit Price	Extended Price
1		Construction Area Signs	1	LS	<del>\$3,500</del>	<del>\$3,500</del>
2		Temporary Traffic Control System	1	LS	<del>\$22,500</del>	<del>\$22,500</del>
3		Removal of Existing Thermoplastic Striping	7500	LF	<del>\$.60</del>	<del>\$4,500</del>
4		Removal of Existing Thermoplastic Markings	500	SF	<del>\$2.50</del>	<del>\$1,250</del>
5		Furnish and Install Traffic Signal and pull boxes at Golden Valley Parkway and Spartan Way	1	LS	<del>\$345,173</del>	<del>\$345,173</del>
6		Installation of Detection Loops (Type D)	20	EA	<del>\$700</del>	<del>\$14,000</del>
7		Installation of Detection Loops (Type E)	66	EA	<del>\$550</del>	<del>\$36,300</del>
8		Type II Slurry	132,600	SF	<del>\$.34</del>	<del>\$45,084</del>
9		Type III Thermoplastic Marking (right arrow)	336	SF	<del>\$4.</del>	<del>\$1,344</del>
10		Type III Thermoplastic Marking (left arrow)	462	SF	<del>\$4.</del>	<del>\$1,848</del>
11		Type VI Thermoplastic Marking (merge arrow)	126	SF	<del>\$4.</del>	<del>\$504</del>
12		"35" Numerals Thermoplastic Marking	33	SF	<del>\$4.</del>	<del>\$132</del>
13		"55" Numerals Thermoplastic Marking	50	SF	<del>\$4.</del>	<del>\$200</del>
14		Detail 38 (8" white) Thermoplastic	5070	LF	<del>\$2.</del>	<del>\$10,140</del>
15		Detail 39 (6" white) Thermoplastic	570	LF	<del>\$1.</del>	<del>\$570</del>
16		Detail 27B (4" white) Thermoplastic	1650	LF	<del>\$1.</del>	<del>\$1,650</del>
17		Detail 40 (4" CL white) Thermoplastic	45	LF	<del>\$2.</del>	<del>\$90</del>
18		Install PCC Curb Ramp	4	EA	<del>\$8,000</del>	<del>\$32,000</del>
19		Remove Roadside Sign	7	EA	<del>\$75</del>	<del>\$525</del>
20		Install Roadside Sign Panel on Existing Post	2	EA	<del>\$125</del>	<del>\$250</del>
21		Roadside Sign - One Post	1	EA	<del>\$275</del>	<del>\$275</del>
22		Interconnection All Conduit and All Cable	1	LS	<del>\$31,690</del>	<del>\$31,690</del>
23		Remove Concrete Sidewalk	23	CY	<del>\$15</del>	<del>\$345</del>
24		Remove Electrolier	2	EA	<del>\$2,500</del>	<del>\$5,000</del>
25		Erosion & Sediment Control Plan	1	EA	<del>\$625</del>	<del>\$625</del>
26		Mobilization	1	LS	<del>\$40,000</del>	<del>\$40,000</del>
TOTAL BID:						<del>\$599,495</del>
Total Bid Amount In words: FIVE HUNDRED NINETY NINE THOUSAND						
FOUR HUNDRED NINETY FIVE.						

**CITY OF LATHROP****DEPARTMENT OF PUBLIC WORKS**

THIS AGREEMENT, made and concluded, in duplicate, TRAFFIC SIGNAL  
INSTALLATION - GOLDEN VALLEY PARKWAY AND SPARTAN WAY (PS 18-03)

between the City of Lathrop thereof, party of the first part, and

Contractor, party of the second part.

**ARTICLE I.--WITNESSETH**, That for and in consideration of the payments and agreements hereinafter mentioned, to be made and performed by the said party of the first part, and under the conditions expressed in the 2 bonds, bearing even date with these presents, and hereunto annexed, the said party of the second part agrees with the said party of the first part, at his own proper cost and expense, to do all the work and furnish all the materials, except such as are mentioned in the specifications to be furnished by said party of the first part, necessary to construct and complete in a good, workmanlike and substantial manner and to the satisfaction of the City of Lathrop, the work described in the special provisions and the project plans described below, including any addenda thereto. and also in conformance with current California Department of Transportation Standard Plans, the Standard Specifications, and the Labor Surcharge and Equipment Rental Rates in effect on the date the work is accomplished, which said special provisions, project plans, Standard Plans, Standard Specifications, and Labor Surcharge and Equipment Rental Rates are hereby specially referred to and by such reference made a part hereof.

The special provisions for the work to be done are dated March 19, 2020 and are entitled:

**CITY OF LATHROP;  
DEPARTMENT OF PUBLIC WORKS  
NOTICE TO CONTRACTORS AND SPECIAL PROVISIONS FOR**

*INSTALLATION OF A TRAFFIC SIGNAL AND CONSTRUCTION OF TRAFFIC STRIPING AT THE  
INTERSECTION OF GOLDEN VALLEY PARKWAY AND SPARTAN WAY*

IN

*LATHROP, CA*

The project plans for the work to be done were approved March 19, 2020 and are entitled:

**CITY OF LATHROP  
DEPARTMENT OF PUBLIC WORKS  
PROJECT PLANS FOR**

*INSTALLATION OF A TRAFFIC SIGNAL AND CONSTRUCTION OF TRAFFIC STRIPING AT THE  
INTERSECTION OF GOLDEN VALLEY PARKWAY AND SPARTAN WAY*

IN

*LATHROP, CA*

**ARTICLE II.**--The said party of the first part hereby promises and agrees with the said Contractor to employ, and does hereby employ, the said Contractor to provide the materials and to do the work according to the terms and conditions herein contained and referred to, for the prices hereinafter set forth, and hereby contracts to pay the same at the time, in the manner and upon the conditions herein set forth; and the said parties for themselves, their heirs, executors, administrators, successors and assigns, do hereby agree to the full performance of the covenants herein contained.

**ARTICLE III.**--The State general prevailing wage rates determined by the Director of Industrial Relations are hereby made a part of this contract. It is further expressly agreed by and between the parties hereto that should there be any conflict between the terms of this instrument and the bid or proposal of said Contractor, then this instrument shall control and nothing herein shall be considered as an acceptance of the said terms of said proposal conflicting herewith. When the project is subject to both State and Federal hourly minimum rates for wages and fringe benefits and when the two rates differ for similar kinds of labor, the Contractor shall not pay less than the higher rate. Federal wage rates can be found in Exhibit B.

**ARTICLE IV.**--By my signature hereunder, as Contractor, I certify that I am aware of the provisions of Section 3700 of the Labor Code which require every employer to be insured against liability for worker's compensation or to undertake self-insurance in conformance with the provisions of that code, and I will comply with such provisions before commencing the performance of the work of this contract.

**ARTICLE V.**--And the said Contractor agrees to receive and accept the following prices as full compensation for furnishing all materials and for doing all the work contemplated and embraced in this agreement; also for all loss or damage, arising out of the nature of the work aforesaid, or from the action of the elements, or from any unforeseen difficulties or obstructions which may arise or be encountered in the prosecution of the work until its acceptance by the City of Lathrop, Department of Public Works, and for all risks of every description connected with the work; also for all expenses incurred by or in consequence of the suspension or discontinuance of work and for well and faithfully completing the work, and the whole thereof, in the manner and according to the plans and specifications, and the requirements of the Engineer under them, to wit:

**ARTICLE VI.**--The provisions of Form FHWA 1273 is hereby physically attached, unmodified as a part of this contract (Exhibit A). This provision applies to federal-aid contracts and all work performed by subcontracts and subsequent lower-tier subcontracts and required be physically included in each executed contract.

**ARTICLE VII.**-- The Minimum Federal Wage Rates Determination is hereby physically attached, in conformance with federal 10-day rule as a part of this contract (Exhibit B). This wage rate determination applies to federal-aid contracts and all work performed exceeding \$2000 by subcontracts and subsequent lower-tier subcontracts and required be physically included in each executed contract.

IN WITNESS WHEREOF, The parties to these presents have here-unto set their hands the year and date first above written

**CITY OF LATHROP  
DEPARTMENT OF PUBLIC WORKS**

By \_\_\_\_\_  
*Authorized Local Agency Representative*

Contractor

By \_\_\_\_\_

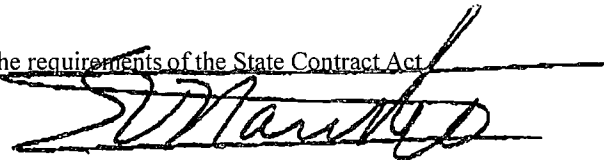
Licensed in accordance with  
an act providing for the  
registration of contractors,

License No. \_\_\_\_\_

Federal Employer Identification

Number \_\_\_\_\_

Approved and certified as being in conformance with the requirements of the State Contract Act



\_\_\_\_\_  
Attorney, City of Lathrop

Approved Effective MAY 5, 2020

EXHIBIT A - REQUIRED FEDERAL AID CONTRACT PROVISIONS

**REQUIRED CONTRACT  
PROVISIONS FEDERAL-AID  
CONSTRUCTION CONTRACTS**

FHWA-1273 -- Revised May 1, 2012



- I. General
- II. Nondiscrimination
- III. No segregated Facilities
- IV. Davis-Bacon and Related Act Provisions
- V. Contract Work Hours and Safety Standards Act Provisions
- VI. Subletting or Assigning the Contract
- VII. Safety: Accident Prevention
- VIII. False Statements Concerning Highway Projects
- IX. Implementation of Clean Air Act and Federal Water Pollution Control Act
- X. Compliance with Government wide Suspension and Debarment Requirements
- XI. Certification Regarding Use of Contract Funds for Lobbying

## ATTACHMENTS

A. Employment and Materials Preference for Appalachian Development Highway System or Appalachian Local Access Road Contracts (included in Appalachian contracts only)

## I. GENERAL

1. Form FHWA-1273 must be physically incorporated in each construction contract funded under Title 23 (excluding emergency contracts solely intended for debris removal). The contractor (or subcontractor) must insert this form in each subcontract and further require its inclusion in all lower tier subcontracts (excluding purchase orders, rental agreements and other agreements for supplies or services).

The applicable requirements of Form FHWA-1273 are incorporated by reference for work done under any purchase order, rental agreement or agreement for other services. The prime contractor shall be responsible for compliance by any subcontractor, lower-tier subcontractor or service provider.

Form FHWA-1273 must be included in all Federal-aid design-build contracts, in all subcontracts and in lower tier subcontracts (excluding subcontracts for design services, purchase orders, rental agreements and other agreements for supplies or services). The design-builder shall be responsible for compliance by any subcontractor, lower-tier subcontractor or service provider.

Contracting agencies may reference Form FHWA-1273 in bid proposal or request for proposal documents, however, the Form FHWA-1273 must be physically incorporated (not referenced) in all contracts, subcontracts and lower-tier subcontracts (excluding purchase orders, rental agreements and other agreements for supplies or services related to a construction contract).

2. Subject to the applicability criteria noted in the following sections, these contract provisions shall apply to all work performed on the contract by the contractor's own organization and with the assistance of workers under the contractor's immediate superintendence and to all work performed on the contract by piecework, station work, or by subcontract.
3. A breach of any of the stipulations contained in these Required Contract Provisions may be sufficient grounds for withholding of progress payments, withholding of final payment, termination of the contract, suspension / debarment or any other action determined to be appropriate by the contracting agency and FHWA.
4. Selection of Labor. During the performance of this contract, the contractor shall not use convict labor for any purpose within the limits of a construction project on a Federal-aid highway unless it is labor performed by convicts who are on parole, supervised release, or probation. The term Federal-aid highway does not include roadways functionally classified as local roads or rural minor collectors.

## II. NONDISCRIMINATION

The provisions of this section related to 23 CFR Part 230 are applicable to all Federal-aid construction contracts and to all related construction subcontracts of \$10,000 or more. The provisions of 23 CFR Part 230 are not applicable to material supply, engineering, or architectural service contracts.

In addition, the contractor and all subcontractors must comply with the following policies: Executive Order 11246, 41 CFR 60, 29 CFR 1625-1627, Title 23 USC Section 140, the Rehabilitation Act of 1973, as amended (29 USC 794), Title VI of the Civil Rights Act of 1964, as amended, and related regulations including 49 CFR Parts 21, 26 and 27; and 23 CFR Parts 200, 230, and 633.

The contractor and all subcontractors must comply with: the requirements of the Equal Opportunity Clause in 41 CFR 60-1.4(b) and, for all construction contracts exceeding \$10,000, the Standard Federal Equal Employment Opportunity Construction Contract Specifications in 41 CFR 60-4.3.

Note: The U.S. Department of Labor has exclusive authority to determine compliance with Executive Order 11246 and the policies of the Secretary of Labor including 41 CFR 60, and 29 CFR 1625-1627. The contracting agency and the FHWA have the authority and the responsibility to ensure compliance with Title 23 USC Section 140, the Rehabilitation Act of 1973, as amended (29 USC 794), and Title VI of the Civil Rights Act of 1964, as amended, and related regulations including 49 CFR Parts 21, 26 and 27; and 23 CFR Parts 200, 230, and 633.

The following provision is adopted from 23 CFR 230, Appendix A, with appropriate revisions to conform to the U.S. Department of Labor (US DOL) and FHWA requirements.

**1. Equal Employment Opportunity:** Equal employment opportunity (EEO) requirements not to discriminate and to take affirmative action to assure equal opportunity as set forth under laws, executive orders, rules, regulations (28 CFR 35, 29 CFR 1630, 29 CFR 1625-1627, 41 CFR 60 and 49 CFR 27) and orders of the Secretary of Labor as modified by the provisions prescribed herein, and imposed pursuant to 23 U.S.C. 140 shall constitute the EEO and specific affirmative action standards for the contractor's project activities under this contract. The provisions of the Americans with Disabilities Act of 1990 (42 U.S.C. 12101 et seq.) set forth under 28 CFR 35 and 29 CFR 1630 are incorporated by reference in this contract. In the execution of this contract, the contractor agrees to comply with the following minimum specific requirement activities of EEO:

- a. The contractor will work with the contracting agency and the Federal Government to ensure that it has made every good faith effort to provide equal opportunity with respect to all of its terms and conditions of employment and in their review of activities under the contract.
- b. The contractor will accept as its operating policy the following statement:

"It is the policy of this Company to assure that applicants are employed, and that employees are treated during employment, without regard to their race, religion, sex, color, national origin, age or disability. Such action shall include: employment, upgrading, demotion, or transfer; recruitment or recruitment advertising; layoff or termination; rates of pay or other forms of compensation; and selection for training, including apprenticeship, pre-apprenticeship, and/or on-the-job training."

FHWA-1273 -- Revised May 1, 2012

**2. EEO Officer:** The contractor will designate and make known to the contracting officers and EEO Officer who will have the responsibility for and must be capable of effectively administering and promoting an active EEO program and who must be assigned adequate authority and responsibility to do so.

**3. Dissemination of Policy:** All members of the contractor's staff who are authorized to hire, supervise, promote, and discharge employees, or who recommend such action, or who are substantially involved in such action, will be made fully cognizant of, and will implement, the contractor's EEO policy and contractual responsibilities to provide EEO in each grade and classification of employment. To ensure that the above agreement will be met, the following actions will be taken as a minimum:

- a. Periodic meetings of supervisory and personnel office employees will be conducted before the start of work and then not less often than once every six months, at which time the contractor's EEO policy and its implementation will be reviewed and explained. The meetings will be conducted by the EEO Officer.
- b. All new supervisory or personnel office employees will be given a thorough indoctrination by the EEO Officer, covering all major aspects of the contractor's EEO obligations within thirty days following their reporting for duty with the contractor.
- c. All personnel who are engaged in direct recruitment for the project will be instructed by the EEO Officer in the contractor's procedures for locating and hiring minorities and women.
- d. Notices and posters setting forth the contractor's EEO policy will be placed in areas readily accessible to employees, applicants for employment and potential employees.
- e. The contractor's EEO policy and the procedures to implement such policy will be brought to the attention of employees by means of meetings, employee handbooks, or other appropriate means.

**4. Recruitment:** When advertising for employees, the contractor will include in all advertisements for employees the notation: "An Equal Opportunity Employer." All such advertisements will be placed in publications having a large circulation among minorities and women in the area from which the project work force would normally be derived.

- a. The contractor will, unless precluded by a valid bargaining agreement, conduct systematic and direct recruitment through public and private employee referral sources likely to yield qualified minorities and women. To meet this requirement, the contractor will identify sources of potential minority group employees, and establish with such identified sources procedures whereby minority and women applicants may be referred to the contractor for employment consideration.
- b. In the event the contractor has a valid bargaining agreement providing for exclusive hiring hall referrals, the contractor is expected to observe the provisions of that agreement to the extent that the system meets the contractor's compliance with EEO contract provisions. Where implementation of such an agreement has the effect of discriminating against minorities or women, or obligates the contractor to do the same, such implementation violates Federal nondiscrimination provisions.

c. The contractor will encourage its present employees to refer minorities and women as applicants for employment. Information and procedures with regard to referring such applicants will be discussed with employees.

**5. Personnel Actions:** Wages, working conditions, and employee benefits shall be established and administered, and personnel actions of every type, including hiring, upgrading, promotion, transfer, demotion, layoff, and termination, shall be taken without regard to race, color, religion, sex, national origin, age or disability. The following procedures shall be followed:

- a. The contractor will conduct periodic inspections of project sites to insure that working conditions and employee facilities do not indicate discriminatory treatment of project site personnel.
- b. The contractor will periodically evaluate the spread of wages paid within each classification to determine any evidence of discriminatory wage practices.
- c. The contractor will periodically review selected personnel actions in depth to determine whether there is evidence of discrimination. Where evidence is found, the contractor will promptly take corrective action. If the review indicates that the discrimination may extend beyond the actions reviewed, such corrective action shall include all affected persons.
- d. The contractor will promptly investigate all complaints of alleged discrimination made to the contractor in connection with its obligations under this contract, will attempt to resolve such complaints, and will take appropriate corrective action within a reasonable time. If the investigation indicates that the discrimination may affect persons other than the complainant, such corrective action shall include such other persons. Upon completion of each investigation, the contractor will inform every complainant of all of their avenues of appeal.

**6. Training and Promotion:**

- a. The contractor will assist in locating, qualifying, and increasing the skills of minorities and women who are applicants for employment or current employees. Such efforts should be aimed at developing full journey level status employees in the type of trade or job classification involved.
- b. Consistent with the contractor's work force requirements and as permissible under Federal and State regulations, the contractor shall make full use of training programs, i.e., apprenticeship, and on-the-job training programs for the geographical area of contract performance. In the event a special provision for training is provided under this contract, this subparagraph will be superseded as indicated in the special provision. The contracting agency may reserve training positions for persons who receive welfare assistance in accordance with 23 U.S.C. 140(a).
- c. The contractor will advise employees and applicants for employment of available training programs and entrance requirements for each.
- d. The contractor will periodically review the training and promotion potential of employees who are minorities and women and will encourage eligible employees to apply for such training and promotion.

FHWA-1273 -- Revised May 1, 2012

**7. Unions:** If the contractor relies in whole or in part upon unions as a source of employees, the contractor will use good faith efforts to obtain the cooperation of such unions to increase opportunities for minorities and women. Actions by the contractor, either directly or through a contractor's association acting as agent, will include the procedures set forth below:

- a. The contractor will use good faith efforts to develop, in cooperation with the unions, joint training programs aimed toward qualifying more minorities and women for membership in the unions and increasing the skills of minorities and women so that they may qualify for higher paying employment.
- b. The contractor will use good faith efforts to incorporate an EEO clause into each union agreement to the end that such union will be contractually bound to refer applicants without regard to their race, color, religion, sex, national origin, age or disability.
- c. The contractor is to obtain information as to the referral practices and policies of the labor union except that to the extent such information is within the exclusive possession of the labor union and such labor union refuses to furnish such information to the contractor, the contractor shall so certify to the contracting agency and shall set forth what efforts have been made to obtain such information.
- d. In the event the union is unable to provide the contractor with a reasonable flow of referrals within the time limit set forth in the collective bargaining agreement, the contractor will, through independent recruitment efforts, fill the employment vacancies without regard to race, color, religion, sex, national origin, age or disability; making full efforts to obtain qualified and/or qualifiable minorities and women. The failure of a union to provide sufficient referrals (even though it is obligated to provide exclusive referrals under the terms of a collective bargaining agreement) does not relieve the contractor from the requirements of this paragraph. In the event the union referral practice prevents the contractor from meeting the obligations pursuant to Executive Order 11246, as amended, and these special provisions, such contractor shall immediately notify the contracting agency.

**8. Reasonable Accommodation for Applicants / Employees with Disabilities:** The contractor must be familiar with the requirements for and comply with the Americans with Disabilities Act and all rules and regulations established there under. Employers must provide reasonable accommodation in all employment activities unless to do so would cause an undue hardship.

**9. Selection of Subcontractors, Procurement of Materials and Leasing of Equipment:** The contractor shall not discriminate on the grounds of race, color, religion, sex, national origin, age or disability in the selection and retention of subcontractors, including procurement of materials and leases of equipment. The contractor shall take all necessary and reasonable steps to ensure nondiscrimination in the administration of this contract.

- a. The contractor shall notify all potential subcontractors and suppliers and lessors of their EEO obligations under this contract.
- b. The contractor will use good faith efforts to ensure subcontractor compliance with their EEO obligations.

**10. Assurance Required by 49 CFR 26.13(b):**

- a. The requirements of 49 CFR Part 26 and the State DOT's U.S. DOT-approved DBE program are incorporated by reference.
- b. The contractor or subcontractor shall not discriminate on the basis of race, color, national origin, or sex in the performance of this contract. The contractor shall carry out applicable requirements of 49 CFR Part 26 in the award and administration of DOT-assisted contracts. Failure by the contractor to carry out these requirements is a material breach of this contract, which may result in the termination of this contract or such other remedy as the contracting agency deems appropriate.

**11. Records and Reports:** The contractor shall keep such records as necessary to document compliance with the EEO requirements. Such records shall be retained for a period of three years following the date of the final payment to the contractor for all contract work and shall be available at reasonable times and places for inspection by authorized representatives of the contracting agency and the FHWA.

- a. The records kept by the contractor shall document the following:
  - (1) The number and work hours of minority and non-minority group members and women employed in each work classification on the project;
  - (2) The progress and efforts being made in cooperation with unions, when applicable, to increase employment opportunities for minorities and women; and
  - (3) The progress and efforts being made in locating, hiring, training, qualifying, and upgrading minorities and women.
- b. The contractors and subcontractors will submit an annual report to the contracting agency each July for the duration of the project, indicating the number of minority, women, and non-minority group employees currently engaged in each work classification required by the contract work. This information is to be reported on Form FHWA-1391. The staffing data should represent the project work force on board in all or any part of the last payroll period preceding the end of July. If on-the-job training is being required by special provision, the contractor will be required to collect and report training data. The employment data should reflect the work force on board during all or any part of the last payroll period preceding the end of July.

**III. NONSEGREGATED FACILITIES**

This provision is applicable to all Federal-aid construction contracts and to all related construction subcontracts of \$10,000 or more.

The contractor must ensure that facilities provided for employees are provided in such a manner that segregation on the basis of race, color, religion, sex, or national origin cannot result. The contractor may neither require such segregated use by written or oral policies nor tolerate such use by employee custom. The contractor's obligation extends further to ensure that its employees are not assigned to perform their services at any location, under the contractor's control, where the facilities are segregated. The term "facilities" includes waiting rooms, work areas, restaurants and other eating areas, time clocks, restrooms, washrooms, locker rooms, and other storage or dressing areas, parking lots, drinking fountains, recreation or entertainment areas, transportation, and housing provided for employees. The contractor shall provide separate or single-user restrooms and necessary dressing or sleeping areas to assure privacy between sexes.

FHWA-1273 -- Revised May 1, 2012

**IV. DAVIS-BACON AND RELATED ACT PROVISIONS**

This section is applicable to all Federal-aid construction projects exceeding \$2,000 and to all related subcontracts and lower-tier subcontracts (regardless of subcontract size). The requirements apply to all projects located within the right-of-way of a roadway that is functionally classified as Federal-aid highway. This excludes roadways functionally classified as local roads or rural minor collectors, which are exempt. Contracting agencies may elect to apply these requirements to other projects.

The following provisions are from the U.S. Department of Labor regulations in 29 CFR 5.5 "Contract provisions and related matters" with minor revisions to conform to the FHWA-1273 format and FHWA program requirements.

**1. Minimum wages**

a. All laborers and mechanics employed or working upon the site of the work, will be paid unconditionally and not less often than once a week, and without subsequent deduction or rebate on any account (except such payroll deductions as are permitted by regulations issued by the Secretary of Labor under the Copeland Act (29 CFR part 3)), the full amount of wages and bona fide fringe benefits (or cash equivalents thereof) due at time of payment computed at rates not less than those contained in the wage determination of the Secretary of Labor which is attached hereto and made a part hereof, regardless of any contractual relationship which may be alleged to exist between the contractor and such laborers and mechanics.

Contributions made or costs reasonably anticipated for bona fide fringe benefits under section 1(b)(2) of the Davis-Bacon Act on behalf of laborers or mechanics are considered wages paid to such laborers or mechanics, subject to the provisions of paragraph 1.d. of this section; also, regular contributions made or costs incurred for more than a weekly period (but not less often than quarterly) under plans, funds, or programs which cover the particular weekly period, are deemed to be constructively made or incurred during such weekly period. Such laborers and mechanics shall be paid the appropriate wage rate and fringe benefits on the wage determination for the classification of work actually performed, without regard to skill, except as provided in 29 CFR 5.5(a)(4). Laborers or mechanics performing work in more than one classification may be compensated at the rate specified for each classification for the time actually worked therein: Provided, That the employer's payroll records accurately set forth the time spent in each classification in which work is performed. The wage determination (including any additional classification and wage rates conformed under paragraph 1.b. of this section) and the Davis-Bacon poster (WH-1321) shall be posted at all times by the contractor and its subcontractors at the site of the work in a prominent and accessible place where it can be easily seen by the workers.

b. (1) The contracting officer shall require that any class of laborers or mechanics, including helpers, which is not listed in the wage determination and which is to be employed under the contract shall be classified in conformance with the wage determination. The contracting officer shall approve an additional classification and wage rate and fringe benefits therefore only when the following criteria have been met:

- (i) The work to be performed by the classification requested is not performed by a classification in the wage determination; and
  - (ii) The classification is utilized in the area by the construction industry; and
  - (iii) The proposed wage rate, including any bona fide fringe benefits, bears a reasonable relationship to the wage rates contained in the wage determination.
- (2) If the contractor and the laborers and mechanics to be employed in the classification (if known), or their representatives, and the contracting officer agree on the classification and wage rate (including the amount designated for fringe benefits where appropriate), a report of the action taken shall be sent by the contracting officer to the Administrator of the Wage and Hour Division, Employment Standards Administration, U.S. Department of Labor, Washington, DC 20210. The Administrator, or an authorized representative, will approve, modify, or disapprove every additional classification action within 30 days of receipt and so advise the contracting officer or will notify the contracting officer within the 30-day period that additional time is necessary.
- (3) In the event the contractor, the laborers or mechanics to be employed in the classification or their representatives, and the contracting officer do not agree on the proposed classification and wage rate (including the amount designated for fringe benefits, where appropriate), the contracting officer shall refer the questions, including the views of all interested parties and the recommendation of the contracting officer, to the Wage and Hour Administrator for determination. The Wage and Hour Administrator, or an authorized representative, will issue a determination within 30 days of receipt and so advise the contracting officer or will notify the contracting officer within the 30-day period that additional time is necessary.
- (4) The wage rate (including fringe benefits where appropriate) determined pursuant to paragraphs 1.b.(2) or 1.b.(3) of this section, shall be paid to all workers performing work in the classification under this contract from the first day on which work is performed in the classification.
- c. Whenever the minimum wage rate prescribed in the contract for a class of laborers or mechanics includes a fringe benefit which is not expressed as an hourly rate, the contractor shall either pay the benefit as stated in the wage determination or shall pay another bona fide fringe benefit or an hourly cash equivalent thereof.
- d. If the contractor does not make payments to a trustee or other third person, the contractor may consider as part of the wages of any laborer or mechanic the amount of any costs reasonably anticipated in providing bona fide fringe benefits under a plan or program, Provided, That the Secretary of Labor has found, upon the written request of the contractor, that the applicable standards of the Davis-Bacon Act have been met. The Secretary of Labor may require the contractor to set aside in a separate account assets for the meeting of obligations under the plan or program.

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**2. Withholding**

The contracting agency shall upon its own action or upon written request of an authorized representative of the Department of Labor, withhold or cause to be withheld from the contractor under this contract, or any other Federal contract with the same prime contractor, or any other federally-assisted contract subject to Davis-Bacon prevailing wage requirements, which is held by the same prime contractor, so much of the accrued payments or advances as may be considered necessary to pay laborers and mechanics, including apprentices, trainees, and helpers, employed by the contractor or any subcontractor the full amount of wages required by the contract. In the event of failure to pay any laborer or mechanic, including any apprentice, trainee, or helper, employed or working on the site of the work, all or part of the wages required by the contract, the contracting agency may, after written notice to the contractor, take such action as may be necessary to cause the suspension of any further payment, advance, or guarantee of funds until such violations have ceased.

**3. Payrolls and basic records**

a. Payrolls and basic records relating thereto shall be maintained by the contractor during the course of the work and preserved for a period of three years thereafter for all laborers and mechanics working at the site of the work. Such records shall contain the name, address, and social security number of each such worker, his or her correct classification, hourly rates of wages paid (including rates of contributions or costs anticipated for bona fide fringe benefits or cash equivalents thereof of the types described in section 1(b)(2)(B) of the Davis-Bacon Act), daily and weekly number of hours worked, deductions made and actual wages paid. Whenever the Secretary of Labor has found under 29 CFR 5.5(a)(1)(iv) that the wages of any laborer or mechanic include the amount of any costs reasonably anticipated in providing benefits under a plan or program described in section 1(b)(2)(B) of the Davis-Bacon Act, the contractor shall maintain records which show that the commitment to provide such benefits is enforceable, that the plan or program is financially responsible, and that the plan or program has been communicated in writing to the laborers or mechanics affected, and records which show the costs anticipated or the actual cost incurred in providing such benefits. Contractors employing apprentices or trainees under approved programs shall maintain written evidence of the registration of apprenticeship programs and certification of trainee programs, the registration of the apprentices and trainees, and the ratios and wage rates prescribed in the applicable programs.

b. (1) The contractor shall submit weekly for each week in which any contract work is performed a copy of all payrolls to the contracting agency. The payrolls submitted shall set out accurately and completely all of the information required to be maintained under 29 CFR 5.5(a)(3)(i), except that full social security numbers and home addresses shall not be included on weekly transmittals. Instead the payrolls shall only need to include an individually identifying number for each employee (e.g., the last four digits of the employee's social security number). The required weekly payroll information may be submitted in any form desired. Optional Form WH-347 is available for this purpose from the Wage and Hour Division Web site at <http://www.dol.gov/esa/whd/forms/wh347instr.htm> or its successor site. The prime contractor is responsible for the submission of copies of payrolls by all subcontractors. Contractors and subcontractors shall maintain the full social security number and

current address of each covered worker, and shall provide them upon request to the contracting agency for transmission to the State DOT, the FHWA or the Wage and Hour Division of the Department of Labor for purposes of an investigation or audit of compliance with prevailing wage requirements. It is not a violation of this section for a prime contractor to require a subcontractor to provide addresses and social security numbers to the prime contractor for its own records, without weekly submission to the contracting agency.

(2) Each payroll submitted shall be accompanied by a "Statement of Compliance," signed by the contractor or subcontractor or his or her agent who pays or supervises the payment of the persons employed under the contract and shall certify the following:

(i) That the payroll for the payroll period contains the information required to be provided under §5.5 (a)(3)(ii) of Regulations, 29 CFR part 5, the appropriate information is being maintained under §5.5 (a)(3)(i) of Regulations, 29 CFR part 5, and that such information is correct and complete;

(ii) That each laborer or mechanic (including each helper, apprentice, and trainee) employed on the contract during the payroll period has been paid the full weekly wages earned, without rebate, either directly or indirectly, and that no deductions have been made either directly or indirectly from the full wages earned, other than permissible deductions as set forth in Regulations, 29 CFR part 3;

(iii) That each laborer or mechanic has been paid not less than the applicable wage rates and fringe benefits or cash equivalents for the classification of work performed, as specified in the applicable wage determination incorporated into the contract.

(3) The weekly submission of a properly executed certification set forth on the reverse side of Optional Form WH-347 shall satisfy the requirement for submission of the "Statement of Compliance" required by paragraph 3.b.(2) of this section.

(4) The falsification of any of the above certifications may subject the contractor or subcontractor to civil or criminal prosecution under section 1001 of title 18 and section 231 of title 31 of the United States Code.

c. The contractor or subcontractor shall make the records required under paragraph 3.a. of this section available for inspection, copying, or transcription by authorized representatives of the contracting agency, the State DOT, the FHWA, or the Department of Labor, and shall permit such representatives to interview employees during working hours on the job. If the contractor or subcontractor fails to submit the required records or to make them available, the FHWA may, after written notice to the contractor, the contracting agency or the State DOT, take such action as may be necessary to cause the suspension of any further payment, advance, or guarantee of funds. Furthermore, failure to submit the required records upon request or to make such records available may be grounds for debarment action pursuant to 29 CFR 5.12.

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**4. Apprentices and trainees****a. Apprentices (programs of the USDOL).**

Apprentices will be permitted to work at less than the predetermined rate for the work they performed when they are employed pursuant to and individually registered in a bona fide apprenticeship program registered with the U.S. Department of Labor, Employment and Training Administration, Office of Apprenticeship Training, Employer and Labor Services, or with a State Apprenticeship Agency recognized by the Office, or if a person is employed in his or her first 90 days of probationary employment as an apprentice in such an apprenticeship program, who is not individually registered in the program, but who has been certified by the Office of Apprenticeship Training, Employer and Labor Services or a State Apprenticeship Agency (where appropriate) to be eligible for probationary employment as an apprentice.

The allowable ratio of apprentices to journeymen on the job site in any craft classification shall not be greater than the ratio permitted to the contractor as to the entire work force under the registered program. Any worker listed on a payroll at an apprentice wage rate, who is not registered or otherwise employed as stated above, shall be paid not less than the applicable wage rate on the wage determination for the classification of work actually performed. In addition, any apprentice performing work on the job site in excess of the ratio permitted under the registered program shall be paid not less than the applicable wage rate on the wage determination for the work actually performed. Where a contractor is performing construction on a project in a locality other than that in which its program is registered, the ratios and wage rates (expressed in percentages of the journeyman's hourly rate) specified in the contractor's or subcontractor's registered program shall be observed.

Every apprentice must be paid at not less than the rate specified in the registered program for the apprentice's level of progress, expressed as a percentage of the journeymen hourly rate specified in the applicable wage determination. Apprentices shall be paid fringe benefits in accordance with the provisions of the apprenticeship program. If the apprenticeship program does not specify fringe benefits, apprentices must be paid the full amount of fringe benefits listed on the wage determination for the applicable classification. If the Administrator determines that a different practice prevails for the applicable apprentice classification, fringes shall be paid in accordance with that determination.

In the event the Office of Apprenticeship Training, Employer and Labor Services, or a State Apprenticeship Agency recognized by the Office, withdraws approval of an apprenticeship program, the contractor will no longer be permitted to utilize apprentices at less than the applicable predetermined rate for the work performed until an acceptable program is approved.

**b. Trainees (programs of the USDOL).**

Except as provided in 29 CFR 5.16, trainees will not be permitted to work at less than the predetermined rate for the work performed unless they are employed pursuant to and individually registered in a program which has received prior approval, evidenced by formal certification by the U.S. Department of Labor, Employment and Training Administration.

The ratio of trainees to journeymen on the job site shall not be greater than permitted under the plan approved by the Employment and Training Administration.

Every trainee must be paid at not less than the rate specified in the approved program for the trainee's level of progress, expressed as a percentage of the journeyman hourly rate specified in the applicable wage determination. Trainees shall be paid fringe benefits in accordance with the provisions of the trainee program. If the trainee program does not mention fringe benefits, trainees shall be paid the full amount of fringe benefits listed on the wage determination unless the Administrator of the Wage and Hour Division determines that there is an apprenticeship program associated with the corresponding journeyman wage rate on the wage determination which provides for less than full fringe benefits for apprentices. Any employee listed on the payroll at a trainee rate who is not registered and participating in a training plan approved by the Employment and Training Administration shall be paid not less than the applicable wage rate on the wage determination for the classification of work actually performed. In addition, any trainee performing work on the job site in excess of the ratio permitted under the registered program shall be paid not less than the applicable wage rate on the wage determination for the work actually performed.

In the event the Employment and Training Administration withdraws approval of a training program, the contractor will no longer be permitted to utilize trainees at less than the applicable predetermined rate for the work performed until an acceptable program is approved.

**c. Equal employment opportunity.** The utilization of apprentices, trainees and journeymen under this part shall be in conformity with the equal employment opportunity requirements of Executive Order 11246, as amended, and 29 CFR part 30.**d. Apprentices and Trainees (programs of the U.S. DOT).**

Apprentices and trainees working under apprenticeship and skill training programs which have been certified by the Secretary of Transportation as promoting EEO in connection with Federal-aid highway construction programs are not subject to the requirements of paragraph 4 of this Section IV. The straight time hourly wage rates for apprentices and trainees under such programs will be established by the particular programs. The ratio of apprentices and trainees to journeymen shall not be greater than permitted by the terms of the particular program.

**5. Compliance with Copeland Act requirements.** The contractor shall comply with the requirements of 29 CFR part 3, which are incorporated by reference in this contract.

**6. Subcontracts.** The contractor or subcontractor shall insert Form FHWA-1273 in any subcontracts and also require the subcontractors to include Form FHWA-1273 in any lower tier subcontracts. The prime contractor shall be responsible for the compliance by any subcontractor or lower tier subcontractor with all the contract clauses in 29 CFR 5.5.

**7. Contract termination: debarment.** A breach of the contract clauses in 29 CFR 5.5 may be grounds for termination of the contract, and for debarment as a contractor and a subcontractor as provided in 29 CFR 5.12.

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**8. Compliance with Davis-Bacon and Related Act requirements.** All rulings and interpretations of the Davis-Bacon and Related Acts contained in 29 CFR parts 1, 3, and 5 are herein incorporated by reference in this contract.

**9. Disputes concerning labor standards.** Disputes arising out of the labor standards provisions of this contract shall not be subject to the general disputes clause of this contract. Such disputes shall be resolved in accordance with the procedures of the Department of Labor set forth in 29 CFR parts 5, 6, and 7. Disputes within the meaning of this clause include disputes between the contractor (or any of its subcontractors) and the contracting agency, the U.S. Department of Labor, or the employees or their representatives.

**10. Certification of eligibility.**

- a. By entering into this contract, the contractor certifies that neither it (nor he or she) nor any person or firm who has an interest in the contractor's firm is a person or firm ineligible to be awarded Government contracts by virtue of section 3(a) of the Davis-Bacon Act or 29 CFR 5.12(a)(1).
- b. No part of this contract shall be subcontracted to any person or firm ineligible for award of a Government contract by virtue of section 3(a) of the Davis-Bacon Act or 29 CFR 5.12(a)(1).
- c. The penalty for making false statements is prescribed in the U.S. Criminal Code, 18 U.S.C. 1001.

**V. CONTRACT WORK HOURS AND SAFETY STANDARDS ACT**

The following clauses apply to any Federal-aid construction contract in an amount in excess of \$100,000 and subject to the overtime provisions of the Contract Work Hours and Safety Standards Act. These clauses shall be inserted in addition to the clauses required by 29 CFR 5.5(a) or 29 CFR 4.6. As used in this paragraph, the terms laborers and mechanics include watchmen and guards.

**1. Overtime requirements.** No contractor or subcontractor contracting for any part of the contract work which may require or involve the employment of laborers or mechanics shall require or permit any such laborer or mechanic in any workweek in which he or she is employed on such work to work in excess of forty hours in such workweek unless such laborer or mechanic receives compensation at a rate not less than one and one-half times the basic rate of pay for all hours worked in excess of forty hours in such workweek.

**2. Violation; liability for unpaid wages; liquidated damages.** In the event of any violation of the clause set forth in paragraph (1.) of this section, the contractor and any subcontractor responsible therefor shall be liable for the unpaid wages. In addition, such contractor and subcontractor shall be liable to the United States (in the case of work done under contract for the District of Columbia or a territory, to such District or to such territory), for liquidated damages. Such liquidated damages shall be computed with respect to each individual laborer or mechanic, including watchmen and guards, employed in violation of the clause set forth in paragraph (1.) of this section, in the sum of \$10 for each calendar day on which such individual was required or permitted to work in excess of the standard workweek of forty hours without payment of the overtime wages required by the clause set forth in paragraph (1.) of this section.

**3. Withholding for unpaid wages and liquidated damages.** The FHWA or the contacting agency shall upon its own action or upon written request of an authorized representative of the Department of Labor withhold or cause to be withheld, from any moneys payable on account of work performed by the contractor or subcontractor under any such contract or any other Federal contract with the same prime contractor, or any other federally-assisted contract subject to the Contract Work Hours and Safety Standards Act, which is held by the same prime contractor, such sums as may be determined to be necessary to satisfy any liabilities of such contractor or subcontractor for unpaid wages and liquidated damages as provided in the clause set forth in paragraph (2.) of this section.

**4. Subcontracts.** The contractor or subcontractor shall insert in any subcontracts the clauses set forth in paragraph (1.) through (4.) of this section and also a clause requiring the subcontractors to include these clauses in any lower tier subcontracts. The prime contractor shall be responsible for compliance by any subcontractor or lower tier subcontractor with the clauses set forth in paragraphs (1.) through (4.) of this section.

**VI. SUBLETTING OR ASSIGNING THE CONTRACT**

This provision is applicable to all Federal-aid construction contracts on the National Highway System.

1. The contractor shall perform with its own organization contract work amounting to not less than 30 percent (or a greater percentage if specified elsewhere in the contract) of the total original contract price, excluding any specialty items designated by the contracting agency. Specialty items may be performed by subcontract and the amount of any such specialty items performed may be deducted from the total original contract price before computing the amount of work required to be performed by the contractor's own organization (23 CFR 635.116).
  - a. The term "perform work with its own organization" refers to workers employed or leased by the prime contractor, and equipment owned or rented by the prime contractor, with or without operators. Such term does not include employees or equipment of a subcontractor or lower tier subcontractor, agents of the prime contractor, or any other assignees. The term may include payments for the costs of hiring leased employees from an employee leasing firm meeting all relevant Federal and State regulatory requirements. Leased employees may only be included in this term if the prime contractor meets all of the following conditions:
    - (1) the prime contractor maintains control over the supervision of the day-to-day activities of the leased employees;
    - (2) the prime contractor remains responsible for the quality of the work of the leased employees;
    - (3) the prime contractor retains all power to accept or exclude individual employees from work on the project; and
    - (4) the prime contractor remains ultimately responsible for the payment of predetermined minimum wages, the submission of payrolls, statements of compliance and all other Federal regulatory requirements.
  - b. "Specialty Items" shall be construed to be limited to work that requires highly specialized knowledge, abilities, or equipment not ordinarily available in the type of contracting organizations qualified and expected to bid or propose on the contract as a whole and in general are to be limited to minor components of the overall contract.

2. The contract amount upon which the requirements set forth in paragraph (1) of Section VI is computed includes the cost of material and manufactured products which are to be purchased or produced by the contractor under the contract provisions.
3. The contractor shall furnish (a) a competent superintendent or supervisor who is employed by the firm, has full authority to direct performance of the work in accordance with the contract requirements, and is in charge of all construction operations (regardless of who performs the work) and (b) such other of its own organizational resources (supervision, management, and engineering services) as the contracting officer determines is necessary to assure the performance of the contract.
4. No portion of the contract shall be sublet, assigned or otherwise disposed of except with the written consent of the contracting officer, or authorized representative, and such consent when given shall not be construed to relieve the contractor of any responsibility for the fulfillment of the contract. Written consent will be given only after the contracting agency has assured that each subcontract is evidenced in writing and that it contains all pertinent provisions and requirements of the prime contract.
5. The 30% self-performance requirement of paragraph (1) is not applicable to design-build contracts; however, contracting agencies may establish their own self-performance requirements.

#### VII. SAFETY: ACCIDENT PREVENTION

This provision is applicable to all Federal-aid construction contracts and to all related subcontracts.

1. In the performance of this contract the contractor shall comply with all applicable Federal, State, and local laws governing safety, health, and sanitation (23 CFR 635). The contractor shall provide all safeguards, safety devices and protective equipment and take any other needed actions as it determines, or as the contracting officer may determine, to be reasonably necessary to protect the life and health of employees on the job and the safety of the public and to protect property in connection with the performance of the work covered by the contract.
2. It is a condition of this contract, and shall be made a condition of each subcontract, which the contractor enters into pursuant to this contract, that the contractor and any subcontractor shall not permit any employee, in performance of the contract, to work in surroundings or under conditions which are unsanitary, hazardous or dangerous to his/her health or safety, as determined under construction safety and health standards (29 CFR 1926) promulgated by the Secretary of Labor, in accordance with Section 107 of the Contract Work Hours and Safety Standards Act (40 U.S.C. 3704).
3. Pursuant to 29 CFR 1926.3, it is a condition of this contract that the Secretary of Labor or authorized representative thereof, shall have right of entry to any site of contract performance to inspect or investigate the matter of compliance with the construction safety and health standards and to carry out the duties of the Secretary under Section 107 of the Contract Work Hours and Safety Standards Act (40 U.S.C.3704).

#### VIII. FALSE STATEMENTS CONCERNING HIGHWAY PROJECTS

This provision is applicable to all Federal-aid construction contracts and to all related subcontracts.

In order to assure high quality and durable construction in conformity with approved plans and specifications and a high degree of reliability on statements and representations made by engineers, contractors, suppliers, and workers on Federal-aid highway projects, it is essential that all persons concerned with the project perform their functions as carefully, thoroughly, and honestly as possible. Willful falsification, distortion, or misrepresentation with respect to any facts related to the project is a violation of Federal law. To prevent any misunderstanding regarding the seriousness of these and similar acts, Form FHWA-1022 shall be posted on each Federal-aid highway project (23 CFR 635) in one or more places where it is readily available to all persons concerned with the project:

18 U.S.C. 1020 reads as follows:

"Whoever, being an officer, agent, or employee of the United States, or of any State or Territory, or whoever, whether a person, association, firm, or corporation, knowingly makes any false statement, false representation, or false report as to the character, quality, quantity, or cost of the material used or to be used, or the quantity or quality of the work performed or to be performed, or the cost thereof in connection with the submission of plans, maps, specifications, contracts, or costs of construction on any highway or related project submitted for approval to the Secretary of Transportation; or

Whoever knowingly makes any false statement, false representation, false report or false claim with respect to the character, quality, quantity, or cost of any work performed or to be performed, or materials furnished or to be furnished, in connection with the construction of any highway or related project approved by the Secretary of Transportation; or

Whoever knowingly makes any false statement or false representation as to material fact in any statement, certificate, or report submitted pursuant to provisions of the Federal-aid Roads Act approved July 1, 1916, (39 Stat. 355), as amended and supplemented;

Shall be fined under this title or imprisoned not more than 5 years or both."

#### IX. IMPLEMENTATION OF CLEAN AIR ACT AND FEDERAL WATER POLLUTION CONTROL ACT

This provision is applicable to all Federal-aid construction contracts and to all related subcontracts.

By submission of this bid/proposal or the execution of this contract, or subcontract, as appropriate, the bidder, proposer, Federal-aid construction contractor, or subcontractor, as appropriate, will be deemed to have stipulated as follows:

1. That any person who is or will be utilized in the performance of this contract is not prohibited from receiving an award due to a violation of Section 508 of the Clean Water Act or Section 306 of the Clean Air Act.
2. That the contractor agrees to include or cause to be included the requirements of paragraph (1) of this Section X in every subcontract, and further agrees to take such action as the contracting agency may direct as a means of enforcing such requirements.



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**X. CERTIFICATION REGARDING DEBARMENT, SUSPENSION, INELIGIBILITY AND VOLUNTARY EXCLUSION**

This provision is applicable to all Federal-aid construction contracts, design-build contracts, subcontracts, lower-tier subcontracts, purchase orders, lease agreements, consultant contracts or any other covered transaction requiring FHWA approval or that is estimated to cost \$25,000 or more – as defined in 2 CFR Parts 180 and 1200.

**1. Instructions for Certification – First Tier Participants:**

- a. By signing and submitting this proposal, the prospective first tier participant is providing the certification set out below.
- b. The inability of a person to provide the certification set out below will not necessarily result in denial of participation in this covered transaction. The prospective first tier participant shall submit an explanation of why it cannot provide the certification set out below. The certification or explanation will be considered in connection with the department or agency's determination whether to enter into this transaction. However, failure of the prospective first tier participant to furnish a certification or an explanation shall disqualify such a person from participation in this transaction.
- c. The certification in this clause is a material representation of fact upon which reliance was placed when the contracting agency determined to enter into this transaction. If it is later determined that the prospective participant knowingly rendered an erroneous certification, in addition to other remedies available to the Federal Government, the contracting agency may terminate this transaction for cause of default.
- d. The prospective first tier participant shall provide immediate written notice to the contracting agency to whom this proposal is submitted if any time the prospective first tier participant learns that its certification was erroneous when submitted or has become erroneous by reason of changed circumstances.
- e. The terms "covered transaction," "debarred," "suspended," "ineligible," "participant," "person," "principal," and "voluntarily excluded," as used in this clause, are defined in 2 CFR Parts 180 and 1200. "First Tier Covered Transactions" refers to any covered transaction between a grantee or subgrantee of Federal funds and a participant (such as the prime or general contract). "Lower Tier Covered Transactions" refers to any covered transaction under a First Tier Covered Transaction (such as subcontracts). "First Tier Participant" refers to the participant who has entered into a covered transaction with a grantee or subgrantee of Federal funds (such as the prime or general contractor). "Lower Tier Participant" refers any participant who has entered into a covered transaction with a First Tier Participant or other Lower Tier Participants (such as subcontractors and suppliers).
- f. The prospective first tier participant agrees by submitting this proposal that, should the proposed covered transaction be entered into, it shall not knowingly enter into any lower tier covered transaction with a person who is debarred, suspended, declared ineligible, or voluntarily excluded from participation in this covered transaction, unless authorized by the department or agency entering into this transaction.
- g. The prospective first tier participant further agrees by submitting this proposal that it will include the clause titled "Certification Regarding Debarment, Suspension, Ineligibility and Voluntary Exclusion-Lower Tier Covered Transactions," provided by the department or contracting agency, entering into this covered

transaction, without modification, in all lower tier covered transactions and in all solicitations for lower tier covered transactions exceeding the \$25,000 threshold.

- h. A participant in a covered transaction may rely upon a certification of a prospective participant in a lower tier covered transaction that is not debarred, suspended, ineligible, or voluntarily excluded from the covered transaction, unless it knows that the certification is erroneous. A participant is responsible for ensuring that its principals are not suspended, debarred, or otherwise ineligible to participate in covered transactions. To verify the eligibility of its principals, as well as the eligibility of any lower tier prospective participants, each participant may, but is not required to, check the Excluded Parties List System website (<https://www.epls.gov/>), which is compiled by the General Services Administration.
- i. Nothing contained in the foregoing shall be construed to require the establishment of a system of records in order to render in good faith the certification required by this clause. The knowledge and information of the prospective participant is not required to exceed that which is normally possessed by a prudent person in the ordinary course of business dealings.
- j. Except for transactions authorized under paragraph (f) of these instructions, if a participant in a covered transaction knowingly enters into a lower tier covered transaction with a person who is suspended, debarred, ineligible, or voluntarily excluded from participation in this transaction, in addition to other remedies available to the Federal Government, the department or agency may terminate this transaction for cause or default.

\* \* \*

**2. Certification Regarding Debarment, Suspension, Ineligibility and Voluntary Exclusion – First Tier Participants:**

- a. The prospective first tier participant certifies to the best of its knowledge and belief, that it and its principals:
  - (1) Are not presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from participating in covered transactions by any Federal department or agency;
  - (2) Have not within a three-year period preceding this proposal been convicted of or had a civil judgment rendered against them for commission of fraud or a criminal offense in connection with obtaining, attempting to obtain, or performing a public (Federal, State or local) transaction or contract under a public transaction; violation of Federal or State antitrust statutes or commission of embezzlement, theft, forgery, bribery, falsification or destruction of records, making false statements, or receiving stolen property;
  - (3) Are not presently indicted for or otherwise criminally or civilly charged by a governmental entity (Federal, State or local) with commission of any of the offenses enumerated in paragraph (a)(2) of this certification; and
  - (4) Have not within a three-year period preceding this application/proposal had one or more public transactions (Federal, State or local) terminated for cause or default.
- b. Where the prospective participant is unable to certify to any of the statements in this certification, such prospective participant shall attach an explanation to this proposal.

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**2. Instructions for Certification - Lower Tier Participants:**

(Applicable to all subcontracts, purchase orders and other lower tier transactions requiring prior FHWA approval or estimated to cost \$25,000 or more - 2 CFR Parts 180 and 1200)

- a. By signing and submitting this proposal, the prospective lower tier is providing the certification set out below.
- b. The certification in this clause is a material representation of fact upon which reliance was placed when this transaction was entered into. If it is later determined that the prospective lower tier participant knowingly rendered an erroneous certification, in addition to other remedies available to the Federal Government, the department, or agency with which this transaction originated may pursue available remedies, including suspension and/or debarment.
- c. The prospective lower tier participant shall provide immediate written notice to the person to which this proposal is submitted if at any time the prospective lower tier participant learns that its certification was erroneous by reason of changed circumstances.
- d. The terms "covered transaction," "debarred," "suspended," "ineligible," "participant," "person," "principal," and "voluntarily excluded," as used in this clause, are defined in 2 CFR Parts 180 and 1200. You may contact the person to which this proposal is submitted for assistance in obtaining a copy of those regulations. "First Tier Covered Transactions" refers to any covered transaction between a grantee or subgrantee of Federal funds and a participant (such as the prime or general contract). "Lower Tier Covered Transactions" refers to any covered transaction under a First Tier Covered Transaction (such as subcontracts). "First Tier Participant" refers to the participant who has entered into a covered transaction with a grantee or subgrantee of Federal funds (such as the prime or general contractor). "Lower Tier Participant" refers any participant who has entered into a covered transaction with a First Tier Participant or other Lower Tier Participants (such as subcontractors and suppliers).
- e. The prospective lower tier participant agrees by submitting this proposal that, should the proposed covered transaction be entered into, it shall not knowingly enter into any lower tier covered transaction with a person who is debarred, suspended, declared ineligible, or voluntarily excluded from participation in this covered transaction, unless authorized by the department or agency with which this transaction originated.
- f. The prospective lower tier participant further agrees by submitting this proposal that it will include this clause titled "Certification Regarding Debarment, Suspension, Ineligibility and Voluntary Exclusion-Lower Tier Covered Transaction," without modification, in all lower tier covered transactions and in all solicitations for lower tier covered transactions exceeding the \$25,000 threshold.
- g. A participant in a covered transaction may rely upon a certification of a prospective participant in a lower tier covered transaction that is not debarred, suspended, ineligible, or voluntarily excluded from the covered transaction, unless it knows that the certification is erroneous. A participant is responsible for ensuring that its principals are not suspended, debarred, or otherwise ineligible to participate in covered transactions. To verify the eligibility of its principals, as well as the eligibility of any lower tier prospective participants, each participant may, but is not required to, check the Excluded Parties List System website (<https://www.epls.gov/>), which is compiled by the General Services Administration.

h. Nothing contained in the foregoing shall be construed to require establishment of a system of records in order to render in good faith the certification required by this clause. The knowledge and normally possessed by a prudent person in the ordinary course of business dealings.

i. Except for transactions authorized under paragraph e of these instructions, if a participant in a covered transaction knowingly enters into a lower tier covered transaction with a person who is suspended, debarred, ineligible, or voluntarily excluded from participation in this transaction, in addition to other remedies available to the Federal Government, the department or agency with which this transaction originated may pursue available remedies, including suspension and/or debarment.

\*\*\*\*\*

**Certification Regarding Debarment, Suspension, Ineligibility and Voluntary Exclusion--Lower Tier Participants:**

1. The prospective lower tier participant certifies, by submission of this proposal, that neither it nor its principals is presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from participating in covered transactions by any Federal department or agency.
2. Where the prospective lower tier participant is unable to certify to any of the statements in this certification, such prospective participant shall attach an explanation to this proposal.

\*\*\*\*\*

**XI. CERTIFICATION REGARDING USE OF CONTRACT FUNDS FOR LOBBYING**

This provision is applicable to all Federal-aid construction contracts and to all related subcontracts which exceed \$100,000 (49 CFR 20).

1. The prospective participant certifies, by signing and submitting this bid or proposal, to the best of his or her knowledge and belief, that:
  - a. No Federal appropriated funds have been paid or will be paid, by or on behalf of the undersigned, to any person for influencing or attempting to influence an officer or employee of any Federal agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with the awarding of any Federal contract, the making of any Federal grant, the making of any Federal loan, the entering into of any cooperative agreement, and the extension, continuation, renewal, amendment, or modification of any Federal contract, grant, loan, or cooperative agreement.
  - b. If any funds other than Federal appropriated funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee of any Federal agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with this Federal contract, grant, loan, or cooperative agreement, the undersigned shall complete and submit Standard Form-LLL, "Disclosure Form to Report Lobbying," in accordance with its instructions.

2. This certification is a material representation of fact upon which reliance was placed when this transaction was made or entered into. Submission of this certification is a prerequisite for making or entering into this transaction imposed by 31 U.S.C. 1352. Any person who fails to file the required certification shall be subject to a civil penalty of not less than \$10,000 and not more than \$100,000 for each such failure.
  
3. The prospective participant also agrees by submitting its bid or proposal that the participant shall require that the language of this certification be included in all lower tier subcontracts, which exceed information of participant is not required to exceed that which is \$100,000 and that all such recipients shall certify and disclose accordingly.

EXHIBIT B - MINIMUM FEDERAL WAGE RATE DETERMINATION

"General Decision Number: CA20200018 04/17/2020

Superseded General Decision Number: CA20190018

State: California

Construction Types: Building, Heavy (Heavy and Dredging) and Highway

Counties: Alameda, Calaveras, Contra Costa, Fresno, Kings, Madera, Mariposa, Merced, Monterey, San Benito, San Francisco, San Joaquin, San Mateo, Santa Clara, Santa Cruz, Stanislaus and Tuolumne Counties in California.

BUILDING CONSTRUCTION PROJECTS; DREDGING PROJECTS (does not include hopper dredge work); HEAVY CONSTRUCTION PROJECTS (does not include water well drilling); HIGHWAY CONSTRUCTION PROJECTS

Note: Under Executive Order (EO) 13658, an hourly minimum wage of \$10.80 for calendar year 2020 applies to all contracts subject to the Davis-Bacon Act for which the contract is awarded (and any solicitation was issued) on or after January 1, 2015. If this contract is covered by the EO, the contractor must pay all workers in any classification listed on this wage determination at least \$10.80 per hour (or the applicable wage rate listed on this wage determination, if it is higher) for all hours spent performing on the contract in calendar year 2020. If this contract is covered by the EO and a classification considered necessary for performance of work on the contract does not appear on this wage determination, the contractor must pay workers in that classification at least the wage rate determined through the conformance process set forth in 29 CFR 5.5(a)(1)(ii) (or the EO minimum wage rate, if it is higher than the conformed wage rate). The EO minimum wage rate will be adjusted annually. Please note that this EO applies to the above-mentioned types of contracts entered into by the federal government that are subject to the Davis-Bacon Act itself, but it does not apply to contracts subject only to the Davis-Bacon Related Acts, including those set forth at 29 CFR 5.1(a)(2)-(60). Additional information on contractor requirements and worker protections under the EO is available at [www.dol.gov/whd/govcontracts](http://www.dol.gov/whd/govcontracts).

Modification Number	Publication Date
0	01/03/2020
1	01/10/2020
2	01/24/2020
3	01/31/2020
4	02/07/2020
5	03/06/2020
6	03/13/2020
7	04/17/2020

ASBE0016-004 01/01/2019

AREA 1: CALAVERAS, FRESNO, KINGS, MADERA, MARIPOSA, MERCED, MONTEREY, SAN BENITO, SAN JOAQUIN, SANTA CRUZ, STANISLAUS & TOULMNE COUNTIES

AREA 2: ALAMEDA, CONTRA COSTA, SAN FRANSICO, SAN MATEO & SANTA CLARA COUNTIES

Rates      Fringes

Asbestos Removal  
worker/hazardous material  
handler (Includes  
preparation, wetting,  
stripping, removal,  
scrapping, vacuuming, bagging  
and disposing of all  
insulation materials from  
mechanical systems, whether  
they contain asbestos or not)

Area 1.....	\$ 28.20	9.27
Area 2.....	\$ 36.53	9.27

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ASBE0016-008 01/01/2020

AREA 1: ALAMEDA, CONTRA COSTA, MONTEREY, SAN BENITO, SAN FRANSICO, SAN MATEO, SANTA CLARA, & SANTA CRUZ

AREA 2: CALAVERAS, COLUSA, FRESNO, KINGS, MADERA, MARIPOSA, MERCED, SAN JOAQUIN, STANISLAU, & TUOLUMNE

Rates      Fringes

Asbestos Workers/Insulator  
(Includes the application of  
all insulating materials,  
Protective Coverings,  
Coatings, and Finishes to all  
types of mechanical systems)

Area 1.....	\$ 71.16	23.39
Area 2.....	\$ 54.26	23.39

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BOIL0549-001 10/01/2016

AREA 1: ALAMEDA, CONTRA COSTA, SAN FRANCISCO, SAN MATEO & SANTA CLARA COUNTIES

AREA 2: REMAINING COUNTIES

Rates      Fringes

BOILERMAKER

Area 1.....	\$ 43.28	37.91
Area 2.....	\$ 39.68	35.71

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BRCA0003-001 08/01/2019

Rates      Fringes

MARBLE FINISHER.....\$ 35.41 16.45

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BRCA0003-003 08/01/2019

Rates Fringes

MARBLE MASON.....\$ 49.42 27.86

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BRCA0003-005 05/01/2019

Rates Fringes

BRICKLAYER

( 1) Fresno, Kings,  
Madera, Mariposa, Merced \$ 41.88 22.19

( 7) San Francisco, San  
Mateo.....\$ 42.34 25.83

( 8) Alameda, Contra  
Costa, San Benito, Santa  
Clara.....\$ 44.16 21.71

( 9) Calaveras, San  
Joaquin, Stanislaus,  
Toulumne.....\$ 39.66 20.76  
(16) Monterey, Santa Cruz...\$ 39.51 23.49

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BRCA0003-008 07/01/2019

Rates Fringes

TERRAZZO FINISHER.....\$ 37.58 17.33  
TERRAZZO WORKER/SETTER.....\$ 48.53 26.84

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BRCA0003-011 04/01/2019

AREA 1: Alameda, Contra Costa, Monterey, San Benito, San  
Francisco, San Mateo, Santa Clara, Santa Cruz

AREA 2: Calaveras, San Joaquin, Stanislaus, Tuolumne

AREA 3: Fresno, Kings, Madera, Mariposa, Merced

Rates Fringes

TILE FINISHER

Area 1.....\$ 29.94 16.38

Area 2.....\$ 25.60 14.30

Area 3.....\$ 26.58 15.65

Tile Layer

Area 1.....\$ 49.90 19.16

Area 2.....\$ 42.67 16.81

Area 3.....\$ 40.27 18.58

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CARP0022-001 07/01/2019

San Francisco County

Rates Fringes

Carpenters		
Bridge Builder/Highway		
Carpenter.....	\$ 50.50	30.20
Hardwood Floorlayer, Shingler, Power Saw Operator, Steel Scaffold & Steel Shoring Erector, Saw Filer.....		
	\$ 50.65	30.20
Journeyman Carpenter.....	\$ 50.50	30:20
Millwright.....	\$ 50.60	31.79

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CARP0034-001 07/01/2019

Rates      Fringes

Diver		
Assistant Tender, ROV		
Tender/Technician.....	\$ 49.75	33.40
Diver standby.....	\$ 55.73	33.40
Diver Tender.....	\$ 54.73	33.40
Diver wet.....	\$ 99.27	33.40
Manifold Operator (mixed gas).....		
	\$ 59.73	33.40
Manifold Operator (Standby).	\$ 54.73	33.40

**DEPTH PAY (Surface Diving):**

050 to 100 ft	\$2.00 per foot
101 to 150 ft	\$3.00 per foot
151 to 220 ft	\$4.00 per foot
221 ft.-deeper	\$5.00 per foot

**SATURATION DIVING:**

The standby rate shall apply until saturation starts. The saturation diving rate applies when divers are under pressure continuously until work task and decompression are complete. The diver rate shall be paid for all saturation hours.

**DIVING IN ENCLOSURES:**

Where it is necessary for Divers to enter pipes or tunnels, or other enclosures where there is no vertical ascent, the following premium shall be paid: Distance traveled from entrance 26 feet to 300 feet: \$1.00 per foot. When it is necessary for a diver to enter any pipe, tunnel or other enclosure less than 48" in height, the premium will be \$1.00 per foot.

**WORK IN COMBINATION OF CLASSIFICATIONS:**

Employees working in any combination of classifications within the diving crew (except dive supervisor) in a shift are paid in the classification with the highest rate for that shift.

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CARP0034-003 07/01/2019

Rates      Fringes

Piledriver.....\$ 50.75      33.40

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CARP0035-007 07/01/2019

AREA 1: Alameda, Contra Costa, San Francisco, San Mateo, Santa Clara counties

AREA 2: Monterey, San Benito, Santa Cruz Counties

AREA 3: Calaveras, Fresno, Kings, Madera, Mariposa, Merced, San Joaquin, Stanislaus, Tuolumne Counties

Rates      Fringes

Modular Furniture Installer

Area 1

Installer I.....\$ 27.46	22.14
Installer II.....\$ 22.18	20.42
Lead Installer.....\$ 30.91	22.64
Master Installer.....\$ 35.13	22.64

Area 2

Installer I.....\$ 24.81	22.14
Installer II.....\$ 20.01	20.42
Lead Installer.....\$ 27.78	22.64
Master Installer.....\$ 31.41	22.64

Area 3

Installer I.....\$ 23.86	22.14
Installer II.....\$ 19.24	20.42
Lead Installer.....\$ 26.66	22.64
Master Installer.....\$ 30.08	22.64

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CARP0035-008 08/01/2019

AREA 1: Alameda, Contra Costa, San Francisco, San Mateo, Santa Clara counties

AREA 2: Monterey, San Benito, Santa Cruz Counties

AREA 3: San Joaquin

AREA 4: Calaveras, Fresno, Kings, Madera, Mariposa, Merced, Stanislaus, Tuolumne Counties

Rates      Fringes

Drywall Installers/Lathers:

Area 1.....\$ 50.50	30.64
Area 2.....\$ 44.62	30.64
Area 3.....\$ 41.02	29.15
Area 4.....\$ 43.77	30.64

Drywall Stocker/Scrapper

Area 1.....\$ 25.25	17.86
Area 2.....\$ 22.31	17.86
Area 3.....\$ 20.51	16.88
Area 4.....\$ 21.89	17.86

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CARP0152-001 07/01/2019



Contra Costa County

Rates Fringes

Carpenters

Bridge Builder/Highway

Carpenter.....\$ 50.50 30.20

Hardwood Floorlayer,

Shingler, Power Saw

Operator, Steel Scaffold &

Steel Shoring Erector, Saw

Filer.....\$ 50.65 30.20

Journeyman Carpenter.....\$ 50.50 30.20

Millwright.....\$ 50.60 31.79

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CARP0152-002 07/01/2019

San Joaquin County

Rates Fringes

Carpenters

Bridge Builder/Highway

Carpenter.....\$ 50.50 30.20

Hardwood Floorlayer,

Shingler, Power Saw

Operator, Steel Scaffold &

Steel Shoring Erector, Saw

Filer.....\$ 44.77 30.20

Journeyman Carpenter.....\$ 44.62 30.20

Millwright.....\$ 47.12 31.79

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CARP0152-004 07/01/2019

Calaveras, Mariposa, Merced, Stanislaus and Tuolumne Counties

Rates Fringes

Carpenters

Bridge Builder/Highway

Carpenter.....\$ 50.50 30.20

Hardwood Floorlayer,

Shingler, Power Saw

Operator, Steel Scaffold &

Steel Shoring Erector, Saw

Filer.....\$ 43.42 30.20

Journeyman Carpenter.....\$ 43.27 30.20

Millwright.....\$ 45.77 31.79

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CARP0217-001 07/01/2019

San Mateo County

Rates Fringes

Carpenters

Bridge Builder/Highway

Carpenter.....	\$ 50.50	30.20
Hardwood Floorlayer, Shingler, Power Saw Operator, Steel Scaffold & Steel Shoring Erector, Saw Filer.....		
	\$ 50.65	30.20
Journeyman Carpenter.....	\$ 50.50	30.20
Millwright.....	\$ 50.60	31.79

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CARP0405-001 07/01/2019

Santa Clara County

Rates      Fringes

Carpenters

Bridge Builder/Highway		
Carpenter.....	\$ 50.50	30.20
Hardwood Floorlayer, Shingler, Power Saw Operator, Steel Scaffold & Steel Shoring Erector, Saw Filer.....		
	\$ 50.65	30.20
Journeyman Carpenter.....	\$ 50.50	30.20
Millwright.....	\$ 50.60	31.79

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CARP0405-002 07/01/2019

San Benito County

Rates      Fringes

Carpenters

Bridge Builder/Highway		
Carpenter.....	\$ 50.50	30.20
Hardwood Floorlayer, Shingler, Power Saw Operator, Steel Scaffold & Steel Shoring Erector, Saw Filer.....		
	\$ 44.68	30.20
Journeyman Carpenter.....	\$ 44.62	30.20
Millwright.....	\$ 47.12	31.79

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CARP0505-001 07/01/2019

Santa Cruz County

Rates      Fringes

Carpenters

Bridge Builder/Highway		
Carpenter.....	\$ 50.50	30.20
Hardwood Floorlayer, Shingler, Power Saw Operator, Steel Scaffold & Steel Shoring Erector, Saw Filer.....		
	\$ 44.77	30.20
Journeyman Carpenter.....	\$ 44.62	30.20

Millwright.....	\$ 47.12	31.79
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CARP0605-001 07/01/2019

Monterey County

Rates      Fringes

Carpenters  
 Bridge Builder/Highway  
 Carpenter.....\$ 50.50      30.20  
 Hardwood Floorlayer,  
 Shingler, Power Saw  
 Operator, Steel Scaffold &  
 Steel Shoring Erector, Saw  
 Filer.....\$ 44.77      30.20  
 Journeyman Carpenter.....\$ 44.62      30.20  
 Millwright.....\$ 47.12      31.79

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CARP0701-001 07/01/2019

Fresno and Madera Counties

Rates      Fringes

Carpenters  
 Bridge Builder/Highway  
 Carpenter.....\$ 50.50      30.20  
 Hardwood Floorlayer,  
 Shingler, Power Saw  
 Operator, Steel Scaffold &  
 Steel Shoring Erector, Saw  
 Filer.....\$ 43.42      30.20  
 Journeyman Carpenter.....\$ 43.27      30.20  
 Millwright.....\$ 45.77      31.79

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CARP0713-001 07/01/2019

Alameda County

Rates      Fringes

Carpenters  
 Bridge Builder/Highway  
 Carpenter.....\$ 50.50      30.20  
 Hardwood Floorlayer,  
 Shingler, Power Saw  
 Operator, Steel Scaffold &  
 Steel Shoring Erector, Saw  
 Filer.....\$ 50.65      30.20  
 Journeyman Carpenter.....\$ 50.50      30.20  
 Millwright.....\$ 50.60      31.79

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CARP1109-001 07/01/2019

Kings County

Rates      Fringes

Carpenters		
Bridge Builder/Highway		
Carpenter.....	\$ 50.50	30.20
Hardwood Floorlayer, Shingler, Power Saw Operator, Steel Scaffold & Steel Shoring Erector, Saw		
Filer.....	\$ 43.42	30.20
Journeyman Carpenter.....	\$ 43.27	30.20
Millwright.....	\$ 45.77	31.79

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ELEC0006-004 12/01/2018

SAN FRANCISCO COUNTY

Rates      Fringes

Sound & Communications		
Installer.....	\$ 40.52	3%+19.05
Technician.....	\$ 46.60	3%+19.05

SCOPE OF WORK: Including any data system whose only function is to transmit or receive information; excluding all other data systems or multiple systems which include control function or power supply; inclusion or exclusion of terminations and testing of conductors determined by their function; excluding fire alarm work when installed in raceways (including wire and cable pulling) and when performed on new or major remodel building projects or jobs for which the conductors for the fire alarm system are installed in conduit; excluding installation of raceway systems, line voltage work, industrial work, life-safety systems (all buildings having floors located more than 75' above the lowest floor level having building access); excluding energy management systems.

FOOTNOTE: Fire alarm work when installed in raceways (including wire and cable pulling), on projects which involve new or major remodel building construction, for which the conductors for the fire alarm system are installed in the conduit, shall be performed by the inside electrician.

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ELEC0006-007 06/01/2019

SAN FRANCISCO COUNTY

Rates      Fringes

ELECTRICIAN.....	\$ 74.50	3%+33.715
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ELEC0100-002 03/01/2020

FRESNO, KINGS, AND MADERA COUNTIES

Rates      Fringes

ELECTRICIAN.....\$ 39.75      24.09

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ELEC0100-005 12/01/2019

FRESNO, KINGS, MADERA

Rates      Fringes

Communications System

Installer.....\$ 35.25      20.86

Technician.....\$ 40.54      21.02

**SCOPE OF WORK**

Includes the installation testing, service and maintenance, of the following systems which utilize the transmission and/or transference of voice, sound, vision and digital for commercial, education, security and entertainment purposes for the following: TV monitoring and surveillance, background-foreground music, intercom and telephone interconnect, inventory control systems, microwave transmission, multi-media, multiplex, nurse call system, radio page, school intercom and sound, burglar alarms, and low voltage master clock systems.

**A. SOUND AND VOICE TRANSMISSION/TRANSFERENCE SYSTEMS**

Background foreground music, Intercom and telephone interconnect systems, Telephone systems Nurse call systems, Radio page systems, School intercom and sound systems, Burglar alarm systems, Low voltage, master clock systems, Multi-media/multiplex systems, Sound and musical entertainment systems, RF systems, Antennas and Wave Guide,

**B. FIRE ALARM SYSTEMS Installation, wire pulling and testing**

**C. TELEVISION AND VIDEO SYSTEMS** Television monitoring and surveillance systems Video security systems, Video entertainment systems, Video educational systems, Microwave transmission systems, CATV and CCTV

**D. SECURITY SYSTEMS** Perimeter security systems Vibration sensor systems Card access systems Access control systems, Sonar/infrared monitoring equipment

**E. COMMUNICATIONS SYSTEMS THAT TRANSMIT OR RECEIVE INFORMATION AND/OR CONTROL SYSTEMS THAT ARE INTRINSIC TO THE ABOVE LISTED SYSTEMS** SCADA (Supervisory Control and Data Acquisition) PCM (Pulse Code Modulation) Inventory Control Systems, Digital Data Systems Broadband and Baseband and Carriers Point of Sale Systems, VSAT Data Systems Data Communication Systems RF and Remote Control Systems, Fiber Optic Data Systems

**WORK EXCLUDED** Raceway systems are not covered (excluding Ladder-Rack for the purpose of the above listed systems). Chases and/or nipples (not to exceed 10 feet) may be installed on open wiring systems. Energy management systems. SCADA (Supervisory Control and Data Acquisition)

when not intrinsic to the above listed systems (in the scope). Fire alarm systems when installed in raceways (including wire and cable pulling) shall be performed at the electrician wage rate, when either of the following two (2) conditions apply:

1. The project involves new or major remodel building trades construction.
2. The conductors for the fire alarm system are installed in conduit.

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 ELEC0234-001 12/23/2019

MONTEREY, SAN BENITO AND SANTA CRUZ COUNTIES

Rates      Fringes

ELECTRICIAN

Zone A.....	\$ 51.47	26.64
Zone B.....	\$ 56.62	26.80

Zone A: All of Santa Cruz, Monterey, and San Benito Counties within 25 air miles of Highway 1 and Dolan Road in Moss Landing, and an area extending 5 miles east and west of Highway 101 South to the San Luis Obispo County Line

Zone B: Any area outside of Zone A

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 ELEC0234-003 12/01/2018

MONTEREY, SAN BENITO, AND SANTA CRUZ COUNTIES

Rates      Fringes

Sound & Communications

Installer.....	\$ 40.02	19.75
Technician.....	\$ 46.02	19.75

SCOPE OF WORK: Including any data system whose only function is to transmit or receive information; excluding all other data systems or multiple systems which include control function or power supply; inclusion or exclusion of terminations and testings of conductors determined by their function; excluding fire alarm work when installed in raceways (including wire and cable pulling) and when performed on new or major remodel building projects or jobs for which the conductors for the fire alarm system are installed in conduit; excluding installation of raceway systems, line voltage work, industrial work, life-safety systems (all buildings having floors located more than 75' above the lowest floor level having building access); excluding energy management systems.

FOOTNOTE: Fire alarm work when installed in raceways (including wire and cable pulling), on projects which involve new or major remodel building construction, for which the conductors for the fire alarm system are installed in the conduit, shall be performed by the inside electrician.

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ELEC0302-001 02/25/2019

CONTRA COSTA COUNTY

Rates Fringes

CABLE SPLICER.....	\$ 60.48	26.06
ELECTRICIAN.....	\$ 53.76	25.86

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ELEC0302-003 12/01/2018

CONTRA COSTA COUNTY

Rates Fringes

Sound & Communications  
Installer.....\$ 38.42 19.70  
Technician.....\$ 44.18 19.88

SCOPE OF WORK: Including any data system whose only function is to transmit or receive information; excluding all other data systems or multiple systems which include control function or power supply; inclusion or exclusion of terminations and testings of conductors determined by their function; excluding fire alarm work when installed in raceways (including wire and cable pulling) and when performed on new or major remodel building projects or jobs for which the conductors for the fire alarm system are installed in conduit; excluding installation of raceway systems, line voltage work, industrial work, life-safety systems (all buildings having floors located more than 75' above the lowest floor level having building access); excluding energy management systems.

FOOTNOTE: Fire alarm work when installed in raceways (including wire and cable pulling), on projects which involve new or major remodel building construction, for which the conductors for the fire alarm system are installed in the conduit, shall be performed by the inside electrician.

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ELEC0332-001 06/01/2019

SANTA CLARA COUNTY

Rates Fringes

CABLE SPLICER.....	\$ 78.60	38.564
ELECTRICIAN.....	\$ 68.52	38.256

FOOTNOTES: Work under compressed air or where gas masks are required, or work on ladders, scaffolds, stacks, ""Bosun's chairs,"" or other structures and where the workers are not protected by permanent guard rails at a distance of 40 to 60 ft. from the ground or supporting structures: to be paid

one and one-half times the straight-time rate of pay.  
 Work on structures of 60 ft. or over (as described above):  
 to be paid twice the straight-time rate of pay.

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\* ELEC0332-003 12/01/2019

SANTA CLARA COUNTY

Rates      Fringes

Sound & Communications  
 Installer.....\$ 42.93      21.08  
 Technician.....\$ 49.37      21.28

SCOPE OF WORK: Including any data system whose only function is to transmit or receive information; excluding all other data systems or multiple systems which include control function or power supply; inclusion or exclusion of terminations and testings of conductors determined by their function; excluding fire alarm work when installed in raceways (including wire and cable pulling) and when performed on new or major remodel building projects or jobs for which the conductors for the fire alarm system are installed in conduit; excluding installation of raceway systems, line voltage work, industrial work, life-safety systems (all buildings having floors located more than 75' above the lowest floor level having building access); excluding energy management systems.

FOOTNOTE: Fire alarm work when installed in raceways (including wire and cable pulling), on projects which involve new or major remodel building construction, for which the conductors for the fire alarm system are installed in the conduit, shall be performed by the inside electrician.

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ELEC0595-001 06/01/2019

ALAMEDA COUNTY

Rates      Fringes

CABLE SPLICER.....\$ 65.90      3%+36.82  
 ELECTRICIAN.....\$ 57.30      3%+36.82

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ELEC0595-002 06/01/2019

CALAVERAS AND SAN JOAQUIN COUNTIES

Rates      Fringes

CABLE SPLICER.....\$ 43.99      7.75%+24.83  
 ELECTRICIAN  
 (1) Tunnel work.....\$ 40.16      7.75%+24.83  
 (2) All other work.....\$ 38.25      7.75%+24.83

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ELEC0595-006 12/01/2019

ALAMEDA COUNTY

Rates Fringes

Sound & Communications

Installer.....	\$ 42.93	3%+20.22
Technician.....	\$ 53.66	3%+20.22

SCOPE OF WORK: Including any data system whose only function is to transmit or receive information; excluding all other data systems or multiple systems which include control function or power supply; inclusion or exclusion of terminations and testings of conductors determined by their function; excluding fire alarm work when installed in raceways (including wire and cable pulling) and when performed on new or major remodel building projects or jobs for which the conductors for the fire alarm system are installed in conduit; excluding installation of raceway systems, line voltage work, industrial work, life-safety systems (all buildings having floors located more than 75' above the lowest floor level having building access); excluding energy management systems.

FOOTNOTE: Fire alarm work when installed in raceways (including wire and cable pulling), on projects which involve new or major remodel building construction, for which the conductors for the fire alarm system are installed in the conduit, shall be performed by the inside electrician.

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ELEC0595-008 12/01/2019

CALAVERAS AND SAN JOAQUIN COUNTIES

Rates Fringes

Communications System

Installer.....	\$ 35.25	3%+20.22
Technician.....	\$ 44.06	3%+20.22

SCOPE OF WORK: Including any data system whose only function is to transmit or receive information; excluding all other data systems or multiple systems which include control function or power supply; inclusion or exclusion of terminations and testings of conductors determined by their function; excluding fire alarm work when installed in raceways (including wire and cable pulling) and when performed on new or major remodel building projects or jobs for which the conductors for the fire alarm system are installed in conduit; excluding installation of raceway systems, line voltage work, industrial work, life-safety systems (all buildings having floors located more than 75' above the lowest floor level having building access); excluding energy management systems.

FOOTNOTE: Fire alarm work when installed in raceways (including wire and cable pulling), on projects which involve new or major remodel building construction, for which the conductors for the fire alarm system are installed in the conduit, shall be performed by the inside electrician.

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ELEC0617-001 06/01/2019

SAN MATEO COUNTY

Rates      Fringes

ELECTRICIAN.....\$ 63.00      37.68

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ELEC0617-003 12/01/2019

SAN MATEO COUNTY

Rates      Fringes

Sound & Communications  
 Installer.....\$ 42.93      21.09  
 Technician.....\$ 49.37      21.28

SCOPE OF WORK: Including any data system whose only function is to transmit or receive information; excluding all other data systems or multiple systems which include control function or power supply; inclusion or exclusion of terminations and testings of conductors determined by their function; excluding fire alarm work when installed in raceways (including wire and cable pulling) and when performed on new or major remodel building projects or jobs for which the conductors for the fire alarm system are installed in conduit; excluding installation of raceway systems, line voltage work, industrial work, life-safety systems (all buildings having floors located more than 75' above the lowest floor level having building access); excluding energy management systems.

FOOTNOTE: Fire alarm work when installed in raceways (including wire and cable pulling), on projects which involve new or major remodel building construction, for which the conductors for the fire alarm system are installed in the conduit, shall be performed by the inside electrician.

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ELEC0684-001 06/01/2019

MARIPOSA, MERCED, STANISLAUS AND TUOLUMNE COUNTIES

Rates      Fringes

ELECTRICIAN.....\$ 40.25      3%+22.83

CABLE SPLICER = 110% of Journeyman Electrician

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ELEC0684-004 12/01/2019

MARIPOSA, MERCED, STANISLAUS AND TUOLUMNE COUNTIES

Rates      Fringes

Communications System

Installer.....	\$ 35.25	20.86
Technician.....	\$ 40.54	21.02

SCOPE OF WORK: Including any data system whose only function is to transmit or receive information; excluding all other data systems or multiple systems which include control function or power supply; inclusion or exclusion of terminations and testings of conductors determined by their function; excluding fire alarm work when installed in raceways (including wire and cable pulling) and when performed on new or major remodel building projects or jobs for which the conductors for the fire alarm system are installed in conduit; excluding installation of raceway systems, line voltage work, industrial work, life-safety systems (all buildings having floors located more than 75' above the lowest floor level having building access); excluding energy management systems.

FOOTNOTE: Fire alarm work when installed in raceways (including wire and cable pulling), on projects which involve new or major remodel building construction, for which the conductors for the fire alarm system are installed in the conduit, shall be performed by the inside electrician.

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ELEC1245-001 01/01/2020

Rates      Fringes

LINE CONSTRUCTION

(1) Lineman; Cable splicer.	\$ 58.09	19.74
(2) Equipment specialist (operates crawler tractors, commercial motor vehicles, backhoes, trenchers, cranes (50 tons and below), overhead & underground distribution line equipment).....	\$ 46.40	18.55
(3) Groundman.....	\$ 35.47	18.17
(4) Powderman.....	\$ 51.87	18.79

HOLIDAYS: New Year's Day, M.L. King Day, Memorial Day, Independence Day, Labor Day, Veterans Day, Thanksgiving Day and day after Thanksgiving, Christmas Day

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ELEV0008-001 01/01/2020

Rates Fringes

ELEVATOR MECHANIC.....\$ 69.78 34.765+a+b

FOOTNOTE:

a. PAID VACATION: Employer contributes 8% of regular hourly rate as vacation pay credit for employees with more than 5 years of service, and 6% for 6 months to 5 years of service.

b. PAID HOLIDAYS: New Years Day, Memorial Day, Independence Day, Labor Day, Veterans Day, Thanksgiving Day, Friday after Thanksgiving, and Christmas Day.

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ENGI0003-001 06/24/2019

""AREA 1"" WAGE RATES ARE LISTED BELOW

""AREA 2"" RECEIVES AN ADDITIONAL \$2.00 PER HOUR ABOVE AREA 1 RATES.

SEE AREA DEFINITIONS BELOW

Rates Fringes

OPERATOR: Power Equipment

(AREA 1:)

GROUP 1.....	\$ 49.02	30.74
GROUP 2.....	\$ 47.49	30.74
GROUP 3.....	\$ 46.01	30.74
GROUP 4.....	\$ 44.63	30.74
GROUP 5.....	\$ 43.36	30.74
GROUP 6.....	\$ 42.04	30.74
GROUP 7.....	\$ 40.90	30.74
GROUP 8.....	\$ 39.76	30.74
GROUP 8-A.....	\$ 37.55	30.74

OPERATOR: Power Equipment

(Cranes and Attachments -

AREA 1:)

GROUP 1

Cranes.....	\$ 50.65	30.74
Oiler.....	\$ 36.63	30.39
Truck crane oiler.....	\$ 43.55	30.74

GROUP 2

Cranes.....	\$ 48.14	30.74
Oiler.....	\$ 36.36	30.39
Truck crane oiler.....	\$ 43.33	30.74

GROUP 3

Cranes.....	\$ 46.40	30.74
Hydraulic.....	\$ 38.32	30.39
Oiler.....	\$ 36.14	30.39
Truck Crane Oiler.....	\$ 43.06	30.74

GROUP 4

Cranes.....	\$ 43.36	30.74
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OPERATOR: Power Equipment

(Piledriving - AREA 1:)

GROUP 1

Lifting devices.....	\$ 45.89	30.39
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Oiler.....	\$ 36.63	30.39
Truck crane oiler.....	\$ 39.20	30.39
GROUP 2		
Lifting devices.....	\$ 44.07	30.39
Oiler.....	\$ 36.36	30.39
Truck Crane Oiler.....	\$ 38.98	30.39
GROUP 3		
Lifting devices.....	\$ 42.39	30.39
Oiler.....	\$ 36.14	30.39
Truck Crane Oiler.....	\$ 38.71	30.39
GROUP 4		
Lifting devices.....	\$ 40.62	30.39
GROUP 5		
Lifting devices.....	\$ 39.32	30.39
GROUP 6		
Lifting devices.....	\$ 37.98	30.39
OPERATOR: Power Equipment (Steel Erection - AREA 1:)		
GROUP 1		
Cranes.....	\$ 46.30	30.39
Oiler.....	\$ 36.63	30.39
Truck Crane Oiler.....	\$ 39.20	30.39
GROUP 2		
Cranes.....	\$ 43.79	30.39
Oiler.....	\$ 36.36	30.39
Truck Crane Oiler.....	\$ 38.98	30.39
GROUP 3		
Cranes.....	\$ 42.05	30.39
Hydraulic.....	\$ 38.32	30.39
Oiler.....	\$ 36.14	30.39
Truck Crane Oiler.....	\$ 38.71	30.39
GROUP 4		
Cranes.....	\$ 39.01	30.39
GROUP 5		
Cranes.....	\$ 35.13	30.39
OPERATOR: Power Equipment (Tunnel and Underground Work - AREA 1:)		
SHAFTS, STOPES, RAISES:		
GROUP 1.....	\$ 40.77	30.39
GROUP 1-A.....	\$ 43.24	30.39
GROUP 2.....	\$ 39.51	30.39
GROUP 3.....	\$ 38.18	30.39
GROUP 4.....	\$ 37.04	30.39
GROUP 5.....	\$ 35.90	30.39
UNDERGROUND:		
GROUP 1.....	\$ 40.67	30.39
GROUP 1-A.....	\$ 43.14	30.39
GROUP 2.....	\$ 39.41	30.39
GROUP 3.....	\$ 38.08	30.39
GROUP 4.....	\$ 36.94	30.39
GROUP 5.....	\$ 35.80	30.39

FOOTNOTE: Work suspended by ropes or cables, or work on a Yo-Yo Cat: \$.60 per hour additional.

#### POWER EQUIPMENT OPERATOR CLASSIFICATIONS

GROUP 1: Operator of helicopter (when used in erection work); Hydraulic excavator, 7 cu. yds. and over; Power shovels, over 7 cu. yds.

GROUP 2: Highline cableway; Hydraulic excavator, 3-1/2 cu. yds. up to 7 cu. yds.; Licensed construction work boat operator, on site; Power blade operator (finish); Power shovels, over 1 cu. yd. up to and including 7 cu. yds. m.r.c.

GROUP 3: Asphalt milling machine; Cable backhoe; Combination backhoe and loader over 3/4 cu. yds.; Continuous flight tie back machine assistant to engineer or mechanic; Crane mounted continuous flight tie back machine, tonnage to apply; Crane mounted drill attachment, tonnage to apply; Dozer, slope brd; Gradall; Hydraulic excavator, up to 3 1/2 cu. yds.; Loader 4 cu. yds. and over; Long reach excavator; Multiple engine scraper (when used as push pull); Power shovels, up to and including 1 cu. yd.; Pre-stress wire wrapping machine; Side boom cat, 572 or larger; Track loader 4 cu. yds. and over; Wheel excavator (up to and including 750 cu. yds. per hour)

GROUP 4: Asphalt plant engineer/box person; Chicago boom; Combination backhoe and loader up to and including 3/4 cu. yd.; Concrete batch plant (wet or dry); Dozer and/or push cat; Pull- type elevating loader; Gradesetter, grade checker (GPS, mechanical or otherwise); Grooving and grinding machine; Heading shield operator; Heavy-duty drilling equipment, Hughes, LDH, Watson 3000 or similar; Heavy-duty repairperson and/or welder; Lime spreader; Loader under 4 cu. yds.; Lubrication and service engineer (mobile and grease rack); Mechanical finishers or spreader machine (asphalt, Barber-Greene and similar); Miller Formless M-9000 slope paver or similar; Portable crushing and screening plants; Power blade support; Roller operator, asphalt; Rubber-tired scraper, self-loading (paddle-wheels, etc.); Rubber- tired earthmoving equipment (scrapers); Slip form paver (concrete); Small tractor with drag; Soil stabilizer (P & H or equal); Spider plow and spider puller; Tubex pile rig; Unlicensed construction work boat operator, on site; Timber skidder; Track loader up to 4 yds.; Tractor-drawn scraper; Tractor, compressor drill combination; Welder; Woods-Mixer (and other similar Pugmill equipment)

GROUP 5: Cast-in-place pipe laying machine; Combination slusher and motor operator; Concrete conveyor or concrete pump, truck or equipment mounted; Concrete conveyor, building site; Concrete pump or pumpcrete gun; Drilling equipment, Watson 2000, Texoma 700 or similar; Drilling and boring machinery, horizontal (not to apply to waterliners, wagon drills or jackhammers); Concrete mixer/all; Person and/or material hoist; Mechanical finishers (concrete) (Clary, Johnson, Bidwell Bridge Deck or similar types); Mechanical berm, curb and/or curb and gutter machine, concrete or asphalt); Mine or shaft hoist; Portable

crusher; Power jumbo operator (setting slip-forms, etc., in tunnels); Screed (automatic or manual); Self-propelled compactor with dozer; Tractor with boom D6 or smaller; Trenching machine, maximum digging capacity over 5 ft. depth; Vermeer T-600B rock cutter or similar

GROUP 6: Armor-Coater (or similar); Ballast jack tamper; Boom- type backfilling machine; Assistant plant engineer; Bridge and/or gantry crane; Chemical grouting machine, truck-mounted; Chip spreading machine operator; Concrete saw (self-propelled unit on streets, highways, airports and canals); Deck engineer; Drilling equipment Texoma 600, Hughes 200 Series or similar up to and including 30 ft. m.r.c.; Drill doctor; Helicopter radio operator; Hydro-hammer or similar; Line master; Skidsteer loader, Bobcat larger than 743 series or similar (with attachments); Locomotive; Lull hi-lift or similar; Oiler, truck mounted equipment; Pavement breaker, truck-mounted, with compressor combination; Paving fabric installation and/or laying machine; Pipe bending machine (pipelines only); Pipe wrapping machine (tractor propelled and supported); Screed (except asphaltic concrete paving); Self-propelled pipeline wrapping machine; Tractor; Self-loading chipper; Concrete barrier moving machine

GROUP 7: Ballast regulator; Boom truck or dual-purpose A-frame truck, non-rotating - under 15 tons; Cary lift or similar; Combination slurry mixer and/or cleaner; Drilling equipment, 20 ft. and under m.r.c.; Firetender (hot plant); Grouting machine operator; Highline cableway signalperson; Stationary belt loader (Kolman or similar); Lift slab machine (Vagtborg and similar types); Maginnes internal full slab vibrator; Material hoist (1 drum); Mechanical trench shield; Pavement breaker with or without compressor combination); Pipe cleaning machine (tractor propelled and supported); Post driver; Roller (except asphalt); Chip Seal; Self-propelled automatically applied concrete curing machine (on streets, highways, airports and canals); Self-propelled compactor (without dozer); Signalperson; Slip-form pumps (lifting device for concrete forms); Tie spacer; Tower mobile; Trenching machine, maximum digging capacity up to and including 5 ft. depth; Truck- type loader

GROUP 8: Bit sharpener; Boiler tender; Box operator; Brakeperson; Combination mixer and compressor (shotcrete/gunite); Compressor operator; Deckhand; Fire tender; Forklift (under 20 ft.); Generator; Gunite/shotcrete equipment operator; Hydraulic monitor; Ken seal machine (or similar); Mixermobile; Oiler; Pump operator; Refrigeration plant; Reservoir-debris tug (self-propelled floating); Ross Carrier (construction site); Rotomist operator; Self-propelled tape machine; Shuttlecar; Self-propelled power sweeper operator (includes vacuum sweeper); Slusher operator; Surface heater; Switchperson; Tar pot firetender; Tugger hoist, single drum; Vacuum cooling plant; Welding machine (powered other than by electricity)

GROUP 8-A: Elevator operator; Skidsteer loader-Bobcat 743 series or smaller, and similar (without attachments); Mini excavator under 25 H.P. (backhoe-trencher); Tub grinder wood chipper

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#### ALL CRANES AND ATTACHMENTS

GROUP 1: Clamshell and dragline over 7 cu. yds.; Crane, over 100 tons; Derrick, over 100 tons; Derrick barge pedestal-mounted, over 100 tons; Self-propelled boom-type lifting device, over 100 tons

GROUP 2: Clamshell and dragline over 1 cu. yd. up to and including 7 cu. yds.; Crane, over 45 tons up to and including 100 tons; Derrick barge, 100 tons and under; Self-propelled boom-type lifting device, over 45 tons; Tower crane

GROUP 3: Clamshell and dragline up to and including 1 cu. yd.; Cranes 45 tons and under; Self-propelled boom-type lifting device 45 tons and under;

GROUP 4: Boom Truck or dual purpose A-frame truck, non-rotating over 15 tons; Truck-mounted rotating telescopic boom type lifting device, Manitex or similar (boom truck) over 15 tons; Truck-mounted rotating telescopic boom type lifting device, Manitex or similar (boom truck) - under 15 tons;

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#### PILEDRIVERS

GROUP 1: Derrick barge pedestal mounted over 100 tons; Clamshell over 7 cu. yds.; Self-propelled boom-type lifting device over 100 tons; Truck crane or crawler, land or barge mounted over 100 tons

GROUP 2: Derrick barge pedestal mounted 45 tons to and including 100 tons; Clamshell up to and including 7 cu. yds.; Self-propelled boom-type lifting device over 45 tons; Truck crane or crawler, land or barge mounted, over 45 tons up to and including 100 tons; Fundex F-12 hydraulic pile rig

GROUP 3: Derrick barge pedestal mounted under 45 tons; Self-propelled boom-type lifting device 45 tons and under; Skid/scow piledriver, any tonnage; Truck crane or crawler, land or barge mounted 45 tons and under

GROUP 4: Assistant operator in lieu of assistant to engineer; Forklift, 10 tons and over; Heavy-duty repairperson/welder

GROUP 5: Deck engineer

GROUP 6: Deckhand; Fire tender



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STEEL ERECTORS

GROUP 1: Crane over 100 tons; Derrick over 100 tons; Self-propelled boom-type lifting device over 100 tons

GROUP 2: Crane over 45 tons to 100 tons; Derrick under 100 tons; Self-propelled boom-type lifting device over 45 tons to 100 tons; Tower crane

GROUP 3: Crane, 45 tons and under; Self-propelled boom-type lifting device, 45 tons and under

GROUP 4: Chicago boom; Forklift, 10 tons and over; Heavy-duty repair person/welder

GROUP 5: Boom cat

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TUNNEL AND UNDERGROUND WORK

GROUP 1-A: Tunnel bore machine operator, 20' diameter or more

GROUP 1: Heading shield operator; Heavy-duty repairperson; Mucking machine (rubber tired, rail or track type); Raised bore operator (tunnels); Tunnel mole bore operator

GROUP 2: Combination slusher and motor operator; Concrete pump or pumpcrete gun; Power jumbo operator

GROUP 3: Drill doctor; Mine or shaft hoist

GROUP 4: Combination slurry mixer cleaner; Grouting Machine operator; Motorman

GROUP 5: Bit Sharpener; Brakeman; Combination mixer and compressor (gunitite); Compressor operator; Oiler; Pump operator; Slusher operator

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AREA DESCRIPTIONS:

POWER EQUIPMENT OPERATORS, CRANES AND ATTACHMENTS, TUNNEL AND UNDERGROUND [These areas do not apply to Piledrivers and Steel Erectors]

AREA 1: ALAMEDA, CALAVERAS, CONTRA COSTA, FRESNO, KINGS, MADERA, MARIPOSA, MERCED, MONTEREY, SAN BENITO, SAN FRANCISCO, SAN JOAQUIN, SAN MATEO, SANTA CLARA, SANTA CRUZ, STANISLAUS, TUOLUMNE  
AREA 2 -NOTED BELOW

THE REMAINING COUNTIES ARE SPLIT BETWEEN AREA 1 AND AREA 2 AS NOTED BELOW:

CALAVERAS COUNTY:

Area 1: Remainder  
Area 2: Eastern Part

FRESNO COUNTY:

Area 1: Remainder  
Area 2: Eastern Part

MADERA COUNTY:

Area 1: Remainder  
Area 2: Eastern Part

MARIPOSA COUNTY:

Area 1: Remainder  
Area 2: Eastern Part

MONTEREY COUNTY:

Area 1: Remainder  
Area 2: Southwestern part

TUOLUMNE COUNTY:

Area 1: Remainder  
Area 2: Eastern Part

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ENGI0003-008 07/01/2017

Rates      Fringes

Dredging: (DREDGING;  
CLAMSHELL & DIPPER DREDGING;  
HYDRAULIC SUCTION DREDGING;)

AREA 1:

(1) Leverman.....	\$ 44.77	31.25
(2) Dredge Dozer; Heavy duty repairman.....	\$ 39.81	31.25
(3) Booster Pump Operator; Deck Engineer; Deck mate; Dredge Tender; Winch Operator.....	\$ 38.69	31.25
(4) Bargeman; Deckhand; Fireman; Leveehand; Oiler..	\$ 35.39	31.25

AREA 2:

(1) Leverman.....	\$ 46.77	31.25
(2) Dredge Dozer; Heavy duty repairman.....	\$ 41.81	31.25
(3) Booster Pump Operator; Deck Engineer; Deck mate; Dredge Tender; Winch Operator.....	\$ 40.69	31.25
(4) Bargeman; Deckhand; Fireman; Leveehand; Oiler..	\$ 37.39	31.25

AREA DESCRIPTIONS

AREA 1: ALAMEDA, BUTTE, CONTRA COSTA, KINGS, MARIN, MERCED, NAPA, SACRAMENTO, SAN BENITO, SAN FRANCISCO, SAN JOAQUIN, SAN MATEO, SANTA CLARA, SANTA CRUZ, SOLANO, STANISLAUS, SUTTER, YOLO, AND YUBA COUNTIES

AREA 2: MODOC COUNTY

THE REMAINING COUNTIES ARE SPLIT BETWEEN AREA 1 AND AREA 2 AS NOTED BELOW:

ALPINE COUNTY:

Area 1: Northernmost part

Area 2: Remainder

CALAVERAS COUNTY:

Area 1: Remainder

Area 2: Eastern part

COLUSA COUNTY:

Area 1: Eastern part

Area 2: Remainder

ELDORADO COUNTY:

Area 1: North Central part

Area 2: Remainder

FRESNO COUNTY:

Area 1: Remainder

Area 2: Eastern part

GLENN COUNTY:

Area 1: Eastern part

Area 2: Remainder

LASSEN COUNTY:

Area 1: Western part along the Southern portion of border with Shasta County

Area 2: Remainder

MADERA COUNTY:

Area 1: Except Eastern part

Area 2: Eastern part

MARIPOSA COUNTY

Area 1: Except Eastern part

Area 2: Eastern part

MONTERREY COUNTY

Area 1: Except Southwestern part

Area 2: Southwestern part

NEVADA COUNTY:

Area 1: All but the Northern portion along the border of Sierra County

Area 2: Remainder

PLACER COUNTY:

Area 1: All but the Central portion

Area 2: Remainder

PLUMAS COUNTY:  
Area 1: Western portion  
Area 2: Remainder

SHASTA COUNTY:  
Area 1: All but the Northeastern corner  
Area 2: Remainder

SIERRA COUNTY:  
Area 1: Western part  
Area 2: Remainder

SISKIYOU COUNTY:  
Area 1: Central part  
Area 2: Remainder

SONOMA COUNTY:  
Area 1: All but the Northwestern corner  
Area 2: Remainder

TEHAMA COUNTY:  
Area 1: All but the Western border with Mendocino & Trinity  
Counties  
Area 2: Remainder

TRINITY COUNTY:  
Area 1: East Central part and the Northeastern border with  
Shasta County  
Area 2: Remainder

TUOLUMNE COUNTY:  
Area 1: Except Eastern part  
Area 2: Eastern part

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ENGI0003-019 07/26/2017

SEE AREA DESCRIPTIONS BELOW

Rates      Fringes

OPERATOR: Power Equipment  
(LANDSCAPE WORK ONLY)

GROUP 1		
AREA 1.....	\$ 34.05	28.73
AREA 2.....	\$ 36.05	28.73
GROUP 2		
AREA 1.....	\$ 30.45	28.73
AREA 2.....	\$ 32.45	28.73
GROUP 3		
AREA 1.....	\$ 25.84	28.73
AREA 2.....	\$ 27.84	28.73

GROUP DESCRIPTIONS:

GROUP 1: Landscape Finish Grade Operator: All finish grade

work regardless of equipment used, and all equipment with a rating more than 65 HP.

GROUP 2: Landscape Operator up to 65 HP: All equipment with a manufacturer's rating of 65 HP or less except equipment covered by Group 1 or Group 3. The following equipment shall be included except when used for finish work as long as manufacturer's rating is 65 HP or less: A-Frame and Winch Truck, Backhoe, Forklift, Hydragraphic Seeder Machine, Roller, Rubber-Tired and Track Earthmoving Equipment, Skiploader, Straw Blowers, and Trencher 31 HP up to 65 HP.

GROUP 3: Landscap Utility Operator: Small Rubber-Tired Tractor, Trencher Under 31 HP.

#### AREA DESCRIPTIONS:

AREA 1: ALAMEDA, BUTTE, CONTRA COSTA, KINGS, MARIN, MERCED, NAPA, SACRAMENTO, SAN BENITO, SAN FRANCISCO, SAN JOAQUIN, SAN MATEO, SANTA CLARA, SANTA CRUZ, SOLANO, STANISLAUS, SUTTER, YOLO, AND YUBA COUNTIES

#### AREA 2 - MODOC COUNTY

THE REMAINING COUNTIES ARE SPLIT BETWEEN AREA 1 AND AREA 2 AS NOTED BELOW:

#### ALPINE COUNTY:

Area 1: Northernmost part

Area 2: Remainder

#### CALAVERAS COUNTY:

Area 1: Except Eastern part

Area 2: Eastern part

#### COLUSA COUNTY:

Area 1: Eastern part

Area 2: Remainder

#### DEL NORTE COUNTY:

Area 1: Extreme Southwestern corner

Area 2: Remainder

#### ELDORADO COUNTY:

Area 1: North Central part

Area 2: Remainder

#### FRESNO COUNTY

Area 1: Except Eastern part

Area 2: Eastern part

#### GLENN COUNTY:

Area 1: Eastern part

Area 2: Remainder

#### HUMBOLDT COUNTY:

Area 1: Except Eastern and Southwestern parts

Area 2: Remainder

LAKE COUNTY:

Area 1: Southern part

Area 2: Remainder

LASSEN COUNTY:

Area 1: Western part along the Southern portion of border  
with Shasta County

Area 2: Remainder

MADERA COUNTY

Area 1: Remainder

Area 2: Eastern part

MARIPOSA COUNTY

Area 1: Remainder

Area 2: Eastern part

MENDOCINO COUNTY:

Area 1: Central and Southeastern parts

Area 2: Remainder

MONTEREY COUNTY

Area 1: Remainder

Area 2: Southwestern part

NEVADA COUNTY:

Area 1: All but the Northern portion along the border of  
Sierra County

Area 2: Remainder

PLACER COUNTY:

Area 1: All but the Central portion

Area 2: Remainder

PLUMAS COUNTY:

Area 1: Western portion

Area 2: Remainder

SHASTA COUNTY:

Area 1: All but the Northeastern corner

Area 2: Remainder

SIERRA COUNTY:

Area 1: Western part

Area 2: Remainder

SISKIYOU COUNTY:

Area 1: Central part

Area 2: Remainder

SONOMA COUNTY:

Area 1: All but the Northwestern corner

Area 2: Reaminder

TEHAMA COUNTY:

Area 1: All but the Western border with mendocino & Trinity

Counties

Area 2: Remainder

TRINITY COUNTY:

Area 1: East Central part and the Northeaster border with Shasta County

Area 2: Remainder

TULARE COUNTY;

Area 1: Remainder

Area 2: Eastern part

TUOLUMNE COUNTY:

Area 1: Remainder

Area 2: Eastern Part

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IRON0377-002 07/01/2019

Rates      Fringes

Ironworkers:

Fence Erector.....\$ 33.58      24.66

Ornamental, Reinforcing  
and Structural.....\$ 40.00      33.30

PREMIUM PAY:

\$6.00 additional per hour at the following locations:

China Lake Naval Test Station, Chocolate Mountains Naval Reserve-Niland, Edwards AFB, Fort Irwin Military Station, Fort Irwin Training Center-Goldstone, San Clemente Island, San Nicholas Island, Susanville Federal Prison, 29 Palms - Marine Corps, U.S. Marine Base - Barstow, U.S. Naval Air Facility - Sealey, Vandenberg AFB

\$4.00 additional per hour at the following locations:

Army Defense Language Institute - Monterey, Fallon Air Base, Naval Post Graduate School - Monterey, Yermo Marine Corps Logistics Center

\$2.00 additional per hour at the following locations:

Port Hueneme, Port Mugu, U.S. Coast Guard Station - Two Rock

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LABO0067-002 01/01/2020

AREA ""A"" - ALAMEDA, CONTRA COSTA, SAN FRANCISCO, SAN MATEO AND SANTA CLARA COUNTIES

AREA ""B"" - CALAVERAS, FRESNO, KINGS, MADERA, MARIPOSA, MERCED, MONTEREY, SAN BENITO, SAN JOAQUIN, STANISLAUS, AND TUOLUMNE COUNTIES

Rates Fringes

Asbestos Removal Laborer All Counties.....	\$ 24.00	11.30
LABORER (Lead Removal)		
Area A.....	\$ 31.81	24.61
Area B.....	\$ 30.81	24.61

ASBESTOS REMOVAL-SCOPE OF WORK: Site mobilization; initial site clean-up; site preparation; removal of asbestos-containing materials from walls and ceilings; or from pipes, boilers and mechanical systems only if they are being scrapped; encapsulation, enclosure and disposal of asbestos-containing materials by hand or with equipment or machinery; scaffolding; fabrication of temporary wooden barriers; and assembly of decontamination stations.

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LABO0073-002 06/25/2018

CALAVERAS AND SAN JOAQUIN COUNTIES

Rates Fringes

LABORER (TRAFFIC CONTROL/LANE CLOSURE)		
Escort Driver, Flag Person \$	29.54	23.65
Traffic Control Person I....	\$ 29.84	23.65
Traffic Control Person II...\$	27.34	23.65

TRAFFIC CONTROL PERSON I: Layout of traffic control, crash cushions, construction area and roadside signage.

TRAFFIC CONTROL PERSON II: Installation and removal of temporary/permanent signs, markers, delineators and crash cushions.

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LABO0073-003 07/01/2018

SAN JOAQUIN COUNTY

Rates Fringes

LABORER		
Mason Tender-Brick.....	\$ 31.20	22.20

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LABO0073-005 06/25/2018

Rates Fringes

Tunnel and Shaft Laborers:		
GROUP 1.....	\$ 37.82	24.11
GROUP 2.....	\$ 37.59	24.11
GROUP 3.....	\$ 37.34	24.11
GROUP 4.....	\$ 36.89	24.11
GROUP 5.....	\$ 36.35	24.11



Shotcrete Specialist.....\$ 38.34      24.11

TUNNEL AND SHAFT CLASSIFICATIONS

GROUP 1: Diamond driller; Groundmen; Gunite and shotcrete nozzlelemen

GROUP 2: Rodmen; Shaft work & raise (below actual or excavated ground level)

GROUP 3: Bit grinder; Blaster, driller, powdermen, heading; Cherry pickermen - where car is lifted; Concrete finisher in tunnel; Concrete screedman; Grout pumpman and potman; Gunite & shotcrete gunman & potman; Headermen; High pressure nozzleman; Miner - tunnel, including top and bottom man on shaft and raise work; Nipper; Nozzleman on slick line; Sandblaster - potman, Robotic Shotcrete Placer, Segment Erector, Tunnel Muck Hauler, Steel Form raiser and setter; Timberman, retimberman (wood or steel or substitute materials therefore); Tugger (for tunnel laborer work); Cable tender; Chuck tender; Powderman - primer house

GROUP 4: Vibrator operator, pavement breaker; Bull gang - muckers, trackmen; Concrete crew - includes rodding and spreading, Dumpmen (any method)

GROUP 5: Grout crew; Reboundman; Swamper/ Brakeman

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LABO0073-007 06/25/2018

CALAVERAS AND SAN JOAQUIN COUNTIES

Rates      Fringes

LABORER (CONSTRUCTION CRAFT LABORERS)

Construction Specialist		
Group.....	\$ 30.49	23.20
GROUP 1.....	\$ 29.79	23.20
GROUP 1-a.....	\$ 30.01	23.20
GROUP 1-c.....	\$ 29.84	23.20
GROUP 1-e.....	\$ 30.34	23.20
GROUP 1-f.....	\$ 30.37	23.20
GROUP 2.....	\$ 29.64	23.20
GROUP 3.....	\$ 29.54	23.20
GROUP 4.....	\$ 23.23	23.20

See groups 1-b and 1-d under laborer classifications.

LABORER (GARDENERS, HORTICULTURAL & LANDSCAPE LABORERS)

(1) New Construction.....	\$ 29.54	23.20
(2) Establishment Warranty		
Period.....	\$ 23.23	23.20

LABORER (GUNITITE)

GROUP 1.....	\$ 29.75	22.31
GROUP 2.....	\$ 29.25	22.31
GROUP 3.....	\$ 28.66	22.31

GROUP 4.....	\$ 28.54	22.31
LABORER (WRECKING)		
GROUP 1.....	\$ 29.79	23.20
GROUP 2.....	\$ 29.64	23.20

FOOTNOTES:

Laborers working off or with or from bos'n chairs, swinging scaffolds, belts shall receive \$0.25 per hour above the applicable wage rate. This shall not apply to workers entitled to receive the wage rate set forth in Group 1-a below.

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LABORER CLASSIFICATIONS

CONSTRUCTION SPECIALIST GROUP: Asphalt ironer and raker; Chainsaw; Laser beam in connection with laborers' work; Cast-in- place manhole form setter; Pressure pipelayer; Davis trencher - 300 or similar type (and all small trenchers); Blaster; Diamond driller; Multiple unit drill; Hydraulic drill

GROUP 1: Asphalt spreader boxes (all types); Barko, Wacker and similar type tampers; Buggymobile; Caulker, bander, pipewrapper, conduit layer, plastic pipelayer; Certified hazardous waste worker including Leade Abatement; Compactors of all types; Concrete and magnesite mixer, 1/2 yd. and under; Concrete pan work; Concrete sander; Concrete saw; Cribber and/or shoring; Cut granite curb setter; Dri-pak-it machine; Faller, logloader and bucket; Form raiser, slip forms; Green cutter; Headerboard, Hubsetter, aligner, by any method; High pressure blow pipe (1-1/2" or over, 100 lbs. pressure/over); Hydro seeder and similar type; Jackhammer operator; Jacking of pipe over 12 inches; Jackson and similar type compactor; Kettle tender, pot and worker applying asphalt, lay-kold, creosote, lime, caustic and similar type materials (applying means applying, dipping or handling of such materials); Lagging, sheeting, whaling, bracing, trenchjacking, lagging hammer; Magnesite, epoxyresin, fiberglass, mastic worker (wet or dry); No joint pipe and stripping of same, including repair of voids; Pavement breaker and spader, including tool grinder; Perma curb; Pipelayer (including grade checking in connection with pipelaying); Precast-manhole setter; Pressure pipe tester; Post hole digger, air, gas and electric; Power broom sweeper; Power tampers of all types (except as shown in Group 2); Ram set gun and stud gun; Riprap stonepaver and rock-slinger, including placing of sacked concrete and/or sand (wet or dry) and gabions and similar type; Rotary scarifier or multiple head concrete chipping scarifier; Roto and Ditch Witch; Rototiller; Sandblaster, pot, gun, nozzle operators; Signalling and rigging; Tank cleaner; Tree climber; Turbo blaster; Vibrascreed, bull float in connection with laborers' work; Vibrator; Hazardous waste worker (lead removal); Asbestos and mold removal worker

GROUP 1-a: Joy drill model TWM-2A; Gardner-Denver model DH143 and similar type drills; Track driller; Jack leg driller; Wagon driller; Mechanical drillers, all types regardless of type or method of power; Mechanical pipe layers, all types regardless of type or method of power; Blaster and powder; All work of loading, placing and blasting of all powder and explosives of whatever type regardless of method used for such loading and placing; High scalers (including drilling of same); Tree topper; Bit grinder

GROUP 1-b: Sewer cleaners shall receive \$4.00 per day above Group 1 wage rates. "Sewer cleaner" means any worker who handles or comes in contact with raw sewage in small diameter sewers. Those who work inside recently active, large diameter sewers, and all recently active sewer manholes shall receive \$5.00 per day above Group 1 wage rates.

GROUP 1-c: Burning and welding in connection with laborers' work; Synthetic thermoplastics and similar type welding

GROUP 1-d: Maintenance and repair track and road beds. All employees performing work covered herein shall receive \$ .25 per hour above their regular rate for all work performed on underground structures not specifically covered herein. This paragraph shall not be construed to apply to work below ground level in open cut. It shall apply to cut and cover work of subway construction after the temporary cover has been placed.

GROUP 1-e: Work on and/or in bell hole footings and shafts thereof, and work on and in deep footings. (A deep footing is a hole 15 feet or more in depth.) In the event the depth of the footing is unknown at the commencement of excavation, and the final depth exceeds 15 feet, the deep footing wage rate would apply to all employees for each and every day worked on or in the excavation of the footing from the date of inception.

GROUP 1-f: Wire winding machine in connection with gunning or shot crete

GROUP 2: Asphalt shoveler; Cement dumper and handling dry cement or gypsum; Choke-setter and rigger (clearing work); Concrete bucket dumper and chute; Concrete chipping and grinding; Concrete laborer (wet or dry); Driller tender, chuck tender, nipper; Guinea chaser (stake), grout crew; High pressure nozzle, adductor; Hydraulic monitor (over 100 lbs. pressure); Loading and unloading, carrying and hauling of all rods and materials for use in reinforcing concrete construction; Pittsburgh chipper and similar type brush shredders; Sloper; Single foot, hand-held, pneumatic tamper; All pneumatic, air, gas and electric tools not listed in Groups 1 through 1-f; Jacking of pipe - under 12 inches

GROUP 3: Construction laborers, including bridge and general

laborer; Dump, load spotter; Flag person; Fire watcher; Fence erector; Guardrail erector; Gardener, horticultural and landscape laborer; Jetting; Limber, brush loader and piler; Pavement marker (button setter); Maintenance, repair track and road beds; Streetcar and railroad construction track laborer; Temporary air and water lines, Victaulic or similar; Tool room attendant (jobsite only)

GROUP 4: Final clean-up work of debris, grounds and building including but not limited to: street cleaner; cleaning and washing windows; brick cleaner (jobsite only); material cleaner (jobsite only). The classification "material cleaner" is to be utilized under the following conditions:  
A: at demolition site for the salvage of the material.  
B: at the conclusion of a job where the material is to be salvaged and stocked to be reused on another job.  
C: for the cleaning of salvage material at the jobsite or temporary jobsite yard.

The material cleaner classification should not be used in the performance of "form stripping, cleaning and oiling and moving to the next point of erection".

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#### GUNITE LABORER CLASSIFICATIONS

GROUP 1: Structural Nozzleman

GROUP 2: Nozzleman, Gunman, Potman, Groundman

GROUP 3: Reboundman

GROUP 4: Gunite laborer

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#### WRECKING WORK LABORER CLASSIFICATIONS

GROUP 1: Skilled wrecker (removing and salvaging of sash, windows and materials)

GROUP 2: Semi-skilled wrecker (salvaging of other building materials)

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LABO0073-009 07/01/2018

#### CALAVERAS AND SAN JOAQUIN COUNTIES

Rates      Fringes

LABORER (Plaster Tender)...\$ 32.02      23.00

Work on a swing stage scaffold: \$1.00 per hour additional.

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LABO0261-003 06/25/2018

SAN FRANCISCO AND SAN MATEO COUNTIES

Rates Fringes

LABORER (TRAFFIC CONTROL/LANE CLOSURE)

Escort Driver, Flag Person..\$ 20.54	23.65
Traffic Control Person I....\$ 30.84	23.65
Traffic Control Person II...\$ 28.34	23.65

TRAFFIC CONTROL PERSON I: Layout of traffic control, crash cushions, construction area and roadside signage.

TRAFFIC CONTROL PERSON II: Installation and removal of temporary/permanent signs, markers, delineators and crash cushions.

LABO0261-005 06/25/2018

SAN FRANCISCO AND SAN MATEO COUNTIES

Rates Fringes

Tunnel and Shaft Laborers:

GROUP 1.....\$ 37.82	24.11
GROUP 2.....\$ 37.59	24.11
GROUP 3.....\$ 37.34	24.11
GROUP 4.....\$ 36.89	24.11
GROUP 5.....\$ 36.35	24.11
Shotcrete Specialist.....\$ 38.34	24.11

TUNNEL AND SHAFT CLASSIFICATIONS

GROUP 1: Diamond driller; Groundmen; Gunite and shotcrete nozzlelemen

GROUP 2: Rodmen; Shaft work & raise (below actual or excavated ground level)

GROUP 3: Bit grinder; Blaster, driller, powdermen, heading; Cherry pickermen - where car is lifted; Concrete finisher in tunnel; Concrete screedman; Grout pumpman and potman; Gunite & shotcrete gunman & potman; Headermen; High pressure nozzleman; Miner - tunnel, including top and bottom man on shaft and raise work; Nipper; Nozzleman on slick line; Sandblaster - potman, Robotic Shotcrete Placer, Segment Erector, Tunnel Muck Hauler, Steel Form raiser and setter; Timberman, retimberman (wood or steel or substitute materials therefore); Tugger (for tunnel laborer work); Cable tender; Chuck tender; Powderman - primer house

GROUP 4: Vibrator operator, pavement breaker; Bull gang - muckers, trackmen; Concrete crew - includes rodding and spreading, Dumpmen (any method)

GROUP 5: Grout crew; Reboundman; Swamper/ Brakeman

LABO0261-009 06/25/2018

SAN FRANCISCO, AND SAN MATEO COUNTIES

Rates Fringes

LABORER (CONSTRUCTION CRAFT

LABORERS - AREA A:)

Construction Specialist

Group.....	\$ 31.49	23.20
GROUP 1.....	\$ 30.79	23.20
GROUP 1-a.....	\$ 31.01	23.20
GROUP 1-c.....	\$ 30.84	23.20
GROUP 1-e.....	\$ 31.34	23.20
GROUP 1-f.....	\$ 31.37	23.20
GROUP 2.....	\$ 30.64	23.20
GROUP 3.....	\$ 30.54	23.20
GROUP 4.....	\$ 24.23	23.20

See groups 1-b and 1-d under laborer classifications.

LABORER (GARDENERS,

HORTICULTURAL & LANDSCAPE

LABORERS - AREA A:)

(1) New Construction.....	\$ 30.54	23.20
(2) Establishment Warranty Period.....	\$ 24.23	23.20

LABORER (WRECKING - AREA A:)

GROUP 1.....	\$ 30.79	23.20
GROUP 2.....	\$ 30.64	23.20

Laborers: (GUNITE - AREA A:)

GROUP 1.....	\$ 30.75	22.31
GROUP 2.....	\$ 30.25	22.31
GROUP 3.....	\$ 29.66	22.31
GROUP 4.....	\$ 29.54	22.31

FOOTNOTES:

Laborers working off or with or from bos'n chairs, swinging scaffolds, belts shall receive \$0.25 per hour above the applicable wage rate. This shall not apply to workers entitled to receive the wage rate set forth in Group 1-a below.

LABORER CLASSIFICATIONS

CONSTRUCTION SPECIALIST GROUP: Asphalt ironer and raker; Chainsaw; Laser beam in connection with laborers' work; Cast-in- place manhole form setter; Pressure pipelayer; Davis trencher - 300 or similar type (and all small trenchers); Blaster; Diamond drill; Multiple unit drill; Hydraulic drill

GROUP 1: Asphalt spreader boxes (all types); Barko, Wacker and similar type tampers; Buggymobile; Caulker, bander, pipewrapper, conduit layer, plastic pipelayer; Certified hazardous waste worker including Leade Abatement; Compactors of all types; Concrete and magnesite mixer, 1/2 yd. and under; Concrete pan work; Concrete sander; Concrete

saw; Cribber and/or shoring; Cut granite curb setter; Dri-pak-it machine; Faller, logloader and buckler; Form raiser, slip forms; Green cutter; Headerboard, Hubsetter, aligner, by any method; High pressure blow pipe (1-1/2" or over, 100 lbs. pressure/over); Hydro seeder and similar type; Jackhammer operator; Jacking of pipe over 12 inches; Jackson and similar type compactor; Kettle tender, pot and worker applying asphalt, lay-kold, creosote, lime, caustic and similar type materials (applying means applying, dipping or handling of such materials); Lagging, sheeting, whaling, bracing, trenchjacking, lagging hammer; Magnesite, epoxyresin, fiberglass, mastic worker (wet or dry); No joint pipe and stripping of same, including repair of voids; Pavement breaker and spader, including tool grinder; Perma curb; Pipelayer (including grade checking in connection with pipelaying); Precast-manhole setter; Pressure pipe tester; Post hole digger, air, gas and electric; Power broom sweeper; Power tampers of all types (except as shown in Group 2); Ram set gun and stud gun; Riprap stonepaver and rock-slinger, including placing of sacked concrete and/or sand (wet or dry) and gabions and similar type; Rotary scarifier or multiple head concrete chipping scarifier; Roto and Ditch Witch; Rototiller; Sandblaster, pot, gun, nozzle operators; Signalling and rigging; Tank cleaner; Tree climber; Turbo blaster; Vibrascreed, bull float in connection with laborers' work; Vibrator; Hazardous waste worker (lead removal); Asbestos and mold removal worker

GROUP 1-a: Joy drill model TWM-2A; Gardner-Denver model DH143 and similar type drills; Track driller; Jack leg driller; Wagon driller; Mechanical drillers, all types regardless of type or method of power; Mechanical pipe layers, all types regardless of type or method of power; Blaster and powder; All work of loading, placing and blasting of all powder and explosives of whatever type regardless of method used for such loading and placing; High scalers (including drilling of same); Tree topper; Bit grinder

GROUP 1-b: Sewer cleaners shall receive \$4.00 per day above Group 1 wage rates. "Sewer cleaner" means any worker who handles or comes in contact with raw sewage in small diameter sewers. Those who work inside recently active, large diameter sewers, and all recently active sewer manholes shall receive \$5.00 per day above Group 1 wage rates.

GROUP 1-c: Burning and welding in connection with laborers' work; Synthetic thermoplastics and similar type welding

GROUP 1-d: Maintenance and repair track and road beds. All employees performing work covered herein shall receive \$ .25 per hour above their regular rate for all work performed on underground structures not specifically covered herein. This paragraph shall not be construed to apply to work below ground level in open cut. It shall apply to cut and cover work of subway construction after the temporary cover has been placed.

GROUP 1-e: Work on and/or in bell hole footings and shafts thereof, and work on and in deep footings. (A deep footing is a hole 15 feet or more in depth.) In the event the depth of the footing is unknown at the commencement of excavation, and the final depth exceeds 15 feet, the deep footing wage rate would apply to all employees for each and every day worked on or in the excavation of the footing from the date of inception.

GROUP 1-f: Wire winding machine in connection with guniting or shot crete

GROUP 2: Asphalt shoveler; Cement dumper and handling dry cement or gypsum; Choke-setter and rigger (clearing work); Concrete bucket dumper and chute; Concrete chipping and grinding; Concrete laborer (wet or dry); Driller tender, chuck tender, nipper; Guinea chaser (stake), grout crew; High pressure nozzle, adductor; Hydraulic monitor (over 100 lbs. pressure); Loading and unloading, carrying and hauling of all rods and materials for use in reinforcing concrete construction; Pittsburgh chipper and similar type brush shredders; Sloper; Single foot, hand-held, pneumatic tamper; All pneumatic, air, gas and electric tools not listed in Groups 1 through 1-f; Jacking of pipe - under 12 inches

GROUP 3: Construction laborers, including bridge and general laborer; Dump, load spotter; Flag person; Fire watcher; Fence erector; Guardrail erector; Gardener, horticultural and landscape laborer; Jetting; Limber, brush loader and piler; Pavement marker (button setter); Maintenance, repair track and road beds; Streetcar and railroad construction track laborer; Temporary air and water lines, Victaulic or similar; Tool room attendant (jobsite only)

GROUP 4: Final clean-up work of debris, grounds and building including but not limited to: street cleaner; cleaning and washing windows; brick cleaner (jobsite only); material cleaner (jobsite only). The classification "material cleaner" is to be utilized under the following conditions:  
A: at demolition site for the salvage of the material.  
B: at the conclusion of a job where the material is to be salvaged and stocked to be reused on another job.  
C: for the cleaning of salvage material at the jobsite or temporary jobsite yard.

The material cleaner classification should not be used in the performance of "form stripping, cleaning and oiling and moving to the next point of erection".

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#### GUNITE LABORER CLASSIFICATIONS

GROUP 1: Structural Nozzleman

GROUP 2: Nozzleman, Gunman, Potman, Groundman



GROUP 3: Reboundman

GROUP 4: Guniting laborer

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WRECKING WORK LABORER CLASSIFICATIONS

GROUP 1: Skilled wrecker (removing and salvaging of sash, windows and materials)

GROUP 2: Semi-skilled wrecker (salvaging of other building materials)

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LABO0261-011 05/01/2018

SAN FRANCISCO AND SAN MATEO COUNTIES:

Rates      Fringes

MASON TENDER, BRICK.....\$ 35.37      20.70

FOOTNOTES: Underground work such as sewers, manholes, catch basins, sewer pipes, telephone conduits, tunnels and cut trenches: \$5.00 per day additional. Work in live sewage: \$2.50 per day additional.

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LABO0261-014 07/01/2017

SAN FRANCISCO AND SAN MATEO COUNTIES:

Rates      Fringes

PLASTER TENDER.....\$ 34.70      23.11

Work on a swing stage scaffold: \$1.00 per hour additional.

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LABO0270-003 06/25/2018

AREA A: SANTA CLARA

AREA B: MONTEREY, SAN BENITO AND SANTA CRUZ COUNTIES

Rates      Fringes

LABORER (TRAFFIC CONTROL/LANE CLOSURE)

Escort Driver, Flag Person	
Area A.....\$ 30.54	23.65
Area B.....\$ 29.54	23.65
Traffic Control Person I	
Area A.....\$ 30.84	23.65
Area B.....\$ 29.84	23.65
Traffic Control Person II	
Area A.....\$ 28.34	23.65
Area B.....\$ 27.34	23.65

TRAFFIC CONTROL PERSON I: Layout of traffic control, crash cushions, construction area and roadside signage.

TRAFFIC CONTROL PERSON II: Installation and removal of temporary/permanent signs, markers, delineators and crash cushions.

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LABO0270-004 06/25/2018

MONTEREY, SAN BENITO, SANTA CLARA, AND SANTA CRUZ COUNTIES

Rates      Fringes

Tunnel and Shaft Laborers:

GROUP 1.....	\$ 37.82	24.11
GROUP 2.....	\$ 37.59	24.11
GROUP 3.....	\$ 37.34	24.11
GROUP 4.....	\$ 36.89	24.11
GROUP 5.....	\$ 36.35	24.11
Shotcrete Specialist.....	\$ 38.34	24.11

TUNNEL AND SHAFT CLASSIFICATIONS

GROUP 1: Diamond driller; Groundmen; Gunite and shotcrete nozzlelemen

GROUP 2: Rodmen; Shaft work & raise (below actual or excavated ground level)

GROUP 3: Bit grinder; Blaster, driller, powdermen, heading; Cherry pickermen - where car is lifted; Concrete finisher in tunnel; Concrete screedman; Grout pumpman and potman; Gunite & shotcrete gunman & potman; Headermen; High pressure nozzleman; Miner - tunnel, including top and bottom man on shaft and raise work; Nipper; Nozzleman on slick line; Sandblaster - potman, Robotic Shotcrete Placer, Segment Erector, Tunnel Muck Hauler, Steel Form raiser and setter; Timberman, retimberman (wood or steel or substitute materials therefore); Tugger (for tunnel laborer work); Cable tender; Chuck tender; Powderman - primer house

GROUP 4: Vibrator operator, pavement breaker; Buli gang - muckers, trackmen; Concrete crew - includes rodding and spreading, Dumpmen (any method)

GROUP 5: Grout crew; Reboundman; Swamper/ Brakeman

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LABO0270-005 07/01/2018

MONTEREY AND SAN BENITO COUNTIES

Rates      Fringes

LABORER

Mason Tender-Brick.....	\$ 31.20	22.20
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LABO0270-007 06/25/2018

MONTEREY, SAN BENITO, AND SANTA CRUZ, COUNTIES

Rates Fringes

LABORER (CONSTRUCTION CRAFT

LABORERS - AREA B)

Construction Specialist

Group.....	\$ 30.40	23.20
GROUP 1.....	\$ 29.79	23.20
GROUP 1-a.....	\$ 30.01	23.20
GROUP 1-c.....	\$ 29.84	23.20
GROUP 1-e.....	\$ 30.34	23.20
GROUP 1-f.....	\$ 30.37	23.20
GROUP 2.....	\$ 29.64	23.20
GROUP 3.....	\$ 29.54	23.20
GROUP 4.....	\$ 23.23	23.20

See groups 1-b and 1-d under laborer classifications.

LABORER (GARDENERS,

HORTICULTURAL & LANDSCAPE

LABORERS - AREA B)

(1) New Construction.....\$ 29.54 23.20

(2) Establishment Warranty

Period.....\$ 23.23 23.20

LABORER (GUNITITE - AREA B)

GROUP 1.....	\$ 29.75	22.31
GROUP 2.....	\$ 29.25	22.31
GROUP 3.....	\$ 28.66	22.31
GROUP 4.....	\$ 28.54	22.31

LABORER (WRECKING - AREA B)

GROUP 1.....	\$ 29.79	23.20
GROUP 2.....	\$ 29.64	23.20

FOOTNOTES:

Laborers working off or with or from bos'n chairs, swinging scaffolds, belts shall receive \$0.25 per hour above the applicable wage rate. This shall not apply to workers entitled to receive the wage rate set forth in Group 1-a below.

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LABORER CLASSIFICATIONS

CONSTRUCTION SPECIALIST GROUP: Asphalt ironer and raker; Chainsaw; Laser beam in connection with laborers' work; Cast-in- place manhole form setter; Pressure pipelayer; Davis trencher - 300 or similar type (and all small trenchers); Blaster; Diamond driller; Multiple unit drill; Hydraulic drill

GROUP 1: Asphalt spreader boxes (all types); Barko, Wacker and similar type tampers; Buggymobile; Caulker, bander, pipewrapper, conduit layer, plastic pipelayer; Certified hazardous waste worker including Leade Abatement; Compactors of all types; Concrete and magnesite mixer, 1/2 yd. and under; Concrete pan work; Concrete sander; Concrete saw; Cribber and/or shoring; Cut granite curb setter; Dri-pak-it machine; Faller, logloader and bucket; Form

raiser, slip forms; Green cutter; Headerboard, Hubsetter, aligner, by any method; High pressure blow pipe (1-1/2" or over, 100 lbs. pressure/over); Hydro seeder and similar type; Jackhammer operator; Jacking of pipe over 12 inches; Jackson and similar type compactor; Kettle tender, pot and worker applying asphalt, lay-kold, creosote, lime, caustic and similar type materials (applying means applying, dipping or handling of such materials); Lagging, sheeting, whaling, bracing, trenchjacking, lagging hammer; Magnesite, epoxyresin, fiberglass, mastic worker (wet or dry); No joint pipe and stripping of same, including repair of voids; Pavement breaker and spader, including tool grinder; Perma curb; Pipelayer (including grade checking in connection with pipelaying); Precast-manhole setter; Pressure pipe tester; Post hole digger, air, gas and electric; Power broom sweeper; Power tampers of all types (except as shown in Group 2); Ram set gun and stud gun; Riprap stonepaver and rock-slinger, including placing of sacked concrete and/or sand (wet or dry) and gabions and similar type; Rotary scarifier or multiple head concrete chipping scarifier; Roto and Ditch Witch; Rototiller; Sandblaster, pot, gun, nozzle operators; Signalling and rigging; Tank cleaner; Tree climber; Turbo blaster; Vibrascreed, bull float in connection with laborers' work; Vibrator; Hazardous waste worker (lead removal); Asbestos and mold removal worker

GROUP 1-a: Joy drill model TWM-2A; Gardner-Denver model DH143 and similar type drills; Track driller; Jack leg driller; Wagon driller; Mechanical drillers, all types regardless of type or method of power; Mechanical pipe layers, all types regardless of type or method of power; Blaster and powder; All work of loading, placing and blasting of all powder and explosives of whatever type regardless of method used for such loading and placing; High scalers (including drilling of same); Tree topper; Bit grinder

GROUP 1-b: Sewer cleaners shall receive \$4.00 per day above Group 1 wage rates. "Sewer cleaner" means any worker who handles or comes in contact with raw sewage in small diameter sewers. Those who work inside recently active, large diameter sewers, and all recently active sewer manholes shall receive \$5.00 per day above Group 1 wage rates.

GROUP 1-c: Burning and welding in connection with laborers' work; Synthetic thermoplastics and similar type welding

GROUP 1-d: Maintenance and repair track and road beds. All employees performing work covered herein shall receive \$ .25 per hour above their regular rate for all work performed on underground structures not specifically covered herein. This paragraph shall not be construed to apply to work below ground level in open cut. It shall apply to cut and cover work of subway construction after the temporary cover has been placed.

GROUP 1-e: Work on and/or in bell hole footings and shafts

thereof, and work on and in deep footings. (A deep footing is a hole 15 feet or more in depth.) In the event the depth of the footing is unknown at the commencement of excavation, and the final depth exceeds 15 feet, the deep footing wage rate would apply to all employees for each and every day worked on or in the excavation of the footing from the date of inception.

GROUP 1-f: Wire winding machine in connection with guniting or shot crete

GROUP 2: Asphalt shoveler; Cement dumper and handling dry cement or gypsum; Choke-setter and rigger (clearing work); Concrete bucket dumper and chute; Concrete chipping and grinding; Concrete laborer (wet or dry); Driller tender, chuck tender, nipper; Guinea chaser (stake), grout crew; High pressure nozzle, adductor; Hydraulic monitor (over 100 lbs. pressure); Loading and unloading, carrying and hauling of all rods and materials for use in reinforcing concrete construction; Pittsburgh chipper and similar type brush shredders; Sloper; Single foot, hand-held, pneumatic tamper; All pneumatic, air, gas and electric tools not listed in Groups 1 through 1-f; Jacking of pipe - under 12 inches

GROUP 3: Construction laborers, including bridge and general laborer; Dump, load spotter; Flag person; Fire watcher; Fence erector; Guardrail erector; Gardener, horticultural and landscape laborer; Jetting; Limber, brush loader and piler; Pavement marker (button setter); Maintenance, repair track and road beds; Streetcar and railroad construction track laborer; Temporary air and water lines, Victaulic or similar; Tool room attendant (jobsite only)

GROUP 4: Final clean-up work of debris, grounds and building including but not limited to: street cleaner; cleaning and washing windows; brick cleaner (jobsite only); material cleaner (jobsite only). The classification "material cleaner" is to be utilized under the following conditions:  
A: at demolition site for the salvage of the material.  
B: at the conclusion of a job where the material is to be salvaged and stocked to be reused on another job.  
C: for the cleaning of salvage material at the jobsite or temporary jobsite yard.

The material cleaner classification should not be used in the performance of "form stripping, cleaning and oiling and moving to the next point of erection".

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#### GUNITE LABORER CLASSIFICATIONS

GROUP 1: Structural Nozzleman

GROUP 2: Nozzleman, Gunman, Potman, Groundman

GROUP 3: Reboundman

GROUP 4: Gunitite laborer

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WRECKING WORK LABORER CLASSIFICATIONS

GROUP 1: Skilled wrecker (removing and salvaging of sash, windows and materials)

GROUP 2: Semi-skilled wrecker (salvaging of other building materials)

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LABO0270-010 06/25/2018

SANTA CLARA COUNTY

Rates      Fringes

LABORER (CONSTRUCTION CRAFT

LABORERS - AREA A:)

Construction Specialist

Group.....	\$ 31.49	23.20
GROUP 1.....	\$ 30.79	23.20
GROUP 1-a.....	\$ 31.01	23.20
GROUP 1-c.....	\$ 30.84	23.20
GROUP 1-e.....	\$ 31.34	23.20
GROUP 1-f.....	\$ 30.37	23.20
GROUP 2.....	\$ 30.64	23.20
GROUP 3.....	\$ 30.54	23.20
GROUP 4.....	\$ 24.23	23.20

See groups 1-b and 1-d under laborer classifications.

LABORER (GARDENERS,  
HORTICULTURAL & LANDSCAPE

LABORERS - AREA A:)

(1) New Construction.....	\$ 30.54	23.20
(2) Establishment Warranty Period.....	\$ 24.23	23.20

LABORER (GUNITE - AREA A:)

GROUP 1.....	\$ 30.75	22.31
GROUP 2.....	\$ 30.25	22.31
GROUP 3.....	\$ 29.66	22.31
GROUP 4.....	\$ 29.54	22.31

LABORER (WRECKING - AREA A:)

GROUP 1.....	\$ 30.79	23.20
GROUP 2.....	\$ 30.64	23.20

FOOTNOTES:

Laborers working off or with or from bos'n chairs, swinging scaffolds, belts shall receive \$0.25 per hour above the applicable wage rate. This shall not apply to workers entitled to receive the wage rate set forth in Group 1-a below.

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LABORER CLASSIFICATIONS

CONSTRUCTION SPECIALIST GROUP: Asphalt ironer and raker; Chainsaw; Laser beam in connection with laborers' work; Cast-in- place manhole form setter; Pressure pipelayer; Davis trencher - 300 or similar type (and all small

trenchers); Blaster; Diamond driller; Multiple unit drill;  
Hydraulic drill

GROUP 1: Asphalt spreader boxes (all types); Barko, Wacker and similar type tampers; Buggymobile; Caulker, bander, pipewrapper, conduit layer, plastic pipelayer; Certified hazardous waste worker including Leade Abatement; Compactors of all types; Concrete and magnesite mixer, 1/2 yd. and under; Concrete pan work; Concrete sander; Concrete saw; Cribber and/or shoring; Cut granite curb setter; Dri-pak-it machine; Faller, logloader and buckler; Form raiser, slip forms; Green cutter; Headerboard, Hubsetter, aligner, by any method; High pressure blow pipe (1-1/2" or over, 100 lbs. pressure/over); Hydro seeder and similar type; Jackhammer operator; Jacking of pipe over 12 inches; Jackson and similar type compactor; Kettle tender, pot and worker applying asphalt, lay-kold, creosote, lime, caustic and similar type materials (applying means applying, dipping or handling of such materials); Lagging, sheeting, whaling, bracing, trenchjacking, lagging hammer; Magnesite, epoxyresin, fiberglass, mastic worker (wet or dry); No joint pipe and stripping of same, including repair of voids; Pavement breaker and spader, including tool grinder; Perma curb; Pipelayer (including grade checking in connection with pipelaying); Precast-manhole setter; Pressure pipe tester; Post hole digger, air, gas and electric; Power broom sweeper; Power tampers of all types (except as shown in Group 2); Ram set gun and stud gun; Riprap stonepaver and rock-slinger, including placing of sacked concrete and/or sand (wet or dry) and gabions and similar type; Rotary scarifier or multiple head concrete chipping scarifier; Roto and Ditch Witch; Rototiller; Sandblaster, pot, gun, nozzle operators; Signalling and rigging; Tank cleaner; Tree climber; Turbo blaster; Vibrascreed, bull float in connection with laborers' work; Vibrator; Hazardous waste worker (lead removal); Asbestos and mold removal worker

GROUP 1-a: Joy drill model TWM-2A; Gardner-Denver model DH143 and similar type drills; Track driller; Jack leg driller; Wagon driller; Mechanical drillers, all types regardless of type or method of power; Mechanical pipe layers, all types regardless of type or method of power; Blaster and powder; All work of loading, placing and blasting of all powder and explosives of whatever type regardless of method used for such loading and placing; High scalers (including drilling of same); Tree topper; Bit grinder

GROUP 1-b: Sewer cleaners shall receive \$4.00 per day above Group 1 wage rates. "Sewer cleaner" means any worker who handles or comes in contact with raw sewage in small diameter sewers. Those who work inside recently active, large diameter sewers, and all recently active sewer manholes shall receive \$5.00 per day above Group 1 wage rates.

GROUP 1-c: Burning and welding in connection with laborers' work; Synthetic thermoplastics and similar type welding

GROUP 1-d: Maintenance and repair track and road beds. All employees performing work covered herein shall receive \$ .25 per hour above their regular rate for all work performed on underground structures not specifically covered herein. This paragraph shall not be construed to apply to work below ground level in open cut. It shall apply to cut and cover work of subway construction after the temporary cover has been placed.

GROUP 1-e: Work on and/or in bell hole footings and shafts thereof, and work on and in deep footings. (A deep footing is a hole 15 feet or more in depth.) In the event the depth of the footing is unknown at the commencement of excavation, and the final depth exceeds 15 feet, the deep footing wage rate would apply to all employees for each and every day worked on or in the excavation of the footing from the date of inception.

GROUP 1-f: Wire winding machine in connection with guniting or shot crete

GROUP 2: Asphalt shoveler; Cement dumper and handling dry cement or gypsum; Choke-setter and rigger (clearing work); Concrete bucket dumper and chute; Concrete chipping and grinding; Concrete laborer (wet or dry); Driller tender, chuck tender, nipper; Guinea chaser (stake), grout crew; High pressure nozzle, adductor; Hydraulic monitor (over 100 lbs. pressure); Loading and unloading, carrying and hauling of all rods and materials for use in reinforcing concrete construction; Pittsburgh chipper and similar type brush shredders; Sloper; Single foot, hand-held, pneumatic tamper; All pneumatic, air, gas and electric tools not listed in Groups 1 through 1-f; Jacking of pipe - under 12 inches

GROUP 3: Construction laborers, including bridge and general laborer; Dump, load spotter; Flag person; Fire watcher; Fence erector; Guardrail erector; Gardener, horticultural and landscape laborer; Jetting; Limber, brush loader and piler; Pavement marker (button setter); Maintenance, repair track and road beds; Streetcar and railroad construction track laborer; Temporary air and water lines, Victaulic or similar; Tool room attendant (jobsite only)

GROUP 4: Final clean-up work of debris, grounds and building including but not limited to: street cleaner; cleaning and washing windows; brick cleaner (jobsite only); material cleaner (jobsite only). The classification "material cleaner" is to be utilized under the following conditions:  
A: at demolition site for the salvage of the material.  
B: at the conclusion of a job where the material is to be salvaged and stocked to be reused on another job.  
C: for the cleaning of salvage material at the jobsite or temporary jobsite yard.

The material cleaner classification should not be used in the performance of "form stripping, cleaning and oiling



and moving to the next point of erection".

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GUNITE LABORER CLASSIFICATIONS

GROUP 1: Structural Nozzleman

GROUP 2: Nozzleman, Gunman, Potman, Groundman

GROUP 3: Reboundman

GROUP 4: Gunite laborer

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WRECKING WORK LABORER CLASSIFICATIONS

GROUP 1: Skilled wrecker (removing and salvaging of sash, windows and materials)

GROUP 2: Semi-skilled wrecker (salvaging of other building materials)

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LABO0270-011 07/01/2017

MONTEREY, SAN BENITO, SANTA CRUZ, SANTA CLARA COUNTIES

Rates      Fringes

LABORER (Plaster Tender).....\$ 34.70      21.22

Work on a swing stage scaffold: \$1.00 per hour additional.

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LABO0294-001 07/01/2018

FRESNO, KINGS AND MADERA COUNTIES

Rates      Fringes

LABORER (Brick)  
Mason Tender-Brick.....\$ 31.20      22.20

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LABO0294-002 06/25/2018

FRESNO, KINGS, AND MADERA COUNTIES

Rates      Fringes

LABORER (TRAFFIC CONTROL/LANE  
CLOSURE)  
Escort Driver, Flag Person..\$ 29.54      23.65  
Traffic Control Person I...\$ 29.84      23.65  
Traffic Control Person II...\$ 27.34      23.65

TRAFFIC CONTROL PERSON I: Layout of traffic control, crash cushions, construction area and roadside signage.

TRAFFIC CONTROL PERSON II: Installation and removal of temporary/permanent signs, markers, delineators and crash cushions.

LABO0294-005 06/25/2018

FRESNO, KINGS, AND MADERA COUNTIES

Rates Fringes

Tunnel and Shaft Laborers:

GROUP 1.....	\$ 37.82	24.11
GROUP 2.....	\$ 37.59	24.11
GROUP 3.....	\$ 37.34	24.11
GROUP 4.....	\$ 36.89	24.11
GROUP 5.....	\$ 36.35	24.11
Shotcrete Specialist.....	\$ 38.34	24.11

TUNNEL AND SHAFT CLASSIFICATIONS

GROUP 1: Diamond driller; Groundmen; Gunite and shotcrete nozzlemen

GROUP 2: Rodmen; Shaft work & raise (below actual or excavated ground level)

GROUP 3: Bit grinder; Blaster, driller, powdermen, heading; Cherry pickermen - where car is lifted; Concrete finisher in tunnel; Concrete screedman; Grout pumpman and potman; Gunite & shotcrete gunman & potman; Headermen; High pressure nozzleman; Miner - tunnel, including top and bottom man on shaft and raise work; Nipper; Nozzleman on slick line; Sandblaster - potman, Robotic Shotcrete Placer, Segment Erector, Tunnel Muck Hauler, Steel Form raiser and setter; Timberman, retimberman (wood or steel or substitute materials therefore); Tugger (for tunnel laborer work); Cable tender; Chuck tender; Powderman - primer house

GROUP 4: Vibrator operator, pavement breaker; Bull gang - muckers, trackmen; Concrete crew - includes rodding and spreading, Dumpmen (any method)

GROUP 5: Grout crew; Reboundman; Swamper/ Brakeman

LABO0294-008 06/25/2018

FRESNO, KINGS, AND MADERA COUNTIES

Rates Fringes

LABORER (CONSTRUCTION CRAFT

LABORERS - AREA B:)

Construction Specialist

Group.....	\$ 30.49	23.20
GROUP 1.....	\$ 29.79	23.20
GROUP 1-a.....	\$ 30.01	23.20
GROUP 1-c.....	\$ 29.84	23.20
GROUP 1-e.....	\$ 30.34	23.20
GROUP 1-f.....	\$ 30.37	23.20
GROUP 2.....	\$ 29.64	23.20
GROUP 3.....	\$ 29.54	23.20

GROUP 4.....	\$ 23.23	23.20
See groups 1-b and 1-d under laborer classifications.		
LABORER (GARDENERS, HORTICULTURAL & LANDSCAPE LABORERS - AREA B:)		
(1) New Construction.....	\$ 29.54	23.20
(2) Establishment Warranty Period.....	\$ 23.23	23.20
LABORER (GUNITE - AREA B:)		
GROUP 1.....	\$ 29.75	22.31
GROUP 2.....	\$ 29.25	22.31
GROUP 3.....	\$ 28.66	22.31
GROUP 4.....	\$ 28.54	22.31
LABORER (WRECKING - AREA B:)		
GROUP 1.....	\$ 29.79	23.20
GROUP 2.....	\$ 29.64	23.20

FOOTNOTES:

Laborers working off or with or from bos'n chairs, swinging scaffolds, belts shall receive \$0.25 per hour above the applicable wage rate. This shall not apply to workers entitled to receive the wage rate set forth in Group 1-a below.

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LABORER CLASSIFICATIONS

CONSTRUCTION SPECIALIST GROUP: Asphalt ironer and raker; Chainsaw; Laser beam in connection with laborers' work; Cast-in- place manhole form setter; Pressure pipelayer; Davis trencher - 300 or similar type (and all small trenchers); Blaster; Diamond driller; Multiple unit drill; Hydraulic drill

GROUP 1: Asphalt spreader boxes (all types); Barko, Wacker and similar type tampers; Buggymobile; Caulker, bander, pipewrapper, conduit layer, plastic pipelayer; Certified hazardous waste worker including Leade Abatement; Compactors of all types; Concrete and magnesite mixer, 1/2 yd. and under; Concrete pan work; Concrete sander; Concrete saw; Cribber and/or shoring; Cut granite curb setter; Dri-pak-it machine; Faller, logloader and buckler; Form raiser, slip forms; Green cutter; Headerboard, Hubsetter, aligner, by any method; High pressure blow pipe (1-1/2" or over, 100 lbs. pressure/over); Hydro seeder and similar type; Jackhammer operator; Jacking of pipe over 12 inches; Jackson and similar type compactor; Kettle tender, pot and worker applying asphalt, lay-kold, creosote, lime, caustic and similar type materials (applying means applying, dipping or handling of such materials); Lagging, sheeting, whaling, bracing, trenchjacking, lagging hammer; Magnesite, epoxyresin, fiberglass, mastic worker (wet or dry); No joint pipe and stripping of same, including repair of voids; Pavement breaker and spader, including tool grinder; Perma curb; Pipelayer (including grade checking in connection with pipelaying); Precast-manhole setter; Pressure pipe tester; Post hole digger, air, gas and electric; Power broom sweeper; Power tampers of all types (except as shown in Group 2); Ram set gun and stud gun;

Riprap stonepaver and rock-slinger, including placing of sacked concrete and/or sand (wet or dry) and gabions and similar type; Rotary scarifier or multiple head concrete chipping scarifier; Roto and Ditch Witch; Rototiller; Sandblaster, pot, gun, nozzle operators; Signalling and rigging; Tank cleaner; Tree climber; Turbo blaster; Vibrascreed, bull float in connection with laborers' work; Vibrator; Hazardous waste worker (lead removal); Asbestos and mold removal worker

GROUP 1-a: Joy drill model TWM-2A; Gardner-Denver model DH143 and similar type drills; Track driller; Jack leg driller; Wagon driller; Mechanical drillers, all types regardless of type or method of power; Mechanical pipe layers, all types regardless of type or method of power; Blaster and powder; All work of loading, placing and blasting of all powder and explosives of whatever type regardless of method used for such loading and placing; High scalers (including drilling of same); Tree topper; Bit grinder

GROUP 1-b: Sewer cleaners shall receive \$4.00 per day above Group 1 wage rates. "Sewer cleaner" means any worker who handles or comes in contact with raw sewage in small diameter sewers. Those who work inside recently active, large diameter sewers, and all recently active sewer manholes shall receive \$5.00 per day above Group 1 wage rates.

GROUP 1-c: Burning and welding in connection with laborers' work; Synthetic thermoplastics and similar type welding

GROUP 1-d: Maintenance and repair track and road beds. All employees performing work covered herein shall receive \$ .25 per hour above their regular rate for all work performed on underground structures not specifically covered herein. This paragraph shall not be construed to apply to work below ground level in open cut. It shall apply to cut and cover work of subway construction after the temporary cover has been placed.

GROUP 1-e: Work on and/or in bell hole footings and shafts thereof, and work on and in deep footings. (A deep footing is a hole 15 feet or more in depth.) In the event the depth of the footing is unknown at the commencement of excavation, and the final depth exceeds 15 feet, the deep footing wage rate would apply to all employees for each and every day worked on or in the excavation of the footing from the date of inception.

GROUP 1-f: Wire winding machine in connection with guniting or shot crete

GROUP 2: Asphalt shoveler; Cement dumper and handling dry cement or gypsum; Choke-setter and rigger (clearing work); Concrete bucket dumper and chute; Concrete chipping and grinding; Concrete laborer (wet or dry); Driller tender, chuck tender, nipper; Guinea chaser (stake), grout crew; High pressure nozzle, adductor; Hydraulic monitor (over 100

lbs. pressure); Loading and unloading, carrying and hauling of all rods and materials for use in reinforcing concrete construction; Pittsburgh chipper and similar type brush shredders; Sloper; Single foot, hand-held, pneumatic tamper; All pneumatic, air, gas and electric tools not listed in Groups 1 through 1-f; Jacking of pipe - under 12 inches

GROUP 3: Construction laborers, including bridge and general laborer; Dump, load spotter; Flag person; Fire watcher; Fence erector; Guardrail erector; Gardener, horticultural and landscape laborer; Jetting; Limber, brush loader and piler; Pavement marker (button setter); Maintenance, repair track and road beds; Streetcar and railroad construction track laborer; Temporary air and water lines, Victaulic or similar; Tool room attendant (jobsite only)

GROUP 4: Final clean-up work of debris, grounds and building including but not limited to: street cleaner; cleaning and washing windows; brick cleaner (jobsite only); material cleaner (jobsite only). The classification "material cleaner" is to be utilized under the following conditions:  
A: at demolition site for the salvage of the material.  
B: at the conclusion of a job where the material is to be salvaged and stocked to be reused on another job.  
C: for the cleaning of salvage material at the jobsite or temporary jobsite yard.

The material cleaner classification should not be used in the performance of "form stripping, cleaning and oiling and moving to the next point of erection".

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#### GUNITE LABORER CLASSIFICATIONS

GROUP 1: Structural Nozzleman

GROUP 2: Nozzleman, Gunman, Potman, Groundman

GROUP 3: Reboundman

GROUP 4: Gunite laborer

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#### WRECKING WORK LABORER CLASSIFICATIONS

GROUP 1: Skilled wrecker (removing and salvaging of sash, windows and materials)

GROUP 2: Semi-skilled wrecker (salvaging of other building materials)

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LABO0294-010 07/01/2018

CALAVERAS, FRESNO, KINGS, MADERA, MARIPOSA, MERCED, SAN JOAQUIN, STANISLAUS & TUOLUMNE

Rates      Fringes

Plasterer tender.....\$ 32.02      23.00

Work on a swing stage scaffold: \$1.00 per hour additional.

LABO0294-011 07/01/2017

FRESNO, KINGS, AND MADERA COUNTIES

Rates      Fringes

LABORER (Plaster Tender).....\$ 31.02      22.52

Work on a swing stage scaffold: \$1.00 per hour additional.

LABO0304-002 06/25/2018

ALAMEDA COUNTY

Rates      Fringes

LABORER (TRAFFIC CONTROL/LANE CLOSURE)

Escort Driver, Flag Person..\$ 30.54	23.65
Traffic Control Person I...\$ 30.84	23.65
Traffic Control Person II...\$ 28.34	23.65

TRAFFIC CONTROL PERSON I: Layout of traffic control, crash cushions, construction area and roadside signage.

TRAFFIC CONTROL PERSON II: Installation and removal of temporary/permanent signs, markers, delineators and crash cushions.

LABO0304-003 06/26/2017

ALAMEDA COUNTY

Rates      Fringes

Tunnel and Shaft Laborers:

GROUP 1.....\$ 36.60	24.83
GROUP 2.....\$ 36.37	24.83
GROUP 3.....\$ 36.12	24.83
GROUP 4.....\$ 35.67	24.83
GROUP 5.....\$ 35.13	24.83
Shotcrete Specialist.....\$ 37.12	24.83

TUNNEL AND SHAFT CLASSIFICATIONS

GROUP 1: Diamond driller; Groundmen; Gunitite and shotcrete nozzle-men

GROUP 2: Rodmen; Shaft work & raise (below actual or excavated ground level)

GROUP 3: Bit grinder; Blaster, driller, powdermen, heading; Cherry pickermen - where car is lifted; Concrete finisher in tunnel; Concrete screedman; Grout pumpman and potman;

Gunite & shotcrete gunman & potman; Headermen; High pressure nozzleleman; Miner - tunnel, including top and bottom man on shaft and raise work; Nipper; Nozzleleman on slick line; Sandblaster - potman, Robotic Shotcrete Placer, Segment Erector, Tunnel Muck Hauler, Steel Form raiser and setter; Timberman, retimberman (wood or steel or substitute materials therefore); Tugger (for tunnel laborer work); Cable tender; Chuck tender; Powderman - primer house

GROUP 4: Vibrator operator, pavement breaker; Bull gang - muckers, trackmen; Concrete crew - includes rodding and spreading, Dumpmen (any method)

GROUP 5: Grout crew; Reboundman; Swamper/ Brakeman

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LABO0304-004 06/25/2018

ALAMEDA COUNTY

Rates      Fringes

LABORER (CONSTRUCTION CRAFT

LABORERS - AREA A:)

Construction Specialist

Group.....	\$ 31.49	23.20
GROUP 1.....	\$ 30.79	23.20
GROUP 1-a.....	\$ 31.01	23.20
GROUP 1-c.....	\$ 30.84	23.20
GROUP 1-e.....	\$ 31.34	23.20
GROUP 1-f.....	\$ 30.37	23.20
GROUP 2.....	\$ 30.64	23.20
GROUP 3.....	\$ 30.54	23.20
GROUP 4.....	\$ 24.23	23.20

See groups 1-b and 1-d under laborer classifications.

LABORER (GARDENERS,  
HORTICULTURAL & LANDSCAPE

LABORERS - AREA A:)

(1) New Construction.....	\$ 30.54	23.20
(2) Establishment Warranty Period.....	\$ 24.23	23.20

LABORER (GUNITE - AREA A:)

GROUP 1.....	\$ 30.75	22.31
GROUP 2.....	\$ 30.25	22.31
GROUP 3.....	\$ 29.66	22.31
GROUP 4.....	\$ 29.54	22.31

LABORER (WRECKING - AREA A:)

GROUP 1.....	\$ 30.79	23.20
GROUP 2.....	\$ 30.64	23.20

FOOTNOTES:

Laborers working off or with or from bos'n chairs, swinging scaffolds, belts shall receive \$0.25 per hour above the applicable wage rate. This shall not apply to workers entitled to receive the wage rate set forth in Group 1-a below.

## LABORER CLASSIFICATIONS

CONSTRUCTION SPECIALIST GROUP: Asphalt ironer and raker; Chainsaw; Laser beam in connection with laborers' work; Cast-in-place manhole form setter; Pressure pipelayer; Davis trencher - 300 or similar type (and all small trenchers); Blaster; Diamond driller; Multiple unit drill; Hydraulic drill

GROUP 1: Asphalt spreader boxes (all types); Barko, Wacker and similar type tampers; Buggymobile; Caulker, bander, pipewrapper, conduit layer, plastic pipelayer; Certified hazardous waste worker including Lead Abatement; Compactors of all types; Concrete and magnesite mixer, 1/2 yd. and under; Concrete pan work; Concrete sander; Concrete saw; Cribber and/or shoring; Cut granite curb setter; Dri-pak-it machine; Faller, logloader and bucket; Form raiser, slip forms; Green cutter; Headerboard, Hubsetter, aligner, by any method; High pressure blow pipe (1-1/2" or over, 100 lbs. pressure/over); Hydro seeder and similar type; Jackhammer operator; Jacking of pipe over 12 inches; Jackson and similar type compactor; Kettle tender, pot and worker applying asphalt, lay-kold, creosote, lime, caustic and similar type materials (applying means applying, dipping or handling of such materials); Lagging, sheeting, whaling, bracing, trenchjacking, lagging hammer; Magnesite, epoxyresin, fiberglass, mastic worker (wet or dry); No joint pipe and stripping of same, including repair of voids; Pavement breaker and spader, including tool grinder; Perma curb; Pipelayer (including grade checking in connection with pipelaying); Precast-manhole setter; Pressure pipe tester; Post hole digger, air, gas and electric; Power broom sweeper; Power tampers of all types (except as shown in Group 2); Ram set gun and stud gun; Riprap stonepaver and rock-slinger, including placing of sacked concrete and/or sand (wet or dry) and gabions and similar type; Rotary scarifier or multiple head concrete chipping scarifier; Roto and Ditch Witch; Rototiller; Sandblaster, pot, gun, nozzle operators; Signalling and rigging; Tank cleaner; Tree climber; Turbo blaster; Vibrascreed, bull float in connection with laborers' work; Vibrator; Hazardous waste worker (lead removal); Asbestos and mold removal worker

GROUP 1-a: Joy drill model TWM-2A; Gardner-Denver model DH143 and similar type drills; Track driller; Jack leg driller; Wagon driller; Mechanical drillers, all types regardless of type or method of power; Mechanical pipe layers, all types regardless of type or method of power; Blaster and powder; All work of loading, placing and blasting of all powder and explosives of whatever type regardless of method used for such loading and placing; High scalars (including drilling of same); Tree topper; Bit grinder

GROUP 1-b: Sewer cleaners shall receive \$4.00 per day above Group 1 wage rates. "Sewer cleaner" means any worker who handles or comes in contact with raw sewage in small



diameter sewers. Those who work inside recently active, large diameter sewers, and all recently active sewer manholes shall receive \$5.00 per day above Group 1 wage rates.

GROUP 1-c: Burning and welding in connection with laborers' work; Synthetic thermoplastics and similar type welding

GROUP 1-d: Maintenance and repair track and road beds. All employees performing work covered herein shall receive \$ .25 per hour above their regular rate for all work performed on underground structures not specifically covered herein. This paragraph shall not be construed to apply to work below ground level in open cut. It shall apply to cut and cover work of subway construction after the temporary cover has been placed.

GROUP 1-e: Work on and/or in bell hole footings and shafts thereof, and work on and in deep footings. (A deep footing is a hole 15 feet or more in depth.) In the event the depth of the footing is unknown at the commencement of excavation, and the final depth exceeds 15 feet, the deep footing wage rate would apply to all employees for each and every day worked on or in the excavation of the footing from the date of inception.

GROUP 1-f: Wire winding machine in connection with guniting or shotcrete

GROUP 2: Asphalt shoveler; Cement dumper and handling dry cement or gypsum; Choke-setter and rigger (clearing work); Concrete bucket dumper and chute; Concrete chipping and grinding; Concrete laborer (wet or dry); Driller tender, chuck tender, nipper; Guinea chaser (stake), grout crew; High pressure nozzle, adductor; Hydraulic monitor (over 100 lbs. pressure); Loading and unloading, carrying and hauling of all rods and materials for use in reinforcing concrete construction; Pittsburgh chipper and similar type brush shredders; Sloper; Single foot, hand-held, pneumatic tamper; All pneumatic, air, gas and electric tools not listed in Groups 1 through 1-f; Jacking of pipe - under 12 inches

GROUP 3: Construction laborers, including bridge and general laborer; Dump, load spotter; Flag person; Fire watcher; Fence erector; Guardrail erector; Gardener, horticultural and landscape laborer; Jetting; Limber, brush loader and piler; Pavement marker (button setter); Maintenance, repair track and road beds; Streetcar and railroad construction track laborer; Temporary air and water lines, Victaulic or similar; Tool room attendant (jobsite only)

GROUP 4: Final clean-up work of debris, grounds and building including but not limited to: street cleaner; cleaning and washing windows; brick cleaner (jobsite only); material cleaner (jobsite only). The classification "material cleaner" is to be utilized under the following conditions:  
A: at demolition site for the salvage of the material.

B: at the conclusion of a job where the material is to be salvaged and stocked to be reused on another job.  
C: for the cleaning of salvage material at the jobsite or temporary jobsite yard.

The material cleaner classification should not be used in the performance of "form stripping, cleaning and oiling and moving to the next point of erection".

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GUNITE LABORER CLASSIFICATIONS

GROUP 1: Structural Nozzleman

GROUP 2: Nozzleman, Gunman, Potman, Groundman

GROUP 3: Reboundman

GROUP 4: Gunite laborer

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WRECKING WORK LABORER CLASSIFICATIONS

GROUP 1: Skilled wrecker (removing and salvaging of sash, windows and materials)

GROUP 2: Semi-skilled wrecker (salvaging of other building materials)

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LABO0304-005 05/01/2018

ALAMEDA COUNTY

Rates      Fringes

Brick Tender.....\$ 35.37      20.70

FOOTNOTES: Work on jobs where heat-protective clothing is required: \$2.00 per hour additional. Work at grinders: \$.25 per hour additional. Manhole work: \$2.00 per day additional.

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LABO0304-008 07/01/2017

ALAMEDA AND CONTRA COSTA COUNTIES:

Rates      Fringes

Plasterer tender.....\$ 34.70      23.11

Work on a swing stage scaffold: \$1.00 per hour additional.

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LABO0324-002 06/25/2018

CONTRA COSTA COUNTY

Rates      Fringes

LABORER (TRAFFIC CONTROL/LANE CLOSURE)

Escort Driver, Flag Person..\$ 30.54      23.65

Traffic Control Person I...\$ 30.84	23.65
Traffic Control Person II...\$ 28.34	23.65

TRAFFIC CONTROL PERSON I: Layout of traffic control, crash cushions, construction area and roadside signage.

TRAFFIC CONTROL PERSON II: Installation and removal of temporary/permanent signs, markers, delineators and crash cushions.

LABO0324-006 06/25/2018

CONTRA COSTA COUNTY

Rates Fringes

Tunnel and Shaft Laborers:

GROUP 1.....\$ 37.82	24.11
GROUP 2.....\$ 37.59	24.11
GROUP 3.....\$ 37.34	24.11
GROUP 4.....\$ 36.89	24.11
GROUP 5.....\$ 36.35	24.11
Shotcrete Specialist.....\$ 38.34	24.11

TUNNEL AND SHAFT CLASSIFICATIONS

GROUP 1: Diamond driller; Groundmen; Gunite and shotcrete nozzlemen

GROUP 2: Rodmen; Shaft work & raise (below actual or excavated ground level)

GROUP 3: Bit grinder; Blaster, driller, powdermen, heading; Cherry pickermen - where car is lifted; Concrete finisher in tunnel; Concrete screedman; Grout pumpman and potman; Gunite & shotcrete gunman & potman; Headermen; High pressure nozzleman; Miner - tunnel, including top and bottom man on shaft and raise work; Nipper; Nozzleman on slick line; Sandblaster - potman, Robotic Shotcrete Placer, Segment Erector, Tunnel Muck Hauler, Steel Form raiser and setter; Timberman, retimberman (wood or steel or substitute materials therefore); Tugger (for tunnel laborer work); Cable tender; Chuck tender; Powderman - primer house

GROUP 4: Vibrator operator, pavement breaker; Bull gang - muckers, trackmen; Concrete crew - includes rodding and spreading, Dumpmen (any method)

GROUP 5: Grout crew; Reboundman; Swamper/ Brakeman

LABO0324-012 06/25/2018

CONTRA COSTA COUNTY

Rates Fringes

LABORER (CONSTRUCTION CRAFT LABORERS - AREA A:)

Construction Specialist		
Group.....	\$ 31.49	23.20
GROUP 1.....	\$ 30.79	23.20
GROUP 1-a.....	\$ 31.01	23.20
GROUP 1-c.....	\$ 30.84	23.20
GROUP 1-e.....	\$ 31.34	23.20
GROUP 1-f.....	\$ 30.37	23.20
GROUP 1-g.....	\$ 30.99	23.20
GROUP 2.....	\$ 30.64	23.20
GROUP 3.....	\$ 30.54	23.20
GROUP 4.....	\$ 24.23	23.20

See groups 1-b and 1-d under laborer classifications.

LABORER (GARDENERS,  
HORTICULURAL & LANDSCAPE  
LABORERS - AREA A:)

(1) New Construction.....\$ 30.54      23.20

(2) Establishment Warranty

Period.....\$ 24.23      23.20

LABORER (GUNITE - AREA A:)

GROUP 1.....\$ 30.75      22.31

GROUP 2.....\$ 30.25      22.31

GROUP 3.....\$ 29.66      22.31

GROUP 4.....\$ 29.54      22.31

LABORER (WRECKING - AREA A:)

GROUP 1.....\$ 30.79      23.20

GROUP 2.....\$ 30.64      23.20

FOOTNOTES:

Laborers working off or with or from bos'n chairs, swinging scaffolds, belts shall receive \$0.25 per hour above the applicable wage rate. This shall not apply to workers entitled to receive the wage rate set forth in Group 1-a below.

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LABORER CLASSIFICATIONS

CONSTRUCTION SPECIALIST GROUP: Asphalt ironer and raker; Chainsaw; Laser beam in connection with laborers' work; Cast-in- place manhole form setter; Pressure pipelayer; Davis trencher - 300 or similar type (and all small trenchers); Blaster; Diamond driller; Multiple unit drill; Hydraulic drill

GROUP 1: Asphalt spreader boxes (all types); Barko, Wacker and similar type tampers; Buggymobile; Caulker, bander, pipewrapper, conduit layer, plastic pipelayer; Certified hazardous waste worker including Leade Abatement; Compactors of all types; Concrete and magnesite mixer, 1/2 yd. and under; Concrete pan work; Concrete sander; Concrete saw; Cribber and/or shoring; Cut granite curb setter; Dri-pak-it machine; Faller, logloader and buckler; Form raiser, slip forms; Green cutter; Headerboard, Hubsetter, aligner, by any method; High pressure blow pipe (1-1/2" or over, 100 lbs. pressure/over); Hydro seeder and similar type; Jackhammer operator; Jacking of pipe over 12 inches; Jackson and similar type compactor; Kettle tender, pot and worker applying asphalt, lay-kold, creosote, lime, caustic and similar type materials (applying means applying,

dipping or handling of such materials); Lagging, sheeting, whaling, bracing, trenchjacking, lagging hammer; Magnesite, epoxyresin, fiberglass, mastic worker (wet or dry); No joint pipe and stripping of same, including repair of voids; Pavement breaker and spader, including tool grinder; Perma curb; Pipelayer (including grade checking in connection with pipelaying); Precast-manhole setter; Pressure pipe tester; Post hole digger, air, gas and electric; Power broom sweeper; Power tampers of all types (except as shown in Group 2); Ram set gun and stud gun; Riprap stonepaver and rock-slinger, including placing of sacked concrete and/or sand (wet or dry) and gabions and similar type; Rotary scarifier or multiple head concrete chipping scarifier; Roto and Ditch Witch; Rototiller; Sandblaster, pot, gun, nozzle operators; Signalling and rigging; Tank cleaner; Tree climber; Turbo blaster; Vibrascreed, bull float in connection with laborers' work; Vibrator; Hazardous waste worker (lead removal); Asbestos and mold removal worker

GROUP 1-a: Joy drill model TWM-2A; Gardner-Denver model DH143 and similar type drills; Track driller; Jack leg driller; Wagon driller; Mechanical drillers, all types regardless of type or method of power; Mechanical pipe layers, all types regardless of type or method of power; Blaster and powder; All work of loading, placing and blasting of all powder and explosives of whatever type regardless of method used for such loading and placing; High scalers (including drilling of same); Tree topper; Bit grinder

GROUP 1-b: Sewer cleaners shall receive \$4.00 per day above Group 1 wage rates. "Sewer cleaner" means any worker who handles or comes in contact with raw sewage in small diameter sewers. Those who work inside recently active, large diameter sewers, and all recently active sewer manholes shall receive \$5.00 per day above Group 1 wage rates.

GROUP 1-c: Burning and welding in connection with laborers' work; Synthetic thermoplastics and similar type welding

GROUP 1-d: Maintenance and repair track and road beds. All employees performing work covered herein shall receive \$ .25 per hour above their regular rate for all work performed on underground structures not specifically covered herein. This paragraph shall not be construed to apply to work below ground level in open cut. It shall apply to cut and cover work of subway construction after the temporary cover has been placed.

GROUP 1-e: Work on and/or in bell hole footings and shafts thereof, and work on and in deep footings. (A deep footing is a hole 15 feet or more in depth.) In the event the depth of the footing is unknown at the commencement of excavation, and the final depth exceeds 15 feet, the deep footing wage rate would apply to all employees for each and every day worked on or in the excavation of the footing from the date of inception.

GROUP 1-f: Wire winding machine in connection with guniting or shot crete

GROUP 1-g, CONTRA COSTA COUNTY: Pipelayer (including grade checking in connection with pipelaying); Caulker; Bander; Pipewrapper; Conduit layer; Plastic pipe layer; Pressure pipe tester; No joint pipe and stripping of same, including repair of voids; Precast manhole setters, cast in place manhole form setters

GROUP 2: Asphalt shoveler; Cement dumper and handling dry cement or gypsum; Choke-setter and rigger (clearing work); Concrete bucket dumper and chute; Concrete chipping and grinding; Concrete laborer (wet or dry); Driller tender, chuck tender, nipper; Guinea chaser (stake), grout crew; High pressure nozzle, adductor; Hydraulic monitor (over 100 lbs. pressure); Loading and unloading, carrying and hauling of all rods and materials for use in reinforcing concrete construction; Pittsburgh chipper and similar type brush shredders; Sloper; Single foot, hand-held, pneumatic tamper; All pneumatic, air, gas and electric tools not listed in Groups 1 through 1-f; Jacking of pipe - under 12 inches

GROUP 3: Construction laborers, including bridge and general laborer; Dump, load spotter; Flag person; Fire watcher; Fence erector; Guardrail erector; Gardener, horticultural and landscape laborer; Jetting; Limber, brush loader and piler; Pavement marker (button setter); Maintenance, repair track and road beds; Streetcar and railroad construction track laborer; Temporary air and water lines, Victaulic or similar; Tool room attendant (jobsite only)

GROUP 4: Final clean-up work of debris, grounds and building including but not limited to: street cleaner; cleaning and washing windows; brick cleaner (jobsite only); material cleaner (jobsite only). The classification ""material cleaner"" is to be utilized under the following conditions:  
A: at demolition site for the salvage of the material.  
B: at the conclusion of a job where the material is to be salvaged and stocked to be reused on another job.  
C: for the cleaning of salvage material at the jobsite or temporary jobsite yard.

The material cleaner classification should not be used in the performance of ""form stripping, cleaning and oiling and moving to the next point of erection"".

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#### GUNITE LABORER CLASSIFICATIONS

GROUP 1: Structural Nozzleman

GROUP 2: Nozzleman, Gunman, Potman, Groundman

GROUP 3: Reboundman

GROUP 4: Guniting laborer

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**WRECKING WORK LABORER CLASSIFICATIONS**

GROUP 1: Skilled wrecker (removing and salvaging of sash, windows and materials)

GROUP 2: Semi-skilled wrecker (salvaging of other building materials)

GROUP 1-g, CONTRA COSTA COUNTY: Pipelayer (including grade checking in connection with pipelaying); Caulker; Bander; Pipewrapper; Conduit layer; Plastic pipe layer; Pressure pipe tester; No joint pipe and stripping of same, including repair of voids; Precast manhole setters, cast in place manhole form setters

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 LABO0324-014 05/01/2018

**CONTRA COSTA COUNTY:**

Rates      Fringes

Brick Tender.....\$ 35.37      20.70

FOOTNOTES: Work on jobs where heat-protective clothing is required: \$2.00 per hour additional. Work at grinders: \$.25 per hour additional. Manhole work: \$2.00 per day additional.

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 LABO0324-018 07/01/2018

**ALAMEDA AND CONTRA COSTA COUNTIES:**

Rates      Fringes

Plasterer tender.....\$ 37.14      22.32

Work on a swing stage scaffold: \$1.00 per hour additional.

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 LABO1130-002 06/25/2018

**MARIPOSA, MERCED, STANISLAUS, AND TUOLUMNE COUNTIES**

Rates      Fringes

**LABORER (TRAFFIC CONTROL/LANE CLOSURE)**

Escort Driver, Flag Person..	\$ 29.54	23.65
Traffic Control Person I....	\$ 29.84	23.65
Traffic Control Person II...	\$ 27.34	23.65

TRAFFIC CONTROL PERSON I: Layout of traffic control, crash cushions, construction area and roadside signage.

TRAFFIC CONTROL PERSON II: Installation and removal of temporary/permanent signs, markers, delineators and crash cushions.

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LABO1130-003 06/26/2017

MARIPOSA, MERCED, STANISLAUS, AND TUOLUMNE COUNTIES

Rates Fringes

Tunnel and Shaft Laborers:

GROUP 1.....	\$ 36.60	24.83
GROUP 2.....	\$ 36.37	24.83
GROUP 3.....	\$ 36.12	24.83
GROUP 4.....	\$ 35.67	24.83
GROUP 5.....	\$ 35.13	24.83
Shotcrete Specialist.....	\$ 37.12	24.83

TUNNEL AND SHAFT CLASSIFICATIONS

GROUP 1: Diamond driller; Groundmen; Guniting and shotcrete nozzle men

GROUP 2: Rodmen; Shaft work & raise (below actual or excavated ground level)

GROUP 3: Bit grinder; Blaster, driller, powdermen, heading; Cherry pickers - where car is lifted; Concrete finisher in tunnel; Concrete screedman; Grout pumpman and potman; Guniting & shotcrete gunner & potman; Headermen; High pressure nozzleman; Miner - tunnel, including top and bottom man on shaft and raise work; Nipper; Nozzleman on slick line; Sandblaster - potman, Robotic Shotcrete Placer, Segment Erector, Tunnel Muck Hauler, Steel Form raiser and setter; Timberman, retimberman (wood or steel or substitute materials therefore); Tugger (for tunnel laborer work); Cable tender; Chuck tender; Powderman - primer house

GROUP 4: Vibrator operator, pavement breaker; Bull gang - muckers, trackmen; Concrete crew - includes rodding and spreading, Dumpmen (any method)

GROUP 5: Grout crew; Reboundman; Swamper/ Brakeman

LABO1130-005 07/01/2018

MARIPOSA, MERCED, STANISLAUS AND TUOLUMNE COUNTIES

Rates Fringes

LABORER

Mason Tender-Brick.....	\$ 31.20	22.20
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LABO1130-007 06/25/2018

MARIPOSA, MERCED, STANISLAUS, AND TUOLUMNE , COUNTIES

Rates Fringes

LABORER (CONSTRUCTION CRAFT

LABORERS - AREA B:)

Construction Specialist



Group.....	\$ 30.49	23.20
GROUP 1.....	\$ 29.79	23.20
GROUP 1-a.....	\$ 30.01	23.20
GROUP 1-c.....	\$ 29.84	23.20
GROUP 1-e.....	\$ 30.34	23.20
GROUP 1-f.....	\$ 29.37	23.20
GROUP 2.....	\$ 29.64	23.20
GROUP 3.....	\$ 29.54	23.20
GROUP 4.....	\$ 23.23	23.20

See groups 1-b and 1-d under laborer classifications.

LABORER (GARDENERS,  
HORTICULTURAL & LANDSCAPE  
LABORERS - AREA B:)

(1) New Construction.....	\$ 29.54	23.20
(2) Establishment Warranty Period.....	\$ 23.23	23.20

LABORER (GUNITE - AREA B:)

GROUP 1.....	\$ 29.75	22.31
GROUP 2.....	\$ 29.25	22.31
GROUP 3.....	\$ 28.66	22.31
GROUP 4.....	\$ 28.54	22.31

LABORER (WRECKING - AREA B:)

GROUP 1.....	\$ 29.79	23.20
GROUP 2.....	\$ 29.64	23.20

FOOTNOTES:

Laborers working off or with or from bos'n chairs, swinging scaffolds, belts shall receive \$0.25 per hour above the applicable wage rate. This shall not apply to workers entitled to receive the wage rate set forth in Group 1-a below.

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LABORER CLASSIFICATIONS

CONSTRUCTION SPECIALIST GROUP: Asphalt ironer and raker; Chainsaw; Laser beam in connection with laborers' work; Cast-in- place manhole form setter; Pressure pipelayer; Davis trencher - 300 or similar type (and all small trenchers); Blaster; Diamond driller; Multiple unit drill; Hydraulic drill

GROUP 1: Asphalt spreader boxes (all types); Barko, Wacker and similar type tampers; Buggymobile; Caulker, bander, pipewrapper, conduit layer, plastic pipelayer; Certified hazardous waste worker including Leade Abatement; Compactors of all types; Concrete and magnesite mixer, 1/2 yd. and under; Concrete pan work; Concrete sander; Concrete saw; Cribber and/or shoring; Cut granite curb setter; Dri-pak-it machine; Faller, logloader and buckler; Form raiser, slip forms; Green cutter; Headerboard, Hubsetter, aligner, by any method; High pressure blow pipe (1-1/2" or over, 100 lbs. pressure/over); Hydro seeder and similar type; Jackhammer operator; Jacking of pipe over 12 inches; Jackson and similar type compactor; Kettle tender, pot and worker applying asphalt, lay-kold, creosote, lime, caustic and similar type materials (applying means applying, dipping or handling of such materials); Lagging, sheeting, whaling, bracing, trenchjacking, lagging hammer; Magnesite,

epoxyresin, fiberglass, mastic worker (wet or dry); No joint pipe and stripping of same, including repair of voids; Pavement breaker and spader, including tool grinder; Perma curb; Pipelayer (including grade checking in connection with pipelaying); Precast-manhole setter; Pressure pipe tester; Post hole digger, air, gas and electric; Power broom sweeper; Power tampers of all types (except as shown in Group 2); Ram set gun and stud gun; Riprap stonepaver and rock-slinger, including placing of sacked concrete and/or sand (wet or dry) and gabions and similar type; Rotary scarifier or multiple head concrete chipping scarifier; Roto and Ditch Witch; Rototiller; Sandblaster, pot, gun, nozzle operators; Signalling and rigging; Tank cleaner; Tree climber; Turbo blaster; Vibrascreed, bull float in connection with laborers' work; Vibrator; Hazardous waste worker (lead removal); Asbestos and mold removal worker

GROUP 1-a: Joy drill model TWM-2A; Gardner-Denver model DH143 and similar type drills; Track driller; Jack leg driller; Wagon driller; Mechanical drillers, all types regardless of type or method of power; Mechanical pipe layers, all types regardless of type or method of power; Blaster and powder; All work of loading, placing and blasting of all powder and explosives of whatever type regardless of method used for such loading and placing; High scalers (including drilling of same); Tree topper; Bit grinder

GROUP 1-b: Sewer cleaners shall receive \$4.00 per day above Group 1 wage rates. ""Sewer cleaner"" means any worker who handles or comes in contact with raw sewage in small diameter sewers. Those who work inside recently active, large diameter sewers, and all recently active sewer manholes shall receive \$5.00 per day above Group 1 wage rates.

GROUP 1-c: Burning and welding in connection with laborers' work; Synthetic thermoplastics and similar type welding

GROUP 1-d: Maintenance and repair track and road beds. All employees performing work covered herein shall receive \$ .25 per hour above their regular rate for all work performed on underground structures not specifically covered herein. This paragraph shall not be construed to apply to work below ground level in open cut. It shall apply to cut and cover work of subway construction after the temporary cover has been placed.

GROUP 1-e: Work on and/or in bell hole footings and shafts thereof, and work on and in deep footings. (A deep footing is a hole 15 feet or more in depth.) In the event the depth of the footing is unknown at the commencement of excavation, and the final depth exceeds 15 feet, the deep footing wage rate would apply to all employees for each and every day worked on or in the excavation of the footing from the date of inception.

GROUP 1-f: Wire winding machine in connection with guniting

or shot crete

GROUP 2: Asphalt shoveler; Cement dumper and handling dry cement or gypsum; Choke-setter and rigger (clearing work); Concrete bucket dumper and chute; Concrete chipping and grinding; Concrete laborer (wet or dry); Driller tender, chuck tender, nipper; Guinea chaser (stake), grout crew; High pressure nozzle, adductor; Hydraulic monitor (over 100 lbs. pressure); Loading and unloading, carrying and hauling of all rods and materials for use in reinforcing concrete construction; Pittsburgh chipper and similar type brush shredders; Sloper; Single foot, hand-held, pneumatic tamper; All pneumatic, air, gas and electric tools not listed in Groups 1 through 1-f; Jacking of pipe - under 12 inches

GROUP 3: Construction laborers, including bridge and general laborer; Dump, load spotter; Flag person; Fire watcher; Fence erector; Guardrail erector; Gardener, horticultural and landscape laborer; Jetting; Limber, brush loader and piler; Pavement marker (button setter); Maintenance, repair track and road beds; Streetcar and railroad construction track laborer; Temporary air and water lines, Victaulic or similar; Tool room attendant (jobsite only)

GROUP 4: Final clean-up work of debris, grounds and building including but not limited to: street cleaner; cleaning and washing windows; brick cleaner (jobsite only); material cleaner (jobsite only). The classification "material cleaner" is to be utilized under the following conditions:  
A: at demolition site for the salvage of the material.  
B: at the conclusion of a job where the material is to be salvaged and stocked to be reused on another job.  
C: for the cleaning of salvage material at the jobsite or temporary jobsite yard.

The material cleaner classification should not be used in the performance of "form stripping, cleaning and oiling and moving to the next point of erection".

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#### GUNITE LABORER CLASSIFICATIONS

GROUP 1: Structural Nozzleman

GROUP 2: Nozzleman, Gunman, Potman, Groundman

GROUP 3: Reboundman

GROUP 4: Gunite laborer

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#### WRECKING WORK LABORER CLASSIFICATIONS

GROUP 1: Skilled wrecker (removing and salvaging of sash, windows and materials)

GROUP 2: Semi-skilled wrecker (salvaging of other building materials)

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LABO1130-008 07/01/2018

CALAVERAS, FRESNO, KINGS, MADERA, MARIPOSA, MERCED, SAN JOAQUIN, STANISLAUS & TUOLUMNE

Rates      Fringes

Plasterer tender.....\$ 32.02      23.00

Work on a swing stage scaffold: \$1.00 per hour additional.

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LABO1130-009 07/01/2018

MARIPOSA, MERCED, STANISLAUS, AND TUOLUMNE COUNTIES

Rates      Fringes

LABORER (Plaster Tender).....\$ 32.02      23.00

Work on a swing stage scaffold: \$1.00 per hour additional.

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PAIN0016-001 01/01/2019

ALAMEDA, CONTRA COSTA, MONTEREY, SAN BENITO, SAN MATEO, SANTA CLARA, AND SANTA CRUZ COUNTIES

Rates      Fringes

Painters:.....\$ 42.67      24.03

PREMIUMS:

EXOTIC MATERIALS - \$0.75 additional per hour.

SPRAY WORK: - \$0.50 additional per hour.

INDUSTRIAL PAINTING - \$0.25 additional per hour

[Work on industrial buildings used for the manufacture and processing of goods for sale or service; steel construction (bridges), stacks, towers, tanks, and similar structures]

HIGH WORK:

over 50 feet - \$2.00 per hour additional

100 to 180 feet - \$4.00 per hour additional

Over 180 feet - \$6.00 per hour additional

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PAIN0016-003 01/01/2020

AREA 1: ALAMEDA, CONTRA COSTA, SAN FRANCISCO, SAN MATEO & SANTA CLARA COUNTIES

AREA 2: CALAVERAS, MARIPOA, MERCED, MONTEREY, SAN BENITO, SAN JOAQUIN, SANTA CRUZ, STANISLAUS & TUOLUMNE COUNTIES

Rates      Fringes

Drywall Finisher/Taper  
AREA 1.....\$ 51.51      27.39

AREA 2.....\$ 47.38      25.99

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PAIN0016-012 01/01/2019

ALAMEDA, CONTRA COSTA, MARIPOSA, MERCED, MONTEREY, SAN BENITO,  
SAN FRANCISCO, SAN MATEO, SANTA CLARA AND SANTA CRUZ COUNTIES

Rates      Fringes

SOFT FLOOR LAYER.....\$ 48.60      27.43

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PAIN0016-015 01/01/2019

CALAVERAS, MARIPOSA, MERCED, SAN JOAQUIN, STANISLAUS & TUOLUMNE  
COUNTIES

Rates      Fringes

PAINTER  
Brush.....\$ 33.68      20.24

FOOTNOTES:

SPRAY/SANDBLAST: \$0.50 additional per hour.

EXOTIC MATERIALS: \$1.00 additional per hour.

HIGH TIME: Over 50 ft above ground or water level \$2.00  
additional per hour. 100 to 180 ft above ground or water  
level \$4.00 additional per hour. Over 180 ft above ground  
or water level \$6.00 additional per hour.

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PAIN0016-022 01/01/2019

SAN FRANCISCO COUNTY

Rates      Fringes

PAINTER.....\$ 46.29      24.03

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PAIN0169-001 01/01/2020

FRESNO, KINGS, MADERA, MARIPOSA AND MERCED COUNTIES:

Rates      Fringes

GLAZIER.....\$ 40.00      26.76

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PAIN0169-005 07/01/2019

ALAMEDA CONTRA COSTA, MONTEREY, SAN BENITO, SAN FRANCISCO, SAN  
MATEO, SANTA CLARA & SANTA CRUZ COUNTIES

Rates      Fringes

GLAZIER.....\$ 50.62      29.10

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PAIN0294-004 01/01/2020

FRESNO, KINGS AND MADERA COUNTIES

Rates Fringes

PAINTER

Brush, Roller.....	\$ 31.68	19.71
Drywall Finisher/Taper.....	\$ 40.10	25.00

FOOTNOTE:

Spray Painters & Paperhangers receive \$1.00 additional per hour. Painters doing Drywall Patching receive \$1.25 additional per hour. Lead Abaters & Sandblasters receive \$1.50 additional per hour. High Time - over 30 feet (does not include work from a lift) \$0.75 per hour additional.

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PAIN0294-005 01/01/2020

FRESNO, KINGS & MADERA

Rates Fringes

SOFT FLOOR LAYER.....	\$ 33.30	21.42
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PAIN0767-001 07/01/2019

CALAVERAS, SAN JOAQUIN, STANISLAUS AND TUOLUMNE COUNTIES:

Rates Fringes

GLAZIER.....	\$ 39.06	29.31
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PAID HOLIDAYS: New Year's Day, Martin Luther King, Jr. Day, President's Day, Memorial Day, Independence Day, Labor Day, Veteran's Day, Thanksgiving Day, and Christmas Day.

Employee required to wear a body harness shall receive \$1.50 per hour above the basic hourly rate at any elevation.

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PAIN1176-001 07/01/2019

HIGHWAY IMPROVEMENT

Rates Fringes

Parking Lot Striping/Highway

Marking:

GROUP 1.....	\$ 37.68	15.38
GROUP 2.....	\$ 32.03	15.38
GROUP 3.....	\$ 32.40	15.38

CLASSIFICATIONS

GROUP 1: Striper: Layout and application of painted traffic stripes and marking; hot thermo plastic; tape, traffic stripes and markings

GROUP 2: Gamecourt & Playground Installer

GROUP 3: Protective Coating, Pavement Sealing

PAIN1237-003 01/01/2020

CALAVERAS; SAN JOAQUIN COUNTIES; STANISLAUS AND TUOLUMNE COUNTIES:

Rates Fringes

SOFT FLOOR LAYER.....\$ 39.61 22.59

PLAS0066-002 07/01/2019

ALAMEDA, CONTRA COSTA, SAN MATEO AND SAN FRANCISCO COUNTIES:

Rates Fringes

PLASTERER.....\$ 42.41 30.73

PLAS0300-001 07/01/2018

Rates Fringes

PLASTERER  
AREA 188: Fresno.....\$ 32.70 31.68  
AREA 224: San Benito,  
Santa Clara, Santa Cruz... \$ 32.88 31.68  
AREA 295: Calaveras & San  
Joaquin Counties.....\$ 32.70 31.68  
AREA 337: Monterey County\$ 32.88 31.68  
AREA 429: Mariposa,  
Merced, Stanislaus,  
Tuolumne Counties.....\$ 32.70 31.68

PLAS0300-005 07/01/2017

Rates Fringes

CEMENT MASON/CONCRETE FINISHER...\$ 33.49 23.67

PLUM0038-001 07/01/2019

SAN FRANCISCO COUNTY

Rates Fringes

PLUMBER (Plumber,  
Steamfitter, Refrigeration  
Fitter) \$ 74.16 43.59

PLUM0038-005 07/01/2019

SAN FRANCISCO COUNTY

Rates Fringes

Landscape/Irrigation Fitter  
(Underground/Utility Fitter) \$ 63.04      31.48

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PLUM0062-001 01/01/2020

MONTEREY AND SANTA CRUZ COUNTIES

Rates      Fringes

PLUMBER & STEAMFITTER.....\$ 44.30      35.19

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PLUM0159-001 07/01/2019

CONTRA COSTA COUNTY

Rates      Fringes

Plumber and steamfitter  
(1) Refrigeration.....\$ 56.93      41.04  
(2) All other work.....\$ 57.82      41.04

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PLUM0246-001 01/01/2020

FRESNO, KINGS & MADERA COUNTIES

Rates      Fringes

PLUMBER & STEAMFITTER.....\$ 41.90      33.89

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PLUM0246-004 01/01/2017

FRESNO, MERCED & SAN JOAQUIN COUNIES

Rates      Fringes

PLUMBER (PIPE TRADESMAN) \$ 13.00      10.74

PIPE TRADESMAN SCOPE OF WORK:  
Installation of corrugated metal piping for drainage, as well as installation of corrugated metal piping for culverts in connection with storm sewers and drains; Grouting, dry packing and diapering of joints, holes or chases including paving over joints, in piping; Temporary piping for dirt work for building site preparation; Operating jack hammers, pavement breakers, chipping guns, concrete saws and spades to cut holes, chases and channels for piping systems; Digging, grading, backfilling and ground preparation for all types of pipe to all points of the jobsite; Ground preparation including ground leveling, layout and planting of shrubbery, trees and ground cover, including watering, mowing, edging, pruning and fertilizing, the breaking of concrete, digging, backfilling and tamping for the preparation and completion of all work in connection with lawn sprinkler and landscaping; Loading, unloading and distributing materials at jobsite; Putting away materials in storage bins in jobsite secure storage area; Demolition of piping and fixtures for remodeling and additions; Setting up and tearing down work benches, ladders and job



shacks; Clean-up and sweeping of jobsite; Pipe wrapping and waterproofing where tar or similar material is applied for protection of buried piping; Flagman

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PLUM0342-001 07/01/2018

ALAMEDA & CONTRA COSTA COUNTIES

Rates      Fringes

PIPEFITTER  
CONTRA COSTA COUNTY.....\$ 58.68      42.40  
PLUMBER, PIPEFITTER,  
STEAMFITTER  
ALAMEDA COUNTY.....\$ 58.68      42.40

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PLUM0355-004 07/01/2019

ALAMEDA, CALAVERAS, CONTRA COSTA, FRESNO, KINGS, MADERA, MARIPOSA, MERCED, MONTEREY, SAN BENITO, SAN JOAQUIN, SAN MATEO, SANTA CLARA, SANTA CRUZ, STANISLAUS, AND TUOLUMNE COUNTIES:

Rates      Fringes

Underground Utility Worker  
/Landscape Fitter.....\$ 29.00      15.80

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PLUM0393-001 07/01/2019

SAN BENITO AND SANTA CLARA COUNTIES

Rates      Fringes

PLUMBER/PIPEFITTER.....\$ 63.91      42.68

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PLUM0442-001 01/01/2020

CALAVERAS, MARIPOSA, MERCED, SAN JOAQUIN, STANISLAUS & TUOLUMNE COUNTIES

Rates      Fringes

PLUMBER & STEAMFITTER.....\$ 44.50      31.39

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PLUM0467-001 07/01/2019

SAN MATEO COUNTY

Rates      Fringes

Plumber/Pipefitter/Steamfitter...\$ 67.61      36.50

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ROOF0027-002 01/01/2020

FRESNO, KINGS, AND MADERA COUNTIES

Rates Fringes

ROOFER.....\$ 31.11 14.41

FOOTNOTE: Work with pitch, pitch base of pitch impregnated products or any material containing coal tar pitch, on any building old or new, where both asphalt and pitchers are used in the application of a built-up roof or tear off: \$2.00 per hour additional.

ROOF0040-002 08/01/2019

SAN FRANCISCO & SAN MATEO COUNTIES:

Rates Fringes

ROOFER.....\$ 41.88 19.44

ROOF0081-001 08/01/2019

ALAMEDA AND CONTRA COSTA COUNTIES:

Rates Fringes

Roofer.....\$ 40.10 18.88

ROOF0081-004 08/01/2019

CALAVERAS, MARIPOSA, MERCED, SAN JOAQUIN, STANISLAUS AND TUOLUMNE COUNTIES:

Rates Fringes

ROOFER.....\$ 38.28 18.56

ROOF0095-002 08/01/2019

MONTEREY, SAN BENITO, SANTA CLARA, AND SANTA CRUZ COUNTIES:

Rates Fringes

ROOFER  
Journeyman.....\$ 44.49 19.49  
Kettle person (2 kettles);  
Bitumastic, Enameler, Coal  
Tar, Pitch and Mastic  
worker.....\$ 46.49 19.49

SFCA0483-001 07/29/2019

ALAMEDA, CONTRA COSTA, SAN FRANCISCO, SAN MATEO AND SANTA CLARA COUNTIES:

Rates Fringes

SPRINKLER FITTER (FIRE).....\$ 65.52 32.67

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\* SFCA0669-011 04/01/2020

CALAVERAS, FRESNO, KINGS, MADERA, MARIPOSA, MERCED, MONTEREY,  
SAN BENITO, SAN JOAQUIN, SANTA CRUZ, STANISLAUS AND TUOLUMNE  
COUNTIES:

Rates      Fringes

SPRINKLER FITTER.....\$ 38.95      25.63  
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SH EE0104-001 07/01/2019

AREA 1: ALAMEDA, CONTRA COSTA, SAN FRANCISCO, SAN MATEO, SANTA  
CLARA

AREA 2: MONTEREY & SAN BENITO

AREA 3: SANTA CRUZ

Rates      Fringes

SHEET METAL WORKER

AREA 1:

Mechanical Contracts

under \$200,000.....\$ 53.67      44.62

All Other Work.....\$ 61.36      46.11

AREA 2.....\$ 50.82      35.85

AREA 3.....\$ 60.97      34.07  
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SH EE0104-003 07/01/2019

CALAVERAS AND SAN JOAQUIN COUNTIES:

Rates      Fringes

SHEET METAL WORKER.....\$ 41.20      36.84  
-----

SH EE0104-005 07/01/2019

MARIPOSA, MERCED, STANISLAUS AND TUOLUMNE COUNTIES:

Rates      Fringes

SHEET METAL WORKER (Excluding  
metal deck and siding).....\$ 39.09      41.93  
-----

SH EE0104-007 07/01/2019

FRESNO, KINGS, AND MADERA COUNTIES:

Rates      Fringes

SHEET METAL WORKER.....\$ 40.03      39.06  
-----

SH EE0104-015 07/01/2019

ALAMEDA, CONTRA COSTA, MONTEREY, SAN BENITO, SAN FRANCISCO, SAN MATEO, SANTA CLARA AND SANTA CRUZ COUNTIES:

Rates Fringes

SHEET METAL WORKER (Metal Decking and Siding only).....\$ 42.33 35.30

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SHEE0104-018 07/01/2019

CALAVERAS, FRESNO, KINGS, MADERA, MARIPOSA, MERCED, SAN JOAQUIN, STANISLAUS AND TUOLUMNE COUNTIES:

Rates Fringes

Sheet metal worker (Metal decking and siding only).....\$ 42.33 35.30

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TEAM0094-001 07/01/2018

Rates Fringes

Truck drivers:  
GROUP 1.....\$ 31.68 27.86  
GROUP 2.....\$ 31.98 27.86  
GROUP 3.....\$ 32.28 27.86  
GROUP 4.....\$ 32.63 27.86  
GROUP 5.....\$ 32.98 27.86

FOOTNOTES:

Articulated dump truck; Bulk cement spreader (with or without auger); Dumpcrete truck; Skid truck (debris box); Dry pre-batch concrete mix trucks; Dumpster or similar type; Slurry truck: Use dump truck yardage rate.  
Heater planer; Asphalt burner; Scarifier burner; Industrial lift truck (mechanical tailgate); Utility and clean-up truck: Use appropriate rate for the power unit or the equipment utilized.

TRUCK DRIVER CLASSIFICATIONS

GROUP 1: Dump trucks, under 6 yds.; Single unit flat rack (2-axle unit); Nipper truck (when flat rack truck is used appropriate flat rack shall apply); Concrete pump truck (when flat rack truck is used appropriate flat rack shall apply); Concrete pump machine; Fork lift and lift jitneys; Fuel and/or grease truck driver or fuel person; Snow buggy; Steam cleaning; Bus or personhaul driver; Escort or pilot car driver; Pickup truck; Teamster oiler/greaser and/or serviceperson; Hook tender (including loading and unloading); Team driver; Tool room attendant (refineries)

GROUP 2: Dump trucks, 6 yds. and under 8 yds.; Transit mixers, through 10 yds.; Water trucks, under 7,000 gals.; Jetting trucks, under 7,000 gals.; Single-unit flat rack

(3-axle unit); Highbed heavy duty transport; Scissor truck; Rubber-tired muck car (not self-loaded); Rubber-tired truck jumbo; Winch truck and "A" frame drivers; Combination winch truck with hoist; Road oil truck or bootperson; Buggymobile; Ross, Hyster and similar straddle carriers; Small rubber-tired tractor

GROUP 3: Dump trucks, 8 yds. and including 24 yds.; Transit mixers, over 10 yds.; Water trucks, 7,000 gals. and over; Jetting trucks, 7,000 gals. and over; Vacuum trucks under 7500 gals. Trucks towing tilt bed or flat bed pull trailers; Lowbed heavy duty transport; Heavy duty transport tiller person; Self-propelled street sweeper with self-contained refuse bin; Boom truck - hydro-lift or Swedish type extension or retracting crane; P.B. or similar type self-loading truck; Tire repairperson; Combination bootperson and road oiler; Dry distribution truck (A bootperson when employed on such equipment, shall receive the rate specified for the classification of road oil trucks or bootperson); Ammonia nitrate distributor, driver and mixer; Snow Go and/or plow

GROUP 4: Dump trucks, over 25 yds. and under 65 yds.; Water pulls - DW 10's, 20's, 21's and other similar equipment when pulling Aqua/pak or water tank trailers; Helicopter pilots (when transporting men and materials); Lowbed Heavy Duty Transport up to including 7 axles; DW10's, 20's, 21's and other similar Cat type, Terra Cobra, LeTourneau Pulls, Tournorocker, Euclid and similar type equipment when pulling fuel and/or grease tank trailers or other miscellaneous trailers; Vacuum Trucks 7500 gals and over and truck repairman

GROUP 5: Dump trucks, 65 yds. and over; Holland hauler; Low bed Heavy Duty Transport over 7 axles

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WELDERS - Receive rate prescribed for craft performing operation to which welding is incidental.  
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Note: Executive Order (EO) 13706, Establishing Paid Sick Leave for Federal Contractors applies to all contracts subject to the Davis-Bacon Act for which the contract is awarded (and any solicitation was issued) on or after January 1, 2017. If this contract is covered by the EO, the contractor must provide employees with 1 hour of paid sick leave for every 30 hours they work, up to 56 hours of paid sick leave each year. Employees must be permitted to use paid sick leave for their own illness, injury or other health-related needs, including preventive care; to assist a family member (or person who is like family to the employee) who is ill, injured, or has other health-related needs, including preventive care; or for reasons resulting from, or to assist a family member (or person who is like family to the employee) who is a victim of, domestic violence, sexual assault, or stalking. Additional information on contractor requirements and worker protections under the EO is available at [www.dol.gov/whd/govcontracts](http://www.dol.gov/whd/govcontracts).

Unlisted classifications needed for work not included within

the scope of the classifications listed may be added after award only as provided in the labor standards contract clauses (29CFR 5.5 (a) (1) (ii))

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The body of each wage determination lists the classification and wage rates that have been found to be prevailing for the cited type(s) of construction in the area covered by the wage determination. The classifications are listed in alphabetical order of ""identifiers"" that indicate whether the particular rate is a union rate (current union negotiated rate for local), a survey rate (weighted average rate) or a union average rate (weighted union average rate).

#### Union Rate Identifiers

A four letter classification abbreviation identifier enclosed in dotted lines beginning with characters other than ""SU"" or ""UAVG"" denotes that the union classification and rate were prevailing for that classification in the survey. Example: PLUM0198-005 07/01/2014. PLUM is an abbreviation identifier of the union which prevailed in the survey for this classification, which in this example would be Plumbers. 0198 indicates the local union number or district council number where applicable, i.e., Plumbers Local 0198. The next number, 005 in the example, is an internal number used in processing the wage determination. 07/01/2014 is the effective date of the most current negotiated rate, which in this example is July 1, 2014.

Union prevailing wage rates are updated to reflect all rate changes in the collective bargaining agreement (CBA) governing this classification and rate.

#### Survey Rate Identifiers

Classifications listed under the ""SU"" identifier indicate that no one rate prevailed for this classification in the survey and the published rate is derived by computing a weighted average rate based on all the rates reported in the survey for that classification. As this weighted average rate includes all rates reported in the survey, it may include both union and non-union rates. Example: SULA2012-007 5/13/2014. SU indicates the rates are survey rates based on a weighted average calculation of rates and are not majority rates. LA indicates the State of Louisiana. 2012 is the year of survey on which these classifications and rates are based. The next number, 007 in the example, is an internal number used in producing the wage determination. 5/13/2014 indicates the survey completion date for the classifications and rates under that identifier.

Survey wage rates are not updated and remain in effect until a new survey is conducted.

#### Union Average Rate Identifiers

Classification(s) listed under the UAVG identifier indicate that no single majority rate prevailed for those classifications; however, 100% of the data reported for the

classifications was union data. EXAMPLE: UAVG-OH-0010 08/29/2014. UAVG indicates that the rate is a weighted union average rate. OH indicates the state. The next number, 0010 in the example, is an internal number used in producing the wage determination. 08/29/2014 indicates the survey completion date for the classifications and rates under that identifier.

A UAVG rate will be updated once a year, usually in January of each year, to reflect a weighted average of the current negotiated/CBA rate of the union locals from which the rate is based.

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#### WAGE DETERMINATION APPEALS PROCESS

1.) Has there been an initial decision in the matter? This can be:

- \* an existing published wage determination
- \* a survey underlying a wage determination
- \* a Wage and Hour Division letter setting forth a position on a wage determination matter
- \* a conformance (additional classification and rate) ruling

On survey related matters, initial contact, including requests for summaries of surveys, should be with the Wage and Hour Regional Office for the area in which the survey was conducted because those Regional Offices have responsibility for the Davis-Bacon survey program. If the response from this initial contact is not satisfactory, then the process described in 2.) and 3.) should be followed.

With regard to any other matter not yet ripe for the formal process described here, initial contact should be with the Branch of Construction Wage Determinations. Write to:

Branch of Construction Wage Determinations  
Wage and Hour Division  
U.S. Department of Labor  
200 Constitution Avenue, N.W.  
Washington, DC 20210

2.) If the answer to the question in 1.) is yes, then an interested party (those affected by the action) can request review and reconsideration from the Wage and Hour Administrator (See 29 CFR Part 1.8 and 29 CFR Part 7). Write to:

Wage and Hour Administrator  
U.S. Department of Labor  
200 Constitution Avenue, N.W.  
Washington, DC 20210

The request should be accompanied by a full statement of the interested party's position and by any information (wage payment data, project description, area practice material, etc.) that the requestor considers relevant to the issue.

3.) If the decision of the Administrator is not favorable, an interested party may appeal directly to the Administrative

Review Board (formerly the Wage Appeals Board). Write to:

Administrative Review Board  
U.S. Department of Labor  
200 Constitution Avenue, N.W.  
Washington, DC 20210

4.) All decisions by the Administrative Review Board are final.

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END OF GENERAL DECISION"



## ITEM 4.11

### CITY MANAGER'S REPORT MAY 11, 2020 CITY COUNCIL REGULAR MEETING

**ITEM:**                               **APPROVAL OF PARCEL MAP 20-02, DEDICATION OF PARCEL 5 TO THE CITY, SUBDIVISION IMPROVEMENT AGREEMENT, AND JOINT ESCROW INSTRUCTIONS FOR NORTH CROSSROADS BUSINESS CENTER**

**RECOMMENDATION:**   **Adopt Resolution Approving the North Crossroads Business Center Parcel Map 20-02, Totaling Five (5) Lots, Accepting Dedication to the City of Parcel 5, and Approving Subdivision Improvement Agreement and Related Joint Escrow Instructions**

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#### **SUMMARY:**

The applicants, ASP/RWM Properties, R&B Louise, LLC, and R&B Delta, LLC, collectively Reynolds & Brown, requests approval of Parcel Map 20-02 (Parcel Map) for the North Crossroads Business Center project, totaling five (5) lots. As required by the City's subdivision ordinance, approval of the Parcel Map must also involve approval of a Subdivision Improvement Agreement (SIA) to guarantee certain off-site and on-site improvements associated with the Parcel Map. The SIA requires Reynolds & Brown to deposit cash to the City for the construction of some improvements with the City Capital Improvement Project (CIP) for E. Louise Avenue CIP PS 18-01. In addition, the SIA requires Reynolds & Brown to guarantee improvements with an Encroachment Permit (EP) and two Deferred Frontage Improvement Agreements (DFIAs), all to be approved in conjunction with the Parcel Map.

#### **BACKGROUND:**

On May 30, 2018, City of Lathrop Planning Commission adopted Resolution No. 18-13 and Resolution No. 18-14 adopting the Initial Study/Mitigated Negative Declaration and approving Site Plan Review No. SPR-18-17 for the North Crossroads Business Center Project, respectively. On June 11, 2018, City of Lathrop City Council adopted Resolution No. 18-4413 approving Tentative Parcel Map No. TPM-18-18 (TPM) for the North Crossroads Business Center project. The plans and Consolidated Conditions of Approval associated with TPM-18-18 were approved on May 30, 2018.

Reynolds & Brown requests approval of Parcel Map 20-02 (Parcel Map), included as Attachment "B", for the North Crossroads Business Center project, totaling five (5) lots. As required by the City's subdivision ordinance, approval of the Parcel Map must also involve approval of a Subdivision Improvement Agreement (SIA), included as Attachment "C", to guarantee certain off-site and on-site improvements associated with the Parcel Map. The SIA requires Reynolds & Brown to deposit cash to the City for the construction of some improvements with the City Capital Improvement Project (CIP) for E. Louise Avenue.

**CITY MANAGER'S REPORT** **PAGE 2**  
**MAY 11, 2020 CITY COUNCIL REGULAR MEETING**  
**APPROVAL OF PARCEL MAP 20-02, SIA, AND JOINT ESCROW INSTRUCTIONS**  
**FOR NORTH CROSSROADS BUSINESS CENTER AND ACCEPT PARCEL 5**

In addition, the SIA requires Reynolds & Brown to guarantee improvements with an Encroachment Permit (EP) and two Deferred Frontage Improvement Agreements (DFIAs), all to be approved in conjunction with the Parcel Map. Reynolds & Brown and the City have approved joint escrow instructions, included as Attachment "F". Upon approval of the Parcel Map by Council, the Public Works Director will sign and record the DFIA's.

The City is completing the preparation of improvement plans for a capital improvement project to reconstruct the failing pavement on Louise Avenue between Harlan Road and Howland Road. Some of the required improvements by Reynolds and Brown would be in the same area as the pavement reconstruction project. Rather than have two construction projects occur at the same time, in the same place, City staff suggested the City install some of the improvements, at the cost of Reynolds and Brown.

Pursuant to the SIA requirements, Reynolds & Brown will deposit cash to the City in the amount of \$1,403,887.80 in escrow to fund construction of a portion of the improvements required by the Parcel Map to be built by the City CIP for E. Louise Avenue. Some of the Reynolds & Brown improvements including construction of the medians, curb and gutter, pavement, deceleration lanes, traffic signal modifications, sidewalk, curb ramps, signing and striping were combined with the City CIP improvements to ensure a similar product for E. Louise Avenue as well as to align the timing of the construction between the City and Reynolds & Brown.

Reynolds & Brown has obtained approved EP No. 2020-008 from the City to guarantee certain improvements including fire hydrants and water service laterals and meters. An EP was required to ensure the construction of these improvements prior to the start of the City CIP as to not require Reynolds & Brown to cut into the newly paved roadway constructed by the City CIP.

Reynolds & Brown has executed and will record two DFIAs with the City in escrow. The first DFIA guarantees landscape improvements for the medians and shoulder of E. Louise Avenue. These improvements will be deferred until the completion of the City CIP to ensure that the construction of the medians, sidewalk, and curb and gutter are completed prior to the installation of the landscaping. The second DFIA guarantees Reynolds & Brown's contribution to 50% of the cost of undergrounding the overhead utilities on the north side of E. Louise Avenue at a later date.

Parcel 5 of the Parcel Map has minimal benefit to Reynolds & Brown and will therefore be conveyed to the City with an Offer of Dedication in Fee, which is to be recorded in conjunction with the Parcel Map. Reynolds & Brown has offered dedication to the City Public Utility Easement (PUE), Public Right of Way (ROW) and Emergency Vehicle Access Easement (EVAE) for the designated remainder of the Parcel Map. The PUE and ROW will accommodate the required right turn deceleration lane into the project for the eastbound E. Louise Avenue approach to Cambridge Drive.

**CITY MANAGER’S REPORT** **PAGE 3**  
**MAY 11, 2020 CITY COUNCIL REGULAR MEETING**  
**APPROVAL OF PARCEL MAP 20-02, SIA, AND JOINT ESCROW INSTRUCTIONS**  
**FOR NORTH CROSSROADS BUSINESS CENTER AND ACCEPT PARCEL 5**

Reynolds & Brown has guaranteed completion of all public improvements on Parcel Map 20-02 in accordance with the provisions of the SIA, as identified on the approved improvement plans, and has completed or guaranteed completion of all required documents and payment of all fees in accordance with the applicable Conditions of Approval. Upon City acceptance of the improvements to be constructed by Reynolds & Brown as complete, a one-year warranty bond will be required to secure Reynolds & Brown’s obligation to repair construction defects encountered during the one-year warranty bond period.

The grading plans for the first building, to be occupied by Kraft-Heinz and to be located on Parcel 3, have been submitted and reviewed by Staff but the permits have yet to be issued.

Staff has confirmed that all Conditions of Approval of the TPM required for approval of Parcel Map have been completed, including, without limitation, those Conditions of Approval that relate to the Subdivision Improvement Agreement.

The City Engineer has confirmed that Parcel Map 20-02 is substantially the same as it appeared on the TPM, is technically correct, and complies with the applicable requirements of the Subdivision Map Act and Lathrop Municipal Code, Chapter 16. Staff has determined that the funding of a Capital Facilities District (CFD) by Reynolds & Brown will not be required prior to the approval of the Parcel Map as most of the improvements are being reconstructed.

Reynolds & Brown, in conjunction with City staff review, has provided the Parcel Map, the Subdivision Improvement Agreement, improvement plans, and all other required documents and fees necessary (as discussed above and in the attached Resolution) prior to the City Council considering Parcel Map 20-02 for approval and recordation. This includes the following documents and fees:

<b>Documents</b>	<b>Status</b>
1. Parcel Map 20-02	Council approval with this item
2. Subdivision Improvement Agreement	Council approval with this item
3. Cash Deposit	Will receive in escrow
4. Encroachment Permit	Approved
5. Geotechnical Report	Completed
6. Joint Escrow Instructions for Recordation of Parcel Map 20-02	Council approval with this item
7. Purchase and allocation of water and sewer to each Parcel	To be completed in escrow
8. Submitted Certificate of Insurance	Received

**CITY MANAGER'S REPORT** **PAGE 4**  
**MAY 11, 2020 CITY COUNCIL REGULAR MEETING**  
**APPROVAL OF PARCEL MAP 20-02, SIA, AND JOINT ESCROW INSTRUCTIONS**  
**FOR NORTH CROSSROADS BUSINESS CENTER AND ACCEPT PARCEL 5**

9. Submitted Tax Letter	Received
10. Submitted Guarantee of Title	Received

<b>Plans</b>	<b>Status</b>
1. Traffic Signal (Cambridge Drive & E. Louise Avenue)	Approved
2. Offsite Improvement	Approved
3. Offsite Landscape	Approved
4. Street Light	Approved

<b>Fees</b>	<b>Status</b>
1. Parcel Map Plan Check	Paid
2. Improvement Plans- Plan Check and Inspection Fees	Paid

**REASON FOR RECOMMENDATION:**

Reynolds & Brown has furnished the City with the necessary documents to complete the processing of the Parcel Map and all required fees, as detailed more fully above and in the attached Resolution. North Crossroads Business Center Parcel Map 20-02 conforms to the requirements of the Subdivision Map Act and Conditions of Approval.

**FISCAL IMPACT:**

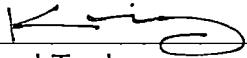
There is no fiscal impact to the City by this action. City costs are covered by development fees.

**ATTACHMENTS:**

- A. Resolution Approving the North Crossroads Business Center Parcel Map 20-02, Totaling Five (5) Lots, Accepting Dedication to the City of Parcel 5, and Approving Subdivision Improvement Agreement and Related Joint Escrow Instructions
- B. Parcel Map 20-02
- C. Subdivision Improvement Agreement Between the City of Lathrop and ASP/RWM Properties / R&B Louise, LLC / R&B Delta, LLC North Crossroads Business Center, Parcel Map 20-020
- D. Vicinity Map for North Crossroads Business Center
- E. Grant Deed to the City of Lathrop for Parcel 5
- F. Joint Escrow Instructions for Recordation of Parcel Map 20-02 (North Crossroads Business Center)

**CITY MANAGER'S REPORT** **PAGE 5**  
**MAY 11, 2020 CITY COUNCIL REGULAR MEETING**  
**APPROVAL OF PARCEL MAP 20-02, SIA, AND JOINT ESCROW INSTRUCTIONS**  
**FOR NORTH CROSSROADS BUSINESS CENTER AND ACCEPT PARCEL 5**

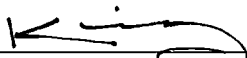
**APPROVALS:**

  
\_\_\_\_\_  
Brad Taylor **FOR**  
Associate Engineer

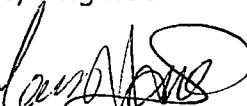
5.5.2020  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Michael King  
Director of Public Works

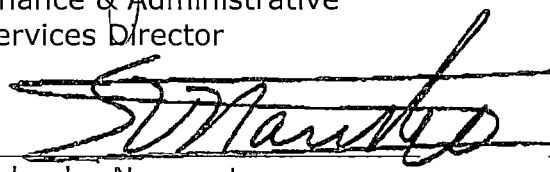
5.5.2020  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Glenn Gebhardt **FOR**  
City Engineer

5.5.2020  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Cari James  
Finance & Administrative  
Services Director

5-5-2020  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Salvador Navarrete  
City Attorney

5/5/2020  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Stephen J. Salvatore  
City Manager

5.6.2020  
\_\_\_\_\_  
Date

## **RESOLUTION NO. 20-**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP APPROVING THE NORTH CROSSROADS BUSINESS CENTER PARCEL MAP 20-02, TOTALING FIVE (5) LOTS, ACCEPTING DEDICATION TO THE CITY OF PARCEL 5, AND APPROVING SUBDIVISION IMPROVEMENT AGREEMENT AND RELATED JOINT ESCROW INSTRUCTIONS**

**WHEREAS**, on May 30, 2018, City of Lathrop Planning Commission adopted Resolution No. 18-13 and Resolution No. 18-14 adopting the Initial Study/Mitigated Negative Declaration and approving Site Plan Review No. SPR-18-17 for the North Crossroads Business Center Project, respectively; and

**WHEREAS**, On June 11, 2018, City of Lathrop City Council adopted Resolution No. 18-4413 approving Tentative Parcel Map No. TPM-18-18 (TPM) for the North Crossroads Business Center project. The plans and Consolidated Conditions of Approval associated with TPM-18-18 were approved on May 30, 2018; and

**WHEREAS**, the applicants, ASP/RWM Properties, R&B Louise, LLC, and R&B Delta, LLC, collectively Reynolds & Brown, requests approval of Parcel Map 20-02 (Parcel Map) for the North Crossroads Business Center project, totaling five (5) lots; and

**WHEREAS**, as required by the City's subdivision ordinance, approval of the Parcel Map must also involve approval of a Subdivision Improvement Agreement (SIA), included as Attachment "C" to the City Managers Report, to guarantee certain off-site and on-site improvements associated with the Parcel Map; and

**WHEREAS**, the SIA requires Reynolds & Brown to deposit cash to the City for the construction of some improvements with the City Capital Improvement Project (CIP) for E. Louise Avenue. In addition, the SIA requires Reynolds & Brown to guarantee improvements with an Encroachment Permit (EP) and two Deferred Frontage Improvement Agreements (DFIAs), all to be approved in conjunction with the Parcel Map. Reynolds & Brown and the City have approved joint escrow instructions, included as Attachment "F" to the City Managers Report; and

**WHEREAS**, pursuant to the SIA requirements, Reynolds & Brown will deposit cash to the City in the amount of \$1,403,887.80 in escrow to fund construction of a portion the improvements required by the Parcel Map to be built by the City CIP for E. Louise Avenue. Some of the Reynolds & Brown improvements including construction of the medians, curb and gutter, pavement, deceleration lanes, traffic signal modifications, sidewalk, curb ramps, signing and striping were combined with the City CIP improvements to ensure a homogenous product for E. Louise Avenue as well as to align the timing of the construction between the City and Reynolds & Brown; and

**WHEREAS**, pursuant to the SIA requirements Reynolds & Brown has obtained approved EP No. 2020-008 from the City to guarantee certain improvements including fire hydrants and water service laterals and meters. An EP was required to ensure the construction of these improvements prior to the start of the City CIP as to not require Reynolds & Brown to cut into the newly paved roadway constructed by the City CIP; and

**WHEREAS**, pursuant to the SIA requirements, Reynolds & Brown has executed and will record two DFIA's with the City in escrow. The first DFIA guarantees landscape improvements for the medians and shoulder of E. Louise Avenue. These improvements will be deferred until the completion of the City CIP to ensure that the construction of the medians, sidewalk and curb and gutter are completed prior to the installation of the landscaping. The second DFIA guarantees Reynolds & Brown's contribution to 50% of the cost of undergrounding the overhead utilities on the north side of E. Louise Avenue at a later date. The Public Works Director has approved the DFIA's; and

**WHEREAS**, Parcel 5 of the Parcel Map has minimal benefit to Reynolds & Brown and will therefore be conveyed to the City with an Offer of Dedication in Fee, which is to be recorded in conjunction with the Parcel Map; and

**WHEREAS**, Reynolds & Brown has offered dedication to the City of a Public Utility Easement (PUE), Public Right of Way (ROW) and Emergency Vehicle Access Easement (EVAE) for the designated remainder of the Parcel Map; and

**WHEREAS**, Reynolds & Brown has guaranteed completion of all public improvements on Parcel Map 20-02 in accordance with the provisions of the SIA, as identified on the approved improvement plans, and has completed or guaranteed completion of all required documents and payment of all fees in accordance with the applicable Conditions of Approval; and

**WHEREAS**, upon City acceptance of the improvements to be constructed by Reynolds & Brown as complete, a one-year warranty bond will be required to secure Reynolds & Brown's obligation to repair construction defects encountered during the one-year warranty bond period; and

**WHEREAS**, staff has confirmed that all Conditions of Approval of the TPM required for approval of Parcel Map 20-02 have been completed, including, without limitation, those Conditions of Approval that relate to the Subdivision Improvement Agreement. The City Engineer has confirmed that Parcel Map 20-02 is substantially the same as it appeared on the TPM, is technically correct, and complies with the applicable requirements of the Subdivision Map Act and Lathrop Municipal Code, Chapter 16; and

**WHEREAS**, staff has determined that the funding of a Capital Facilities District (CFD) by Reynolds & Brown will not be required prior to the approval of the Parcel Map as most of the improvements are being reconstructed; and

**WHEREAS**, Reynolds & Brown, in conjunction with City staff review, has provided the Parcel Map, the Subdivision Improvement Agreement, improvement plans, and all other required documents and fees necessary (as discussed above and included as attachments to the City Manager’s Report to Council dated May 11, 2020) prior to the City Council considering Parcel Map 20-02 for approval and recordation.

**NOW, THEREFORE, BE IT RESOLVED**, by the City Council of the City of Lathrop accepts the Offer of Dedication in Fee of Parcel 5, the offers of dedication of ROW, PUE and EVAE for the designated remainder and approves the following actions:

1. The City Clerk, or their designee, is authorized to execute the approved Parcel Map 20-02 and minor modifications deemed appropriate by the City Clerk consistent with the approved Parcel Map 20-02 and is hereby submitted as part of the public record with the San Joaquin County Assessor/Recorder/County Clerk Office. The recorded executed copy will be filed with the City Clerk.
2. That the City Manager, or their designee, is authorized to execute the approved Subdivision Improvement Agreement with Reynolds & Brown and minor modifications deemed appropriate by the City Manager consistent with the approved Subdivision Improvement Agreement, in substantially the form as attached to the May 11, 2020 staff report, the executed copy will be filed with the City Clerk.



**PASSED AND ADOPTED** by the City Council of the City of Lathrop this 11<sup>th</sup> day of May 2020, by the following vote:

AYES:

NOES:

ABSTAIN:

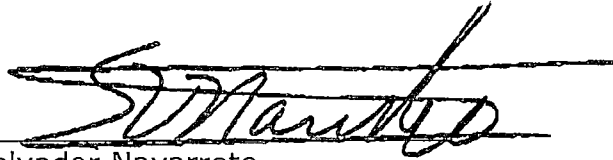
ABSENT:

\_\_\_\_\_  
Sonny Dhaliwal, Mayor

**ATTEST:**

\_\_\_\_\_  
Teresa Vargas  
City Clerk

**APPROVED AS TO FORM:**

  
\_\_\_\_\_  
Salvador Navarrete  
City Attorney

**OWNER'S STATEMENT:**

WE, THE UNDERSIGNED, HEREBY STATE THAT WE ARE ALL THE PARTIES HAVING RECORD TITLE INTEREST IN THE LANDS SUBDIVIDED AND SHOWN ON THIS PARCEL MAP AND WE HEREBY CONSENT TO THE PREPARATION AND FILING OF THIS PARCEL MAP IN THE OFFICE OF THE COUNTY RECORDER OF SAN JOAQUIN COUNTY, CALIFORNIA.

THE REAL PROPERTY DESCRIBED BELOW IS DEDICATED AS AN EASEMENT FOR PUBLIC PURPOSES:

AN EASEMENT FOR PUBLIC ROADWAY AND UTILITY PURPOSES UNDER, UPON AND OVER THOSE STRIPS OF LAND DESIGNATED "ROW DEDICATION" AS DELINEATED AND DESIGNATED WITHIN THE HEAVY LINES OF THIS MAP; AND THAT SAID STRIPS ARE TO BE KEPT OPEN AND FREE FROM BUILDINGS OR STRUCTURES OF ANY KIND EXCEPT APPLICABLE UTILITY STRUCTURES AND APPURTENANCES, LANDSCAPING, IRRIGATION SYSTEMS AND APPURTENANCES AND LAWFUL FENCES.

AN EASEMENT FOR PUBLIC SERVICES AND UTILITY PURPOSES UNDER, UPON AND OVER THOSE STRIPS OF LAND DESIGNATED PUBLIC UTILITY EASEMENT "P.U.E." AS DELINEATED AND DESIGNATED WITHIN THE HEAVY LINES OF THIS MAP; AND THAT SAID STRIPS ARE TO BE KEPT OPEN AND FREE FROM BUILDINGS OR STRUCTURES OF ANY KIND EXCEPT APPLICABLE UTILITY STRUCTURES AND APPURTENANCES, LANDSCAPING, IRRIGATION SYSTEMS AND APPURTENANCES AND LAWFUL FENCES.

AN EASEMENT FOR PEDESTRIAN ACCESS PURPOSES UNDER, UPON AND OVER THOSE STRIPS OF LAND DESIGNATED PEDESTRIAN ACCESS EASEMENT "P.A.E." AS DELINEATED AND DESIGNATED WITHIN THE HEAVY LINES OF THIS MAP; AND THAT SAID STRIPS ARE TO BE KEPT OPEN AND FREE FROM BUILDINGS OR STRUCTURES OF ANY KIND EXCEPT APPLICABLE UTILITY STRUCTURES AND APPURTENANCES, LANDSCAPING, IRRIGATION SYSTEMS AND APPURTENANCES AND LAWFUL FENCES.

AN EASEMENT FOR TRAFFIC SIGNAL LOOP PURPOSES UNDER, UPON AND OVER THOSE STRIPS OF LAND DESIGNATED TRAFFIC SIGNAL LOOP EASEMENT "T.S.L.E." AS DELINEATED AND DESIGNATED WITHIN THE HEAVY LINES OF THIS MAP; AND THAT SAID STRIPS ARE TO BE KEPT OPEN AND FREE FROM BUILDINGS OR STRUCTURES OF ANY KIND EXCEPT APPLICABLE UTILITY STRUCTURES AND APPURTENANCES, LANDSCAPING, IRRIGATION SYSTEMS AND APPURTENANCES AND LAWFUL FENCES.

AN EASEMENT WITH THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF EMERGENCY VEHICULAR ACCESS UNDER, UPON AND OVER THE STRIP OF LAND DESIGNATED AS "EVAE" (EMERGENCY VEHICULAR ACCESS EASEMENT), AS DELINEATED AND DESIGNATED WITHIN THE HEAVY LINES OF THIS MAP; AND THAT SAID AREA OR STRIP IS TO BE KEPT OPEN AND FREE FROM BUILDINGS OR STRUCTURES OF ANY KIND EXCEPT APPLICABLE UTILITY STRUCTURES AND APPURTENANCES, LANDSCAPING, IRRIGATION SYSTEMS AND APPURTENANCES AND LAWFUL FENCES.

TO INSURE MUNICIPAL WATER SERVICE TO ALL PARCELS, ALL WATER RIGHTS ARE DEDICATED TO THE CITY OF LATHROP WITHIN THE EXTERIOR BOUNDARY LINE OF THIS MAP.

THIS MAP SHOWS OR NOTES ALL PLOTTABLE EASEMENTS, EXISTING OR OF RECORD, WITHIN THE BOUNDARY LINES OF THE HEREIN EMBODIED MAP.

R & B DELTA, LLC,  
A CALIFORNIA LIMITED LIABILITY COMPANY;

BY: DANA C. PARRY, PRESIDENT AND MANAGER

R & B LOUISE, LLC,  
A CALIFORNIA LIMITED LIABILITY COMPANY;

BY: DANA C. PARRY, PRESIDENT AND MANAGER

ASP/RWM PROPERTIES, LLC  
A CALIFORNIA LIMITED LIABILITY COMPANY, WHICH AQUIRED TITLE AS  
ASP/RWM PROPERTIES, A CALIFORNIA GENERAL PARTNERSHIP;

BY: JONES PARTNERS, LLC,  
A CALIFORNIA LIMITED LIABILITY COMPANY, MANAGER

BY: RANDALL S. JONES, MANAGING MEMBER

BY: CAREY JONES ANDRE, MANAGING MEMBER

**BENEFICIARY STATEMENT:**

THE UNDERSIGNED, WELLS FARGO BANK A NATIONAL ASSOCIATION, AS BENEFICIARY FOR THAT CERTAIN CERTAIN DEED OF TRUST RECORDED JULY 22, 2015 AS INSTRUMENT NO. 2015-087405, SAID DEED OF TRUST HAVING BEEN MODIFIED BY THAT CERTAIN MEMORANDUM OF MODIFICATION AGREEMENT AMENDING SECURITY INSTRUMENT, RECORDED NOVEMBER 9, 2016 AS INSTRUMENT NO. 2016-138735, OFFICIAL RECORDS OF SAN JOAQUIN, DO HEREBY CONSENT TO THE PREPARATION AND RECORDATION OF THE HEREIN EMBODIED PARCEL, AND JOINS IN ALL DEDICATIONS THEREON.

IN WITNESS WHEREOF, THE UNDERSIGNED HAS EXECUTED THIS STATEMENT ON \_\_\_\_\_, 2020, BY ITS DULY AUTHORIZED OFFICERS AS BENEFICIARY:

WELLS FARGO BANK, A NATIONAL ASSOCIATION, AS BENEFICIARY.

BY: \_\_\_\_\_

NAME: \_\_\_\_\_

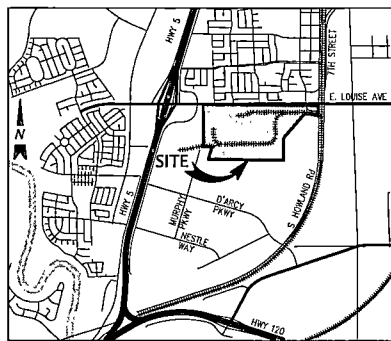
TITLE: \_\_\_\_\_

**PARCEL MAP 20-02**

BEING A SUBDIVISION OF PARCEL 1 AND THE DESIGNATED REMAINDER AS SHOWN ON THAT CERTAIN PARCEL MAP RECORDED DECEMBER 19, 2017, IN BOOK 28 OF PARCEL MAPS AT PAGE 94, SAN JOAQUIN COUNTY RECORDS.

CITY OF LATHROP - SAN JOAQUIN COUNTY - CALIFORNIA  
MAY 2020

**KIER & WRIGHT**  
CIVIL ENGINEERS & SURVEYORS, INC.  
2800 Cedar Canyon Road Phone (925) 245-8728  
Livermore, California 94551 Fax (925) 245-0708



VICINITY MAP

NOT TO SCALE

**BENEFICIARY STATEMENT:**

THE UNDERSIGNED, WELLS FARGO BANK A NATIONAL ASSOCIATION, AS BENEFICIARY FOR THAT CERTAIN CERTAIN DEED OF TRUST RECORDED \_\_\_\_\_ AS INSTRUMENT NO. \_\_\_\_\_ OFFICIAL RECORDS OF SAN JOAQUIN, DO HEREBY CONSENT TO THE PREPARATION AND RECORDATION OF THE HEREIN EMBODIED PARCEL, AND JOINS IN ALL DEDICATIONS THEREON.

IN WITNESS WHEREOF, THE UNDERSIGNED HAS EXECUTED THIS STATEMENT ON \_\_\_\_\_, 2020, BY ITS DULY AUTHORIZED OFFICERS AS BENEFICIARY:

WELLS FARGO BANK, A NATIONAL ASSOCIATION, AS BENEFICIARY.

BY: \_\_\_\_\_

NAME: \_\_\_\_\_

TITLE: \_\_\_\_\_

**SURVEYOR'S STATEMENT**

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF REYNOLDS & BROWN IN AUGUST, 2019. I HEREBY STATE THAT THIS PARCEL MAP SUBSTANTIALLY CONFORMS TO THE APPROVED OR CONDITIONALLY APPROVED TENTATIVE MAP, IF ANY. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED, OR WILL OCCUPY THE POSITIONS INDICATED WITHIN 6 MONTHS FROM THE FILING DATE OF THIS MAP, AND THAT THE MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

GARY K. LAMB, L.S. 6627



**NOTE:**

APPROVAL OF THIS FINAL PARCEL MAP IS SUBJECT TO THE NORTH CROSSROADS BUSINESS PARK TENTATIVE PARCEL MAP WAIVER (APPLICATION NUMBER TPW-18-18.) CONDITIONS OF APPROVAL THAT WAS APPROVED BY CITY OF LATHROP COMMUNITY DEVELOPMENT DEPARTMENT ON MAY 30, 2018.

**NOTE:**

FUTURE DEVELOPMENT OF PARCELS 1-5 SHALL BE CONSISTENT WITH APPLICABLE SECTIONS OF THE LATHROP MUNICIPAL CODE.

**NOTE:**

THE DESIGNATED REMAINDER PARCEL SHALL BE SUBJECT TO THE PROVISIONS OF THE SUBDIVISION MAP ACT, GOVERNMENT CODE SECTION 66424.6.

**CITY ENGINEER'S STATEMENT**

I, GLEN GEBHARDT, HEREBY STATE THAT I HAVE EXAMINED THIS PARCEL MAP AND THAT THE SUBDIVISION SHOWN HEREON IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP, IF REQUIRED, AND ANY APPROVED ALTERATIONS THEREOF. I FURTHER STATE THAT THIS PARCEL MAP COMPLIES WITH ALL THE PROVISIONS OF TITLES 16, CHAPTER 16.16 OF THE LATHROP MUNICIPAL CODE OF ORDINANCES, AND ANY AMENDMENTS THERETO, APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP, IF REQUIRED.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

GLENN GEBHARDT, R.C.E. 34681  
CITY ENGINEER



**CITY SURVEYOR'S STATEMENT**

I, DARRYL ALEXANDER, HEREBY STATE THAT I HAVE EXAMINED THIS PARCEL MAP AND THAT THE SUBDIVISION SHOWN HEREON COMPLIES WITH ALL THE PROVISIONS OF CHAPTER 2 OF THE CALIFORNIA SUBDIVISION MAP ACT, AS AMENDED, AND THAT THIS MAP IS TECHNICALLY CORRECT.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

DARRYL ALEXANDER, PLS 5071



**COMMUNITY DEVELOPMENT DIRECTOR'S STATEMENT**

I, MARK WEISSNER, HEREBY STATE THAT LATHROP PLANNING DIVISION HAS WAIVED THE REQUIREMENT FOR A TENTATIVE MAP IN ACCORDANCE WITH SECTION 159.098 OF THE LATHROP MUNICIPAL CODE OF ORDINANCES.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

MARK WEISSNER, COMMUNITY DEVELOPMENT DIRECTOR

**CITY CLERK'S STATEMENT**

I, TERESA VARGAS, CITY CLERK AND CLERK OF THE CITY COUNCIL OF THE CITY OF LATHROP, CALIFORNIA, DO HEREBY STATE THAT THE HEREIN EMBODIED MAP ENTITLED "PARCEL MAP 20-02" CONSISTING OF FOUR (4) SHEETS, WAS PRESENTED TO SAID CITY COUNCIL, AS PROVIDED BY LAW, AT A REGULAR MEETING THEREOF, HELD ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020 AND THAT SAID CITY COUNCIL DID THEREUPON BY RESOLUTION NO. \_\_\_\_\_ DULY PASS AND ADOPT AT SAID MEETING, APPROVE SAID MAP, AND AUTHORIZE ITS RECORDATION AND DO HEREBY ACCEPT ON BEHALF OF THE CITY OF LATHROP, FOR PUBLIC USE, THE DEDICATION OF ALL EASEMENTS, WATER RIGHTS, AND ACCEPT THE OFFER OF DEDICATION OF ALL STREETS, AVENUES, ROADS AND WAYS, AS SHOWN ON SAID MAP SUBJECT TO IMPROVEMENTS BEING COMPLETED, IN ACCORDANCE WITH CHAPTER 16, TITLE 16.16 OF THE CITY OF LATHROP MUNICIPAL CODE.

I FURTHER STATE THAT ALL BONDS AS REQUIRED BY LAW TO ACCOMPANY THE WITHIN MAP HAVE BEEN APPROVED BY THE CITY COUNCIL OF THE CITY OF LATHROP AND FILED IN MY OFFICE.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

TERESA VARGAS  
CITY CLERK

**RECORDER'S STATEMENT**

FILED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020, AT \_\_\_\_\_ M.

IN BOOK \_\_\_\_\_ OF PARCEL MAPS, AT PAGE \_\_\_\_\_, AT THE REQUEST OF KIER & WRIGHT.

FEES \$: \_\_\_\_\_

STEVE J. BESTOLARIDES BY: \_\_\_\_\_ DEPUTY RECORDER

ASSESSOR-RECORDER-COUNTY CLERK

JOB NO. A14663-11

SHEET 1 OF 4 SHEETS

Attachment B

# PARCEL MAP 20-02

BEING A SUBDIVISION OF PARCEL 1 AND THE DESIGNATED REMAINDER AS SHOWN ON THAT CERTAIN PARCEL MAP RECORDED DECEMBER 19, 2017, IN BOOK 26 OF PARCEL MAPS AT PAGE 94, SAN JOAQUIN COUNTY RECORDS.

CITY OF LATHROP - SAN JOAQUIN COUNTY - CALIFORNIA

MAY 2020



## OWNER'S ACKNOWLEDGMENT:

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF \_\_\_\_\_ }  
COUNTY OF \_\_\_\_\_ } SS

ON \_\_\_\_\_, 20\_\_\_\_, BEFORE ME, \_\_\_\_\_

A NOTARY PUBLIC, PERSONALLY APPEARED \_\_\_\_\_

WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/HEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND

SIGNATURE: \_\_\_\_\_

PRINTED NAME: \_\_\_\_\_

PRINCIPAL PLACE OF BUSINESS: \_\_\_\_\_

COMMISSION NUMBER: \_\_\_\_\_

COMMISSION EXPIRES: \_\_\_\_\_

## OWNER'S ACKNOWLEDGMENT:

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF \_\_\_\_\_ }  
COUNTY OF \_\_\_\_\_ } SS

ON \_\_\_\_\_, 20\_\_\_\_, BEFORE ME, \_\_\_\_\_

A NOTARY PUBLIC, PERSONALLY APPEARED \_\_\_\_\_

WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/HEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND

SIGNATURE: \_\_\_\_\_

PRINTED NAME: \_\_\_\_\_

PRINCIPAL PLACE OF BUSINESS: \_\_\_\_\_

COMMISSION NUMBER: \_\_\_\_\_

COMMISSION EXPIRES: \_\_\_\_\_

## OWNER'S ACKNOWLEDGMENT:

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF \_\_\_\_\_ }  
COUNTY OF \_\_\_\_\_ } SS

ON \_\_\_\_\_, 20\_\_\_\_, BEFORE ME, \_\_\_\_\_

A NOTARY PUBLIC, PERSONALLY APPEARED \_\_\_\_\_

WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/HEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

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WITNESS MY HAND

SIGNATURE: \_\_\_\_\_

PRINTED NAME: \_\_\_\_\_

PRINCIPAL PLACE OF BUSINESS: \_\_\_\_\_

COMMISSION NUMBER: \_\_\_\_\_

COMMISSION EXPIRES: \_\_\_\_\_

## BENEFICIARY ACKNOWLEDGMENT:

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF \_\_\_\_\_ }  
COUNTY OF \_\_\_\_\_ } SS

ON \_\_\_\_\_, 20\_\_\_\_, BEFORE ME, \_\_\_\_\_

A NOTARY PUBLIC, PERSONALLY APPEARED \_\_\_\_\_

WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/HEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND

SIGNATURE: \_\_\_\_\_

PRINTED NAME: \_\_\_\_\_

PRINCIPAL PLACE OF BUSINESS: \_\_\_\_\_

COMMISSION NUMBER: \_\_\_\_\_

COMMISSION EXPIRES: \_\_\_\_\_

## AGRICULTURAL NOTIFICATION:

PER CITY OF LATHROP CODE OF ORDINANCES, TITLE 15, CHAPTER 15.4804, IN THE CITY OF LATHROP PERMITS OPERATION OF PROPERLY CONDUCTED AGRICULTURAL OPERATIONS WITHIN THE CITY LIMITS, INCLUDING THOSE THAT UTILIZE CHEMICAL FERTILIZERS AND PESTICIDES. YOU ARE HEREBY NOTIFIED THAT THE PROPERTY YOU ARE PURCHASING MAY BE LOCATED CLOSE TO AGRICULTURAL LANDS AND OPERATIONS. YOU MAY BE SUBJECT TO INCONVENIENCE OR DISCOMFORT ARISING FROM THE LAWFUL AND PROPER USE OF AGRICULTURAL CHEMICALS AND PESTICIDES AND FROM OTHER AGRICULTURAL ACTIVITIES, INCLUDING WITHOUT LIMITATION, CULTIVATIONS, PLOWING, SPRAYING, IRRIGATION, PRUNING, HARVESTING, BURNING OF AGRICULTURAL WASTE PRODUCTS, PROTECTION OF CROPS AND ANIMALS FROM DEPREDATION, AND OTHER ACTIVITIES WHICH MAY GENERATE DUST, SMOKE, NOISE, ODOR, RODENTS AND PESTS. BEWARE ALSO THAT THIS PROPERTY MAY BE LOCATED ADJACENT TO AGRICULTURAL OPERATIONS OUTSIDE THE CITY'S JURISDICTION. CONSEQUENTLY, DEPENDING ON THE LOCATION OF YOUR PROPERTY IT MAY BE NECESSARY THAT YOU BE PREPARED TO ACCEPT SUCH INCONVENIENCES OR DISCOMFORT AS NORMAL AND NECESSARY ASPECT OF LIVING IN AN AGRICULTURALLY ACTIVE REGION.

## SIGNATURES OMITTED:

PURSUANT TO SECTION 66436 OF THE CALIFORNIA SUBDIVISION MAP ACT, THE SIGNATURES OF THE FOLLOWING PARTIES HAVE BEEN OMITTED:

- 1) EASEMENT GRANTED TO PACIFIC TELEGRAPH & TELEPHONE COMPANY RECORDED ON JANUARY 23, 1922, IN BOOK G MISCELLANEOUS, VOLUME 51, PAGE 99, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY. (EASEMENT CANNOT BE PLOTTED FROM RECORD INFORMATION)
- 2) EASEMENT GRANTED TO PACIFIC TELEGRAPH & TELEPHONE COMPANY RECORDED ON JANUARY 26, 1922, IN BOOK G MISCELLANEOUS, VOLUME 52, PAGE 6, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY. (EASEMENT CANNOT BE PLOTTED FROM RECORD INFORMATION)
- 3) EASEMENT GRANTED TO PACIFIC TELEGRAPH & TELEPHONE COMPANY RECORDED ON JANUARY 26, 1922, IN BOOK G MISCELLANEOUS, VOLUME 52, PAGE 7, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY. (EASEMENT CANNOT BE PLOTTED FROM RECORD INFORMATION)
- 4) EASEMENT GRANTED TO PACIFIC GAS & ELECTRIC COMPANY RECORDED ON MARCH 11, 1968, IN BOOK 3193, PAGE 587, AND RELOCATION IN CONNECTION THEREWITH A RELOCATION AGREEMENT RECORDED ON NOVEMBER 26, 1991, AS DOCUMENT NO. 91115818, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.
- 5) EASEMENT GRANTED TO CONTINENTAL TELEPHONE COMPANY RECORDED ON NOVEMBER 6, 1973, IN BOOK 3816, PAGE 125, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.
- 6) EASEMENT GRANTED TO E.R. CARPENTER COMPANY RECORDED ON DECEMBER 3, 1985, AS DOCUMENT NO. 85080708, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.
- 7) EASEMENTS CONTAINED IN THE EASEMENT AGREEMENT WITH SAN JOAQUIN COGEN LIMITED RECORDED ON MARCH 23, 1989, AS DOCUMENT NO. 89025741, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.
- 8) EASEMENT GRANTED TO LIBBY-OWENS-FORD COMPANY RECORDED ON MARCH 23, 1989, AS DOCUMENT NO. 89025744, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.
- 9) EASEMENTS GRANTED TO SAN JOAQUIN COGEN LIMITED RECORDED ON DECEMBER 6, 1989, AS DOCUMENT NO. 89113369, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.
- 10) EASEMENT BY COURT ORDER TO SPRINT COMMUNICATIONS, LP, RECORDED ON DECEMBER 9, 2013, AS DOCUMENT NO. 2013-151390, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY. (EASEMENT CANNOT BE PLOTTED FROM RECORD INFORMATION)
- 11) EASEMENT TO J.R. SIMPLOT RECORDED APRIL 27, 2017, AS DOCUMENT NO. 2017-106052, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.

## BENEFICIARY ACKNOWLEDGMENT:

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF \_\_\_\_\_ }  
COUNTY OF \_\_\_\_\_ } SS

ON \_\_\_\_\_, 20\_\_\_\_, BEFORE ME, \_\_\_\_\_

A NOTARY PUBLIC, PERSONALLY APPEARED \_\_\_\_\_

WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/HEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND

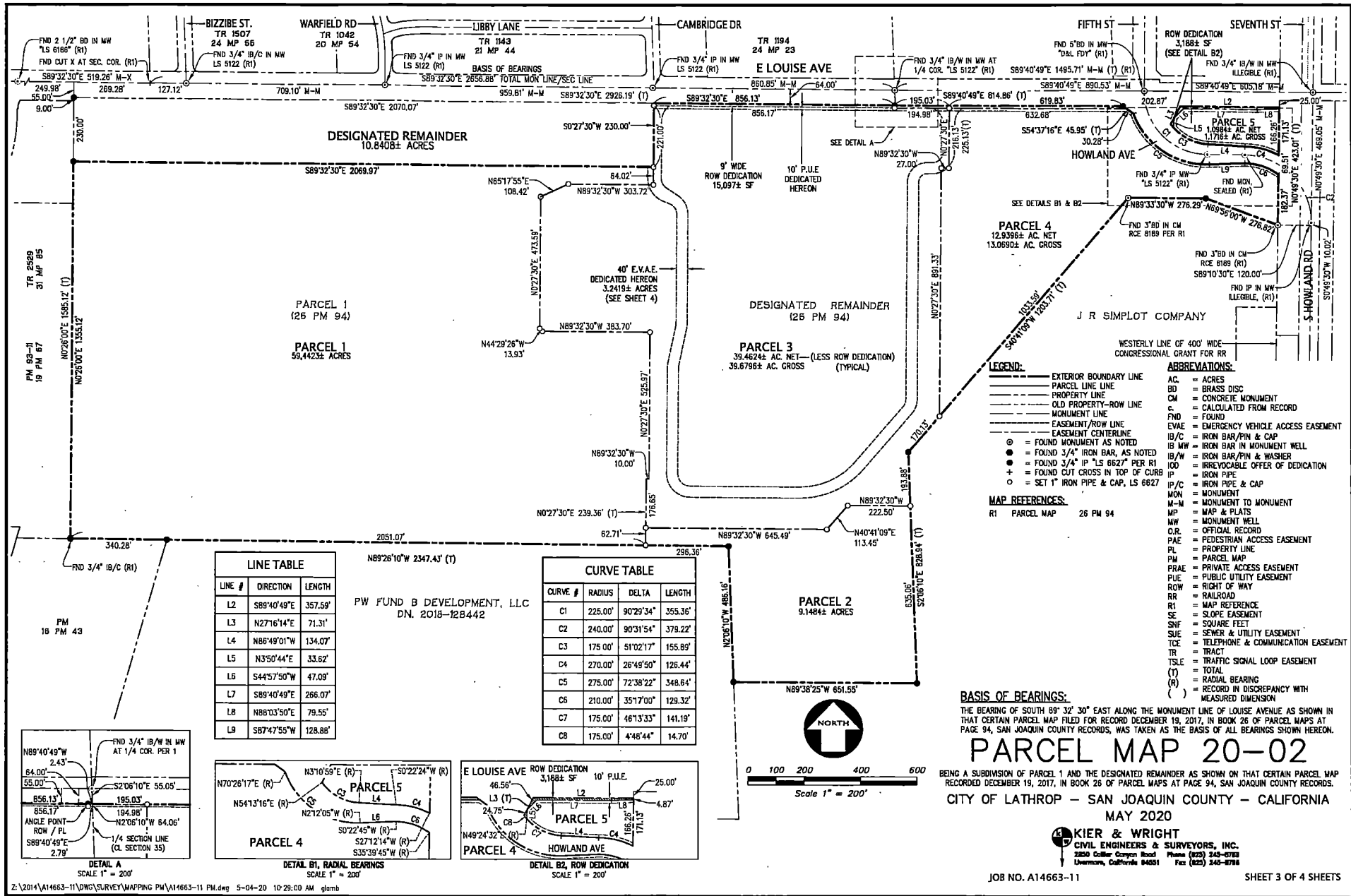
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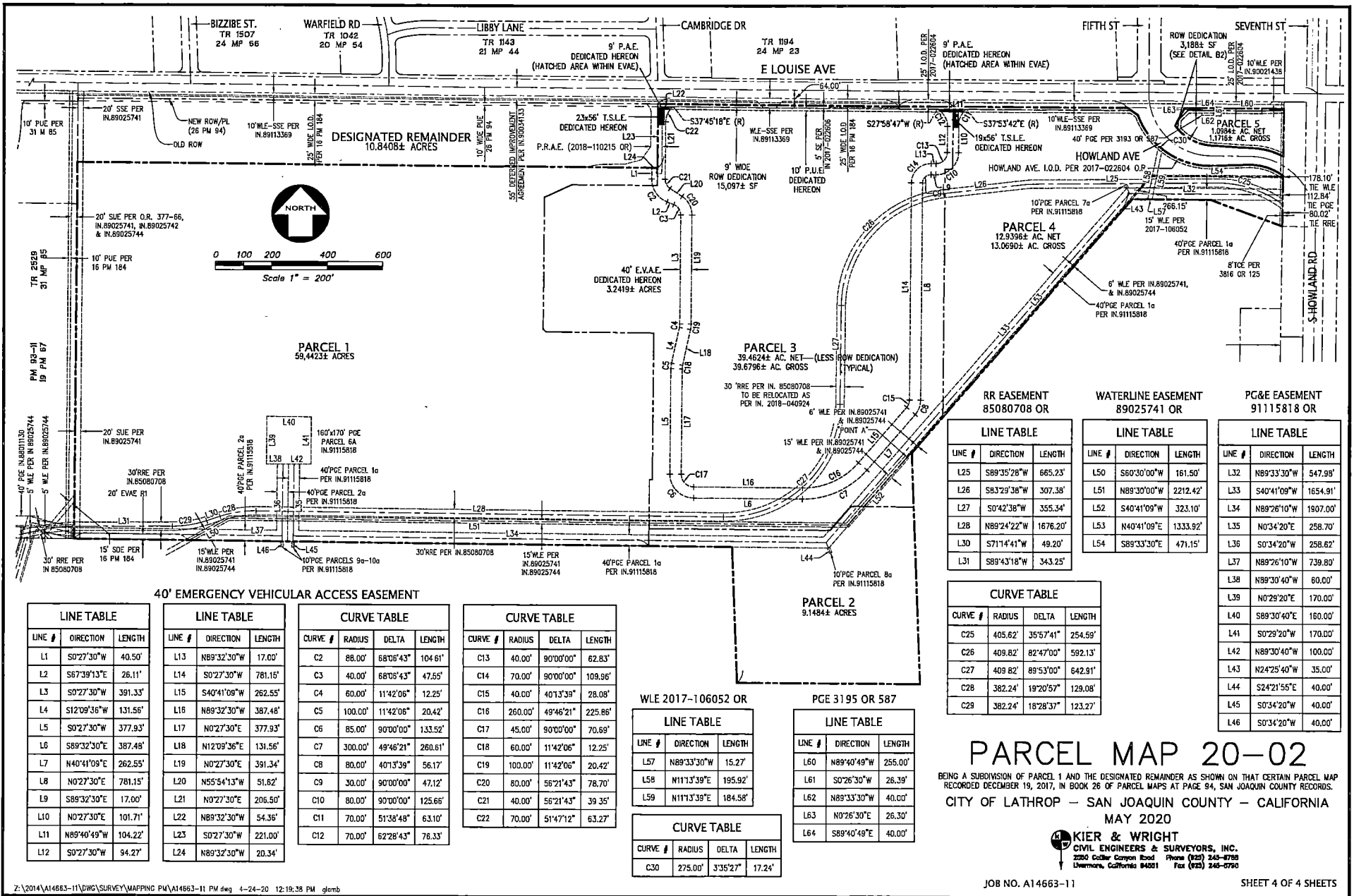
PRINTED NAME: \_\_\_\_\_

PRINCIPAL PLACE OF BUSINESS: \_\_\_\_\_

COMMISSION NUMBER: \_\_\_\_\_

COMMISSION EXPIRES: \_\_\_\_\_





**40' EMERGENCY VEHICULAR ACCESS EASEMENT**

LINE #	DIRECTION	LENGTH
L1	S02°27'30"W	40.50'
L2	S67°39'13"E	26.11'
L3	S02°27'30"W	391.33'
L4	S12°09'36"W	131.56'
L5	S02°27'30"W	377.93'
L6	S89°32'30"E	387.46'
L7	N40°41'09"E	262.55'
L8	N02°27'30"E	781.15'
L9	S89°32'30"E	17.00'
L10	N02°27'30"E	101.71'
L11	N89°40'49"W	104.22'
L12	S02°27'30"W	94.27'

LINE #	DIRECTION	LENGTH
L13	N89°32'30"W	17.00'
L14	S02°27'30"W	781.15'
L15	S40°41'09"W	262.55'
L16	N89°32'30"W	387.46'
L17	N02°27'30"E	377.93'
L18	N12°09'36"E	131.56'
L19	N02°27'30"E	391.34'
L20	N55°54'13"W	51.62'
L21	N02°27'30"E	206.50'
L22	N89°32'30"W	54.36'
L23	S02°27'30"W	221.00'
L24	N89°32'30"W	20.34'

CURVE #	RADIUS	DELTA	LENGTH
C2	88.00'	68°06'43"	104.61'
C3	40.00'	68°06'43"	47.55'
C4	60.00'	11°42'06"	12.25'
C5	100.00'	11°42'06"	20.42'
C6	85.00'	90°00'00"	133.52'
C7	300.00'	49°46'21"	260.61'
C8	80.00'	40°13'39"	56.17'
C9	30.00'	90°00'00"	47.12'
C10	80.00'	90°00'00"	125.66'
C11	70.00'	51°38'48"	63.10'
C12	70.00'	62°28'43"	76.33'

CURVE #	RADIUS	DELTA	LENGTH
C13	40.00'	90°00'00"	62.83'
C14	70.00'	90°00'00"	109.96'
C15	40.00'	40°13'39"	28.08'
C16	260.00'	49°46'21"	225.86'
C17	45.00'	90°00'00"	70.69'
C18	60.00'	11°42'06"	12.25'
C19	100.00'	11°42'06"	20.42'
C20	80.00'	56°21'43"	78.70'
C21	40.00'	56°21'43"	39.35'
C22	70.00'	51°47'12"	63.27'

WLE 2017-106052 OR

LINE #	DIRECTION	LENGTH
L57	N89°33'30"W	15.27'
L58	N11°13'39"E	195.92'
L59	N11°13'39"E	184.58'

CURVE #	RADIUS	DELTA	LENGTH
C30	275.00'	3°35'27"	17.24'

PGE 3195 OR 587

LINE #	DIRECTION	LENGTH
L60	N89°40'49"W	255.00'
L61	S0°26'30"W	26.39'
L62	N89°33'30"W	40.00'
L63	N0°26'30"E	26.30'
L64	S89°40'49"E	40.00'

**RR EASEMENT 85080708 OR**

LINE #	DIRECTION	LENGTH
L25	S89°35'28"W	665.23'
L26	S83°29'36"W	307.36'
L27	S0°42'38"W	355.34'
L28	N89°24'22"W	1676.20'
L30	S71°14'41"W	49.20'
L31	S89°43'18"W	343.25'

**WATERLINE EASEMENT 89025741 OR**

LINE #	DIRECTION	LENGTH
L50	S60°30'00"W	161.50'
L51	N89°30'00"W	2212.42'
L52	S40°41'09"W	323.10'
L53	N40°41'09"E	1333.92'
L54	S89°33'30"E	471.15'

**PG&E EASEMENT 91115818 OR**

LINE #	DIRECTION	LENGTH
L32	N89°33'30"W	547.98'
L33	S40°41'09"W	1654.91'
L34	N89°26'10"W	1907.00'
L35	N0°34'20"E	258.70'
L36	S0°34'20"W	258.62'
L37	N89°26'10"W	739.60'
L38	N89°30'40"W	60.00'
L39	N0°29'20"E	170.00'
L40	S89°30'40"E	150.00'
L41	S0°29'20"W	170.00'
L42	N89°30'40"W	100.00'
L43	N24°25'40"W	35.00'
L44	S24°21'55"E	40.00'
L45	S0°34'20"W	40.00'
L46	S0°34'20"W	40.00'

**CURVE TABLE**

CURVE #	RADIUS	DELTA	LENGTH
C25	405.62'	35°57'41"	254.59'
C26	409.62'	82°47'00"	592.13'
C27	409.62'	89°53'00"	642.91'
C28	382.24'	19°20'57"	129.08'
C29	382.24'	18°28'37"	123.27'

# PARCEL MAP 20-02

BEING A SUBDIVISION OF PARCEL 1 AND THE DESIGNATED REMAINDER AS SHOWN ON THAT CERTAIN PARCEL MAP RECORDED DECEMBER 19, 2017, IN BOOK 26 OF PARCEL MAPS AT PAGE 94, SAN JOAQUIN COUNTY RECORDS.  
CITY OF LATHROP - SAN JOAQUIN COUNTY - CALIFORNIA  
MAY 2020



**CITY OF LATHROP**  
**SUBDIVISION IMPROVEMENT AGREEMENT**  
**ASP/RWM PROPERTIES / R&B LOUISE, LLC / R&B DELTA, LLC**  
**NORTH CROSSROADS BUSINESS CENTER**  
**PARCEL MAP 20-02**

This Subdivision Improvement Agreement (“*Agreement*”) is made and entered into this eleventh (11<sup>th</sup>) day of May, 2020 (“*Effective Date*”), by and between the CITY OF LATHROP, a municipal corporation of the State of California (“*CITY*”) and ASP/RWM Properties, LLC, R&B Louise, LLC and R&B Delta, LLC, as tenants-in-common (collectively, “*SUBDIVIDER*”).

**RECITALS**

A. On May 30, 2018, City of Lathrop Planning Commission adopted Resolution #18-13 and Resolution #18-14 adopting the Initial Study/Mitigated Negative Declaration and approving Site Plan Review No. SPR-18-17 for the North Crossroads Business Center Project, respectively. On June 11, 2018, City of Lathrop City Council adopted Resolution #18-4413 approving Tentative Parcel Map No. TPM-18-18 (“*TPM*”) for the North Crossroads Business Center Project. The plans and Consolidated Conditions of Approval associated with TPM-18-18 were approved on May 30, 2018. Parcel Map 20-02, containing five (5) commercial/industrial lots, was approved by CITY on May 11, 2020 (“*Parcel Map*”) and is in substantial compliance with the TPM. The Parcel Map is attached hereto as Exhibit A to this Agreement and hereby incorporated herein by this reference.

B. SUBDIVIDER is the record owner of all five (5) lots shown on the Parcel Map, and therefore is responsible for compliance with all conditions of approval attached to the TPM, including, without limitation, the construction of specified Improvements (as

that term is defined below) as described more fully herein.

C. Pursuant to Division 2 of Title 7 of the Government Code of the State of California and CITY's Subdivision Regulations (City of Lathrop, Code of Ordinances, Chapter 16), SUBDIVIDER is required to make certain offers of dedication and to construct certain Improvements required under the Conditions of Approval on the TPM (collectively, "**COAs**") and as identified in the Parcel Map and this Agreement. For purposes of this Agreement, the term "**Improvements**" shall collectively mean all public improvements required under the COAs and as expressly set forth in this Agreement that will provide services and access to lots within the Parcel Map and the term "**Improvement Plans**" shall collectively refer to the Improvement Plans approved by CITY.

D. SUBDIVIDER is not intending to construct most of the required offsite Improvements associated with the TPM. Rather, the Improvements will be constructed by CITY as part of an existing Capital Improvement Project ("**CIP Improvements**"), and SUBDIVIDER will deposit or cause to be deposited to CITY, in escrow and prior to SUBDIVIDER's recordation of the Parcel Map, cash in the amount of \$1,403,887.80 as payment for such offsite Improvements.

E. SUBDIVIDER will obtain or cause to be obtained an Encroachment Permit ("**EP**") to guarantee and construct certain improvements that will not be constructed with the CIP ("**EP Improvements**"), including but not limited to fire hydrants, water laterals, water meters and backflow preventers, and the truck parking landscape screening. SUBDIVIDER shall deposit or cause to be deposited to CITY, in escrow and prior to SUBDIVIDER's recordation of the Parcel Map, cash in the amount of \$172,983.25 as performance security to guarantee the EP Improvements. Upon completion and acceptance

of the EP Improvements, the performance security will be returned to the SUBDIVIDER. The EP Improvements shall be completed prior to the start of the CITY CIP Improvements and the EP expiration date will reflect this condition. If SUBDIVIDER does not construct the EP Improvements prior to the start of the construction of the CIP Improvements (estimated to commence on \_\_\_\_\_, 20\_\_), CITY intends to construct the EP Improvements and use the guarantee posted by SUBDIVIDER as a condition of the EP to reimburse City for the cost of CITY constructing the EP Improvements.

F. SUBDIVIDER will enter into a Deferred Frontage Improvement Agreement (DFIA 20-04) with CITY to guarantee and defer certain improvements that will not be constructed under the scope of the CIP and EP including but not limited to median and shoulder landscaping (DFIA Improvements). CITY intends on requiring construction of the DFIA Improvements by SUBDIVIDER to begin within thirty (30) days of the CITY completion of the CIP Improvements.

G. SUBDIVIDER will enter into a Deferred Frontage Improvement Agreement (DFIA 20-05) with CITY providing for SUBDIVIDER (or the then-current owner(s) of the applicable Subdivider Property (as defined below)) to pay its share of the reasonable cost of undergrounding the overhead power and telephone utility lines on the north side of E. Louise Avenue immediately across from SUBDIVIDER Property in the future when these overhead lines are placed underground.

H. SUBDIVIDER will convey to the City Parcel 5, as shown in Exhibit A, to CITY within thirty (30) days following recordation of Parcel Map.

I. CITY has agreed that improvements for Howland Road and surrounding the frontage of Parcel 5 are an unnecessary burden to SUBDIVIDER and do not benefit the



project with regards to access and infrastructure necessary to support the project and therefore will not require the construction or guarantee of these improvements with the Parcel Map.

### **AGREEMENT**

NOW, THEREFORE, in consideration of CITY'S pending (1) approval of the Parcel Map on May 11, 2020 and subsequent recordation; (2) receipt of the cash deposit for the CIP Improvements, and construction of offsite Improvements; (3) issuance of an encroachment permit for EP Improvements; (4) receipt of two fully executed and recorded DFIA's, DFIA 20-04 & DFIA 20-05; and (5) approval and acceptance of the EP Improvements and DFIA Improvements, to be constructed by SUBDIVIDER, and in consideration of SUBDIVIDER's construction of EP Improvements and DFIA Improvements in accordance with the terms of this Agreement and all applicable laws and regulations, the parties hereto mutually covenant and agree as follows:

1. SUBDIVIDER shall construct or cause to be constructed at its sole cost and expense the EP Improvements and DFIA Improvements as specified and in accordance with the provisions of this Agreement. All EP Improvements and DFIA Improvements shall be constructed to the reasonable satisfaction and approval of the City Engineer, in a good and workmanlike manner in accordance with the approved Improvement Plans and specifications, the applicable improvement standards and specifications of the CITY'S Department of Public Works, the applicable Ordinances of the City Lathrop, and the applicable provisions of the California Subdivision Map Act.

2. SUBDIVIDER shall complete and City shall have accepted all EP Improvements and DFIA Improvements by December 31, 2021, subject to any extension(s)

provided for herein and as otherwise expressly provided for in this Agreement. Provided, however, that said deadline shall be extended for twenty-four (24) months upon SUBDIVIDER's request to CITY, supported by reasonable documentation that it is using commercially reasonable efforts to complete same and have said Improvements accepted by CITY.

3. The parties acknowledge and agree that SUBDIVIDER is removing any existing well sites as may be required in accordance with applicable laws and regulations, including those required by the County Environmental Health Department. The parties further acknowledge and agree that SUBDIVIDER is conveying any and all groundwater rights associated therewith to CITY via the Parcel Map.

4. SUBDIVIDER shall deposit or cause to be deposited to CITY, in escrow and prior to SUBDIVIDER's recordation of the Parcel Map, cash for CIP Improvements in the amount of \$1,403,887.80 (the "*CIP Escrow*") as detailed in Exhibit B, attached hereto and incorporated herein, which amount shall only be used for the offsite Improvements referenced in this Agreement.

5. SUBDIVIDER shall obtain or cause to be obtained an Encroachment Permit to guarantee and construct EP Improvements that will not be constructed as part of the CIP Improvements, including but not limited to fire hydrants, water laterals, water meters and backflow preventers, and the truck parking landscape screening. SUBDIVIDER shall deposit or cause to be deposited to CITY, in escrow and prior to SUBDIVIDER's recordation of the Parcel Map, cash in the amount of \$172,983.25 as performance security to guarantee the EP Improvements. Upon completion and acceptance of the EP Improvements, the performance security will be returned to the SUBDIVIDER. The EP

Improvements shall be completed prior to the start of the CIP and the EP expiration date will reflect this condition. If SUBDIVIDER does not construct the EP Improvements prior to the start of the construction of the CIP Improvements fronting the SUBDIVIDER Parcel, CITY intends to (following notice to SUBDIVIDER) construct the EP Improvements and use the guarantee posted by SUBDIVIDER as a condition of the EP to reimburse City for the cost of constructing the EP Improvements.

6. SUBDIVIDER will enter into a Deferred Frontage Improvement Agreement (DFIA 20-04) with CITY to guarantee and defer certain improvements that will not be constructed under the scope of the CIP and EP including but not limited to median and shoulder landscaping (DFIA Improvements). CITY intends to require construction of the DFIA Improvements by SUBDIVIDER within thirty (30) days of the CITY acceptance of the CIP Improvements. SUBDIVIDER will enter into a second Deferred Frontage Improvement Agreement (DFIA 20-05) as specified in Section 13 of this Agreement.

7. SUBDIVIDER shall not be required to furnish and deliver a Maintenance and Warranty security to CITY under this Agreement as the CIP Improvements, the EP Improvements, and DFIA Improvements do not require this security.

8. SUBDIVIDER shall, prior to Building Permit issuance for each building, prepare or cause to be prepared a potable water supply and distribution plan to determine the necessary potable water infrastructure for that development including the potable distribution lines, meter locations and fire lines. The plan shall include all necessary private easements and maintenance agreements for all lines that cross another parcel.

9. SUBDIVIDER shall purchase and allocate or cause to be allocated to the proposed parcels adequate potable water to serve the subdivision prior to approval of the

Parcel Map.

10. SUBDIVIDER shall, prior to Building Permit issuance, prepare, for review and approval by Public Works, a wastewater collection system plan to determine the necessary wastewater infrastructure for that development including the collection and conveyance system and all private pump stations on this site and on the site to the south. The plan shall include all necessary private easements and maintenance agreements for all lines that cross another parcel.

11. SUBDIVIDER shall deposit cash to CITY for the purchase of wastewater collection, treatment, storage and disposal capacity in the amount of \$1,395,203.25  $\{(52.402 \text{ acres}) \times (355 \text{ gallons per day per acre}) \times (\$75 \text{ per gallon per day})\}$  for Parcels 3 and 4 prior to recordation of the Parcel Map. SUBDIVIDER shall purchase wastewater collection, treatment, storage and disposal capacity for Parcel 1 from CITY prior to the connection to CITY system. SUBDIVIDER shall allocate to the proposed parcels the purchased wastewater collection, treatment, storage and disposal capacity to serve the subdivision.

12. Prior to parcel map approval, the SUBDIVIDER shall prepare, for review and approval by Public Works, a storm drain plan to determine the necessary storm drain infrastructure for that development, including collection and conveyance systems, storage basins and connection to the Crossroads Storm Drainage System. SUBDIVIDER shall pay the required connection fee to that storm drainage system prior to making connection for any existing Parcels and prior to issuance of a building permit for any new Parcels. The plan shall include all necessary private easements and maintenance agreements for all lines that cross another parcel. The on-site storm drainage detention basin shall be private.

13. SUBDIVIDER is responsible to pay one half the cost of undergrounding all overhead electric, phone and cable TV lines along either side of Louise along the project frontage. This requirement can be funded prior to final map approval, or can be deferred with a Deferred Frontage Improvement Agreement prior to final map approval to provide for payment of their (or their successors' and assigns') share of this cost in the future when these overhead lines are placed underground.

14. Prior to issuance of the first Building Permit, SUBDIVIDER shall execute a maintenance agreement for all onsite storm water quality treatment devices, swales and/or ponds.

15. Neither CITY nor any of its officers, employees or agents shall be liable to SUBDIVIDER, and/or SUBDIVIDER'S agents, contractors or subcontractors for any error or omission arising out of or in connection with any work to be performed under this Agreement on property other than the parcels of the subdivision owned by SUBDIVIDER (and its successors and assigns) (the "*Subdivider Property*").

16. Neither CITY nor any of its officers, employees or agents shall be liable to SUBDIVIDER or to any person, entity, or organization, for any injury or damage that may result to any person or property from the subdivision of all or any part of the land covered by this Agreement.

17. SUBDIVIDER hereby agrees to, and shall hold CITY, its elective and appointive boards, commissions, officers, agents and employees (collectively, the "*Indemnitees*"), harmless from any liability for damage or claims which arises from SUBDIVIDER and/or SUBDIVIDER'S contractors, subcontractors, agents, lessees, or employees' operations under this Agreement, whether such operations be by

SUBDIVIDER or by any of SUBDIVIDER'S contractors, subcontractors, lessees, or by any one or more persons directly or indirectly employed by, or acting as agent for, SUBDIVIDER or any of SUBDIVIDER'S contractors or subcontractors. SUBDIVIDER shall, at its own cost and expense, defend any and all actions, suits, or legal proceedings of any type that maybe brought or instituted against CITY and the Indemnitees on any claim or demand, of any nature whatsoever, and pay or satisfy any judgment that may be rendered against CITY and the Indemnitees in any such action, suit or legal proceedings, resulting from or alleged to have resulted from SUBDIVIDER performance or non-performance of its duties and obligations under this Agreement, or from the negligent act or omission of itself, its agents, contractors, representatives, servants or employees, except in the event and to the extent said claims resulted from the gross negligence or willful misconduct of CITY and/or the Indemnitees. The promises and agreement to indemnify and hold harmless set forth in this Paragraph 17 are not conditioned or dependent on whether or not any indemnity has prepared, supplied or approved any plan or specification in connection with this work or subdivision, whether or not any such indemnity has insurance or indemnification covering any of these matters. CITY does not, and shall not, waive any rights against SUBDIVIDER which it may have by reason of the aforesaid hold harmless agreement, because of the acceptance by CITY of any deposit with CITY by SUBDIVIDER. The aforesaid hold harmless agreement by SUBDIVIDER shall apply to all damages and claims for damages of every kind suffered, or alleged to have been suffered, by reason of any of the aforesaid operations referred to in this Paragraph 17, regardless of whether or not CITY has prepared, supplied or approved of, plans and/or specifications for the subdivision.

18. Neither SUBDIVIDER nor any of SUBDIVIDER'S agents, contractors, lessees or subcontractors are, or shall be, considered to be agents of CITY in connection with the performance of SUBDIVIDER'S obligations under this Agreement. Neither CITY nor any of CITY's agents, contractors, lessees or subcontractors are, or shall be, considered to be agents of SUBDIVIDER in connection with the performance of any work contemplated under this Agreement.

19. SUBDIVIDER shall not assign this Agreement without the prior written consent of CITY, which such consent shall not be unreasonably delayed, conditioned or denied, except that this Agreement may be assigned to any purchaser or transferee of an interest in all or a part of the SUBDIVIDER Property without the need for CITY consent. If such consent is given, or not required, the terms of this Agreement shall apply to and bind the heirs, successors, executors, administrators and assignees of SUBDIVIDER, and any heirs, successors, executors, administrators and assignees of SUBDIVIDER shall be jointly and severally liable hereunder unless SUBDIVIDER and its assignee have executed an Assignment and Assumption Agreement in which case SUBDIVIDER shall be released from all of its obligations hereunder so assigned to the assignee. Notwithstanding anything to the contrary in the foregoing, SUBDIVIDER shall be permitted to assign its rights and obligations under this Agreement to any "*Affiliate*"; which is defined to mean an entity or person that is directly or indirectly Controlling, Controlled by, or under common Control of SUBDIVIDER. The term "*Control*" as used herein, shall mean the power to direct the day-to-day management of SUBDIVIDER, and it shall be a presumption that Control with respect to a corporation or limited liability company is the right to exercise, directly or indirectly, more than fifty percent (50%) of the voting rights attributable to the Controlled

corporation or limited liability company, and, with respect to any individual, partnership, trust, other entity or association, Control is the possession, indirectly or directly, of the power to direct or cause the direction of the day-to-day management of the controlled entity. Notwithstanding anything contained herein to the contrary, SUBDIVIDER may assign certain duties and obligations under this Agreement to Prologis, L.P., a Delaware limited partnership ("**Prologis**"), the intended ground lessee of the future parcel 3 under Parcel Map 20-02 without the CITY's consent; provided, however, that Prologis expressly assumes in writing those duties and responsibilities assigned hereunder for the benefit of the CITY under an Assignment and Assumption Agreement and SUBDIVIDER provides a copy thereof to the City. SUBDIVIDER shall notify CITY upon any assignment of obligations or duties to Prologis.

20. Each party shall, at its expense, require or cause to require all its contractors and sub-contractors to obtain and maintain all necessary permits and licenses for construction of the DIFA Improvements and EP Improvements, and commercially reasonable insurance. Prior to the commencement of said Improvement construction, the General Contractor/subcontractors shall obtain a City of Lathrop Business License. SUBDIVIDER and CITY, as applicable, shall comply with all applicable local, state and federal laws applicable to this Agreement whether or not said laws are expressly stated in this Agreement.

21. This Agreement and the Exhibits attached hereto comprise the entire understanding and agreement between the parties regarding the subject matter of this Agreement. The Recitals are incorporated into this Agreement by this reference, as if fully set forth herein.



22. Notices. For purposes of this Agreement, “*notice*” means any notice, demand, request, or other communication to be provided under this Agreement. All notices shall be in writing and shall be sent to the below addresses or at such other addresses as either party may later specify for that purpose. All notices required or permitted under this Agreement shall be personally delivered or sent by registered or certified mail, return receipt requested, postage prepaid, or by a nationally recognized overnight courier, such as FedEx or UPS, with charges prepaid for next business day delivery, addressed to the parties as follows:

If to City: City of Lathrop  
390 Towne Centre Drive  
Lathrop, CA 95330  
Attn: City Clerk  
Email: [website\\_cco@ci.lathrop.ca.us](mailto:website_cco@ci.lathrop.ca.us)

With a copy: City of Lathrop  
390 Towne Centre Drive  
Lathrop, CA 95330  
Attn: Salvador Navarrete, City Attorney  
Email: [website\\_cao@ci.lathrop.ca.us](mailto:website_cao@ci.lathrop.ca.us)

If to SUBDIVIDER: Reynolds & Brown  
1200 Concord Avenue, Suite 200  
Concord, CA 94520  
Attn: Dana Parry  
Email: [danap@reynoldsandbrown.com](mailto:danap@reynoldsandbrown.com)

The date of any notice shall be the date of receipt, provided that, rejection or other refusal to accept or the inability to deliver because of a change in address of which no notice was given shall be deemed to constitute receipt of the notice sent. Either party may change its address for notice by giving notice to the other party in accordance with this Paragraph 22.

23. The following miscellaneous provisions are applicable to this Agreement:

a. Controlling Law. The parties agree that this Agreement shall be governed and construed by and in accordance with the laws of the State of California.

b. Definitions. The definitions and terms are as defined in this Agreement.

c. Exhibits. The following exhibits are attached to this Agreement and are incorporated to this Agreement by this reference:

EXHIBIT A: DRAFT PARCEL MAP No. 20-02

EXHIBIT B: ENGINEERS OPINION OF PROBABLE COST,  
KIER & WRIGHT CIVIL ENGINEERS &  
SURVEYORS, 5/1/2020, TOTAL PROJECT  
MINUS ENCROACHMENT PERMIT, DFIA-20-  
04 & DFIA-20-05

d. Force Majeure. Neither party shall be deemed to be in default on account of any delay or failure to perform its obligations under this Agreement, and all performance and other dates specified in this Agreement shall be extended, where delays are due to: war; insurrection; strikes and labor disputes; lockouts; riots; floods; earthquakes; fires; casualties; acts of God; acts of the public enemy; acts of terrorism; epidemics and related governmental orders and restrictions; quarantine restrictions; freight embargoes; materials shortages and/or inability to obtain materials due to tariffs, governmental restrictions or priority; unusually severe weather; acts or omissions of the other party; or acts or failures to act of any public or governmental agency or entity (except that acts or failures to act of CITY shall not excuse performance by CITY); or moratorium (each a "*Force Majeure Delay*"). An extension of time for any such cause shall be for the period of the enforced delay and shall commence to run from the time of the commencement of the cause, if Notice (as that term is defined above) by the party claiming such extension is sent to the other party within sixty (60) days of the commencement of the cause.

e. Headings. The paragraph headings are not a part of this Agreement and shall have no effect upon the construction or interpretation of any part of this Agreement.

f. Incorporation of Documents. All documents referred to herein and all documents which may, from time to time, be referred to in any duly executed amendment hereto are by such reference incorporated herein and shall be deemed to be part of this Agreement.

g. Modification of Agreement. This Agreement shall not be modified or be binding upon the parties unless such modification is agreed to in writing and signed by the parties.

h. Severability. If a court of competent jurisdiction finds or rules that any provision of this Agreement is void or unenforceable, the provisions of this Agreement not so affected shall remain in full force and effect.

i. Successors and Assigns. Except as otherwise expressly provided herein, the provisions of this Agreement shall inure to the benefit of, and shall apply to and bind, the successors and assigns of the parties.

j. Time of the Essence. Time is of the essence of this Agreement and each of its provisions (subject to Subparagraph 23(d)). In the calculation of time hereunder, the time in which an act is to be performed shall be computed by excluding the first day and including the last.

If the time in which an act is to be performed falls on a Saturday, Sunday or any day observed as a legal holiday by CITY, the time for performance shall be extended to the following business day.

k. Venue. In the event either party brings that suit hereunder, the parties agree that trial of such action shall be vested exclusively in the state courts of California in the County of San Joaquin. The party in whose favor judgment is entered shall be awarded reasonable attorneys' fees.

[SIGNATURES ON FOLLOWING PAGES]

IN WITNESS WHEREOF, the parties hereto have executed this Agreement on this \_\_\_\_  
day of \_\_\_\_\_, 2020.

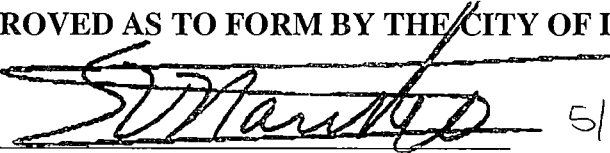
**CITY OF LATHROP,**  
A California municipal corporation of the  
State of California

By: \_\_\_\_\_  
Stephen J. Salvatore                      Date  
City Manager

**ATTEST:**  
City Clerk of and for the City  
of Lathrop, State of California

By: \_\_\_\_\_  
Teresa Vargas                              Date  
City Clerk

**APPROVED AS TO FORM BY THE CITY OF LATHROP CITY ATTORNEY**

By:  \_\_\_\_\_ 5/5/2020  
Salvador Navarrete                      Date  
City Attorney

**SUBDIVIDER**

ASP/RWM Properties  
a California limited liability company

By: Jones Partners, LLC, a California limited liability company

By: \_\_\_\_\_  
                    Manager

R&B Louise, LLC  
a California limited liability company

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

R&B Delta, LLC  
a California limited liability company

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

**EXHIBIT A**

**DRAFT PARCEL MAP NO 20-02**

**OWNER'S STATEMENT:**

WE, THE UNDERSIGNED, HEREBY STATE THAT WE ARE ALL THE PARTIES HAVING RECORD TITLE INTEREST IN THE LANDS SUBDIVIDED AND SHOWN ON THIS PARCEL MAP AND WE HEREBY CONSENT TO THE PREPARATION AND FILING OF THIS PARCEL MAP IN THE OFFICE OF THE COUNTY RECORDER OF SAN JOAQUIN COUNTY, CALIFORNIA.

THE REAL PROPERTY DESCRIBED BELOW IS DEDICATED AS AN EASEMENT FOR PUBLIC PURPOSES:

AN EASEMENT FOR PUBLIC ROADWAY AND UTILITY PURPOSES UNDER, UPON AND OVER THOSE STRIPS OF LAND DESIGNATED "RWD" AS DELINEATED AND DESIGNATED WITHIN THE HEAVY LINES OF THIS MAP; AND THAT SAID STRIPS ARE TO BE KEPT OPEN AND FREE FROM BUILDINGS OR STRUCTURES OF ANY KIND EXCEPT APPLICABLE UTILITY STRUCTURES AND APPURTENANCES, LANDSCAPING, IRRIGATION SYSTEMS AND APPURTENANCES AND LAWFUL FENCES.

AN EASEMENT FOR PUBLIC SERVICES AND UTILITY PURPOSES UNDER, UPON AND OVER THOSE STRIPS OF LAND DESIGNATED PUBLIC UTILITY EASEMENT "P.U.E." AS DELINEATED AND DESIGNATED WITHIN THE HEAVY LINES OF THIS MAP; AND THAT SAID STRIPS ARE TO BE KEPT OPEN AND FREE FROM BUILDINGS OR STRUCTURES OF ANY KIND EXCEPT APPLICABLE UTILITY STRUCTURES AND APPURTENANCES, LANDSCAPING, IRRIGATION SYSTEMS AND APPURTENANCES AND LAWFUL FENCES.

AN EASEMENT FOR PEDESTRIAN ACCESS PURPOSES UNDER, UPON AND OVER THOSE STRIPS OF LAND DESIGNATED PEDESTRIAN ACCESS EASEMENT "P.A.E." AS DELINEATED AND DESIGNATED WITHIN THE HEAVY LINES OF THIS MAP; AND THAT SAID STRIPS ARE TO BE KEPT OPEN AND FREE FROM BUILDINGS OR STRUCTURES OF ANY KIND EXCEPT APPLICABLE UTILITY STRUCTURES AND APPURTENANCES, LANDSCAPING, IRRIGATION SYSTEMS AND APPURTENANCES AND LAWFUL FENCES.

AN EASEMENT FOR TRAFFIC SIGNAL LOOP PURPOSES UNDER, UPON AND OVER THOSE STRIPS OF LAND DESIGNATED TRAFFIC SIGNAL LOOP EASEMENT "T.S.L.E." AS DELINEATED AND DESIGNATED WITHIN THE HEAVY LINES OF THIS MAP; AND THAT SAID STRIPS ARE TO BE KEPT OPEN AND FREE FROM BUILDINGS OR STRUCTURES OF ANY KIND EXCEPT APPLICABLE UTILITY STRUCTURES AND APPURTENANCES, LANDSCAPING, IRRIGATION SYSTEMS AND APPURTENANCES AND LAWFUL FENCES.

AN EASEMENT WITH THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF EMERGENCY VEHICULAR ACCESS UNDER, UPON AND OVER THE STRIP OF LAND DESIGNATED AS "EVAE" (EMERGENCY VEHICULAR ACCESS EASEMENT), AS DELINEATED AND DESIGNATED WITHIN THE HEAVY LINES OF THIS MAP; AND THAT SAID AREA OR STRIP IS TO BE KEPT OPEN AND FREE FROM BUILDINGS OR STRUCTURES OF ANY KIND EXCEPT APPLICABLE UTILITY STRUCTURES AND APPURTENANCES, LANDSCAPING, IRRIGATION SYSTEMS AND APPURTENANCES AND LAWFUL FENCES.

TO INSURE MUNICIPAL WATER SERVICE TO ALL PARCELS, ALL WATER RIGHTS ARE DEDICATED TO THE CITY OF LATHROP WITHIN THE EXTERIOR BOUNDARY LINE OF THIS MAP.

THIS MAP SHOWS OR NOTES ALL PLOTTABLE EASEMENTS, EXISTING OR OF RECORD, WITHIN THE BOUNDARY LINES OF THE HEREIN EMBODIED MAP.

R & B DELTA, LLC,  
A CALIFORNIA LIMITED LIABILITY COMPANY;

BY: DANA G. PARRY, PRESIDENT AND MANAGER

R & B LOUISE, LLC,  
A CALIFORNIA LIMITED LIABILITY COMPANY;

BY: DANA G. PARRY, PRESIDENT AND MANAGER

ASP/RHM PROPERTIES, LLC,  
A CALIFORNIA LIMITED LIABILITY COMPANY, WHICH ACQUIRED TITLE AS  
ASP/RHM PROPERTIES, A CALIFORNIA GENERAL PARTNERSHIP;

BY: JONES PARTNERS, LLC,  
A CALIFORNIA LIMITED LIABILITY COMPANY, MANAGER

BY: RANDALL S. JONES, MANAGING MEMBER

BY: CAREY JONES ANDRE, MANAGING MEMBER

**BENEFICIARY STATEMENT:**

THE UNDERSIGNED, WELLS FARGO BANK A NATIONAL ASSOCIATION, AS BENEFICIARY FOR THAT CERTAIN CERTAIN DEED OF TRUST RECORDED JULY 22, 2015 AS INSTRUMENT NO. 2015-087405, SAID DEED OF TRUST HAVING BEEN MODIFIED BY THAT CERTAIN MEMORANDUM OF MODIFICATION AGREEMENT AMENDING SECURITY INSTRUMENT, RECORDED NOVEMBER 9, 2016 AS INSTRUMENT NO. 2016-138735, OFFICIAL RECORDS OF SAN JOAQUIN, DO HEREBY CONSENT TO THE PREPARATION AND RECORDATION OF THE HEREIN EMBODIED PARCEL, AND JOINS IN ALL DEDICATIONS THEREON.

IN WITNESS WHEREOF, THE UNDERSIGNED HAS EXECUTED THIS STATEMENT ON \_\_\_\_\_, 2020, BY ITS DULY AUTHORIZED OFFICERS AS BENEFICIARY:

WELLS FARGO BANK, A NATIONAL ASSOCIATION, AS BENEFICIARY.

BY: \_\_\_\_\_

NAME: \_\_\_\_\_

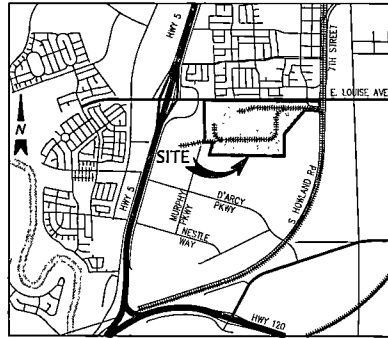
TITLE: \_\_\_\_\_

**PARCEL MAP 20-02**

BEING A SUBDIVISION OF PARCEL 1 AND THE DESIGNATED REMAINDER AS SHOWN ON THAT CERTAIN PARCEL MAP RECORDED DECEMBER 19, 2017, IN BOOK 26 OF PARCEL MAPS AT PAGE 94, SAN JOAQUIN COUNTY RECORDS.

CITY OF LATHROP - SAN JOAQUIN COUNTY - CALIFORNIA  
MAY 2020

**KIER & WRIGHT**  
CIVIL ENGINEERS & SURVEYORS, INC.  
2280 Collier Canyon Road Phone (925) 245-0763  
Livermore, California 94551 Fax (925) 245-0799



VICINITY MAP

NOT TO SCALE

**BENEFICIARY STATEMENT:**

THE UNDERSIGNED, WELLS FARGO BANK A NATIONAL ASSOCIATION, AS BENEFICIARY FOR THAT CERTAIN CERTAIN DEED OF TRUST RECORDED \_\_\_\_\_ AS INSTRUMENT NO. \_\_\_\_\_, OFFICIAL RECORDS OF SAN JOAQUIN, DO HEREBY CONSENT TO THE PREPARATION AND RECORDATION OF THE HEREIN EMBODIED PARCEL, AND JOINS IN ALL DEDICATIONS THEREON.

IN WITNESS WHEREOF, THE UNDERSIGNED HAS EXECUTED THIS STATEMENT ON \_\_\_\_\_, 2020, BY ITS DULY AUTHORIZED OFFICERS AS BENEFICIARY:

WELLS FARGO BANK, A NATIONAL ASSOCIATION, AS BENEFICIARY.

BY: \_\_\_\_\_

NAME: \_\_\_\_\_

TITLE: \_\_\_\_\_

**SURVEYOR'S STATEMENT**

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF REYNOLDS & BROWN IN AUGUST, 2019. I HEREBY STATE THAT THIS PARCEL MAP SUBSTANTIALLY CONFORMS TO THE APPROVED OR CONDITIONALLY APPROVED TENTATIVE MAP, IF ANY. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED, OR WILL OCCUPY THE POSITIONS INDICATED WITHIN 6 MONTHS FROM THE FILING DATE OF THIS MAP, AND THAT THE MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

GARY K. LAMB, L.S. 6627



**NOTE:**

APPROVAL OF THIS FINAL PARCEL MAP IS SUBJECT TO THE NORTH CROSSROADS BUSINESS PARK TENTATIVE PARCEL MAP WAIVER (APPLICATION NUMBER TPM-18-18.) CONDITIONS OF APPROVAL THAT WAS ADOPTED BY CITY OF LATHROP COMMUNITY DEVELOPMENT DEPARTMENT ON MAY 30, 2018.

**NOTE:**

FUTURE DEVELOPMENT OF PARCELS 1-5 SHALL BE CONSISTENT WITH APPLICABLE SECTIONS OF THE LATHROP MUNICIPAL CODE.

**NOTE:**

THE DESIGNATED REMAINDER PARCEL SHALL BE SUBJECT TO THE PROVISIONS OF THE SUBDIVISION MAP ACT, GOVERNMENT CODE SECTION 66424.6.

**CITY ENGINEER'S STATEMENT**

I, GLEN GEBHARDT, HEREBY STATE THAT I HAVE EXAMINED THIS PARCEL MAP AND THAT THE SUBDIVISION SHOWN HEREON IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP, IF REQUIRED, AND ANY APPROVED ALTERATIONS THEREOF. I FURTHER STATE THAT THIS PARCEL MAP COMPLIES WITH ALL THE PROVISIONS OF TITLES 16, CHAPTER 16.16 OF THE LATHROP MUNICIPAL CODE OF ORDINANCES, AND ANY AMENDMENTS THERETO, APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP, IF REQUIRED.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

GLENN GEBHARDT, R.C.E. 34681  
CITY ENGINEER



**CITY SURVEYOR'S STATEMENT**

I, DARRYL ALEXANDER, HEREBY STATE THAT I HAVE EXAMINED THIS PARCEL MAP AND THAT THE SUBDIVISION SHOWN HEREON COMPLIES WITH ALL THE PROVISIONS OF CHAPTER 2 OF THE CALIFORNIA SUBDIVISION MAP ACT, AS AMENDED, AND THAT THIS MAP IS TECHNICALLY CORRECT.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

DARRYL ALEXANDER, PLS 5071



**COMMUNITY DEVELOPMENT DIRECTOR'S STATEMENT**

I, MARK WEISSNER, HEREBY STATE THAT LATHROP PLANNING DIVISION HAS WAIVED THE REQUIREMENT FOR A TENTATIVE MAP IN ACCORDANCE WITH SECTION 159.098 OF THE LATHROP MUNICIPAL CODE OF ORDINANCES.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

MARK WEISSNER, COMMUNITY  
DEVELOPMENT DIRECTOR

**CITY CLERK'S STATEMENT**

I, TERESA VARGAS, CITY CLERK AND CLERK OF THE CITY COUNCIL OF THE CITY OF LATHROP, CALIFORNIA, DO HEREBY STATE THAT THE HEREIN EMBODIED MAP ENTITLED "PARCEL MAP 20-02" CONSISTING OF FOUR (4) SHEETS, WAS PRESENTED TO SAID CITY COUNCIL, AS PROVIDED BY LAW, AT A REGULAR MEETING THEREOF, HELD ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020 AND THAT SAID CITY COUNCIL DID THEREUPON BY RESOLUTION NO. \_\_\_\_\_ DULY PASS AND ADOPT AT SAID MEETING, APPROVE SAID MAP, AND AUTHORIZE ITS RECORDATION AND DO HEREBY ACCEPT ON BEHALF OF THE CITY OF LATHROP, FOR PUBLIC USE, THE DEDICATION OF ALL EASEMENTS, WATER RIGHTS, AND ACCEPT THE OFFER OF DEDICATION OF ALL STREETS, AVENUES, ROADS AND WAYS, AS SHOWN ON SAID MAP SUBJECT TO IMPROVEMENTS BEING COMPLETED, IN ACCORDANCE WITH CHAPTER 16, TITLE 16.16 OF THE CITY OF LATHROP MUNICIPAL CODE.

I FURTHER STATE THAT ALL BONDS AS REQUIRED BY LAW TO ACCOMPANY THE WITHIN MAP HAVE BEEN APPROVED BY THE CITY COUNCIL OF THE CITY OF LATHROP AND FILED IN MY OFFICE.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

TERESA VARGAS  
CITY CLERK

**RECORDER'S STATEMENT**

FILED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020, AT \_\_\_\_\_.

IN BOOK \_\_\_\_\_ OF PARCEL MAPS, AT PAGE \_\_\_\_\_, AT THE REQUEST OF KIER & WRIGHT.

FEE \$: \_\_\_\_\_

BY: \_\_\_\_\_  
STEVE J. BESTOLARIDES DEPUTY RECORDER  
ASSESSOR-RECORDER-COUNTY CLERK

JOB NO. A14663-11

SHEET 1 OF 4 SHEETS



# PARCEL MAP 20-02

BEING A SUBDIVISION OF PARCEL 1 AND THE DESIGNATED REMAINDER AS SHOWN ON THAT CERTAIN PARCEL MAP RECORDED DECEMBER 19, 2017, IN BOOK 26 OF PARCEL MAPS AT PAGE 94, SAN JOAQUIN COUNTY RECORDS.  
CITY OF LATHROP - SAN JOAQUIN COUNTY - CALIFORNIA  
MAY 2020



## OWNER'S ACKNOWLEDGMENT:

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF \_\_\_\_\_ }  
COUNTY OF \_\_\_\_\_ } SS

ON \_\_\_\_\_, 20\_\_\_\_, BEFORE ME, \_\_\_\_\_

A NOTARY PUBLIC, PERSONALLY APPEARED \_\_\_\_\_

WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/they EXECUTED THE SAME IN HIS/HER/their AUTHORIZED CAPACITY(IES), AND BY HIS/HER/their SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND

SIGNATURE: \_\_\_\_\_

PRINTED NAME: \_\_\_\_\_

PRINCIPAL PLACE OF BUSINESS: \_\_\_\_\_

COMMISSION NUMBER: \_\_\_\_\_

COMMISSION EXPIRES: \_\_\_\_\_

## OWNER'S ACKNOWLEDGMENT:

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF \_\_\_\_\_ }  
COUNTY OF \_\_\_\_\_ } SS

ON \_\_\_\_\_, 20\_\_\_\_, BEFORE ME, \_\_\_\_\_

A NOTARY PUBLIC, PERSONALLY APPEARED \_\_\_\_\_

WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/they EXECUTED THE SAME IN HIS/HER/their AUTHORIZED CAPACITY(IES), AND BY HIS/HER/their SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND

SIGNATURE: \_\_\_\_\_

PRINTED NAME: \_\_\_\_\_

PRINCIPAL PLACE OF BUSINESS: \_\_\_\_\_

COMMISSION NUMBER: \_\_\_\_\_

COMMISSION EXPIRES: \_\_\_\_\_

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STATE OF \_\_\_\_\_ }  
COUNTY OF \_\_\_\_\_ } SS

ON \_\_\_\_\_, 20\_\_\_\_, BEFORE ME, \_\_\_\_\_

A NOTARY PUBLIC, PERSONALLY APPEARED \_\_\_\_\_

WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/they EXECUTED THE SAME IN HIS/HER/their AUTHORIZED CAPACITY(IES), AND BY HIS/HER/their SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND

SIGNATURE: \_\_\_\_\_

PRINTED NAME: \_\_\_\_\_

PRINCIPAL PLACE OF BUSINESS: \_\_\_\_\_

COMMISSION NUMBER: \_\_\_\_\_

COMMISSION EXPIRES: \_\_\_\_\_

## BENEFICIARY ACKNOWLEDGMENT:

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF \_\_\_\_\_ }  
COUNTY OF \_\_\_\_\_ } SS

ON \_\_\_\_\_, 20\_\_\_\_, BEFORE ME, \_\_\_\_\_

A NOTARY PUBLIC, PERSONALLY APPEARED \_\_\_\_\_

WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/they EXECUTED THE SAME IN HIS/HER/their AUTHORIZED CAPACITY(IES), AND BY HIS/HER/their SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND

SIGNATURE: \_\_\_\_\_

PRINTED NAME: \_\_\_\_\_

PRINCIPAL PLACE OF BUSINESS: \_\_\_\_\_

COMMISSION NUMBER: \_\_\_\_\_

COMMISSION EXPIRES: \_\_\_\_\_

## AGRICULTURAL NOTIFICATION:

PER CITY OF LATHROP CODE OF ORDINANCES, TITLE 15, CHAPTER 15.4804, IN THE CITY OF LATHROP PERMITS OPERATION OF PROPERLY CONDUCTED AGRICULTURAL OPERATIONS WITHIN THE CITY LIMITS, INCLUDING THOSE THAT UTILIZE CHEMICAL FERTILIZERS AND PESTICIDES. YOU ARE HEREBY NOTIFIED THAT THE PROPERTY YOU ARE PURCHASING MAY BE LOCATED CLOSE TO AGRICULTURAL LANDS AND OPERATIONS. YOU MAY BE SUBJECT TO INCONVENIENCE OR DISCOMFORT ARISING FROM THE LAWFUL AND PROPER USE OF AGRICULTURAL CHEMICALS AND PESTICIDES AND FROM OTHER AGRICULTURAL ACTIVITIES, INCLUDING WITHOUT LIMITATION, CULTIVATIONS, PLOWING, SPRAYING, IRRIGATION, PRUNING, HARVESTING, BURNING OF AGRICULTURAL WASTE PRODUCTS, PROTECTION OF CROPS AND ANIMALS FROM DEPREDAATION, AND OTHER ACTIVITIES WHICH MAY GENERATE DUST, SMOKE, NOISE, ODOR, RODENTS AND PESTS. BEWARE ALSO THAT THIS PROPERTY MAY BE LOCATED ADJACENT TO AGRICULTURAL OPERATIONS OUTSIDE THE CITY'S JURISDICTION. CONSEQUENTLY, DEPENDING ON THE LOCATION OF YOUR PROPERTY, IT MAY BE NECESSARY THAT YOU BE PREPARED TO ACCEPT SUCH INCONVENIENCES OR DISCOMFORT AS NORMAL AND NECESSARY ASPECT OF LIVING IN AN AGRICULTURALLY ACTIVE REGION.

## SIGNATURES OMITTED:

PURSUANT TO SECTION 66436 OF THE CALIFORNIA SUBDIVISION MAP ACT, THE SIGNATURES OF THE FOLLOWING PARTIES HAVE BEEN OMITTED:

- 1) EASEMENT GRANTED TO PACIFIC TELEGRAPH & TELEPHONE COMPANY RECORDED ON JANUARY 23, 1922, IN BOOK G MISCELLANEOUS, VOLUME 51, PAGE 99, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY. (EASEMENT CANNOT BE PLOTTED FROM RECORD INFORMATION)
- 2) EASEMENT GRANTED TO PACIFIC TELEGRAPH & TELEPHONE COMPANY RECORDED ON JANUARY 26, 1922, IN BOOK G MISCELLANEOUS, VOLUME 52, PAGE 6, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY. (EASEMENT CANNOT BE PLOTTED FROM RECORD INFORMATION)
- 3) EASEMENT GRANTED TO PACIFIC TELEGRAPH & TELEPHONE COMPANY RECORDED ON JANUARY 26, 1922, IN BOOK G MISCELLANEOUS, VOLUME 52, PAGE 7, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY. (EASEMENT CANNOT BE PLOTTED FROM RECORD INFORMATION)
- 4) EASEMENT GRANTED TO PACIFIC GAS & ELECTRIC COMPANY RECORDED ON MARCH 11, 1968, IN BOOK 3193, PAGE 587, AND RELOCATION IN CONNECTION THEREWITH A RELOCATION AGREEMENT RECORDED ON NOVEMBER 26, 1991, AS DOCUMENT NO. 91115818, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.
- 5) EASEMENT GRANTED TO CONTINENTAL TELEPHONE COMPANY RECORDED ON NOVEMBER 6, 1973, IN BOOK 3816, PAGE 125, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.
- 6) EASEMENT GRANTED TO E.R. CARPENTER COMPANY RECORDED ON DECEMBER 3, 1985, AS DOCUMENT NO. 8508708, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.
- 7) EASEMENTS CONTAINED IN THE EASEMENT AGREEMENT WITH SAN JOAQUIN COGEN LIMITED RECORDED ON MARCH 23, 1989, AS DOCUMENT NO. 89025741, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.
- 8) EASEMENT GRANTED TO LIBBY-OWENS-FORD COMPANY RECORDED ON MARCH 23, 1989, AS DOCUMENT NO. 89025744, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.
- 9) EASEMENTS GRANTED TO SAN JOAQUIN COGEN LIMITED RECORDED ON DECEMBER 6, 1989, AS DOCUMENT NO. 89113369, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.
- 10) EASEMENT BY COURT ORDER TO SPRINT COMMUNICATIONS, LP, RECORDED ON DECEMBER 9, 2013, AS DOCUMENT NO. 2013-15139D, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY. (EASEMENT CANNOT BE PLOTTED FROM RECORD INFORMATION)
- 11) EASEMENT TO J.R. SIMPLOT RECORDED APRIL 27, 2017, AS DOCUMENT NO. 2017-106052, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.

## BENEFICIARY ACKNOWLEDGMENT:

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF \_\_\_\_\_ }  
COUNTY OF \_\_\_\_\_ } SS

ON \_\_\_\_\_, 20\_\_\_\_, BEFORE ME, \_\_\_\_\_

A NOTARY PUBLIC, PERSONALLY APPEARED \_\_\_\_\_

WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/they EXECUTED THE SAME IN HIS/HER/their AUTHORIZED CAPACITY(IES), AND BY HIS/HER/their SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND

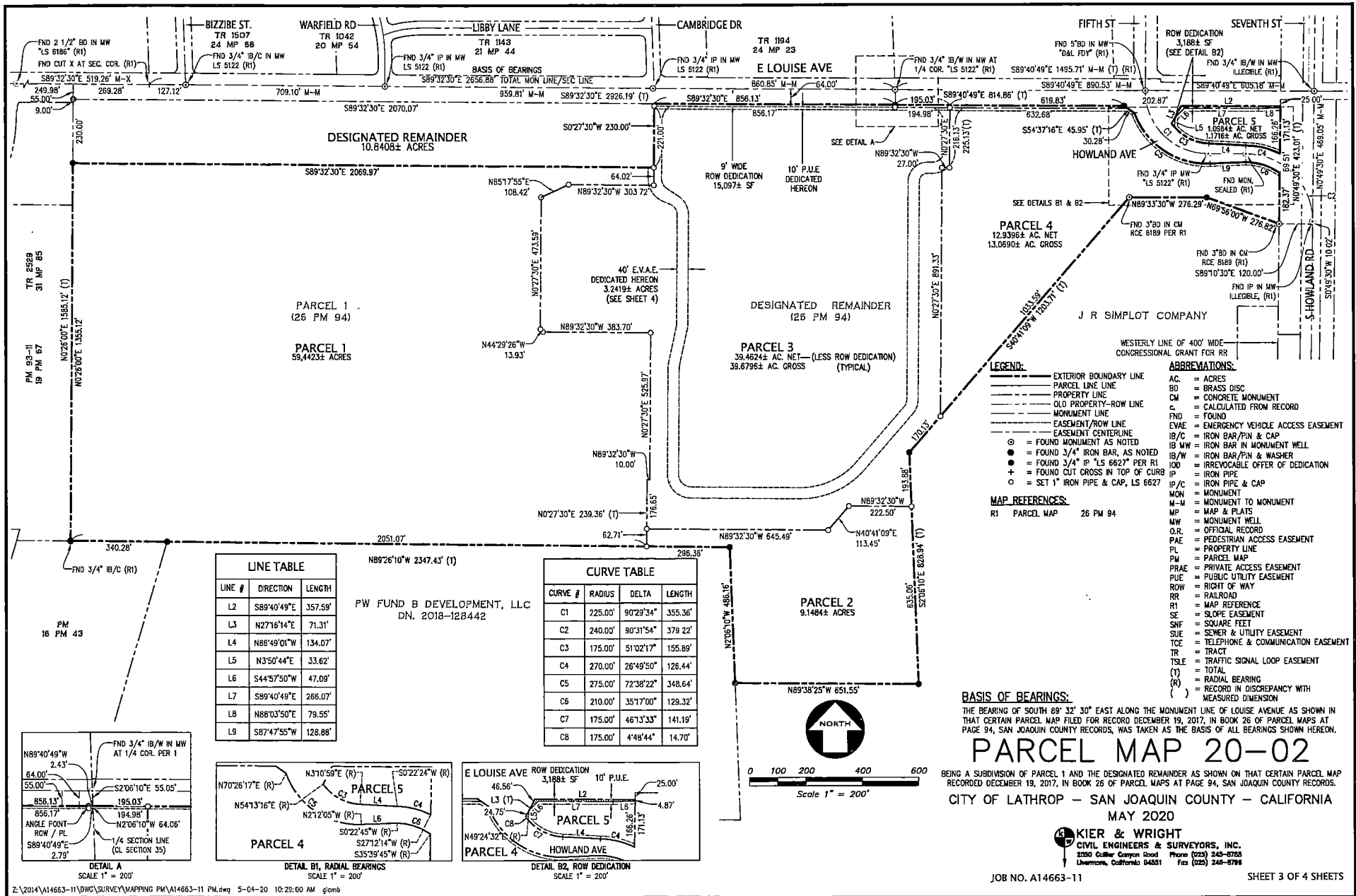
SIGNATURE: \_\_\_\_\_

PRINTED NAME: \_\_\_\_\_

PRINCIPAL PLACE OF BUSINESS: \_\_\_\_\_

COMMISSION NUMBER: \_\_\_\_\_

COMMISSION EXPIRES: \_\_\_\_\_



**LINE TABLE**

LINE #	DIRECTION	LENGTH
L2	S89°40'49"E	357.59'
L3	N27°16'14"E	71.31'
L4	N88°49'01"W	134.07'
L5	N3°50'44"E	33.62'
L6	S44°57'50"W	47.09'
L7	S89°40'49"E	266.07'
L8	N88°03'50"E	79.55'
L9	S87°47'55"W	128.86'

**CURVE TABLE**

CURVE #	RADIUS	DELTA	LENGTH
C1	225.00'	90°29'34"	355.36'
C2	240.00'	90°31'54"	379.22'
C3	175.00'	51°02'17"	155.89'
C4	270.00'	26°49'50"	126.44'
C5	275.00'	72°38'22"	348.64'
C6	210.00'	35°17'00"	129.32'
C7	175.00'	46°13'33"	141.19'
C8	175.00'	4°48'44"	14.70'

- LEGEND:**
- EXTERIOR BOUNDARY LINE
  - - - PARCEL LINE LINE
  - - - PROPERTY LINE
  - - - OLD PROPERTY-ROW LINE
  - - - MONUMENT LINE
  - - - EASEMENT/ROW LINE
  - - - EASEMENT CENTERLINE
  - = FOUND MONUMENT AS NOTED
  - = FOUND 3/4" IRON BAR, AS NOTED
  - = FOUND 3/4" IP "LS 6627" PER R1
  - + = FOUND CUT CROSS IN TOP OF CURB
  - ⊕ = SET 1" IRON PIPE & CAP, LS 6627
- ABBREVIATIONS:**
- AC. = ACRES
  - BD = BRASS DISC
  - CM = CONCRETE MONUMENT
  - CL = CALCULATED FROM RECORD
  - FND = FOUND
  - EVAE = EMERGENCY VEHICLE ACCESS EASEMENT
  - IB/C = IRON BAR/PIN & CAP
  - IB/MW = IRON BAR IN MONUMENT WELL
  - IB/W = IRON BAR/PIN & WASHER
  - IOO = IRREVOCABLE OFFER OF DEDICATION
  - IP = IRON PIPE
  - IP/C = IRON PIPE & CAP
  - MON = MONUMENT
  - M-M = MONUMENT TO MONUMENT
  - MP = MAP & PLATS
  - MW = MONUMENT WELL
  - O.R. = OFFICIAL RECORD
  - P.A.E. = PEDESTRIAN ACCESS EASEMENT
  - P.L. = PROPERTY LINE
  - P.M. = PARCEL MAP
  - PRAE = PRIVATE ACCESS EASEMENT
  - PUE = PUBLIC UTILITY EASEMENT
  - ROW = RIGHT OF WAY
  - RR = RAILROAD
  - R1 = MAP REFERENCE
  - SE = SLOPE EASEMENT
  - SNF = SQUARE FEET
  - SUE = SEWER & UTILITY EASEMENT
  - TCE = TELEPHONE & COMMUNICATION EASEMENT
  - TR = TRACT
  - TSLE = TRAFFIC SIGNAL LOOP EASEMENT
  - (T) = TOTAL
  - (R) = RECORD IN DISCREPANCY WITH MEASURED DIMENSION

**MAP REFERENCES:**  
R1 PARCEL MAP 26 PM 94

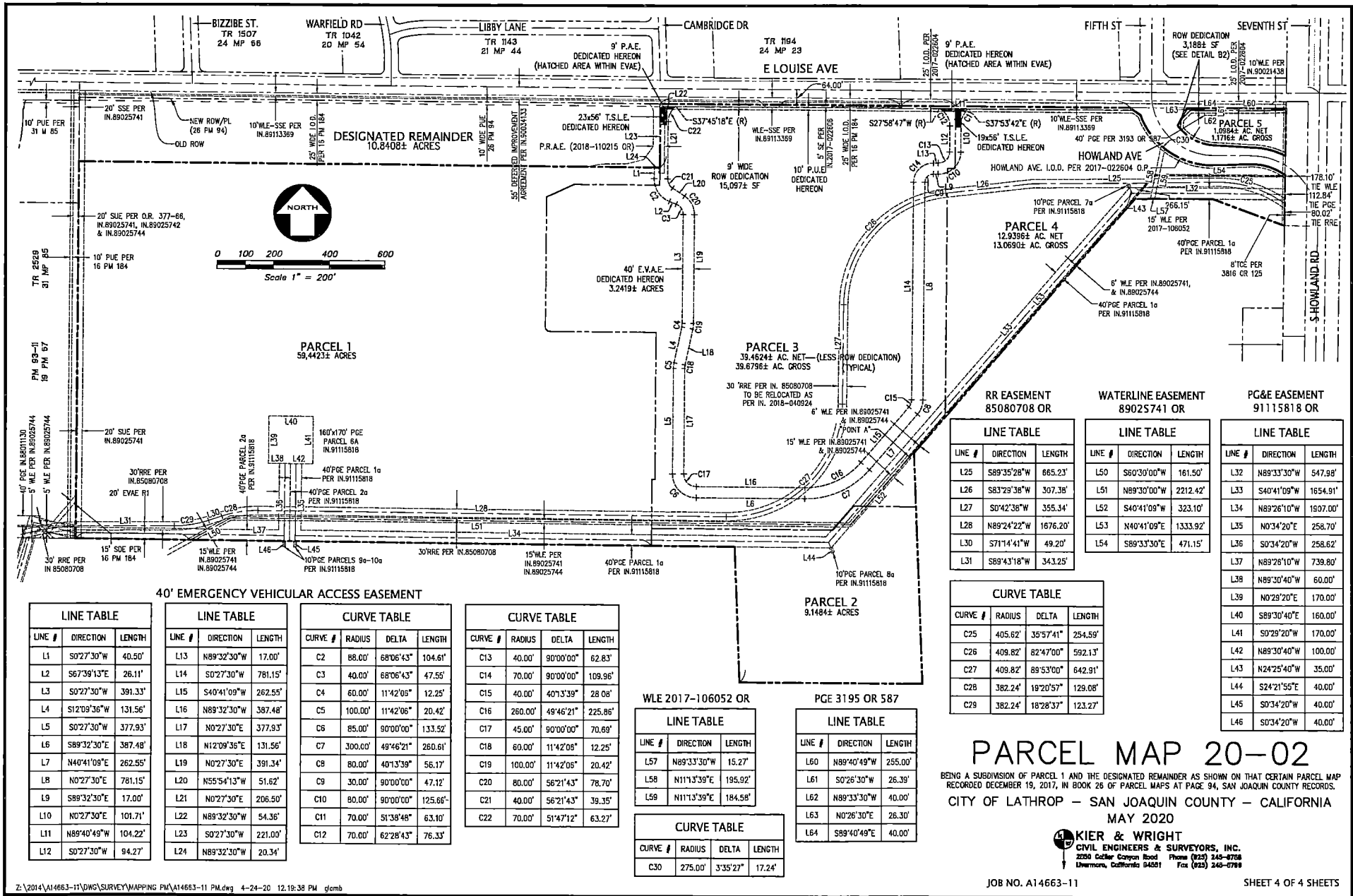
**BASIS OF BEARINGS:**  
THE BEARING OF SOUTH 89° 32' 30" EAST ALONG THE MONUMENT LINE OF LOUISE AVENUE AS SHOWN IN THAT CERTAIN PARCEL MAP FILED FOR RECORD DECEMBER 19, 2017, IN BOOK 26 OF PARCEL MAPS AT PAGE 94, SAN JOAQUIN COUNTY RECORDS, WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN HEREON.

**PARCEL MAP 20-02**  
BEING A SUBDIVISION OF PARCEL 1 AND THE DESIGNATED REMAINDER AS SHOWN ON THAT CERTAIN PARCEL MAP RECORDED DECEMBER 19, 2017, IN BOOK 26 OF PARCEL MAPS AT PAGE 94, SAN JOAQUIN COUNTY RECORDS.  
CITY OF LATHROP - SAN JOAQUIN COUNTY - CALIFORNIA  
MAY 2020

**KIER & WRIGHT**  
CIVIL ENGINEERS & SURVEYORS, INC.  
2250 Collier Canyon Road Livermore, California 94551  
Phone (925) 245-8785 Fax (925) 245-8788

JOB NO. A14663-11 SHEET 3 OF 4 SHEETS

Z:\2014\A14663-11\DWG\SURVEY\MAPPING\PM\A14663-11 PM.dwg 5-04-20 10:29:00 AM g1omb



RR EASEMENT 85080708 OR			WATERLINE EASEMENT 89025741 OR			PG&E EASEMENT 91115818 OR		
LINE #	DIRECTION	LENGTH	LINE #	DIRECTION	LENGTH	LINE #	DIRECTION	LENGTH
L25	S89°35'28"W	865.23'	L50	S60°30'00"W	161.50'	L32	N89°33'30"W	547.98'
L26	S83°29'38"W	307.38'	L51	N89°30'00"W	2212.42'	L33	S40°41'09"W	1654.91'
L27	S0°42'36"W	355.34'	L52	S40°41'09"W	323.10'	L34	N89°26'10"W	1907.00'
L28	N89°24'22"W	1876.20'	L53	N40°41'09"E	1333.92'	L35	N0°34'20"E	258.70'
L30	S71°14'41"W	49.20'	L54	S89°33'30"E	471.15'	L36	S0°34'20"W	258.62'
L31	S89°43'18"W	343.25'				L37	N89°26'10"W	739.80'
						L38	N89°30'40"W	60.00'
						L39	N0°29'20"E	170.00'
						L40	S89°30'40"E	160.00'
						L41	S0°29'20"W	170.00'
						L42	N89°30'40"W	100.00'
						L43	N24°25'40"W	35.00'
						L44	S24°21'55"E	40.00'
						L45	S0°34'20"W	40.00'
						L46	S0°34'20"W	40.00'

CURVE TABLE			
CURVE #	RADIUS	DELTA	LENGTH
C25	405.62'	35°57'41"	254.55'
C26	409.82'	82°47'00"	592.13'
C27	409.82'	89°53'00"	642.91'
C28	382.24'	18°20'57"	129.08'
C29	382.24'	18°28'37"	123.27'

LINE TABLE			LINE TABLE			CURVE TABLE			CURVE TABLE				
LINE #	DIRECTION	LENGTH	LINE #	DIRECTION	LENGTH	CURVE #	RADIUS	DELTA	LENGTH	CURVE #	RADIUS	DELTA	LENGTH
L1	S02°7'30"W	40.50'	L13	N89°32'30"W	17.00'	C2	88.00'	68°06'43"	104.61'	C13	40.00'	90°00'00"	62.83'
L2	S67°39'13"E	26.11'	L14	S02°7'30"W	781.15'	C3	40.00'	68°06'43"	47.55'	C14	70.00'	90°00'00"	109.96'
L3	S02°7'30"W	391.33'	L15	S40°41'09"W	262.55'	C4	60.00'	11°42'06"	12.25'	C15	40.00'	40°13'39"	28.08'
L4	S12°09'36"W	131.56'	L16	N89°32'30"W	387.48'	C5	100.00'	11°42'06"	20.42'	C16	260.00'	49°46'21"	225.86'
L5	S02°7'30"W	377.93'	L17	N0°27'30"E	377.93'	C6	85.00'	90°00'00"	133.52'	C17	45.00'	90°00'00"	70.69'
L6	S89°32'30"E	387.48'	L18	N12°09'36"E	131.56'	C7	300.00'	49°46'21"	260.61'	C18	60.00'	11°42'06"	12.25'
L7	N40°41'09"E	262.55'	L19	N0°27'30"E	391.34'	C8	80.00'	40°13'39"	56.17'	C19	100.00'	11°42'06"	20.42'
L8	N0°27'30"E	781.15'	L20	N55°54'13"W	51.62'	C9	30.00'	90°00'00"	47.12'	C20	80.00'	56°21'43"	78.70'
L9	S89°32'30"E	17.00'	L21	N0°27'30"E	206.50'	C10	80.00'	90°00'00"	125.66'	C21	40.00'	56°21'43"	39.35'
L10	N0°27'30"E	101.71'	L22	N89°32'30"W	54.36'	C11	70.00'	51°38'48"	63.10'	C22	70.00'	51°47'12"	63.27'
L11	N89°40'49"W	104.22'	L23	S02°7'30"W	221.00'	C12	70.00'	62°28'43"	76.33'				
L12	S02°7'30"W	94.27'	L24	N89°32'30"W	20.34'								

## PARCEL MAP 20-02

BEING A SUBDIVISION OF PARCEL 1 AND THE DESIGNATED REMAINDER AS SHOWN ON THAT CERTAIN PARCEL MAP RECORDED DECEMBER 19, 2017, IN BOOK 26 OF PARCEL MAPS AT PAGE 94, SAN JOAQUIN COUNTY RECORDS, CITY OF LATHROP - SAN JOAQUIN COUNTY - CALIFORNIA  
MAY 2020

**KIER & WRIGHT**  
 CIVIL ENGINEERS & SURVEYORS, INC.  
 2250 Oakley Canyon Road Phone (925) 248-8758  
 Livermore, California 94551 Fax (925) 248-8789

**EXHIBIT B**

**ENGINEERS OPINION OF PROBABLE COST, KIER & WRIGHT CIVIL ENGINEERS  
& SURVEYORS, 5/1/2020, TOTAL PROJECT MINUS ENCROACHMENT PERMIT,  
DFIA-20-04 & DFIA-20-05**

**ENGINEERS OPINION OF PROBABLE COST**

**KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS**

5/1/2020

**TOTAL PROJECT MINUS ENCROACHMENT PERMIT, DFIA-20-04 & DFIA-20-05**

Project No. A14663-15

Louise Avenue Improvements for Prologis/Reynolds & Brown

**I. GENERAL ITEMS**

ITEM NO.	DESCRIPTION	UNITS	K&W	K&W	K&W
			QUANTITY	UNIT PRICE	AMOUNT
1	MOBILIZATION	LS	1	\$ 35,000.00	\$ 35,000.00
2	TRAFFIC CONTROL/STAGING	LS	1	\$ 50,000.00	\$ 50,000.00
3	EROSION CONTROL SWPPP	LS	1	\$ 40,000.00	\$ 40,000.00
4	CONSTRUCTION STAKING	LS	1	\$ 35,000.00	\$ 35,000.00
5	EARTHWORK DEVELOPER RESPONSIBILITY NO EXPORT (CUT) (OR FILL)	CY	1698	\$ 10.00	\$ 16,980.00

**GENERAL ITEMS** \$ 176,980 SUB TOTAL

**II. DEMOLITION ITEMS**

ITEM NO.	DESCRIPTION	UNITS	K&W	K&W	K&W
			QUANTITY	UNIT PRICE	AMOUNT
1	SAWCUT	LF	5490	\$ 1.50	\$ 8,235.00
2	REMOVE ASPHALT PAVEMENT	SF	5848	\$ 3.18	\$ 18,596.64
3	REMOVE CONCRETE CURB & GUTTER	LF	1240	\$ 4.00	\$ 4,960.00
4	REMOVE ASPHALT BERM	LF	811	\$ 3.00	\$ 2,433.00
5	REMOVE SIGNAL POLE AND FOUNDATION	EA	4	\$ 2,500.00	\$ 10,000.00
6	REMOVE INLET	EA	3	\$ 1,000.00	\$ 3,000.00

**DEMOLITION ITEMS** \$ 47,224.64 SUB TOTAL

**III. SURFACE IMPROVEMENTS**

ITEM NO.	DESCRIPTION	UNITS	K&W	K&W	K&W
			QUANTITY	UNIT PRICE	AMOUNT
1	ASPHALT PAVEMENT (BASE ROCK TO BE FROM PAVEMENT GRINDINGS)	SF	21047	\$ 10.00	\$ 210,470.00
2	CONCRETE SIDEWALK (LOUISE)	SF	13681	\$ 6.00	\$ 82,086.00
3	CURB AND GUTTER	LF	2022	\$ 30.00	\$ 60,660.00
4	MEDIAN CURB	LF	3287	\$ 40.00	\$ 131,480.00
5	ACCESSIBLE RAMP	EA	4	\$ 1,200.00	\$ 4,800.00
6	MEDIAN PAVEMENT	SF	414	\$ 14.00	\$ 5,796.00

**SURFACE IMPROVEMENTS** \$ 495,292.00 SUB TOTAL

**IV. UTILITY IMPROVEMENTS**

ITEM NO.	DESCRIPTION	UNITS	K&W	K&W	K&W
			QUANTITY	UNIT PRICE	AMOUNT
1	12" STORM DRAIN	LF	42	\$ 150.00	\$ 6,300.00
2	CURB INLET	EA	4	\$ 5,500	\$ 22,000.00
3	IRRIGATION SLEEVES	LF	238	\$ 35	\$ 8,330.00
4	IRRIGATION BACKFLOW	EA	2	\$ 4,500	\$ 9,000.00
5	IRRIGATION CONTROLLER	EA	1	\$ 4,000	\$ 4,000.00
6	ADJUST MANHOLE TO GRADE	EA	6	\$ 1,200	\$ 7,200.00
7	ADJUST WATER VALVE/MONUMENT TO GRADE	EA	11	\$ 500	\$ 5,500.00
8	STORM DRAIN/SEWER MANHOLE	EA	1	\$ 8,500	\$ 8,500.00

**UTILITY IMPROVEMENTS** \$ 70,830.00 SUB TOTAL

**V. SIGNALS, LIGHTS, SIGNAGE, MISCELLANEOUS**

ITEM NO.	DESCRIPTION	UNITS	K&W	K&W	K&W
			QUANTITY	UNIT PRICE	AMOUNT
1	TRAFFIC SIGNAL W/LPR CAMERA	LS	1	\$ 210,000.00	\$ 210,000.00
2	SIGNS	EA	20	\$ 350.00	\$ 7,000.00
3	STRIPING	LF	5814	\$ 2.50	\$ 14,535.00
4	STRIPING ARROWS	EA	14	\$ 600.00	\$ 8,400.00
5	STREET LIGHTS DUAL	EA	13	\$ 5,500.00	\$ 71,500.00
6	STREET LIGHTS SIGNAL	EA	6	\$ 4,500.00	\$ 27,000.00
7	STREET LIGHT CABLE AND CONDUIT	LF	3000	\$ 22.00	\$ 66,000.00
8	RELOCATE BUS STOP	EA	1	\$ 5,000.00	\$ 5,000.00
9	3" CONDUIT WITH #14 GREEN PULL WIRE FOR FUTURE INTERCONNECT	EA	2100	\$ 35.00	\$ 73,500.00
10	INTERCONNECT NO. 6E PULL BOX	EA	3	\$ 1,000.00	\$ 3,000.00

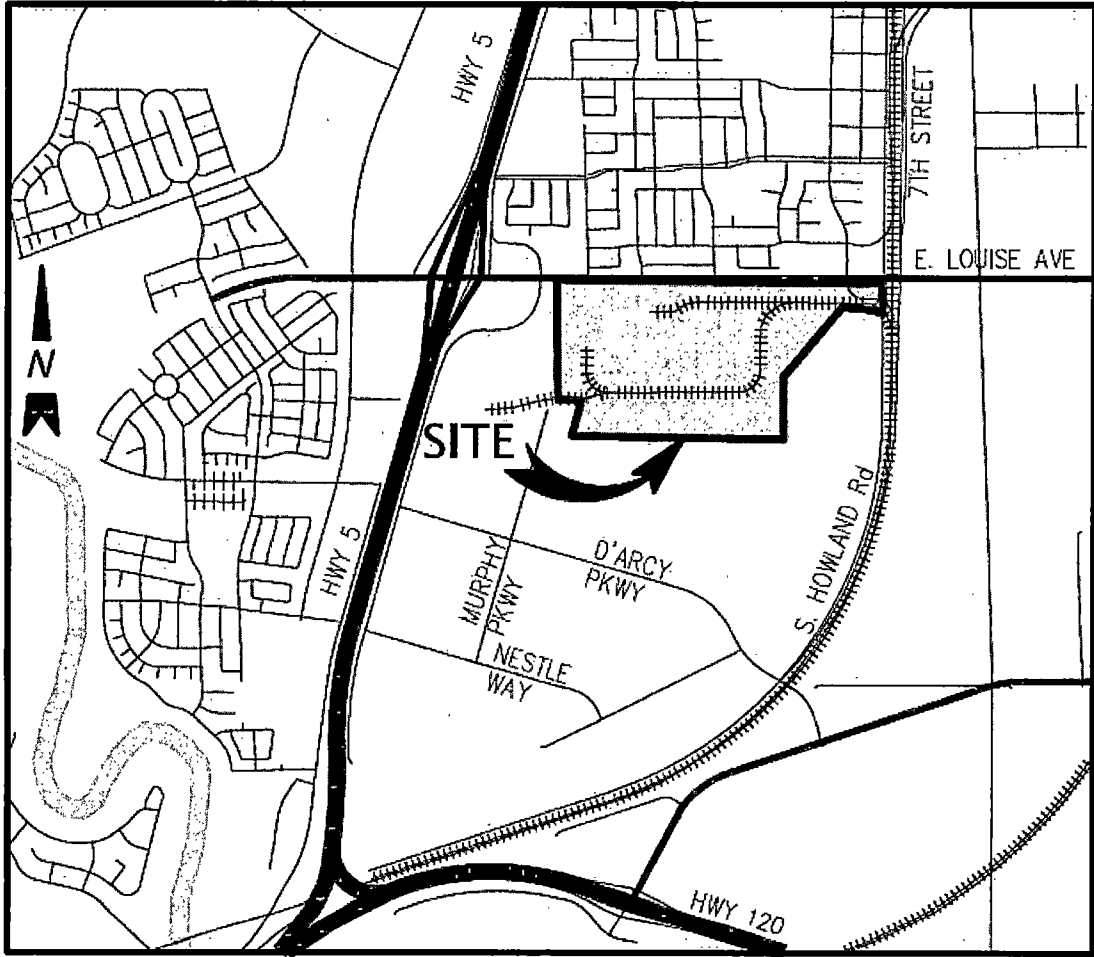
**SIGNALS, LIGHTS, SIGNAGE, MISCELLANEOUS** \$ 485,935.00 SUB TOTAL

\$ 1,276,261.64 TOTAL

\$ 127,626.16 10% CONTINGENCY

\$ 1,403,887.80 GRAND TOTAL

Attachment D  
Vicinity Map for North Crossroads Business Center



**VICINITY MAP**

NOT TO SCALE

**RECORDING REQUESTED BY, AND  
WHEN RECORDED MAIL TO:**



CITY OF LATHROP  
ATTN: CITY CLERK  
390 TOWNE CENTRE DRIVE  
LATHROP, CA 95330  
*Exempt from payment of recording fees (GC 27383)*

SPACE ABOVE THIS LINE FOR RECORDER'S USE

**Offer of Dedication in Fee**

THIS INSTRUMENT BENEFITS THE CITY ONLY. NO FEE REQUIRED.

THE UNDERSIGNED GRANTOR(S) DECLARE(S): DOCUMENTARY TRANSFER TAX IS \$ 0.00 R&TC Transfer to Government Agency  
( ) computed on full value of property conveyed, or  
( ) computed on full value less liens and encumbrances remaining at time of sale.  
( ) Unincorporated area (X) City of Lathrop

For a valuable consideration, receipt of which is hereby acknowledged,  
ASP/RWM Properties, LLC, R&B Louise, LLC and R&B Delta, LLC, as tenants-in-common and legal landowners  
"Grantors",

hereby grants to CITY OF LATHROP, a California municipal corporation "Grantee",  
real property in City of Lathrop, San Joaquin County, State of California, described as:

\*\*\*See attached Exhibit "A" and Exhibit "B" attached hereto and made a part hereof\*\*\*

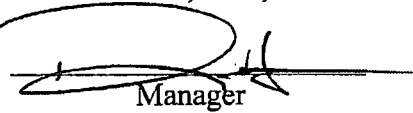
In witness whereof the undersigned have executed this instrument on this \_\_\_\_\_ day of May, 2020.

Grantors:

ASP/RWM Properties  
a California limited liability company

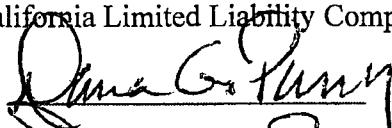
By: Jones Partners, LLC, a California Limited Liability Company

By:

  
Manager

R&B Louise, LLC  
a California Limited Liability Company

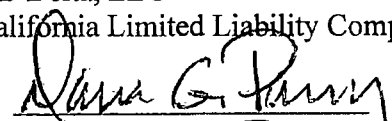
By:

  
Name: DANA G. PARRY

Title: President & Manager

R&B Delta, LLC  
a California Limited Liability Company

By:

  
Name: DANA G. PARRY

Title: President & Manager

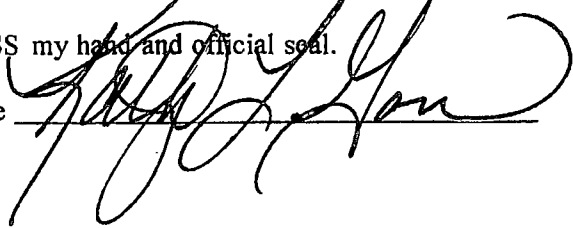


A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

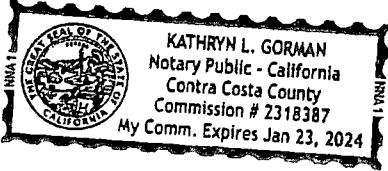
State of California  
County of Contra Costa

On May 5, 2020 before me, Kathryn L. Gorman, Notary Public  
(here insert name and title of officer), personally appeared  
Randall Scott Jones, Manager, who  
proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are  
subscribed to the within instrument and acknowledged to me that he/~~she/they~~ executed the same in  
his/~~her/their~~ authorized capacity(ies), and that by his/~~her/their~~ signature(s) on the instrument the  
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct

WITNESS my hand and official seal.  
Signature 

(Seal)



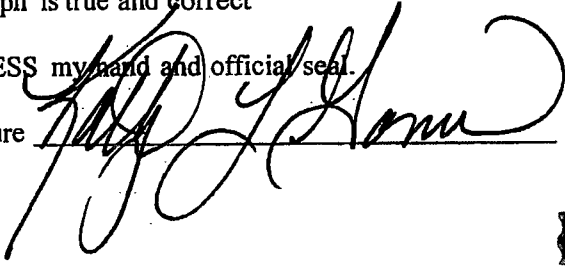
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California  
County of Contra Costa

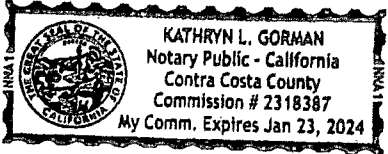
On May 5, 2020 before me, Kathryn L. Gorman, Notary Public  
(here insert name and title of officer), personally appeared

Dana G. Parry, Manager's President, who  
proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are  
subscribed to the within instrument and acknowledged to me that he/~~she/they~~ executed the same in  
his/~~her/their~~ authorized capacity(ies), and that by his/~~her/their~~ signature(s) on the instrument the  
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing  
paragraph is true and correct

WITNESS my hand and official seal.  
Signature 

(Seal)



A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California  
County of Contra Costa

On May 5, 2020 before me, Kathryn L. Gorman, Notary Public  
(here insert name and title of officer), personally appeared

Jana G. Karry, Manager's President, who  
proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/~~are~~  
subscribed to the within instrument and acknowledged to me that he/~~she/they~~ executed the same in  
his/~~her/their~~ authorized capacity(~~ies~~), and that by his/~~her/their~~ signature(~~s~~) on the instrument the  
person(~~s~~), or the entity upon behalf of which the person(~~s~~) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct

WITNESS my hand and official seal  
Signature [Handwritten Signature]

(Seal)



EXHIBIT "A" LEGAL  
DESCRIPTION  
PARCEL 5

ALL THAT CERTAIN REAL PROPERTY SITUATE IN THE CITY OF LATHROP, COUNTY OF SAN JOAQUIN,  
STATE OF CALIFORNIA.

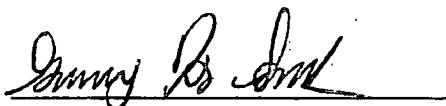
SAID PROPERTY BEING A PORTION OF THE "DESIGNATED REMAINDER PARCEL" AS SHOWN ON  
THAT CERTAIN PARCEL MAP RECORDED DECEMBER 19, 2017, IN BOOK 26 OF PARCEL MAPS, AT  
PAGE 94, SAN JOAQUIN COUNTY RECORDS, AND BEING MORE PARTICULARLY DESCRIBED AS  
FOLLOWS:

BEING ALL OF PARCEL 5 AS SHOWN ON THAT CERTAIN "PARCEL MAP 20-02", RECORDED  
\_\_\_\_\_, 2020, IN BOOK \_\_\_ OF PARCEL MAPS, AT PAGE \_\_\_, SAN JOAQUIN COUNTY  
RECORDS,

CONTAINING 1.1716 ACRES OF LAND, MORE OR LESS.

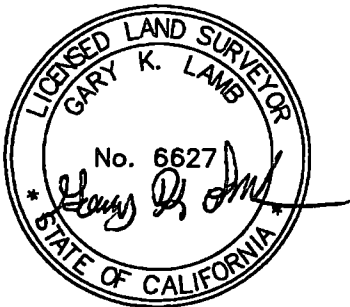
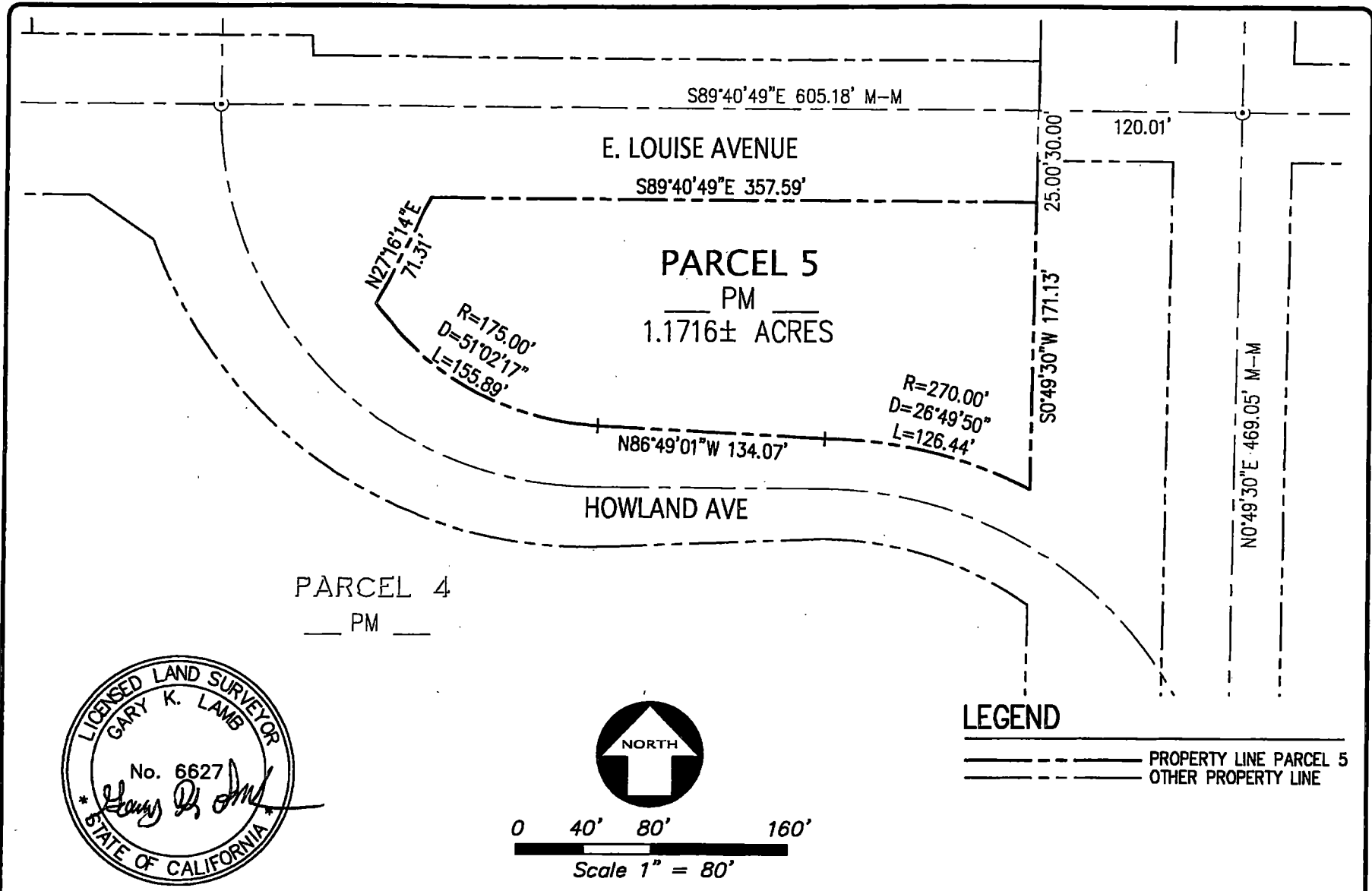
AS SHOWN ON EXHIBIT B, ATTACHED HERETO AND MADE A PART HEREOF.

KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.

  
GARY K. LAMB, P.L.S. 6627

05-04-20  
DATE






**KIER+WRIGHT**

250 Cherry Lane, Suite 107, 208 Phone: (209) 328-1123  
 Manteca, CA 95337 www.kierwright.com

**EXHIBIT "B"**  
**PARCEL 5, PM**

LATHROP,

CALIFORNIA

DATE	MAY, 2020
SCALE	1" = 80'
BY	GKL
JOB NO.	A14663-11
SHEET	1 OF 1

# Parcel Map Check Report

**Client:**  
Client

**Prepared by:**  
Gary Lamb  
KIER & WRIGHT  
250 Cherry Lane, Suite 208

Date: 5/1/2020 9:03:08 AM

Parcel Name: BNDRY - PARCEL 5

Description:

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North: 479,157.7683' East: 1,776,764.3379'

Segment# 1: Line

Course: S89° 40' 49"E Length: 357.59'  
North: 479,155.7729' East: 1,777,121.9224'

Segment# 2: Line

Course: S0° 49' 30"W Length: 171.13'  
North: 478,984.6607' East: 1,777,119.4583'

Segment# 3: Curve

Length: 126.44' Radius: 270.00'  
Delta: 26° 49' 50" Tangent: 64.40'  
Chord: 125.28' Course: N76° 12' 41"W  
Course In: S27° 12' 14"W Course Out: N0° 22' 24"E  
RP North: 478,744.5266' East: 1,776,996.0256'  
End North: 479,014.5209' East: 1,776,997.7849'

Segment# 4: Line

Course: N86° 49' 01"W Length: 134.07'  
North: 479,021.9653' East: 1,776,863.9217'

Segment# 5: Curve

Length: 155.89' Radius: 175.00'  
Delta: 51° 02' 17" Tangent: 83.54'  
Chord: 150.78' Course: N61° 17' 52"W  
Course In: N3° 10' 59"E Course Out: S54° 13' 16"W  
RP North: 479,196.6953' East: 1,776,873.6388'  
End North: 479,094.3800' East: 1,776,731.6649'

Segment# 6: Line

Course: N27° 16' 14"E Length: 71.31'

5/1/2020

Parcel Map Check Report

North: 479,157.7641'

East: 1,776,764.3387'

Perimeter: 1,016.42'

Area: 1.1716Acre

Error Closure: 0.0043

Course: S10° 00' 02"E

Error North : -0.00423

East: 0.00075

Precision 1: 236,379.07

**JOINT ESCROW INSTRUCTIONS  
RECORDATION OF PARCEL MAPS  
(FORMER PILKINGTON SITE, LATHROP)**

May 11, 2020

**Via Email and Hand Delivery**

Old Republic Title Company  
275 Battery Street, Suite 1500  
San Francisco, CA 94111  
Attn: Martha Nakagawa  
Email: MNakagawa@ortc.com

**Re: Recordation of Parcel Map 20-02; Escrow No. 0227023505-MN**

Ms. Nakagawa:

This letter constitutes the joint escrow instructions (“*Escrow Instructions*”) of ASP/RWM PROPERTIES, LLC, a California limited liability company, R&B LOUISE, LLC, a California limited liability company, and R&B DELTA, LLC, a California limited liability company (collectively, “*Owner*”), and the City of Lathrop (“*City*”) in connection with the above-referenced escrow (“*Escrow*”). The Escrow was opened in connection with recordation of the above-referenced Parcel Map (“*Parcel Map*”). Recordation of the Parcel Map is subject to the conditions set forth below. The transactions described in these Escrow Instructions are referred to as the “*Transaction*.” Old Republic Title Company is referred to as “you” or “*ORTC*.”

**A. Date for Closing**

The Parcel Map will be recorded at the time designated by Owner as set forth below. The Parcel Map may only be recorded after the City has approved the map in writing. The closing date for the Transaction is intended to occur by May 29, 2020 (the “*Closing*”), at the time designated in writing by Owner, subject to satisfaction of the conditions set forth below in paragraphs B, C and D. If the Parcel Map has not been recorded by June 30, 2020, ORTC will return the Parcel Map to City.

**B. Documents to be Delivered and Recordation Document**

In connection with the Transaction, you have in your possession or will receive the following documents from City for recordation in the Official Records of San Joaquin County, California (“*Official Records*”).

B.1. One original Parcel Map 20-02, executed and acknowledged by Owner, City and the City Surveyor, Wells Fargo Bank (“*WFB*”), and the surveyor, Kier & Wright.

B.2. One original Amended and Restated Declaration of Covenants, Conditions and Restrictions and Reservation of Easements dated May \_\_\_\_, 2020 executed and acknowledged by Owner (the “*REA*”).

B.3. One original Deferred Frontage Improvement Agreement Number 20-04 for E. Louise Avenue dated May 11, 2020, executed and acknowledged by Owner and City for landscape improvements (the “*Landscape DFIA*”).



**JOINT ESCROW INSTRUCTIONS  
RECORDATION OF PARCEL MAPS  
(FORMER PILKINGTON SITE, LATHROP)**

B.4. One original Deferred Frontage Improvement Agreement Number 20-05 for E. Louise Avenue dated May 11, 2020, executed and acknowledged by Owner and City for future underground improvements (the “*Underground DFIA*”).

B.5. One original Offer of Dedication in Fee conveying title to Parcel 5 to City, executed and acknowledged by Owner.

B.6. One Offer of Dedication, Plat and Legal Description for the dedication of right-of-way for the designated remainder frontage.

B.7. One Offer of Dedication, Plat and Legal Description for the dedication of public utility easement for the designated remainder frontage.

B.8. One Offer of Dedication, Plat and Legal Description for the dedication of emergency vehicle access easement for the designated remainder parcel.

B.9. One partial release and reconveyance with respect to the WFB loan in the principal amount of Twenty-Nine Million Dollars for that portion of Existing Parcel 1 being merged into new Parcel 3 (the “*New Prologis Parcel*”), executed and acknowledged by WFB.

B.10. One original Memorandum of Ground Lease executed and acknowledged by Owner and Prologis, L.P., a Delaware limited partnership (“*Prologis*”).

B.11. One original Subordination Agreement with respect to the WFB construction loan in the principal amount not to exceed Nine Million Dollars, executed and acknowledged by Owner, Prologis and WFB.

The documents listed above are referred to as the “*Recordation Documents*.” The Recordation Documents shall be recorded in the order referred to above. The date on which the Recordation Documents are recorded in the Official Records is the Recordation Date.

Prior to recording the Recordation Documents, please confirm that you have received copies or originals of the following documents:

- (i) One Encroachment Permit for Offsite Improvements dated May 11, 2020, executed by Prologis and City (the “*Encroachment Permit*”); and
- (ii) One Tax Clearance Certificate from the San Joaquin County Treasurer-Tax Collector evidencing the payment outside of escrow of \$379,194.06 representing the payment of 150% of the taxes for AP Nos. 198-120-10, 198-120-11 and 198- 140-16 for the 2020/2021 tax year.

**C. Funds and Settlement Statement**

You also have received, or will receive from Owner and Prologis, prior to the recordation of the Recordation Documents, in immediately available funds, the following amounts, in accordance with the settlement statement prepared by you and approved in writing by both Owner and City (“*Settlement Statement*”): recordation costs, escrow fees and other amounts as set forth in the Settlement Statement. Such costs, fees and other amounts are the sole responsibility of Owner and Prologis.

Funds to be wire transferred directly to the entity set forth below, immediately upon recordation of the Parcel Map, in accordance with the wire transfer instructions for each entity are as follows:

**JOINT ESCROW INSTRUCTIONS  
RECORDATION OF PARCEL MAPS  
(FORMER PILKINGTON SITE, LATHROP)**

- Wastewater collection, treatment, storage and disposal purchase from Owner in the amount of \$459,302.25 with respect to existing Parcel 1, payable to City;
- Storm water connection fees from Owner in the amount of \$521,289.32 with respect to existing Parcel 1 and new parcel 2 [Detention Basin], payable to City;
- Wastewater collection, treatment, storage and disposal purchase from Owner in the amount of \$ 344,516.85 with respect to new Parcel 4, payable to City;
- Wastewater collection, treatment, storage and disposal purchase from Prologis in the amount of \$1,050,686.40 with respect to new Parcel 3, payable to City;
- Owner's cash deposit in the amount of \$476,713.64 to fund CIP Improvements per Subdivision Improvement Agreement between Owner and City, payable to City;
- Prologis's cash deposit in the amount of \$927,174.16 to fund CIP Improvements per Subdivision Improvement Agreement between Owner and City, payable to City;
- Owner's cash deposit in the amount of \$114,740.73 to secure Encroachment Permit Improvements per Subdivision Improvement Agreement between Owner and City, payable to City;
- Prologis's cash deposit in the amount of \$58,242.53 to secure Encroachment Permit Improvements per Subdivision Improvement Agreement between Owner and City, payable to City; and
- Each of Owner's and Prologis's share of closing costs: Each party shall pay the amounts designate above for payment by such party; Owner will pay (i) the fee to record the Memorandum of Ground Lease referenced in paragraph B.7. above, (ii) the fee for the partial release and reconveyance referenced in paragraph B.6 above, and (iii) any fees payable in connection with the Grant Deed referenced in paragraph B.5 above; and Owner and Prologis shall share equally any other costs and fees related to this escrow.

The City's wire instructions are set forth below. The amounts set forth in Section C are referred to as the "*Closing Funds*."

**D. Closing Requirements**

When the following have occurred, you are authorized to close the Escrow at the time(s) and in accordance with the process set forth below:

- D.1. You have delivered copies of your Settlement Statement by email transmission to: (a) Dana Parry (danap@reynoldsandbrown.com); (b) Anne LaPlace (alaplace@prologis.com); (c) Stephen Salvatore (ssalvatore@ci.lathrop.ca.us); (d) Salvador Navarrete (snavarrete@ci.lathrop.ca.us); (e) Cari James (cjames@ci.lathrop.ca.us) and (f) Glenn Gebhardt (ggebhardt@ci.lathrop.ca.us), and have confirmation (by telephone or email) from Dana Parry, Anne LaPlace and Stephen Salvatore or Glenn Gebhardt that the Settlement Statement is accurate and acceptable;

**JOINT ESCROW INSTRUCTIONS  
RECORDATION OF PARCEL MAPS  
(FORMER PILKINGTON SITE, LATHROP)**

- D.2. The Recordation Documents and all other documents described herein as being held by you or delivered to you have been received by you and have been fully executed and, where applicable, acknowledged, and you have attached all legal descriptions or have confirmed that all exhibits and legal descriptions are attached;
- D.3. You are prepared to record the Recordation Document, as designated, release funds in accordance with the Settlement Statement and complete the Transaction in compliance with these Escrow Instructions;
- D.4. You have delivered a copy of these instructions, executed by an authorized signatory of ORTC with authority to bind ORTC, and initialed all pages, by email transmission (with original hard copy to follow by U.S. Mail) to Dana Parry and Anne LaPlace at the email addresses set forth above; and
- D.5. You have received confirmation (by email or other writing) from Dana Parry, Anne LaPlace and Stephen Salvatore or Glenn Gebhardt to record the Recordation Documents and complete the Transaction.

**E. Closing Process and Priorities**

When you have fully satisfied all of the closing requirements set forth in Section D, then you are authorized and instructed to do the following in the chronological order given:

- E.1. Date the Recordation Documents to be recorded with the current date;
- E.2. Record the Recordation Documents in the Official Records in the order described above;
- E.3. Pay the costs associated with the Transaction;
- E.4. Refund any funds delivered to you by Owner that are not disbursed at the time of the final Closing pursuant to these Escrow Instructions to the following entity and address:  
  
Reynolds & Brown  
1200 Concord Avenue, Suite 200  
Concord, CA 94520  
Attn: Mr. Dana Parry
- E.5. Refund any funds delivered to you by Prologis that are not disbursed at the time of the final Closing pursuant to these Escrow Instructions to the following entity and address:  
  
Prologis, L.P.  
1800 Wazee Street, Suite 500  
Denver, CO 80202  
Anne LaPlace, Esq.
- E.6. Notify Dana Parry, Anne LaPlace, Stephen Salvatore, Glenn Gebhardt and Jose Molina (JMolina@sjgov.org) of the completion of the Transaction;

**JOINT ESCROW INSTRUCTIONS  
RECORDATION OF PARCEL MAPS  
(FORMER PILKINGTON SITE, LATHROP)**

- E.7. Within five (5) business days after each Recordation Date, deliver by overnight delivery via recognized, national, overnight delivery carrier to: (1) Mr. Dana Parry, President and CEO, at the address shown in E.4. above; (2) Ms. Anne LaPlace, Senior Counsel, 1800 Wazee Street, Suite 500, Denver, CO 80202; and (3) Mr. Salvador Navarrete, City Attorney, City of Lathrop, 390 Towne Centre Drive, Lathrop, CA 95330:
- (A) a certified copy of the Recordation Documents, showing all recording information of the particular Recordation Document; and
  - (B) a certified copy of the final Settlement Statement.

**F. Additional Instructions**

When assembling the final documents, signature pages from all parties shall be inserted into each respective final document in creating fully executed counterparts.

If you are unable to comply with any of these instructions, you are instructed to telephone us immediately at the numbers appearing below each of our signatures, and to take no further action except in accordance with instructions you will receive from us.

Please acknowledge receipt of these instructions and your agreement to act as Escrow agent in connection with this Transaction in accordance with these Escrow Instructions, by executing and dating a copy of these Escrow Instructions where indicated below, initialing all pages and returning it to both of the undersigned.

The Escrow Instructions may be modified only in a writing signed by both of the undersigned.

**JOINT ESCROW INSTRUCTIONS  
RECORDATION OF PARCEL MAPS  
(FORMER PILKINGTON SITE, LATHROP)**

**CITY OF LATHROP**

\_\_\_\_\_  
Stephen J. Salvatore  
City Manager

**APPROVED AS TO FORM BY THE CITY OF LATHROP CITY ATTORNEY**

By: \_\_\_\_\_  
Salvador Navarrete                      Date  
City Attorney

**ASP/RWM PROPERTIES, LLC, R&B LOUISE, LLC, and R&B DELTA, LLC, a  
California limited liability company**

\_\_\_\_\_  
Dana Parry, Authorized Signatory

**PROLOGIS, L.P.**

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title \_\_\_\_\_

**JOINT ESCROW INSTRUCTIONS  
RECORDATION OF PARCEL MAPS  
(FORMER PILKINGTON SITE, LATHROP)**

ESCROW INSTRUCTIONS  
ACKNOWLEDGEMENT AND AGREEMENT:

Receipt of the foregoing Escrow Instructions from Owner and the City is hereby acknowledged. The undersigned agrees, for itself, and on behalf of ORTC, to proceed in strict accordance with these Escrow Instructions. The undersigned represents and warrants to Owner and the City that the undersigned is authorized to execute this Acknowledgement and Agreement, for itself, and on behalf of ORTC.

Old Republic Title Company

By: \_\_\_\_\_  
Its: \_\_\_\_\_  
Date: \_\_\_\_\_

B.1. One original Parcel Map 20-02, executed and acknowledged by Owner, City and the City Surveyor, Wells Fargo Bank ("**WFB**"), and the surveyor, Kier & Wright  
**(To be executed by Old Republic Title Company)**

B.2. One original Amended and Restated Declaration of Covenants, Conditions and Restrictions and Reservation of Easements dated May \_\_\_\_, 2020 executed and acknowledged by Owner (the "REA").

**(To be executed by "Owner")**





RECORDING REQUESTED BY:  
City of Lathrop, CA

WHEN RECORDED, PLEASE MAIL TO:  
City of Lathrop  
City Clerk  
390 Towne Centre Drive  
Lathrop, California 95330

*Exempt from payment of recording fees (GC 27383)*

SPACE ABOVE THIS LINE IS FOR RECORDER'S USE

**DFIA 20-04**

**DEFERRED FRONTAGE IMPROVEMENT AGREEMENT FOR E. LOUISE AVENUE**

**Parcels 1 through 4, Parcel Map 20-02**

**THIS AGREEMENT**, dated this \_\_\_\_\_ day of \_\_\_\_\_, 2020, by and between the CITY OF LATHROP, a municipal corporation in the State of California, hereinafter referred to as "CITY," and ASP/RWM Properties / R&B Louise, LLC / R&B Delta, LLC, hereinafter referred to as "OWNER".

**WITNESSETH**

**WHEREAS**, on December 19, 2017, Parcel Map 26-94 (PM 26-94) was approved and recorded to create one Parcel and a Designated Remainder in the City of Lathrop. OWNER has recorded Parcel Map 20-02 (PM 20-02), Attachment "A", to subdivide portions of the previously created Parcel and Designated Remainder by PM 26-94 into five (5) new parcels. Pursuant to Lathrop Municipal Code Section 16.20.140, the Conditions of Approval for Site Plan Review 18-17 (SPR 18-17) and associated Tentative Parcel Map No. TPM-18-18, OWNER is required to construct street frontage improvements along the frontage street of E. Louise Avenue including but not limited to medians, a deceleration lane, pavement, curb and gutter, bike lane, striping, signal improvements, median lighting, median and shoulder landscaping, and curb ramps. Guarantee of all improvements excluding the median and shoulder landscape, and landscape screening of the truck parking, has been provided to CITY in cash by OWNER and is therefore not included in this Agreement; and

**WHEREAS**, OWNER will apply for and obtain an encroachment permit from CITY for the construction of the fire hydrants and water laterals and meters prior to CITY approval of PM 20-02. The expiration date of the encroachment permit will be the start date of the CITY Capital Improvement Project (CITY CIP) to construct the frontage improvements; and

**WHEREAS**, the parties hereto mutually desire to defer the construction of the E. Louise Avenue frontage improvements to immediately after the completion of CITY CIP for E. Louise Avenue; and

**NOW, THEREFORE**, it is agreed by and between the parties hereto as follows:

1. OWNER represents and warrants that they are the fee title owners of the real property described in Attachment "A" attached hereto and herein incorporated by this reference. OWNER acknowledges that recordation of PM 20-02 is subject to a condition of constructing frontage improvements. The parties hereto agree that the actual construction of the required improvements may be delayed as provided herein. Failure to provide for the construction of these improvements shall constitute not only a failure of condition as to OWNER's Parcel Map (PM 20-02) but also a breach of this Agreement for which additional legal remedies may be pursued.
2. OWNER agrees to provide for the construction of certain frontage improvements along the frontage on said real property at the sole cost and expense of OWNER. Said frontage improvements shall be consistent with the standards set forth by the City of Lathrop Standards and Specifications. Said frontage improvements shall include but not be limited to those listed in Attachment "B" (Engineer's Estimate) and are approximated as **\$231,276.50 (\$165,197.50 plus 20% contingency plus 20% soft cost)**, attached hereto and herein incorporated by this reference. Determination of when the required improvements are to be constructed shall be within the sole discretion of the City Engineer for the CITY (hereinafter "City Engineer"), subject to the terms of this Agreement.
3. Prior to recordation of PM 20-02, OWNER shall engage a Civil Engineer, licensed in the State of California, to design and prepare construction drawings for the required improvements. The design of said improvements shall be in accordance with the latest City of Lathrop Design and Construction Standards in effect at the time of approval of the improvement plans. The improvement plans shall be submitted to the City Engineer for approval prior to

recording of PM 20-02 and construction shall commence immediately after the completion of CITY CIP for E. Louise Avenue.

4. The City Engineer may choose to have the CITY or other interested parties perform the design engineering and construction of these improvements as an alternate to paragraph 3 above. If the CITY or other interested parties perform the design and construction work, OWNER will reimburse the CITY within 30 days of written notification of the CITY's request for reimbursement for all costs of the design and construction of these improvements. The cost of these improvements shall be the actual design and construction costs. The construction costs are estimated in Attachment "B" (Engineer's Estimate for Improvements). The construction costs shall be adjusted by the Engineering Construction Cost Index, as published by the *Engineering News Record*.

5. In any event, if there is a default of Paragraph 2 or 3 above by OWNER, the CITY may proceed to cause said construction to be performed and charge the entire cost and expense to the OWNER, including interest thereon at the maximum legal rate from the date of written notice of said cost and expense, until paid.

6. This agreement is intended to run with the land described in Attachment "A" and is binding on the heirs, successors and assignees of OWNER and the benefit is to run to the successors and assignees of CITY. OWNER hereby expressly agrees that any costs incurred by CITY in its performance under Paragraphs 2, 3 or 4 of this agreement shall constitute a lien upon the property described in Attachment "A". OWNER consents to said lien and agrees the such lien is collectable by the CITY in the same manner as unpaid secured taxes, together with cost of collection.

7. OWNER shall include in any sales agreement or transfer of any interest in any part or the whole of the property which is covered by this Deferred Improvement Agreement, the requirement that the Buyer/Transferee assume the responsibilities set forth in this Agreement, as to the property and agrees to be subject to the terms and conditions herein, as an heir, successor or assignee of OWNER. OWNER shall require the Buyer/Transferee to sign an acknowledged and notarized statement substantially in the following form:

"Buyer/Transferee hereby acknowledges and assumes all responsibility for the construction of frontage improvements related to the property for which

Buyer/Transferee is acquiring an interest, in accordance with the terms and conditions of Agreement DFIA 20-04 between the City of Lathrop and ASP/RWM Properties / R&B Louise, LLC / R&B Delta, LLC, recorded as part of the Official Records of San Joaquin County.”

8. Miscellaneous Provisions:

- a. Consent. Whenever in this Agreement the approval or consent of a party is required, such approval or consent shall be in writing and shall be executed by a person having the express authority to grant such approval or consent.
- b. Controlling Law. The parties agree that this Agreement shall be governed and construed by and in accordance with the Laws of the State of California.
- c. Definitions. The definitions and terms are as defined in this Agreement.
- d. Force Majeure. Neither party shall be deemed to be in default on account of any delay or failure to perform its obligations under this Agreement that directly results from an Act of God or an act of a superior governmental authority.
- e. Headings. The paragraph headings are not a part of this Agreement and shall have no effect upon the construction or interpretation of any part of this Agreement.
- f. Incorporation of Documents. All documents constituting the Agreement documents as described herein and all documents which may, from time to time, be referred to in any duly executed amendment hereto are by such reference incorporated in the Agreement and shall be deemed to be part of this Agreement.
- g. Integration. This Agreement and any amendments hereto between the parties constitute the entire agreement between the parties concerning the deferral of the frontage improvements. There are no other prior oral or written agreements between the parties that are not incorporated in this Agreement regarding the timing of such frontage improvements.
- h. Modification of Agreement. This Agreement shall not be modified or be binding upon the parties unless such modification is agreed to in writing and signed by the parties.
- i. Provision. Any agreement, covenant, condition, clause, qualification, restriction, reservation, term or other stipulation in the Agreement shall define or otherwise

control, establish or limit the performance required or permitted or to be required of or permitted by either party. All provisions, whether covenants or conditions, shall be deemed to be both covenants and conditions.

- j. Time is of the Essence. Time is of the essence of this Agreement and each of its provisions, in the calculation of time hereunder, the time in which an act is to be performed shall be computed by excluding the first Day and including the last. If the time in which an act is to be performed falls on a Saturday, Sunday or any Day observed as a legal holiday by CITY, the time for performance shall be extended to the following Business Day.
  - k. Venue. In the event that suit is brought by either party hereunder, the parties agree that trial of such action shall be vested exclusively in the state courts of California in the County of San Joaquin or in the United States District Court for the Eastern District of California.
9. In the event that there are any changes to the law that make any part of this Agreement invalid, that portion of the Agreement shall be severed from the Agreement and the remaining portions of the Agreement shall remain in full force and effect.
10. In the event of any controversy, claim or dispute relating to this instrument or the breach thereof, the prevailing party shall be entitled to recover from the losing party reasonable expenses, attorney's fees and costs.

DFIA 20-04  
Parcels 1 through 4, Parcel Map 20-02  
ASP/RWM Properties / R&B Louise, LLC / R&B Delta, LLC

**ATTACHMENTS:**

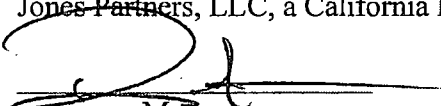
- A. Draft Parcel Map 20-02 (PM 20-02)
- B. Engineers Opinion of Probable Cost, Kier & Wright Civil Engineers & Surveyors,  
4/30/2020, DFIA-02-04

DFIA 20-04  
Parcels 1 through 4, Parcel Map 20-02  
ASP/RWM Properties / R&B Louise, LLC / R&B Delta, LLC

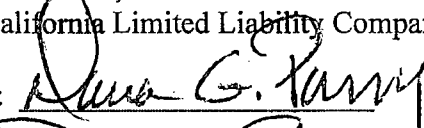
**OWNER:**

ASP/RWM Properties  
a California limited liability company

By: ~~Jones Partners~~, LLC, a California Limited Liability Company

By:   
Manager

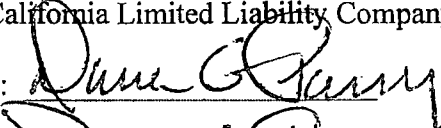
R&B Louise, LLC  
a California Limited Liability Company

By: 

Name: DANA G. PARRY

Title: President & Manager

R&B Delta, LLC  
a California Limited Liability Company

By: 

Name: DANA G. PARRY

Title: President & Manager

NOTARY ACKNOWLEDGE PAGE TO FOLLOW

ACKNOWLEDGMENT

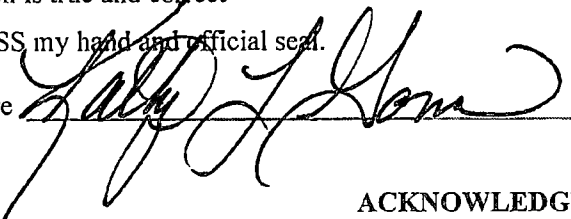
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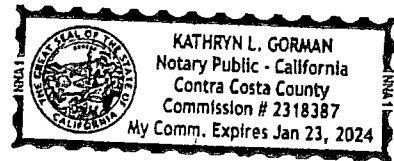
State of California )  
County of Contra Costa )

On May 5, 2020, before me, Kathryn L. Gorman, Notary Public, personally appeared Randall Scott Jones, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/~~she/they~~ executed the same in his/~~her/their~~ authorized capacity(ies), and that by his/~~her/their~~ signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct

WITNESS my hand and official seal.

Signature  (Seal)



ACKNOWLEDGMENT

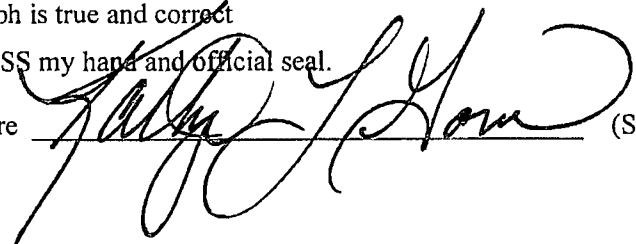
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California )  
County of Contra Costa )

On May 5, 2020, before me, Kathryn L. Gorman, Notary Public, personally appeared Dana G. Parby, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/~~she/they~~ executed the same in his/~~her/their~~ authorized capacity(ies), and that by his/~~her/their~~ signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct

WITNESS my hand and official seal.

Signature  (Seal)





ACKNOWLEDGMENT

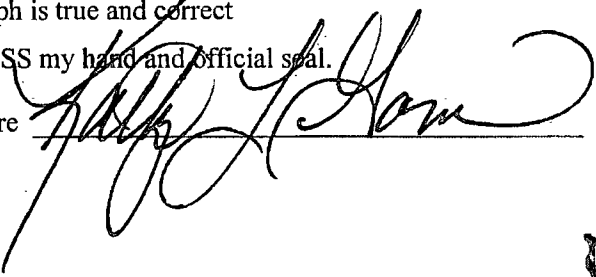
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

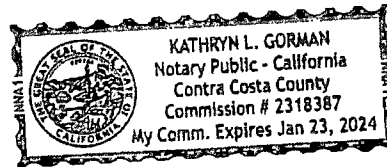
State of California )  
County of Contra Costa )

On May 5, 2020, before me, Kathryn L. Gorman, Notary Public, personally appeared Dana G. Barry, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/~~are~~ subscribed to the within instrument and acknowledged to me that he/~~she/they~~ executed the same in his/~~her/their~~ authorized capacity(~~ies~~), and that by his/~~her/their~~ signature(~~s~~) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct

WITNESS my hand and official seal.

Signature  (Seal)



DFIA 20-04  
Parcels 1 through 4, Parcel Map 20-02  
ASP/RWM Properties / R&B Louise, LLC / R&B Delta, LLC

**ATTACHMENT A**

Draft Parcel Map 20-02 (PM 20-02)

**OWNER'S STATEMENT:**

WE, THE UNDERSIGNED, HEREBY STATE THAT WE ARE ALL THE PARTIES HAVING RECORD TITLE INTEREST IN THE LANDS SUBDIVIDED AND SHOWN ON THIS PARCEL MAP AND WE HEREBY CONSENT TO THE PREPARATION AND FILING OF THIS PARCEL MAP IN THE OFFICE OF THE COUNTY RECORDER OF SAN JOAQUIN COUNTY, CALIFORNIA.

THE REAL PROPERTY DESCRIBED BELOW IS DEDICATED AS AN EASEMENT FOR PUBLIC PURPOSES:

AN EASEMENT FOR PUBLIC ROADWAY AND UTILITY PURPOSES UNDER, UPON AND OVER THOSE STRIPS OF LAND DESIGNATED "ROW DEDICATION" AS DELINEATED AND DESIGNATED WITHIN THE HEAVY LINES OF THIS MAP; AND THAT SAID STRIPS ARE TO BE KEPT OPEN AND FREE FROM BUILDINGS OR STRUCTURES OF ANY KIND EXCEPT APPLICABLE UTILITY STRUCTURES AND APPURTENANCES, LANDSCAPING, IRRIGATION SYSTEMS AND APPURTENANCES AND LAWFUL FENCES.

AN EASEMENT FOR PUBLIC SERVICES AND UTILITY PURPOSES UNDER, UPON AND OVER THOSE STRIPS OF LAND DESIGNATED PUBLIC UTILITY EASEMENT "P.U.E." AS DELINEATED AND DESIGNATED WITHIN THE HEAVY LINES OF THIS MAP; AND THAT SAID STRIPS ARE TO BE KEPT OPEN AND FREE FROM BUILDINGS OR STRUCTURES OF ANY KIND EXCEPT APPLICABLE UTILITY STRUCTURES AND APPURTENANCES, LANDSCAPING, IRRIGATION SYSTEMS AND APPURTENANCES AND LAWFUL FENCES.

AN EASEMENT FOR PEDESTRIAN ACCESS PURPOSES UNDER, UPON AND OVER THOSE STRIPS OF LAND DESIGNATED PEDESTRIAN ACCESS EASEMENT "P.A.E." AS DELINEATED AND DESIGNATED WITHIN THE HEAVY LINES OF THIS MAP; AND THAT SAID STRIPS ARE TO BE KEPT OPEN AND FREE FROM BUILDINGS OR STRUCTURES OF ANY KIND EXCEPT APPLICABLE UTILITY STRUCTURES AND APPURTENANCES, LANDSCAPING, IRRIGATION SYSTEMS AND APPURTENANCES AND LAWFUL FENCES.

AN EASEMENT FOR TRAFFIC SIGNAL LOOP PURPOSES UNDER, UPON AND OVER THOSE STRIPS OF LAND DESIGNATED TRAFFIC SIGNAL LOOP EASEMENT "T.S.L.E." AS DELINEATED AND DESIGNATED WITHIN THE HEAVY LINES OF THIS MAP; AND THAT SAID STRIPS ARE TO BE KEPT OPEN AND FREE FROM BUILDINGS OR STRUCTURES OF ANY KIND EXCEPT APPLICABLE UTILITY STRUCTURES AND APPURTENANCES, LANDSCAPING, IRRIGATION SYSTEMS AND APPURTENANCES AND LAWFUL FENCES.

AN EASEMENT WITH THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF EMERGENCY VEHICULAR ACCESS UNDER, UPON AND OVER THE STRIP OF LAND DESIGNATED AS "EVIA" (EMERGENCY VEHICULAR ACCESS EASEMENT), AS DELINEATED AND DESIGNATED WITHIN THE HEAVY LINES OF THIS MAP; AND THAT SAID AREA OR STRIP IS TO BE KEPT OPEN AND FREE FROM BUILDINGS OR STRUCTURES OF ANY KIND EXCEPT APPLICABLE UTILITY STRUCTURES AND APPURTENANCES, LANDSCAPING, IRRIGATION SYSTEMS AND APPURTENANCES AND LAWFUL FENCES.

TO INSURE MUNICIPAL WATER SERVICE TO ALL PARCELS, ALL WATER RIGHTS ARE DEDICATED TO THE CITY OF LATHROP WITHIN THE EXTERIOR BOUNDARY LINE OF THIS MAP.

THIS MAP SHOWS OR NOTES ALL PLOTTABLE EASEMENTS, EXISTING OR OF RECORD, WITHIN THE BOUNDARY LINES OF THE HEREIN EMBODIED MAP.

R & B DELTA, LLC,  
A CALIFORNIA LIMITED LIABILITY COMPANY;

BY: DANA C. PARRY, PRESIDENT AND MANAGER

R & B LOUISE, LLC,  
A CALIFORNIA LIMITED LIABILITY COMPANY;

BY: DANA C. PARRY, PRESIDENT AND MANAGER

ASP/RNM PROPERTIES, LLC,  
A CALIFORNIA LIMITED LIABILITY COMPANY, WHICH ACQUIRED TITLE AS  
ASP/RNM PROPERTIES, A CALIFORNIA GENERAL PARTNERSHIP;

BY: JONES PARTNERS, LLC,  
A CALIFORNIA LIMITED LIABILITY COMPANY, MANAGER

BY: RANDALL S. JONES, MANAGING MEMBER

BY: CAREY JONES ANDRE, MANAGING MEMBER

**BENEFICIARY STATEMENT:**

THE UNDERSIGNED, WELLS FARGO BANK A NATIONAL ASSOCIATION, AS BENEFICIARY FOR THAT CERTAIN CERTAIN DEED OF TRUST RECORDED JULY 22, 2015 AS INSTRUMENT NO. 2015-087405, SAID DEED OF TRUST HAVING BEEN MODIFIED BY THAT CERTAIN MEMORANDUM OF MODIFICATION AGREEMENT AMENDING SECURITY INSTRUMENT, RECORDED NOVEMBER 9, 2015 AS INSTRUMENT NO. 2015-132735, OFFICIAL RECORDS OF SAN JOAQUIN, DO HEREBY CONSENT TO THE PREPARATION AND RECORDATION OF THE HEREIN EMBODIED PARCEL, AND JOINS IN ALL DEDICATIONS THEREON.

IN WITNESS WHEREOF, THE UNDERSIGNED HAS EXECUTED THIS STATEMENT ON \_\_\_\_\_, 2020, BY ITS DULY AUTHORIZED OFFICERS AS BENEFICIARY:

WELLS FARGO BANK, A NATIONAL ASSOCIATION, AS BENEFICIARY.

BY: \_\_\_\_\_

NAME: \_\_\_\_\_

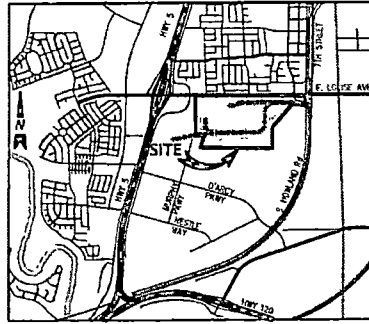
TITLE: \_\_\_\_\_

# PARCEL MAP 20-02

BEING A SUBDIVISION OF PARCEL 1 AND THE DESIGNATED REMAINDER AS SHOWN ON THAT CERTAIN PARCEL MAP RECORDED DECEMBER 19, 2017, IN BOOK 26 OF PARCEL MAPS AT PAGE 94, SAN JOAQUIN COUNTY RECORDS.

CITY OF LATHROP - SAN JOAQUIN COUNTY - CALIFORNIA  
MAY 2020

**KIER & WRIGHT**  
CIVIL ENGINEERS & SURVEYORS, INC.  
2850 Collier Canyon Road Phone (525) 245-8788  
Livermore, California 94551 Fax (525) 245-8789



VICINITY MAP

NOT TO SCALE

**BENEFICIARY STATEMENT:**

THE UNDERSIGNED, WELLS FARGO BANK A NATIONAL ASSOCIATION, AS BENEFICIARY FOR THAT CERTAIN CERTAIN DEED OF TRUST RECORDED \_\_\_\_\_ AS INSTRUMENT NO. \_\_\_\_\_ OFFICIAL RECORDS OF SAN JOAQUIN, DO HEREBY CONSENT TO THE PREPARATION AND RECORDATION OF THE HEREIN EMBODIED PARCEL, AND JOINS IN ALL DEDICATIONS THEREON.

IN WITNESS WHEREOF, THE UNDERSIGNED HAS EXECUTED THIS STATEMENT ON \_\_\_\_\_, 2020, BY ITS DULY AUTHORIZED OFFICERS AS BENEFICIARY:

WELLS FARGO BANK, A NATIONAL ASSOCIATION, AS BENEFICIARY.

BY: \_\_\_\_\_

NAME: \_\_\_\_\_

TITLE: \_\_\_\_\_

**SURVEYOR'S STATEMENT**

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF RETNOLDS & BROWN IN AUGUST, 2019. I HEREBY STATE THAT THIS PARCEL MAP SUBSTANTIALLY CONFORMS TO THE APPROVED OR CONDITIONALLY APPROVED TENTATIVE MAP, IF ANY. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED, OR WILL OCCUPY THE POSITIONS INDICATED WITHIN 6 MONTHS FROM THE FILING DATE OF THIS MAP, AND THAT THE MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

GARY K. LAHR, L.S. 6627



**NOTE:**

APPROVAL OF THIS FINAL PARCEL MAP IS SUBJECT TO THE NORTH CROSSROADS BUSINESS PARK TENTATIVE PARCEL MAP WAIVER (APPLICATION NUMBER 17M-18-18.) CONDITIONS OF APPROVAL THAT WAS APPROVED BY CITY OF LATHROP COMMUNITY DEVELOPMENT DEPARTMENT ON MAY 30, 2018.

**NOTE:**

FUTURE DEVELOPMENT OF PARCELS 1-3 SHALL BE CONSISTENT WITH APPLICABLE SECTIONS OF THE LATHROP MUNICIPAL CODE.

**NOTE:**

THE DESIGNATED REMAINDER PARCEL SHALL BE SUBJECT TO THE PROVISIONS OF THE SUBDIVISION MAP ACT, GOVERNMENT CODE SECTION 66424.6.

**CITY ENGINEER'S STATEMENT**

I, GLEN GERHARDT, HEREBY STATE THAT I HAVE EXAMINED THIS PARCEL MAP AND THAT THE SUBDIVISION SHOWN HEREON COMPLIES WITH ALL THE PROVISIONS OF CHAPTER 2 OF THE CALIFORNIA SUBDIVISION MAP ACT, AS AMENDED, AND THAT THIS MAP IS TECHNICALLY CORRECT.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

GLEN GERHARDT, R.C.E. 34681  
CITY ENGINEER



**CITY SURVEYOR'S STATEMENT**

I, DARRYL ALEXANDER, HEREBY STATE THAT I HAVE EXAMINED THIS PARCEL MAP AND THAT THE SUBDIVISION SHOWN HEREON COMPLIES WITH ALL THE PROVISIONS OF CHAPTER 2 OF THE CALIFORNIA SUBDIVISION MAP ACT, AS AMENDED, AND THAT THIS MAP IS TECHNICALLY CORRECT.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

DARRYL ALEXANDER, PLS 5071



**COMMUNITY DEVELOPMENT DIRECTOR'S STATEMENT**

I, MARK MESSNER, HEREBY STATE THAT LATHROP PLANNING DIVISION HAS WAIVED THE REQUIREMENT FOR A TENTATIVE MAP IN ACCORDANCE WITH SECTION 159.098 OF THE LATHROP MUNICIPAL CODE OF ORDINANCES.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

MARK MESSNER, COMMUNITY  
DEVELOPMENT DIRECTOR

**CITY CLERK'S STATEMENT**

I, TERESA VARGAS, CITY CLERK AND CLERK OF THE CITY COUNCIL OF THE CITY OF LATHROP, CALIFORNIA, DO HEREBY STATE THAT THE HEREIN EMBODIED MAP ENTITLED "PARCEL MAP 20-02" CONSISTING OF FOUR (4) SHEETS, WAS PRESENTED TO SAID CITY COUNCIL, AS PROVIDED BY LAW, AT A REGULAR MEETING THEREOF, HELD ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020 AND THAT SAID CITY COUNCIL DID THEREUPON BY RESOLUTION NO. \_\_\_\_\_ DULY PASS AND ADOPT AT SAID MEETING, APPROVE SAID MAP, AND AUTHORIZE ITS RECORDATION AND DO HEREBY ACCEPT ON BEHALF OF THE CITY OF LATHROP, FOR PUBLIC USE, THE DEDICATION OF ALL EASEMENTS, WATER RIGHTS, AND ACCEPT THE OFFER OF DEDICATION OF ALL STREETS, AVENUES, ROADS AND WAYS, AS SHOWN ON SAID MAP SUBJECT TO IMPROVEMENTS BEING COMPLETED, IN ACCORDANCE WITH CHAPTER 16, TITLE 16.16 OF THE CITY OF LATHROP MUNICIPAL CODE.

I FURTHER STATE THAT ALL BONDS AS REQUIRED BY LAW TO ACCOMPANY THE WITHIN MAP HAVE BEEN APPROVED BY THE CITY COUNCIL OF THE CITY OF LATHROP AND FILED IN MY OFFICE.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

TERESA VARGAS  
CITY CLERK

**RECORDER'S STATEMENT**

FILED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020, AT \_\_\_\_\_, CA.

IN BOOK \_\_\_\_\_ OF PARCEL MAPS, AT PAGE \_\_\_\_\_, AT THE REQUEST OF KIER & WRIGHT.

FEE \$: \_\_\_\_\_

STEVE J. BESTOLARDES BY: \_\_\_\_\_  
ASSESSOR-RECORDER-COUNTY CLERK DEPUTY RECORDER

JOB NO. A14663-11

SHEET 1 OF 4 SHEETS

# PARCEL MAP 20-02

BEING A SUBDIVISION OF PARCEL 1 AND THE DESIGNATED REMAINDER AS SHOWN ON THAT CERTAIN PARCEL MAP RECORDED DECEMBER 19, 2017, IN BOOK 26 OF PARCEL MAPS AT PAGE 94, SAN JOAQUIN COUNTY RECORDS.

CITY OF LATHROP - SAN JOAQUIN COUNTY - CALIFORNIA

MAY 2020

**KIER & WRIGHT**  
CIVIL ENGINEERS & SURVEYORS, INC.  
2850 Collier Canyon Road Phone (202) 248-8788  
Livermore, California 94551 Fax (925) 345-9700

### OWNER'S ACKNOWLEDGMENT:

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF \_\_\_\_\_ }  
COUNTY OF \_\_\_\_\_ } SS  
ON \_\_\_\_\_ 20\_\_\_\_, BEFORE ME, \_\_\_\_\_

A NOTARY PUBLIC, PERSONALLY APPEARED \_\_\_\_\_ WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(ES), AND BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND

SIGNATURE: \_\_\_\_\_

PRINTED NAME: \_\_\_\_\_

PRINCIPAL PLACE OF BUSINESS: \_\_\_\_\_

COMMISSION NUMBER: \_\_\_\_\_

COMMISSION EXPIRES: \_\_\_\_\_

### OWNER'S ACKNOWLEDGMENT:

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STATE OF \_\_\_\_\_ }  
COUNTY OF \_\_\_\_\_ } SS  
ON \_\_\_\_\_ 20\_\_\_\_, BEFORE ME, \_\_\_\_\_

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SIGNATURE: \_\_\_\_\_

PRINTED NAME: \_\_\_\_\_

PRINCIPAL PLACE OF BUSINESS: \_\_\_\_\_

COMMISSION NUMBER: \_\_\_\_\_

COMMISSION EXPIRES: \_\_\_\_\_

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COUNTY OF \_\_\_\_\_ } SS  
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WITNESS MY HAND

SIGNATURE: \_\_\_\_\_

PRINTED NAME: \_\_\_\_\_

PRINCIPAL PLACE OF BUSINESS: \_\_\_\_\_

COMMISSION NUMBER: \_\_\_\_\_

COMMISSION EXPIRES: \_\_\_\_\_

### BENEFICIARY ACKNOWLEDGMENT:

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STATE OF \_\_\_\_\_ }  
COUNTY OF \_\_\_\_\_ } SS  
ON \_\_\_\_\_ 20\_\_\_\_, BEFORE ME, \_\_\_\_\_

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WITNESS MY HAND

SIGNATURE: \_\_\_\_\_

PRINTED NAME: \_\_\_\_\_

PRINCIPAL PLACE OF BUSINESS: \_\_\_\_\_

COMMISSION NUMBER: \_\_\_\_\_

COMMISSION EXPIRES: \_\_\_\_\_

### AGRICULTURAL NOTIFICATION:

PER CITY OF LATHROP CODE OF ORDINANCES, TITLE 15, CHAPTER 15.4804, IN THE CITY OF LATHROP PERMITS OPERATION OF PROPERLY CONDUCTED AGRICULTURAL OPERATIONS WITHIN THE CITY LIMITS, INCLUDING THOSE THAT UTILIZE CHEMICAL FERTILIZERS AND PESTICIDES. YOU ARE HEREBY NOTIFIED THAT THE PROPERTY YOU ARE PURCHASING MAY BE LOCATED CLOSE TO AGRICULTURAL LANDS AND OPERATIONS. YOU MAY BE SUBJECT TO INCONVENIENCES OR DISCOMFORT ARISING FROM THE LAWFUL AND PROPER USE OF AGRICULTURAL CHEMICALS AND PESTICIDES AND FROM OTHER AGRICULTURAL ACTIVITIES, INCLUDING WITHOUT LIMITATION, CULTIVATIONS, PLOWING, SPRAYING, IRRIGATION, PRUNING, HARVESTING, BURNING OF AGRICULTURAL WASTE PRODUCTS, PROTECTION OF CROPS AND ANIMALS FROM DEPRECIATION, AND OTHER ACTIVITIES WHICH MAY GENERATE DUST, SMOKE, NOISE, ODOR, RODENTS AND PESTS. BEWARE ALSO THAT THIS PROPERTY MAY BE LOCATED ADJACENT TO AGRICULTURAL OPERATIONS OUTSIDE THE CITY'S JURISDICTION. CONSEQUENTLY, DEPENDING ON THE LOCATION OF YOUR PROPERTY, IT MAY BE NECESSARY THAT YOU BE PREPARED TO ACCEPT SUCH INCONVENIENCES OR DISCOMFORT AS NORMAL AND NECESSARY ASPECT OF LIVING IN AN AGRICULTURALLY ACTIVE REGION.

### SIGNATURES OMITTED:

PURSUANT TO SECTION 66436 OF THE CALIFORNIA SUBDIVISION MAP ACT, THE SIGNATURES OF THE FOLLOWING PARTIES HAVE BEEN OMITTED:

- EASEMENT GRANTED TO PACIFIC TELEGRAPH & TELEPHONE COMPANY RECORDED ON JANUARY 23, 1922, IN BOOK G MISCELLANEOUS, VOLUME 51, PAGE 99, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY. (EASEMENT CANNOT BE PLOTTED FROM RECORD INFORMATION)
- EASEMENT GRANTED TO PACIFIC TELEGRAPH & TELEPHONE COMPANY RECORDED ON JANUARY 26, 1922, IN BOOK G MISCELLANEOUS, VOLUME 52, PAGE 6, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY. (EASEMENT CANNOT BE PLOTTED FROM RECORD INFORMATION)
- EASEMENT GRANTED TO PACIFIC TELEGRAPH & TELEPHONE COMPANY RECORDED ON JANUARY 26, 1922, IN BOOK G MISCELLANEOUS, VOLUME 52, PAGE 7, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY. (EASEMENT CANNOT BE PLOTTED FROM RECORD INFORMATION)
- EASEMENT GRANTED TO PACIFIC GAS & ELECTRIC COMPANY RECORDED ON MARCH 11, 1968, IN BOOK 3193, PAGE 587, AND RELOCATION IN CONNECTION THEREWITH A RELOCATION AGREEMENT RECORDED ON NOVEMBER 28, 1991, AS DOCUMENT NO. 91115616, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.
- EASEMENT GRANTED TO CENTRAL TELEPHONE COMPANY RECORDED ON NOVEMBER 8, 1974, IN BOOK 3916, PAGE 125, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.
- EASEMENT GRANTED TO E.R. CARPENTER COMPANY RECORDED ON DECEMBER 3, 1985, AS DOCUMENT NO. 85080708, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.
- EASEMENTS CONTAINED IN THE EASEMENT AGREEMENT WITH SAN JOAQUIN COGEN LIMITED RECORDED ON MARCH 23, 1989, AS DOCUMENT NO. 89025744, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.
- EASEMENT GRANTED TO LOBBY-OVENS-FORD COMPANY RECORDED ON MARCH 23, 1989, AS DOCUMENT NO. 89025744, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.
- EASEMENTS GRANTED TO SAN JOAQUIN COGEN LIMITED RECORDED ON DECEMBER 6, 1989, AS DOCUMENT NO. 89113369, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.
- EASEMENT BY COURT ORDER TO SPRINT COMMUNICATIONS, LP, RECORDED ON DECEMBER 9, 2013, AS DOCUMENT NO. 2013-151392, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY. (EASEMENT CANNOT BE PLOTTED FROM RECORD INFORMATION)
- EASEMENT TO J.R. SMOLOT RECORDED APRIL 27, 2017, AS DOCUMENT NO. 2017-106052, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.

### BENEFICIARY ACKNOWLEDGMENT:

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STATE OF \_\_\_\_\_ }  
COUNTY OF \_\_\_\_\_ } SS  
ON \_\_\_\_\_ 20\_\_\_\_, BEFORE ME, \_\_\_\_\_

A NOTARY PUBLIC, PERSONALLY APPEARED \_\_\_\_\_ WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(ES), AND BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND

SIGNATURE: \_\_\_\_\_

PRINTED NAME: \_\_\_\_\_

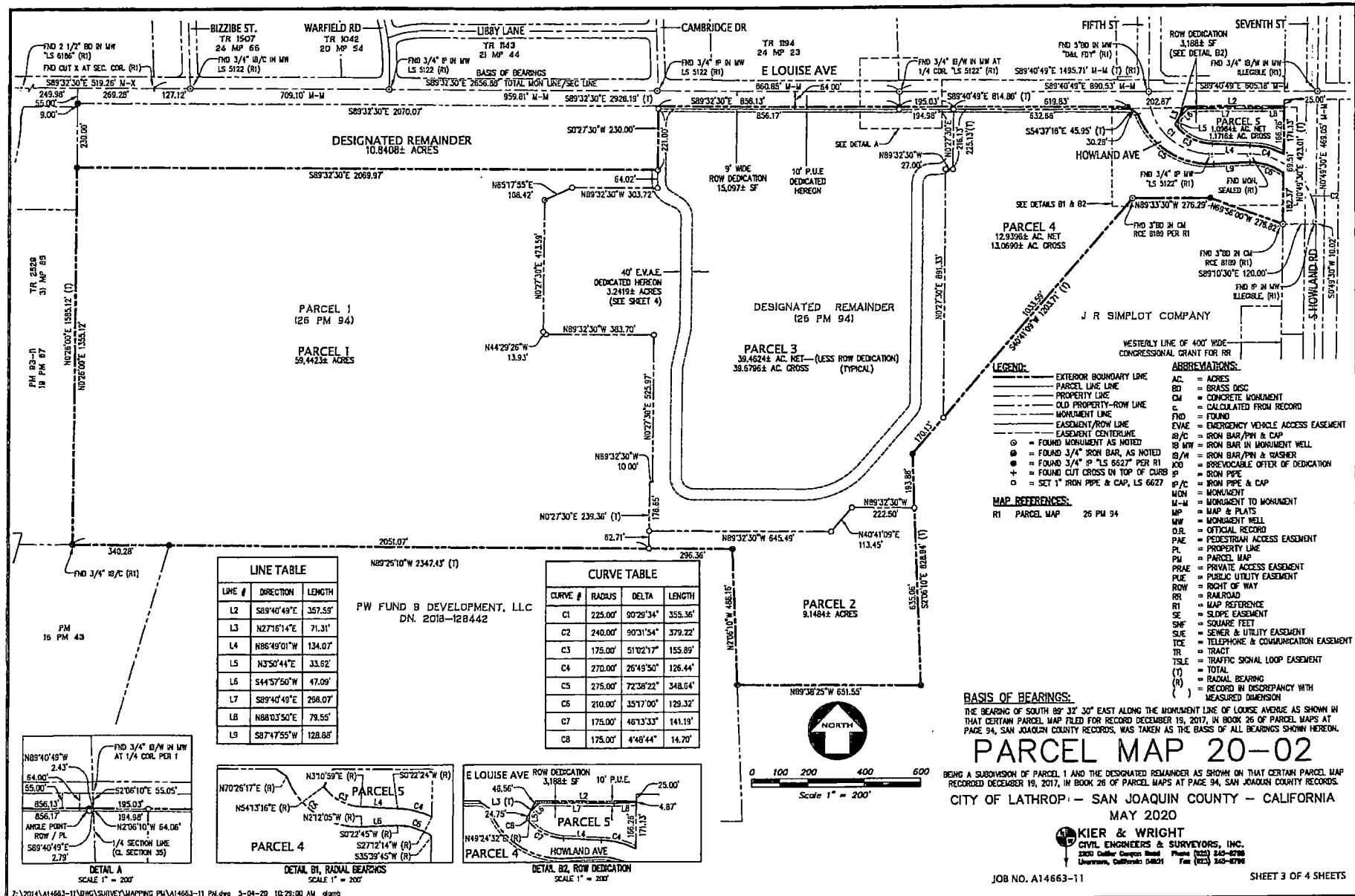
PRINCIPAL PLACE OF BUSINESS: \_\_\_\_\_

COMMISSION NUMBER: \_\_\_\_\_

COMMISSION EXPIRES: \_\_\_\_\_

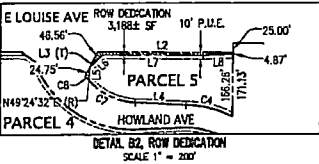
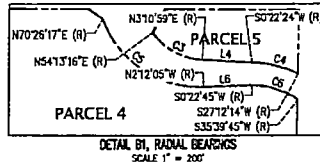
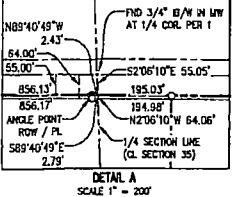
JOB NO. A14663-11

SHEET 2 OF 4 SHEETS



LINE #	DIRECTION	LENGTH
L1	S89°40'49"E	357.59'
L2	N27°16'14"E	71.31'
L4	N86°49'01"W	134.07'
L5	N3°50'44"E	33.62'
L6	S44°57'50"W	47.09'
L7	S89°40'49"E	298.07'
L8	N88°03'50"E	79.55'
L9	S87°47'55"W	128.88'

CURVE #	RADIUS	DELTA	LENGTH
C1	225.00'	90°29'34"	355.36'
C2	240.00'	90°31'54"	379.22'
C3	175.00'	51°02'17"	155.89'
C4	270.00'	26°49'50"	126.44'
C5	275.00'	72°38'22"	348.64'
C6	210.00'	35°17'00"	129.32'
C7	175.00'	46°13'33"	141.19'
C8	175.00'	4°48'44"	14.70'



- LEGEND:**
- EXTERIOR BOUNDARY LINE
  - PARCEL BOUNDARY LINE
  - PROPERTY LINE
  - OLD PROPERTY-ROW LINE
  - MONUMENT LINE
  - EASEMENT/ROW LINE
  - EASEMENT CENTERLINE
- ABBREVIATIONS:**
- AC = ACRES
  - BD = BRASS DISC
  - CM = CONCRETE MONUMENT
  - C = CALCULATED FROM RECORD
  - FND = FOUND
  - EVAE = EMERGENCY VEHICLE ACCESS EASEMENT
  - R/C = IRON BAR/PIE & CAP
  - RM W = IRON BAR IN MONUMENT WELL
  - R/P = IRON BAR/PIE & WASHER
  - K/O = REVOICABLE ORDER OF DEDICATION
  - IP = IRON PIPE
  - P/C = IRON PIPE & CAP
  - MON = MONUMENT
  - M-W = MONUMENT TO MONUMENT
  - MP = MAP & PLATS
  - MW = MONUMENT WELL
  - O.R. = OFFICIAL RECORD
  - PAE = PEDESTRIAN ACCESS EASEMENT
  - PL = PROPERTY LINE
  - PM = PARCEL MAP
  - PRAE = PRIVATE ACCESS EASEMENT
  - PUE = PUBLIC UTILITY EASEMENT
  - R/W = RIGHT OF WAY
  - RR = RAILROAD
  - RI = MAP REFERENCE
  - SE = SLOPE EASEMENT
  - SF = SQUARE FEET
  - SUE = SEWER & UTILITY EASEMENT
  - TEL = TELEPHONE & COMMUNICATION EASEMENT
  - TR = TRACT
  - TSLE = TRAFFIC SIGNAL LOOP EASEMENT
  - T = TOTAL
  - B = RADIAL BEARING
  - ( ) = RECORD IN DISCREPANCY WITH MEASURED DIMENSION
- MAP REFERENCES:**
- RI PARCEL MAP 26 PM 94

**BASIS OF BEARINGS:**  
 THE BEARING OF SOUTH 89° 32' 30" EAST ALONG THE MONUMENT LINE OF LOUISE AVENUE AS SHOWN IN THAT CERTAIN PARCEL MAP FILED FOR RECORD DECEMBER 19, 2017, IN BOOK 26 OF PARCEL MAPS AT PAGE 94, SAN JOAQUIN COUNTY RECORDS, WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN HEREON.

## PARCEL MAP 20-02

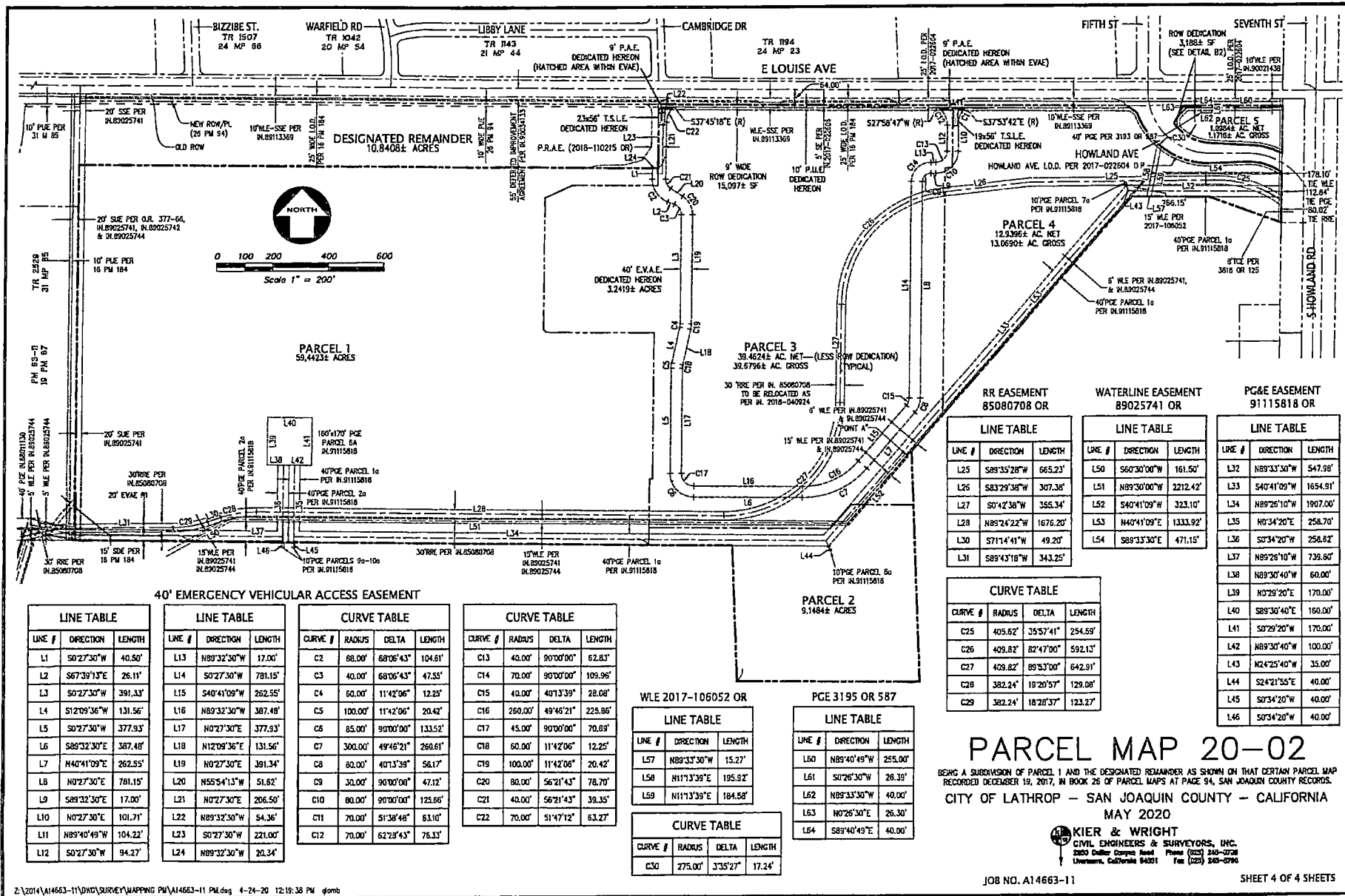
BEING A SUBDIVISION OF PARCEL 1 AND THE DESIGNATED REMAINDER AS SHOWN ON THAT CERTAIN PARCEL MAP RECORDED DECEMBER 19, 2017, IN BOOK 26 OF PARCEL MAPS AT PAGE 94, SAN JOAQUIN COUNTY RECORDS.

CITY OF LATHROP - SAN JOAQUIN COUNTY - CALIFORNIA  
 MAY 2020

**KIER & WRIGHT**  
 CIVIL ENGINEERS & SURVEYORS, INC.  
 2200 Collier Canyon Road Phone (925) 242-8798  
 Livermore, California 94551 Fax (925) 242-8796

JOB NO. A14663-11

SHEET 3 OF 4 SHEETS



**PARCEL MAP 20-02**  
 BEING A SUBDIVISION OF PARCEL 1 AND THE DESIGNATED REMAINDER AS SHOWN ON THAT CERTAIN PARCEL MAP  
 RECORDED DECEMBER 19, 2017, IN BOOK 26 OF PARCEL MAPS AT PAGE 94, SAN JOAQUIN COUNTY RECORDS.  
 CITY OF LATHROP - SAN JOAQUIN COUNTY - CALIFORNIA  
 MAY 2020  
**KIER & WRIGHT**  
 CIVIL ENGINEERS & SURVEYORS, INC.  
 2893 Collier Canyon Road Phone (209) 240-0728  
 Livermore, California 94551 Fax (209) 240-0796  
 JOB NO. A14663-11 SHEET 4 OF 4 SHEETS

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DFIA 20-04  
Parcels 1 through 4, Parcel Map 20-02  
ASP/RWM Properties / R&B Louise, LLC / R&B Delta, LLC

**ATTACHMENT B**

Engineers Opinion of Probable Cost – DFIA-20-04

**ENGINEERS OPINION OF PROBABLE COST**  
**KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS**

5/1/2020

**TOTAL PROJECT MINUS ENCROACHMENT PERMIT, DFIA-20-04 & DFIA-20-05**

Project No. A14663-15

Louise Avenue Improvements for Prologis/Reynolds & Brown

**I. GENERAL ITEMS**

ITEM NO.	DESCRIPTION	UNITS	K&W	K&W	K&W
			QUANTITY	UNIT PRICE	AMOUNT
1	MOBILIZATION	LS	1	\$ 35,000.00	\$ 35,000.00
2	TRAFFIC CONTROL/STAGING	LS	1	\$ 50,000.00	\$ 50,000.00
3	EROSION CONTROL SWPPP	LS	1	\$ 40,000.00	\$ 40,000.00
4	CONSTRUCTION STAKING	LS	1	\$ 35,000.00	\$ 35,000.00
5	EARTHWORK DEVELOPER RESPONSIBILITY NO EXPORT (CUT) (OR FILL)	CY	1698	\$ 10.00	\$ 16,980.00

**GENERAL ITEMS** \$ 176,980 **SUB TOTAL**

**II. DEMOLITION ITEMS**

ITEM NO.	DESCRIPTION	UNITS	K&W	K&W	K&W
			QUANTITY	UNIT PRICE	AMOUNT
1	SAWCUT	LF	5490	\$ 1.50	\$ 8,235.00
2	REMOVE ASPHALT PAVEMENT	SF	5848	\$ 3.18	\$ 18,596.64
3	REMOVE CONCRETE CURB & GUTTER	LF	1240	\$ 4.00	\$ 4,960.00
4	REMOVE ASPHALT BERM	LF	811	\$ 3.00	\$ 2,433.00
5	REMOVE SIGNAL POLE AND FOUNDATION	EA	4	\$ 2,500.00	\$ 10,000.00
6	REMOVE INLET	EA	3	\$ 1,000.00	\$ 3,000.00

**DEMOLITION ITEMS** \$ 47,224.64 **SUB TOTAL**

**III. SURFACE IMPROVEMENTS**

ITEM NO.	DESCRIPTION	UNITS	K&W	K&W	K&W
			QUANTITY	UNIT PRICE	AMOUNT
1	ASPHALT PAVEMENT (BASE ROCK TO BE FROM PAVEMENT GRINDINGS)	SF	21047	\$ 10.00	\$ 210,470.00
2	CONCRETE SIDEWALK (LOUISE)	SF	13681	\$ 6.00	\$ 82,086.00
3	CURB AND GUTTER	LF	2022	\$ 30.00	\$ 60,660.00
4	MEDIAN CURB	LF	3287	\$ 40.00	\$ 131,480.00
5	ACCESSIBLE RAMP	EA	4	\$ 1,200.00	\$ 4,800.00
6	MEDIAN PAVEMENT	SF	414	\$ 14.00	\$ 5,796.00

**SURFACE IMPROVEMENTS** \$ 495,292.00 **SUB TOTAL**

**IV. UTILITY IMPROVEMENTS**

ITEM NO.	DESCRIPTION	UNITS	K&W	K&W	K&W
			QUANTITY	UNIT PRICE	AMOUNT
1	12" STORM DRAIN	LF	42	\$ 150.00	\$ 6,300.00
2	CURB INLET	EA	4	\$ 5,500	\$ 22,000.00
3	IRRIGATION SLEEVES	LF	238	\$ 35	\$ 8,330.00
4	IRRIGATION BACKFLOW	EA	2	\$ 4,500	\$ 9,000.00
5	IRRIGATION CONTROLLER	EA	1	\$ 4,000	\$ 4,000.00
6	ADJUST MANHOLE TO GRADE	EA	6	\$ 1,200	\$ 7,200.00
7	ADJUST WATER VALVE/MONUMENT TO GRADE	EA	11	\$ 500	\$ 5,500.00
8	STORM DRAIN/SEWER MANHOLE	EA	1	\$ 8,500	\$ 8,500.00

**UTILITY IMPROVEMENTS** \$ 70,830.00 **SUB TOTAL**

**V. SIGNALS, LIGHTS, SIGNAGE, MISCELLANEOUS**

ITEM NO.	DESCRIPTION	UNITS	K&W	K&W	K&W
			QUANTITY	UNIT PRICE	AMOUNT
1	TRAFFIC SIGNAL W/LPR CAMERA	LS	1	\$ 210,000.00	\$ 210,000.00
2	SIGNS	EA	20	\$ 350.00	\$ 7,000.00
3	STRIPING	LF	5814	\$ 2.50	\$ 14,535.00
4	STRIPING ARROWS	EA	14	\$ 600.00	\$ 8,400.00
5	STREET LIGHTS DUAL	EA	13	\$ 5,500.00	\$ 71,500.00
6	STREET LIGHTS SIGNAL	EA	6	\$ 4,500.00	\$ 27,000.00
7	STREET LIGHT CABLE AND CONDUIT	LF	3000	\$ 22.00	\$ 66,000.00
8	RELOCATE BUS STOP	EA	1	\$ 5,000.00	\$ 5,000.00
9	3" CONDUIT WITH #14 GREEN PULL WIRE FOR FUTURE INTERCONNECT	EA	2100	\$ 35.00	\$ 73,500.00
10	INTERCONNECT NO. 6E PULL BOX	EA	3	\$ 1,000.00	\$ 3,000.00

**SIGNALS, LIGHTS, SIGNAGE, MISCELLANEOUS** \$ 485,935.00 **SUB TOTAL**

\$ 1,276,261.64 **TOTAL**

\$ 127,626.16 **10% CONTINGENCY**

\$ 1,403,887.80 **GRAND TOTAL**



RECORDING REQUESTED BY:  
City of Lathrop, CA

 COPY

WHEN RECORDED, PLEASE MAIL TO:  
City of Lathrop  
City Clerk  
390 Towne Centre Drive  
Lathrop, California 95330

*Exempt from payment of recording fees (GC 27383)*

SPACE ABOVE THIS LINE IS FOR RECORDER'S USE

**DFIA 20-05**

**DEFERRED FRONTAGE IMPROVEMENT AGREEMENT FOR E. LOUISE AVENUE**

**Parcels 1 through 4, Parcel Map 20-02**

**THIS AGREEMENT**, dated this \_\_\_\_\_ day of \_\_\_\_\_, 2020, by and between the CITY OF LATHROP, a municipal corporation in the State of California, hereinafter referred to as "CITY," and ASP/RWM Properties / R&B Louise, LLC / R&B Delta, LLC, hereinafter referred to as "OWNER".

**WITNESSETH**

**WHEREAS**, on December 19, 2017, Parcel Map 26-94 (PM 26-94) was approved and recorded to create one Parcel and a Designated Remainder in the City of Lathrop. OWNER has recorded Parcel Map 20-02 (PM 20-02), Attachment "A", to subdivide portions of the previously created Parcel and Designated Remainder by PM 26-94 into five (5) new parcels. Pursuant to Lathrop Municipal Code Section 16.20.140, the Conditions of Approval for Site Plan Review 18-17 (SPR 18-17) and associated Tentative Parcel Map No. TPM-18-18, OWNER is required to construct street frontage improvements along the frontage street of E. Louise Avenue including but not limited to the undergrounding of overhead utilities. Guarantee of all improvements, excluding the undergrounding of overhead utilities, has been provided to CITY either by cash deposit to CITY, Encroachment Permit, or other Deferred Frontage Improvement Agreement by OWNER and is therefore not included in this Agreement; and

**WHEREAS**, the parties hereto mutually desire to defer the undergrounding of overhead utilities within the E. Louise Avenue frontage until such time as other development causes the utilities to be undergrounded or CITY determines that the undergrounding of the utilities is necessary. OWNER is responsible for one half of the cost of underground the utilities within the frontage of said real property; and

**NOW, THEREFORE**, it is agreed by and between the parties hereto as follows:

1. OWNER represents and warrants that they are the fee title owners of the real property described in Attachment "A" attached hereto and herein incorporated by this reference. OWNER acknowledges that recordation of PM 20-02 is subject to a condition of undergrounding overhead utilities. The parties hereto agree that the actual undergrounding of overhead utilities may be delayed as provided herein. Failure to provide for the construction of these improvements shall constitute not only a failure of condition as to OWNER's Parcel Map (PM 20-02) but also a breach of this Agreement for which additional legal remedies may be pursued.
2. OWNER agrees to provide for one half of the cost of undergrounding all electric, phone and cable tv lines along either side of Louise Avenue along the frontage from Cambridge Avenue until the intersection of Louise Avenue and the Howland bypass at the sole cost and expense of OWNER. Said frontage improvements shall be consistent with the standards set forth by the City of Lathrop Standards and Specifications. Said frontage improvements shall include but not be limited to those listed in Attachment "B" (Engineer's Estimate) and are approximated as **\$255,640 (\$182,600 plus 20% contingency plus 20% soft cost)**, attached hereto and herein incorporated by this reference. Determination of when the required improvements are to be constructed shall be within the sole discretion of the City Engineer for the CITY (hereinafter "City Engineer"), subject to the terms of this Agreement.
3. Upon written notification by the CITY to proceed, OWNER shall engage a Civil Engineer, licensed in the State of California, to design and prepare construction drawings for the required improvements. The design of said improvements shall be in accordance with the latest City of Lathrop Design and Construction Standards in effect at the time of approval of the improvement plans. The improvement plans shall be submitted to the City Engineer for approval within ninety (90) days of written notification from CITY and construction shall commence within ninety (90) days after approval of the construction drawings. Conditions of when the

CITY would call for the frontage improvement to be built are noted in Chapter 12.12.050 of the Lathrop Municipal Code.

4. The City Engineer may choose to have the CITY or other interested parties perform the design engineering and construction of these improvements as an alternate to paragraph 3 above. If the CITY or other interested parties perform the design and construction work, OWNER will reimburse the CITY within 30 days of written notification of the CITY's request for reimbursement for all costs of the design and construction of these improvements. The cost of these improvements shall be the actual design and construction costs. The construction costs are estimated in Attachment "B" (Engineer's Estimate for Improvements). The construction costs shall be adjusted by the Engineering Construction Cost Index, as published by the *Engineering News Record*.

5. In any event, if there is a default of Paragraph 2 or 3 above by OWNER, the CITY may proceed to cause said construction to be performed and charge the entire cost and expense to the OWNER, including interest thereon at the maximum legal rate from the date of written notice of said cost and expense, until paid.

6. This agreement is intended to run with the land described in Attachment "A" and is binding on the heirs, successors and assignees of OWNER and the benefit is to run to the successors and assignees of CITY. OWNER hereby expressly agrees that any costs incurred by CITY in its performance under Paragraphs 2, 3 or 4 of this agreement shall constitute a lien upon the property described in Attachment "A". OWNER consents to said lien and agrees the such lien is collectable by the CITY in the same manner as unpaid secured taxes, together with cost of collection.

7. OWNER shall include in any sales agreement or transfer of any interest in any part or the whole of the property which is covered by this Deferred Improvement Agreement, the requirement that the Buyer/Transferee assume the responsibilities set forth in this Agreement, as to the property and agrees to be subject to the terms and conditions herein, as an heir, successor or assignee of OWNER. OWNER shall require the Buyer/Transferee to sign an acknowledged and notarized statement substantially in the following form:

"Buyer/Transferee hereby acknowledges and assumes all responsibility for the construction of frontage improvements related to the property for which

Buyer/Transferee is acquiring an interest, in accordance with the terms and conditions of Agreement DFIA 20-05 between the City of Lathrop and ASP/RWM Properties / R&B Louise, LLC / R&B Delta, LLC, recorded as part of the Official Records of San Joaquin County.”

8. Miscellaneous Provisions:

- a. Consent. Whenever in this Agreement the approval or consent of a party is required, such approval or consent shall be in writing and shall be executed by a person having the express authority to grant such approval or consent.
- b. Controlling Law. The parties agree that this Agreement shall be governed and construed by and in accordance with the Laws of the State of California.
- c. Definitions. The definitions and terms are as defined in this Agreement.
- d. Force Majeure. Neither party shall be deemed to be in default on account of any delay or failure to perform its obligations under this Agreement that directly results from an Act of God or an act of a superior governmental authority.
- e. Headings. The paragraph headings are not a part of this Agreement and shall have no effect upon the construction or interpretation of any part of this Agreement.
- f. Incorporation of Documents. All documents constituting the Agreement documents as described herein and all documents which may, from time to time, be referred to in any duly executed amendment hereto are by such reference incorporated in the Agreement and shall be deemed to be part of this Agreement.
- g. Integration. This Agreement and any amendments hereto between the parties constitute the entire agreement between the parties concerning the deferral of the frontage improvements. There are no other prior oral or written agreements between the parties that are not incorporated in this Agreement regarding the timing of such frontage improvements.
- h. Modification of Agreement. This Agreement shall not be modified or be binding upon the parties unless such modification is agreed to in writing and signed by the parties.
- i. Provision. Any agreement, covenant, condition, clause, qualification, restriction, reservation, term or other stipulation in the Agreement shall define or otherwise

control, establish or limit the performance required or permitted or to be required of or permitted by either party. All provisions, whether covenants or conditions, shall be deemed to be both covenants and conditions.

- j. Time is of the Essence. Time is of the essence of this Agreement and each of its provisions, in the calculation of time hereunder, the time in which an act is to be performed shall be computed by excluding the first Day and including the last. If the time in which an act is to be performed falls on a Saturday, Sunday or any Day observed as a legal holiday by CITY, the time for performance shall be extended to the following Business Day.
- k. Venue. In the event that suit is brought by either party hereunder, the parties agree that trial of such action shall be vested exclusively in the state courts of California in the County of San Joaquin or in the United States District Court for the Eastern District of California.

9. In the event that there are any changes to the law that make any part of this Agreement invalid, that portion of the Agreement shall be severed from the Agreement and the remaining portions of the Agreement shall remain in full force and effect.

10. In the event of any controversy, claim or dispute relating to this instrument or the breach thereof, the prevailing party shall be entitled to recover from the losing party reasonable expenses, attorney's fees and costs.

DFIA 20-05  
Parcels 1 through 4, Parcel Map 20-02  
ASP/RWM Properties / R&B Louise, LLC / R&B Delta, LLC

ATTACHMENTS:

- A. Draft Parcel Map 20-02 (PM 20-02)
- B. Engineers Opinion of Probable Cost, Kier & Wright Civil Engineers & Surveyors,  
4/30/2020, DFIA-20-05

DFIA 20-05  
Parcels 1 through 4, Parcel Map 20-02  
ASP/RWM Properties / R&B Louise, LLC / R&B Delta, LLC

IN WITNESS WHEREOF, the parties hereto have executed this Agreement on the date first written above.

**ATTEST:**  
City Clerk of and for the City

**CITY OF LATHROP**, a  
Municipal Corporation of the  
State of California

\_\_\_\_\_  
Teresa Vargas, City Clerk

\_\_\_\_\_  
Michael King  
Director of Public Works

**APPROVED AS TO FORM BY THE  
CITY OF LATHROP CITY ATTORNEY:**

\_\_\_\_\_  
Salvador Navarrete, City Attorney

**OWNER:**

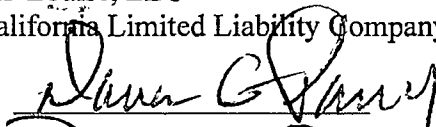
DFIA 20-05  
Parcels 1 through 4, Parcel Map 20-02  
ASP/RWM Properties / R&B Louise, LLC / R&B Delta, LLC

ASP/RWM Properties  
a California limited liability company

By: Jones Partners, LLC, a California Limited Liability Company

By:   
Manager

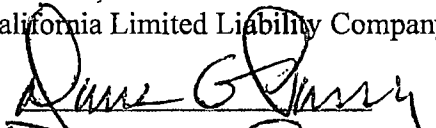
R&B Louise, LLC  
a California Limited Liability Company

By: 

Name: DANA G. PARRY

Title: President & Manager

R&B Delta, LLC  
a California Limited Liability Company

By: 

Name: DANA G. PARRY

Title: President & Manager

NOTARY ACKNOWLEDGE PAGE TO FOLLOW



ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

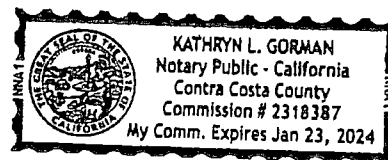
State of California )  
County of Contra Costa )

On May 5, 2020, before me, Kathryn L. Gorman, Notary Public, personally appeared Randall Scott Jones, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/~~are~~ subscribed to the within instrument and acknowledged to me that he/~~she/they~~ executed the same in his/~~her/their~~ authorized capacity(~~ies~~), and that by his/~~her/their~~ signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct

WITNESS my hand and official seal.

Signature [Handwritten Signature] (Seal)



ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

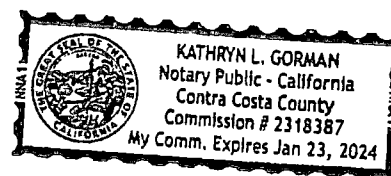
State of California )  
County of Contra Costa )

On May 5, 2020, before me, Kathryn L. Gorman, Notary Public, personally appeared Dana G. Parry, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/~~are~~ subscribed to the within instrument and acknowledged to me that he/~~she/they~~ executed the same in his/~~her/their~~ authorized capacity(~~ies~~), and that by his/~~her/their~~ signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct

WITNESS my hand and official seal.

Signature [Handwritten Signature] (Seal)



ACKNOWLEDGMENT

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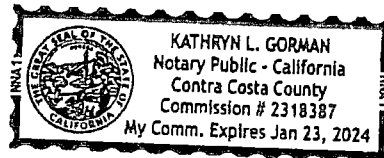
State of California )  
County of Contra Costa )

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I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct

WITNESS my hand and official seal.

Signature  (Seal)



DFIA 20-05  
Parcels 1 through 4, Parcel Map 20-02  
ASP/RWM Properties / R&B Louise, LLC / R&B Delta, LLC

**ATTACHMENT A**

Draft Parcel Map 20-02 (PM 20-02)

**OWNER'S STATEMENT:**

WE, THE UNDERSIGNED, HEREBY STATE THAT WE ARE ALL THE PARTIES HAVING RECORD TITLE INTEREST IN THE LANDS SUBDIVIDED AND SHOWN ON THIS PARCEL MAP AND WE HEREBY CONSENT TO THE PREPARATION AND FILING OF THIS PARCEL MAP IN THE OFFICE OF THE COUNTY RECORDER OF SAN JOAQUIN COUNTY, CALIFORNIA.

THE REAL PROPERTY DESCRIBED BELOW IS DEDICATED AS AN EASEMENT FOR PUBLIC PURPOSES:

AN EASEMENT FOR PUBLIC ROADWAY AND UTILITY PURPOSES UNDER, UPON AND OVER THOSE STRIPS OF LAND DESIGNATED "ROW DEDICATION" AS DELINEATED AND DESIGNATED WITHIN THE HEAVY LINES OF THIS MAP; AND THAT SAID STRIPS ARE TO BE KEPT OPEN AND FREE FROM BUILDINGS OR STRUCTURES OF ANY KIND EXCEPT APPLICABLE UTILITY STRUCTURES AND APPURTENANCES, LANDSCAPING, IRRIGATION SYSTEMS AND APPURTENANCES AND LAWFUL FENCES.

AN EASEMENT FOR PUBLIC SERVICES AND UTILITY PURPOSES UNDER, UPON AND OVER THOSE STRIPS OF LAND DESIGNATED PUBLIC UTILITY EASEMENT "P.U.E." AS DELINEATED AND DESIGNATED WITHIN THE HEAVY LINES OF THIS MAP; AND THAT SAID STRIPS ARE TO BE KEPT OPEN AND FREE FROM BUILDINGS OR STRUCTURES OF ANY KIND EXCEPT APPLICABLE UTILITY STRUCTURES AND APPURTENANCES, LANDSCAPING, IRRIGATION SYSTEMS AND APPURTENANCES AND LAWFUL FENCES.

AN EASEMENT FOR PEDESTRIAN ACCESS PURPOSES UNDER, UPON AND OVER THOSE STRIPS OF LAND DESIGNATED PEDESTRIAN ACCESS EASEMENT "P.A.E." AS DELINEATED AND DESIGNATED WITHIN THE HEAVY LINES OF THIS MAP; AND THAT SAID STRIPS ARE TO BE KEPT OPEN AND FREE FROM BUILDINGS OR STRUCTURES OF ANY KIND EXCEPT APPLICABLE UTILITY STRUCTURES AND APPURTENANCES, LANDSCAPING, IRRIGATION SYSTEMS AND APPURTENANCES AND LAWFUL FENCES.

AN EASEMENT FOR TRAFFIC SIGNAL LOOP PURPOSES UNDER, UPON AND OVER THOSE STRIPS OF LAND DESIGNATED TRAFFIC SIGNAL LOOP EASEMENT "T.S.L.E." AS DELINEATED AND DESIGNATED WITHIN THE HEAVY LINES OF THIS MAP; AND THAT SAID STRIPS ARE TO BE KEPT OPEN AND FREE FROM BUILDINGS OR STRUCTURES OF ANY KIND EXCEPT APPLICABLE UTILITY STRUCTURES AND APPURTENANCES, LANDSCAPING, IRRIGATION SYSTEMS AND APPURTENANCES AND LAWFUL FENCES.

AN EASEMENT WITH THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF EMERGENCY VEHICULAR ACCESS UNDER, UPON AND OVER THE STRIP OF LAND DESIGNATED AS "EMV" (EMERGENCY VEHICULAR ACCESS EASEMENT) AS DELINEATED AND DESIGNATED WITHIN THE HEAVY LINES OF THIS MAP; AND THAT SAID AREA OR STRIP IS TO BE KEPT OPEN AND FREE FROM BUILDINGS OR STRUCTURES OF ANY KIND EXCEPT APPLICABLE UTILITY STRUCTURES AND APPURTENANCES, LANDSCAPING, IRRIGATION SYSTEMS AND APPURTENANCES AND LAWFUL FENCES.

TO INSURE MUNICIPAL WATER SERVICE TO ALL PARCELS, ALL WATER RIGHTS ARE DEDICATED TO THE CITY OF LATHROP WITHIN THE EXTERIOR BOUNDARY LINE OF THIS MAP.

THIS MAP SHOWS OR NOTES ALL PLOTTABLE EASEMENTS, EXISTING OR OF RECORD, WITHIN THE BOUNDARY LINES OF THE HEREIN EMBODIED MAP.

R & B DELTA, LLC  
A CALIFORNIA LIMITED LIABILITY COMPANY;

BY: DANA C. PARRY, PRESIDENT AND MANAGER

R & B LOUISE, LLC  
A CALIFORNIA LIMITED LIABILITY COMPANY;

BY: DANA C. PARRY, PRESIDENT AND MANAGER

ASP/RVIM PROPERTIES, LLC  
A CALIFORNIA LIMITED LIABILITY COMPANY, WHICH ACQUIRED TITLE AS  
ASP/RVIM PROPERTIES, A CALIFORNIA GENERAL PARTNERSHIP;

BY: JONES PARTNERS, LLC  
A CALIFORNIA LIMITED LIABILITY COMPANY, MANAGER

BY: RANDALL S. JONES, MANAGING MEMBER

BY: CAREY JONES ANDRE, MANAGING MEMBER

**BENEFICIARY STATEMENT:**

THE UNDERSIGNED, WELLS FARGO BANK A NATIONAL ASSOCIATION, AS BENEFICIARY FOR THAT CERTAIN CERTAIN DEED OF TRUST RECORDED JULY 22, 2015 AS INSTRUMENT NO. 2015-087405, SAID DEED OF TRUST HAVING BEEN MODIFIED BY THAT CERTAIN MEMORANDUM OF MODIFICATION AGREEMENT AMONGING SECURITY INSTRUMENTS, RECORDED NOVEMBER 9, 2016 AS INSTRUMENT NO. 2016-138735, OFFICIAL RECORDS OF SAN JOAQUIN, DO HEREBY CONSENT TO THE PREPARATION AND RECORDATION OF THE HEREIN EMBODIED PARCEL, AND JOINS IN ALL DEDICATIONS THEREON.

IN WITNESS WHEREOF, THE UNDERSIGNED HAS EXECUTED THIS STATEMENT ON \_\_\_\_\_, 2020, BY ITS DULY AUTHORIZED OFFICERS AS BENEFICIARY:

WELLS FARGO BANK, A NATIONAL ASSOCIATION, AS BENEFICIARY

BY: \_\_\_\_\_

NAME: \_\_\_\_\_

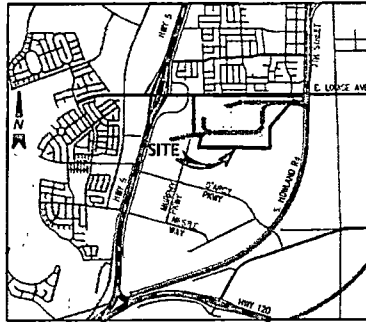
TITLE: \_\_\_\_\_

**PARCEL MAP 20-02**

BEING A SUBDIVISION OF PARCEL 1 AND THE DESIGNATED REMAINDER AS SHOWN ON THAT CERTAIN PARCEL MAP RECORDED DECEMBER 19, 2017, IN BOOK 283 OF PARCEL MAPS AT PAGE 84, SAN JOAQUIN COUNTY RECORDS.

**CITY OF LATHROP - SAN JOAQUIN COUNTY - CALIFORNIA  
MAY 2020**

**KIER & WRIGHT**  
CIVIL ENGINEERS & SURVEYORS, INC.  
2330 Collier Campus Road | Phone (925) 843-8788  
Livermore, California 94551 | Fax (925) 843-8798



**VICINITY MAP**

NOT TO SCALE

**BENEFICIARY STATEMENT:**

THE UNDERSIGNED, WELLS FARGO BANK A NATIONAL ASSOCIATION, AS BENEFICIARY FOR THAT CERTAIN CERTAIN DEED OF TRUST RECORDED \_\_\_\_\_ AS INSTRUMENT NO. \_\_\_\_\_ OFFICIAL RECORDS OF SAN JOAQUIN, DO HEREBY CONSENT TO THE PREPARATION AND RECORDATION OF THE HEREIN EMBODIED PARCEL, AND JOINS IN ALL DEDICATIONS THEREON.

IN WITNESS WHEREOF, THE UNDERSIGNED HAS EXECUTED THIS STATEMENT ON \_\_\_\_\_, 2020, BY ITS DULY AUTHORIZED OFFICERS AS BENEFICIARY:

WELLS FARGO BANK, A NATIONAL ASSOCIATION, AS BENEFICIARY.

BY: \_\_\_\_\_

NAME: \_\_\_\_\_

TITLE: \_\_\_\_\_

**SURVEYOR'S STATEMENT**

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF REYNOLDS & BROWN IN AUGUST, 2019. I HEREBY STATE THAT THIS PARCEL MAP SUBSTANTIALLY CONFORMS TO THE APPROVED OR CONDITIONALLY APPROVED TENTATIVE MAP, IF ANY. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED, OR WILL OCCUPY THE POSITIONS INDICATED WITHIN 6 MONTHS FROM THE FILING DATE OF THIS MAP, AND THAT THE MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

GARY K. LABEL, L.S. 6627



**NOTE:**

APPROVAL OF THIS FINAL PARCEL MAP IS SUBJECT TO THE NORTH CROSSROADS BUSINESS PARK TENTATIVE PARCEL MAP W/AVR (APPLICATION NUMBER 17M-18-18.) CONDITIONS OF APPROVAL THAT WAS APPROVED BY CITY OF LATHROP COMMUNITY DEVELOPMENT DEPARTMENT ON MAY 31, 2018.

**NOTE:**

FUTURE DEVELOPMENT OF PARCELS 1-5 SHALL BE CONSISTENT WITH APPLICABLE SECTIONS OF THE LATHROP MUNICIPAL CODE.

**NOTE:**

THE DESIGNATED REMAINDER PARCEL SHALL BE SUBJECT TO THE PROVISIONS OF THE SUBDIVISION MAP ACT, GOVERNMENT CODE SECTION 66424.6.

**CITY ENGINEER'S STATEMENT**

I, GLEN GEBHARDT, HEREBY STATE THAT I HAVE EXAMINED THIS PARCEL MAP AND THAT THE SUBDIVISION SHOWN HEREON IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP, IF REQUIRED, AND ANY APPROVED ALTERATIONS THEREOF. I FURTHER STATE THAT THIS PARCEL MAP COMPLIES WITH ALL THE PROVISIONS OF TITLES 16, CHAPTER 16.16 OF THE LATHROP MUNICIPAL CODE OF ORDINANCES, AND ANY AMENDMENTS THERETO, APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP, IF REQUIRED.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

GLEN GEBHARDT, R.C.E. 34681  
CITY ENGINEER



**CITY SURVEYOR'S STATEMENT**

I, DARRYL ALEXANDER, HEREBY STATE THAT I HAVE EXAMINED THIS PARCEL MAP AND THAT THE SUBDIVISION SHOWN HEREON COMPLIES WITH ALL THE PROVISIONS OF CHAPTER 2 OF THE CALIFORNIA SUBDIVISION MAP ACT, AS AMENDED, AND THAT THIS MAP IS TECHNICALLY CORRECT.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

DARRYL ALEXANDER, PLS 5071



**COMMUNITY DEVELOPMENT DIRECTOR'S STATEMENT**

I, MARK WEISSNER, HEREBY STATE THAT LATHROP PLANNING DIVISION HAS REVIEWED THE REQUIREMENT FOR A TENTATIVE MAP IN ACCORDANCE WITH SECTION 159.098 OF THE LATHROP MUNICIPAL CODE OF ORDINANCES.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

MARK WEISSNER, COMMUNITY DEVELOPMENT DIRECTOR

**CITY CLERK'S STATEMENT**

I, TERESA VARGAS, CITY CLERK AND CLERK OF THE CITY COUNCIL OF THE CITY OF LATHROP, CALIFORNIA, DO HEREBY STATE THAT THE HEREIN EMBODIED MAP ENTITLED "PARCEL MAP 20-02" CONSISTING OF FOUR (4) SHEETS, WAS PRESENTED TO SAID CITY COUNCIL, AS PROVIDED BY LAW, AT A REGULAR MEETING THEREOF, HELD ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020 AND THAT SAID CITY COUNCIL DID THEREUPON BY RESOLUTION NO. \_\_\_\_\_ DULY PASS AND ADOPT AT SAID MEETING, APPROVE SAID MAP, AND AUTHORIZE ITS RECORDATION AND DO HEREBY ACCEPT ON BEHALF OF THE CITY OF LATHROP, FOR PUBLIC USE, THE DEDICATION OF ALL EASEMENTS, WATER RIGHTS, AND ACCEPT THE OFFER OF DEDICATION OF ALL STREETS, AVENUES, ROADS AND WAYS, AS SHOWN ON SAID MAP SUBJECT TO IMPROVEMENTS BEING COMPLETED, IN ACCORDANCE WITH CHAPTER 16, TITLE 16.16 OF THE CITY OF LATHROP MUNICIPAL CODE.

I FURTHER STATE THAT ALL BONDS AS REQUIRED BY LAW TO ACCOMPANY THE WITHIN MAP HAVE BEEN APPROVED BY THE CITY COUNCIL OF THE CITY OF LATHROP AND FILED IN MY OFFICE.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

TERESA VARGAS  
CITY CLERK

**RECORDER'S STATEMENT**

FILED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020, AT \_\_\_\_\_, CA.

IN BOOK \_\_\_\_\_ OF PARCEL MAPS, AT PAGE \_\_\_\_\_, AT THE REQUEST OF KIER & WRIGHT.

FEE \$: \_\_\_\_\_

BY: \_\_\_\_\_  
STEVE J. BESTIARDES  
ASSESSOR-RECORDER-COUNTY CLERK

JOB NO. A14663-11

SHEET 1 OF 4 SHEETS

# PARCEL MAP 20-02

BEING A SUBDIVISION OF PARCEL 1 AND THE DESIGNATED REMAINDER AS SHOWN ON THAT CERTAIN PARCEL MAP RECORDED DECEMBER 19, 2017, IN BOOK 26 OF PARCEL MAPS AT PAGE 64, SAN JOAQUIN COUNTY RECORDS.  
CITY OF LATHROP - SAN JOAQUIN COUNTY - CALIFORNIA  
MAY 2020



### OWNER'S ACKNOWLEDGMENT:

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF \_\_\_\_\_ }  
 COUNTY OF \_\_\_\_\_ } SS  
 ON \_\_\_\_\_, 20\_\_ BEFORE ME, \_\_\_\_\_

A NOTARY PUBLIC, PERSONALLY APPEARED \_\_\_\_\_ WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/they EXECUTED THE SAME IN HIS/HER/their AUTHORIZED CAPACITY(IES), AND BY HIS/HER/their SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND  
 SIGNATURE: \_\_\_\_\_  
 PRINTED NAME: \_\_\_\_\_  
 PRINCIPAL PLACE OF BUSINESS: \_\_\_\_\_  
 COMMISSION NUMBER: \_\_\_\_\_  
 COMMISSION EXPIRES: \_\_\_\_\_

### OWNER'S ACKNOWLEDGMENT:

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF \_\_\_\_\_ }  
 COUNTY OF \_\_\_\_\_ } SS  
 ON \_\_\_\_\_, 20\_\_ BEFORE ME, \_\_\_\_\_

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STATE OF \_\_\_\_\_ }  
 COUNTY OF \_\_\_\_\_ } SS  
 ON \_\_\_\_\_, 20\_\_ BEFORE ME, \_\_\_\_\_

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 PRINCIPAL PLACE OF BUSINESS: \_\_\_\_\_  
 COMMISSION NUMBER: \_\_\_\_\_  
 COMMISSION EXPIRES: \_\_\_\_\_

### BENEFICIARY ACKNOWLEDGMENT:

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STATE OF \_\_\_\_\_ }  
 COUNTY OF \_\_\_\_\_ } SS  
 ON \_\_\_\_\_, 20\_\_ BEFORE ME, \_\_\_\_\_

A NOTARY PUBLIC, PERSONALLY APPEARED \_\_\_\_\_ WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/they EXECUTED THE SAME IN HIS/HER/their AUTHORIZED CAPACITY(IES), AND BY HIS/HER/their SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

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 COMMISSION NUMBER: \_\_\_\_\_  
 COMMISSION EXPIRES: \_\_\_\_\_

### AGRICULTURAL NOTIFICATION:

PER CITY OF LATHROP CODE OF ORDINANCES, TITLE 15, CHAPTER 15.4804, IN THE CITY OF LATHROP PERMITS OPERATION OF PROPERLY CONDUCTED AGRICULTURAL OPERATIONS WITHIN THE CITY LIMITS, INCLUDING THOSE THAT UTILIZE CHEMICAL FERTILIZERS AND PESTICIDES. YOU ARE HEREBY NOTIFIED THAT THE PROPERTY YOU ARE PURCHASING MAY BE LOCATED CLOSE TO AGRICULTURAL LANDS AND OPERATIONS. YOU MAY BE SUBJECT TO INCONVENIENCE OR DISCOMFORT ARISING FROM THE LAWFUL AND PROPER USE OF AGRICULTURAL CHEMICALS AND PESTICIDES AND FROM OTHER AGRICULTURAL ACTIVITIES, INCLUDING WITHOUT LIMITATION, CULTIVATIONS, PLOWING, SPRAYING, IRRIGATION, PRUNING, HARVESTING, BURNING OF AGRICULTURAL WASTE PRODUCTS, PROTECTION OF CROPS AND ANIMALS FROM DEPREDAATION, AND OTHER ACTIVITIES WHICH MAY GENERATE DUST, SMOKE, NOISE, ODOR, RODENTS AND PESTS. BEWARE ALSO THAT THIS PROPERTY MAY BE LOCATED ADJACENT TO AGRICULTURAL OPERATIONS OUTSIDE THE CITY'S JURISDICTION. CONSEQUENTLY, DEPENDING ON THE LOCATION OF YOUR PROPERTY, IT MAY BE NECESSARY THAT YOU BE PREPARED TO ACCEPT SUCH INCONVENIENCES OR DISCOMFORT AS NORMAL AND NECESSARY ASPECT OF LIVING IN AN AGRICULTURALLY ACTIVE REGION.

### SIGNATURES OMITTED:

PURSUANT TO SECTION 66438 OF THE CALIFORNIA SUBDIVISION MAP ACT, THE SIGNATURES OF THE FOLLOWING PARTIES HAVE BEEN OMITTED:

- EASEMENT GRANTED TO PACIFIC TELEGRAPH & TELEPHONE COMPANY RECORDED ON JANUARY 23, 1922, IN BOOK 6 MISCELLANEOUS, VOLUME 31, PAGE 99, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY. (EASEMENT CANNOT BE PLOTTED FROM RECORD INFORMATION)
- EASEMENT GRANTED TO PACIFIC TELEGRAPH & TELEPHONE COMPANY RECORDED ON JANUARY 26, 1922, IN BOOK 6 MISCELLANEOUS, VOLUME 32, PAGE 8, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY. (EASEMENT CANNOT BE PLOTTED FROM RECORD INFORMATION)
- EASEMENT GRANTED TO PACIFIC TELEGRAPH & TELEPHONE COMPANY RECORDED ON JANUARY 26, 1922, IN BOOK 6 MISCELLANEOUS, VOLUME 32, PAGE 7, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY. (EASEMENT CANNOT BE PLOTTED FROM RECORD INFORMATION)
- EASEMENT GRANTED TO PACIFIC GAS & ELECTRIC COMPANY RECORDED ON MARCH 11, 1968, IN BOOK J193, PAGE 587, AND RELOCATION IN CONNECTION THEREWITH A RELOCATION AGREEMENT RECORDED ON NOVEMBER 26, 1991, AS DOCUMENT NO. 91115818, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.
- EASEMENT GRANTED TO CONTINENTAL TELEPHONE COMPANY RECORDED ON NOVEMBER 6, 1973, IN BOOK 3816, PAGE 123, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.
- EASEMENT GRANTED TO E.R. CARPENTER COMPANY RECORDED ON DECEMBER 3, 1985, AS DOCUMENT NO. 8508708, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.
- EASEMENTS CONTAINED IN THE EASEMENT AGREEMENT WITH SAN JOAQUIN COGEN LIMITED RECORDED ON MARCH 23, 1989, AS DOCUMENT NO. 89025741, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.
- EASEMENT GRANTED TO LEBBY-DWENS-FORD COMPANY RECORDED ON MARCH 23, 1989, AS DOCUMENT NO. 89025744, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.
- EASEMENTS GRANTED TO SAN JOAQUIN COGEN LIMITED RECORDED ON DECEMBER 6, 1989, AS DOCUMENT NO. 89113369, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.
- EASEMENT BY COURT ORDER TO SPRINT COMMUNICATIONS, LP, RECORDED ON DECEMBER 9, 2013, AS DOCUMENT NO. 2013-151390, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY. (EASEMENT CANNOT BE PLOTTED FROM RECORD INFORMATION)
- EASEMENT TO L.R. SULLOY RECORDED APRIL 27, 2017, AS DOCUMENT NO. 2017-106052, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.

### BENEFICIARY ACKNOWLEDGMENT:

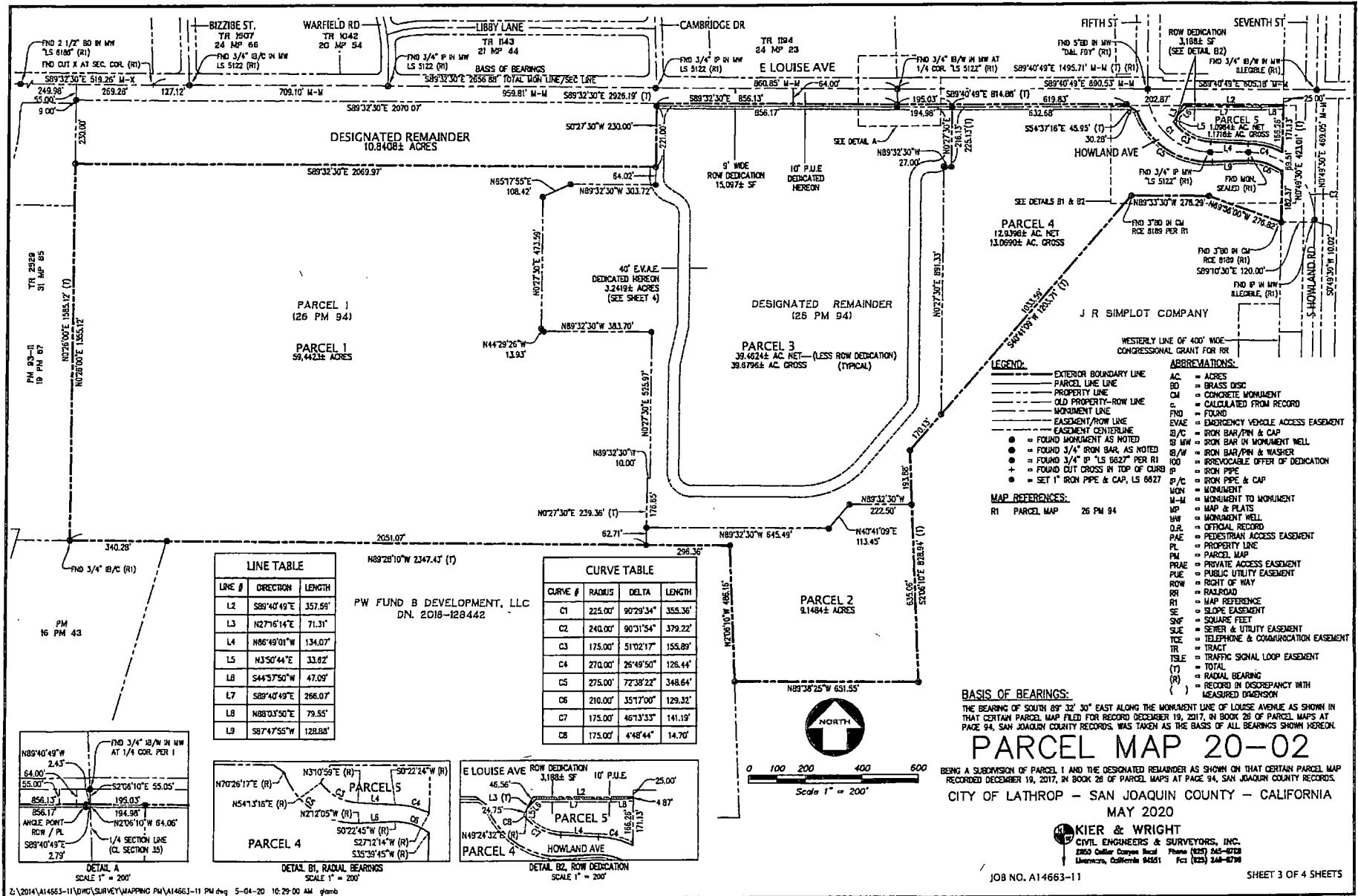
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STATE OF \_\_\_\_\_ }  
 COUNTY OF \_\_\_\_\_ } SS  
 ON \_\_\_\_\_, 20\_\_ BEFORE ME, \_\_\_\_\_

A NOTARY PUBLIC, PERSONALLY APPEARED \_\_\_\_\_ WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/they EXECUTED THE SAME IN HIS/HER/their AUTHORIZED CAPACITY(IES), AND BY HIS/HER/their SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

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WITNESS MY HAND  
 SIGNATURE: \_\_\_\_\_  
 PRINTED NAME: \_\_\_\_\_  
 PRINCIPAL PLACE OF BUSINESS: \_\_\_\_\_  
 COMMISSION NUMBER: \_\_\_\_\_  
 COMMISSION EXPIRES: \_\_\_\_\_



**LINE TABLE**

LINE #	DIRECTION	LENGTH
L2	S89°40'49"E	357.59'
L3	N27°16'14"E	71.31'
L4	N86°49'01"W	134.07'
L5	N35°0'44"E	33.62'
L6	S44°57'50"W	47.05'
L7	S89°40'49"E	266.07'
L8	N88°03'50"E	79.55'
L9	S87°47'55"W	128.88'

**CURVE TABLE**

CURVE #	RADIUS	DELTA	LENGTH
C1	225.00'	90°29'34"	355.36'
C2	240.00'	90°31'54"	379.22'
C3	175.00'	51°02'17"	155.89'
C4	270.00'	26°49'50"	126.44'
C5	275.00'	72°38'22"	348.64'
C6	210.00'	35°17'00"	129.32'
C7	175.00'	46°13'33"	141.19'
C8	175.00'	4°48'44"	14.70'

- LEGEND:**
- EXTERIOR BOUNDARY LINE
  - PARCEL LINE LINE
  - PROPERTY LINE
  - OLD PROPERTY-ROW LINE
  - MONUMENT LINE
  - EASEMENT/ROW LINE
  - EASEMENT CENTERLINE
  - = FOUND MONUMENT AS NOTED
  - = FOUND 1/4" IRON BAR, AS NOTED
  - = FOUND 3/4" IP "LS 5627" PER RI
  - = FOUND CUT CROSS IN TOP OF CURB
  - = SET 1" IRON PIPE & CAP, LS 6627
- ABBREVIATIONS:**
- AC = ACRES
  - BD = BRASS DISC
  - CM = CONCRETE MONUMENT
  - CL = CALCULATED FROM RECORD
  - FL = FOUND
  - EVAE = EMERGENCY VEHICLE ACCESS EASEMENT
  - IB/C = IRON BAR/PIPE & CAP
  - IB/MW = IRON BAR IN MONUMENT WELL
  - IB/W = IRON BAR/PIPE & WASHER
  - IOO = IRREVOCABLE OFFER OF DEDICATION
  - IP = IRON PIPE
  - IP/C = IRON PIPE & CAP
  - MON = MONUMENT
  - M-M = MONUMENT TO MONUMENT
  - MAP & PLATS = MAP & PLATS
  - MW = MONUMENT WELL
  - O.R. = OFFICIAL RECORD
  - PAE = PEDESTRIAN ACCESS EASEMENT
  - PL = PROPERTY LINE
  - PM = PARCEL MAP
  - PAE = PRIVATE ACCESS EASEMENT
  - PUAE = PUBLIC UTILITY EASEMENT
  - ROW = RIGHT OF WAY
  - R/R = RAILROAD
  - RI = MAP REFERENCE
  - SE = SLOPE EASEMENT
  - SQF = SQUARE FEET
  - S&U = SEWER & UTILITY EASEMENT
  - TEL = TELEPHONE & COMMUNICATION EASEMENT
  - TR = TRACT
  - TSLE = TRAFFIC SIGNAL LOOP EASEMENT
  - TOTAL = TOTAL
  - RB = RADIAL BEARING
  - (R) = RECORD IN DISCREPANCY WITH MEASURED DIMENSION

**MAP REFERENCES:**  
RI = PARCEL MAP 26 PM 94

**LEGEND:**  
--- EXTERIOR BOUNDARY LINE  
--- PARCEL LINE LINE  
--- PROPERTY LINE  
--- OLD PROPERTY-ROW LINE  
--- MONUMENT LINE  
--- EASEMENT/ROW LINE  
--- EASEMENT CENTERLINE

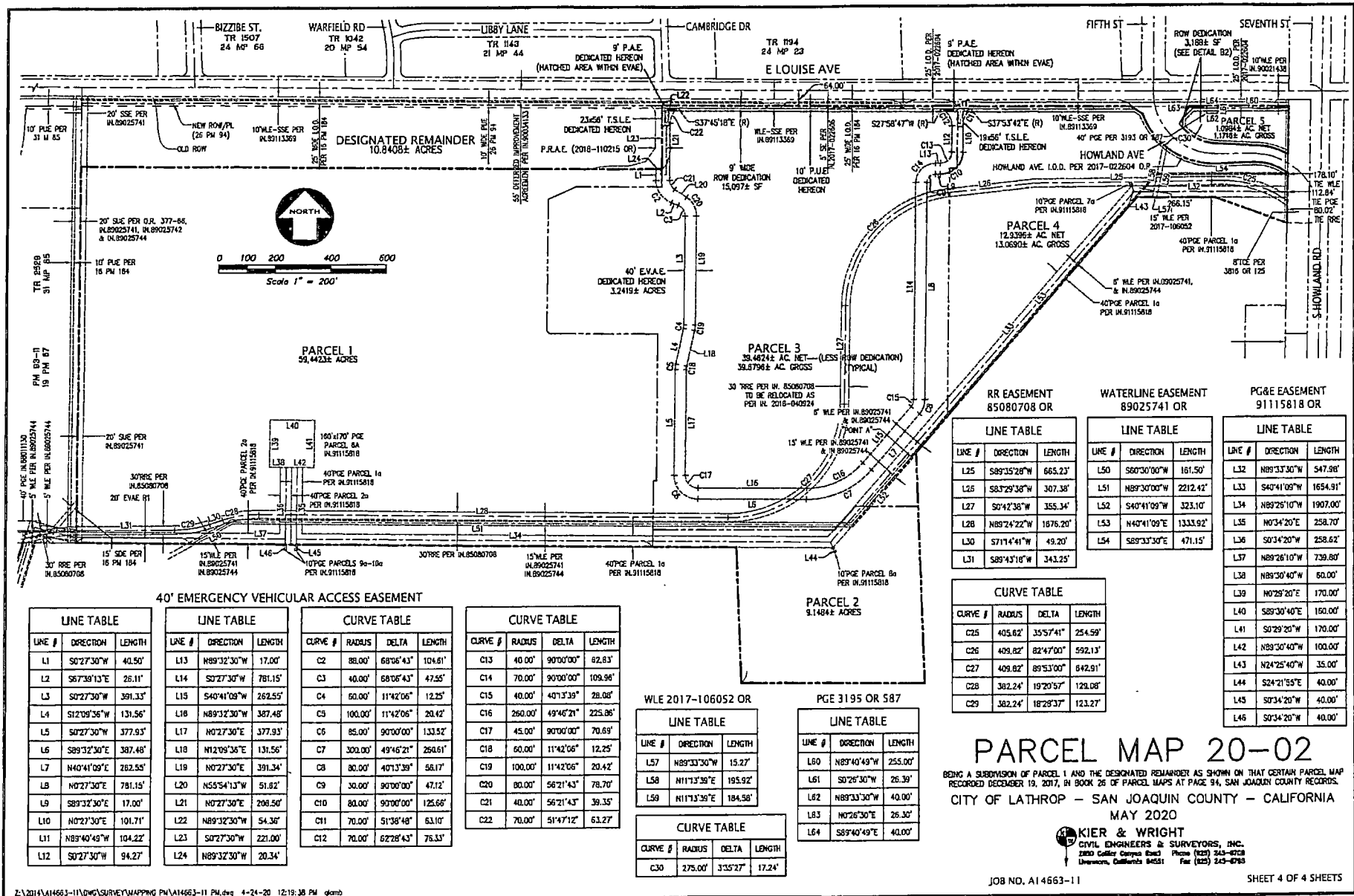
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TSLE = TRAFFIC SIGNAL LOOP EASEMENT  
TOTAL = TOTAL  
RB = RADIAL BEARING  
(R) = RECORD IN DISCREPANCY WITH MEASURED DIMENSION

**BASIS OF BEARINGS:**  
THE BEARING OF SOUTH 89° 32' 30" EAST ALONG THE MONUMENT LINE OF LOUISE AVENUE AS SHOWN IN THAT CERTAIN PARCEL MAP FILED FOR RECORD DECEMBER 19, 2017, IN BOOK 28 OF PARCEL MAPS AT PAGE 94, SAN JOAQUIN COUNTY RECORDS, WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN HEREON.

**PARCEL MAP 20-02**  
BEING A SUBDIVISION OF PARCEL 1 AND THE DESIGNATED REMAINDER AS SHOWN ON THAT CERTAIN PARCEL MAP RECORDED DECEMBER 19, 2017, IN BOOK 28 OF PARCEL MAPS AT PAGE 94, SAN JOAQUIN COUNTY RECORDS.  
CITY OF LATHROP - SAN JOAQUIN COUNTY - CALIFORNIA  
MAY 2020

**KIER & WRIGHT**  
CIVIL ENGINEERS & SURVEYORS, INC.  
2860 Collier Canyon Road Phone (925) 945-0708  
Livermore, California 94551 Fax (925) 248-0708

2:\2014\A14663-11\DMO\SURVEY\MAPPING\PM\A14663-11 PM.dwg 5-04-20 10:29:00 AM glamb



**LINE TABLE**

LINE #	DIRECTION	LENGTH
L25	S89°35'28"W	665.23'
L26	S83°29'38"W	307.38'
L27	S02°42'38"W	355.34'
L28	N89°24'22"W	1878.20'
L30	S71°14'41"W	49.20'
L31	S89°43'18"W	343.25'

**LINE TABLE**

LINE #	DIRECTION	LENGTH
L50	S60°30'00"W	181.50'
L51	N89°30'00"W	2212.42'
L52	S40°41'09"W	323.10'
L53	N40°41'09"E	1333.92'
L54	S89°33'30"E	471.15'

**LINE TABLE**

LINE #	DIRECTION	LENGTH
L32	N89°33'30"W	547.98'
L33	S40°41'09"W	1654.91'
L34	N89°26'10"W	1907.00'
L35	N0°34'20"E	258.70'
L36	S0°34'20"W	258.62'
L37	N89°26'10"W	739.80'
L38	N89°30'40"W	60.00'
L39	N0°29'20"E	170.00'
L40	S89°30'40"E	160.00'
L41	S0°29'20"W	170.00'
L42	N89°30'40"W	100.00'
L43	N24°25'40"W	35.00'
L44	S24°21'55"E	40.00'
L45	S0°34'20"W	40.00'
L46	S0°34'20"W	40.00'

**CURVE TABLE**

CURVE #	RADIUS	DELTA	LENGTH
C25	405.62'	35°57'41"	254.59'
C26	409.82'	82°47'00"	592.13'
C27	409.82'	89°53'00"	642.91'
C28	382.24'	19°20'57"	129.08'
C29	382.24'	18°28'37"	123.27'

**LINE TABLE**

LINE #	DIRECTION	LENGTH
L1	S02°27'30"W	40.50'
L2	S67°39'13"E	28.11'
L3	S02°27'30"W	391.33'
L4	S12°09'36"W	131.56'
L5	S02°27'30"W	377.93'
L6	S89°32'30"E	387.48'
L7	N40°41'09"E	282.55'
L8	N02°27'30"E	781.15'
L9	S89°33'30"E	17.00'
L10	N02°27'30"E	101.71'
L11	N89°40'49"W	104.22'
L12	S02°27'30"W	94.27'

**LINE TABLE**

LINE #	DIRECTION	LENGTH
L13	N89°32'30"W	17.00'
L14	S02°27'30"W	781.15'
L15	S40°41'09"W	282.55'
L18	N89°32'30"W	387.48'
L17	N02°27'30"E	377.93'
L18	N12°09'36"E	131.56'
L19	N02°27'30"E	391.34'
L20	N55°54'13"W	91.82'
L21	N02°27'30"E	208.50'
L22	N89°32'30"W	54.36'
L23	S02°27'30"W	221.00'
L24	N89°32'30"W	20.34'

**CURVE TABLE**

CURVE #	RADIUS	DELTA	LENGTH
C2	88.00'	68°06'43"	104.81'
C3	40.00'	68°06'43"	47.55'
C4	80.00'	11°42'06"	12.25'
C5	100.00'	11°42'06"	20.42'
C6	85.00'	90°00'00"	133.52'
C7	300.00'	49°46'21"	268.61'
C8	80.00'	40°13'39"	56.17'
C9	30.00'	90°00'00"	47.12'
C10	80.00'	90°00'00"	125.66'
C11	70.00'	51°38'48"	63.10'
C12	70.00'	62°28'43"	76.33'

**CURVE TABLE**

CURVE #	RADIUS	DELTA	LENGTH
C13	40.00'	90°00'00"	82.83'
C14	70.00'	90°00'00"	109.96'
C15	40.00'	40°13'39"	28.08'
C16	260.00'	49°46'21"	225.06'
C17	45.00'	90°00'00"	70.69'
C18	60.00'	11°42'06"	12.25'
C19	100.00'	11°42'06"	20.42'
C20	80.00'	56°21'43"	78.70'
C21	40.00'	56°21'43"	39.35'
C22	70.00'	51°47'12"	63.27'

**WLE 2017-106052 OR**

**LINE TABLE**

LINE #	DIRECTION	LENGTH
L57	N89°33'30"W	15.27'
L58	N11°13'38"E	195.92'
L59	N11°13'38"E	184.58'

**CURVE TABLE**

CURVE #	RADIUS	DELTA	LENGTH
C30	275.00'	33°52'27"	172.4'

**PGC 3195 OR 587**

**LINE TABLE**

LINE #	DIRECTION	LENGTH
L60	N89°40'49"W	255.00'
L61	S0°26'30"W	26.39'
L62	N89°33'30"W	40.00'
L63	N0°26'30"E	26.30'
L64	S89°40'49"E	40.00'

**PARCEL MAP 20-02**

BECING A SUBDIVISION OF PARCEL 1 AND THE DESIGNATED REMAINDER AS SHOWN ON THAT CERTAIN PARCEL MAP RECORDED DECEMBER 19, 2017, IN BOOK 26 OF PARCEL MAPS AT PAGE 94, SAN JOAQUIN COUNTY RECORDS.

CITY OF LATHROP - SAN JOAQUIN COUNTY - CALIFORNIA

MAY 2020

**KIER & WRIGHT**  
 CIVIL ENGINEERS & SURVEYORS, INC.  
 2889 Gallop Canyon Road • Phoenix (602) 243-0728  
 Livermore, California 94551 Fax (925) 243-0793

JOB NO. A14663-11 SHEET 4 OF 4 SHEETS

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DFIA 20-05  
Parcels 1 through 4, Parcel Map 20-02  
ASP/RWM Properties / R&B Louise, LLC / R&B Delta, LLC

**ATTACHMENT B**

**DFIA Bond Estimate – Underground Utilities**



**ENGINEERS OPINION OF PROBABLE COST**  
**KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS**

5/1/2020

TOTAL PROJECT MINUS ENCROACHMENT PERMIT, DFIA-20-04 & DFIA-20-05

Project No. A14663-15

Louise Avenue Improvements for Prologis/Reynolds & Brown

**I. GENERAL ITEMS**

ITEM NO.	DESCRIPTION	UNITS	K&W	K&W	K&W
			QUANTITY	UNIT PRICE	AMOUNT
1	MOBILIZATION	LS	1	\$ 35,000.00	\$ 35,000.00
2	TRAFFIC CONTROL/STAGING	LS	1	\$ 50,000.00	\$ 50,000.00
3	EROSION CONTROL SWPPP	LS	1	\$ 40,000.00	\$ 40,000.00
4	CONSTRUCTION STAKING	LS	1	\$ 35,000.00	\$ 35,000.00
5	EARTHWORK DEVELOPER RESPONSIBILITY NO EXPORT (CUT) (OR FILL)	CY	1698	\$ 10.00	\$ 16,980.00

GENERAL ITEMS \$ 176,980 SUB TOTAL

**II. DEMOLITION ITEMS**

ITEM NO.	DESCRIPTION	UNITS	K&W	K&W	K&W
			QUANTITY	UNIT PRICE	AMOUNT
1	SAWCUT	LF	5490	\$ 1.50	\$ 8,235.00
2	REMOVE ASPHALT PAVEMENT	SF	5848	\$ 3.18	\$ 18,598.64
3	REMOVE CONCRETE CURB & GUTTER	LF	1240	\$ 4.00	\$ 4,960.00
4	REMOVE ASPHALT BERM	LF	811	\$ 3.00	\$ 2,433.00
5	REMOVE SIGNAL POLE AND FOUNDATION	EA	4	\$ 2,500.00	\$ 10,000.00
6	REMOVE INLET	EA	3	\$ 1,000.00	\$ 3,000.00

DEMOLITION ITEMS \$ 47,224.64 SUB TOTAL

**III. SURFACE IMPROVEMENTS**

ITEM NO.	DESCRIPTION	UNITS	K&W	K&W	K&W
			QUANTITY	UNIT PRICE	AMOUNT
1	ASPHALT PAVEMENT (BASE ROCK TO BE FROM PAVEMENT GRINDINGS)	SF	21047	\$ 10.00	\$ 210,470.00
2	CONCRETE SIDEWALK (LOUISE)	SF	13681	\$ 6.00	\$ 82,088.00
3	CURB AND GUTTER	LF	2022	\$ 30.00	\$ 60,660.00
4	MEDIAN CURB	LF	3287	\$ 40.00	\$ 131,480.00
5	ACCESSIBLE RAMP	EA	4	\$ 1,200.00	\$ 4,800.00
6	MEDIAN PAVEMENT	SF	414	\$ 14.00	\$ 5,798.00

SURFACE IMPROVEMENTS \$ 495,292.00 SUB TOTAL

**IV. UTILITY IMPROVEMENTS**

ITEM NO.	DESCRIPTION	UNITS	K&W	K&W	K&W
			QUANTITY	UNIT PRICE	AMOUNT
1	12" STORM DRAIN	LF	42	\$ 150.00	\$ 6,300.00
2	CURB INLET	EA	4	\$ 5,500	\$ 22,000.00
3	IRRIGATION SLEEVES	LF	238	\$ 35	\$ 8,330.00
4	IRRIGATION BACKFLOW	EA	2	\$ 4,500	\$ 9,000.00
5	IRRIGATION CONTROLLER	EA	1	\$ 4,000	\$ 4,000.00
6	ADJUST MANHOLE TO GRADE	EA	6	\$ 1,200	\$ 7,200.00
7	ADJUST WATER VALVE/MONUMENT TO GRADE	EA	11	\$ 500	\$ 5,500.00
8	STORM DRAIN/SEWER MANHOLE	EA	1	\$ 8,500	\$ 8,500.00

UTILITY IMPROVEMENTS \$ 70,830.00 SUB TOTAL

**V. SIGNALS, LIGHTS, SIGNAGE, MISCELLANEOUS**

ITEM NO.	DESCRIPTION	UNITS	K&W	K&W	K&W
			QUANTITY	UNIT PRICE	AMOUNT
1	TRAFFIC SIGNAL W/LPR CAMERA	LS	1	\$ 210,000.00	\$ 210,000.00
2	SIGNS	EA	20	\$ 350.00	\$ 7,000.00
3	STRIPING	LF	5814	\$ 2.50	\$ 14,535.00
4	STRIPING ARROWS	EA	14	\$ 600.00	\$ 8,400.00
5	STREET LIGHTS DUAL	EA	13	\$ 5,500.00	\$ 71,500.00
6	STREET LIGHTS SIGNAL	EA	6	\$ 4,500.00	\$ 27,000.00
7	STREET LIGHT CABLE AND CONDUIT	LF	3000	\$ 22.00	\$ 66,000.00
8	RELOCATE BUS STOP	EA	1	\$ 5,000.00	\$ 5,000.00
9	3" CONDUIT WITH #14 GREEN PULL WIRE FOR FUTURE INTERCONNECT	EA	2100	\$ 35.00	\$ 73,500.00
10	INTERCONNECT NO. 6E PULL BOX	EA	3	\$ 1,000.00	\$ 3,000.00

SIGNALS, LIGHTS, SIGNAGE, MISCELLANEOUS \$ 485,935.00 SUB TOTAL

\$ 1,276,261.64 TOTAL

\$ 127,626.16 10% CONTINGENCY

\$ 1,403,887.80 GRAND TOTAL

**RECORDING REQUESTED BY, AND  
WHEN RECORDED MAIL TO:**

CITY OF LATHROP  
ATTN: CITY CLERK  
390 TOWNE CENTRE DRIVE  
LATHROP, CA 95330  
*Exempt from payment of recording fees (GC 27383)*

SPACE ABOVE THIS LINE FOR RECORDER'S USE

**Offer of Dedication in Fee**

THIS INSTRUMENT BENEFITS THE CITY ONLY. NO FEE REQUIRED.

THE UNDERSIGNED GRANTOR(S) DECLARE(S): DOCUMENTARY TRANSFER TAX IS \$ 0.00 R&TC Transfer to Government Agency  
( ) computed on full value of property conveyed, or  
( ) computed on full value less liens and encumbrances remaining at time of sale.  
( ) Unincorporated area (X) City of Lathrop

For a valuable consideration, receipt of which is hereby acknowledged,  
ASP/RWM Properties, LLC, R&B Louise, LLC and R&B Delta, LLC, as tenants-in-common and legal landowners  
"Grantors",

hereby grants to CITY OF LATHROP, a California municipal corporation "Grantee",

real property in City of Lathrop, San Joaquin County, State of California, described as:

\*\*\*See attached Exhibit "A" and Exhibit "B" attached hereto and made a part hereof\*\*\*

In witness whereof the undersigned have executed this instrument on this \_\_\_\_\_ day of May, 2020.

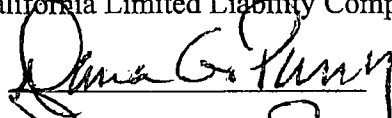
Grantors:

ASP/RWM Properties  
a California limited liability company

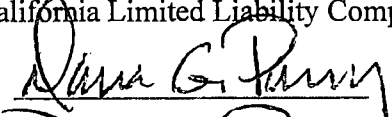
By: Jones Partners, LLC, a California Limited Liability Company

By:   
Manager

R&B Louise, LLC  
a California Limited Liability Company

By:   
Name: DANA G. PARRY  
Title: President & Manager

R&B Delta, LLC  
a California Limited Liability Company

By:   
Name: DANA G. PARRY  
Title: President & Manager

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.


State of California  
County of Contra Costa

On May 5, 2020 before me, Kathryn L. Gorman, Notary Public  
(here insert name and title of officer), personally appeared

Randall Scott Jones, Manager, who  
proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are  
subscribed to the within instrument and acknowledged to me that he/~~she/they~~ executed the same in  
his/~~her/their~~ authorized capacity(ies), and that by his/~~her/their~~ signature(s) on the instrument the  
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing  
paragraph is true and correct

WITNESS my hand and official seal.

Signature 

(Seal)



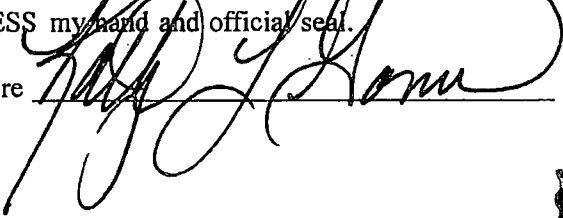
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California  
County of Contra Costa

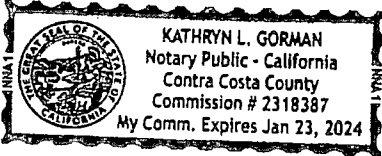
On May 5, 2020 before me, Kathryn L. Gorman, Notary Public  
(here insert name and title of officer), personally appeared

Dana G. Barry, Manager's President, who  
proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are  
subscribed to the within instrument and acknowledged to me that he/~~she/they~~  
his/~~her/their~~ authorized capacity(ies), and that by his/~~her/their~~ signature(s) on the instrument the  
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing  
paragraph is true and correct

WITNESS my hand and official seal.  
Signature 

(Seal)



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State of California  
County of Contra Costa

On May 5, 2020 before me, Kathryn L. Gorman, Notary Public  
(here insert name and title of officer), personally appeared  
Dana G. Barry, Manager's President, who

proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct

WITNESS my hand and official seal  
Signature *Kathryn L. Gorman*

(Seal)



EXHIBIT "A" LEGAL  
DESCRIPTION  
PARCEL 5

ALL THAT CERTAIN REAL PROPERTY SITUATE IN THE CITY OF LATHROP, COUNTY OF SAN JOAQUIN,  
STATE OF CALIFORNIA.

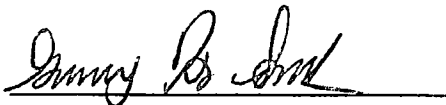
SAID PROPERTY BEING A PORTION OF THE "DESIGNATED REMAINDER PARCEL" AS SHOWN ON  
THAT CERTAIN PARCEL MAP RECORDED DECEMBER 19, 2017, IN BOOK 26 OF PARCEL MAPS, AT  
PAGE 94, SAN JOAQUIN COUNTY RECORDS, AND BEING MORE PARTICULARLY DESCRIBED AS  
FOLLOWS:

BEING ALL OF PARCEL 5 AS SHOWN ON THAT CERTAIN "PARCEL MAP 20-02", RECORDED  
\_\_\_\_\_, 2020, IN BOOK \_\_\_ OF PARCEL MAPS, AT PAGE \_\_\_, SAN JOAQUIN COUNTY  
RECORDS,

CONTAINING 1.1716 ACRES OF LAND, MORE OR LESS.

AS SHOWN ON EXHIBIT B, ATTACHED HERETO AND MADE A PART HEREOF.

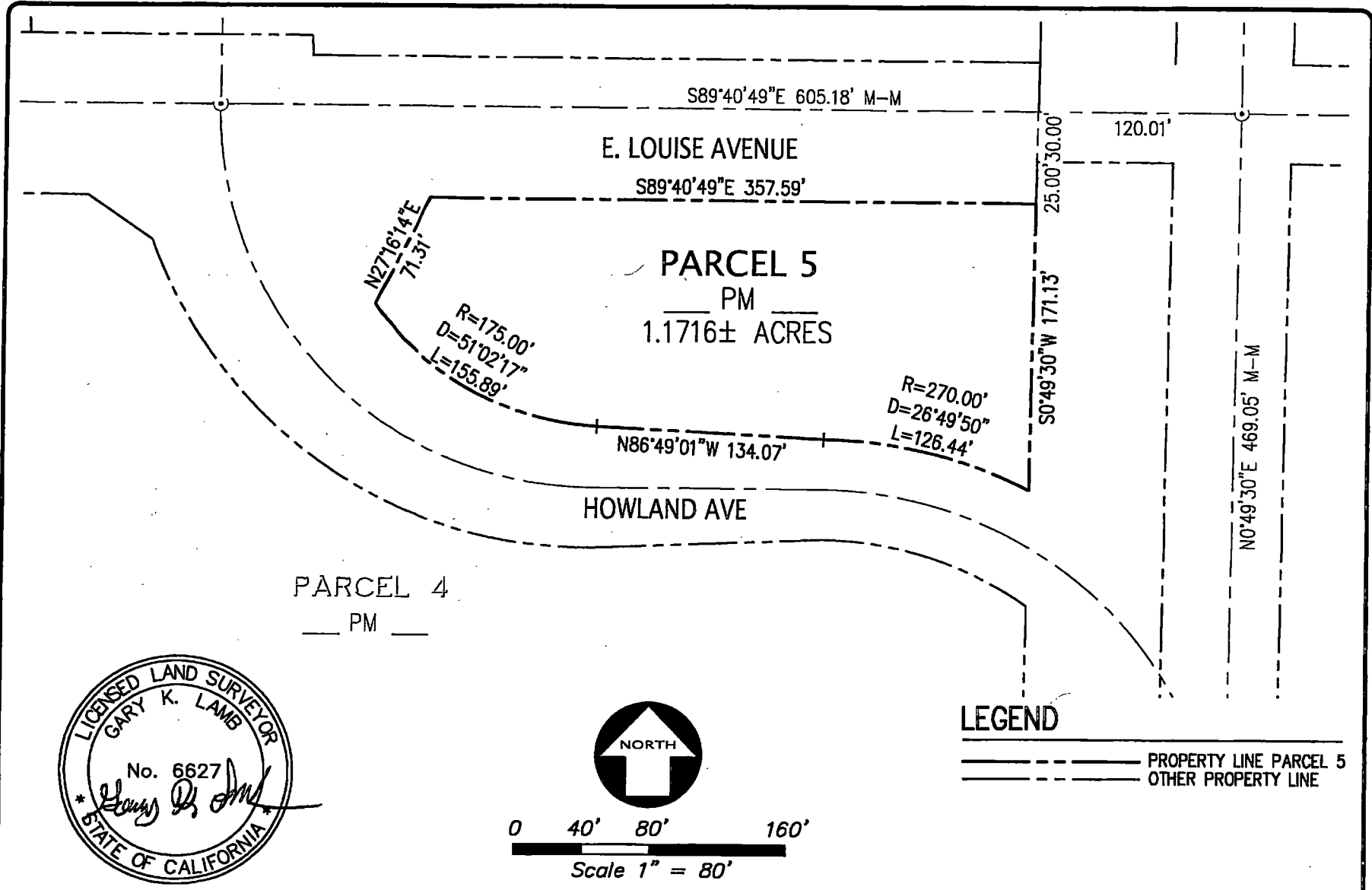
KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.



GARY K. LAMB, P.L.S. 6627

05-04-20  
DATE





**KIER+WRIGHT**

250 Cherry Lane, Suite 107, 208  
Manteca, CA 95337

Phone: (209) 328-1123  
www.kierwright.com

**EXHIBIT "B"**  
**PARCEL 5, PM**

LATHROP,

CALIFORNIA

DATE	MAY, 2020
SCALE	1" = 80'
BY	GKL
JOB NO.	A14663-11
SHEET	1 OF 1



# Parcel Map Check Report

**Client:** Prepared by:  
 Client Gary Lamb  
 KIER & WRIGHT  
 250 Cherry Lane, Suite 208

Date: 5/1/2020 9:03:08 AM

Parcel Name: BNDRY - PARCEL 5

Description:

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North: 479,157.7683' East: 1,776,764.3379'

Segment# 1: Line

Course: S89° 40' 49"E Length: 357.59'  
 North: 479,155.7729' East: 1,777,121.9224'

Segment# 2: Line

Course: S0° 49' 30"W Length: 171.13'  
 North: 478,984.6607' East: 1,777,119.4583'

Segment# 3: Curve

Length: 126.44' Radius: 270.00'  
 Delta: 26° 49' 50" Tangent: 64.40'  
 Chord: 125.28' Course: N76° 12' 41"W  
 Course In: S27° 12' 14"W Course Out: N0° 22' 24"E  
 RP North: 478,744.5266' East: 1,776,996.0256'  
 End North: 479,014.5209' East: 1,776,997.7849'

Segment# 4: Line

Course: N86° 49' 01"W Length: 134.07'  
 North: 479,021.9653' East: 1,776,863.9217'

Segment# 5: Curve

Length: 155.89' Radius: 175.00'  
 Delta: 51° 02' 17" Tangent: 83.54'  
 Chord: 150.78' Course: N61° 17' 52"W  
 Course In: N3° 10' 59"E Course Out: S54° 13' 16"W  
 RP North: 479,196.6953' East: 1,776,873.6388'  
 End North: 479,094.3800' East: 1,776,731.6649'

Segment# 6: Line

Course: N27° 16' 14"E Length: 71.31'

5/1/2020

Parcel Map Check Report

North: 479,157.7641'

East: 1,776,764.3387'

Perimeter: 1,016.42'

Area: 1.1716Acre

Error Closure: 0.0043

Course: S10° 00' 02"E

Error North : -0.00423

East: 0.00075

Precision 1: 236,379.07

**RECORDING REQUESTED BY, AND  
WHEN RECORDED MAIL TO:**

CITY OF LATHROP  
ATTN: CITY CLERK  
390 TOWNE CENTRE DRIVE  
LATHROP, CA 95330  
*Exempt from payment of recording fees (GC 27383)*



SPACE ABOVE THIS LINE FOR RECORDER'S USE

**Offer of Dedication  
for Public Right-of-Way  
(E. Louise Avenue)**

THIS INSTRUMENT BENEFITS THE CITY ONLY. NO FEE REQUIRED.

THE UNDERSIGNED GRANTOR(S) DECLARE(S): DOCUMENTARY TRANSFER TAX IS \$ 0.00 R&TC Transfer to Government Agency  
( ) computed on full value of property conveyed, or  
( ) computed on full value less liens and encumbrances remaining at time of sale.  
( ) Unincorporated area (X) City of Lathrop

For a valuable consideration, receipt of which is hereby acknowledged,  
ASP/RWM Properties, LLC, R&B Louise, LLC and R&B Delta, LLC, as tenants-in-common and legal landowners  
"Grantors",

hereby grants to CITY OF LATHROP, a California municipal corporation "Grantee",  
real property in City of Lathrop, San Joaquin County, State of California, described as:

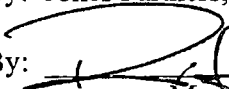
\*\*\*See attached Exhibit "A" and Exhibit "B" attached hereto and made a part hereof\*\*\*

In witness whereof the undersigned have executed this instrument on this \_\_\_\_\_ day of May, 2020.

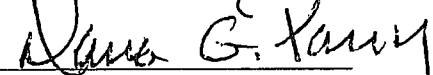
Grantors:

ASP/RWM Properties  
a California limited liability company

By: Jones Partners, LLC, a California Limited Liability Company

By:   
\_\_\_\_\_  
Manager

R&B Louise, LLC  
a California Limited Liability Company

By: 

Name: DANA G. PARRY

Title: President + Manager

R&B Delta, LLC  
a California Limited Liability Company

By: 

Name: DANA G. PARRY

Title: President + Manager

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California  
County of Contra Costa

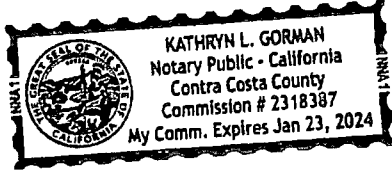
On May 5, 2020 before me, Kathryn L. Gorman, Notary Public  
(here insert name and title of officer), personally appeared

Randall Scott Jones, Manager, who  
proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are  
subscribed to the within instrument and acknowledged to me that he/~~she/they~~  
his/~~her/their~~ authorized capacity(ies), and that by his/~~her/their~~ signature(s) on the instrument the  
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing  
paragraph is true and correct

WITNESS my hand and official seal:  
Signature [Handwritten Signature]

(Seal)



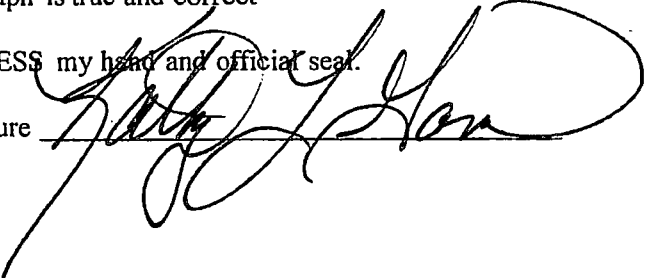
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State of California  
County of Contra Costa

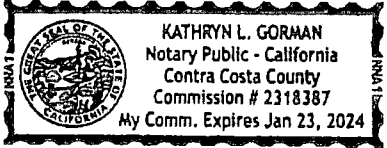
On May 5 2020 before me, Kathryn L. Gorman, Notary Public  
(here insert name and title of officer), personally appeared

Dana G. Farcy, Manager & President, who  
proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are  
subscribed to the within instrument and acknowledged to me that he/~~she~~/they executed the same in  
his/~~her~~/~~their~~ authorized capacity(ies), and that by his/~~her~~/~~their~~ signature(s) on the instrument the  
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing  
paragraph is true and correct

WITNESS my hand and official seal.  
Signature 

(Seal)



A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California  
County of Contra Costa

On May 5, 2020 before me, Kathryn L. Gorman, Notary Public  
(here insert name and title of officer), personally appeared

Jana G Barry, Manager & President who  
proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are  
subscribed to the within instrument and acknowledged to me that he/~~she~~/they executed the same in  
his/~~her~~/their authorized capacity(ies), and that by his/~~her~~/their signature(s) on the instrument the  
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct

WITNESS my hand and official seal  
Signature *Kathryn L. Gorman*

(Seal)



**EXHIBIT "A"**  
**LEGAL DESCRIPTION**  
**RIGHT OF WAY EASEMENT**

ALL THAT CERTAIN REAL PROPERTY SITUATE IN THE CITY OF LATHROP, COUNTY OF SAN JOAQUIN, STATE OF CALIFORNIA.

SAID PROPERTY BEING A PORTION OF THE "DESIGNATED REMAINDER PARCEL" AS SHOWN ON THAT PARCEL MAP RECORDED DECEMBER 19, 2017, IN BOOK 26 OF PARCEL MAPS, AT PAGE 94, SAN JOAQUIN COUNTY RECORDS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**COMMENCING AT THE NORTHWEST CORNER OF SAID "DESIGNATED REMAINDER PARCEL" , , ALSO BEING A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF EAST LOUISE AVENUE;**

**TENCE ALONG THE NORTHERLY LINE OF SAID "DESIGNATED REMAINDER PARCEL", SOUTH 89° 32' 30" EAST 1,640.22 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION;**

**TENCE CONTINUING ALONG LAST SAID LINE, SOUTH 89° 32' 30" EAST, 429.84 FEET;**

**TENCE LEAVING SAID NORTHERLY LINE, SOUTH 00° 27' 30" WEST, 9.00 FEET;**


**TENCE NORTH 89° 32' 30" WEST, 429.84 FEET;**

**TENCE NORTH 00° 27' 30" EAST, 9.00 FEET, TO THE POINT OF BEGINNING.**

**CONTAINING 3,869 SQUARE FEET OR 0.0888 ACRES OF LAND, MORE OR LESS.**

AS SHOWN ON EXHIBIT B, ATTACHED HERETO AND MADE A PART HEREOF.

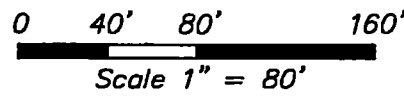
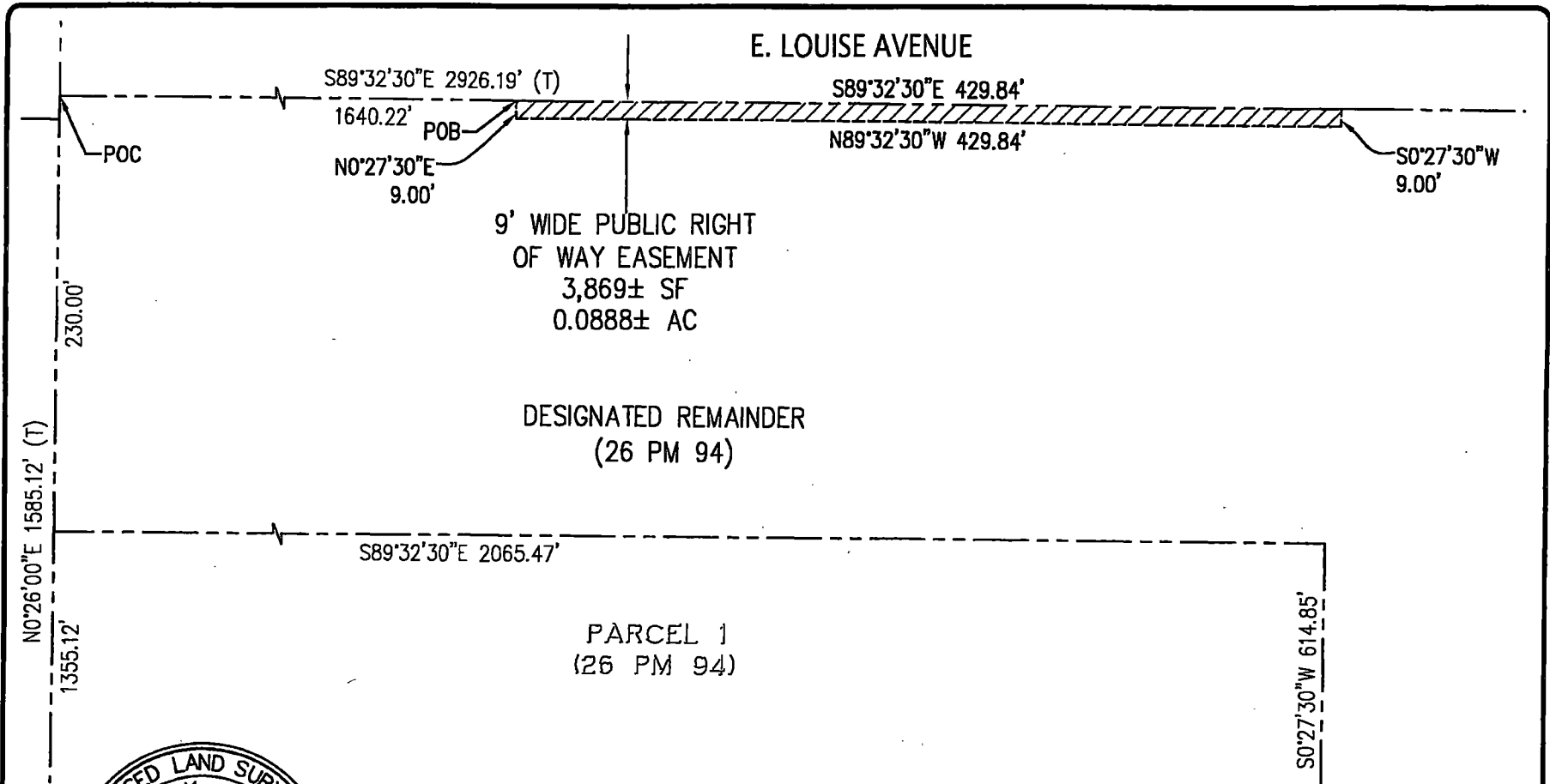
KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.

  
GARY K. LAMB, P.L.S. 6627

05-04-20  
DATE







**LEGEND**

- PROPERTY LINE
- EASEMENT LINE
- AC ACRES
- OR OFFICIAL RECORDS
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- SF SQUARE FEET

**KIER+WRIGHT**  
 250 Cherry Lane, Suite 107, 208 Manteca, CA 95337  
 Phone: (209) 328-1123  
 www.kierwright.com

**EXHIBIT "B"**  
**PUBLIC RIGHT OF WAY EASEMENT**  
 LATHROP, CALIFORNIA

DATE	MAY, 2020
SCALE	1" = 80'
BY	GKL
JOB NO.	A14663-11
SHEET	1 OF 1

# Parcel Map Check Report

**Client:**  
Client

**Prepared by:**  
Gary Lamb  
KIER & WRIGHT  
250 Cherry Lane, Suite 208

Date: 4/30/2020 12:36:09 PM

Parcel Name: ESMT ROW - ESMT ROW4

Description:

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North: 477,971.8378'

East: 1,772,880.5972'

Segment# 1: Line

Course: S89° 32' 30"E

Length: 429.84'

North: 477,968.3994'

East: 1,773,310.4234'

Segment# 2: Line

Course: S0° 27' 30"W

Length: 9.00'

North: 477,959.3997'

East: 1,773,310.3514'

Segment# 3: Line

Course: N89° 32' 30"W

Length: 429.84'

North: 477,962.8381'

East: 1,772,880.5252'

Segment# 4: Line

Course: N0° 27' 30"E

Length: 9.00'

North: 477,971.8378'

East: 1,772,880.5972'

Perimeter: 877.69'

Area: 0.0888Acre

Error Closure: 0.0000

Course: N0° 00' 00"E

Error North : 0.00000

East: 0.00000

Precision 1: 877,680,000.00

**RECORDING REQUESTED BY, AND  
WHEN RECORDED MAIL TO:**

CITY OF LATHROP  
ATTN: CITY CLERK  
390 TOWNE CENTRE DRIVE  
LATHROP, CA 95330  
*Exempt from payment of recording fees (GC 27383)*

 **COPY**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

**Offer of Dedication  
for Public Utility Easement  
(E. Louise Avenue)**

THIS INSTRUMENT BENEFITS THE CITY ONLY. NO FEE REQUIRED:

THE UNDERSIGNED GRANTOR(S) DECLARE(S): DOCUMENTARY TRANSFER TAX IS \$0.00 R&TC Transfer to Government Agency  
( ) computed on full value of property conveyed, or  
( ) computed on full value less liens and encumbrances remaining at time of sale.  
( ) Unincorporated area (X) City of Lathrop

For a valuable consideration, receipt of which is hereby acknowledged,  
ASP/RWM Properties, LLC, R&B Louise, LLC and R&B Delta, LLC, as tenants-in-common and legal landowners  
"Grantors",

hereby grants to CITY OF LATHROP, a California municipal corporation "Grantee",  
real property in City of Lathrop, San Joaquin County, State of California, described as:

\*\*\*See attached Exhibit "A" and Exhibit "B" attached hereto and made a part hereof\*\*\*

In witness whereof the undersigned have executed this instrument on this \_\_\_\_ day of May, 2020

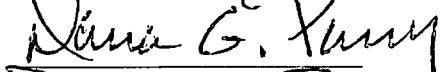
Grantors:

ASP/RWM Properties  
a California limited liability company

By: Jones Partners, LLC, a California Limited Liability Company

By:   
Manager

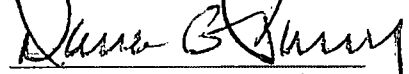
R&B Louise, LLC  
a California Limited Liability Company

By: 

Name: DANA G. PARRY

Title: President & Manager

R&B Delta, LLC  
a California Limited Liability Company

By: 

Name: DANA G. PARRY

Title: President & Manager

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

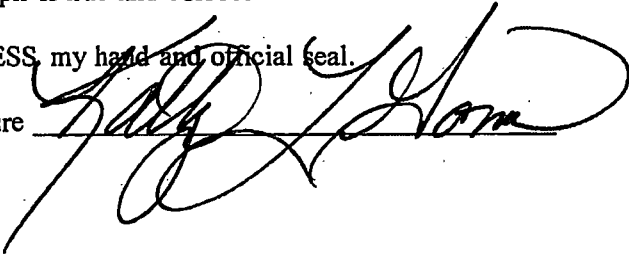
State of California  
County of Contra Costa

On May 5, 2020 before me, Kathryn L. Gorman, Notary Public  
(here insert name and title of officer), personally appeared  
Randall Scott Jones, Manager, who  
proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are  
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in  
his/~~her~~/their authorized capacity(ies), and that by his/~~her~~/their signature(s) on the instrument the  
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

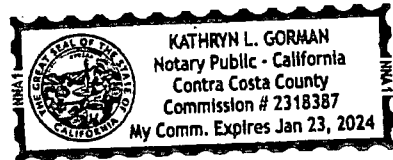
I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct

WITNESS my hand and official seal.

Signature



(Seal)



A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

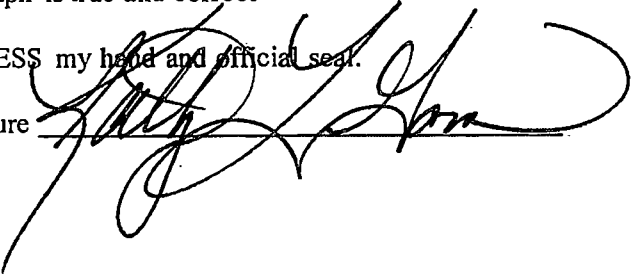
State of California  
County of Contra Costa

On May 5, 2020 before me, Kathryn L. Gorman, Notary Public  
(here insert name and title of officer), personally appeared  
Dana G. Parry, Manager/President, who  
proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are  
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in  
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the  
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing  
paragraph is true and correct

WITNESS my hand and official seal.

Signature



(Seal)

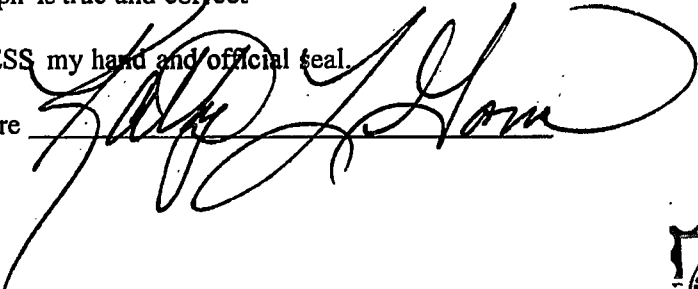


A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California  
County of Contra Costa

On May 5, 2020 before me, Kathryn L. Gorman, Notary Public  
(here insert name and title of officer), personally appeared  
Dana G. Parry, Manager & President, who  
proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are  
subscribed to the within instrument and acknowledged to me that he/~~she~~/they executed the same in  
his/~~her~~/their authorized capacity(ies), and that by his/~~her~~/their signature(s) on the instrument the  
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct

WITNESS my hand and official seal.  
Signature 

(Seal)



**EXHIBIT "A"**  
**LEGAL DESCRIPTION**  
**PUBLIC UTILITY EASEMENT**

ALL THAT CERTAIN REAL PROPERTY SITUATE IN THE CITY OF LATHROP, COUNTY OF SAN JOAQUIN, STATE OF CALIFORNIA.

SAID PROPERTY BEING A PORTION OF THE "DESIGNATED REMAINDER PARCEL" AS SHOWN ON THAT PARCEL MAP RECORDED DECEMBER 19, 2017, IN BOOK 26 OF PARCEL MAPS, AT PAGE 94, SAN JOAQUIN COUNTY RECORDS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**COMMENCING AT** THE NORTHWEST CORNER OF SAID "DESIGNATED REMAINDER PARCEL" , ALSO BEING A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF EAST LOUISE AVENUE;

THENCE ALONG THE NORTHERLY LINE OF SAID "DESIGNATED REMAINDER PARCEL", SOUTH 89° 32' 30" EAST 2,070.07 FEET;

THENCE LEAVING SAID NORTHERLY LINE, SOUTH 00° 27' 30" WEST, 9.00 FEET; TO THE **POINT OF BEGINNING** OF THIS DESCRIPTION;

THENCE CONTINUING, SOUTH 00° 27' 30" WEST, 10.00 FEET;

THENCE NORTH 89° 32' 30" WEST, 429.84 FEET;


THENCE NORTH 00° 27' 30" EAST, 10.00 FEET;

THENCE SOUTH 89° 32' 30" EAST, 429.84 FEET, TO THE **POINT OF BEGINNING**.

CONTAINING 4,298 SQUARE FEET OR 0.0987 ACRES OF LAND, MORE OR LESS.

AS SHOWN ON EXHIBIT B, ATTACHED HERETO AND MADE A PART HEREOF.

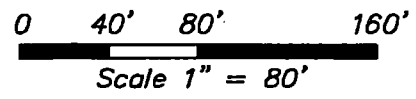
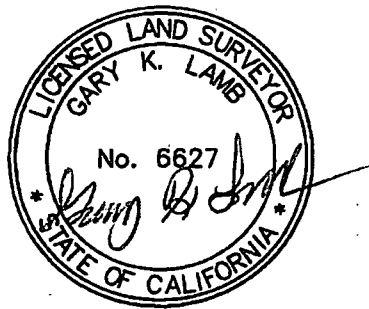
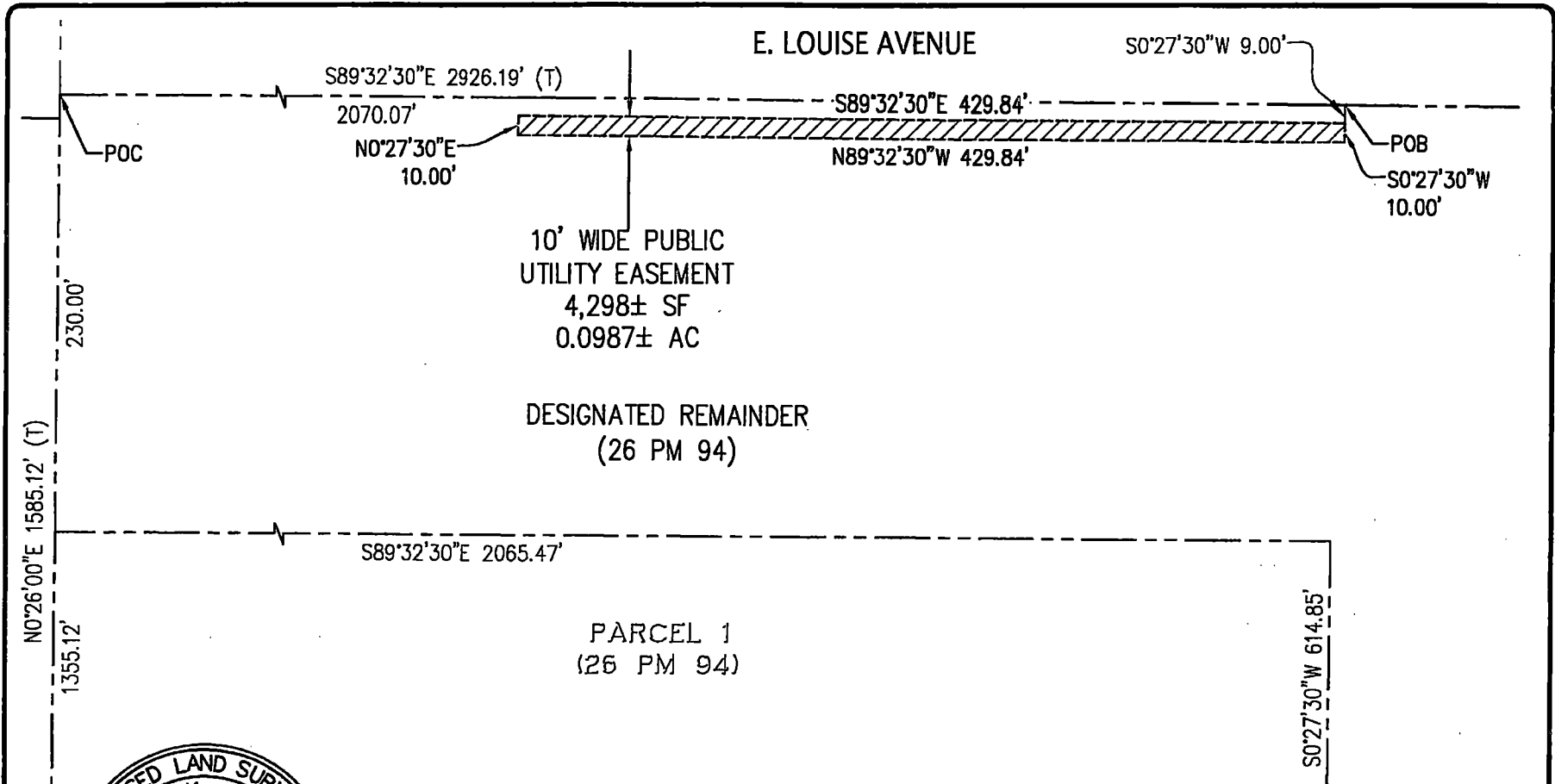
KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.

  
GARY K. LAMB, P.L.S. 6627

05-04-20  
DATE







**LEGEND**

-----	PROPERTY LINE
-----	EASEMENT LINE
AC	ACRES
OR	OFFICIAL RECORDS
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
SF	SQUARE FEET

**k w KIER+WRIGHT**

250 Cherry Lane, Suite 107, 208 Manteca, CA 95337  
Phone: (209) 328-1123  
www.kierwright.com

**EXHIBIT "B"**  
**PUBLIC UTILITY EASEMENT**

LATHROP,

CALIFORNIA

DATE	MAY, 2020
SCALE	1" = 80'
BY	GKL
JOB NO.	A14663-11
SHEET	1 OF 1

# Parcel Map Check Report

**Client:** Client  
**Prepared by:** Gary Lamb  
 KIER & WRIGHT  
 250 Cherry Lane, Suite 208

Date: 4/30/2020 12:30:53 PM

Parcel Name: ESMT PUE - ESMT PUE1  
 Description:  
 Process segment order counterclockwise: False  
 Enable mapcheck across chord: False

North: 477,959.3996' East: 1,773,310.3548'

Segment# 1: Line  
 Course: S0° 27' 30"W Length: 10.00'  
 North: 477,949.3999' East: 1,773,310.2748'

Segment# 2: Line  
 Course: N89° 32' 30"E Length: 429.84'  
 North: 477,952.8383' East: 1,772,880.4486'

Segment# 3: Line  
 Course: N0° 27' 30"E Length: 10.00'  
 North: 477,962.8380' East: 1,772,880.5286'

Segment# 4: Line  
 Course: S89° 32' 30"E Length: 429.84'  
 North: 477,959.3996' East: 1,773,310.3548'

Perimeter: 879.69' Area: 0.0987Acre  
 Error Closure: 0.0000 Course: N0° 00' 00"E  
 Error North : 0.00000 East: 0.00000

Precision 1: 879,680,000.00

**RECORDING REQUESTED BY, AND  
WHEN RECORDED MAIL TO:**

CITY OF LATHROP  
ATTN: CITY CLERK  
390 TOWNE CENTRE DRIVE  
LATHROP, CA 95330  
*Exempt from payment of recording fees (GC 27383)*



**COPY**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

**Offer of Dedication  
for Emergency Vehicle Access Easement**

THIS INSTRUMENT BENEFITS THE CITY ONLY. NO FEE REQUIRED.

THE UNDERSIGNED GRANTOR(S) DECLARE(S): DOCUMENTARY TRANSFER TAX IS \$ 0.00 R&TC Transfer to Government Agency  
( ) computed on full value of property conveyed, or  
( ) computed on full value less liens and encumbrances remaining at time of sale.  
( ) Unincorporated area (X) City of Lathrop

For a valuable consideration, receipt of which is hereby acknowledged,  
ASP/RWM Properties, LLC, R&B Louise, LLC and R&B Delta, LLC, as tenants-in-common and legal landowners  
"Grantors",

hereby grants to CITY OF LATHROP, a California municipal corporation "Grantee",  
real property in City of Lathrop, San Joaquin County, State of California, described as:

\*\*\*See attached Exhibit "A" and Exhibit "B" attached hereto and made a part hereof\*\*\*

In witness whereof the undersigned have executed this instrument on this \_\_\_\_\_ day of May, 2020.

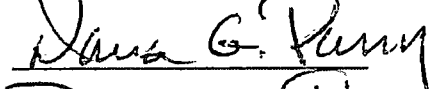
Grantors:

ASP/RWM Properties  
a California limited liability company

By: ~~Jones Partners, LLC~~, a California Limited Liability Company

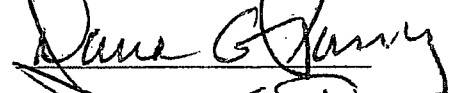
By:   
Manager

R&B Louise, LLC  
a California Limited Liability Company

By:   
Name: DANA G. PERRY

Title: President & Manager

R&B Delta, LLC  
a California Limited Liability Company

By:   
Name: DANA G. PERRY

Title: President & Manager

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California  
County of Contra Costa

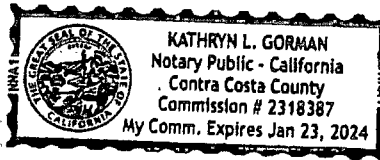
On May 5, 2020 before me, Kathryn L. Gorman, Notary Public  
(here insert name and title of officer), personally appeared  
Randall Scott Jones, Manager, who  
proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are  
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in  
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the  
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing  
paragraph is true and correct

WITNESS my hand and official seal.

Signature [Handwritten Signature]

(Seal)



A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California  
County of Contra Costa

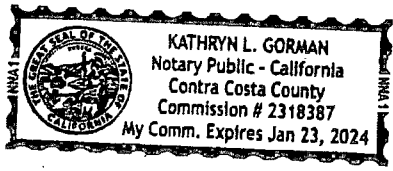
On May 5, 2020 before me, Kathryn L. Gorman, Notary Public  
(here insert name and title of officer), personally appeared

Dana G. Parry, Manager's President who  
proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are  
subscribed to the within instrument and acknowledged to me that he/~~she~~/they executed the same in  
his/~~her~~/their authorized capacity(ies), and that by his/~~her~~/their signature(s) on the instrument the  
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing  
paragraph is true and correct

WITNESS my hand and official seal  
Signature [Handwritten Signature]

(Seal)



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State of California  
County of Contra Costa

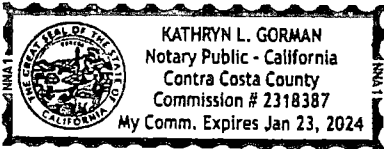
On May 5, 2020 before me, Kathryn L. Gorman, Notary Public  
(here insert name and title of officer), personally appeared

Dana G. Parry, Manager's President who  
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person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct

WITNESS my hand and official seal  
Signature [Handwritten Signature]

(Seal)



**EXHIBIT "A"**  
**LEGAL DESCRIPTION**  
**EMERGENCY VEHICULAR ACCESS EASEMENT**

ALL THAT CERTAIN REAL PROPERTY SITUATE IN THE CITY OF LATHROP, COUNTY OF SAN JOAQUIN, STATE OF CALIFORNIA.

SAID PROPERTY BEING A PORTION OF THE "DESIGNATED REMAINDER PARCEL" AS SHOWN ON THAT PARCEL MAP RECORDED DECEMBER 19, 2017, IN BOOK 26 OF PARCEL MAPS, AT PAGE 94, SAN JOAQUIN COUNTY RECORDS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**COMMENCING AT** THE NORTHWEST CORNER OF SAID "DESIGNATED REMAINDER PARCEL" , ALSO BEING A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF EAST LOUISE AVENUE;

THENCE ALONG THE NORTHERLY LINE OF SAID "DESIGNATED REMAINDER PARCEL", SOUTH 89° 32' 30" EAST 2,070.07 FEET;

THENCE LEAVING SAID NORTHERLY LINE, SOUTH 00° 27' 30" WEST, 9.00 FEET; TO THE **POINT OF BEGINNING** OF THIS DESCRIPTION;

THENCE CONTINUING, SOUTH 00° 27' 30" WEST, 221.00 FEET;

THENCE NORTH 89° 32' 30" WEST, 20.34 FEET;

THENCE NORTH 00° 27' 30" EAST, 160.00 FEET, TO THE POINT OF CURVATURE OF A NON-TANGENT 70.01 FOOT RADIUS CURVE TO THE LEFT, THE CENTER OF WHICH BEARS SOUTH 89° 37' 47" WEST;

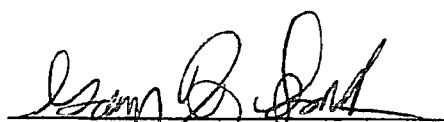
THENCE ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 61° 30' 49", AN ARC LENGTH OF 75.17 FEET;

THENCE SOUTH 89° 32' 30" EAST, 57.85 FEET, TO THE **POINT OF BEGINNING**.

CONTAINING 5,163 SQUARE FEET OR 0.1185 ACRES OF LAND, MORE OR LESS.

AS SHOWN ON EXHIBIT B, ATTACHED HERETO AND MADE A PART HEREOF.

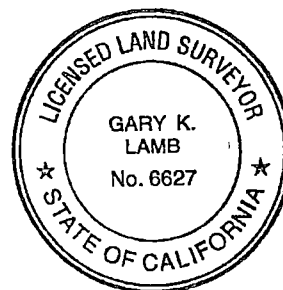
KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.



GARY K. LAMB, P.L.S. 6627

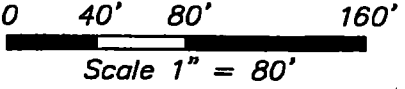
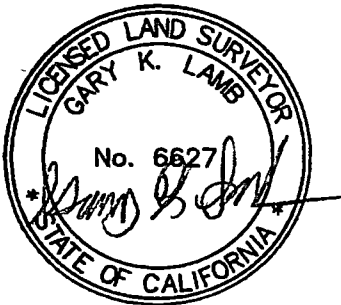
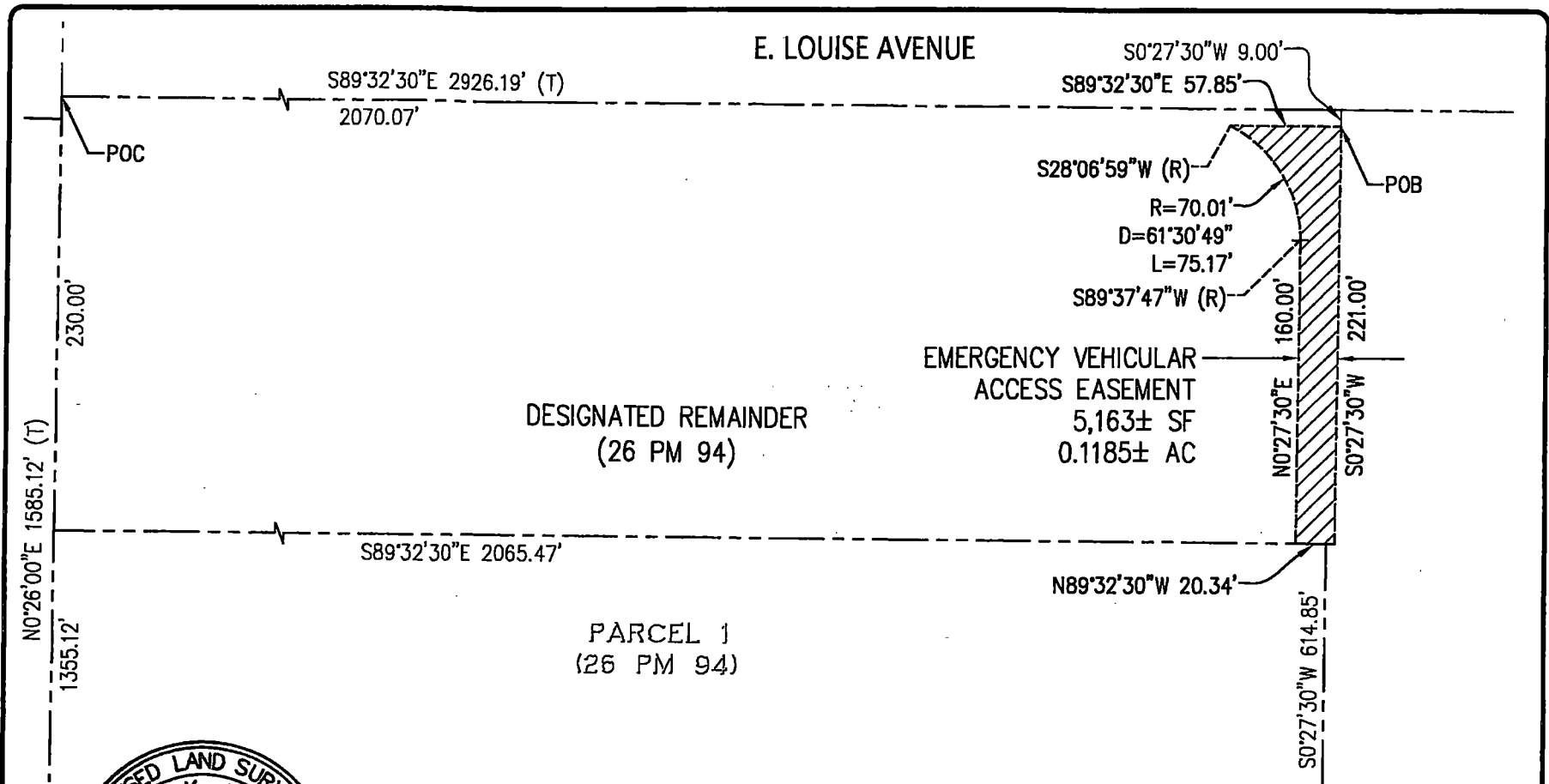
05-04-20

DATE



C:\Users\glamb\Desktop\A14663-11-LD ESMT-EVAE.docx





**LEGEND**

- PROPERTY LINE
- EASEMENT LINE
- AC ACRES
- OR OFFICIAL RECORDS
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- SF SQUARE FEET

**KIER+WRIGHT**  
 250 Cherry Lane, Suite 107, 208 Manteca, CA 95337  
 Phone: (209) 328-1123  
 www.kierwright.com

**EXHIBIT "B"**  
**EMERGENCY VEHICULAR ACCESS EASEMENT**  
 LATHROP, CALIFORNIA

DATE	MAY, 2020
SCALE	1" = 80'
BY	GKL
JOB NO.	A14663-11
SHEET	1 OF 1

# Parcel Map Check Report

**Client:** Prepared by:  
 Client Gary Lamb  
 KIER & WRIGHT  
 250 Cherry Lane, Suite 208

Date: 4/30/2020 12:31:22 PM

Parcel Name: ESMT EVAE - ESMT EVAE2

Description:

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North: 477,959.3996'	East: 1,773,310.3548'
----------------------	-----------------------

Segment# 1: Line

Course: S0° 27' 30"W	Length: 221.00'
North: 477,738.4066'	East: 1,773,308.5869'

Segment# 2: Line

Course: N89° 32' 30"W	Length: 20.34'
North: 477,738.5693'	East: 1,773,288.2476'

Segment# 3: Line

Course: N0° 27' 30"E	Length: 160.00'
North: 477,898.5642'	East: 1,773,289.5275'

Segment# 4: Curve

Length: 75.17'	Radius: 70.01'
Delta: 61° 30' 49"	Tangent: 41.66'
Chord: 71.61'	Course: N31° 07' 37"W
Course In: S89° 37' 47"W	Course Out: N28° 06' 59"E
RP North: 477,898.1118'	East: 1,773,219.5190'
End North: 477,959.8600'	East: 1,773,252.5122'

Segment# 5: Line

Course: S89° 32' 30"E	Length: 57.85'
North: 477,959.3973'	East: 1,773,310.3603'

Perimeter: 534.36'	Area: 0.1185Acre
Error Closure: 0.0060	Course: S67° 31' 59"E
Error North : -0.00228	East: 0.00551

Precision 1: 89,058.33

B.9. One partial release and reconveyance with respect to the WFB loan in the principal amount of Twenty-Nine Million Dollars for that portion of Existing Parcel 1 being merged into new Parcel 3 (the "*New Prologis Parcel*"), executed and acknowledged by WFB.

**(To be executed by "Owner")**

B.10. One original Memorandum of Ground Lease executed and acknowledged by Owner and Prologis, L.P., a Delaware limited partnership ("*Prologis*").

**(To be executed by "Owner")**

B.11. One original Subordination Agreement (?) with respect to the WFB construction loan in the principal amount not to exceed Nine Million Dollars, executed and acknowledged by Owner, Prologis and WFB.

**(To be executed by "Owner")**

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**ITEM: APPROVAL OF THE PRELIMINARY ENGINEER'S REPORT AND DECLARING INTENTION TO LEVY ANNUAL ASSESSMENTS FOR FISCAL YEAR 2020/21 FOR INDUSTRIAL LIGHTING MAINTENANCE DISTRICT; RESIDENTIAL LIGHTING MAINTENANCE DISTRICT; MOSSDALE LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT; STONEBRIDGE LANDSCAPE MAINTENANCE DISTRICT; STONEBRIDGE DRAINAGE AND LIGHTING DISTRICT; STORM DRAIN DISTRICT ZONE 1; AND STORM DRAIN DISTRICT ZONE 1A**

**RECOMMENDATION: Council to Consider the Following:**

- 1. Adopt a Resolution Approving the Preliminary Engineer's Report for the Industrial Lighting Maintenance District and Declaring Intention to Levy Annual Assessments for Fiscal Year 2020/21**
  - 2. Adopt a Resolution Approving the Preliminary Engineer's Report for the Residential Lighting Maintenance District and Declaring Intention to Levy Annual Assessments for Fiscal Year 2020/21**
  - 3. Adopt a Resolution Approving the Preliminary Engineer's Report for the Mosssdale Landscape and Lighting Maintenance District and Declaring Intention to Levy Annual Assessments for Fiscal Year 2020/21**
  - 4. Adopt a Resolution Approving the Preliminary Engineer's Report for the Stonebridge Landscape Maintenance District and the Stonebridge Drainage & Lighting District and Declaring Intention to Levy Annual Assessments for Fiscal Year 2020/21**
  - 5. Adopt a Resolution Approving the Preliminary Engineer's Report for the Storm Drain Districts Zones 1 and 1A and Declaring Intention to Levy Annual Assessments for Fiscal Year 2020/21**
-

**CITY MANAGER'S REPORT** **PAGE 2**  
**MAY 11, 2020 CITY COUNCIL REGULAR MEETING**  
**FISCAL YEAR 2020/21 ASSESSMENTS FOR ALL MAINTENANCE DISTRICTS**  
**EXCEPT WOODFIELD PARK**

**SUMMARY:**

Each year, City Staff prepares annual budgets for the City's maintenance assessment districts for City Council review. By way of their assessments, these districts provide the funding for a broad scope of City services including: park & street landscape maintenance, street lighting, and storm drain system maintenance. Ideally, the districts are structured to collect enough revenue to fund their expenditures. Listed below are the districts with current and proposed assessment rates:

District	FY 19/20 Rates	FY 20/21 Proposed Rates	% Change	Notes
Mossdale LLMD	\$268.06	\$276.10	3.00%	Levy needed to minimize draw on reserve
Storm Drain Zone 1	\$112.52	\$112.52	0.00%	Rate unchanged since FY 1996/97
Storm Drain Zone 1A	\$199.92	\$199.92	0.00%	Rate unchanged since FY 1996/97
Stonebridge LMD	\$265.64	\$292.88	10.25%	Increased levy needed to minimize draw on reserve
Stonebridge BAD	\$236.32	\$248.14	5.00%	Increased levy needed to minimize draw on reserve
Industrial LMD	\$7.75 or \$39.50	\$7.94 or \$40.47	2.45%	Max Levy needed to minimize draw on reserve
Residential LMD	\$7.79 to \$59.26	\$8.03 to \$61.04	3.00%	Max Levy needed to minimize draw on reserve

Four (4) out of seven (7) Districts present "General Benefit" costs that require funding from sources other than the assessments collected by the districts. General Benefit is the benefit of the improvements on the public at large. Therefore, the General Fund covers these costs because the City benefits overall from these portions of the improvements. The general benefit cost for all districts for Fiscal Year 2020/21 is \$30,705.

The Storm Drain District Zone 1A and Stonebridge Landscaping District require a general fund subsidy. These districts do not generate sufficient revenue to cover its operating expenses.

The total amount needed from the General Fund to cover the General Benefit costs and the General Fund subsidy Storm for Drain Zone 1A is \$51,284.00.

Tonight, Staff recommends City Council approve the districts' preliminary Engineer's Reports and declare its intention to levy annual assessments for Fiscal Year 2020/21. After tonight's actions, notices will be published and mailed to the affected property owners regarding the public hearing. The public hearing will be scheduled for June 8, 2020 at 7:00 p.m.



**CITY MANAGER'S REPORT** **PAGE 3**  
**MAY 11, 2020 CITY COUNCIL REGULAR MEETING**  
**FISCAL YEAR 2020/21 ASSESSMENTS FOR ALL MAINTENANCE DISTRICTS**  
**EXCEPT WOODFIELD PARK**

**BACKGROUND:**

Each year, City Staff bring the maintenance assessment districts to City Council for review and approval. Ideally, a maintenance district is created to pay for the costs of ongoing maintenance and operations of improvements which may include public landscaping, park sites, street lighting and storm drainage that provide special benefit to properties in given areas of the City. Special benefit is defined as that benefit, over and above the general benefit provided by the improvements, which is conferred upon parcels within an assessment district, as identified and measured by the formation assessment engineer. Within the City of Lathrop, there are eight (8) maintenance assessment districts (seven (7) of which are included in this report): four (4) Landscaping and Lighting Maintenance Districts (LLMD) and three (3) Benefit Assessment Districts (BAD). Each district levies assessments according to the method of apportionment of assessment to provide funding for the district's budgeted expenditures attributable to the operation and maintenance activities of the services provided.

Most public landscaping and street lights along Lathrop's streets and entrances to various residential communities ("medians") are maintained through LLMDs. Additionally, the City has a number of parks maintained by LLMDs; most of which are included in the districts that comprise this report. Many of the storm drain systems in Historical Lathrop are maintained through the BADs. Property owners in the LLMDs and BADs are levied an annual assessment for ongoing maintenance based on each LLMD and BAD method of apportionment of assessment. The assessments are paid by the property owners via payment of each parcel's secured property tax bill.

Annually, Staff evaluates the anticipated costs for maintenance for the upcoming year. This analysis takes into consideration any increases in costs as well as cost savings realized. Some of the costs include: routine maintenance and mowing contracts; equipment repair; weed abatement; shrub and tree pruning; radios and computers; irrigation parts and controllers; water; electricity; fertilizer and other chemicals; vehicles and vehicle maintenance; street lighting repairs; storm drain system maintenance; and other administrative costs to operate the maintenance assessment districts. In addition to ongoing, annual expenditures, sometimes extraordinary maintenance and/or small asset replacement is needed due to the limited useful lives of the assets (e.g. the overhaul/replacement of storm drain pumps, the replacement of a dead tree, or the replacement of a downed street light.)

An annual budget is then developed using these cost estimates. The total costs are divided among the parcels in each district based on the proportionate share of benefit received from the improvements. The proposed assessments are then reviewed and approved each year by the City Council during a public hearing process.

By law, maximum annual assessments may only be adjusted by the formula amount property owners approved at the time of district formation. This amount is typically either a fixed percentage (e.g. 3%) or an annual measure of a Consumer Price Index

**CITY MANAGER’S REPORT** **PAGE 4**  
**MAY 11, 2020 CITY COUNCIL REGULAR MEETING**  
**FISCAL YEAR 2020/21 ASSESSMENTS FOR ALL MAINTENANCE DISTRICTS**  
**EXCEPT WOODFIELD PARK**

(CPI) or a combination of the two, and is frequently referred to as the “annual escalation factor”. This annual escalation factor exists to maintain district revenue purchasing power. When purchasing power is maintained, a district should have sufficient funding to perform its operations and maintenance at a given level of service in perpetuity. Any proposed assessment requiring an assessment greater than the maximum assessment, requires the approval of the property owners via the Proposition 218 balloting process. Each of the City’s districts has a maximum assessment amount; however some of the districts lack an annual escalation factor. This means in these districts while expenses have increased over time due to inflation revenue stays the same, which creates annual shortfalls in these districts.

City Council may authorize any level of assessment up to the maximum assessment. Given this ability, Council could decide to levy the maximum assessment, if the proposed budget required it. However, if it is determined that the maximum is not needed, Council could lower the actual annual assessment and only calculate the maximum assessment for archive purposes.

The Preliminary Engineer’s Reports are available in the City Clerk’s office and the Public Works Department for review and copies will be available at the City Council meeting by request.

The following subsections summarize the district-specific information for each maintenance district:

**(1) Industrial Lighting Maintenance District**

The Lathrop Industrial Lighting Maintenance District was created to pay for the maintenance of the public lighting within commercial and industrial areas of the City. The Fiscal Year 2020/21 maximum assessment rates have increased by 2.45%, which is the applicable annual escalation factor approved by the property owners. The Fiscal Year 2020/21 proposed assessment rates are the maximums.

<b>District/Zone</b>	<b>FY 2019/20 Annual Assessment Rate per EDU*</b>	<b>Proposed FY 2020/21 Annual Assessment Rate per EDU*</b>	<b>Variance</b>	<b>Maximum FY 2020/21 Assessment Rate per EDU*</b>
Industrial LMD - Zone A	\$7.75	\$7.94	\$0.19	\$7.94
Industrial LMD - Zone B	\$39.50	\$40.47	\$0.97	\$40.47
Industrial LMD - Zone C	\$7.75	\$7.94	\$0.19	\$7.94

\*EDU = Equivalent Dwelling Unit

The District will receive \$58,085.34 in assessment revenue plus a General Benefit Contribution from the General Fund of \$12,523.00 for a total of \$70,608.34. The total estimated expenditures are anticipated to be \$61,119. The fund balance at the

**CITY MANAGER'S REPORT** **PAGE 5**  
**MAY 11, 2020 CITY COUNCIL REGULAR MEETING**  
**FISCAL YEAR 2020/21 ASSESSMENTS FOR ALL MAINTENANCE DISTRICTS**  
**EXCEPT WOODFIELD PARK**

beginning of Fiscal Year 2020/21 is estimated to be \$116,670.49 which will increase by \$9,489.34 to \$126,159.83 at the end of Fiscal Year 2020/21.

**(2) Residential Lighting Maintenance District**

The Lathrop Residential Lighting Maintenance District was created on May 18, 1999 to pay for the operation and maintenance of street lighting to benefit residential areas in East Lathrop.

The Fiscal Year 2020/21 maximum assessment rates have increased by 3.00%, which is the applicable annual escalation factor approved by the property owners. The District is required to maintain a reserve fund of approximately 50% of its annual revenues and expenses; thus, it is proposed for the District to be assessed at its maximum assessment. The largest annual increase per EDU is in Zone E at \$1.78 annually or approximately \$0.15 per month.

District/Zone	FY 2019/20 Annual	Proposed	Variance	Maximum
	Assessment Rate per EDU*	FY 2020/21 Annual Assessment Rate per EDU*		FY 2020/21 Assessment Rate per EDU*
Residential LMD - Zone A	\$43.01	\$44.30	\$1.29	\$44.30
Residential LMD - Zone B	\$46.09	\$47.47	\$1.38	\$47.47
Residential LMD - Zone C	\$30.30	\$31.21	\$0.91	\$31.21
Residential LMD - Zone D	\$56.37	\$58.06	\$1.69	\$58.06
Residential LMD - Zone E	\$59.26	\$61.04	\$1.78	\$61.04
Residential LMD - Zone F	\$34.08	\$35.11	\$1.03	\$35.11
Residential LMD - Zone G	\$7.79	\$8.03	\$0.24	\$8.03

\*EDU = Equivalent Dwelling Unit

The District will receive \$130,664.14 in assessment revenues plus a General Benefit contribution from the General Fund of \$8,822.00 for a total of \$139,486.14. The total estimated expenditures are anticipated to be \$122,447.00. The fund balance at the beginning of Fiscal Year 2020/21 is estimated to be \$172,389.17 which will increase by \$17,039.14 to \$189,428.31 at the end of Fiscal Year 2020/21.

**(3) Mosssdale Landscape and Lighting Maintenance District**

On June 15, 2004, Mosssdale property owners approved the creation of the Mosssdale Landscape and Lighting Maintenance District to provide funding to maintain the landscaping, park sites, and street lighting for the District. The maximum assessment for Fiscal Year 2020/21 will increase by 3 percent; this is the applicable annual escalation factor approved by the property owners at the time of district formation. The Fiscal Year 2020/21 maximum assessment rate per single-family and multi-family unit is \$284.38. The Fiscal Year 2020/21 assessment rate is \$276.10 because a financial review of the District shows that this rate will continue the required level of service.

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The District will receive \$595,934.24 in assessment revenues and expenditures are anticipated to be at \$708,576.00. The fund balance at the beginning of Fiscal Year 2020/21 is estimated to be \$423,608.68, which will be reduced by \$112,641.76 to \$310,966.92 by the end of Fiscal Year 2020/21.

District	FY 2019/20 Annual	Proposed	Variance	Maximum
	Assessment Rate per	FY 2020/21 Annual		FY 2020/21
	EDU*	Assessment Rate per		Assessment Rate
	EDU*	EDU*		per EDU*
Mossdale LLMD	\$268.06	\$276.10	\$8.04	\$284.38

\*EDU = Equivalent Dwelling Unit

**(4) Stonebridge Landscaping District**  
**Stonebridge Drainage and Lighting Maintenance District**

**Stonebridge Landscaping District**

The Stonebridge Landscape District was created to pay for the service, operation and maintenance of the common area street landscaping, and Stonebridge Park. The Fiscal Year 2020/21 maximum assessment rate of \$438.78 represents an increase of 5% over that of Fiscal Year 2019/20, which is the applicable annual escalation factor approved by property owners. The annual assessment to be levied is proposed to be set at \$292.88. This is increased from the rate that was assessed in Fiscal Year 2019/20. This increased assessment is required to minimize the draw on the reserve fund.

The Landscape District will receive \$264,470.64 in assessment revenues plus a General Benefit Contribution from the General Fund of \$4,680 and park rentals of \$1,000, for a total of \$270,150.64. The total estimated expenditures are anticipated to be \$289,219.00. The fund balance at the beginning of Fiscal Year 2020/21 is estimated to be \$49,939.27, which will decrease by \$19,068.36 to \$30,870.91 at the end of Fiscal Year 2020/21. Reserve funds are intended to be used for annual operating shortfall coverage, cash flow timing financing, and/or extraordinary maintenance/repair funding.

District	FY 2019/20 Annual	Proposed	Variance	Maximum
	Assessment Rate per	FY 2020/21 Annual		FY 2020/21
	EDU*	Assessment Rate per		Assessment Rate
	EDU*	EDU*		per EDU*
Stonebridge Landscaping	\$265.64	\$292.88	\$27.24	\$438.78

\*EDU = Equivalent Dwelling Unit

**Stonebridge Drainage and Lighting District**

The Stonebridge Drainage and Lighting District was created to pay for the service, operation and maintenance of the street lighting, and storm drain facilities within the Stonebridge development. The Fiscal Year 2020/21 maximum assessment rate of

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\$438.78 represents an increase of 5% over that of Fiscal Year 2019/20, which is the applicable annual escalation factor approved by property owners. The annual assessment to be levied is proposed to be set at \$248.14. This is increased from the rate that was assessed in Fiscal Year 2019/20. This increased assessment is required to minimize the draw on the reserve fund.

The Drainage and Lighting District will receive \$223,822.28 in revenue plus a General Benefit contribution from the General Fund of \$4,680 for a total of \$228,502.28. The total estimated expenditures are anticipated to be \$318,463.00. The fund balance at the beginning of Fiscal Year 2020/21 is estimated to be \$348,067.17 which will decrease by \$89,960.72 to a balance of \$258,106.45 at the end of Fiscal Year 2020/21. Reserve funds are intended to be used for annual operating shortfall coverage, cash flow timing financing, and/or extraordinary maintenance/repair funding.

District	FY 2019/20 Annual	Proposed	Variance	Maximum
	Assessment Rate per EDU*	FY 2020/21 Annual Assessment Rate per EDU*		FY 2020/21 Assessment Rate per EDU*
Stonebridge Drainage & Lighting	\$236.32	\$248.14	\$11.82	\$438.78

\*EDU = Equivalent Dwelling Unit

**(5) Storm Drain Districts Zone 1 and Zone 1A**

On June 6, 1989, property owners approved a ballot measure for storm drainage maintenance fees for the Lathrop Storm Drain District, City Zone 1. In 1993, the City annexed an additional Storm Drain Maintenance District incorporating the area known as City Zone 1A (Crossroads Development).

These districts were created without any annual escalation factor for the maximum assessment and both districts have been levied at their static maximum assessments for many years. Over the last few fiscal years, inflationary effects have occurred on ordinary expenditures, asset replacements have been necessary, and assessment revenue remained static; thus, District deficits have occurred. Without a modification, sizeable deficits in future fiscal years are possible. In order to change this, a Proposition 218 balloting of the districts' property owners would have to be successfully completed. While this is not proposed for Fiscal Year 2020/21, the City may wish to consider this action for a future fiscal year.

**Storm Drain Zone 1** will receive \$239,140.96 in assessment revenues and expenditures are expected to be \$295,860.00. Zone 1 is required to draw from the reserves in the amount of \$56,719.04 to keep operations at the current required levels of service. The fund balance at the beginning of Fiscal Year 2020/21 is estimated at \$125,642.95 which will decrease by \$56,719.04 to \$68,923.91 at the end of Fiscal Year 2020/21.

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**Storm Drain Zone 1A** will receive \$113,364 in assessment revenues and expenditures are expected to be \$133,943. There are no reserve funds expected to be remaining at the beginning of Fiscal Year 2020/21. A General Fund subsidy of \$20,579.00 is needed to maintain the current required levels of service.

District	FY 2019/20 Annual	Proposed	Variance	Maximum
	Assessment Rate per	FY 2020/21 Annual		FY 2020/21
	EDU*	Assessment Rate per		Assessment Rate
		EDU*		per EDU*
Storm Drain - Zone 1	\$112.52	\$112.52	\$0.00	\$112.52
Storm Drain - Zone 1A	\$199.92	\$199.92	\$0.00	\$199.92

**REASON FOR RECOMMENDATION:**

Staff has prepared Preliminary Engineer Reports and annual budgets for the service, operation and maintenance of all the districts in order to establish the annual assessments, which provide the funding for said services that benefit parcels within the districts.

Upon adoption of the attached Resolutions, the Preliminary Engineer Reports will be approved and the Council will declare its intention to levy annual assessments for Fiscal Year 2020/21 and a public hearing will be scheduled for June 8, 2020 at 7:00 p.m., to permit public testimony. Written protests will be accepted from property owners until the close of the public hearing. At the close of the public hearing, the City Council may approve the Engineer Reports as submitted or amend them and order the levy and collection of the assessments.

**FISCAL IMPACT:**

The proposed Fiscal Year 2020/21 assessments for the Residential Lighting Maintenance District and Industrial Lighting Maintenance District fully fund the budgeted expenditures to maintain the current required levels of service within each of the districts.

In Mossdale Landscape and Lighting District, Stonebridge Landscaping District, Stonebridge Drainage & Lighting District, and Storm Drain District Zone 1, expenditures exceed revenue; however, these districts have sufficient funding within their Fund Balance reserves to cover the shortfalls.

Storm Drain District Zone 1A has expenditures which exceed revenues. In order to maintain the current required service levels in the District, a General Fund subsidy to cover the remaining \$20,579.00 deficit.

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In four (4) of the districts, there are "General Benefit" costs that require funding from sources other than the assessments collected by the districts, as quantified by the formation assessment engineer. General Benefit is defined as the benefit of the improvements on the public at large. Therefore, the General Fund funds these costs because the city benefits overall from these improvements. The Fiscal Year 2020/21 General Benefit costs for each of the four (4) districts are:

<b>District</b>	<b>General Benefit Amount</b>
Industrial Lighting Maintenance District	\$12,523
Residential Lighting Maintenance District	\$8,822
Stonebridge Drainage and Lighting District	\$4,680
Stonebridge Landscape District	\$4,680
<b>Total General Benefit Cost</b>	<b>\$30,705</b>

The total amount needed from the General Fund to cover the General Benefit costs and the General Fund subsidy Storm for Drain Zone 1A is \$51,284.00.

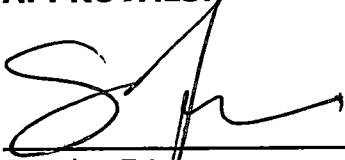
**ATTACHMENTS:**

- A. A Resolution Approving the Preliminary Engineer's Report for the Industrial Lighting Maintenance District Zone A, Zone B, and Zone C and Declaring Intention to Levy Annual Assessments for Fiscal Year 2020/21
- B. A Resolution Approving the Preliminary Engineer's Report for the Residential Lighting Maintenance District and Declaring Intention to Levy Annual Assessments for Fiscal Year 2020/21
- C. A Resolution Approving the Preliminary Engineer's Report for the Mosssdale Landscape and Lighting Maintenance District and Declaring Intention to Levy Annual Assessments for Fiscal Year 2020/21
- D. A Resolution Approving the Preliminary Engineer's Report for the Stonebridge Landscape Maintenance District and the Stonebridge Drainage & Lighting District and Declaring Intention to Levy Annual Assessments for Fiscal Year 2020/21
- E. A Resolution Approving the Preliminary Engineer's Report for the Storm Drain Districts Zones 1 and 1A and Declaring Intention to Levy Annual Assessments for Fiscal Year 2020/21
- F. District Diagrams for All Districts

**\* Note - Preliminary Engineer's Reports are available for review in the City Clerk's Office.**

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**EXCEPT WOODFIELD PARK**

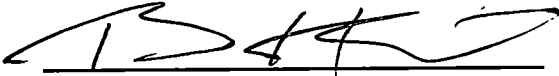
**APPROVALS:**



Sandra Frias  
Sr. Management Analyst

4/30/2020

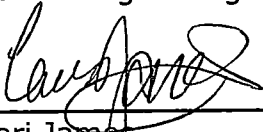
Date



Thomas Hedegard  
Accounting Manager

4/30/20

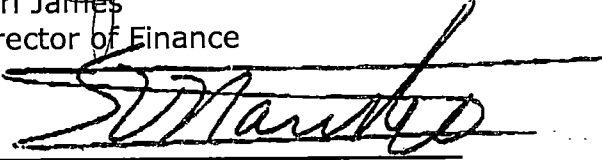
Date



Cari James  
Director of Finance

4/30/2020

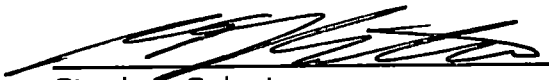
Date



Salvador Navarrete  
City Attorney

4/30/2020

Date



Stephen Salvatore  
City Manager

5-5-2020

Date



## RESOLUTION NO. 20-\_\_\_\_\_

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP  
APPROVING THE PRELIMINARY ENGINEER'S REPORT FOR THE INDUSTRIAL  
LIGHTING MAINTENANCE DISTRICT AND DECLARING INTENTION TO LEVY  
ANNUAL ASSESSMENTS FOR FISCAL YEAR 2020/21**

**WHEREAS**, the City Council has by previous Resolutions formed the Lathrop Industrial Lighting Maintenance District (hereafter referred to as the "District"), and initiated proceedings for Fiscal Year 2020/21 pursuant to the provisions of the *Landscape and Lighting Act of 1972, Part 2, Division 15 of the California Streets and Highways Code (commencing with Section 22500)* (hereafter referred to as the "Act") that provides for the levy and collection of assessments by the County of San Joaquin for the City of Lathrop to pay the maintenance and services of all improvements and facilities related thereto; and,

**WHEREAS**, the City Council has retained NBS for the purpose of assisting with the Annual Levy of the District, and to prepare and file a report with the City Clerk in accordance with the Act; and,

**WHEREAS**, the City Council has previously called for the preparation of an Engineer's Report and Annual Levy Report (collectively referred to herein as the "Report") for the district known as the Lathrop Industrial Lighting Maintenance District; and

**WHEREAS**, the Report has now been presented to the City Council; and

**WHEREAS**, the Report includes the District's budget and assessments and contains the data necessary to determine the special benefit conferred upon each property included in the District; and

**WHEREAS**, the City Council has carefully examined and reviewed the Report as presented and amended on May 11, 2020, and is preliminarily satisfied with the Lathrop Industrial Lighting Maintenance District, and all of the budget items and charges, and is satisfied that the levy amounts, on a preliminary basis, have been spread in accordance with the special benefits received from the improvements, operation, maintenance and services performed in and provided by the District;

**NOW, THEREFORE, BE IT RESOLVED** that the following actions shall be taken:

**Section 1 Intention:** The City Council hereby declares that it is its intention to seek the Annual Levy of the District pursuant to the Act, over and including the land within the District boundary, and to levy and collect assessments on all such land to pay the annual costs of the improvements.

**Section 2 Description of Improvements and any substantial changes proposed:** The improvements within the District include: the operation, administration, maintenance and servicing of all street lighting improvements and appurtenant facilities and expenses associated with the District. The Report, attached hereto as Exhibit "A" and incorporated herein by this reference is hereby approved on a preliminary basis and ordered to be filed with this Resolution in the Office of the City Clerk as a permanent record. Such Report shall remain open to public inspection. The Report provides a full and complete description of all improvements and any or all substantial changes to the District or improvements within the District.

**Section 3 Boundaries and Designation:** The boundaries of the District are described as the boundaries previously defined in the formation documents of the original District, within the incorporated City Limits of the City, within the County of San Joaquin, State of California. Also described as:

Lathrop Industrial Lighting Maintenance District

**Section 4 Proposed Assessment Amounts:** For Fiscal Year 2020/21, the proposed assessments are outlined in the Report which details any changes or increases in the annual assessment.

**Section 5 Public Hearing(s):** The City Council hereby declares its intention to conduct a Public Hearing annually concerning the levy of assessments for the Districts in accordance with *Chapter 3, Section 22626* of the Act and Articles XIII (C) and XIII (D) of the California Constitution.

**Section 6 Notice:** The City shall give notice of the time and place of the Public Hearing to all property owners within the Districts by causing the publishing of this Resolution once in a newspaper of local circulation for two consecutive weeks not less than ten (10) days before the date of the public hearing, and by posting a copy of this resolution on the official bulletin board customarily used by the City Council for the posting of notices.

**Section 7 Notice of Public Hearing:** Notice is hereby given that a Public Hearing on these matters will be held by the City Council on Monday, June 8, 2020, at 7:00 p.m. or as soon thereafter as feasible in the City Council Chambers, located at 390 Towne Centre Dr., Lathrop, California.

**Section 8 Compliance with Article XIII (C) and XIII (D) of the California Constitution:** The City Council hereby finds that the proposed assessments are exempt from the requirements for Article XIII (C) and XIII (D) of the California Constitution in that the amount of the assessment is based upon a prior ballot procedure in which the majority of the affected property owners consented to the imposition of the assessment, its amount and a modifier. The amount of the assessment proposed does not exceed the authorized amount.

The foregoing resolution was passed and adopted this 11<sup>TH</sup> day of May 2020, by the following vote of the City Council, to wit:

AYES:

NOES:

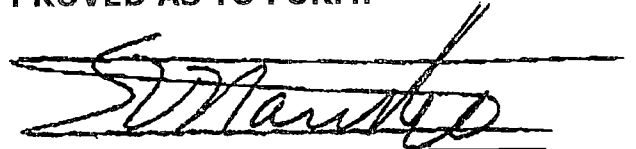
ABSTAIN:

ABSENT:

\_\_\_\_\_  
Sonny Dhaliwal, Mayor

**ATTEST:**

**APPROVED AS TO FORM:**

A handwritten signature in black ink, appearing to read "S. Navarrete", is written over a horizontal line. The signature is stylized and cursive.

\_\_\_\_\_  
Teresa Vargas, City Clerk

\_\_\_\_\_  
Salvador Navarrete, City Attorney

## RESOLUTION NO. 20-\_\_\_\_\_

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP  
APPROVING THE PRELIMINARY ENGINEER'S REPORT FOR THE  
RESIDENTIAL LIGHTING MAINTENANCE DISTRICT AND DECLARING  
INTENTION TO LEVY ANNUAL ASSESSMENTS FOR FISCAL YEAR 2020/21**

**WHEREAS**, the City Council pursuant to the provisions of the *Landscaping and Lighting Act of 1972, Part 2 of Division 15 of the Streets and Highways Code of California, beginning with Section 22500* (hereafter referred to as the "Act") desires to initiate proceedings for the establishment of benefit zones within the "Lathrop Residential Lighting Maintenance District" (hereafter referred to as the "District") and to levy and collect annual assessments to pay for the operation, maintenance and servicing of the lighting improvements and all appurtenant facilities related thereto. The Act provides for the establishment of benefit zones within an assessment district pursuant to *Chapter 2 Article 4 Section 22574*, and the levy and collection of assessments by the County on behalf of the City pursuant to *Chapter 4 Article 2 Section 22646*; and,

**WHEREAS**, the City Council has retained NBS as the Engineer of Work, for the purpose of assisting with the establishment of benefit zones within the District, the establishment of annual assessments, and to prepare and file an Engineer's Report with the City Clerk in accordance with the Act; and,

**WHEREAS**, the City Council has previously called for the preparation of an Engineer's Report and Annual Levy Report (collectively referred to herein as the "Report") for the district known as the Lathrop Residential Lighting Maintenance District); and

**WHEREAS**, the Report has now been presented to the City Council; and

**WHEREAS**, the Report includes the District's budget and assessments and contains the data necessary to determine the special benefit conferred upon each property included in the District; and

**WHEREAS**, the City Council has carefully examined and reviewed the Report as presented and amended on May 11, 2020, and is preliminarily satisfied with the Lathrop Residential Lighting Maintenance District, and all of the budget items and charges, and is satisfied that the levy amounts, on a preliminary basis, have been spread in accordance with the special benefits received from the improvements, operation, maintenance and services performed in and provided by the District;

**NOW, THEREFORE, BE IT RESOLVED, DETERMINED, AND ORDERED BY THE CITY COUNCIL FOR THE DISTRICT, AS FOLLOWS:**

**Section 1 Intention:** The City Council hereby orders NBS to prepare the Engineer's Report concerning the establishment of benefit zones within the District and the levy of assessments for properties within the District.

**Section 2 Description of Improvements and any substantial changes proposed:** The improvements include the operation, administration, maintenance and servicing of all street lighting improvements and appurtenant facilities and expenses associated with the District.

**Section 3 Boundaries and Designation:** The proposed territory within the District includes all lots and parcels to be assessed for special benefits from the lighting improvements. The District is generally located in the northern part of the City and consists of lots and parcels north of Louise Avenue, west of the Southern Pacific Railroad, east of Interstate 5, and south of the Stonebridge Development. The District is within the City of Lathrop, the County of San Joaquin, State of California and shall be designated as: "Lathrop Residential Lighting Maintenance District".

**Section 4 Proposed Assessment Amounts:** For Fiscal Year 2020/21, the proposed assessments are outlined in the Report which details any changes or increases in the annual assessment.

**Section 5 Public Hearing(s):** The City Council hereby declares its intention to conduct a Public Hearing annually concerning the levy of assessments for the District in accordance with *Chapter 3, Section 22626* of the Act and Articles XIII (C) and XIII (D) of the California Constitution.

**Section 6 Notice:** The City shall give notice of the time and place of the Public Hearing to all property owners within the District by causing the publishing of this Resolution once in a newspaper of local circulation for two consecutive weeks not less than ten (10) days before the date of the public hearing, and by posting a copy of this resolution on the official bulletin board customarily used by the City Council for the posting of notices.

**Section 7 Notice of Public Hearing:** Notice is hereby given that a Public Hearing on these matters will be held by the City Council on Monday, June 8, 2020, at 7:00 p.m. or as soon thereafter as feasible in the City Council Chambers, located at 390 Towne Centre Dr., Lathrop, California.

**Section 8 Compliance with Article XIII (C) and XIII (D) of the California Constitution:** The City Council hereby finds that the proposed assessments are exempt from the requirements for Article XIII (C) and XIII (D) of the California Constitution in that the amount of the assessment is based upon a prior ballot procedure in which the majority of the affected property owners consented to the imposition of the assessment, its amount and a modifier. The amount of the assessment proposed does not exceed the authorized amount.

The foregoing resolution was passed and adopted this 11<sup>TH</sup> day of May 2020, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSTAIN:

ABSENT:

\_\_\_\_\_  
Sonny Dhaliwal, Mayor

**ATTEST:**

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Teresa Vargas, City Clerk

  
\_\_\_\_\_  
Salvador Navarrete, City Attorney

## RESOLUTION NO. 20-

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP APPROVING THE PRELIMINARY ENGINEER'S REPORT FOR THE MOSSDALE LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT AND DECLARING INTENTION TO LEVY ANNUAL ASSESSMENTS FOR FISCAL YEAR 2020/21**

**WHEREAS**, the City Council has by previous Resolutions formed the Mossdale Landscape and Lighting Maintenance District (hereafter referred to as the "District"), and initiated proceedings for Fiscal Year 2020/21, pursuant to the provisions of the *Landscape and Lighting Act of 1972, Part 2, Division 15 of the California Streets and Highways Code (commencing with Section 22500)* (hereafter referred to as the "Act") that provides for the levy and collection of assessments by the County of San Joaquin for the City of Lathrop to pay the maintenance and services of all improvements and facilities related thereto ; and,

**WHEREAS**, the City Council has retained NBS for the purpose of assisting with the Annual Levy of the District, and to prepare and file a report with the City Clerk in accordance with the Act; and,

**WHEREAS**, the City Council has previously called for the preparation of an Engineer's Report and Annual Levy Report (collectively referred to herein as the "Report") for the district known as the Mossdale Landscape and Lighting Maintenance District; and

**WHEREAS**, the Report has now been presented to the City Council; and

**WHEREAS**, the Report includes the District's budget and assessments and contains the data necessary to determine the special benefit conferred upon each property included in the District; and

**WHEREAS**, the City Council has carefully examined and reviewed the Report as presented and amended on May 11, 2020, and is preliminarily satisfied with the Mossdale Landscape and Lighting Maintenance District, and all of the budget items and charges, and is satisfied that the levy amounts, on a preliminary basis, have been spread in accordance with the special benefits received from the improvements, operation, maintenance and services performed in and provided by the District;

**NOW, THEREFORE, BE IT RESOLVED that the following actions shall be taken:**

**Section 1 Intention:** The City Council hereby declares that it is its intention to seek the Annual Levy of the District pursuant to the Act, over and including the land within the District boundary, and to levy and collect assessments on all such land to pay the annual costs of the improvements.

**Section 2 Description of Improvements and any substantial changes proposed:** The improvements within the District may include, but are not limited to: landscaping, planting, shrubbery, trees, turf, irrigation systems, street lighting, park sites, site lighting and appurtenant facilities. Services provided include all necessary service, operations, administration and maintenance required to keep the improvements in a healthy, vigorous and satisfactory condition. The Report, attached hereto as Exhibit "A" and incorporated herein by this reference is hereby approved on a preliminary basis and ordered to be filed with this Resolution in the Office of the City Clerk as a permanent record. Such Report shall remain open to public inspection. The Report provides a full and complete description of all improvements and any or all substantial changes to the District or improvements within the District.

**Section 3 Boundaries and Designation:** The boundaries of the District are described as the boundaries previously defined in the formation documents of the original District, within the boundaries of the City of Lathrop, within the County of San Joaquin, State of California. Also described as:

Mossdale Landscape and Lighting Maintenance District

**Section 4 Proposed Assessment Amounts:** For Fiscal Year 2020/21, the proposed assessments are outlined in the Report which details any changes or increases in the annual assessment.

**Section 5 Public Hearing(s):** The City Council hereby declares its intention to conduct a Public Hearing annually concerning the levy of assessments for the District in accordance with *Chapter 3, Section 22626* of the Act and Articles XIII (C) and XIII (D) of the California Constitution.

**Section 6 Notice:** The City shall give notice of the time and place of the Public Hearing to all property owners within the District by causing the publishing of this Resolution once in a newspaper of local circulation for two consecutive weeks not less than ten (10) days before the date of the public hearing, and by posting a copy of this resolution on the official bulletin board customarily used by the City Council for the posting of notices.

**Section 7 Notice of Public Hearing:** Notice is hereby given that a Public Hearing on these matters will be held by the City Council on Monday, June 8, 2020, at 7:00 p.m. or as soon thereafter as feasible in the City Council Chambers, located at 390 Towne Centre Dr., Lathrop, California.

**Section 8 Compliance with Article XIII (C) and XIII (D) of the California Constitution:** The City Council hereby finds that the proposed assessments are exempt from the requirements for Article XIII (C) and XIII (D) of the California Constitution in that the amount of the assessment is unchanged and the assessment is imposed exclusively to finance the maintenance and operation expenses for street tree, and street-side landscaping & park maintenance.



The foregoing resolution was passed and adopted this 11<sup>TH</sup> day of May 2020, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSTAIN:

ABSENT:

\_\_\_\_\_  
Sonny Dhaliwal, Mayor

**ATTEST:**

\_\_\_\_\_  
Teresa Vargas, City Clerk

**APPROVED AS TO FORM:**

  
\_\_\_\_\_  
Salvador Navarrete, City Attorney

## RESOLUTION NO. 20-\_\_\_\_\_

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP  
APPROVING THE PRELIMINARY ENGINEER'S REPORTS FOR THE  
STONEBRIDGE LANDSCAPING DISTRICT AND THE STONEBRIDGE  
DRAINAGE & LIGHTING DISTRICT AND DECLARING INTENTION TO LEVY  
ANNUAL ASSESSMENTS FOR FISCAL YEAR 2020/21**

**WHEREAS**, the City Council has by previous Resolutions formed the Stonebridge Landscaping District and Stonebridge Drainage & Lighting District (hereafter referred to as the "Districts"), and initiated proceedings for Fiscal Year 2020/21, pursuant to the provisions of the *Landscape and Lighting Act of 1972, Part 2, Division 15 of the California Streets and Highways Code (commencing with Section 22500)* and *Benefit Assessment Act of 1982, Division 2, Title 5 of the California Government Code (commencing with Section 54703)* (hereafter referred to as the "Act") that provides for the levy and collection of assessments by the County of San Joaquin for the City of Lathrop to pay the maintenance and services of all improvements and facilities related thereto; and,

**WHEREAS**, the City Council has retained NBS, for the purpose of assisting with the Annual Levy of the Districts, and to prepare and file a report with the City Clerk in accordance with the Act; and,

**WHEREAS**, the City Council has previously called for the preparation of an Engineer's Report and Annual Levy Report (collectively referred to herein as the "Reports") for the districts known as the Stonebridge Landscaping District and Stonebridge Drainage & Lighting District; and

**WHEREAS**, the Reports have now been presented to the City Council; and

**WHEREAS**, the Reports include the District budgets and assessments and contains the data necessary to determine the special benefit conferred upon each property included in the Districts; and

**WHEREAS**, the City Council has carefully examined and reviewed the Reports as presented and amended on May 11, 2020, and is preliminarily satisfied with the Stonebridge Landscaping District and Stonebridge Drainage & Lighting District, and all of the budget items and charges, and is satisfied that the levy amounts, on a preliminary basis, have been spread in accordance with the special benefits received from the improvements, operation, maintenance and services performed in and provided by the Districts;

**NOW, THEREFORE, BE IT RESOLVED** that the following actions shall be taken:

**Section 1 Intention:** The City Council hereby declares that it is its intention to seek the Annual Levy of the Districts pursuant to the Act, over and including the land within the Districts' boundaries, and to levy and collect assessments on all such land to pay the annual costs of the improvements.

**Section 2 Description of Improvements and any substantial changes proposed:** The improvements within the Districts include: planting materials, irrigation systems, landscape, drainage systems, natural drainage areas, street lighting and all necessary appurtenances. The Reports, attached hereto as Exhibit "A" and incorporated herein by this reference is hereby approved on a preliminary basis and ordered to be filed with this Resolution in the Office of the City Clerk as a permanent record. Such Reports shall remain open to public inspection. The Reports provides a full and complete description of all improvements and any or all substantial changes to the Districts or improvements within the Districts.

**Section 3 Boundaries and Designation:** The boundaries of the Districts are described as the boundaries previously defined in the formation documents of the original Districts, within the incorporated City Limits of the City, within the County of San Joaquin, State of California. Also described as:

Stonebridge Landscaping District

Stonebridge Drainage & Lighting District

**Section 4 Proposed Assessment Amounts:** For Fiscal Year 2020/21, the proposed assessments are outlined in the Reports which detail any changes or increases in the annual assessment.

**Section 5 Public Hearing(s):** The City Council hereby declares its intention to conduct a Public Hearing annually concerning the levy of assessments for the District in accordance with *Chapter 3, Section 22626* of the Act and Articles XIII (C) and XIII (D) of the California Constitution.

**Section 6 Notice:** The City shall give notice of the time and place of the Public Hearing to all property owners within the District by causing the publishing of this Resolution once in a newspaper of local circulation for two consecutive weeks not less than ten (10) days before the date of the public hearing, and by posting a copy of this resolution on the official bulletin board customarily used by the City Council for the posting of notices.

**Section 7 Notice of Public Hearing:** Notice is hereby given that a Public Hearing on these matters will be held by the City Council on Monday, June 8, 2020, at 7:00 p.m. or as soon thereafter as feasible in the City Council Chambers, located at 390 Towne Centre Dr., Lathrop, California.

**Section 8** Compliance with Article XIII(C) and XIII(D) of the California Constitution: The City Council hereby finds that the proposed assessments are in compliance with the requirements for Article XIII(C) and XIII(D) of the California Constitution in that the amount of the assessment is based upon a prior ballot procedure in which the majority of the affected property owners consented to the imposition of the assessment, its amount and a modifier. The amount of the assessment proposed does not exceed the authorized amount.

The foregoing resolution was passed and adopted this 11<sup>th</sup> day of May 2020, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

\_\_\_\_\_  
Sonny Dhaliwal, Mayor

ATTEST:

APPROVED AS TO FORM:

\_\_\_\_\_  
Teresa Vargas, City Clerk

  
\_\_\_\_\_  
Salvador Navarrete, City Attorney

## RESOLUTION NO. 20-\_\_\_\_\_

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP  
APPROVING THE PRELIMINARY ENGINEER'S REPORTS FOR THE STORM  
DRAIN DISTRICTS ZONE 1 AND ZONE 1A AND DECLARING INTENTION TO  
LEVY ANNUAL ASSESSMENTS FOR FISCAL YEAR 2020/21**

**WHEREAS**, the City Council has, as successor in interest to the County of San Joaquin and the Lathrop County Water District, the authority to assess and collect storm drain charges for the Lathrop Storm Drain Districts Zone 1 and Zone 1A (hereafter referred to as the "Districts"), and initiated proceedings for Fiscal Year 2020/21, pursuant to the provisions of the *Benefit Assessment Act of 1982, Division 2, Title 5 of the California Government Code (commencing with Section 54703)* (hereafter referred to as the "Act") that provides for the levy and collection of assessments by the County of San Joaquin for the City of Lathrop to pay the maintenance and services of all improvements and facilities related thereto; and,

**WHEREAS**, the City Council has retained NBS, for the purpose of assisting with the Annual Levy of the Districts, and to prepare and file a report with the City Clerk in accordance with the Act; and,

**WHEREAS**, the City Council has previously called for the preparation of an Engineer's Report and Annual Levy Report (collectively referred to herein as the "Reports") for the districts known as the Lathrop Storm Drain Districts Zone 1 and Zone 1A; and

**WHEREAS**, the Reports has now been presented to the City Council; and

**WHEREAS**, the Reports includes the Districts' budgets and assessments and contains the data necessary to determine the special benefit conferred upon each property included in the Districts; and

**WHEREAS**, the City Council has carefully examined and reviewed the Reports as presented and amended on May 11, 2020, and is preliminarily satisfied with the Lathrop Storm Drain Districts Zone 1 and Zone 1A, and all of the budget items and charges, and is satisfied that the levy amounts, on a preliminary basis, have been spread in accordance with the special benefits received from the improvements, operation, maintenance and services performed in and provided by the District;

**NOW, THEREFORE, BE IT RESOLVED that the following actions shall be taken:**

**Section 1 Intention:** The City Council hereby declares that it is its intention to seek the Annual Levy of the District pursuant to the Act, over and including the land within the Districts' boundaries, and to levy and collect assessments on all such land to pay the annual costs of the improvements.

**Section 2 Description of Improvements and any substantial changes proposed:** The improvements within the District include: storm drainage and all necessary appurtenances. The Reports, attached hereto as Exhibit "A" and incorporated herein by this reference is hereby approved on a preliminary basis and ordered to be filed with this Resolution in the Office of the City Clerk as a permanent record. Such Reports shall remain open to public inspection. The Reports provides a full and complete description of all improvements and any or all substantial changes to the District or improvements within the District.

**Section 3 Boundaries and Designation:** The boundaries of the District are described as the boundaries previously defined in the formation documents of the original District, within the incorporated City Limits of the City, within the County of San Joaquin, State of California. Also described as:

Lathrop Storm Drain District Zone 1

Lathrop Storm Drain District Zone 1A

**Section 4 Proposed Assessment Amounts:** For Fiscal Year 2020/21, the proposed assessments are outlined in the Reports which detail any changes or increases in the annual assessment.

**Section 5 Public Hearing(s):** The City Council hereby declares its intention to conduct a Public Hearing annually concerning the levy of assessments for the Districts in accordance with *Chapter 3, Section 22626* of the Act and Articles XIII (C) and XIII (D) of the California Constitution.

**Section 6 Notice:** The City shall give notice of the time and place of the Public Hearing to all property owners within the Districts by causing the publishing of this Resolution once in a newspaper of local circulation for two consecutive weeks not less than ten (10) days before the date of the public hearing, and by posting a copy of this resolution on the official bulletin board customarily used by the City Council for the posting of notices.

**Section 7 Notice of Public Hearing:** Notice is hereby given that a Public Hearing on these matters will be held by the City Council on Monday, June 8, 2020, at 7:00 p.m. or as soon thereafter as feasible in the City Council Chambers, located at 390 Towne Centre Dr., Lathrop, California.

**Section 8 Compliance with Article XIII(C) and XIII(D) of the California Constitution:** The City Council hereby finds that the proposed assessments are exempt from the requirements for Article XIII(C) and XIII(D) of the California Constitution in that the amount of the assessment is unchanged and the assessment is imposed exclusively to finance the maintenance and operation expenses for flood control and drainage systems.

The foregoing resolution was passed and adopted this 11<sup>TH</sup> day of May 2020, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSTAIN:

ABSENT:

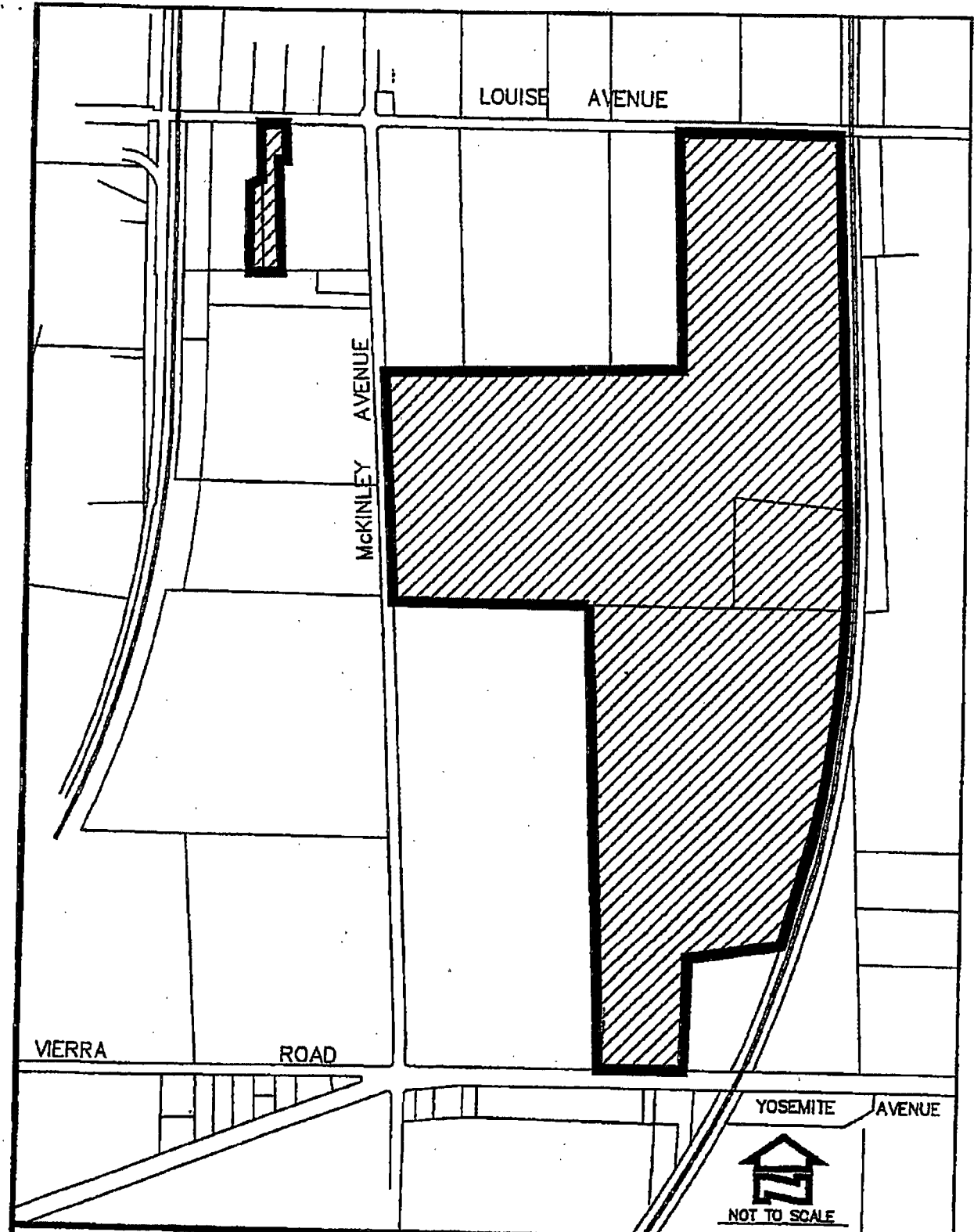
\_\_\_\_\_  
Sonny Dhaliwal, Mayor

**ATTEST:**

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Teresa Vargas, City Clerk

  
\_\_\_\_\_  
Salvador Navarrete, City Attorney

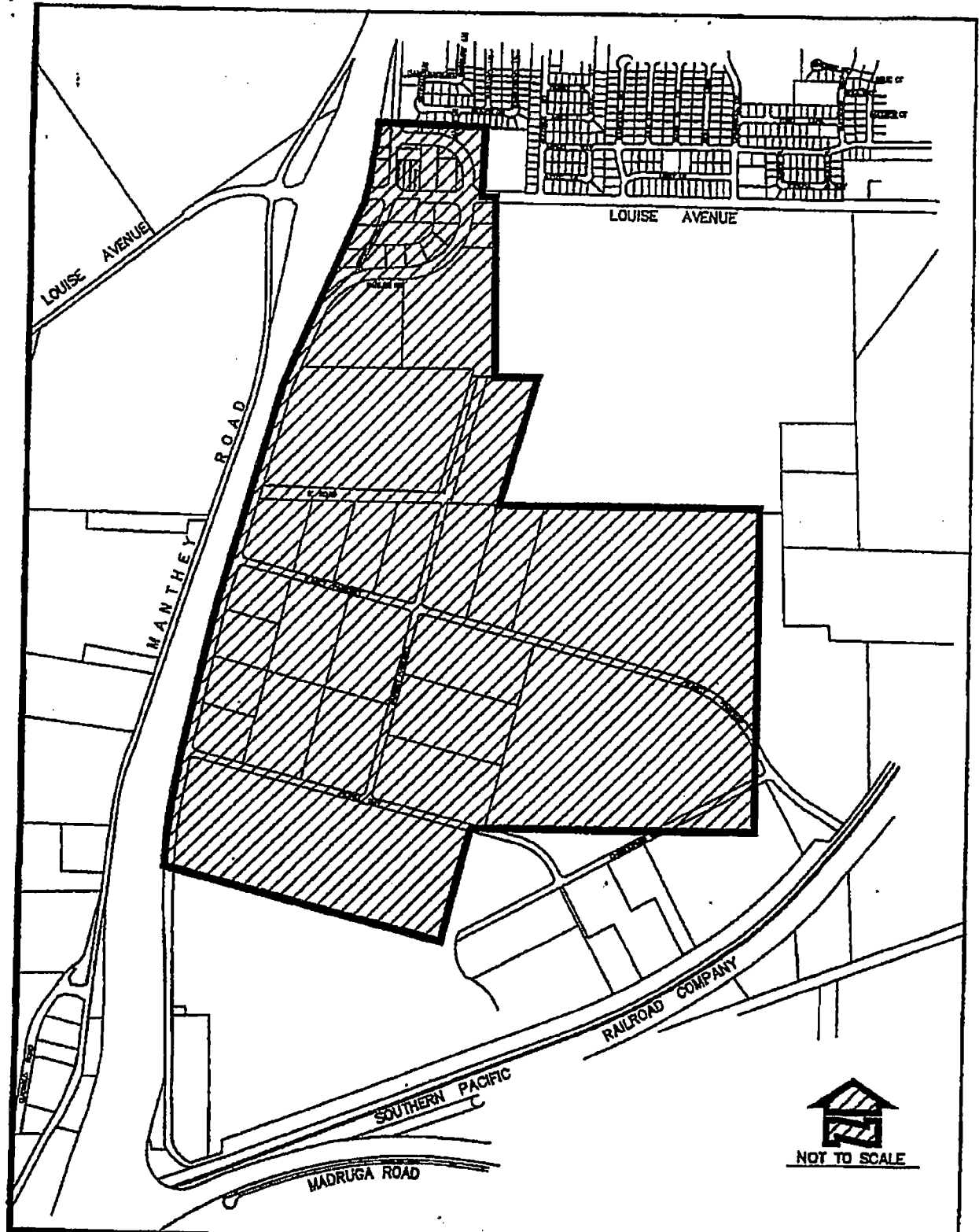


**City of Lathrop**  
**Industrial Lighting - Zone A**



Date: February 1999

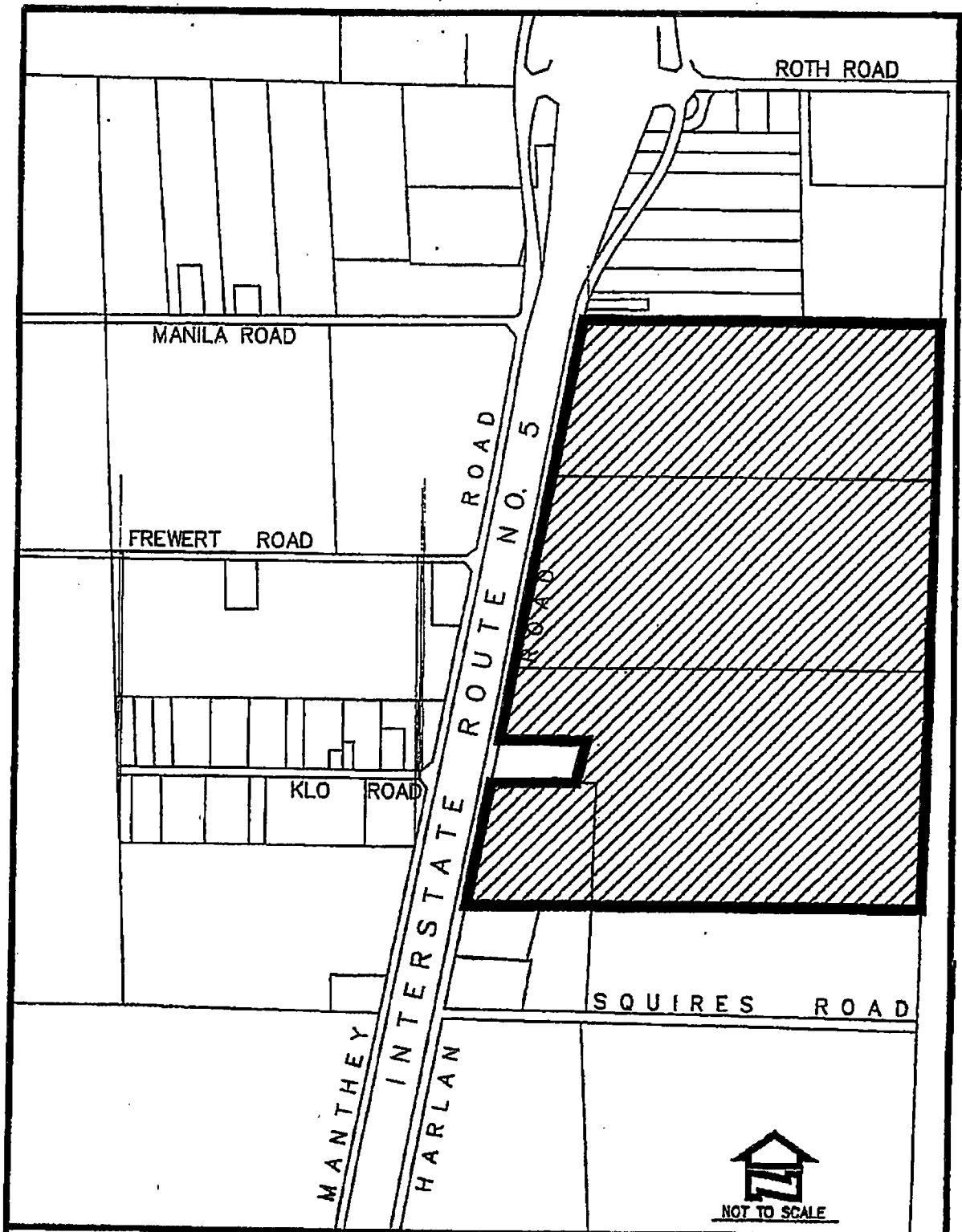




**City of Lathrop**  
**Industrial Lighting - Zone B**



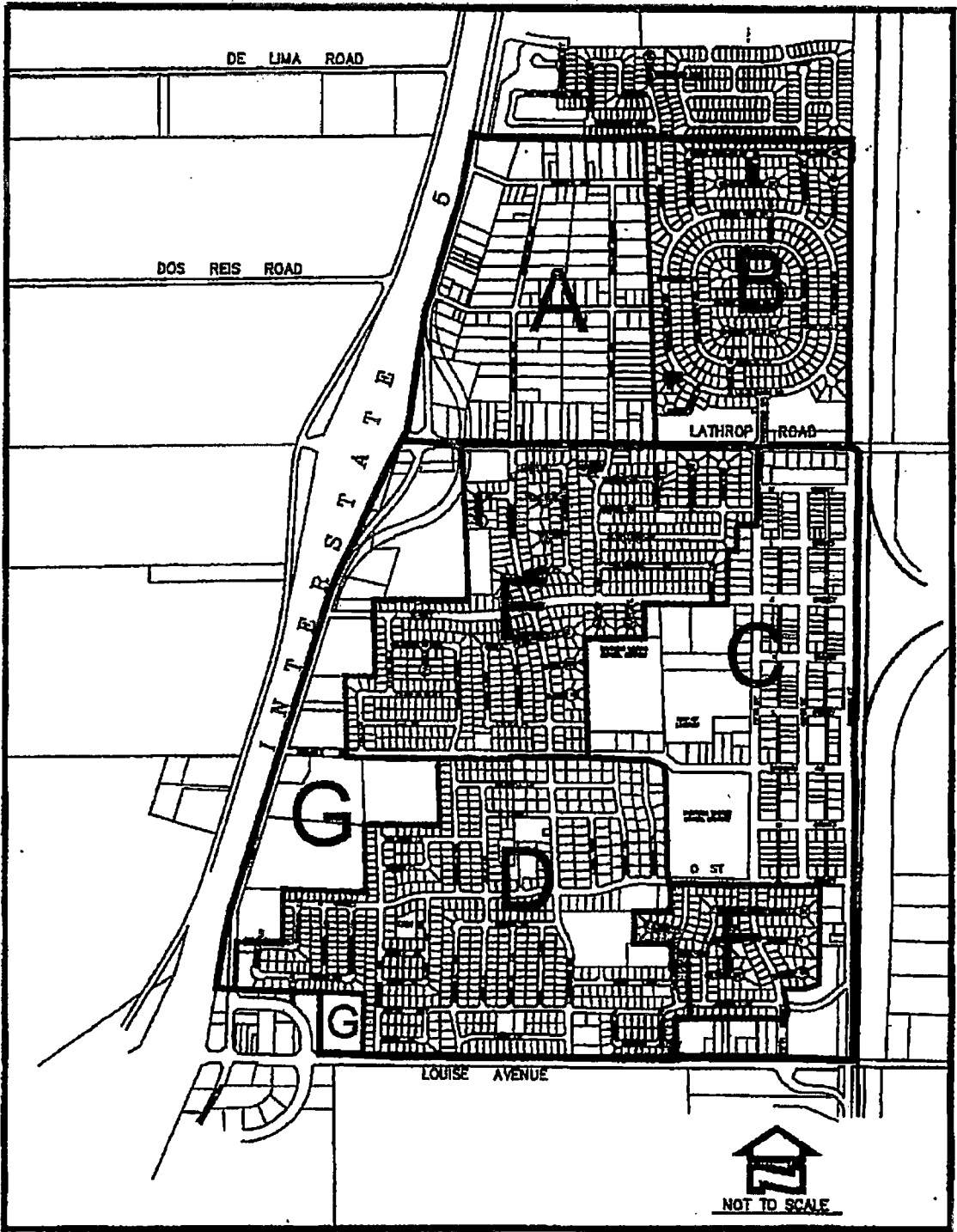
Date: February 1999



**City of Lathrop**  
**Industrial Lighting - Zone C**



Date: February 1989



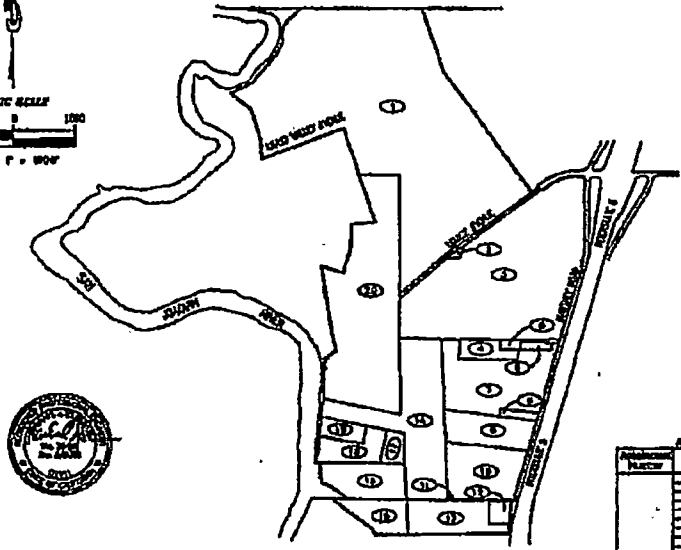
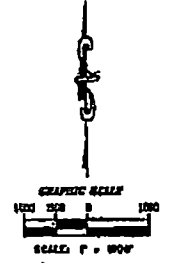
**City of Lathrop**  
**Residential Lighting District**



Date: March 1999

# ASSESSMENT DIAGRAM MOSSDALE LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT

CITY OF LATHROP  
COUNTY OF SAN JOAQUIN  
STATE OF CALIFORNIA



**N | B | S**  
 2820 Georgia Oaks Blvd., Suite 201  
 Lodi, CA 95240  
 Land Services Division

ASSESSMENT IS		
Parcel Number	APN	Parcel ID
1		
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17		

BEFORE ME, CLERK OF THE CITY COUNCIL OF THE CITY OF LATHROP THIS  
*[Signature]*  
 CITY OF LATHROP

HEREBY CERTIFY THAT THE STORM COUNCIL SHOWED THE PROPOSED PROMOTION OF MOSSDALE  
 LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT WAS APPROVED BY THE CITY COUNCIL OF THE CITY  
 OF LATHROP BY A REGULAR MEETING MINORITY HELD ON THE 22ND DAY OF *[Month]* 200*[Year]*,  
 BY THE RESOLUTION *[Number]*.  
*[Signature]*  
 CITY CLERK  
 CITY OF LATHROP

FILED THIS *[Day]* DAY OF *[Month]* 200*[Year]* AT THE HOUR OF *[Time]* O'CLOCK A.M. IN  
 ROOM *[Number]* AT THE CLERK'S OFFICE OF COUNTY RECORDS AND COUNTY CLERK'S  
 OFFICE IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF SAN JOAQUIN,  
 STATE OF CALIFORNIA.  
*[Signature]*  
 COUNTY RECORDER  
 COUNTY OF SAN JOAQUIN

NOTE: FOR A DETAILED DESCRIPTION OF THE LIMITS AND DIMENSIONS OF EACH PARCEL,  
 WITHIN THE DISTRICT REFER TO THE COUNTY OF SAN JOAQUIN ACCESSORS MAP.

SDG IS 2008-121748  
 ORIGINAL RECORD NUMBER  
 COUNTY OF SAN JOAQUIN  
 COUNTY CLERK'S OFFICE  
 12/15/2008

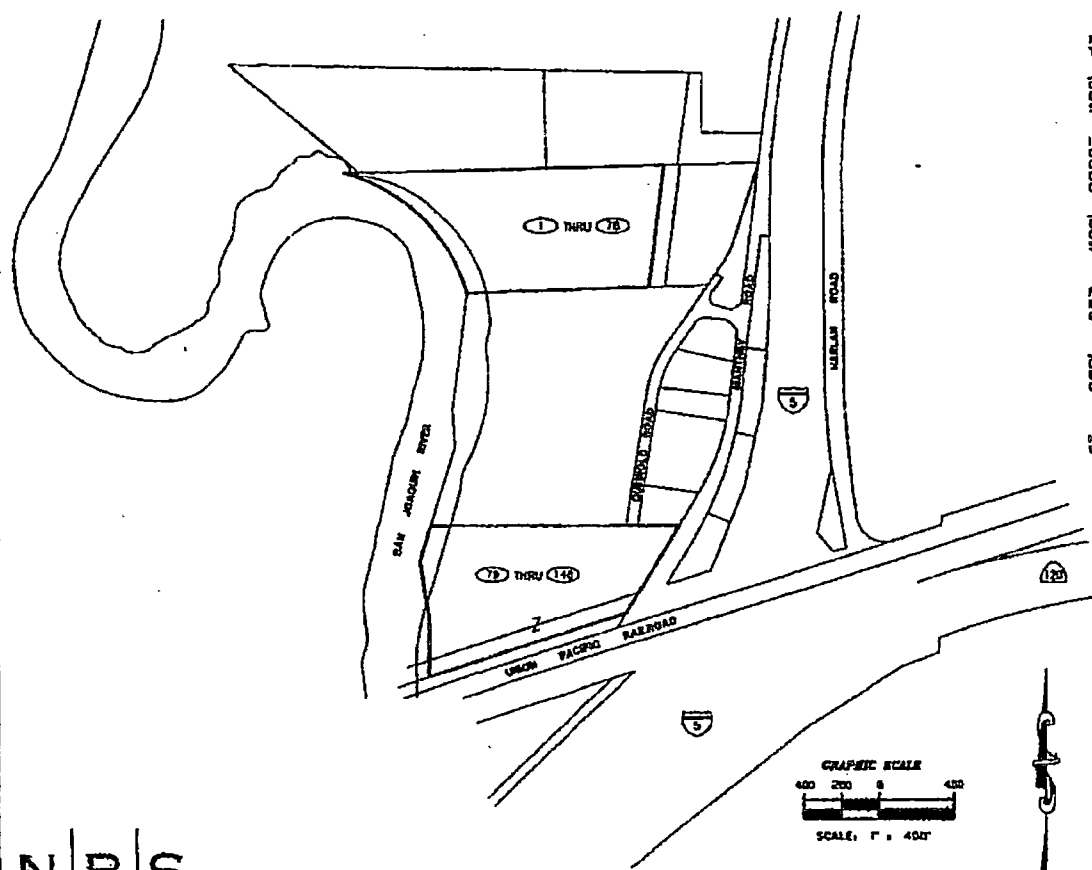
- LEGEND**
- ASSESSMENT DISTRICT BOUNDARY
  - PARCEL LINE
  - Ⓢ ASSESSED PARCEL IDENTIFICATION

5-151

SHEET 1 OF 2

# ANNEXATION DIAGRAM MOSSDALE LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT ANNEXATION NO. 1, ZONE 2 (MOSSDALE LANDING SOUTH)

CITY OF LATHROP  
COUNTY OF SAN JOAQUIN  
STATE OF CALIFORNIA



FILED IN THE OFFICE OF THE CITY CLERK OF THE CITY OF LATHROP  
THIS 27<sup>th</sup> DAY OF December, 2006.

*[Signature]*  
CITY CLERK  
CITY OF LATHROP  
SAN JOAQUIN COUNTY, CALIFORNIA

I HEREBY CERTIFY THAT THE WITHIN MAP SHOWING THE BOUNDARIES OF THE ANNEXATION OF TERRITORY INTO MOSSDALE LANDSCAPE MAINTENANCE DISTRICT, CITY OF LATHROP, COUNTY OF SAN JOAQUIN, STATE OF CALIFORNIA, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF LATHROP AT A REGULAR MEETING THEREOF, HELD ON THE 22<sup>nd</sup> DAY OF December, 2006, BY ITS RESOLUTION NO. 06-0112.

*[Signature]*  
CITY CLERK  
CITY OF LATHROP  
SAN JOAQUIN COUNTY, CALIFORNIA

FILED THIS 9 DAY OF January, 2007, AT THE HOUR OF 9:30 O'CLOCK A.M.  
BY Sharon AT PAGE 101 OF MAPS OF ASSESSMENT ORDINANCES IN THE OFFICE  
OF THE COUNTY RECORDER OF THE COUNTY OF SAN JOAQUIN, STATE OF CALIFORNIA.

*[Signature]*  
DEPUTY  
COUNTY RECORDER  
COUNTY OF SAN JOAQUIN

NOTE: FOR A DETAILED DESCRIPTION OF THE LINES AND DIMENSIONS OF EACH PARCEL WITHIN THE DISTRICT REFER TO THE COUNTY OF SAN JOAQUIN ASSESSOR'S MAPS.

LEGEND

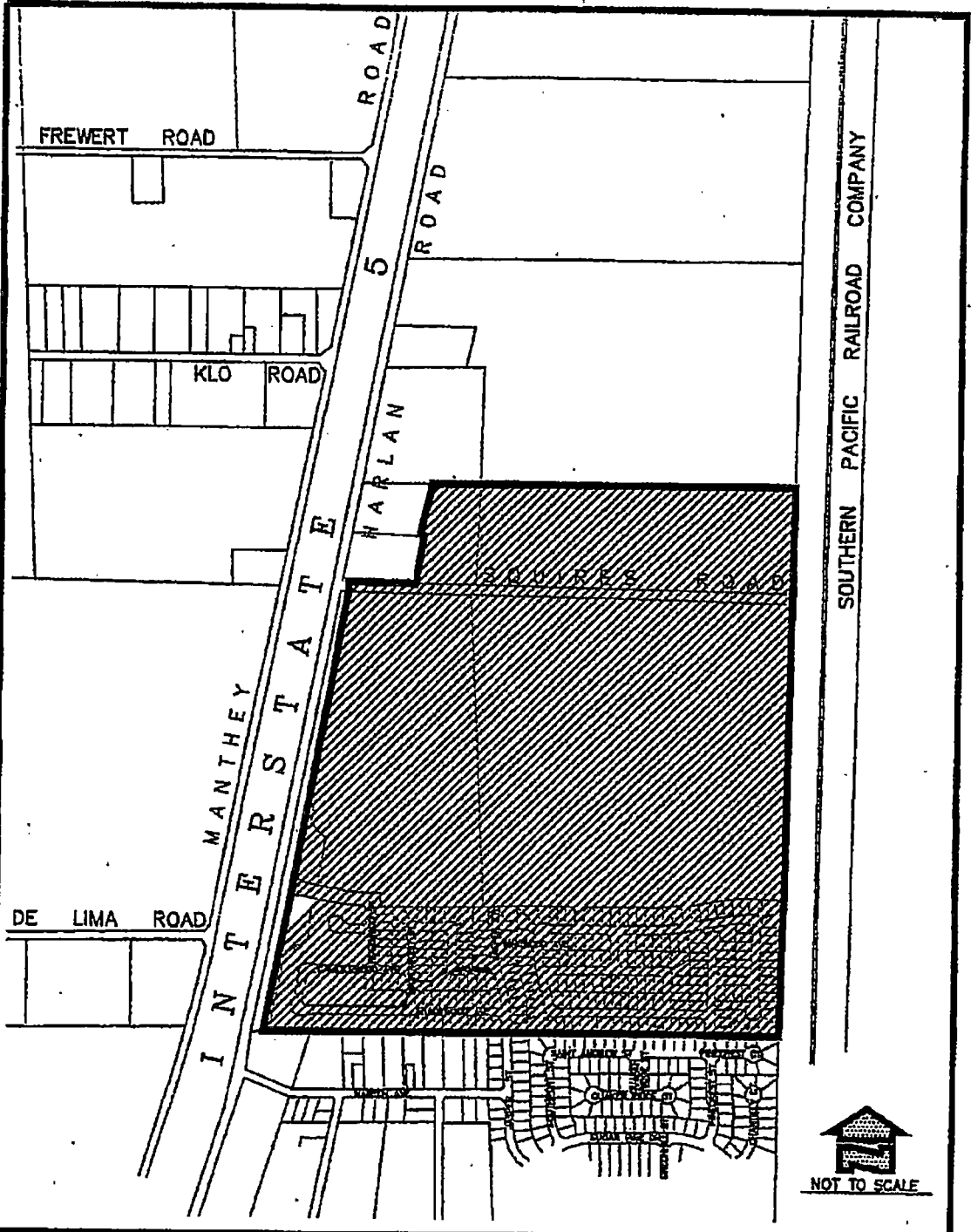
- ASSESSMENT DISTRICT BOUNDARY
- PARCEL LINES
- ASSESSMENT NUMBER

DOC # 2007-005077  
01/09/07 02:00 Pm:10.00  
Page 1 of 2  
Recorded as Official Record  
County of San Joaquin  
City of Lathrop  
Assessment Office Clerk  
Date of Record for Official



N | B | S  
2700 Alhambra Blvd., Suite 100  
West Covina, CA 91791  
Local Government Solutions

5-151

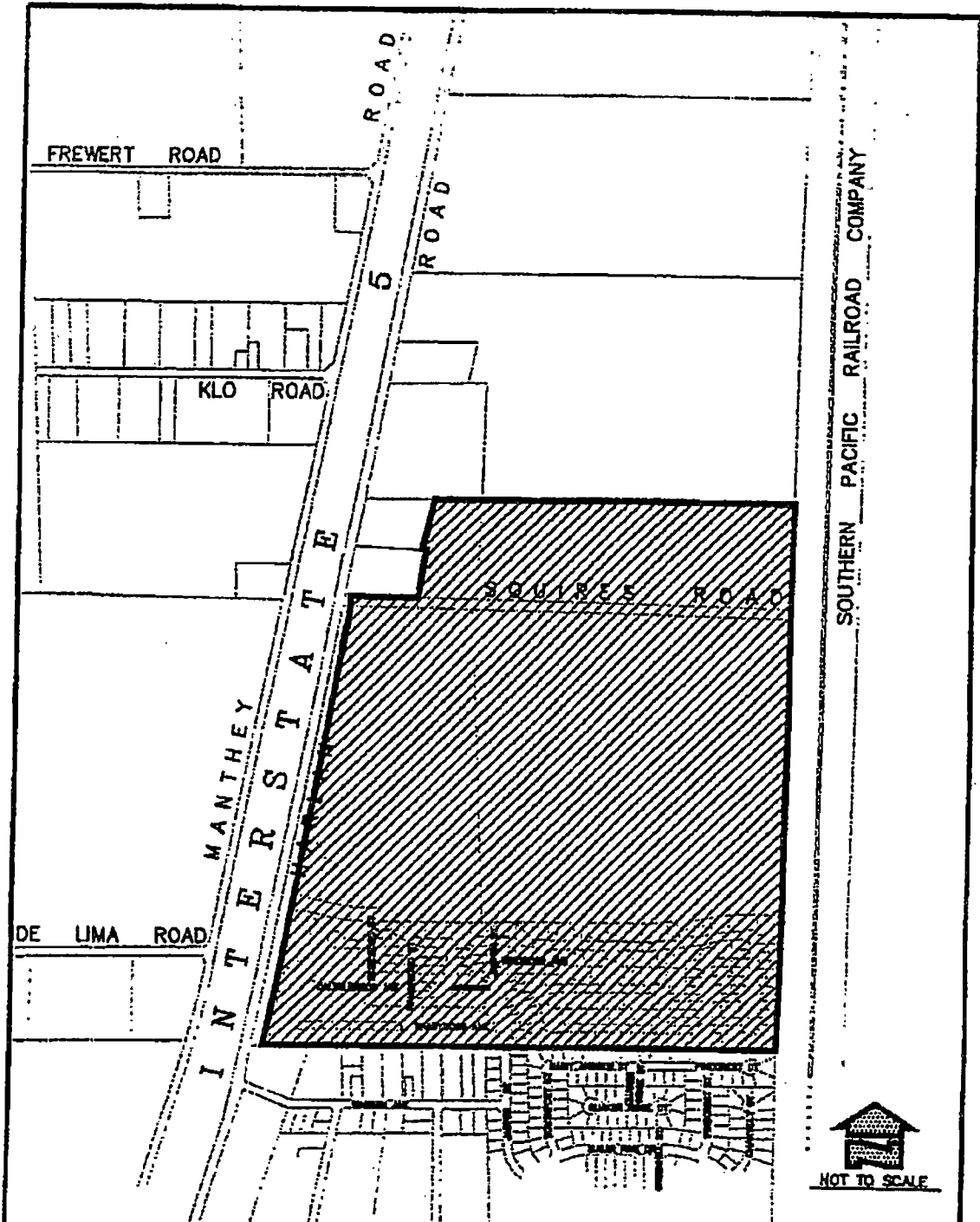


# City of Lathrop

## Stonebridge Landscaping District



Date: June 2001

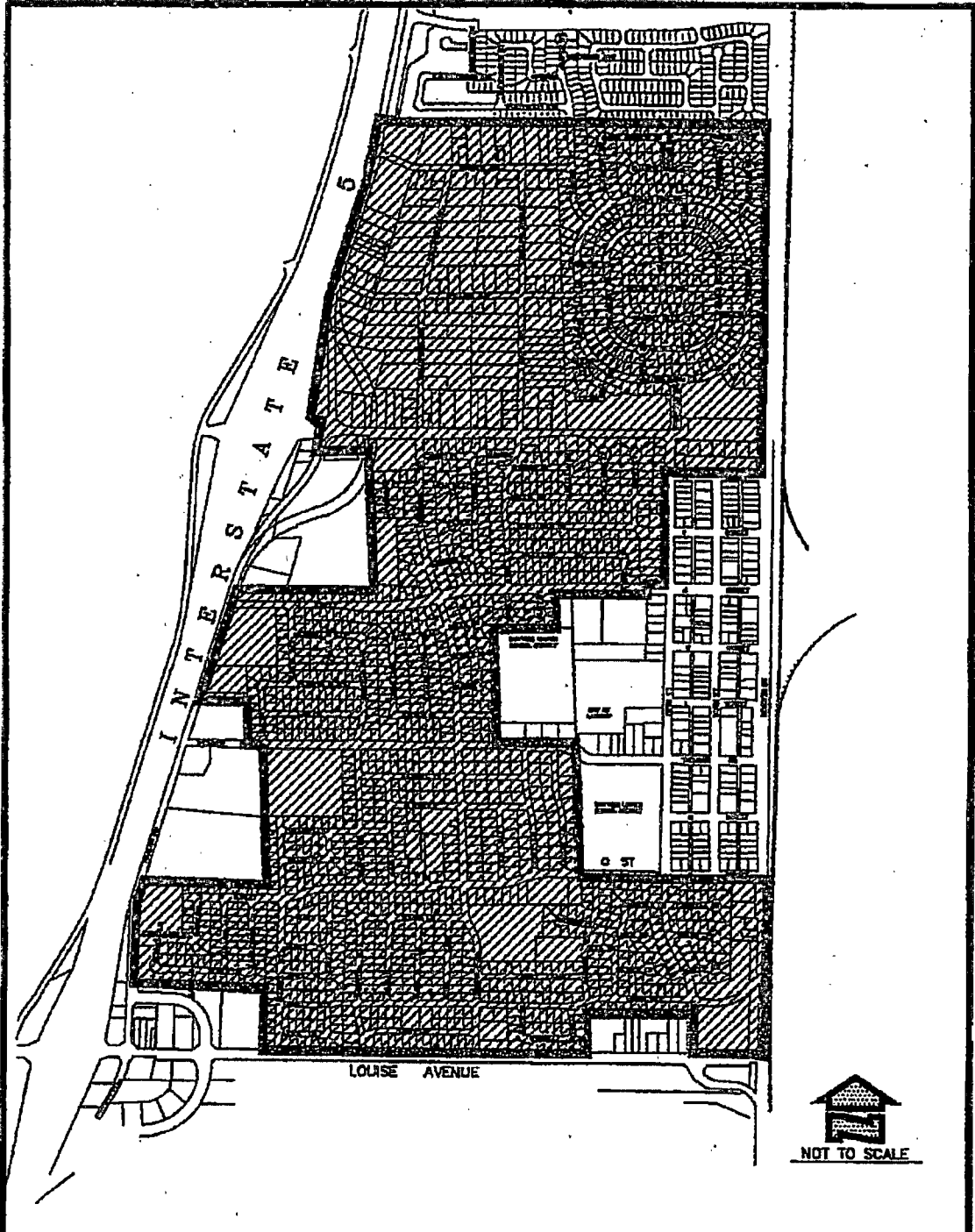


# City of Lathrop

Stonebridge Drainage & Lighting District



Date: February 1899

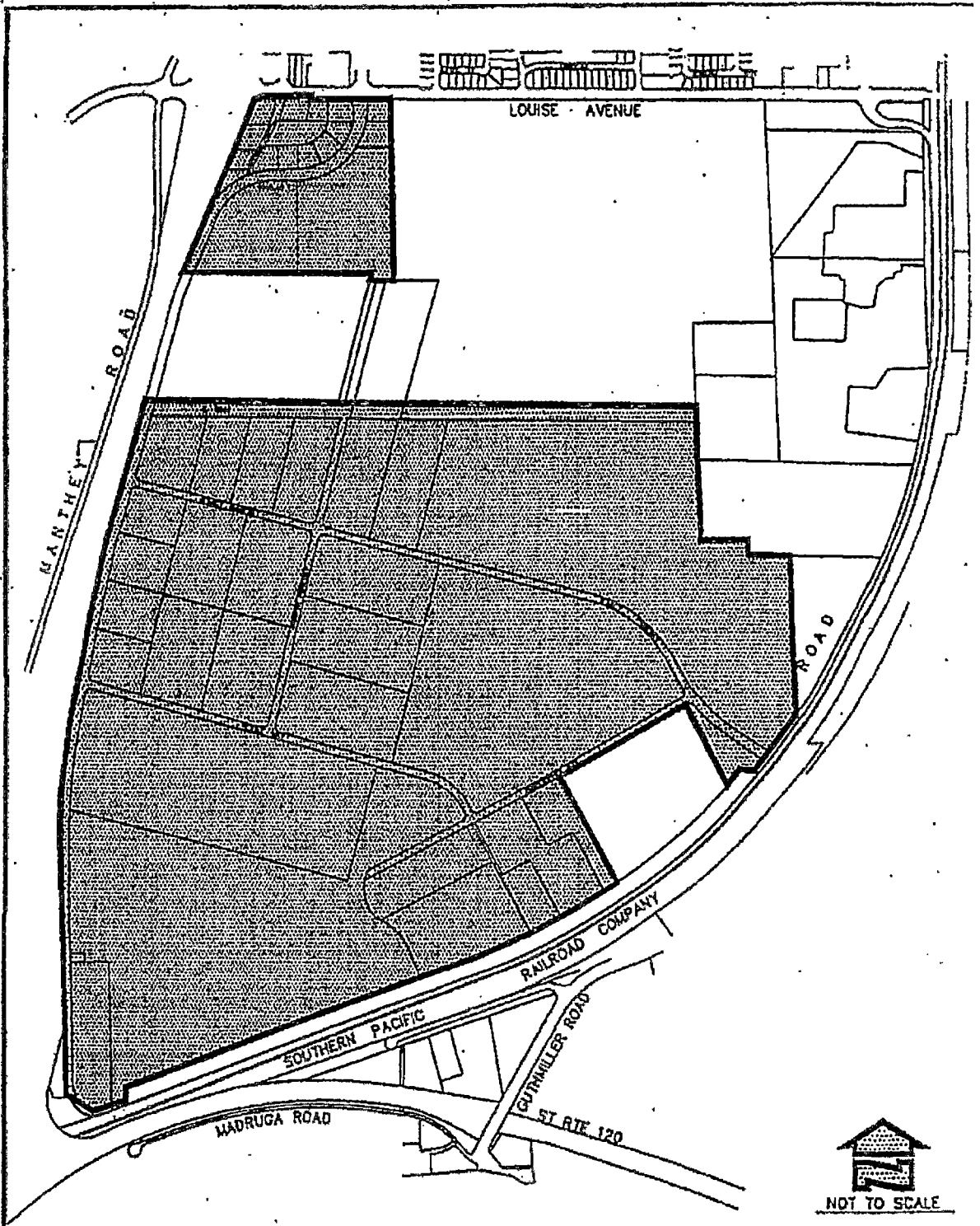


City of Lathrop  
 Storm Drain Zone 1



Date: February 1999





# City of Lathrop

## Storm Drain Zone 1A



NOT TO SCALE



Date: February 11

# CITY OF LATHROP

---

## Industrial Lighting Maintenance District Annual Engineer's Report

Fiscal Year 2020/21

Prepared by:



Corporate Headquarters  
32605 Temecula Parkway, Suite 100  
Temecula, CA 92592  
Toll free: 800.676.7516

**CITY OF LATHROP  
INDUSTRIAL LIGHTING MAINTENANCE DISTRICT**

**390 Towne Centre Drive  
Lathrop, California 95330  
Phone - (209) 941-7320  
Fax - (209) 941-7339**

---

**CITY COUNCIL**

Sonny Dhaliwal, Mayor

Martha Salcedo, Vice Mayor

Paul Akinjo, Councilmember

Diane Lazard, Councilmember

Jennifer Torres-O'Callaghan, Councilmember

**CITY STAFF**

Stephen Salvatore, City Manager

Salvador Navarrete, City Attorney

Cari James, Finance Director

Glenn Gebhardt, City Engineer

**NBS**

Tim Seufert, Client Services Director

Kristin Harvey, Senior Consultant

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# 1. ENGINEER'S LETTER

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**WHEREAS**, the City Council of the City of Lathrop (the "City"), State of California, directed NBS Government Finance Group, DBA NBS ("NBS") to prepare and file a report presenting plans and specifications describing the general nature, location, and extent of the improvements to be maintained, and an estimate of the costs of the maintenance, operations and servicing of the improvements for the City of Lathrop Industrial Lighting Maintenance District (the "District") for Fiscal Year 2020/21. The report includes a diagram for the District showing the area and properties proposed to be assessed; an assessment of the estimated costs of the maintenance, operations and servicing of the improvements, and the net amount to be assessed upon all assessable lots and/or parcels within the District in proportion to the special benefit received;

**WHEREAS**, the assessment rates and the annual rate escalation factor of the annual San Francisco Bay Area Consumer Price Index ("CPI-U") (not to exceed 3%) were approved by property owners through the assessment balloting procedures set forth in Section 4 of Article XIII D of the California Constitution at a public hearing held on July 3, 2001;

**NOW THEREFORE**, only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated special benefit received. The following assessment is made to fund the portion of the estimated costs of maintenance, operation, and servicing of the improvements to be paid by the assessable real property within the District in proportion to the special benefit received:

## SUMMARY OF ASSESSMENT

Description	Zone A	Zone B	Zone C
Balance to Levy <sup>(1)</sup>	\$1,782.68	\$53,540.52	\$2,762.14
Total Equivalent Dwelling Units ("EDU")	224.520	1,322.972	347.880
<b>Total Assessment Per EDU <sup>(1)</sup></b>	<b>\$7.94</b>	<b>\$40.47</b>	<b>\$7.94</b>
Maximum Assessment Per EDU	\$7.94	\$40.47	\$7.94
Total Parcels to be Assessed	9	152	10

(1) Where applicable, the actual levy will be rounded down to an even cent for San Joaquin County tax roll purposes.

I, the undersigned, respectfully submit the enclosed Engineer's Report and, to the best of my knowledge, information, and belief, the Engineer's Report, Assessments, and the District Diagram herein have been prepared and computed in accordance with the order and historical practices of the City Council of the City.

---

NBS Government Finance Group, DBA NBS



City of Lathrop  
Industrial Lighting Maintenance District

## 2. OVERVIEW

---

### 2.1 Introduction

The District was formed and is levied pursuant to the Landscaping and Lighting Act of 1972, Part 2 of Division 15 of the California Streets and Highways Code (the "Act").

This Annual Engineer's Report (the "Report") describes the District and the charge per EDU for Fiscal Year 2020/21 based on the historical and estimated cost to maintain the improvements and provide the services that benefit parcels within the District. Special benefit arising from the maintenance and operation of the facilities includes improvement to traffic circulation, reduction in nighttime accidents, deterrence of crime, and reduction in vandalism. The parcels contained within the District receive such special benefit from the improvements and will pay only their fair share of the costs of the operations, servicing, and maintenance of the improvements within the District.

The City provides a contribution of 50% of all lighting maintenance costs for the City General Plan arterial streets (including: Lathrop Road, Louise Avenue, Harlan Road, McKinley Avenue, Roth Road, and Yosemite Avenue) to pay the portion of costs of maintenance and operation of the facilities that provides a general benefit to the real property within the District and to the public at large and to pay the portion of costs that provides a special benefit to non-assessed real property within the District. The District is divided into three zones to allow the assessments to properly match the special benefits provided by the improvements to the assessed parcels within the District.

The word "parcel," for the purposes of this Report, refers to an individual property assigned its own Assessor's Parcel Number by the San Joaquin County (the "County") Assessor's Office. The County Auditor-Controller uses Assessor's Parcel Numbers and specific fund numbers to identify, on the tax roll, properties assessed for special district benefit assessments.

Following consideration of public comments at a noticed public hearing, and review of the Report, the City Council may confirm the submittal of the Report and order the levy and collection of assessments for Fiscal Year 2020/21. If approved, the assessment information will be submitted to the County Auditor-Controller and included on the property tax roll for each benefiting parcel for Fiscal Year 2020/21.

### 2.2 Effect of Proposition 218

On November 5, 1996, California voters approved Proposition 218 by a vote of 56.5% to 43.5%. The provisions of the Proposition, now California Constitutional Articles XIII C and XIII D, added substantive and procedural requirements for assessments, which affect the City's lighting maintenance assessments.

The assessment for the District for Fiscal Year 2020/21 is \$7.94 per EDU for Zone A, \$40.47 per EDU for Zone B, and \$7.94 per EDU for Zone C. The proposed assessment rates are not greater than 103% of the prior year maximum assessment rates, as approved by the land owners.

The annual rate escalation factor approved by property owners through the assessment balloting procedures set forth in Section 4 of Article XIII D at a public hearing held on July 3, 2001, is the annual CPI-U (which increased 2.4529% for Fiscal Year 2020/21), not to exceed 3%.

### **2.3 Plans and Specifications for the Improvements**

The City operates, services, and maintains the street lighting within the District. Zone A consists of 9 parcels located near the intersection of Louise Avenue and McKinley Avenue. Zone B consists of 152 parcels generally located in the southwestern half of the area bounded by Harlan Road, Howland Road, and Louise Avenue. Zone C consists of 10 parcels, generally located east of Interstate 5, west of the Southern Pacific Railroad, north of Squires Road, and south of Roth Road.

The services provided by the District include the maintenance of the street lighting facilities and other appurtenances particular to the District improvements.

### 3. ESTIMATE OF COSTS

---

#### 3.1 Description of Budget Items

**Maintenance & Operations** - Includes the following:

Advertising/Legal Notices - Includes the cost of publishing the required legal notices necessary to complete the required procedures for levying the assessments.

Contract Services - Includes professional services necessary for District maintenance including computer technical support and the preparation of the Report.

Light Costs - Includes the electricity costs of street lighting within the District.

Other Maintenance & Repair - Includes contracted maintenance and repair services such as emergency repairs.

Utilities - Gas & Electric - Includes electrical power for street lighting.

Fixed Charges - Includes the charges per parcel to collect the assessments on the County Secured Property Tax Roll.

**Personnel Services** - Includes employee salaries, salary related costs, and employee benefits including retirement, medical benefits, and workers compensation costs, etc.

**Indirect Costs** - Includes overhead costs of the City related to the maintenance, operation, and administration of the District.

#### 3.2 District Budget

The budget for Zone A for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Maintenance & Operations Total	\$1,609.32
Personnel Services Total	62.43
Machine & Equipment Total	0.00
Indirect Costs	<u>204.03</u>
<b>Zone A Total Cost</b>	<b>\$1,875.78</b>

The budget for Zone B for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Maintenance & Operations Total	\$48,334.14
Personnel Services Total	1,874.85
Machine & Equipment Total	0.00
Indirect Costs	<u>6,127.84</u>
<b>Zone B Total Cost</b>	<b>\$56,336.83</b>



The budget for Zone C for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Maintenance & Operations Total	\$2,493.54
Personnel Services Total	96.72
Machine & Equipment Total	0.00
Indirect Costs	<u>316.13</u>
<b>Zone C Total Cost</b>	<b>\$2,906.39</b>

### 3.3 Balance to Levy

**Total Zone Costs** - Includes the maintenance and operations, personnel services, machine, equipment, and indirect costs determined above.

**Contribution to (from) Operational Reserves** - The Operational Reserves item provides funds by the District to operate the District from the time period of July 1 (beginning of the fiscal year) through December when the County provides the City with the first installment of assessments collected from the property tax bills. This eliminates the need for the City to transfer funds from non-District accounts to pay for District charges during the first half of the fiscal year. Negative amounts shown here are transfers that are used to reduce the Balance to Levy. Using reserve amounts in this way allows the levy per unit to remain at prior period rates, despite increases in District costs.

**Contribution to (from) Capital Reserves** - The Capital Reserve Account item provides funds to maintain reserves for extraordinary maintenance items and unexpected capital expenditures that may occur as a result of natural occurrences or other unforeseen circumstances.

**General Benefit** - Includes the City contribution of 50% of all lighting maintenance costs for the City General Plan arterial streets (including: Lathrop Road, Louise Avenue, Harlan Road, and McKinley Avenue) to pay the portion of costs of maintenance and operation of the facilities that provides a general benefit to the real property within the District and to the public at large and to pay the portion of costs that provides a special benefit to non-assessed real property within the District.

**Balance to Levy** - This is the total amount to be levied and collected through assessments for the current fiscal year. The Balance to Levy represents the sum of the total direct and administration costs, reserves, contributions, and other revenue sources minus General Benefit contributions.

The following table shows the balance to levy for Zone A for the Fiscal Year 2020/21 levy.

Description	Amount
Total Zone A Costs	\$1,875.78
Contribution to (from) Operational Reserves	291.23
Contribution to (from) Capital Reserves	0.00
Less General Benefit	<u>(384.33)</u>
<b>Balance to Levy</b>	<b>\$1,782.68</b>

The following table shows the balance to levy for Zone B for the Fiscal Year 2020/21 levy.

<b>Description</b>	<b>Amount</b>
Total Zone A Costs	\$56,336.83
Contribution to (from) Operational Reserves	8,746.86
Contribution to (from) Capital Reserves	0.00
Less General Benefit	<u>(11,543.17)</u>
<b>Balance to Levy</b>	<b>\$53,540.52</b>

The following table shows the balance to levy for Zone C for the Fiscal Year 2020/21 levy.

<b>Description</b>	<b>Amount</b>
Total Zone A Costs	\$2,906.39
Contribution to (from) Operational Reserves	451.25
Contribution to (from) Capital Reserves	0.00
Less General Benefit	<u>(595.50)</u>
<b>Balance to Levy</b>	<b>\$2,762.14</b>

### 3.4 Operational & Maintenance Reserve Information

The following table shows the estimated balance in the Operational and Maintenance Reserves for the Fiscal Year 2020/21 levy.

<b>Description</b>	<b>Amount</b>
<b>Estimated Beginning Balance – July 1, 2020</b>	<b>\$116,670.49</b>
Contribution to (from) Operational and Maintenance Reserves – Zone A	291.23
Contribution to (from) Operational and Maintenance Reserves – Zone B	8,746.86
Contribution to (from) Operational and Maintenance Reserves – Zone C	451.25
<b>Estimated Ending Balance – June 30, 2021</b>	<b>\$126,159.83</b>

The reserves are intended to be used and/or accumulated for repair and/or capital replacement, as needed for improvements within the District.

## 4. METHOD OF APPORTIONMENT

### 4.1 Method of Apportionment

The costs of the District are apportioned by a formula or method which fairly distributes the net amount to be assessed, among all assessable parcels in proportion to the estimated special benefit to be received by each such parcel from the maintenance, servicing, and operation of the improvements. The assessment has been levied in accordance with the assessment methodology adopted and approved by the City Council at the time of District formation.

The basis of special benefit for the District was determined to be equal for all EDU within each Zone. The method uses a Benefit Unit Factor ("BUF") as described below.

The method used to calculate the assessments within each Zone is as follows:

$$\text{Total Balance to Levy} / \text{Total EDU} = \text{Levy per EDU}$$

$$\text{Parcel BUF} \times \text{Acres or Units} \times \text{Levy per EDU} = \text{Parcel Levy Amount}$$

To determine the EDU for non-residential parcels and unimproved residential parcels, the BUF is multiplied by the acreage. For those non-residential parcels and unimproved residential parcels that are less than one acre, the BUF is multiplied by one. For non-residential parcels and unimproved residential parcels that are greater than ten acres, the BUF is multiplied by ten. To determine the EDU for residential parcels, the BUF is multiplied by the number of developed residential units on the parcel.

### 4.2 Benefit Unit Factors

The table below shows the BUF per acre or unit for each property type.

Property Type/Land Use	BUF
Single Family Residential	1.00
Multi Family Residential	0.70
Mobile Homes	0.70
Vacant Land	1.00
Commercial/Industrial	4.00
Churches	1.00
Government	1.00

### 4.3 Assessment Per EDU - Zone A

The following table shows the total assessment per EDU for Zone A for the Fiscal Year 2020/21 levy.

Description	Amount
Balance to Levy <sup>(1)</sup>	\$1,782.68
Total EDU - Zone A	224.520
<b>Total Assessment Per EDU</b>	<b>\$7.94</b>

(1) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.

The following table provides sample calculations for the parcel levy amount in Zone A.

Property Type/ Land Use	BUF X Units or Acres = EDU	Parcel EDU X Levy Per EDU = Parcel Levy	Parcel Levy
Single Family Residential	1.00 X 1 Unit	1.00 X \$7.94	\$7.94
Multi Family Residential	0.70 X 100 Units	70.00 X \$7.94	555.80
Mobile Home Park	0.70 X 10 Units	7.00 X \$7.94	55.58
Vacant Land	1.00 X 5 Acres	5.00 X \$7.94	39.70
Commercial/Industrial	4.00 X 5 Acres	20.00 X \$7.94	158.80
Churches	1.00 X 0.5 Acres <sup>(1)</sup>	0.50 X \$7.94	3.97
Government	1.00 X 0.5 Acres <sup>(1)</sup>	0.50 X \$7.94	3.97

(1) For non-residential or unimproved parcels that are less than one acre, the BUF is multiplied by one. For non-residential or unimproved parcels that are more than ten acres, the BUF is multiplied by ten.

#### 4.4 Assessment Per EDU - Zone B

The following table shows the total assessment per EDU for Zone B for the Fiscal Year 2020/21 levy.

Description	Amount
Balance to Levy <sup>(1)</sup>	\$53,540.52
Total EDU - Zone B	1,322.972
<b>Total Assessment Per EDU</b>	<b>\$40.47</b>

(1) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.

The following table provides sample calculations for the parcel levy amount in Zone B.

Property Type/ Land Use	BUF X Units or Acres = EDU	Parcel EDU X Levy Per EDU = Parcel Levy	Parcel Levy
Single Family Residential	1.00 X 1 Unit	1.00 X \$40.47	\$40.47
Multi Family Residential	0.70 X 100 Units	70.00 X \$40.47	2,832.90
Mobile Home Park	0.70 X 10 Units	7.00 X \$40.47	283.29
Vacant Land	1.00 X 5 Acres	5.00 X \$40.47	202.35
Commercial/Industrial	4.00 X 5 Acres	20.00 X \$40.47	809.40
Churches	1.00 X 0.5 Acres <sup>(1)</sup>	0.50 X \$40.47	20.23
Government	1.00 X 0.5 Acres <sup>(1)</sup>	0.50 X \$40.47	20.23

(1) For non-residential or unimproved parcels that are less than one acre, the BUF is multiplied by one. For non-residential or unimproved parcels that are more than ten acres, the BUF is multiplied by ten.

#### 4.5 Assessment Per EDU - Zone C

The following table shows the total assessment per EDU for Zone C for the Fiscal Year 2020/21 levy.

Description	Amount
Balance to Levy <sup>(1)</sup>	\$2,762.14
Total EDU - Zone C	347.880
<b>Total Assessment Per EDU</b>	<b>\$7.94</b>

(1) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.

The following table provides sample calculations for the parcel levy amount in Zone C.

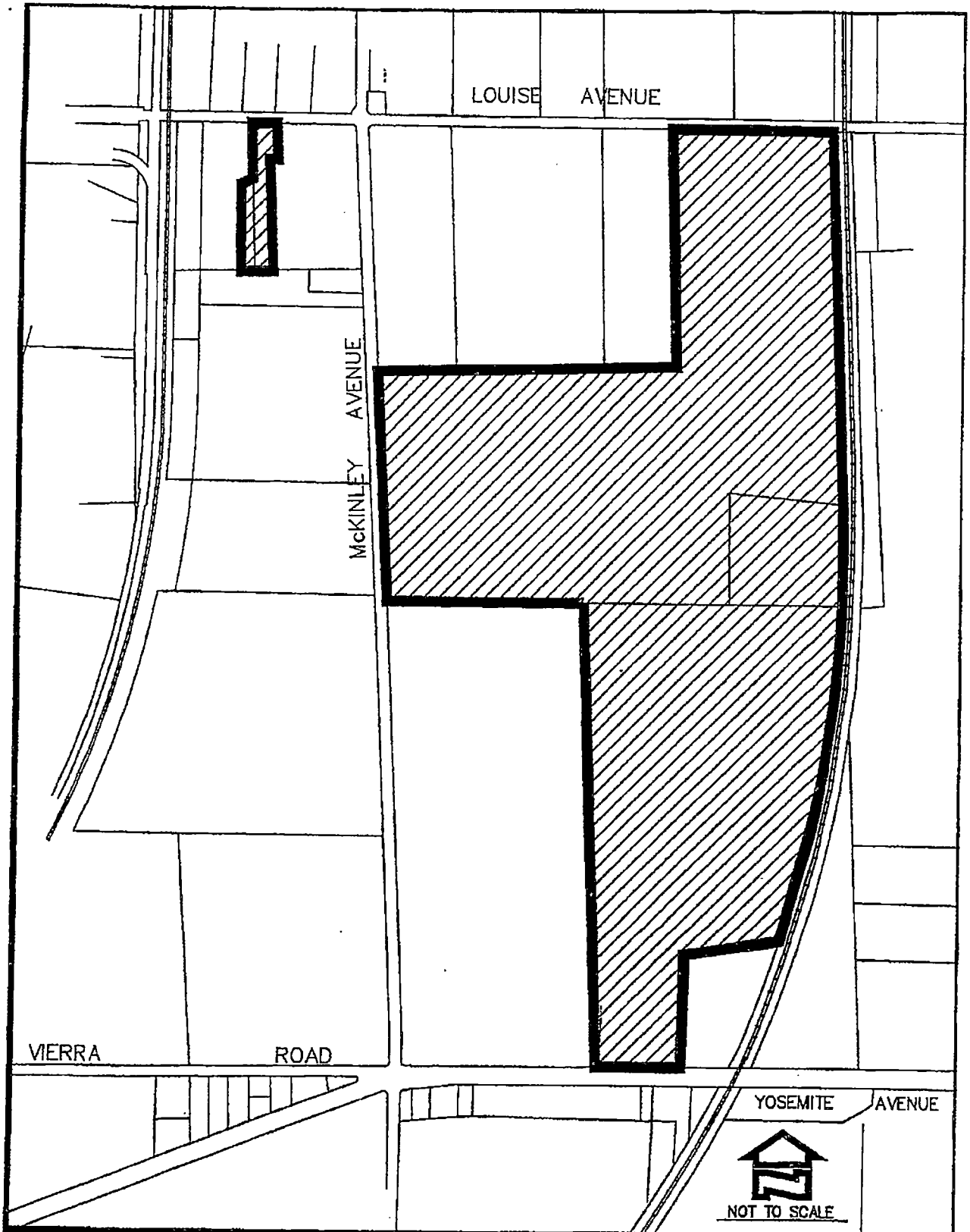
Property Type/ Land Use	BUF X Units or Acres = EDU	Parcel EDU X Levy Per EDU = Parcel Levy	Parcel Levy
Single Family Residential	1.00 X 1 Unit	1.00 X \$7.94	\$7.94
Multi Family Residential	0.70 X 100 Units	70.00 X \$7.94	555.80
Mobile Home Park	0.70 X 10 Units	7.00 X \$7.94	55.58
Vacant Land	1.00 X 5 Acres	5.00 X \$7.94	39.70
Commercial/Industrial	4.00 X 5 Acres	20.00 X \$7.94	158.80
Churches	1.00 X 0.5 Acres <sup>(1)</sup>	0.50 X \$7.94	3.97
Government	1.00 X 0.5 Acres <sup>(1)</sup>	0.50 X \$7.94	3.97

(1) For non-residential or unimproved parcels that are less than one acre, the BUF is multiplied by one. For non-residential or unimproved parcels that are more than ten acres, the BUF is multiplied by ten.

## 5. DISTRICT DIAGRAMS

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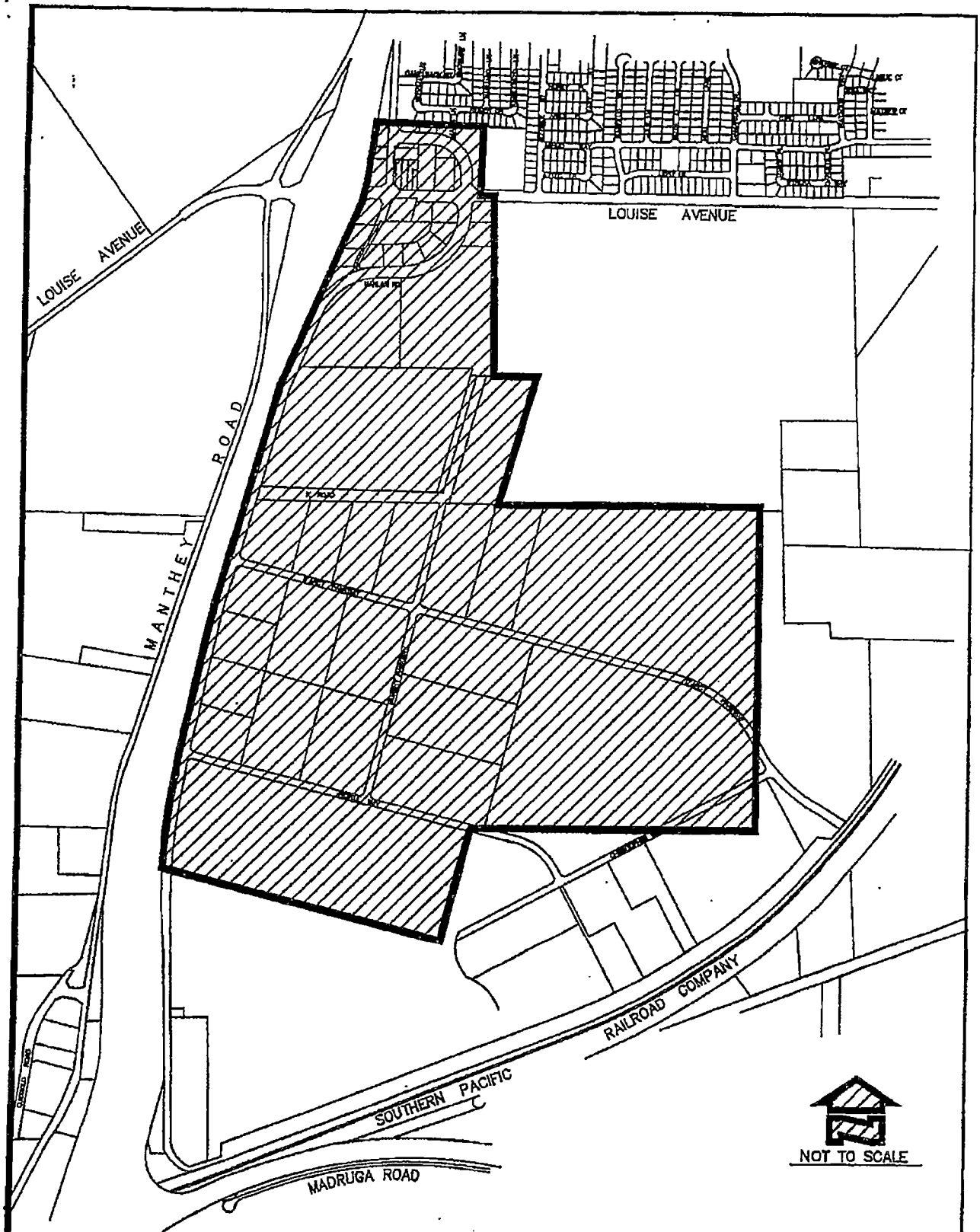
Reference is made to the District Diagrams on file with the City Clerk. The following pages provide the boundaries of the District. The lines and dimensions shown on maps of the County Assessor for the current year are incorporated by reference and made part of this Report.



**City of Lathrop**  
**Industrial Lighting - Zone A**



Date: February 1999



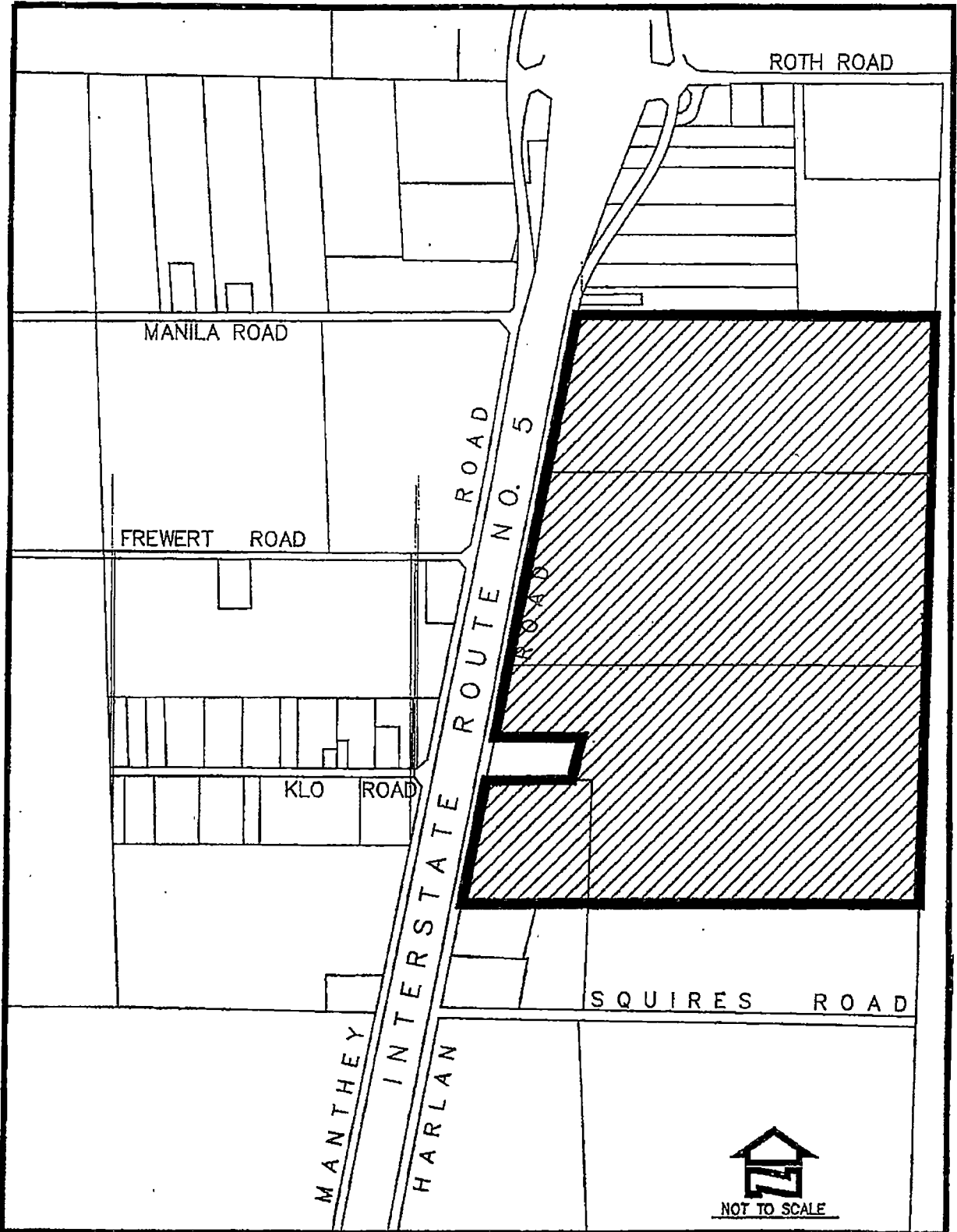
NOT TO SCALE

**City of Lathrop**  
**Industrial Lighting - Zone B**



Date: February 1999





**City of Lathrop**  
**Industrial Lighting - Zone C**



Date: February 1999

# 6. PARCEL LISTING

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The parcel listing of assessments is provided on the following pages. The description of each lot or parcel is a part of the records of the County Assessor and is incorporated by reference and made part of this Report.

**CITY OF LATHROP**  
**INDUSTRIAL LIGHTING MAINTENANCE DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Max Rate	Levy Rate	Levy <sup>(1)</sup>
A	198-140-140-000	IND	3.130	3.130	4.00	12.520	\$7.94	\$7.94	\$99.40
A	198-160-030-000	GOVT	12.000	10.000	1.00	10.000	7.94	7.94	79.40
A	198-160-230-000	GOVT	0.128	1.000	1.00	1.000	7.94	7.94	7.94
A	198-160-250-000	VAC	0.035	1.000	1.00	1.000	7.94	7.94	7.94
A	198-160-260-000	IND	106.050	10.000	4.00	40.000	7.94	7.94	317.60
A	198-230-170-000	IND	15.180	10.000	4.00	40.000	7.94	7.94	317.60
A	198-230-180-000	IND	18.650	10.000	4.00	40.000	7.94	7.94	317.60
A	198-230-190-000	IND	12.850	10.000	4.00	40.000	7.94	7.94	317.60
A	198-230-150-000	IND	11.780	10.000	4.00	40.000	7.94	7.94	317.60
<b>SUBTOTAL:</b>		<b>9 Assessable Parcels</b>				<b>224.520</b>			<b>\$1,782.68</b>

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Max Rate	Levy Rate	Levy*
B	196-270-080-000	CMD	0.540	1.000	4.00	4.000	\$40.47	\$40.47	\$161.88
B	196-270-090-000	CMD	0.300	1.000	4.00	4.000	40.47	40.47	161.88
B	196-270-100-000	CMD	0.809	1.000	4.00	4.000	40.47	40.47	161.88
B	196-270-230-000	CMV	1.307	1.307	1.00	1.307	40.47	40.47	52.88
B	196-270-260-000	GOVT	1.657	1.657	1.00	1.657	40.47	40.47	67.04
B	196-270-280-000	CMD	1.725	1.725	4.00	6.900	40.47	40.47	279.24
B	196-270-300-000	CMD	1.437	1.437	4.00	5.748	40.47	40.47	232.62
B	198-120-040-000	IND	34.460	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-120-050-000	IND	10.010	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-130-390-000	IND	27.930	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-130-420-000	IND	47.160	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-130-640-000	IND	49.640	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-190-040-000	IND	6.310	6.310	4.00	25.240	40.47	40.47	1,021.46
B	198-190-060-000	CMD	8.990	8.990	4.00	35.960	40.47	40.47	1,455.30
B	198-190-190-000	IND	12.490	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-190-200-000	IND	12.500	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-190-210-000	IND	13.200	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-190-300-000	IND	11.000	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-190-310-000	IND	14.720	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-190-320-000	IND	29.110	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-190-330-000	IND	7.280	7.280	4.00	29.120	40.47	40.47	1,178.48
B	198-210-020-000	CMD	1.170	1.170	4.00	4.680	40.47	40.47	189.38
B	198-210-030-000	CMD	0.839	1.000	4.00	4.000	40.47	40.47	161.88
B	198-210-040-000	CMD	0.639	1.000	4.00	4.000	40.47	40.47	161.88
B	198-210-050-000	CMD	0.850	1.000	4.00	4.000	40.47	40.47	161.88
B	198-210-060-000	CMD	0.689	1.000	4.00	4.000	40.47	40.47	161.88
B	198-210-070-000	CMV	0.760	1.000	1.00	1.000	40.47	40.47	40.46
B	198-210-080-000	CMV	0.739	1.000	1.00	1.000	40.47	40.47	40.46
B	198-210-090-000	CMD	0.850	1.000	4.00	4.000	40.47	40.47	161.88
B	198-210-100-000	CMD	0.830	1.000	4.00	4.000	40.47	40.47	161.88
B	198-210-140-000	CMV	0.739	1.000	1.00	1.000	40.47	40.47	40.46
B	198-210-160-000	CMD	0.993	1.000	4.00	4.000	40.47	40.47	161.88

**CITY OF LATHROP**  
**INDUSTRIAL LIGHTING MAINTENANCE DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Max Rate	Levy Rate	Levy <sup>(1)</sup>
B	198-210-170-000	CMD	0.916	1.000	4.00	4.000	40.47	40.47	161.88
B	198-210-180-000	CMD	14.280	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-210-190-000	CMV	18.700	10.000	1.00	10.000	40.47	40.47	404.70
B	198-210-200-000	CMD	0.774	1.000	4.00	4.000	40.47	40.47	161.88
B	198-210-210-000	CMV	0.385	1.000	1.00	1.000	40.47	40.47	40.46
B	198-210-220-000	CMD	1.340	1.340	4.00	5.360	40.47	40.47	216.90
B	198-210-230-000	CMD	1.070	1.070	4.00	4.280	40.47	40.47	173.20
B	198-220-020-000	IND	19.390	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-220-030-000	IND	10.010	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-220-090-000	IND	27.790	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-220-100-000	IND	11.490	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-220-120-000	IND	23.070	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-240-010-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-020-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-030-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-040-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-050-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-060-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-070-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-080-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-090-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-100-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-110-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-120-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-130-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-140-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-150-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-160-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-170-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-180-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-190-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-200-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-210-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-220-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-230-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-240-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-250-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-260-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-270-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-280-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-290-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-300-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-310-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-320-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-330-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88

**CITY OF LATHROP**  
**INDUSTRIAL LIGHTING MAINTENANCE DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Max Rate	Levy Rate	Levy <sup>(1)</sup>
B	198-240-340-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-350-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-360-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-370-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-380-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-390-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-400-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-410-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-420-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-430-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-440-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-450-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-460-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-470-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-480-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-010-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-020-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-030-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-040-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-050-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-060-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-070-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-080-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-090-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-100-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-110-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-120-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-130-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-140-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-150-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-160-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-170-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-180-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-190-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-200-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-210-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-220-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-230-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-240-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-250-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-260-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-270-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-280-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-290-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-300-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88

**CITY OF LATHROP**  
**INDUSTRIAL LIGHTING MAINTENANCE DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Max Rate	Levy Rate	Levy <sup>(1)</sup>	
B	198-250-310-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88	
B	198-250-320-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88	
B	198-250-330-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88	
B	198-250-340-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88	
B	198-250-350-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88	
B	198-250-360-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88	
B	198-250-370-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88	
B	198-250-380-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88	
B	198-250-390-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88	
B	198-250-400-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88	
B	198-250-410-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88	
B	198-250-420-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88	
B	198-250-430-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88	
B	198-250-440-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88	
B	198-250-450-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88	
B	198-250-460-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88	
B	198-250-470-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88	
B	198-250-480-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88	
B	198-250-490-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88	
B	198-250-500-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88	
B	198-250-510-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88	
B	198-250-520-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88	
B	198-250-530-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88	
B	198-250-540-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88	
B	198-250-550-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88	
B	198-250-560-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88	
B	198-250-570-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88	
B	198-250-580-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88	
B	198-250-590-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88	
B	198-250-600-000	IND	8.180	8.180	4.00	32.720	40.47	40.47	1,324.16	
<b>SUBTOTAL:</b>		<b>152 Assessable Parcels</b>					<b>1,322.972</b>			<b>\$53,540.52</b>

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Max Rate	Levy Rate	Levy*	
C	196-030-030-000	IND	41.730	10.000	4.00	40.000	\$7.94	\$7.94	\$317.60	
C	196-030-190-000	CMD	5.730	5.730	4.00	22.920	7.94	7.94	181.98	
C	196-030-220-000	IND	20.160	10.000	4.00	40.000	7.94	7.94	317.60	
C	196-030-230-000	IND	11.730	10.000	4.00	40.000	7.94	7.94	317.60	
C	196-030-250-000	IND	21.710	10.000	4.00	40.000	7.94	7.94	317.60	
C	196-030-260-000	IND	8.620	8.620	4.00	34.480	7.94	7.94	273.76	
C	196-030-270-000	IND	13.900	10.000	4.00	40.000	7.94	7.94	317.60	
C	196-030-280-000	IND	32.640	10.000	4.00	40.000	7.94	7.94	317.60	
C	196-030-290-000	IND	13.360	10.000	4.00	40.000	7.94	7.94	317.60	
C	196-030-310-000	IND	2.620	2.620	4.00	10.480	7.94	7.94	83.20	
<b>SUBTOTAL:</b>		<b>10 Assessable Parcels</b>					<b>347.880</b>			<b>\$2,762.14</b>

**CITY OF LATHROP  
INDUSTRIAL LIGHTING MAINTENANCE DISTRICT  
FISCAL YEAR 2020/21  
PARCEL LISTING**

<b>Zone</b>	<b>APN</b>	<b>Land Use</b>	<b>Acreage</b>	<b>Units</b>	<b>BUF</b>	<b>EDU</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy <sup>(1)</sup></b>
<b>Grand Total:</b>					<b>1,895.372</b>				<b>\$58,085.34</b>

(1) Where applicable, the levy has been rounded down to an even cent for County tax roll purposes.

# CITY OF LATHROP

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## Residential Lighting Maintenance District

### Annual Engineer's Report

Fiscal Year 2020/21



Prepared by:

**NBS**  
helping communities  
fund tomorrow  
nbsgov.com

Corporate Headquarters  
32605 Temecula Parkway, Suite 100  
Temecula, CA 92592  
Toll free: 800.676.7516



**CITY OF LATHROP  
RESIDENTIAL LIGHTING MAINTENANCE DISTRICT**

**390 Towne Centre Drive  
Lathrop, California 95330  
Phone - (209) 941-7320  
Fax - (209) 941-7339**

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**CITY COUNCIL**

Sonny Dhaliwal, Mayor

Martha Salcedo, Vice Mayor

Paul Akinjo, Councilmember

Diane Lazard, Councilmember

Jennifer Torres-O'Callaghan, Councilmember

**CITY STAFF**

Stephen Salvatore, City Manager

Salvador Navarrete, City Attorney

Cari James, Finance Director

Glenn Gebhardt, City Engineer

**NBS**

Tim Seufert, Client Services Director

Kristin Harvey, Senior Consultant

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# 1. ENGINEER'S LETTER

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**WHEREAS**, the City Council of the City of Lathrop (the "City"), State of California, directed NBS Government Finance Group, DBA NBS ("NBS") to prepare and file a report presenting plans and specifications describing the general nature, location and extent of the improvements to be maintained, an estimate of the costs of the maintenance, operations, and servicing of the improvements for the City of Lathrop Residential Lighting Maintenance District (the "District") for Fiscal Year 2020/21. The report includes a diagram for the District, showing the area and properties to be assessed, an assessment of the estimated costs of the maintenance, operations and servicing of the improvements, and the net amount upon all assessable lots and/or parcels within the District in proportion to the special benefit received;

**NOW THEREFORE**, only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated special benefit received. The following assessment is made to fund the portion of the estimated costs of maintenance, operation, and servicing of said improvements to be paid by the assessable real property within the District in proportion to the special benefit received:

## SUMMARY OF ASSESSMENT

Description	Amount
Balance to Levy <sup>(1)</sup>	\$130,664.14
Total Equivalent Dwelling Units	2,838.0835

(1) Where applicable, the actual parcel levy will be rounded to an even amount for San Joaquin County tax roll purposes.

The details concerning the Balance to Levy and amount to levy per Equivalent Dwelling Unit are contained within the enclosed Engineer's Report.

I, the undersigned, respectfully submit the enclosed Engineer's Report and, to the best of my knowledge, information, and belief, the Engineer's Report, Assessments, and the District Diagram herein have been prepared and computed in accordance with the order and historical practices of the City Council of the City.

---

NBS Government Finance Group, DBA NBS



## 2. OVERVIEW

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### 2.1 Introduction

The City proposes to levy special benefit assessments for the District for Fiscal Year 2020/21. Prior to the City's incorporation in 1989, the County of San Joaquin (the "County") had established a maintenance district to fund the cost of operating and maintaining streetlights. After incorporation, the City continued and expanded the boundaries of the District to include lights and properties in newly developed areas of the City. In 1993, the City consolidated several maintenance districts including the lighting district into a single district: "Lathrop Residential Lighting Maintenance District". In response to the provisions of the California Constitution Article XIII C and XIII D (the "Proposition 218"), in 1998 a separate Engineer's Report was prepared for the District and property owner balloting for the assessments was conducted. At the conclusion of the public hearing it was determined that the proposed assessments received a majority protest and no assessment was levied for Fiscal Year 1998/99.

Although no assessment was levied in Fiscal Year 1998/99, the City was able to continue funding the improvements for one year through other revenue sources. However, it was determined that the revenue necessary to maintain the improvements at their existing level was not likely to be available in future years. Therefore, the City conducted another property owner balloting proceeding for the assessments in Fiscal Year 1999/00. After approval of the assessment by the property owners, the City began to levy and collect special assessments on the County tax rolls to provide continued funding for the costs and expenses required for maintenance of the lighting improvements within the District. The District is levied pursuant to the Landscaping and Lighting Act of 1972, Part 2 of Division 15 of the California Streets and Highways Code (the "Act"), and in compliance with the substantive and procedural requirements of Proposition 218.

This Annual Engineer's Report (the "Report") describes the District and assessments to be levied against properties within the District for Fiscal Year 2020/21. The assessments described herein are based on the estimated cost to maintain improvements that will provide a direct and special benefit to properties within the District. All improvements to be maintained and funded through annual assessments were constructed and installed in connection with the development or for the benefit of these properties. The annual costs and assessments described herein include all estimated direct expenditures, incidental expenses, deficits, surpluses, revenues, and reserves associated with the maintenance and servicing of the improvements.

The word "parcel", for the purposes of this Report, refers to an individual property assigned its own Assessor's Parcel Number ("APN") by the County Assessor's Office. The County Auditor-Controller uses an APN and specific fund numbers to identify properties assessed on the tax roll for special district benefit assessments.

Following consideration of public comments at a noticed public hearing, and following review of the Report, the City Council may confirm the submittal of the Report and may order the levy and collection of assessments for Fiscal Year 2020/21. If approved, the assessment information will be submitted to



the County Auditor-Controller and included on the property tax roll for each benefiting parcel for Fiscal Year 2020/21.

## **2.2 Effect of Proposition 218**

On November 5, 1996, California voters approved Proposition 218 by a vote of 56.5% to 43.5%. The provisions of Proposition 218, now California Articles XIII C and XIII D, added substantive and procedural requirements for assessments, which affect the City's landscaping and lighting maintenance assessments.

The Fiscal Year 2020/21 assessment rates for the District are proposed to increase from the Fiscal Year 2019/20 assessment rates but do not exceed the maximum rates after applying the approved escalation factor. The annual rate escalation factor approved by property owners through the assessment balloting procedures set forth in Section 4 of Proposition 218 is the annual San Francisco Bay Area CPI (which increased 2.45% for Fiscal Year 2020/21), or 3%, whichever is greater.

## 3. PLANS AND SPECIFICATIONS FOR THE IMPROVEMENTS

---

### 3.1 Description of the District and Services

The District is generally located in the northern part of the City and consists of lots and parcels north of Louise Avenue, west of the Southern Pacific Railroad, east of Interstate 5, and south of the Stonebridge development.

The District currently includes 2,487 parcels. The estimated annual cost to provide and maintain the street lighting improvements within the District has been apportioned to each property in proportion to the special benefits received. The method of apportionment described in this Report utilizes commonly accepted assessment engineering practices and has been established pursuant to the Act and the provisions of Proposition 218.

The improvements and services that provide a special benefit to each assessable property within the District include all public street lighting facilities within the District boundaries that are directly associated with the properties. All street lighting improvements were originally installed either as a part of the original development and subdivision of the properties or for the benefit of specific areas to enhance the lighting in those areas. That portion of the total street lighting costs that provides a general benefit has been identified and is not included in the assessments. These costs will be funded through the City's General Fund. The location of the improvements, zones, and associated benefits are discussed in the following sections.

### 3.2 Zones

To ensure a fair and equitable apportionment of street lighting costs, the District has been divided into seven benefit zones that reflect both the geographical location of properties within the District and the specific lighting improvements associated with the properties in that area. Refer to the District Diagram for details of the District boundary and the various benefit zones. The following is a brief description of the zones.

**Zone A** – This zone is located in the northwest region of the District, east of Interstate 5, north of Lathrop Road, west of the Woodfield development, and south of the Stonebridge development. This area of the District is commonly referred to as Lathrop Acres and includes mostly rural residential housing.

**Zone B** – This zone is located in the northeast region of the District, west of the Southern Pacific Railroad, north of Lathrop Road, east of Lathrop Acres, and south of the Stonebridge development. This area of the District is commonly referred to as the Woodfield Area and includes the residential development known as Valley Haven.

**Zone C** – This zone is located primarily in the eastern region of the District, west of the Southern Pacific Railroad, north of Louise Avenue, and south of Lathrop Road. This Zone includes the areas known as

Old Town, Douglas Acres, and properties located generally east and south of the residential developments of Zones D, E, and F.

**Zone D** – This zone includes primarily residential tract developments in the south central region of the District, south of Thomsen Road and north of Louise Avenue. This Zone includes the tract developments known as Lathrop Village Homes, Tumbleweed Park, and Halmar Heights #1.

**Zone E** – This zone includes primarily residential tract developments in the central region of the District, north of Thomsen Road and south of Lathrop Road. This Zone includes the tract developments know as Eagle Park, Rosegate Terrace, Brumley Place, Milestone Manor, Sunset Manor, Sunrise Place, and Wild Flower Estates.

**Zone F** – This zone is located in the southeast region of the District and includes all residential parcels identified in the Horizon Park development.

**Zone G** – This zone is located in the southwestern region of the District, south of Lathrop Road, north of Louise Avenue, east of Interstate 5, and west of the residential developments of Zone D and Zone E, excluding those parcels south and west of Harlan Road at Louise Avenue and Interstate 5.

### **3.3 Improvements and Services Provided**

As generally defined by the Act and applicable to this District, improvements and the associated assessments may include one of any combination of the following:

- 1) The installation or construction of public lighting facilities, including, but not limited to, traffic signals.
- 2) The installation or construction of any facilities which are appurtenant to any of the foregoing or which are necessary or convenient for the maintenance or servicing thereof.
- 3) The maintenance or servicing, or both, of any of the foregoing including the furnishing of services and materials for the ordinary and usual maintenance, operation, and servicing of any improvement, including, but not limited to:
  - a. Repair, removal, or replacement of all or any part of any improvements;
  - b. The acquisition of any existing improvement otherwise authorized pursuant to this section; and
  - c. Electric current, energy, or other agent for the lighting or operation of any of the improvements.
- 4) Incidental expenses associated with the improvements including, but not limited to:
  - a. The cost of preparation of the report, including plans, specifications, estimates, diagram, and assessment;
  - b. The costs of printing, advertising, and the publishing, posting and mailing of notices;
  - c. Compensation payable to the County for collection of assessments;

- d. Compensation of any engineer or attorney employed to render services;
- e. Any other expenses incidental to the construction, installation, or maintenance and servicing of the improvements; and
- f. Costs associated with any elections held for the approval of a new or increased assessment.

“Public lighting facilities” means all works or improvements used or useful for the lighting of any public places, including ornamental standards, luminaries, poles, supports, tunnels, manholes, vaults, conduits, pipes, wires, conductors, guys, stubs, platforms, braces, transformers, insulators, contacts, switches, capacitors, meters, communication circuits, appliances, attachments, and appurtenances.

“Public places” means one or any combination of the following:

- 1) Any public street, highway, road, alley, lane, boulevard, parkway, or other way dedicated to or used for public use.
- 2) Any public property, right-of-way, or leasehold interest which is in use in the performance of a public function and which adjoins any of the ways described in the preceding sections.

### 3.4 Location and Extent of Improvements

The purpose of the District is to ensure the ongoing maintenance, operation and servicing of local street lighting improvements installed as a result of property development. These improvements include all public street lighting within the District boundary including but not limited to the following streets:

AGUSTA DR	I ST	PRAIRIE DUNES DR
ARIES PL	J ST	QUAKER RIDGE CT
AVON AVE	JACK CT	REIGER DR
AVON ST	JANICE PL	REVERE LN
AZTEC LN	JASPER ST	RUBY CT
BELLA CT	JONQUIL DR	RYHINER LN
BELLA PL	JULIE LN	SAGUARO LN
BIZZIBE ST	K ST	SAINT ANDREW ST
CAMBRIDGE DR	KILARNEY CT	SCHILLING AVE
CAMELBACK ST	L ST	SEDONA LN
CAMISH.PL	LARUE CT	SEVENTH ST
CANNELLA CT	LATHROP RD	SHAWN CT
CANNELLA DR	LIBBY LN	SHERRIE CT
CARLETA PL	LISA LN	SHNOOP CT
CASA PL	LONG BARN DR	SHOWLOW LN
CEDAR RIDGE CT	LOTTIE WAY	SILVER CREEK DR
CEDAR VALLEY DR	LOUISE AVE	SIXTH ST
CHANDRA WAY	MAHARAJA DR	SOMOA LN
CHANTILLY CT	MATADOR WAY	SOUTHPORT ST
CHARMAINE CT	MATTHEW CT	STEVEN PL
CHERRY HILLS CT	MAXWELL LN	STONERIDGE CT





### 3.4 Location and Extent of Improvements (cont.)

CLIFFORD DR  
DERA WAY  
DERBY LN  
DIANE CT  
EAGLE LN  
EASY ST  
ETON WAY  
FIFTH ST  
GAIL DR  
GARDNER CT  
GARDNER PL  
H ST  
HALMAR LN  
HARBOR CT  
HARLAN RD  
HOLLYHOCK CT  
HONEY PL

MERLSON CT  
MILESTONE DR  
MINGO WAY  
N ST  
NOEL LN  
O ST  
OAKHILLS ST  
ORLANDO LN  
OSAGE PL  
PAMELA CT  
PATRICIA PL  
PINE VALLEY DR  
PINECREST CT  
PINECREST ST  
PINWOOD DR  
POPPY CT  
POPPY DR

STRATFORD AVE  
SUGAR PINE DR  
SUNFLOWER DR  
SUNRISE CT  
SUNRISE PL  
SUZIE Q LN  
THOMSEN RD  
TORO LN  
TUMBLEWEED LN  
VALVERDE CT  
VILLA REAL CT  
WARFIELD RD  
WARREN AVE  
WILLIAMSTOWNE DR  
WOODFIELD DR  
WYNONA WAY  
ZALMAN LN



## 4. ESTIMATE OF COSTS

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### 4.1 Description of Budget Items

**Maintenance & Operations** - Includes the following:

Advertising/Legal Notices - Includes the cost of publishing the required legal notices necessary to complete the required procedures for levying the assessments.

Contract Services - Includes professional services necessary for District maintenance, including the computer technical support and the preparation of the Report.

Other Maintenance & Repairs - Includes all labor, material, and equipment costs required to properly maintain the street lighting facilities. This item includes the estimated costs associated with normal repair or replacement of the lighting facilities anticipated for the year.

Utility - Gas & Electric - All utility costs charged for electricity required for street lights.

Fixed Charges (County Administration) - Includes the charges per parcel to collect the assessments on the County Secured Property Tax Roll.

**Personnel Services** - Includes employee salaries, salary related costs, and employee benefits including retirement, medical benefits, and workers compensation costs, etc.

**Indirect Costs** - The cost to all pertinent departments and staff of the City for providing the coordination of District services, operations, and maintenance of the District, and response to public concerns and education.

### 4.2 District Budget

The budget for Zone A for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Maintenance & Operations Total	\$8,374.04
Personnel Services Total	158.02
Indirect Costs	<u>980.92</u>
<b>Zone A Total Costs</b>	<b>\$9,512.98</b>

The budget for Zone B for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Maintenance & Operations Total	\$17,901.76
Personnel Services Total	337.82
Indirect Costs	<u>2,096.98</u>
<b>Zone B Total Costs</b>	<b>\$20,336.56</b>



The budget for Zone C for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Maintenance & Operations Total	\$9,443.17
Personnel Services Total	178.19
Indirect Costs	<u>1,106.16</u>
<b>Zone C Total Costs</b>	<b>\$10,727.52</b>

The budget for Zone D for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Maintenance & Operations Total	\$35,099.84
Personnel Services Total	662.35
Indirect Costs	<u>4,111.54</u>
<b>Zone D Total Costs</b>	<b>\$39,873.73</b>

The budget for Zone E for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Maintenance & Operations Total	\$30,622.80
Personnel Services Total	577.87
Indirect Costs	<u>3,587.11</u>
<b>Zone E Total Costs</b>	<b>\$34,787.78</b>

The budget for Zone F for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Maintenance & Operations Total	\$4,417.31
Personnel Services Total	83.37
Indirect Costs	<u>517.44</u>
<b>Zone F Total Costs</b>	<b>\$5,018.12</b>

The budget for Zone G for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Maintenance & Operations Total	\$1,928.08
Personnel Services Total	36.38
Indirect Costs	<u>225.85</u>
<b>Zone G Total Costs</b>	<b>\$2,190.31</b>

### 4.3 Balance to Levy

**Total Costs** – This is a total of all maintenance and operations, capital costs, personnel service, and indirect costs for the District.

**Contribution to (from) Operational Reserves** – The Operational Reserves item provides funds by the District to operate the District from the time period of July 1 (beginning of the fiscal year) through



December when the County provides the City with the first installment of assessments collected from the property tax bills. This eliminates the need for the City to transfer funds from non-District accounts to pay for District charges during the first half of the fiscal year. Negative amounts shown here are transfers that are used to reduce the Balance to Levy. Using reserve amounts in this way allows the levy per unit to remain at prior period rates, although District costs have increased.

**Other Revenue Sources** – Includes the amount of additional funds designated for use by the District that are not from District assessments. These funds are added to the District account to reduce assessments and may be from either non-District sources including City General Fund contributions or District sources including interest earnings.

**General Benefit** – Contribution from the City to the District to cover the cost of street lighting that has been determined to be a benefit to the general public, rather than a specific benefit to the District.

**Balance to Levy** – This is the total amount to be levied and collected through assessments for the current fiscal year. The Balance to Levy represents the sum of total direct and indirect costs, reserves, minus any General Fund contributions.

The following table shows the balance to levy for Zone A for the Fiscal Year 2020/21 levy.

Description	Amount
Total Zone A Costs	\$9,512.98
Contribution to (from) Operational Reserves	1,323.78
Other Revenue Sources	0.00
Less General Benefit	<u>(685.38)</u>
<b>Balance to Levy</b>	<b>\$10,151.38</b>

The following table shows the balance to levy for Zone B for the Fiscal Year 2020/21 levy.

Description	Amount
Total Zone B Costs	\$20,336.56
Contribution to (from) Operational Reserves	2,829.95
Other Revenue Sources	0.00
Less General Benefit	<u>(1,465.21)</u>
<b>Balance to Levy</b>	<b>\$21,701.30</b>

The following table shows the balance to levy for Zone C for the Fiscal Year 2020/21 levy.

Description	Amount
Total Zone C Costs	\$10,727.52
Contribution to (from) Operational Reserves	1,492.79
Other Revenue Sources	0.00
Less General Benefit	<u>(772.89)</u>
<b>Balance to Levy</b>	<b>\$11,447.42</b>



The following table shows the balance to levy for Zone D for the Fiscal Year 2020/21 levy.

Description	Amount
Total Zone D Costs	\$39,873.73
Contribution to (from) Operational Reserves	5,548.64
Other Revenue Sources	0.00
Less General Benefit	<u>(2,872.79)</u>
<b>Balance to Levy</b>	<b>\$42,549.58</b>

The following table shows the balance to levy for Zone E for the Fiscal Year 2020/21 levy.

Description	Amount
Total Zone E Costs	\$34,787.78
Contribution to (from) Operational Reserves	4,840.89
Other Revenue Sources	0.00
Less General Benefit	<u>(2,506.37)</u>
<b>Balance to Levy</b>	<b>\$37,122.30</b>

The following table shows the balance to levy for Zone F for the Fiscal Year 2020/21 levy.

Description	Amount
Total Zone F Costs	\$5,018.12
Contribution to (from) Operational Reserves	698.30
Other Revenue Sources	0.00
Less General Benefit	<u>(361.56)</u>
<b>Balance to Levy</b>	<b>\$5,354.86</b>

The following table shows the balance to levy for Zone G for the Fiscal Year 2020/21 levy.

Description	Amount
Total Zone G Costs	\$2,190.31
Contribution to (from) Operational Reserves	304.79
Other Revenue Sources	0.00
Less General Benefit	<u>(157.80)</u>
<b>Balance to Levy</b>	<b>\$2,337.30</b>

#### 4.4 Operational & Maintenance Reserve Information

The following table shows the estimated balance of the Operational and Maintenance Reserves.

Description	Amount
Estimated Beginning Balance - July 1, 2020	\$172,389.17
Contribution to (from) Operational and Maintenance Reserves	<u>17,039.14</u>
<b>Estimated Ending Balance - June 30, 2021</b>	<b>\$189,428.31</b>

The reserves are intended to be used and/or accumulated for repair and/or capital replacement, as needed for improvements within the District.



## **5. METHOD OF APPORTIONMENT**

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### **5.1 Method of Apportionment**

Pursuant to the Act, the costs of the District are apportioned by a formula or method that fairly distributes the net amount to be assessed among all parcels in proportion to benefits received from the improvements. The provisions of Proposition 218 require the City to separate the general benefit from special benefit, since only special benefits may be assessed.

### **5.2 Improvement Benefit Findings**

The Budget section of this Report outlines the amount required to be assessed, taking into consideration Other Revenue Sources, to fund the estimated costs to provide all necessary service, operation, administration, maintenance, and level of service required each year to provide street lighting within the District. It has been determined that each assessable parcel within the District receives proportional special benefits from the improvements. All improvements to be maintained and funded through annual assessments were constructed and installed in connection with the development of properties within the District, and each parcel's close and relatively similar proximity to the improvements makes each parcel's special benefit from the improvements similar and proportionate. All of the lots and parcels that receive special benefit from the improvements are included within the District.

### **5.3 General Benefits**

The location of each street light within the District has been carefully reviewed to identify the benefits it provides to properties within the District. Although it has been determined that a few street lights within the District provide primarily a general benefit to the public, most of the improvements are a direct result of property development within the District and would otherwise not be required or necessary. The costs associated with street lighting facilities identified primarily as general benefit lighting are not assessed against properties within the District. Local street lighting improvements are typically installed to enhance the safety, marketability and value of the surrounding properties. Although these improvements (by virtue of their location), may be visible to properties outside the District or provide illumination for the general public when they drive the streets, the continued operation of these facilities are clearly for the benefit of the properties and property owners within the District.

However, several street lights have been identified as providing both a general benefit to the public at large as well as a direct and special benefit to properties within the various Zones. These street lights are generally located on Louise Avenue, Lathrop Road, Harlan Road, and the Community Center and the costs associated with these street lights have been apportioned 50% special benefit to the respective Zones and 50% as general benefit.

## 5.4 Special Benefits

The method of apportionment is based on the premise that each of the assessed parcels within the District and Zones receives benefit from the improvements maintained and financed by District assessments. Specifically, the assessments associated with each Zone are for the maintenance of local street lighting improvements associated with the parcels within the Zones. The desirability and security of properties within each Zone is enhanced by the presence of street lighting in close proximity to those properties.

Street lighting improvements may include all energy costs and necessary maintenance to the facilities related thereto. The annual assessments outlined in this Report are proposed to cover the estimated costs to provide all necessary service, operation, administration, and maintenance required each year to keep these improvements in a satisfactory condition.

The special benefits of street lighting are the convenience, safety, and security of property, improvements, and goods. Specifically:

1. Enhanced accessibility to properties aiding in fire and police protection.
2. Reduced criminal activity and property-related crimes especially vandalism and other damages to personal property and improvements.
3. Increased nighttime safety on roads and highways.
4. Improved visibility for pedestrians and motorists.
5. Improved ingress and egress to property.
6. Enhanced desirability of properties through association with the improvements.
7. Improved traffic circulation and reduced nighttime accidents and personal property loss.
8. Increased promotion of business during nighttime hours for non-residential properties.

All of the preceding special benefits contribute to a specific enhancement and desirability of each of the assessed parcels within the District/Zone.

## 5.5 Description of the Method of Apportionment

The District provides maintenance and operation of specific local lighting improvements and associated appurtenances located within the public right-of-ways in each of the various Zones throughout the District. The annual assessments are based on the historical and estimated cost to maintain the improvements that provide a special benefit to properties within the District and Zones.

The assessments outlined in this section represent the proportionate special benefit to each property within the District and the basis of calculating each parcel's proportionate share of the annual costs associated with the District/Zone improvements. The costs associated with the maintenance and operation of special benefit improvements will be collected through annual assessments from each parcel receiving such benefit. The funds collected will be dispersed and used only for the services and operation provided to the District.

The basis of determining each parcel’s special benefit utilizes a weighting formula commonly known as an Equivalent Dwelling Unit (“EDU”). A developed single family residential parcel is used as the base unit for calculation of assessments and is defined as one (1.00) EDU. All other property types are assigned an EDU that reflects their proportional special benefit from the improvements as compared to the single family residential parcel (weighted comparison).

To determine the EDU for non-residential parcels, unimproved residential parcels, and multiple-residential parcels a Benefit Unit Factor (“BUF”) is assigned to each property type. This BUF multiplied by either the parcel’s specific acreage or residential units determines the parcel’s specific EDU. For those non-residential parcels and unimproved parcels that are less than 0.25 acres, the corresponding BUF is multiplied by a minimum acreage of 0.25 acres. For those non-residential parcels and unimproved parcels that are greater than 10.00 acres the corresponding BUF is multiplied by a maximum of 10.00 acres.

The following table provides a listing of the various land use types and the corresponding BUF used to calculate a parcel’s EDU and proportionate benefit.

Property Type/ Land Use	Benefit Units Assigned
Single Family Residential	1.00 per Unit
Multi-family Residential	0.70 per Unit
Vacant Land	1.00 per Acre
Non-Residential Developed	4.00 per Acre
Non-Residential with Limited Development	2.00 per Acre
Vacant Land with Limited/Restricted Development	0.50 per Acre
Exempt	0.00

**Non-Residential Developed** – includes all land uses identified as commercial or industrial properties, but also includes churches and mobile home parks.

**Non-Residential with Limited Development** – includes land uses identified as commercial type use, but either has restricted development potential or a large portion of the parcel is considered vacant land (i.e. school site, recreational facilities, etc).

**Vacant Land with Limited/Restricted Development** – includes land uses identified as vacant type land, but either have very restricted development potential or limited use (i.e. school site, recreational facilities, etc).

**Exempt** – may include, but are not limited to, bifurcated residential lots, sliver parcels, dedicated easements that have no development potential, and properties not designated by an APN such as streets, utility easements, or rights-of-way. These types of properties receive no special benefit from street lighting improvements and are not assessed for District improvements. Properties that are identified as non-taxable by the County Assessor’s Office such as government owned or utility owned properties are not exempt from District assessments. These properties are often identified as either Non-Residential with Limited Development or Vacant Land with Limited/Restricted Development and



the BUF and corresponding EDU assigned to these types of properties reflect their reduced benefit from the improvements.

As noted previously, to establish a reasonable, fair, and consistent method of apportioning special benefit to each parcel within the District, the District has been divided into Zones. These zones encompass specific lighting improvements and only the properties that receive a direct and special benefit from those improvements are assessed. The basis of benefit and proportionate assessment for all properties within the District is established by each parcel's calculated EDU and their proportionate share of the improvement costs based on their proportionate EDU within the Zone. The method used to calculate the assessments for each Zone is as follows:

$$\text{Total Balance to Levy} / \text{Total EDU} = \text{Levy per EDU (Levy Rate)}$$

$$\text{Parcel's EDU} \times \text{Levy per EDU (Levy Rate)} = \text{Parcel Levy Amount}$$

## 5.6 Assessment Range Formula

In accordance with Proposition 218, any new or increased assessment requires certain noticing action and a public hearing. Prior to the passage of Proposition 218, legislative changes in the Brown Act clarified the definition of "new or increased assessment" to exclude certain conditions. These conditions included "any assessment that does not exceed an assessment formula or range of assessments previously adopted by the City or approved by the voters in the area where the assessment is imposed." This definition and conditions were later confirmed through SB919 (Proposition 218 implementing legislation).

The purpose of establishing an assessment range formula is to provide for reasonable increases and inflationary adjustments to annual assessments without requiring costly noticing and mailing procedures, which could add to the District costs and assessments. As part of the District's proposed assessment for Fiscal Year 1999/00, balloting of property owners was required, pursuant to Proposition 218. The property owner ballots included an assessment to be approved, as well as the approval of an assessment range formula. Property owners within the District approved the proposed assessment and the assessment range formula.

The assessment range formula will be applied to all future assessments within the District. If the proposed annual assessment (parcel levy amount) for the current fiscal year is less than or equal to the "Maximum Assessment" (or "Adjusted Maximum Assessment"), then the proposed annual assessment is not considered an increased assessment. The Maximum Assessment is equal to the initial assessment approved by property owners adjusted annually by the following formula:

1. Beginning in the second Fiscal Year (Fiscal Year 2000/01) and each fiscal year thereafter, the Maximum Assessment will be recalculated annually.

2. The new Adjusted Maximum Assessment for the year equals the prior year's Maximum Assessment adjusted by the greater of:
  - a. Three percent (3.0%); or
  - b. The annual increase in the Consumer Price Index ("CPI").

Each year the City shall compute the annual increase in the CPI. The increase in CPI is the percentage difference between the CPI on January 1, of the current year and the CPI for the previous January 1 (or for a similar period of time) as provided and established by the Bureau of Labor Statistics. This percentage difference (annual difference) shall then establish the allowed increase based on CPI. The CPI used shall be based on the CPI established by the Bureau of Labor Statistics for all urban consumers for the San Francisco-Oakland-San Jose Area. Should the Bureau of Labor Statistics revise such index or discontinue the preparation of such index, the City shall use the revised index or comparable system as approved by the City Council for determining fluctuations in the cost of living.

If CPI is less than three percent (3.0%), then the adjustment to the Maximum Assessment is three percent (3.0%). If CPI is greater than three percent (3.0%), then the adjustment to the Maximum Assessment is based on CPI. The Maximum Assessment is adjusted annually and is calculated independent of the District's annual budget and proposed annual assessment. Any proposed annual assessment (rate per levy unit) less than or equal to this Maximum Assessment is not considered an increased assessment, even if the proposed assessment is greater than the assessment applied in the prior Fiscal Year.

The Maximum Assessment will be recalculated and adjusted annually. However, the City Council may reduce or freeze the Actual Assessment at any time by amending the annual Engineer's Report.

The annual increase in the CPI for 2019 is 2.45%; therefore, the escalation factor for the Maximum Assessment for Fiscal Year 2020/21 is 3.00%.

## 5.7 Assessment Per EDU

**Total Equivalent Dwelling Unit** – EDU is a numeric value calculated for each parcel based on the parcel's land use. The EDU shown in the District/Zone budget represents the total of all parcels that receive special benefit from the improvements.

**Assessment per EDU** – This amount represents the rate being applied to each parcel's individual EDU. The Assessment per EDU is the result of dividing the total Balance to Levy by the sum of the Zone EDU for the fiscal year.

The assessment has been calculated in accordance with the assessment methodology adopted and approved by the City Council at the time of District formation.

The following table shows the total assessment per EDU for Zone A for the Fiscal Year 2020/21 levy.

Description	Amount
Balance to Levy <sup>(1)</sup>	\$10,151.38
Total EDU - Zone A	229.1610
<b>Total Assessment Per EDU</b>	<b>\$44.30</b>
Maximum Assessment Per EDU	\$44.30

(1) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.

The following table shows the total assessment per EDU for Zone B for the Fiscal Year 2020/21 levy.

Description	Amount
Balance to Levy <sup>(1)</sup>	\$21,701.30
Total EDU - Zone B	457.2535
<b>Total Assessment Per EDU</b>	<b>\$47.47</b>
Maximum Assessment Per EDU	\$47.47

(1) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.

The following table shows the total assessment per EDU for Zone C for the Fiscal Year 2020/21 levy.

Description	Amount
Balance to Levy <sup>(1)</sup>	\$11,447.42
Total EDU - Zone C	366.8680
<b>Total Assessment Per EDU</b>	<b>\$31.21</b>
Maximum Assessment Per EDU	\$31.21

(1) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.

The following table shows the total assessment per EDU for Zone D for the Fiscal Year 2020/21 levy.

Description	Amount
Balance to Levy <sup>(1)</sup>	\$42,549.58
Total EDU - Zone D	732.8600
<b>Total Assessment Per EDU</b>	<b>\$58.06</b>
Maximum Assessment Per EDU	\$58.06

(1) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.

The following table shows the total assessment per EDU for Zone E for the Fiscal Year 2020/21 levy.

Description	Amount
Balance to Levy <sup>(1)</sup>	\$37,122.30
Total EDU - Zone E	608.1670
<b>Total Assessment Per EDU</b>	<b>\$61.04</b>
Maximum Assessment Per EDU	\$61.04

(1) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.



The following table shows the total assessment per EDU for Zone F for the Fiscal Year 2020/21 levy.

Description	Amount
Balance to Levy <sup>(1)</sup>	\$5,354.86
Total EDU - Zone F	152.5610
<b>Total Assessment Per EDU</b>	<b>\$35.11</b>
Maximum Assessment Per EDU	\$35.11

(1) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.

The following table shows the total assessment per EDU for Zone G for the Fiscal Year 2020/21 levy.

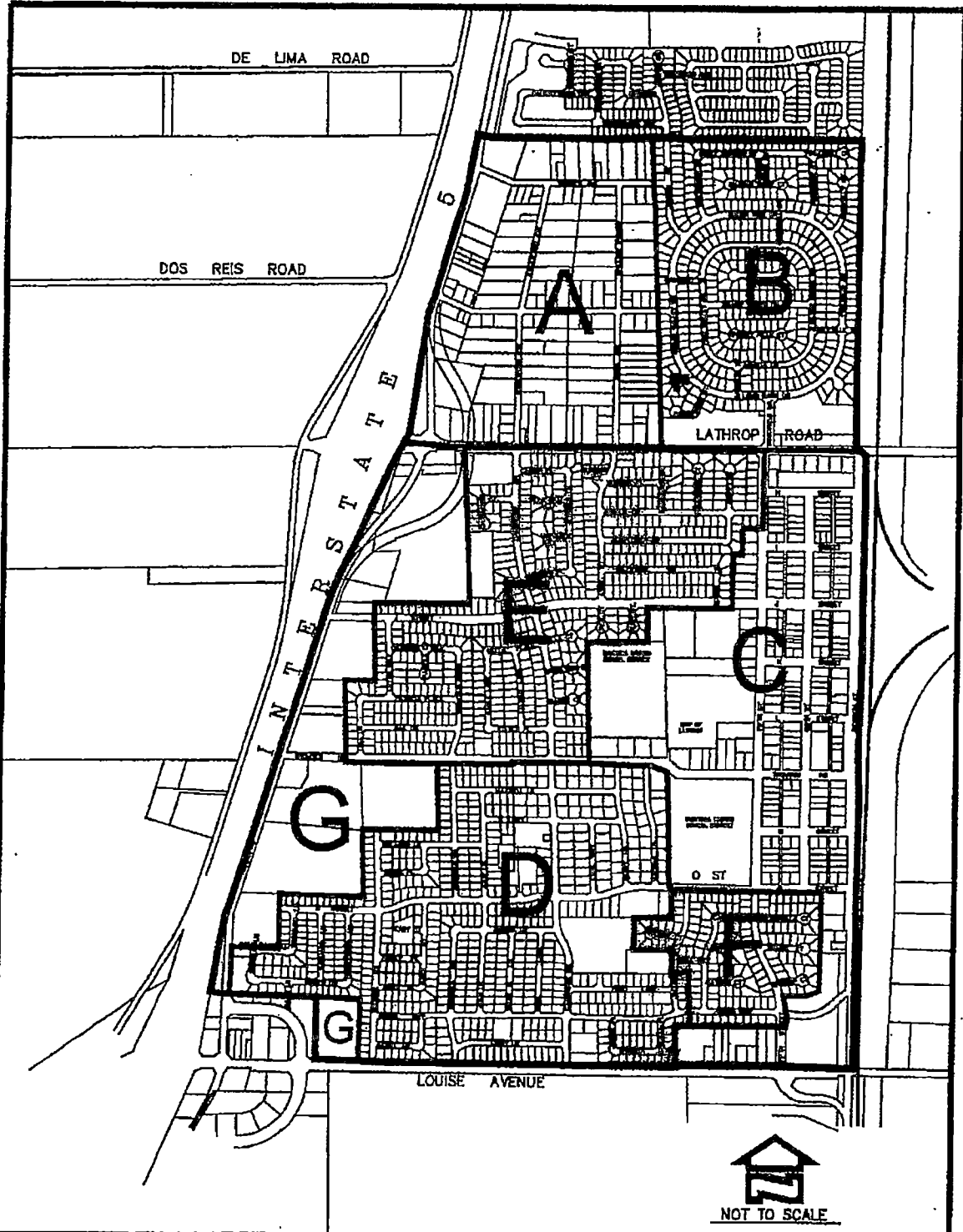
Description	Amount
Balance to Levy <sup>(1)</sup>	\$2,337.30
Total EDU - Zone G	291.2130
<b>Total Assessment Per EDU</b>	<b>\$8.03</b>
Maximum Assessment Per EDU	\$8.03

(1) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.

## 6. DISTRICT DIAGRAM

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Reference is made to the District Diagram on file with the City Clerk. The following pages provide the boundaries of the District. The lines and dimensions shown on maps of the County Assessor for the current year are incorporated by reference and made part of this Report.



**City of Lathrop**  
**Residential Lighting District**



Date: March 1999

## 7. PARCEL LISTING

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The parcel listing of assessments is provided on the following pages. The description of each lot or parcel is a part of the records of the County Assessor and is incorporated by reference and made part of this Report.

**CITY OF LATHROP**  
**RESIDENTIAL LIGHTING MAINTENANCE DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
A	196-050-020-000	SFR	0.380	2.000	1.0	2.0000	\$44.30	\$88.60
A	196-050-040-000	SFR	0.237	1.000	1.0	1.0000	44.30	44.30
A	196-050-050-000	SFR	1.002	1.000	1.0	1.0000	44.30	44.30
A	196-050-090-000	SFR	0.999	1.000	1.0	1.0000	44.30	44.30
A	196-050-100-000	SFR	0.999	1.000	1.0	1.0000	44.30	44.30
A	196-050-110-000	SFR	0.633	1.000	1.0	1.0000	44.30	44.30
A	196-050-120-000	SFR	0.633	1.000	1.0	1.0000	44.30	44.30
A	196-050-130-000	SFR	0.647	1.000	1.0	1.0000	44.30	44.30
A	196-050-140-000	SFR	0.172	1.000	1.0	1.0000	44.30	44.30
A	196-050-150-000	SFR	0.995	1.000	1.0	1.0000	44.30	44.30
A	196-050-160-000	SFR	1.045	1.000	1.0	1.0000	44.30	44.30
A	196-050-170-000	VAC	1.037	1.037	1.0	1.0370	44.30	45.92
A	196-050-180-000	SFR	0.996	1.000	1.0	1.0000	44.30	44.30
A	196-050-190-000	SFR	1.041	1.000	1.0	1.0000	44.30	44.30
A	196-050-200-000	VAC-RESTR DEV	1.000	1.000	0.5	0.5000	44.30	22.14
A	196-050-230-000	SFR	0.259	1.000	1.0	1.0000	44.30	44.30
A	196-050-240-000	SFR	0.383	1.000	1.0	1.0000	44.30	44.30
A	196-050-250-000	VAC	0.259	0.259	1.0	0.2590	44.30	11.46
A	196-050-260-000	SFR	0.279	1.000	1.0	1.0000	44.30	44.30
A	196-050-270-000	SFR	0.988	1.000	1.0	1.0000	44.30	44.30
A	196-050-280-000	SFR	0.968	1.000	1.0	1.0000	44.30	44.30
A	196-050-290-000	MFR	0.995	4.000	0.7	2.8000	44.30	124.04
A	196-050-300-000	SFR	0.974	1.000	1.0	1.0000	44.30	44.30
A	196-050-310-000	SFR	0.995	1.000	1.0	1.0000	44.30	44.30
A	196-050-320-000	VAC	0.972	0.972	1.0	0.9720	44.30	43.04
A	196-050-330-000	VAC	0.999	0.999	1.0	0.9990	44.30	44.24
A	196-050-340-000	SFR	0.990	1.000	1.0	1.0000	44.30	44.30
A	196-050-350-000	SFR	1.008	1.000	1.0	1.0000	44.30	44.30
A	196-050-360-000	SFR	1.010	1.000	1.0	1.0000	44.30	44.30
A	196-050-370-000	SFR	0.357	1.000	1.0	1.0000	44.30	44.30
A	196-050-380-000	SFR	0.199	1.000	1.0	1.0000	44.30	44.30
A	196-050-390-000	SFR	0.204	1.000	1.0	1.0000	44.30	44.30
A	196-050-400-000	SFR	0.528	1.000	1.0	1.0000	44.30	44.30
A	196-050-410-000	SFR	0.530	1.000	1.0	1.0000	44.30	44.30
A	196-050-420-000	MFR	0.530	2.000	0.7	1.4000	44.30	62.02
A	196-050-430-000	SFR	0.530	1.000	1.0	1.0000	44.30	44.30
A	196-050-440-000	SFR	0.530	1.000	1.0	1.0000	44.30	44.30
A	196-050-450-000	SFR	0.268	1.000	1.0	1.0000	44.30	44.30
A	196-050-460-000	SFR	0.259	1.000	1.0	1.0000	44.30	44.30
A	196-050-490-000	SFR	0.298	1.000	1.0	1.0000	44.30	44.30
A	196-050-500-000	NON-RES	1.030	1.030	4.0	4.1200	44.30	182.50
A	196-050-510-000	SFR	1.008	1.000	1.0	1.0000	44.30	44.30
A	196-050-520-000	SFR	1.029	1.000	1.0	1.0000	44.30	44.30
A	196-050-530-000	SFR	1.015	1.000	1.0	1.0000	44.30	44.30
A	196-050-540-000	MFR	0.999	2.000	0.7	1.4000	44.30	62.02
A	196-050-560-000	SFR	0.247	1.000	1.0	1.0000	44.30	44.30
A	196-050-570-000	SFR	0.247	1.000	1.0	1.0000	44.30	44.30
A	196-050-580-000	SFR	0.242	1.000	1.0	1.0000	44.30	44.30
A	196-050-590-000	SFR	0.179	1.000	1.0	1.0000	44.30	44.30
A	196-050-600-000	SFR	0.364	1.000	1.0	1.0000	44.30	44.30
A	196-050-610-000	SFR	0.170	1.000	1.0	1.0000	44.30	44.30
A	196-050-620-000	VAC	0.136	0.250	1.0	0.2500	44.30	11.06
A	196-050-630-000	SFR	0.128	1.000	1.0	1.0000	44.30	44.30
A	196-050-640-000	SFR	0.161	1.000	1.0	1.0000	44.30	44.30
A	196-050-660-000	SFR	0.148	1.000	1.0	1.0000	44.30	44.30
A	196-050-680-000	SFR	0.144	1.000	1.0	1.0000	44.30	44.30



**CITY OF LATHROP**  
**RESIDENTIAL LIGHTING MAINTENANCE DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
A	196-050-690-000	VAC	1.548	1.548	1.0	1.5480	44.30	68.56
A	196-050-700-000	SFR	0.185	1.000	1.0	1.0000	44.30	44.30
A	196-050-710-000	VAC	0.193	0.250	1.0	0.2500	44.30	11.06
A	196-060-010-000	MFR	0.217	2.000	0.7	1.4000	44.30	62.02
A	196-060-020-000	MFR	0.217	2.000	0.7	1.4000	44.30	62.02
A	196-060-030-000	MFR	0.217	2.000	0.7	1.4000	44.30	62.02
A	196-060-040-000	SFR	0.176	1.000	1.0	1.0000	44.30	44.30
A	196-060-050-000	MFR	0.165	2.000	0.7	1.4000	44.30	62.02
A	196-070-010-000	LTD DEV	1.790	1.790	2.0	3.5800	44.30	158.58
A	196-070-030-000	EXEMPT	0.000	0.000	0.0	0.0000	44.30	0.00
A	196-070-040-000	EXEMPT	0.000	0.000	0.0	0.0000	44.30	0.00
A	196-070-050-000	LTD DEV	0.672	0.672	2.0	1.3440	44.30	59.52
A	196-070-070-000	SFR	0.114	1.000	1.0	1.0000	44.30	44.30
A	196-070-080-000	SFR	0.114	1.000	1.0	1.0000	44.30	44.30
A	196-070-090-000	SFR	0.161	1.000	1.0	1.0000	44.30	44.30
A	196-070-100-000	SFR	0.166	1.000	1.0	1.0000	44.30	44.30
A	196-070-110-000	VAC	0.320	0.320	1.0	0.3200	44.30	14.16
A	196-070-120-000	SFR	0.240	1.000	1.0	1.0000	44.30	44.30
A	196-070-140-000	SFR	1.030	1.000	1.0	1.0000	44.30	44.30
A	196-070-150-000	SFR	0.350	1.000	1.0	1.0000	44.30	44.30
A	196-070-160-000	NON-RES	0.172	0.250	4.0	1.0000	44.30	44.30
A	196-070-170-000	VAC	0.149	0.250	1.0	0.2500	44.30	11.06
A	196-070-180-000	SFR	0.149	1.000	1.0	1.0000	44.30	44.30
A	196-070-190-000	SFR	0.172	1.000	1.0	1.0000	44.30	44.30
A	196-070-200-000	SFR	0.688	1.000	1.0	1.0000	44.30	44.30
A	196-070-210-000	NON-RES	0.819	0.819	4.0	3.2760	44.30	145.12
A	196-070-220-000	NON-RES	3.000	3.000	4.0	12.0000	44.30	531.60
A	196-070-240-000	NON-RES	0.980	0.980	4.0	3.9200	44.30	173.64
A	196-070-250-000	NON-RES	0.703	0.703	4.0	2.8120	44.30	124.56
A	196-070-270-000	EXEMPT	0.000	0.000	0.0	0.0000	44.30	0.00
A	196-070-280-000	SFR	0.114	1.000	1.0	1.0000	44.30	44.30
A	196-070-290-000	SFR	0.114	1.000	1.0	1.0000	44.30	44.30
A	196-070-300-000	NON-RES	1.628	1.628	4.0	6.5120	44.30	288.48
A	196-080-010-000	SFR	0.159	1.000	1.0	1.0000	44.30	44.30
A	196-080-020-000	SFR	0.265	1.000	1.0	1.0000	44.30	44.30
A	196-080-030-000	SFR	0.449	1.000	1.0	1.0000	44.30	44.30
A	196-080-040-000	SFR	1.120	1.000	1.0	1.0000	44.30	44.30
A	196-080-050-000	SFR	1.170	1.000	1.0	1.0000	44.30	44.30
A	196-080-070-000	SFR	0.694	1.000	1.0	1.0000	44.30	44.30
A	196-080-160-000	SFR	0.250	1.000	1.0	1.0000	44.30	44.30
A	196-080-170-000	SFR	0.250	1.000	1.0	1.0000	44.30	44.30
A	196-080-180-000	SFR	0.247	1.000	1.0	1.0000	44.30	44.30
A	196-080-190-000	SFR	0.252	1.000	1.0	1.0000	44.30	44.30
A	196-080-210-000	SFR	1.000	1.000	1.0	1.0000	44.30	44.30
A	196-080-220-000	SFR	0.500	1.000	1.0	1.0000	44.30	44.30
A	196-080-230-000	SFR	0.500	1.000	1.0	1.0000	44.30	44.30
A	196-080-240-000	SFR	1.000	1.000	1.0	1.0000	44.30	44.30
A	196-080-260-000	SFR	1.500	1.000	1.0	1.0000	44.30	44.30
A	196-080-270-000	SFR	0.500	1.000	1.0	1.0000	44.30	44.30
A	196-080-280-000	VAC	0.318	0.318	1.0	0.3180	44.30	14.08
A	196-080-290-000	NON-RES	0.120	0.250	4.0	1.0000	44.30	44.30
A	196-080-300-000	SFR	0.500	1.000	1.0	1.0000	44.30	44.30
A	196-080-310-000	MFR	1.000	3.000	0.7	2.1000	44.30	93.02
A	196-080-320-000	SFR	1.000	1.000	1.0	1.0000	44.30	44.30
A	196-080-330-000	SFR	0.247	1.000	1.0	1.0000	44.30	44.30
A	196-080-340-000	SFR	0.250	1.000	1.0	1.0000	44.30	44.30

**CITY OF LATHROP**  
**RESIDENTIAL LIGHTING MAINTENANCE DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
A	196-080-350-000	SFR	0.500	1.000	1.0	1.0000	44.30	44.30
A	196-080-360-000	SFR	1.000	1.000	1.0	1.0000	44.30	44.30
A	196-080-380-000	SFR	1.000	1.000	1.0	1.0000	44.30	44.30
A	196-080-390-000	SFR	1.080	1.000	1.0	1.0000	44.30	44.30
A	196-080-400-000	SFR	1.000	1.000	1.0	1.0000	44.30	44.30
A	196-080-410-000	SFR	1.000	1.000	1.0	1.0000	44.30	44.30
A	196-080-420-000	SFR	0.484	1.000	1.0	1.0000	44.30	44.30
A	196-080-430-000	MFR	0.515	2.000	0.7	1.4000	44.30	62.02
A	196-080-440-000	SFR	1.000	1.000	1.0	1.0000	44.30	44.30
A	196-080-450-000	SFR	0.248	1.000	1.0	1.0000	44.30	44.30
A	196-080-460-000	SFR	0.251	1.000	1.0	1.0000	44.30	44.30
A	196-080-470-000	SFR	0.234	1.000	1.0	1.0000	44.30	44.30
A	196-080-480-000	SFR	0.263	1.000	1.0	1.0000	44.30	44.30
A	196-080-490-000	SFR	0.286	1.000	1.0	1.0000	44.30	44.30
A	196-080-500-000	MFR	0.287	2.000	0.7	1.4000	44.30	62.02
A	196-080-510-000	MFR	0.298	2.000	0.7	1.4000	44.30	62.02
A	196-080-520-000	SFR	0.941	1.000	1.0	1.0000	44.30	44.30
A	196-080-530-000	VAC	0.500	0.500	1.0	0.5000	44.30	22.14
A	196-080-540-000	SFR	0.500	1.000	1.0	1.0000	44.30	44.30
A	196-080-550-000	MFR	0.500	2.000	0.7	1.4000	44.30	62.02
A	196-080-560-000	MFR	0.492	2.000	0.7	1.4000	44.30	62.02
A	196-080-570-000	MFR	0.473	2.000	0.7	1.4000	44.30	62.02
A	196-080-580-000	MFR	0.479	4.000	0.7	2.8000	44.30	124.04
A	196-080-590-000	SFR	0.480	1.000	1.0	1.0000	44.30	44.30
A	196-080-600-000	SFR	0.348	1.000	1.0	1.0000	44.30	44.30
A	196-080-610-000	MFR	0.500	2.000	0.7	1.4000	44.30	62.02
A	196-080-620-000	SFR	0.333	1.000	1.0	1.0000	44.30	44.30
A	196-080-630-000	SFR	0.151	1.000	1.0	1.0000	44.30	44.30
A	196-080-640-000	MFR	0.500	2.000	0.7	1.4000	44.30	62.02
A	196-080-650-000	SFR	0.458	1.000	1.0	1.0000	44.30	44.30
A	196-080-660-000	SFR	1.033	1.000	1.0	1.0000	44.30	44.30
A	196-080-670-000	VAC	0.151	0.250	1.0	0.2500	44.30	11.06
A	196-080-680-000	VAC	0.169	0.250	1.0	0.2500	44.30	11.06
A	196-080-690-000	SFR	0.180	1.000	1.0	1.0000	44.30	44.30
A	196-080-700-000	VAC	1.162	1.162	1.0	1.1620	44.30	51.46
A	196-080-710-000	NON-RES	0.860	0.860	4.0	3.4400	44.30	152.38
A	196-080-720-000	VAC	0.250	0.250	1.0	0.2500	44.30	11.06
A	196-080-730-000	SFR	0.750	1.000	1.0	1.0000	44.30	44.30
A	196-080-740-000	EXEMPT	0.000	0.000	0.0	0.0000	44.30	0.00
A	196-080-770-000	NON-RES	2.020	2.020	4.0	8.0800	44.30	357.94
A	196-080-780-000	VAC	0.559	0.559	1.0	0.5590	44.30	24.76
A	196-080-790-000	VAC	0.803	0.803	1.0	0.8030	44.30	35.56
A	196-080-800-000	SFR	0.696	1.000	1.0	1.0000	44.30	44.30
A	196-740-010-000	MFR	0.000	1.000	0.7	0.7000	44.30	31.00
A	196-740-020-000	MFR	0.000	1.000	0.7	0.7000	44.30	31.00
A	196-740-030-000	MFR	0.000	1.000	0.7	0.7000	44.30	31.00
A	196-740-040-000	MFR	0.000	1.000	0.7	0.7000	44.30	31.00
A	196-740-050-000	MFR	0.000	1.000	0.7	0.7000	44.30	31.00
A	196-740-060-000	MFR	0.000	1.000	0.7	0.7000	44.30	31.00
A	196-740-070-000	MFR	0.000	1.000	0.7	0.7000	44.30	31.00
A	196-740-080-000	MFR	0.000	1.000	0.7	0.7000	44.30	31.00
A	196-740-090-000	MFR	0.000	1.000	0.7	0.7000	44.30	31.00
A	196-740-100-000	EXEMPT	0.000	0.000	0.0	0.0000	44.30	0.00
A	196-760-010-000	SFR	0.119	1.000	1.0	1.0000	44.30	44.30
A	196-760-020-000	SFR	0.116	1.000	1.0	1.0000	44.30	44.30
A	196-760-030-000	SFR	0.116	1.000	1.0	1.0000	44.30	44.30
A	196-760-040-000	SFR	0.115	1.000	1.0	1.0000	44.30	44.30

**CITY OF LATHROP**  
**RESIDENTIAL LIGHTING MAINTENANCE DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
A	196-760-050-000	SFR	0.116	1.000	1.0	1.0000	44.30	44.30
A	196-760-060-000	SFR	0.116	1.000	1.0	1.0000	44.30	44.30
A	196-760-070-000	SFR	0.116	1.000	1.0	1.0000	44.30	44.30
A	196-760-080-000	SFR	0.152	1.000	1.0	1.0000	44.30	44.30
A	196-760-090-000	SFR	0.168	1.000	1.0	1.0000	44.30	44.30
A	196-760-100-000	SFR	0.118	1.000	1.0	1.0000	44.30	44.30
A	196-760-110-000	SFR	0.115	1.000	1.0	1.0000	44.30	44.30
A	196-760-120-000	SFR	0.120	1.000	1.0	1.0000	44.30	44.30
A	196-760-130-000	SFR	0.123	1.000	1.0	1.0000	44.30	44.30
A	196-760-140-000	SFR	0.140	1.000	1.0	1.0000	44.30	44.30
A	196-760-150-000	SFR	0.115	1.000	1.0	1.0000	44.30	44.30
A	196-760-160-000	SFR	0.114	1.000	1.0	1.0000	44.30	44.30
A	196-760-170-000	SFR	0.114	1.000	1.0	1.0000	44.30	44.30
A	196-760-180-000	SFR	0.114	1.000	1.0	1.0000	44.30	44.30
A	196-760-190-000	SFR	0.120	1.000	1.0	1.0000	44.30	44.30
A	196-760-200-000	SFR	0.130	1.000	1.0	1.0000	44.30	44.30
A	196-760-210-000	SFR	0.114	1.000	1.0	1.0000	44.30	44.30
A	196-760-220-000	SFR	0.114	1.000	1.0	1.0000	44.30	44.30
A	196-760-230-000	SFR	0.114	1.000	1.0	1.0000	44.30	44.30
A	196-760-240-000	SFR	0.114	1.000	1.0	1.0000	44.30	44.30
A	196-760-250-000	SFR	0.142	1.000	1.0	1.0000	44.30	44.30
A	196-760-260-000	SFR	0.148	1.000	1.0	1.0000	44.30	44.30
A	196-760-300-000	SFR	0.167	1.000	1.0	1.0000	44.30	44.30
A	196-760-310-000	SFR	0.147	1.000	1.0	1.0000	44.30	44.30
A	196-760-320-000	SFR	0.260	1.000	1.0	1.0000	44.30	44.30
A	196-070-130-000	EXEMPT	0.000	0.000	0.0	0.0000	44.30	0.00
A	196-070-230-000	EXEMPT	0.000	0.000	0.0	0.0000	44.30	0.00
<b>SUBTOTAL:</b>		<b>196 PARCELS</b>				<b>229.1610</b>		<b>\$10,151.38</b>

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Rate	Levy
B	196-040-070-000	VAC-RESTR DEV	1.054	1.054	0.5	0.5270	\$47.47	\$25.00
B	196-040-080-000	VAC-RESTR DEV	0.851	0.851	0.5	0.4255	47.47	20.18
B	196-040-090-000	VAC-RESTR DEV	2.380	2.380	0.5	1.1900	47.47	56.48
B	196-040-100-000	VAC-RESTR DEV	1.166	1.166	0.5	0.5830	47.47	27.66
B	196-040-110-000	LTD DEV	4.800	4.800	2.0	9.6000	47.47	455.70
B	196-040-120-000	VAC-RESTR DEV	0.137	0.250	0.5	0.1250	47.47	5.92
B	196-040-130-000	LTD DEV	1.339	1.339	2.0	2.6780	47.47	127.12
B	196-090-010-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-020-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-030-000	SFR	0.146	1.000	1.0	1.0000	47.47	47.46
B	196-090-040-000	SFR	0.152	1.000	1.0	1.0000	47.47	47.46
B	196-090-050-000	SFR	0.155	1.000	1.0	1.0000	47.47	47.46
B	196-090-060-000	SFR	0.150	1.000	1.0	1.0000	47.47	47.46
B	196-090-070-000	SFR	0.155	1.000	1.0	1.0000	47.47	47.46
B	196-090-080-000	SFR	0.158	1.000	1.0	1.0000	47.47	47.46
B	196-090-090-000	SFR	0.173	1.000	1.0	1.0000	47.47	47.46
B	196-090-100-000	SFR	0.146	1.000	1.0	1.0000	47.47	47.46
B	196-090-110-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-090-120-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-130-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-140-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-150-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-160-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-170-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-180-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-190-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46

**CITY OF LATHROP**  
**RESIDENTIAL LIGHTING MAINTENANCE DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

<b>Zone</b>	<b>APN</b>	<b>Land Use</b>	<b>Acreage</b>	<b>Units (1)</b>	<b>BUF</b>	<b>EDU</b>	<b>Rate</b>	<b>Levy</b>
B	196-090-200-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-210-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-220-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-230-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-240-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-090-250-000	SFR	0.148	1.000	1.0	1.0000	47.47	47.46
B	196-090-260-000	SFR	0.141	1.000	1.0	1.0000	47.47	47.46
B	196-090-270-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-280-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-290-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-090-300-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-090-310-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-320-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-330-000	SFR	0.145	1.000	1.0	1.0000	47.47	47.46
B	196-090-340-000	SFR	0.147	1.000	1.0	1.0000	47.47	47.46
B	196-090-350-000	SFR	0.148	1.000	1.0	1.0000	47.47	47.46
B	196-090-360-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-370-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-380-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-390-000	SFR	0.199	1.000	1.0	1.0000	47.47	47.46
B	196-090-400-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-090-410-000	SFR	0.141	1.000	1.0	1.0000	47.47	47.46
B	196-090-420-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-090-430-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-090-440-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-090-450-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-090-460-000	SFR	0.141	1.000	1.0	1.0000	47.47	47.46
B	196-090-470-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-090-480-000	SFR	0.206	1.000	1.0	1.0000	47.47	47.46
B	196-090-490-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-090-500-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-090-510-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-520-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-090-530-000	SFR	0.152	1.000	1.0	1.0000	47.47	47.46
B	196-090-540-000	SFR	0.147	1.000	1.0	1.0000	47.47	47.46
B	196-090-550-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-560-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-090-570-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-090-580-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-090-590-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-090-600-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-090-610-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-090-620-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-090-630-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-090-640-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-090-650-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-090-660-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-090-670-000	SFR	0.142	1.000	1.0	1.0000	47.47	47.46
B	196-090-680-000	SFR	0.142	1.000	1.0	1.0000	47.47	47.46
B	196-090-690-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-700-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-710-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-090-720-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-090-730-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-740-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-750-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46

**CITY OF LATHROP**  
**RESIDENTIAL LIGHTING MAINTENANCE DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
B	196-090-760-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-770-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-780-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-790-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-800-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-810-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-820-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-830-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-840-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-090-850-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-860-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-870-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-090-880-000	SFR	0.159	1.000	1.0	1.0000	47.47	47.46
B	196-090-890-000	SFR	0.155	1.000	1.0	1.0000	47.47	47.46
B	196-100-010-000	SFR	0.158	1.000	1.0	1.0000	47.47	47.46
B	196-100-020-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-100-030-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-100-040-000	SFR	0.151	1.000	1.0	1.0000	47.47	47.46
B	196-100-050-000	SFR	0.164	1.000	1.0	1.0000	47.47	47.46
B	196-100-060-000	SFR	0.157	1.000	1.0	1.0000	47.47	47.46
B	196-100-070-000	SFR	0.148	1.000	1.0	1.0000	47.47	47.46
B	196-100-080-000	SFR	0.157	1.000	1.0	1.0000	47.47	47.46
B	196-100-090-000	SFR	0.166	1.000	1.0	1.0000	47.47	47.46
B	196-100-100-000	SFR	0.222	1.000	1.0	1.0000	47.47	47.46
B	196-100-110-000	SFR	0.185	1.000	1.0	1.0000	47.47	47.46
B	196-100-120-000	SFR	0.182	1.000	1.0	1.0000	47.47	47.46
B	196-100-130-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-100-140-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-100-150-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-100-160-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-100-170-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-100-180-000	SFR	0.193	1.000	1.0	1.0000	47.47	47.46
B	196-100-190-000	SFR	0.150	1.000	1.0	1.0000	47.47	47.46
B	196-100-200-000	SFR	0.151	1.000	1.0	1.0000	47.47	47.46
B	196-100-210-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-100-220-000	SFR	0.197	1.000	1.0	1.0000	47.47	47.46
B	196-100-230-000	SFR	0.177	1.000	1.0	1.0000	47.47	47.46
B	196-100-240-000	SFR	0.154	1.000	1.0	1.0000	47.47	47.46
B	196-100-250-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-100-260-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-100-270-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-100-280-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-100-290-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-100-300-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-100-310-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-100-320-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-100-330-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-100-340-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-100-350-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-100-360-000	SFR	0.176	1.000	1.0	1.0000	47.47	47.46
B	196-100-370-000	SFR	0.160	1.000	1.0	1.0000	47.47	47.46
B	196-100-380-000	SFR	0.150	1.000	1.0	1.0000	47.47	47.46
B	196-100-390-000	SFR	0.150	1.000	1.0	1.0000	47.47	47.46
B	196-100-400-000	SFR	0.150	1.000	1.0	1.0000	47.47	47.46
B	196-100-410-000	SFR	0.150	1.000	1.0	1.0000	47.47	47.46
B	196-100-420-000	SFR	0.150	1.000	1.0	1.0000	47.47	47.46

**CITY OF LATHROP**  
**RESIDENTIAL LIGHTING MAINTENANCE DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
B	196-100-430-000	SFR	0.150	1.000	1.0	1.0000	47.47	47.46
B	196-100-440-000	SFR	0.146	1.000	1.0	1.0000	47.47	47.46
B	196-100-450-000	SFR	0.147	1.000	1.0	1.0000	47.47	47.46
B	196-100-460-000	SFR	0.147	1.000	1.0	1.0000	47.47	47.46
B	196-100-470-000	SFR	0.147	1.000	1.0	1.0000	47.47	47.46
B	196-100-480-000	SFR	0.147	1.000	1.0	1.0000	47.47	47.46
B	196-100-490-000	SFR	0.141	1.000	1.0	1.0000	47.47	47.46
B	196-100-500-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-100-510-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-100-520-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-100-530-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-100-540-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-100-550-000	SFR	0.147	1.000	1.0	1.0000	47.47	47.46
B	196-100-560-000	SFR	0.151	1.000	1.0	1.0000	47.47	47.46
B	196-100-570-000	SFR	0.151	1.000	1.0	1.0000	47.47	47.46
B	196-100-580-000	SFR	0.155	1.000	1.0	1.0000	47.47	47.46
B	196-100-590-000	SFR	0.155	1.000	1.0	1.0000	47.47	47.46
B	196-100-600-000	SFR	0.155	1.000	1.0	1.0000	47.47	47.46
B	196-100-610-000	SFR	0.155	1.000	1.0	1.0000	47.47	47.46
B	196-100-620-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-100-630-000	SFR	0.153	1.000	1.0	1.0000	47.47	47.46
B	196-100-640-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-100-650-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-100-660-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-100-670-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-100-680-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-100-690-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-100-700-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-100-710-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-100-720-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-100-730-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-100-740-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-100-750-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-100-760-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-100-770-000	SFR	0.141	1.000	1.0	1.0000	47.47	47.46
B	196-100-780-000	SFR	0.141	1.000	1.0	1.0000	47.47	47.46
B	196-100-790-000	VAC-RESTR DEV	0.038	0.250	0.5	0.1250	47.47	5.92
B	196-520-010-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-520-020-000	SFR	0.145	1.000	1.0	1.0000	47.47	47.46
B	196-520-030-000	SFR	0.152	1.000	1.0	1.0000	47.47	47.46
B	196-520-040-000	SFR	0.152	1.000	1.0	1.0000	47.47	47.46
B	196-520-050-000	SFR	0.152	1.000	1.0	1.0000	47.47	47.46
B	196-520-060-000	SFR	0.160	1.000	1.0	1.0000	47.47	47.46
B	196-520-070-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-520-080-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-090-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-100-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-110-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-120-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-130-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-140-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-150-000	SFR	0.165	1.000	1.0	1.0000	47.47	47.46
B	196-520-160-000	SFR	0.160	1.000	1.0	1.0000	47.47	47.46
B	196-520-170-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-520-180-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-520-190-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46

**CITY OF LATHROP**  
**RESIDENTIAL LIGHTING MAINTENANCE DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

<b>Zone</b>	<b>APN</b>	<b>Land Use</b>	<b>Acreage</b>	<b>Units (1)</b>	<b>BUF</b>	<b>EDU</b>	<b>Rate</b>	<b>Levy</b>
B	196-520-200-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-520-210-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-520-220-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-520-230-000	SFR	0.236	1.000	1.0	1.0000	47.47	47.46
B	196-520-240-000	SFR	0.186	1.000	1.0	1.0000	47.47	47.46
B	196-520-250-000	SFR	0.141	1.000	1.0	1.0000	47.47	47.46
B	196-520-260-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-270-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-280-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-290-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-300-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-310-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-320-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-330-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-520-340-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-350-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-360-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-370-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-380-000	SFR	0.142	1.000	1.0	1.0000	47.47	47.46
B	196-520-390-000	SFR	0.148	1.000	1.0	1.0000	47.47	47.46
B	196-520-400-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-410-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-420-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-430-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-440-000	SFR	0.141	1.000	1.0	1.0000	47.47	47.46
B	196-520-450-000	SFR	0.160	1.000	1.0	1.0000	47.47	47.46
B	196-520-460-000	SFR	0.147	1.000	1.0	1.0000	47.47	47.46
B	196-520-470-000	SFR	0.147	1.000	1.0	1.0000	47.47	47.46
B	196-520-480-000	SFR	0.147	1.000	1.0	1.0000	47.47	47.46
B	196-520-490-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-520-510-000	SFR	0.182	1.000	1.0	1.0000	47.47	47.46
B	196-520-520-000	SFR	0.247	1.000	1.0	1.0000	47.47	47.46
B	196-520-530-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-520-540-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-520-550-000	SFR	0.146	1.000	1.0	1.0000	47.47	47.46
B	196-520-560-000	SFR	0.154	1.000	1.0	1.0000	47.47	47.46
B	196-520-570-000	SFR	0.218	1.000	1.0	1.0000	47.47	47.46
B	196-530-010-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-530-020-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-530-030-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-530-040-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-530-050-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-530-060-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-530-070-000	SFR	0.169	1.000	1.0	1.0000	47.47	47.46
B	196-530-080-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-530-090-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-530-100-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-530-110-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-530-120-000	SFR	0.223	1.000	1.0	1.0000	47.47	47.46
B	196-530-130-000	SFR	0.180	1.000	1.0	1.0000	47.47	47.46
B	196-530-140-000	SFR	0.220	1.000	1.0	1.0000	47.47	47.46
B	196-530-150-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-530-160-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-530-170-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-530-180-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-530-190-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46

**CITY OF LATHROP**  
**RESIDENTIAL LIGHTING MAINTENANCE DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
B	196-530-200-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-530-210-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-530-220-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-530-230-000	SFR	0.159	1.000	1.0	1.0000	47.47	47.46
B	196-530-240-000	SFR	0.161	1.000	1.0	1.0000	47.47	47.46
B	196-530-250-000	SFR	0.181	1.000	1.0	1.0000	47.47	47.46
B	196-530-260-000	SFR	0.141	1.000	1.0	1.0000	47.47	47.46
B	196-530-270-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-530-280-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-530-290-000	SFR	0.194	1.000	1.0	1.0000	47.47	47.46
B	196-530-300-000	SFR	0.181	1.000	1.0	1.0000	47.47	47.46
B	196-530-310-000	SFR	0.208	1.000	1.0	1.0000	47.47	47.46
B	196-530-320-000	SFR	0.160	1.000	1.0	1.0000	47.47	47.46
B	196-530-330-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-530-340-000	SFR	0.146	1.000	1.0	1.0000	47.47	47.46
B	196-530-350-000	SFR	0.145	1.000	1.0	1.0000	47.47	47.46
B	196-530-360-000	SFR	0.158	1.000	1.0	1.0000	47.47	47.46
B	196-530-370-000	SFR	0.182	1.000	1.0	1.0000	47.47	47.46
B	196-530-380-000	SFR	0.236	1.000	1.0	1.0000	47.47	47.46
B	196-530-390-000	SFR	0.205	1.000	1.0	1.0000	47.47	47.46
B	196-530-400-000	SFR	0.192	1.000	1.0	1.0000	47.47	47.46
B	196-530-410-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-530-420-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-530-430-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-530-440-000	SFR	0.142	1.000	1.0	1.0000	47.47	47.46
B	196-530-450-000	SFR	0.153	1.000	1.0	1.0000	47.47	47.46
B	196-530-460-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-530-470-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-530-480-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-530-490-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-530-500-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-530-510-000	SFR	0.154	1.000	1.0	1.0000	47.47	47.46
B	196-530-520-000	SFR	0.146	1.000	1.0	1.0000	47.47	47.46
B	196-530-530-000	SFR	0.142	1.000	1.0	1.0000	47.47	47.46
B	196-530-540-000	SFR	0.210	1.000	1.0	1.0000	47.47	47.46
B	196-530-550-000	SFR	0.173	1.000	1.0	1.0000	47.47	47.46
B	196-530-560-000	SFR	0.239	1.000	1.0	1.0000	47.47	47.46
B	196-530-570-000	SFR	0.155	1.000	1.0	1.0000	47.47	47.46
B	196-530-580-000	SFR	0.145	1.000	1.0	1.0000	47.47	47.46
B	196-530-590-000	SFR	0.147	1.000	1.0	1.0000	47.47	47.46
B	196-530-600-000	SFR	0.147	1.000	1.0	1.0000	47.47	47.46
B	196-540-010-000	SFR	0.189	1.000	1.0	1.0000	47.47	47.46
B	196-540-020-000	SFR	0.232	1.000	1.0	1.0000	47.47	47.46
B	196-540-030-000	SFR	0.200	1.000	1.0	1.0000	47.47	47.46
B	196-540-040-000	SFR	0.232	1.000	1.0	1.0000	47.47	47.46
B	196-540-050-000	SFR	0.207	1.000	1.0	1.0000	47.47	47.46
B	196-540-060-000	SFR	0.157	1.000	1.0	1.0000	47.47	47.46
B	196-540-070-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-540-080-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-540-090-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-540-100-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-540-110-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-540-120-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-540-130-000	SFR	0.142	1.000	1.0	1.0000	47.47	47.46
B	196-540-140-000	SFR	0.158	1.000	1.0	1.0000	47.47	47.46
B	196-540-150-000	SFR	0.159	1.000	1.0	1.0000	47.47	47.46



**CITY OF LATHROP**  
**RESIDENTIAL LIGHTING MAINTENANCE DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
B	196-540-160-000	SFR	0.145	1.000	1.0	1.0000	47.47	47.46
B	196-540-180-000	SFR	0.148	1.000	1.0	1.0000	47.47	47.46
B	196-540-190-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-540-200-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-540-210-000	SFR	0.130	1.000	1.0	1.0000	47.47	47.46
B	196-540-220-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-540-230-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-540-240-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-540-250-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-540-260-000	SFR	0.142	1.000	1.0	1.0000	47.47	47.46
B	196-540-270-000	SFR	0.146	1.000	1.0	1.0000	47.47	47.46
B	196-540-280-000	SFR	0.145	1.000	1.0	1.0000	47.47	47.46
B	196-540-290-000	SFR	0.170	1.000	1.0	1.0000	47.47	47.46
B	196-540-300-000	SFR	0.146	1.000	1.0	1.0000	47.47	47.46
B	196-540-310-000	SFR	0.158	1.000	1.0	1.0000	47.47	47.46
B	196-540-320-000	SFR	0.150	1.000	1.0	1.0000	47.47	47.46
B	196-540-330-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-540-340-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-540-350-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-540-360-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-540-370-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-540-380-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-540-390-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-540-400-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-540-410-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-540-420-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-540-430-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-540-440-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-540-450-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-540-460-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-540-470-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-540-480-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-540-490-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-540-500-000	SFR	0.159	1.000	1.0	1.0000	47.47	47.46
B	196-550-010-000	SFR	0.160	1.000	1.0	1.0000	47.47	47.46
B	196-550-020-000	SFR	0.263	1.000	1.0	1.0000	47.47	47.46
B	196-550-030-000	SFR	0.215	1.000	1.0	1.0000	47.47	47.46
B	196-550-040-000	SFR	0.178	1.000	1.0	1.0000	47.47	47.46
B	196-550-050-000	SFR	0.156	1.000	1.0	1.0000	47.47	47.46
B	196-550-060-000	SFR	0.145	1.000	1.0	1.0000	47.47	47.46
B	196-550-070-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-550-080-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-550-090-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-550-100-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-550-110-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-550-120-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-550-130-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-550-140-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-550-150-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-550-160-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-550-170-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-550-180-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-550-190-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-550-200-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-550-210-000	SFR	0.154	1.000	1.0	1.0000	47.47	47.46
B	196-550-220-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46

**CITY OF LATHROP**  
**RESIDENTIAL LIGHTING MAINTENANCE DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
B	196-550-230-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-550-240-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-550-250-000	SFR	0.142	1.000	1.0	1.0000	47.47	47.46
B	196-550-260-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-550-270-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-550-280-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-550-290-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-550-300-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-550-310-000	SFR	0.167	1.000	1.0	1.0000	47.47	47.46
B	196-560-010-000	SFR	0.147	1.000	1.0	1.0000	47.47	47.46
B	196-560-020-000	SFR	0.154	1.000	1.0	1.0000	47.47	47.46
B	196-560-030-000	SFR	0.154	1.000	1.0	1.0000	47.47	47.46
B	196-560-040-000	SFR	0.154	1.000	1.0	1.0000	47.47	47.46
B	196-560-050-000	SFR	0.154	1.000	1.0	1.0000	47.47	47.46
B	196-560-060-000	SFR	0.154	1.000	1.0	1.0000	47.47	47.46
B	196-560-070-000	SFR	0.154	1.000	1.0	1.0000	47.47	47.46
B	196-560-080-000	SFR	0.163	1.000	1.0	1.0000	47.47	47.46
B	196-560-090-000	SFR	0.196	1.000	1.0	1.0000	47.47	47.46
B	196-560-100-000	SFR	0.228	1.000	1.0	1.0000	47.47	47.46
B	196-560-110-000	SFR	0.247	1.000	1.0	1.0000	47.47	47.46
B	196-560-120-000	SFR	0.246	1.000	1.0	1.0000	47.47	47.46
B	196-560-130-000	SFR	0.281	1.000	1.0	1.0000	47.47	47.46
B	196-560-140-000	SFR	0.163	1.000	1.0	1.0000	47.47	47.46
B	196-560-150-000	SFR	0.175	1.000	1.0	1.0000	47.47	47.46
B	196-560-160-000	SFR	0.200	1.000	1.0	1.0000	47.47	47.46
B	196-560-170-000	SFR	0.174	1.000	1.0	1.0000	47.47	47.46
B	196-560-180-000	SFR	0.154	1.000	1.0	1.0000	47.47	47.46
B	196-560-190-000	SFR	0.150	1.000	1.0	1.0000	47.47	47.46
B	196-570-010-000	SFR	0.171	1.000	1.0	1.0000	47.47	47.46
B	196-570-020-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-570-030-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-570-040-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-570-050-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-570-060-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-570-070-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-570-080-000	SFR	0.156	1.000	1.0	1.0000	47.47	47.46
B	196-570-090-000	SFR	0.162	1.000	1.0	1.0000	47.47	47.46
B	196-570-100-000	SFR	0.158	1.000	1.0	1.0000	47.47	47.46
B	196-570-110-000	SFR	0.160	1.000	1.0	1.0000	47.47	47.46
B	196-570-120-000	SFR	0.160	1.000	1.0	1.0000	47.47	47.46
B	196-570-130-000	SFR	0.160	1.000	1.0	1.0000	47.47	47.46
B	196-570-140-000	SFR	0.161	1.000	1.0	1.0000	47.47	47.46
B	196-570-150-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-570-160-000	SFR	0.146	1.000	1.0	1.0000	47.47	47.46
B	196-570-170-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-570-180-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-570-190-000	SFR	0.145	1.000	1.0	1.0000	47.47	47.46
B	196-570-200-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-570-210-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-570-220-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-570-230-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-570-240-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-570-250-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-570-270-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-570-280-000	SFR	0.153	1.000	1.0	1.0000	47.47	47.46
B	196-570-290-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46

**CITY OF LATHROP**  
**RESIDENTIAL LIGHTING MAINTENANCE DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
B	196-570-300-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-570-310-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-570-320-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-570-330-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-570-340-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-570-350-000	SFR	0.147	1.000	1.0	1.0000	47.47	47.46
B	196-570-360-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-570-370-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-570-380-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-570-390-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-570-400-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-570-410-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-570-420-000	SFR	0.152	1.000	1.0	1.0000	47.47	47.46
B	196-570-430-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-570-440-000	SFR	0.147	1.000	1.0	1.0000	47.47	47.46
B	196-570-450-000	SFR	0.145	1.000	1.0	1.0000	47.47	47.46
B	196-570-460-000	SFR	0.167	1.000	1.0	1.0000	47.47	47.46
B	196-570-470-000	SFR	0.201	1.000	1.0	1.0000	47.47	47.46
B	196-570-480-000	SFR	0.170	1.000	1.0	1.0000	47.47	47.46
B	196-570-490-000	SFR	0.142	1.000	1.0	1.0000	47.47	47.46
B	196-570-500-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-570-510-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-570-520-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-570-530-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-570-540-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-570-550-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-570-560-000	SFR	0.210	1.000	1.0	1.0000	47.47	47.46
B	196-570-570-000	SFR	0.176	1.000	1.0	1.0000	47.47	47.46
B	196-570-580-000	SFR	0.160	1.000	1.0	1.0000	47.47	47.46
B	196-570-590-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-570-600-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-570-610-000	SFR	0.152	1.000	1.0	1.0000	47.47	47.46
<b>SUBTOTAL:</b>		<b>450 PARCELS</b>				<b>457.2535</b>		<b>\$21,701.30</b>

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Rate	Levy
C	196-150-810-000	SFR	0.301	1.000	1.0	1.0000	\$31.21	\$31.20
C	196-150-820-000	SFR	0.358	1.000	1.0	1.0000	31.21	31.20
C	196-170-010-000	NON-RES	0.305	0.305	4.0	1.2200	31.21	38.06
C	196-170-020-000	LTD DEV	0.320	0.320	2.0	0.6400	31.21	19.96
C	196-170-030-000	SFR	0.310	1.000	1.0	1.0000	31.21	31.20
C	196-170-040-000	SFR	0.316	1.000	1.0	1.0000	31.21	31.20
C	196-170-050-000	SFR	0.312	1.000	1.0	1.0000	31.21	31.20
C	196-170-060-000	SFR	0.307	1.000	1.0	1.0000	31.21	31.20
C	196-170-070-000	SFR	0.305	1.000	1.0	1.0000	31.21	31.20
C	196-170-080-000	NON-RES	0.258	0.258	4.0	1.0320	31.21	32.20
C	196-170-100-000	LTD DEV	0.139	0.250	2.0	0.5000	31.21	15.60
C	196-170-110-000	MFR	1.526	20.000	0.7	14.0000	31.21	436.94
C	196-170-120-000	MFR	0.256	4.000	0.7	2.8000	31.21	87.38
C	196-180-010-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-020-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-030-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-040-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-050-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-060-000	MFR	0.237	2.000	0.7	1.4000	31.21	43.68
C	196-180-070-000	SFR	0.139	1.000	1.0	1.0000	31.21	31.20

**CITY OF LATHROP**  
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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
C	196-180-080-000	SFR	0.139	1.000	1.0	1.0000	31.21	31.20
C	196-180-090-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-180-100-000	SFR	0.344	1.000	1.0	1.0000	31.21	31.20
C	196-180-110-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-120-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-130-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-150-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-160-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-170-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-180-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-190-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-200-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-210-000	SFR	0.110	1.000	1.0	1.0000	31.21	31.20
C	196-180-220-000	SFR	0.114	1.000	1.0	1.0000	31.21	31.20
C	196-180-230-000	SFR	0.110	1.000	1.0	1.0000	31.21	31.20
C	196-180-240-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-250-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-260-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-270-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-280-000	MFR	0.172	2.000	0.7	1.4000	31.21	43.68
C	196-180-290-000	SFR	0.344	1.000	1.0	1.0000	31.21	31.20
C	196-180-300-000	MFR	0.172	2.000	0.7	1.4000	31.21	43.68
C	196-180-310-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-320-000	MFR	0.172	2.000	0.7	1.4000	31.21	43.68
C	196-180-330-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-180-340-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-180-350-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-180-360-000	NON-RES	0.258	0.258	4.0	1.0320	31.21	32.20
C	196-180-370-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-380-000	SFR	0.260	1.000	1.0	1.0000	31.21	31.20
C	196-180-390-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-180-400-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-180-410-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-420-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-180-430-000	MFR	0.172	2.000	0.7	1.4000	31.21	43.68
C	196-180-440-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-180-450-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-460-000	SFR	0.086	1.000	1.0	1.0000	31.21	31.20
C	196-180-480-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-490-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-500-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-180-510-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-180-520-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-180-530-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-540-000	SFR	0.086	1.000	1.0	1.0000	31.21	31.20
C	196-180-550-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-180-560-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-180-570-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-180-580-000	SFR	0.129	1.000	1.0	1.0000	31.21	31.20
C	196-180-590-000	SFR	0.129	1.000	1.0	1.0000	31.21	31.20
C	196-240-010-000	SFR	0.426	1.000	1.0	1.0000	31.21	31.20
C	196-240-020-000	SFR	0.379	1.000	1.0	1.0000	31.21	31.20
C	196-240-030-000	SFR	0.330	1.000	1.0	1.0000	31.21	31.20
C	196-240-040-000	SFR	0.330	1.000	1.0	1.0000	31.21	31.20
C	196-240-060-000	SFR	0.897	1.000	1.0	1.0000	31.21	31.20
C	196-240-070-000	LTD DEV	2.500	2.500	2.0	5.0000	31.21	156.04

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
C	196-240-080-000	NON-RES	3.680	3.680	4.0	14.7200	31.21	459.40
C	196-240-090-000	SFR	0.275	1.000	1.0	1.0000	31.21	31.20
C	196-240-100-000	SFR	0.344	1.000	1.0	1.0000	31.21	31.20
C	196-240-110-000	SFR	0.206	1.000	1.0	1.0000	31.21	31.20
C	196-240-120-000	SFR	0.275	1.000	1.0	1.0000	31.21	31.20
C	196-240-130-000	SFR	0.361	1.000	1.0	1.0000	31.21	31.20
C	196-240-140-000	SFR	0.254	1.000	1.0	1.0000	31.21	31.20
C	196-240-150-000	SFR	0.251	1.000	1.0	1.0000	31.21	31.20
C	196-240-170-000	LTD DEV	9.120	9.120	2.0	18.2400	31.21	569.26
C	196-240-180-000	LTD DEV	12.130	10.000	2.0	20.0000	31.21	624.20
C	196-240-190-000	LTD DEV	0.901	0.901	2.0	1.8020	31.21	56.24
C	196-240-200-000	SFR	0.523	1.000	1.0	1.0000	31.21	31.20
C	196-240-210-000	SFR	0.529	1.000	1.0	1.0000	31.21	31.20
C	196-240-220-000	SFR	0.529	1.000	1.0	1.0000	31.21	31.20
C	196-240-240-000	SFR	0.413	1.000	1.0	1.0000	31.21	31.20
C	196-240-250-000	SFR	0.247	1.000	1.0	1.0000	31.21	31.20
C	196-240-260-000	SFR	0.247	1.000	1.0	1.0000	31.21	31.20
C	196-240-290-000	LTD DEV	0.977	0.977	2.0	1.9540	31.21	60.98
C	196-240-300-000	LTD DEV	0.427	0.427	2.0	0.8540	31.21	26.64
C	196-240-310-000	MFR	0.258	2.000	0.7	1.4000	31.21	43.68
C	196-240-320-000	MFR	0.275	2.000	0.7	1.4000	31.21	43.68
C	196-240-330-000	VAC	0.144	0.250	1.0	0.2500	31.21	7.80
C	196-240-340-000	MFR	0.230	2.000	0.7	1.4000	31.21	43.68
C	196-240-370-000	MFR	0.340	2.000	0.7	1.4000	31.21	43.68
C	196-240-380-000	SFR	0.340	1.000	1.0	1.0000	31.21	31.20
C	196-250-010-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-020-000	SFR	0.080	1.000	1.0	1.0000	31.21	31.20
C	196-250-050-000	SFR	0.344	1.000	1.0	1.0000	31.21	31.20
C	196-250-060-000	SFR	0.062	1.000	1.0	1.0000	31.21	31.20
C	196-250-070-000	SFR	0.167	1.000	1.0	1.0000	31.21	31.20
C	196-250-080-000	SFR	0.200	1.000	1.0	1.0000	31.21	31.20
C	196-250-090-000	SFR	0.430	1.000	1.0	1.0000	31.21	31.20
C	196-250-100-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-110-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-120-000	SFR	0.086	1.000	1.0	1.0000	31.21	31.20
C	196-250-140-000	SFR	0.180	1.000	1.0	1.0000	31.21	31.20
C	196-250-150-000	SFR	0.114	1.000	1.0	1.0000	31.21	31.20
C	196-250-160-000	SFR	0.134	1.000	1.0	1.0000	31.21	31.20
C	196-250-170-000	SFR	0.129	1.000	1.0	1.0000	31.21	31.20
C	196-250-180-000	SFR	0.129	1.000	1.0	1.0000	31.21	31.20
C	196-250-190-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-200-000	SFR	0.170	1.000	1.0	1.0000	31.21	31.20
C	196-250-210-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-220-000	MFR	0.258	2.000	0.7	1.4000	31.21	43.68
C	196-250-230-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-240-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-250-000	NON-RES	0.344	0.344	4.0	1.3760	31.21	42.94
C	196-250-260-000	VAC	0.430	0.430	1.0	0.4300	31.21	13.42
C	196-250-270-000	NON-RES	0.172	0.250	4.0	1.0000	31.21	31.20
C	196-250-280-000	NON-RES	0.172	0.250	4.0	1.0000	31.21	31.20
C	196-250-290-000	NON-RES	0.172	0.250	4.0	1.0000	31.21	31.20
C	196-250-300-000	NON-RES	0.086	0.250	4.0	1.0000	31.21	31.20
C	196-250-310-000	SFR	0.430	1.000	1.0	1.0000	31.21	31.20
C	196-250-320-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-250-330-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-340-000	SFR	0.250	1.000	1.0	1.0000	31.21	31.20

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
C	196-250-350-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-250-360-000	MFR	0.430	2.000	0.7	1.4000	31.21	43.68
C	196-250-370-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-380-000	SFR	0.129	1.000	1.0	1.0000	31.21	31.20
C	196-250-390-000	SFR	0.129	1.000	1.0	1.0000	31.21	31.20
C	196-250-400-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-410-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-420-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-430-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-250-440-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-450-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-460-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-480-000	MFR	0.258	2.000	0.7	1.4000	31.21	43.68
C	196-250-490-000	NON-RES	0.309	0.309	4.0	1.2360	31.21	38.56
C	196-250-500-000	NON-RES	0.482	0.482	4.0	1.9280	31.21	60.16
C	196-250-510-000	NON-RES	0.251	0.251	4.0	1.0040	31.21	31.32
C	196-250-520-000	VAC	0.344	0.344	1.0	0.3440	31.21	10.72
C	196-250-530-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-540-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-550-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-560-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-010-000	MFR	0.181	2.000	0.7	1.4000	31.21	43.68
C	196-260-020-000	SFR	0.196	1.000	1.0	1.0000	31.21	31.20
C	196-260-030-000	SFR	0.218	1.000	1.0	1.0000	31.21	31.20
C	196-260-040-000	SFR	0.350	1.000	1.0	1.0000	31.21	31.20
C	196-260-050-000	SFR	0.215	1.000	1.0	1.0000	31.21	31.20
C	196-260-060-000	SFR	0.215	1.000	1.0	1.0000	31.21	31.20
C	196-260-070-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-260-080-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-090-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-100-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-110-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-260-120-000	MFR	0.344	2.000	0.7	1.4000	31.21	43.68
C	196-260-130-000	LTD DEV	0.258	0.258	2.0	0.5160	31.21	16.10
C	196-260-140-000	VAC-RESTR DEV	1.120	1.120	0.5	0.5600	31.21	17.46
C	196-260-150-000	VAC-RESTR DEV	0.286	0.286	0.5	0.1430	31.21	4.46
C	196-260-160-000	LTD DEV	0.114	0.250	2.0	0.5000	31.21	15.60
C	196-260-170-000	LTD DEV	0.110	0.250	2.0	0.5000	31.21	15.60
C	196-260-180-000	LTD DEV	0.230	0.250	2.0	0.5000	31.21	15.60
C	196-260-190-000	VAC	0.172	0.250	1.0	0.2500	31.21	7.80
C	196-260-200-000	SFR	0.260	1.000	1.0	1.0000	31.21	31.20
C	196-260-210-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-220-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-230-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-240-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-250-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-270-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-280-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-290-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-300-000	SFR	0.344	1.000	1.0	1.0000	31.21	31.20
C	196-260-310-000	MFR	0.206	5.000	0.7	3.5000	31.21	109.22
C	196-260-320-000	NON-RES	0.258	0.258	4.0	1.0320	31.21	32.20
C	196-260-330-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-260-340-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-350-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-360-000	LTD DEV	0.510	0.510	2.0	1.0200	31.21	31.82

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
C	196-260-370-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-380-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-390-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-400-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-410-000	SFR	0.229	1.000	1.0	1.0000	31.21	31.20
C	196-260-440-000	MFR	0.142	2.000	0.7	1.4000	31.21	43.68
C	196-260-450-000	SFR	0.115	1.000	1.0	1.0000	31.21	31.20
C	196-350-010-000	LTD DEV	14.240	10.000	2.0	20.0000	31.21	624.20
C	196-360-010-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-360-020-000	SFR	0.195	1.000	1.0	1.0000	31.21	31.20
C	196-360-030-000	SFR	0.170	1.000	1.0	1.0000	31.21	31.20
C	196-360-040-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-360-050-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-060-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-070-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-080-000	VAC	0.201	0.250	1.0	0.2500	31.21	7.80
C	196-360-090-000	SFR	0.195	1.000	1.0	1.0000	31.21	31.20
C	196-360-100-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-360-110-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-120-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-130-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-140-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-150-000	SFR	0.195	1.000	1.0	1.0000	31.21	31.20
C	196-360-160-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-360-170-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-360-180-000	SFR	0.195	1.000	1.0	1.0000	31.21	31.20
C	196-360-190-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-200-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-210-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-220-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-230-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-360-240-000	SFR	0.275	1.000	1.0	1.0000	31.21	31.20
C	196-360-250-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-260-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-270-000	MFR	0.183	2.000	0.7	1.4000	31.21	43.68
C	196-360-280-000	MFR	0.183	2.000	0.7	1.4000	31.21	43.68
C	196-360-290-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-300-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-310-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-320-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-500-010-000	MFR	2.430	3.000	0.7	2.1000	31.21	65.54
C	196-500-020-000	SFR	0.330	1.000	1.0	1.0000	31.21	31.20
C	196-500-030-000	MFR	0.550	2.000	0.7	1.4000	31.21	43.68
C	196-500-040-000	SFR	0.460	1.000	1.0	1.0000	31.21	31.20
C	196-500-050-000	SFR	1.310	1.000	1.0	1.0000	31.21	31.20
C	196-500-060-000	SFR	0.350	1.000	1.0	1.0000	31.21	31.20
C	196-500-070-000	SFR	0.350	1.000	1.0	1.0000	31.21	31.20
C	196-500-080-000	VAC	0.690	0.690	1.0	0.6900	31.21	21.52
C	196-500-090-000	SFR	0.598	1.000	1.0	1.0000	31.21	31.20
C	196-510-020-000	SFR	0.482	1.000	1.0	1.0000	31.21	31.20
C	196-510-080-000	VAC	3.130	3.130	1.0	3.1300	31.21	97.68
C	196-510-090-000	NON-RES	4.570	4.570	4.0	18.2800	31.21	570.50
C	196-510-100-000	VAC	0.482	0.482	1.0	0.4820	31.21	15.04
C	196-510-110-000	VAC	1.353	1.353	1.0	1.3530	31.21	42.22
C	196-510-120-000	SFR	0.251	1.000	1.0	1.0000	31.21	31.20
C	196-510-130-000	SFR	0.520	1.000	1.0	1.0000	31.21	31.20

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
C	196-510-140-000	SFR	0.569	1.000	1.0	1.0000	31.21	31.20
C	196-510-160-000	SFR	0.139	1.000	1.0	1.0000	31.21	31.20
C	196-510-180-000	SFR	0.090	1.000	1.0	1.0000	31.21	31.20
C	196-510-190-000	SFR	0.091	1.000	1.0	1.0000	31.21	31.20
C	196-510-200-000	VAC	0.110	0.250	1.0	0.2500	31.21	7.80
C	196-510-210-000	VAC	0.178	0.250	1.0	0.2500	31.21	7.80
C	196-770-010-000	SFR	0.083	1.000	1.0	1.0000	31.21	31.20
C	196-770-020-000	SFR	0.095	1.000	1.0	1.0000	31.21	31.20
C	196-770-030-000	SFR	0.110	1.000	1.0	1.0000	31.21	31.20
C	196-770-040-000	SFR	0.095	1.000	1.0	1.0000	31.21	31.20
C	196-770-050-000	SFR	0.235	1.000	1.0	1.0000	31.21	31.20
C	196-240-160-000	EXEMPT	0.000	0.000	0.0	0.0000	31.21	0.00
C	196-240-350-000	EXEMPT	0.000	0.000	0.0	0.0000	31.21	0.00
C	196-240-360-000	EXEMPT	0.000	0.000	0.0	0.0000	31.21	0.00
C	196-250-130-000	EXEMPT	0.000	0.000	0.0	0.0000	31.21	0.00
<b>SUBTOTAL:</b>		<b>259 PARCELS</b>				<b>366.8680</b>		<b>\$11,447.42</b>

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Rate	Levy
D	196-280-010-000	SFR	0.149	1.000	1.0	1.0000	\$58.06	\$58.06
D	196-280-020-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-280-030-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-280-040-000	SFR	0.168	1.000	1.0	1.0000	58.06	58.06
D	196-280-050-000	SFR	0.145	1.000	1.0	1.0000	58.06	58.06
D	196-280-060-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-280-070-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-280-080-000	SFR	0.168	1.000	1.0	1.0000	58.06	58.06
D	196-280-090-000	SFR	0.202	1.000	1.0	1.0000	58.06	58.06
D	196-280-100-000	SFR	0.177	1.000	1.0	1.0000	58.06	58.06
D	196-280-110-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-280-120-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-280-130-000	SFR	0.145	1.000	1.0	1.0000	58.06	58.06
D	196-280-140-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-280-150-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-280-160-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-280-170-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-280-180-000	SFR	0.148	1.000	1.0	1.0000	58.06	58.06
D	196-280-190-000	SFR	0.153	1.000	1.0	1.0000	58.06	58.06
D	196-280-200-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-280-210-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-280-220-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-280-230-000	SFR	0.141	1.000	1.0	1.0000	58.06	58.06
D	196-280-240-000	SFR	0.148	1.000	1.0	1.0000	58.06	58.06
D	196-280-250-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-280-260-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-280-270-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-280-280-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-280-290-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-280-300-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-280-310-000	SFR	0.146	1.000	1.0	1.0000	58.06	58.06
D	196-280-320-000	SFR	0.145	1.000	1.0	1.0000	58.06	58.06
D	196-280-330-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-280-340-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-280-350-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-280-360-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-280-370-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06



**CITY OF LATHROP**  
**RESIDENTIAL LIGHTING MAINTENANCE DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-280-380-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-280-390-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-280-400-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-280-410-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-290-010-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-020-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-030-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-040-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-050-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-060-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-070-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-080-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-090-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-100-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-110-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-120-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-290-130-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-140-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-150-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-160-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-170-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-180-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-190-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-200-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-210-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-290-220-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-230-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-240-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-290-250-000	SFR	0.143	1.000	1.0	1.0000	58.06	58.06
D	196-290-260-000	SFR	0.143	1.000	1.0	1.0000	58.06	58.06
D	196-290-290-000	SFR	0.175	1.000	1.0	1.0000	58.06	58.06
D	196-290-300-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-310-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-290-320-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-290-330-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-290-340-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-350-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-290-360-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-290-370-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-290-380-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-290-390-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-290-400-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-290-410-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-420-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-290-430-000	SFR	0.147	1.000	1.0	1.0000	58.06	58.06
D	196-290-440-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-290-450-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-290-460-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-290-470-000	SFR	0.148	1.000	1.0	1.0000	58.06	58.06
D	196-290-480-000	SFR	0.148	1.000	1.0	1.0000	58.06	58.06
D	196-290-490-000	SFR	0.147	1.000	1.0	1.0000	58.06	58.06
D	196-290-500-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-510-000	SFR	0.148	1.000	1.0	1.0000	58.06	58.06
D	196-290-520-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-290-530-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-540-000	SFR	0.148	1.000	1.0	1.0000	58.06	58.06

**CITY OF LATHROP**  
**RESIDENTIAL LIGHTING MAINTENANCE DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-290-550-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-290-560-000	SFR	0.147	1.000	1.0	1.0000	58.06	58.06
D	196-290-570-000	SFR	0.147	1.000	1.0	1.0000	58.06	58.06
D	196-290-580-000	SFR	0.147	1.000	1.0	1.0000	58.06	58.06
D	196-290-590-000	SFR	0.242	1.000	1.0	1.0000	58.06	58.06
D	196-290-600-000	VAC	0.172	0.250	1.0	0.2500	58.06	14.50
D	196-300-010-000	SFR	0.148	1.000	1.0	1.0000	58.06	58.06
D	196-300-020-000	SFR	0.148	1.000	1.0	1.0000	58.06	58.06
D	196-300-030-000	SFR	0.148	1.000	1.0	1.0000	58.06	58.06
D	196-300-040-000	SFR	0.148	1.000	1.0	1.0000	58.06	58.06
D	196-300-050-000	SFR	0.148	1.000	1.0	1.0000	58.06	58.06
D	196-300-060-000	SFR	0.148	1.000	1.0	1.0000	58.06	58.06
D	196-300-070-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-080-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-090-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-100-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-110-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-120-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-130-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-140-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-150-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-160-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-170-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-180-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-190-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-200-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-210-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-220-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-230-000	SFR	0.173	1.000	1.0	1.0000	58.06	58.06
D	196-300-240-000	SFR	0.173	1.000	1.0	1.0000	58.06	58.06
D	196-300-250-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-300-260-000	SFR	0.136	1.000	1.0	1.0000	58.06	58.06
D	196-300-270-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-300-280-000	SFR	0.146	1.000	1.0	1.0000	58.06	58.06
D	196-300-290-000	SFR	0.790	1.000	1.0	1.0000	58.06	58.06
D	196-300-300-000	SFR	0.514	1.000	1.0	1.0000	58.06	58.06
D	196-300-310-000	SFR	1.210	1.000	1.0	1.0000	58.06	58.06
D	196-300-320-000	SFR	0.340	1.000	1.0	1.0000	58.06	58.06
D	196-300-330-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-300-340-000	SFR	0.201	1.000	1.0	1.0000	58.06	58.06
D	196-300-350-000	SFR	0.187	1.000	1.0	1.0000	58.06	58.06
D	196-300-360-000	SFR	0.176	1.000	1.0	1.0000	58.06	58.06
D	196-300-370-000	SFR	0.160	1.000	1.0	1.0000	58.06	58.06
D	196-300-380-000	SFR	0.136	1.000	1.0	1.0000	58.06	58.06
D	196-300-390-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-300-400-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-300-410-000	SFR	0.154	1.000	1.0	1.0000	58.06	58.06
D	196-300-420-000	SFR	0.136	1.000	1.0	1.0000	58.06	58.06
D	196-300-430-000	SFR	0.136	1.000	1.0	1.0000	58.06	58.06
D	196-300-440-000	SFR	0.136	1.000	1.0	1.0000	58.06	58.06
D	196-300-450-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-300-460-000	SFR	0.136	1.000	1.0	1.0000	58.06	58.06
D	196-300-470-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-310-010-000	SFR	0.241	1.000	1.0	1.0000	58.06	58.06
D	196-310-020-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-030-000	SFR	0.238	1.000	1.0	1.0000	58.06	58.06

Zone	APN	Land Use	Average	Units (1)	BUF	EDU	Rate	Levy
D	196-310-040-000	SFR	0.240	1.000	1.0	1.0000	58.06	58.06
D	196-310-050-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-060-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-070-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-080-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-090-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-100-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-110-000	SFR	0.241	1.000	1.0	1.0000	58.06	58.06
D	196-310-120-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-130-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-140-000	SFR	0.231	1.000	1.0	1.0000	58.06	58.06
D	196-310-150-000	SFR	0.241	1.000	1.0	1.0000	58.06	58.06
D	196-310-160-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-170-000	SFR	0.247	1.000	1.0	1.0000	58.06	58.06
D	196-310-180-000	SFR	0.215	1.000	1.0	1.0000	58.06	58.06
D	196-310-190-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-200-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-210-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-220-000	SFR	0.206	1.000	1.0	1.0000	58.06	58.06
D	196-310-230-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-240-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-250-000	SFR	0.238	1.000	1.0	1.0000	58.06	58.06
D	196-310-260-000	SFR	0.238	1.000	1.0	1.0000	58.06	58.06
D	196-310-270-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-280-000	SFR	0.234	1.000	1.0	1.0000	58.06	58.06
D	196-310-290-000	VAC-RESTR DEV	1.470	1.470	0.5	0.7350	58.06	42.66
D	196-310-300-000	VAC-RESTR DEV	0.057	0.250	0.5	0.1250	58.06	7.24
D	196-310-310-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-320-000	SFR	0.228	1.000	1.0	1.0000	58.06	58.06
D	196-310-330-000	SFR	0.228	1.000	1.0	1.0000	58.06	58.06
D	196-310-340-000	SFR	0.228	1.000	1.0	1.0000	58.06	58.06
D	196-310-350-000	SFR	0.219	1.000	1.0	1.0000	58.06	58.06
D	196-310-360-000	SFR	0.235	1.000	1.0	1.0000	58.06	58.06
D	196-310-370-000	SFR	0.228	1.000	1.0	1.0000	58.06	58.06
D	196-310-380-000	SFR	0.228	1.000	1.0	1.0000	58.06	58.06
D	196-310-390-000	SFR	0.228	1.000	1.0	1.0000	58.06	58.06
D	196-310-400-000	SFR	0.236	1.000	1.0	1.0000	58.06	58.06
D	196-310-410-000	SFR	0.236	1.000	1.0	1.0000	58.06	58.06
D	196-310-420-000	SFR	0.240	1.000	1.0	1.0000	58.06	58.06
D	196-310-430-000	SFR	0.230	1.000	1.0	1.0000	58.06	58.06
D	196-320-010-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-320-020-000	SFR	0.300	1.000	1.0	1.0000	58.06	58.06
D	196-320-030-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-320-040-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-320-050-000	SFR	0.228	1.000	1.0	1.0000	58.06	58.06
D	196-320-060-000	SFR	0.228	1.000	1.0	1.0000	58.06	58.06
D	196-320-070-000	SFR	0.228	1.000	1.0	1.0000	58.06	58.06
D	196-320-080-000	SFR	0.244	1.000	1.0	1.0000	58.06	58.06
D	196-320-090-000	SFR	0.228	1.000	1.0	1.0000	58.06	58.06
D	196-320-100-000	SFR	0.228	1.000	1.0	1.0000	58.06	58.06
D	196-320-110-000	SFR	0.228	1.000	1.0	1.0000	58.06	58.06
D	196-320-120-000	SFR	0.228	1.000	1.0	1.0000	58.06	58.06
D	196-320-130-000	SFR	0.236	1.000	1.0	1.0000	58.06	58.06
D	196-320-140-000	SFR	0.236	1.000	1.0	1.0000	58.06	58.06
D	196-320-150-000	SFR	0.228	1.000	1.0	1.0000	58.06	58.06
D	196-320-160-000	SFR	0.238	1.000	1.0	1.0000	58.06	58.06

CITY OF LATHROP  
RESIDENTIAL LIGHTING MAINTENANCE DISTRICT  
FISCAL YEAR 2020/21  
PARCEL LISTING

**CITY OF LATHROP**  
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**PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-320-170-000	SFR	0.218	1.000	1.0	1.0000	58.06	58.06
D	196-320-180-000	SFR	0.224	1.000	1.0	1.0000	58.06	58.06
D	196-320-190-000	SFR	0.227	1.000	1.0	1.0000	58.06	58.06
D	196-320-200-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-320-210-000	SFR	0.217	1.000	1.0	1.0000	58.06	58.06
D	196-320-220-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-330-010-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-330-020-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-330-030-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-330-040-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-330-050-000	SFR	0.231	1.000	1.0	1.0000	58.06	58.06
D	196-330-060-000	SFR	0.231	1.000	1.0	1.0000	58.06	58.06
D	196-330-070-000	SFR	0.231	1.000	1.0	1.0000	58.06	58.06
D	196-330-080-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-330-090-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-330-100-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-330-110-000	SFR	0.282	1.000	1.0	1.0000	58.06	58.06
D	196-330-120-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-330-130-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-330-140-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-330-150-000	SFR	0.282	1.000	1.0	1.0000	58.06	58.06
D	196-330-160-000	SFR	0.244	1.000	1.0	1.0000	58.06	58.06
D	196-330-170-000	SFR	0.254	1.000	1.0	1.0000	58.06	58.06
D	196-330-180-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-330-190-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-340-020-000	SFR	0.251	1.000	1.0	1.0000	58.06	58.06
D	196-340-030-000	SFR	0.206	1.000	1.0	1.0000	58.06	58.06
D	196-340-040-000	SFR	0.266	1.000	1.0	1.0000	58.06	58.06
D	196-340-050-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-340-060-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-340-070-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-340-080-000	SFR	0.241	1.000	1.0	1.0000	58.06	58.06
D	196-340-090-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-340-100-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-340-110-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-340-120-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-340-130-000	SFR	0.190	1.000	1.0	1.0000	58.06	58.06
D	196-340-140-000	SFR	0.236	1.000	1.0	1.0000	58.06	58.06
D	196-340-150-000	SFR	0.263	1.000	1.0	1.0000	58.06	58.06
D	196-340-160-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-340-170-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-340-180-000	SFR	0.238	1.000	1.0	1.0000	58.06	58.06
D	196-340-190-000	SFR	0.644	1.000	1.0	1.0000	58.06	58.06
D	196-340-200-000	SFR	0.223	1.000	1.0	1.0000	58.06	58.06
D	196-370-010-000	SFR	0.126	1.000	1.0	1.0000	58.06	58.06
D	196-370-020-000	SFR	0.123	1.000	1.0	1.0000	58.06	58.06
D	196-370-030-000	SFR	0.123	1.000	1.0	1.0000	58.06	58.06
D	196-370-040-000	SFR	0.123	1.000	1.0	1.0000	58.06	58.06
D	196-370-050-000	SFR	0.123	1.000	1.0	1.0000	58.06	58.06
D	196-370-060-000	SFR	0.123	1.000	1.0	1.0000	58.06	58.06
D	196-370-070-000	SFR	0.123	1.000	1.0	1.0000	58.06	58.06
D	196-370-080-000	SFR	0.123	1.000	1.0	1.0000	58.06	58.06
D	196-370-090-000	SFR	0.123	1.000	1.0	1.0000	58.06	58.06
D	196-370-100-000	SFR	0.123	1.000	1.0	1.0000	58.06	58.06
D	196-370-110-000	SFR	0.123	1.000	1.0	1.0000	58.06	58.06
D	196-370-120-000	SFR	0.123	1.000	1.0	1.0000	58.06	58.06

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-370-130-000	SFR	0.123	1.000	1.0	1.0000	58.06	58.06
D	196-370-140-000	SFR	0.132	1.000	1.0	1.0000	58.06	58.06
D	196-370-150-000	SFR	0.124	1.000	1.0	1.0000	58.06	58.06
D	196-370-160-000	SFR	0.124	1.000	1.0	1.0000	58.06	58.06
D	196-370-170-000	SFR	0.124	1.000	1.0	1.0000	58.06	58.06
D	196-370-180-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-370-190-000	SFR	0.124	1.000	1.0	1.0000	58.06	58.06
D	196-370-200-000	SFR	0.115	1.000	1.0	1.0000	58.06	58.06
D	196-370-210-000	SFR	0.117	1.000	1.0	1.0000	58.06	58.06
D	196-370-220-000	SFR	0.119	1.000	1.0	1.0000	58.06	58.06
D	196-370-230-000	SFR	0.120	1.000	1.0	1.0000	58.06	58.06
D	196-370-240-000	SFR	0.129	1.000	1.0	1.0000	58.06	58.06
D	196-370-250-000	SFR	0.208	1.000	1.0	1.0000	58.06	58.06
D	196-370-260-000	SFR	0.206	1.000	1.0	1.0000	58.06	58.06
D	196-370-270-000	SFR	0.125	1.000	1.0	1.0000	58.06	58.06
D	196-370-280-000	SFR	0.173	1.000	1.0	1.0000	58.06	58.06
D	196-370-290-000	SFR	0.172	1.000	1.0	1.0000	58.06	58.06
D	196-370-300-000	SFR	0.173	1.000	1.0	1.0000	58.06	58.06
D	196-370-310-000	SFR	0.177	1.000	1.0	1.0000	58.06	58.06
D	196-370-320-000	SFR	0.172	1.000	1.0	1.0000	58.06	58.06
D	196-370-330-000	SFR	0.173	1.000	1.0	1.0000	58.06	58.06
D	196-370-340-000	SFR	0.119	1.000	1.0	1.0000	58.06	58.06
D	196-370-350-000	SFR	0.120	1.000	1.0	1.0000	58.06	58.06
D	196-370-360-000	SFR	0.120	1.000	1.0	1.0000	58.06	58.06
D	196-370-370-000	SFR	0.119	1.000	1.0	1.0000	58.06	58.06
D	196-370-380-000	SFR	0.123	1.000	1.0	1.0000	58.06	58.06
D	196-370-390-000	SFR	0.114	1.000	1.0	1.0000	58.06	58.06
D	196-370-400-000	SFR	0.114	1.000	1.0	1.0000	58.06	58.06
D	196-370-410-000	SFR	0.114	1.000	1.0	1.0000	58.06	58.06
D	196-370-420-000	SFR	0.114	1.000	1.0	1.0000	58.06	58.06
D	196-370-430-000	SFR	0.114	1.000	1.0	1.0000	58.06	58.06
D	196-370-440-000	SFR	0.114	1.000	1.0	1.0000	58.06	58.06
D	196-370-450-000	SFR	0.114	1.000	1.0	1.0000	58.06	58.06
D	196-370-460-000	SFR	0.114	1.000	1.0	1.0000	58.06	58.06
D	196-370-470-000	SFR	0.120	1.000	1.0	1.0000	58.06	58.06
D	196-370-480-000	SFR	0.125	1.000	1.0	1.0000	58.06	58.06
D	196-370-490-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-500-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-510-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-520-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-530-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-540-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-550-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-560-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-570-000	SFR	0.126	1.000	1.0	1.0000	58.06	58.06
D	196-370-580-000	SFR	0.129	1.000	1.0	1.0000	58.06	58.06
D	196-370-590-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-600-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-610-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-620-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-630-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-640-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-650-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-660-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-670-000	SFR	0.126	1.000	1.0	1.0000	58.06	58.06
D	196-370-680-000	SFR	0.123	1.000	1.0	1.0000	58.06	58.06

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-370-690-000	SFR	0.117	1.000	1.0	1.0000	58.06	58.06
D	196-370-700-000	SFR	0.117	1.000	1.0	1.0000	58.06	58.06
D	196-370-710-000	SFR	0.117	1.000	1.0	1.0000	58.06	58.06
D	196-370-720-000	SFR	0.117	1.000	1.0	1.0000	58.06	58.06
D	196-370-730-000	SFR	0.117	1.000	1.0	1.0000	58.06	58.06
D	196-370-740-000	SFR	0.117	1.000	1.0	1.0000	58.06	58.06
D	196-370-750-000	SFR	0.117	1.000	1.0	1.0000	58.06	58.06
D	196-370-760-000	SFR	0.119	1.000	1.0	1.0000	58.06	58.06
D	196-370-770-000	SFR	0.117	1.000	1.0	1.0000	58.06	58.06
D	196-370-780-000	SFR	0.135	1.000	1.0	1.0000	58.06	58.06
D	196-370-790-000	SFR	0.251	1.000	1.0	1.0000	58.06	58.06
D	196-370-800-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-370-810-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-820-000	SFR	0.117	1.000	1.0	1.0000	58.06	58.06
D	196-370-830-000	SFR	0.117	1.000	1.0	1.0000	58.06	58.06
D	196-370-840-000	SFR	0.117	1.000	1.0	1.0000	58.06	58.06
D	196-370-850-000	SFR	0.117	1.000	1.0	1.0000	58.06	58.06
D	196-370-860-000	SFR	0.117	1.000	1.0	1.0000	58.06	58.06
D	196-370-870-000	SFR	0.117	1.000	1.0	1.0000	58.06	58.06
D	196-370-880-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-370-890-000	SFR	0.172	1.000	1.0	1.0000	58.06	58.06
D	196-370-900-000	SFR	0.172	1.000	1.0	1.0000	58.06	58.06
D	196-370-910-000	SFR	0.172	1.000	1.0	1.0000	58.06	58.06
D	196-370-920-000	SFR	0.172	1.000	1.0	1.0000	58.06	58.06
D	196-370-930-000	SFR	0.172	1.000	1.0	1.0000	58.06	58.06
D	196-380-010-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-020-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-030-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-040-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-050-000	SFR	0.151	1.000	1.0	1.0000	58.06	58.06
D	196-380-060-000	SFR	0.197	1.000	1.0	1.0000	58.06	58.06
D	196-380-070-000	SFR	0.169	1.000	1.0	1.0000	58.06	58.06
D	196-380-080-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-090-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-380-100-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-380-110-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-380-120-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-380-130-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-380-140-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-380-150-000	SFR	0.143	1.000	1.0	1.0000	58.06	58.06
D	196-380-160-000	SFR	0.143	1.000	1.0	1.0000	58.06	58.06
D	196-380-170-000	SFR	0.143	1.000	1.0	1.0000	58.06	58.06
D	196-380-180-000	SFR	0.145	1.000	1.0	1.0000	58.06	58.06
D	196-380-190-000	SFR	0.161	1.000	1.0	1.0000	58.06	58.06
D	196-380-200-000	SFR	0.143	1.000	1.0	1.0000	58.06	58.06
D	196-380-210-000	SFR	0.148	1.000	1.0	1.0000	58.06	58.06
D	196-380-220-000	SFR	0.160	1.000	1.0	1.0000	58.06	58.06
D	196-380-230-000	SFR	0.170	1.000	1.0	1.0000	58.06	58.06
D	196-380-240-000	SFR	0.180	1.000	1.0	1.0000	58.06	58.06
D	196-380-250-000	SFR	0.165	1.000	1.0	1.0000	58.06	58.06
D	196-380-260-000	SFR	0.158	1.000	1.0	1.0000	58.06	58.06
D	196-380-270-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-380-280-000	SFR	0.182	1.000	1.0	1.0000	58.06	58.06
D	196-380-290-000	SFR	0.146	1.000	1.0	1.0000	58.06	58.06
D	196-380-300-000	SFR	0.153	1.000	1.0	1.0000	58.06	58.06
D	196-380-310-000	SFR	0.151	1.000	1.0	1.0000	58.06	58.06

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-380-320-000	SFR	0.161	1.000	1.0	1.0000	58.06	58.06
D	196-380-330-000	SFR	0.161	1.000	1.0	1.0000	58.06	58.06
D	196-380-340-000	SFR	0.166	1.000	1.0	1.0000	58.06	58.06
D	196-380-350-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-380-360-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-370-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-380-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-390-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-400-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-410-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-420-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-430-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-440-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-380-450-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-380-460-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-470-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-480-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-490-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-500-000	VAC-RESTR DEV	0.980	0.980	0.5	0.4900	58.06	28.44
D	196-390-010-000	SFR	0.255	1.000	1.0	1.0000	58.06	58.06
D	196-390-020-000	SFR	0.225	1.000	1.0	1.0000	58.06	58.06
D	196-390-030-000	SFR	0.213	1.000	1.0	1.0000	58.06	58.06
D	196-390-040-000	SFR	0.196	1.000	1.0	1.0000	58.06	58.06
D	196-390-050-000	MFR	0.183	2.000	0.7	1.4000	58.06	81.28
D	196-390-060-000	SFR	0.176	1.000	1.0	1.0000	58.06	58.06
D	196-390-070-000	SFR	0.172	1.000	1.0	1.0000	58.06	58.06
D	196-390-080-000	SFR	0.176	1.000	1.0	1.0000	58.06	58.06
D	196-390-090-000	SFR	0.252	1.000	1.0	1.0000	58.06	58.06
D	196-390-100-000	SFR	0.296	1.000	1.0	1.0000	58.06	58.06
D	196-390-110-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-390-120-000	SFR	0.153	1.000	1.0	1.0000	58.06	58.06
D	196-390-130-000	SFR	0.151	1.000	1.0	1.0000	58.06	58.06
D	196-390-140-000	SFR	0.153	1.000	1.0	1.0000	58.06	58.06
D	196-390-150-000	SFR	0.150	1.000	1.0	1.0000	58.06	58.06
D	196-390-160-000	SFR	0.145	1.000	1.0	1.0000	58.06	58.06
D	196-390-170-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-390-180-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-190-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-200-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-210-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-220-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-390-230-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-390-240-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-250-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-260-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-270-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-280-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-390-290-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-390-300-000	SFR	0.166	1.000	1.0	1.0000	58.06	58.06
D	196-390-310-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-390-320-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-390-330-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-390-340-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-350-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-360-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-390-370-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-390-380-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-390-390-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-390-400-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-390-410-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-390-420-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-390-430-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-390-440-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-450-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-460-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-470-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-480-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-490-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-500-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-510-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-520-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-530-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-540-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-550-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-560-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-570-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-580-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-590-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-600-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-610-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-620-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-630-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-400-010-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-400-020-000	SFR	0.172	1.000	1.0	1.0000	58.06	58.06
D	196-400-030-000	SFR	0.159	1.000	1.0	1.0000	58.06	58.06
D	196-400-040-000	SFR	0.134	1.000	1.0	1.0000	58.06	58.06
D	196-400-050-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-400-060-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-400-070-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-400-080-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-400-090-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-400-100-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-400-110-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-400-120-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-400-130-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-400-140-000	SFR	0.151	1.000	1.0	1.0000	58.06	58.06
D	196-400-150-000	MFR	0.183	2.000	0.7	1.4000	58.06	81.28
D	196-400-160-000	SFR	0.182	1.000	1.0	1.0000	58.06	58.06
D	196-400-170-000	MFR	0.151	2.000	0.7	1.4000	58.06	81.28
D	196-400-180-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-400-190-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-400-200-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-400-210-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-400-220-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-400-230-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-400-240-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-400-250-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-400-260-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-400-270-000	SFR	0.124	1.000	1.0	1.0000	58.06	58.06
D	196-400-280-000	SFR	0.105	1.000	1.0	1.0000	58.06	58.06
D	196-400-290-000	SFR	0.193	1.000	1.0	1.0000	58.06	58.06
D	196-400-300-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06



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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-400-310-000	SFR	0.130	1.000	1.0	1.0000	58.06	58.06
D	196-400-320-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-400-330-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-410-010-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-410-020-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-410-030-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-410-040-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-410-050-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-410-060-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-410-070-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-410-080-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-410-090-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-410-100-000	SFR	0.151	1.000	1.0	1.0000	58.06	58.06
D	196-410-110-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-410-120-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-410-130-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-410-140-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-410-150-000	SFR	0.151	1.000	1.0	1.0000	58.06	58.06
D	196-410-160-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-410-170-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-410-180-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-410-190-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-410-200-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-410-210-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-410-220-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-410-230-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-410-240-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-420-010-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-420-020-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-420-030-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-420-040-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-420-050-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-420-060-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-420-070-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-420-080-000	SFR	0.165	1.000	1.0	1.0000	58.06	58.06
D	196-420-090-000	SFR	0.160	1.000	1.0	1.0000	58.06	58.06
D	196-420-100-000	SFR	0.151	1.000	1.0	1.0000	58.06	58.06
D	196-420-110-000	SFR	0.151	1.000	1.0	1.0000	58.06	58.06
D	196-420-120-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-420-130-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-420-140-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-420-150-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-420-160-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-420-170-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-420-180-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-420-190-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-420-200-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-420-210-000	SFR	0.151	1.000	1.0	1.0000	58.06	58.06
D	196-420-220-000	SFR	0.151	1.000	1.0	1.0000	58.06	58.06
D	196-420-230-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-420-240-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-420-250-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-420-260-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-420-270-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-420-280-000	SFR	0.130	1.000	1.0	1.0000	58.06	58.06
D	196-420-290-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-420-300-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-420-310-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-420-320-000	SFR	0.153	1.000	1.0	1.0000	58.06	58.06
D	196-430-010-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-430-020-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-430-030-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-430-040-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-430-050-000	VAC-RESTR DEV	0.730	0.730	0.5	0.3650	58.06	21.18
D	196-430-060-000	VAC-RESTR DEV	0.460	0.460	0.5	0.2300	58.06	13.34
D	196-430-070-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-430-080-000	MFR	0.149	2.000	0.7	1.4000	58.06	81.28
D	196-430-090-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-430-100-000	SFR	0.160	1.000	1.0	1.0000	58.06	58.06
D	196-430-110-000	MFR	0.173	2.000	0.7	1.4000	58.06	81.28
D	196-430-120-000	SFR	0.168	1.000	1.0	1.0000	58.06	58.06
D	196-430-130-000	MFR	0.181	2.000	0.7	1.4000	58.06	81.28
D	196-430-140-000	MFR	0.200	2.000	0.7	1.4000	58.06	81.28
D	196-430-170-000	SFR	0.127	1.000	1.0	1.0000	58.06	58.06
D	196-430-180-000	SFR	0.204	1.000	1.0	1.0000	58.06	58.06
D	196-430-190-000	SFR	0.203	1.000	1.0	1.0000	58.06	58.06
D	196-430-200-000	SFR	0.203	1.000	1.0	1.0000	58.06	58.06
D	196-430-210-000	SFR	0.203	1.000	1.0	1.0000	58.06	58.06
D	196-430-220-000	SFR	0.202	1.000	1.0	1.0000	58.06	58.06
D	196-430-230-000	SFR	0.202	1.000	1.0	1.0000	58.06	58.06
D	196-430-240-000	SFR	0.202	1.000	1.0	1.0000	58.06	58.06
D	196-430-250-000	SFR	0.201	1.000	1.0	1.0000	58.06	58.06
D	196-430-260-000	SFR	0.201	1.000	1.0	1.0000	58.06	58.06
D	196-430-270-000	SFR	0.200	1.000	1.0	1.0000	58.06	58.06
D	196-430-280-000	SFR	0.200	1.000	1.0	1.0000	58.06	58.06
D	196-430-290-000	SFR	0.200	1.000	1.0	1.0000	58.06	58.06
D	196-430-300-000	SFR	0.199	1.000	1.0	1.0000	58.06	58.06
D	196-430-310-000	MFR	0.185	2.000	0.7	1.4000	58.06	81.28
D	196-430-320-000	NON-RES	0.395	0.395	4.0	1.5800	58.06	91.72
D	196-430-330-000	NON-RES	0.745	0.745	4.0	2.9800	58.06	173.00
D	196-440-010-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-440-020-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-440-030-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-440-040-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-440-050-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-440-060-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-440-070-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-440-080-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-440-090-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-440-100-000	MFR	0.151	2.000	0.7	1.4000	58.06	81.28
D	196-440-110-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-440-120-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-440-130-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-440-140-000	MFR	0.160	2.000	0.7	1.4000	58.06	81.28
D	196-440-150-000	MFR	0.151	2.000	0.7	1.4000	58.06	81.28
D	196-440-160-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-440-170-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-440-180-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-440-190-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-440-200-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-440-210-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-440-220-000	SFR	0.130	1.000	1.0	1.0000	58.06	58.06

**CITY OF LATHROP**  
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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-440-230-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-440-240-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-440-250-000	SFR	0.162	1.000	1.0	1.0000	58.06	58.06
D	196-440-260-000	SFR	0.134	1.000	1.0	1.0000	58.06	58.06
D	196-440-270-000	SFR	0.136	1.000	1.0	1.0000	58.06	58.06
D	196-440-280-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-440-290-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-440-300-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-440-310-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-440-320-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-440-330-000	MFR	0.151	2.000	0.7	1.4000	58.06	81.28
D	196-440-340-000	MFR	0.181	2.000	0.7	1.4000	58.06	81.28
D	196-440-350-000	MFR	0.199	2.000	0.7	1.4000	58.06	81.28
D	196-450-010-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-450-020-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-450-030-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-040-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-050-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-060-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-070-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-080-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-090-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-100-000	SFR	0.238	1.000	1.0	1.0000	58.06	58.06
D	196-450-110-000	SFR	0.344	1.000	1.0	1.0000	58.06	58.06
D	196-450-120-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-450-130-000	SFR	0.148	1.000	1.0	1.0000	58.06	58.06
D	196-450-140-000	SFR	0.141	1.000	1.0	1.0000	58.06	58.06
D	196-450-150-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-160-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-170-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-180-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-190-000	SFR	0.146	1.000	1.0	1.0000	58.06	58.06
D	196-450-200-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-210-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-220-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-230-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-240-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-250-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-260-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-270-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-280-000	SFR	0.156	1.000	1.0	1.0000	58.06	58.06
D	196-450-290-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-300-000	SFR	0.159	1.000	1.0	1.0000	58.06	58.06
D	196-460-010-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-460-020-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-460-030-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-460-040-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-460-050-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-460-060-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-460-070-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-460-080-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-460-090-000	SFR	0.145	1.000	1.0	1.0000	58.06	58.06
D	196-460-100-000	SFR	0.177	1.000	1.0	1.0000	58.06	58.06
D	196-460-110-000	SFR	0.151	1.000	1.0	1.0000	58.06	58.06
D	196-460-120-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-460-130-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-460-140-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-460-150-000	SFR	0.165	1.000	1.0	1.0000	58.06	58.06
D	196-460-160-000	SFR	0.158	1.000	1.0	1.0000	58.06	58.06
D	196-460-170-000	SFR	0.158	1.000	1.0	1.0000	58.06	58.06
D	196-460-180-000	SFR	0.158	1.000	1.0	1.0000	58.06	58.06
D	196-460-190-000	SFR	0.158	1.000	1.0	1.0000	58.06	58.06
D	196-460-200-000	SFR	0.158	1.000	1.0	1.0000	58.06	58.06
D	196-460-210-000	SFR	0.158	1.000	1.0	1.0000	58.06	58.06
D	196-460-220-000	SFR	0.184	1.000	1.0	1.0000	58.06	58.06
D	196-460-230-000	SFR	0.193	1.000	1.0	1.0000	58.06	58.06
D	196-460-240-000	SFR	0.308	1.000	1.0	1.0000	58.06	58.06
D	196-460-250-000	SFR	0.178	1.000	1.0	1.0000	58.06	58.06
D	196-460-260-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-460-270-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-460-280-000	SFR	0.161	1.000	1.0	1.0000	58.06	58.06
D	196-460-290-000	SFR	0.158	1.000	1.0	1.0000	58.06	58.06
D	196-460-300-000	SFR	0.161	1.000	1.0	1.0000	58.06	58.06
D	196-460-310-000	SFR	0.161	1.000	1.0	1.0000	58.06	58.06
D	196-460-320-000	SFR	0.161	1.000	1.0	1.0000	58.06	58.06
D	196-460-330-000	SFR	0.161	1.000	1.0	1.0000	58.06	58.06
D	196-460-340-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-460-350-000	SFR	0.159	1.000	1.0	1.0000	58.06	58.06
D	196-460-360-000	SFR	0.161	1.000	1.0	1.0000	58.06	58.06
D	196-460-370-000	SFR	0.161	1.000	1.0	1.0000	58.06	58.06
D	196-460-380-000	SFR	0.161	1.000	1.0	1.0000	58.06	58.06
D	196-460-390-000	SFR	0.161	1.000	1.0	1.0000	58.06	58.06
D	196-460-400-000	SFR	0.156	1.000	1.0	1.0000	58.06	58.06
D	196-470-010-000	MFR	0.256	4.000	0.7	2.8000	58.06	162.56
D	196-470-040-000	VAC-RESTR DEV	0.036	0.250	0.5	0.1250	58.06	7.24
D	196-470-200-000	LTD DEV	1.904	1.904	2.0	3.8200	58.06	221.78
D	196-470-210-000	NON-RES	5.740	5.740	4.0	22.9600	58.06	1,333.04
D	196-470-230-000	SFR	0.199	1.000	1.0	1.0000	58.06	58.06
D	196-470-240-000	SFR	0.315	1.000	1.0	1.0000	58.06	58.06
D	196-470-250-000	MFR	0.283	4.000	0.7	2.8000	58.06	162.56
D	196-470-260-000	MFR	0.308	4.000	0.7	2.8000	58.06	162.56
D	196-470-270-000	MFR	0.323	4.000	0.7	2.8000	58.06	162.56
D	196-470-280-000	MFR	0.327	4.000	0.7	2.8000	58.06	162.56
D	196-470-290-000	MFR	0.327	4.000	0.7	2.8000	58.06	162.56
D	196-470-300-000	MFR	0.326	4.000	0.7	2.8000	58.06	162.56
D	196-370-940-000	EXEMPT	0.000	0.000	0.0	0.0000	58.06	0.00
D	196-370-950-000	EXEMPT	0.000	0.000	0.0	0.0000	58.06	0.00
D	196-470-220-000	EXEMPT	0.000	0.000	0.0	0.0000	58.06	0.00
<b>SUBTOTAL:</b>		<b>695 PARCELS</b>				<b>732.8600</b>		<b>\$42,549.58</b>

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Rate	Levy
E	196-120-010-000	SFR	0.137	1.000	1.0	1.0000	\$61.04	\$61.04
E	196-120-020-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-120-030-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-120-040-000	SFR	0.153	1.000	1.0	1.0000	61.04	61.04
E	196-120-050-000	SFR	0.145	1.000	1.0	1.0000	61.04	61.04
E	196-120-060-000	SFR	0.191	1.000	1.0	1.0000	61.04	61.04
E	196-120-070-000	SFR	0.158	1.000	1.0	1.0000	61.04	61.04
E	196-120-080-000	SFR	0.143	1.000	1.0	1.0000	61.04	61.04
E	196-120-090-000	SFR	0.149	1.000	1.0	1.0000	61.04	61.04
E	196-120-100-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-120-110-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-120-120-000	SFR	0.132	1.000	1.0	1.0000	61.04	61.04
E	196-120-130-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-120-140-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-120-150-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-120-160-000	SFR	0.158	1.000	1.0	1.0000	61.04	61.04
E	196-120-170-000	SFR	0.131	1.000	1.0	1.0000	61.04	61.04
E	196-120-180-000	SFR	0.130	1.000	1.0	1.0000	61.04	61.04
E	196-120-190-000	SFR	0.130	1.000	1.0	1.0000	61.04	61.04
E	196-120-200-000	SFR	0.130	1.000	1.0	1.0000	61.04	61.04
E	196-120-210-000	SFR	0.130	1.000	1.0	1.0000	61.04	61.04
E	196-120-220-000	SFR	0.132	1.000	1.0	1.0000	61.04	61.04
E	196-120-230-000	SFR	0.133	1.000	1.0	1.0000	61.04	61.04
E	196-120-240-000	SFR	0.132	1.000	1.0	1.0000	61.04	61.04
E	196-120-250-000	SFR	0.134	1.000	1.0	1.0000	61.04	61.04
E	196-120-260-000	SFR	0.135	1.000	1.0	1.0000	61.04	61.04
E	196-120-270-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-120-280-000	SFR	0.135	1.000	1.0	1.0000	61.04	61.04
E	196-120-290-000	SFR	0.201	1.000	1.0	1.0000	61.04	61.04
E	196-120-300-000	SFR	0.173	1.000	1.0	1.0000	61.04	61.04
E	196-120-310-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-120-320-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-120-330-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-120-340-000	SFR	0.204	1.000	1.0	1.0000	61.04	61.04
E	196-120-350-000	SFR	0.173	1.000	1.0	1.0000	61.04	61.04
E	196-120-360-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-120-370-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-120-380-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-120-390-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-120-400-000	EXEMPT	0.000	0.000	0.0	0.0000	61.04	0.00
E	196-120-410-000	SFR	0.178	1.000	1.0	1.0000	61.04	61.04
E	196-120-420-000	SFR	0.202	1.000	1.0	1.0000	61.04	61.04
E	196-120-430-000	SFR	0.161	1.000	1.0	1.0000	61.04	61.04
E	196-120-440-000	SFR	0.144	1.000	1.0	1.0000	61.04	61.04
E	196-120-450-000	SFR	0.156	1.000	1.0	1.0000	61.04	61.04
E	196-120-460-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-120-470-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-120-480-000	SFR	0.143	1.000	1.0	1.0000	61.04	61.04
E	196-120-490-000	SFR	0.257	1.000	1.0	1.0000	61.04	61.04
E	196-120-500-000	SFR	0.252	1.000	1.0	1.0000	61.04	61.04
E	196-120-510-000	SFR	0.260	1.000	1.0	1.0000	61.04	61.04
E	196-120-520-000	SFR	0.271	1.000	1.0	1.0000	61.04	61.04
E	196-120-530-000	SFR	0.269	1.000	1.0	1.0000	61.04	61.04
E	196-120-540-000	SFR	0.149	1.000	1.0	1.0000	61.04	61.04
E	196-120-550-000	SFR	0.170	1.000	1.0	1.0000	61.04	61.04
E	196-120-560-000	SFR	0.166	1.000	1.0	1.0000	61.04	61.04
E	196-120-570-000	SFR	0.206	1.000	1.0	1.0000	61.04	61.04
E	196-120-580-000	SFR	0.245	1.000	1.0	1.0000	61.04	61.04
E	196-120-590-000	SFR	0.163	1.000	1.0	1.0000	61.04	61.04
E	196-120-600-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-120-610-000	SFR	0.164	1.000	1.0	1.0000	61.04	61.04
E	196-120-620-000	SFR	0.147	1.000	1.0	1.0000	61.04	61.04
E	196-120-630-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-120-640-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-120-650-000	SFR	0.250	1.000	1.0	1.0000	61.04	61.04
E	196-120-660-000	SFR	0.249	1.000	1.0	1.0000	61.04	61.04

**CITY OF LATHROP**  
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**PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-120-670-000	SFR	0.219	1.000	1.0	1.0000	61.04	61.04
E	196-120-680-000	VAC-RESTR DEV	2.720	2.720	0.5	1.3600	61.04	83.00
E	196-130-010-000	NON-RES	0.723	0.723	4.0	2.8920	61.04	176.52
E	196-130-020-000	NON-RES	1.192	1.192	4.0	4.7680	61.04	291.02
E	196-130-030-000	SFR	0.278	1.000	1.0	1.0000	61.04	61.04
E	196-130-040-000	SFR	0.173	1.000	1.0	1.0000	61.04	61.04
E	196-130-050-000	SFR	0.173	1.000	1.0	1.0000	61.04	61.04
E	196-130-060-000	SFR	0.173	1.000	1.0	1.0000	61.04	61.04
E	196-130-070-000	SFR	0.173	1.000	1.0	1.0000	61.04	61.04
E	196-130-080-000	SFR	0.188	1.000	1.0	1.0000	61.04	61.04
E	196-130-090-000	SFR	0.188	1.000	1.0	1.0000	61.04	61.04
E	196-130-100-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-130-110-000	SFR	0.144	1.000	1.0	1.0000	61.04	61.04
E	196-130-120-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-130-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-140-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-150-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-160-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-170-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-180-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-190-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-200-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-210-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-220-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-230-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-240-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-250-000	SFR	0.189	1.000	1.0	1.0000	61.04	61.04
E	196-130-260-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-130-270-000	SFR	0.147	1.000	1.0	1.0000	61.04	61.04
E	196-130-280-000	SFR	0.153	1.000	1.0	1.0000	61.04	61.04
E	196-130-290-000	SFR	0.146	1.000	1.0	1.0000	61.04	61.04
E	196-130-300-000	SFR	0.130	1.000	1.0	1.0000	61.04	61.04
E	196-130-310-000	SFR	0.171	1.000	1.0	1.0000	61.04	61.04
E	196-130-320-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-130-330-000	SFR	0.164	1.000	1.0	1.0000	61.04	61.04
E	196-130-340-000	SFR	0.142	1.000	1.0	1.0000	61.04	61.04
E	196-130-350-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-130-360-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-130-370-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-130-380-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-390-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-400-000	VAC-RESTR DEV	0.137	0.250	0.5	0.1250	61.04	7.62
E	196-130-410-000	VAC-RESTR DEV	0.142	0.250	0.5	0.1250	61.04	7.62
E	196-130-420-000	VAC-RESTR DEV	0.135	0.250	0.5	0.1250	61.04	7.62
E	196-130-430-000	SFR	0.170	1.000	1.0	1.0000	61.04	61.04
E	196-130-440-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-130-450-000	SFR	0.174	1.000	1.0	1.0000	61.04	61.04
E	196-130-460-000	VAC-RESTR DEV	0.155	0.250	0.5	0.1250	61.04	7.62
E	196-130-470-000	VAC-RESTR DEV	0.294	0.294	0.5	0.1470	61.04	8.96
E	196-130-480-000	SFR	0.231	1.000	1.0	1.0000	61.04	61.04
E	196-130-490-000	SFR	0.309	1.000	1.0	1.0000	61.04	61.04
E	196-130-500-000	SFR	0.179	1.000	1.0	1.0000	61.04	61.04
E	196-130-510-000	SFR	0.169	1.000	1.0	1.0000	61.04	61.04
E	196-130-520-000	SFR	0.150	1.000	1.0	1.0000	61.04	61.04
E	196-130-530-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-130-540-000	SFR	0.174	1.000	1.0	1.0000	61.04	61.04

**CITY OF LATHROP**  
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**PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-130-550-000	SFR	0.182	1.000	1.0	1.0000	61.04	61.04
E	196-130-560-000	SFR	0.328	1.000	1.0	1.0000	61.04	61.04
E	196-130-570-000	SFR	0.252	1.000	1.0	1.0000	61.04	61.04
E	196-130-580-000	SFR	0.275	1.000	1.0	1.0000	61.04	61.04
E	196-130-590-000	SFR	0.174	1.000	1.0	1.0000	61.04	61.04
E	196-130-600-000	SFR	0.157	1.000	1.0	1.0000	61.04	61.04
E	196-130-610-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-620-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-630-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-130-640-000	SFR	0.148	1.000	1.0	1.0000	61.04	61.04
E	196-130-650-000	SFR	0.152	1.000	1.0	1.0000	61.04	61.04
E	196-130-660-000	SFR	0.160	1.000	1.0	1.0000	61.04	61.04
E	196-140-010-000	SFR	0.118	1.000	1.0	1.0000	61.04	61.04
E	196-140-040-000	SFR	0.146	1.000	1.0	1.0000	61.04	61.04
E	196-140-050-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-140-060-000	SFR	0.194	1.000	1.0	1.0000	61.04	61.04
E	196-140-070-000	SFR	0.184	1.000	1.0	1.0000	61.04	61.04
E	196-140-080-000	SFR	0.200	1.000	1.0	1.0000	61.04	61.04
E	196-140-090-000	SFR	0.148	1.000	1.0	1.0000	61.04	61.04
E	196-140-100-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-140-110-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-140-120-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-140-130-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-140-140-000	SFR	0.203	1.000	1.0	1.0000	61.04	61.04
E	196-140-150-000	SFR	0.212	1.000	1.0	1.0000	61.04	61.04
E	196-140-160-000	SFR	0.229	1.000	1.0	1.0000	61.04	61.04
E	196-140-170-000	SFR	0.232	1.000	1.0	1.0000	61.04	61.04
E	196-140-180-000	SFR	0.160	1.000	1.0	1.0000	61.04	61.04
E	196-140-200-000	SFR	0.249	1.000	1.0	1.0000	61.04	61.04
E	196-140-210-000	SFR	0.180	1.000	1.0	1.0000	61.04	61.04
E	196-140-220-000	SFR	0.144	1.000	1.0	1.0000	61.04	61.04
E	196-140-230-000	SFR	0.144	1.000	1.0	1.0000	61.04	61.04
E	196-140-240-000	SFR	0.145	1.000	1.0	1.0000	61.04	61.04
E	196-140-250-000	SFR	0.185	1.000	1.0	1.0000	61.04	61.04
E	196-140-260-000	SFR	0.185	1.000	1.0	1.0000	61.04	61.04
E	196-140-280-000	SFR	0.272	1.000	1.0	1.0000	61.04	61.04
E	196-140-290-000	SFR	0.192	1.000	1.0	1.0000	61.04	61.04
E	196-140-300-000	SFR	0.174	1.000	1.0	1.0000	61.04	61.04
E	196-140-310-000	SFR	0.201	1.000	1.0	1.0000	61.04	61.04
E	196-140-320-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-140-330-000	SFR	0.143	1.000	1.0	1.0000	61.04	61.04
E	196-140-340-000	SFR	0.262	1.000	1.0	1.0000	61.04	61.04
E	196-140-350-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-140-360-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-140-370-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-140-380-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-140-390-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-140-400-000	SFR	0.146	1.000	1.0	1.0000	61.04	61.04
E	196-140-410-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-140-420-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-140-430-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-140-440-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-140-450-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-140-460-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-140-470-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-140-480-000	SFR	0.143	1.000	1.0	1.0000	61.04	61.04

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**PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-140-490-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-140-500-000	SFR	0.150	1.000	1.0	1.0000	61.04	61.04
E	196-140-510-000	SFR	0.143	1.000	1.0	1.0000	61.04	61.04
E	196-140-520-000	SFR	0.143	1.000	1.0	1.0000	61.04	61.04
E	196-140-530-000	SFR	0.143	1.000	1.0	1.0000	61.04	61.04
E	196-140-540-000	SFR	0.143	1.000	1.0	1.0000	61.04	61.04
E	196-140-550-000	SFR	0.143	1.000	1.0	1.0000	61.04	61.04
E	196-140-560-000	SFR	0.144	1.000	1.0	1.0000	61.04	61.04
E	196-140-570-000	SFR	0.158	1.000	1.0	1.0000	61.04	61.04
E	196-140-580-000	SFR	0.156	1.000	1.0	1.0000	61.04	61.04
E	196-140-590-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-140-600-000	SFR	0.193	1.000	1.0	1.0000	61.04	61.04
E	196-140-610-000	SFR	0.180	1.000	1.0	1.0000	61.04	61.04
E	196-140-620-000	SFR	0.440	1.000	1.0	1.0000	61.04	61.04
E	196-150-010-000	SFR	0.182	1.000	1.0	1.0000	61.04	61.04
E	196-150-020-000	SFR	0.162	1.000	1.0	1.0000	61.04	61.04
E	196-150-030-000	SFR	0.162	1.000	1.0	1.0000	61.04	61.04
E	196-150-040-000	SFR	0.162	1.000	1.0	1.0000	61.04	61.04
E	196-150-050-000	SFR	0.162	1.000	1.0	1.0000	61.04	61.04
E	196-150-060-000	SFR	0.162	1.000	1.0	1.0000	61.04	61.04
E	196-150-070-000	SFR	0.183	1.000	1.0	1.0000	61.04	61.04
E	196-150-080-000	SFR	0.203	1.000	1.0	1.0000	61.04	61.04
E	196-150-090-000	SFR	0.170	1.000	1.0	1.0000	61.04	61.04
E	196-150-100-000	SFR	0.170	1.000	1.0	1.0000	61.04	61.04
E	196-150-110-000	SFR	0.170	1.000	1.0	1.0000	61.04	61.04
E	196-150-120-000	SFR	0.167	1.000	1.0	1.0000	61.04	61.04
E	196-150-130-000	SFR	0.199	1.000	1.0	1.0000	61.04	61.04
E	196-150-140-000	SFR	0.236	1.000	1.0	1.0000	61.04	61.04
E	196-150-150-000	SFR	0.228	1.000	1.0	1.0000	61.04	61.04
E	196-150-160-000	SFR	0.168	1.000	1.0	1.0000	61.04	61.04
E	196-150-170-000	SFR	0.150	1.000	1.0	1.0000	61.04	61.04
E	196-150-180-000	SFR	0.153	1.000	1.0	1.0000	61.04	61.04
E	196-150-190-000	SFR	0.153	1.000	1.0	1.0000	61.04	61.04
E	196-150-200-000	SFR	0.153	1.000	1.0	1.0000	61.04	61.04
E	196-150-210-000	SFR	0.179	1.000	1.0	1.0000	61.04	61.04
E	196-150-220-000	SFR	0.182	1.000	1.0	1.0000	61.04	61.04
E	196-150-230-000	SFR	0.153	1.000	1.0	1.0000	61.04	61.04
E	196-150-240-000	SFR	0.153	1.000	1.0	1.0000	61.04	61.04
E	196-150-250-000	SFR	0.153	1.000	1.0	1.0000	61.04	61.04
E	196-150-260-000	SFR	0.149	1.000	1.0	1.0000	61.04	61.04
E	196-150-270-000	SFR	0.167	1.000	1.0	1.0000	61.04	61.04
E	196-150-280-000	SFR	0.227	1.000	1.0	1.0000	61.04	61.04
E	196-150-290-000	SFR	0.222	1.000	1.0	1.0000	61.04	61.04
E	196-150-300-000	SFR	0.173	1.000	1.0	1.0000	61.04	61.04
E	196-150-310-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-150-320-000	SFR	0.153	1.000	1.0	1.0000	61.04	61.04
E	196-150-330-000	SFR	0.153	1.000	1.0	1.0000	61.04	61.04
E	196-150-340-000	SFR	0.153	1.000	1.0	1.0000	61.04	61.04
E	196-150-350-000	SFR	0.179	1.000	1.0	1.0000	61.04	61.04
E	196-150-360-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-150-370-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-150-380-000	SFR	0.130	1.000	1.0	1.0000	61.04	61.04
E	196-150-390-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-150-400-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-150-410-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-420-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04



**CITY OF LATHROP**  
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**PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-150-430-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-150-440-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-150-450-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-150-460-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-150-470-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-480-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-490-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-500-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-510-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-520-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-530-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-540-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-550-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-560-000	SFR	0.178	1.000	1.0	1.0000	61.04	61.04
E	196-150-570-000	SFR	0.172	1.000	1.0	1.0000	61.04	61.04
E	196-150-580-000	SFR	0.187	1.000	1.0	1.0000	61.04	61.04
E	196-150-590-000	SFR	0.197	1.000	1.0	1.0000	61.04	61.04
E	196-150-600-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-150-610-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-620-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-630-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-640-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-650-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-660-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-670-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-680-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-690-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-700-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-710-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-720-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-730-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-150-740-000	SFR	0.172	1.000	1.0	1.0000	61.04	61.04
E	196-150-750-000	SFR	0.252	1.000	1.0	1.0000	61.04	61.04
E	196-150-760-000	SFR	0.172	1.000	1.0	1.0000	61.04	61.04
E	196-150-770-000	SFR	0.147	1.000	1.0	1.0000	61.04	61.04
E	196-150-780-000	SFR	0.156	1.000	1.0	1.0000	61.04	61.04
E	196-150-790-000	SFR	0.144	1.000	1.0	1.0000	61.04	61.04
E	196-150-800-000	SFR	0.163	1.000	1.0	1.0000	61.04	61.04
E	196-160-010-000	SFR	0.173	1.000	1.0	1.0000	61.04	61.04
E	196-160-020-000	SFR	0.155	1.000	1.0	1.0000	61.04	61.04
E	196-160-030-000	SFR	0.172	1.000	1.0	1.0000	61.04	61.04
E	196-160-040-000	SFR	0.182	1.000	1.0	1.0000	61.04	61.04
E	196-160-050-000	SFR	0.294	1.000	1.0	1.0000	61.04	61.04
E	196-160-060-000	SFR	0.178	1.000	1.0	1.0000	61.04	61.04
E	196-160-070-000	SFR	0.150	1.000	1.0	1.0000	61.04	61.04
E	196-160-080-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-160-090-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-160-100-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-160-110-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-160-120-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-160-130-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-160-140-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-160-150-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-160-160-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-160-170-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-160-180-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04

**CITY OF LATHROP**  
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**PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-160-190-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-160-200-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-160-210-000	SFR	0.174	1.000	1.0	1.0000	61.04	61.04
E	196-160-220-000	VAC-RESTR DEV	0.177	0.250	0.5	0.1250	61.04	7.62
E	196-160-230-000	VAC-RESTR DEV	0.154	0.250	0.5	0.1250	61.04	7.62
E	196-160-240-000	VAC-RESTR DEV	0.154	0.250	0.5	0.1250	61.04	7.62
E	196-160-250-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-160-260-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-160-270-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-160-280-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-160-290-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-160-300-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-160-310-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-160-320-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-160-330-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-160-340-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-160-350-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-160-360-000	SFR	0.177	1.000	1.0	1.0000	61.04	61.04
E	196-160-370-000	SFR	0.179	1.000	1.0	1.0000	61.04	61.04
E	196-160-380-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-160-390-000	SFR	0.153	1.000	1.0	1.0000	61.04	61.04
E	196-160-400-000	SFR	0.152	1.000	1.0	1.0000	61.04	61.04
E	196-160-410-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-160-420-000	SFR	0.150	1.000	1.0	1.0000	61.04	61.04
E	196-160-430-000	SFR	0.149	1.000	1.0	1.0000	61.04	61.04
E	196-160-440-000	SFR	0.149	1.000	1.0	1.0000	61.04	61.04
E	196-160-450-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-160-460-000	SFR	0.160	1.000	1.0	1.0000	61.04	61.04
E	196-160-470-000	SFR	0.163	1.000	1.0	1.0000	61.04	61.04
E	196-160-480-000	SFR	0.163	1.000	1.0	1.0000	61.04	61.04
E	196-160-490-000	VAC-RESTR DEV	0.163	0.250	0.5	0.1250	61.04	7.62
E	196-160-500-000	VAC-RESTR DEV	0.163	0.250	0.5	0.1250	61.04	7.62
E	196-160-510-000	VAC-RESTR DEV	0.188	0.250	0.5	0.1250	61.04	7.62
E	196-160-520-000	SFR	0.194	1.000	1.0	1.0000	61.04	61.04
E	196-160-530-000	SFR	0.150	1.000	1.0	1.0000	61.04	61.04
E	196-160-540-000	SFR	0.152	1.000	1.0	1.0000	61.04	61.04
E	196-160-550-000	SFR	0.155	1.000	1.0	1.0000	61.04	61.04
E	196-160-560-000	SFR	0.158	1.000	1.0	1.0000	61.04	61.04
E	196-160-570-000	SFR	0.162	1.000	1.0	1.0000	61.04	61.04
E	196-160-580-000	SFR	0.148	1.000	1.0	1.0000	61.04	61.04
E	196-160-590-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-160-600-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-160-610-000	SFR	0.200	1.000	1.0	1.0000	61.04	61.04
E	196-160-620-000	SFR	0.143	1.000	1.0	1.0000	61.04	61.04
E	196-160-630-000	SFR	0.209	1.000	1.0	1.0000	61.04	61.04
E	196-160-640-000	SFR	0.145	1.000	1.0	1.0000	61.04	61.04
E	196-160-650-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-160-660-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-160-670-000	SFR	0.156	1.000	1.0	1.0000	61.04	61.04
E	196-160-680-000	SFR	0.143	1.000	1.0	1.0000	61.04	61.04
E	196-160-690-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-160-700-000	SFR	0.198	1.000	1.0	1.0000	61.04	61.04
E	196-160-710-000	SFR	0.143	1.000	1.0	1.0000	61.04	61.04
E	196-160-720-000	SFR	0.211	1.000	1.0	1.0000	61.04	61.04
E	196-160-730-000	SFR	0.142	1.000	1.0	1.0000	61.04	61.04
E	196-160-740-000	SFR	0.145	1.000	1.0	1.0000	61.04	61.04

**CITY OF LATHROP**  
**RESIDENTIAL LIGHTING MAINTENANCE DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-160-750-000	SFR	0.144	1.000	1.0	1.0000	61.04	61.04
E	196-190-010-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-020-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-030-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-040-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-050-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-060-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-070-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-080-000	SFR	0.152	1.000	1.0	1.0000	61.04	61.04
E	196-190-090-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-100-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-110-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-120-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-130-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-140-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-150-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-160-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-170-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-180-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-190-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-200-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-210-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-220-000	SFR	0.158	1.000	1.0	1.0000	61.04	61.04
E	196-190-230-000	SFR	0.146	1.000	1.0	1.0000	61.04	61.04
E	196-190-240-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-250-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-260-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-190-270-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-190-280-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-290-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-300-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-310-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-320-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-330-000	SFR	0.156	1.000	1.0	1.0000	61.04	61.04
E	196-190-340-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-350-000	SFR	0.156	1.000	1.0	1.0000	61.04	61.04
E	196-190-360-000	SFR	0.148	1.000	1.0	1.0000	61.04	61.04
E	196-190-370-000	SFR	0.144	1.000	1.0	1.0000	61.04	61.04
E	196-190-380-000	SFR	0.144	1.000	1.0	1.0000	61.04	61.04
E	196-190-390-000	SFR	0.144	1.000	1.0	1.0000	61.04	61.04
E	196-190-400-000	SFR	0.144	1.000	1.0	1.0000	61.04	61.04
E	196-190-410-000	SFR	0.147	1.000	1.0	1.0000	61.04	61.04
E	196-190-420-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-190-430-000	SFR	0.190	1.000	1.0	1.0000	61.04	61.04
E	196-190-440-000	SFR	0.213	1.000	1.0	1.0000	61.04	61.04
E	196-190-450-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-190-460-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-470-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-480-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-490-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-500-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-510-000	SFR	0.156	1.000	1.0	1.0000	61.04	61.04
E	196-190-520-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-530-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-540-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-550-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04

**CITY OF LATHROP**  
**RESIDENTIAL LIGHTING MAINTENANCE DISTRICT**  
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**PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-190-560-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-570-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-580-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-590-000	SFR	0.160	1.000	1.0	1.0000	61.04	61.04
E	196-190-600-000	SFR	0.176	1.000	1.0	1.0000	61.04	61.04
E	196-190-610-000	SFR	0.179	1.000	1.0	1.0000	61.04	61.04
E	196-190-620-000	SFR	0.182	1.000	1.0	1.0000	61.04	61.04
E	196-190-630-000	SFR	0.161	1.000	1.0	1.0000	61.04	61.04
E	196-190-640-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-190-650-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-190-660-000	SFR	0.158	1.000	1.0	1.0000	61.04	61.04
E	196-190-670-000	SFR	0.180	1.000	1.0	1.0000	61.04	61.04
E	196-190-680-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-190-690-000	SFR	0.206	1.000	1.0	1.0000	61.04	61.04
E	196-190-700-000	SFR	0.213	1.000	1.0	1.0000	61.04	61.04
E	196-190-710-000	SFR	0.159	1.000	1.0	1.0000	61.04	61.04
E	196-190-720-000	SFR	0.182	1.000	1.0	1.0000	61.04	61.04
E	196-190-730-000	SFR	0.156	1.000	1.0	1.0000	61.04	61.04
E	196-190-740-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-190-750-000	SFR	0.191	1.000	1.0	1.0000	61.04	61.04
E	196-190-760-000	SFR	0.164	1.000	1.0	1.0000	61.04	61.04
E	196-190-770-000	SFR	0.164	1.000	1.0	1.0000	61.04	61.04
E	196-190-780-000	SFR	0.164	1.000	1.0	1.0000	61.04	61.04
E	196-200-010-000	SFR	0.159	1.000	1.0	1.0000	61.04	61.04
E	196-200-020-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-030-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-040-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-050-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-060-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-070-000	SFR	0.158	1.000	1.0	1.0000	61.04	61.04
E	196-200-080-000	SFR	0.174	1.000	1.0	1.0000	61.04	61.04
E	196-200-090-000	SFR	0.334	1.000	1.0	1.0000	61.04	61.04
E	196-200-100-000	SFR	0.228	1.000	1.0	1.0000	61.04	61.04
E	196-200-110-000	SFR	0.181	1.000	1.0	1.0000	61.04	61.04
E	196-200-120-000	SFR	0.168	1.000	1.0	1.0000	61.04	61.04
E	196-200-130-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-140-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-150-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-160-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-170-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-180-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-200-190-000	SFR	0.155	1.000	1.0	1.0000	61.04	61.04
E	196-200-200-000	SFR	0.181	1.000	1.0	1.0000	61.04	61.04
E	196-200-210-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-200-220-000	SFR	0.192	1.000	1.0	1.0000	61.04	61.04
E	196-200-230-000	SFR	0.153	1.000	1.0	1.0000	61.04	61.04
E	196-200-240-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-250-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-260-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-270-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-280-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-290-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-300-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-310-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-320-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-330-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04

**CITY OF LATHROP**  
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**PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-200-340-000	SFR	0.158	1.000	1.0	1.0000	61.04	61.04
E	196-200-350-000	SFR	0.142	1.000	1.0	1.0000	61.04	61.04
E	196-200-360-000	SFR	0.165	1.000	1.0	1.0000	61.04	61.04
E	196-200-370-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-200-380-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-200-390-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-200-400-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-200-410-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-200-420-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-200-430-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-200-440-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-200-450-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-200-460-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-200-470-000	SFR	0.185	1.000	1.0	1.0000	61.04	61.04
E	196-200-480-000	SFR	0.155	1.000	1.0	1.0000	61.04	61.04
E	196-200-490-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-500-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-510-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-520-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-530-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-540-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-550-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-560-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-570-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-580-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-590-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-600-000	SFR	0.152	1.000	1.0	1.0000	61.04	61.04
E	196-200-610-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-620-000	SFR	0.159	1.000	1.0	1.0000	61.04	61.04
E	196-200-630-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-640-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-650-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-660-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-670-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-680-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-690-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-700-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-710-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-720-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-730-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-740-000	SFR	0.148	1.000	1.0	1.0000	61.04	61.04
E	196-210-010-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-210-020-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-210-030-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-210-040-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-210-050-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-210-060-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-210-070-000	SFR	0.161	1.000	1.0	1.0000	61.04	61.04
E	196-210-080-000	SFR	0.181	1.000	1.0	1.0000	61.04	61.04
E	196-210-090-000	SFR	0.135	1.000	1.0	1.0000	61.04	61.04
E	196-210-100-000	SFR	0.144	1.000	1.0	1.0000	61.04	61.04
E	196-210-110-000	SFR	0.145	1.000	1.0	1.0000	61.04	61.04
E	196-210-120-000	SFR	0.148	1.000	1.0	1.0000	61.04	61.04
E	196-210-130-000	SFR	0.147	1.000	1.0	1.0000	61.04	61.04
E	196-210-140-000	SFR	0.180	1.000	1.0	1.0000	61.04	61.04
E	196-210-150-000	SFR	0.165	1.000	1.0	1.0000	61.04	61.04

**CITY OF LATHROP**  
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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-210-160-000	SFR	0.150	1.000	1.0	1.0000	61.04	61.04
E	196-210-170-000	SFR	0.142	1.000	1.0	1.0000	61.04	61.04
E	196-210-180-000	SFR	0.144	1.000	1.0	1.0000	61.04	61.04
E	196-210-190-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-210-200-000	SFR	0.171	1.000	1.0	1.0000	61.04	61.04
E	196-210-210-000	SFR	0.161	1.000	1.0	1.0000	61.04	61.04
E	196-210-220-000	SFR	0.157	1.000	1.0	1.0000	61.04	61.04
E	196-210-230-000	SFR	0.152	1.000	1.0	1.0000	61.04	61.04
E	196-210-240-000	SFR	0.144	1.000	1.0	1.0000	61.04	61.04
E	196-210-250-000	SFR	0.146	1.000	1.0	1.0000	61.04	61.04
E	196-210-260-000	SFR	0.149	1.000	1.0	1.0000	61.04	61.04
E	196-210-270-000	SFR	0.142	1.000	1.0	1.0000	61.04	61.04
E	196-210-280-000	SFR	0.146	1.000	1.0	1.0000	61.04	61.04
E	196-210-290-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-210-300-000	SFR	0.156	1.000	1.0	1.0000	61.04	61.04
E	196-210-310-000	SFR	0.159	1.000	1.0	1.0000	61.04	61.04
E	196-220-010-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-220-020-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-220-030-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-220-040-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-220-050-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-220-060-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-220-070-000	VAC-RESTR DEV	0.136	0.250	0.5	0.1250	61.04	7.62
E	196-220-080-000	VAC-RESTR DEV	0.133	0.250	0.5	0.1250	61.04	7.62
E	196-220-090-000	VAC-RESTR DEV	0.139	0.250	0.5	0.1250	61.04	7.62
E	196-220-100-000	VAC-RESTR DEV	0.135	0.250	0.5	0.1250	61.04	7.62
E	196-220-110-000	VAC-RESTR DEV	0.142	0.250	0.5	0.1250	61.04	7.62
E	196-220-120-000	VAC-RESTR DEV	0.138	0.250	0.5	0.1250	61.04	7.62
E	196-220-130-000	SFR	0.521	1.000	1.0	1.0000	61.04	61.04
E	196-220-140-000	SFR	0.214	1.000	1.0	1.0000	61.04	61.04
E	196-220-150-000	SFR	0.133	1.000	1.0	1.0000	61.04	61.04
E	196-220-160-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-220-170-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-220-180-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-220-190-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-220-200-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-220-210-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-220-220-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-220-230-000	SFR	0.143	1.000	1.0	1.0000	61.04	61.04
E	196-220-240-000	SFR	0.183	1.000	1.0	1.0000	61.04	61.04
E	196-220-250-000	SFR	0.164	1.000	1.0	1.0000	61.04	61.04
E	196-220-260-000	SFR	0.164	1.000	1.0	1.0000	61.04	61.04
E	196-220-270-000	SFR	0.164	1.000	1.0	1.0000	61.04	61.04
E	196-220-280-000	SFR	0.166	1.000	1.0	1.0000	61.04	61.04
E	196-220-290-000	SFR	0.159	1.000	1.0	1.0000	61.04	61.04
E	196-220-300-000	SFR	0.159	1.000	1.0	1.0000	61.04	61.04
E	196-220-310-000	SFR	0.159	1.000	1.0	1.0000	61.04	61.04
E	196-230-010-000	SFR	0.149	1.000	1.0	1.0000	61.04	61.04
E	196-230-020-000	SFR	0.149	1.000	1.0	1.0000	61.04	61.04
E	196-230-030-000	SFR	0.149	1.000	1.0	1.0000	61.04	61.04
E	196-230-040-000	SFR	0.158	1.000	1.0	1.0000	61.04	61.04
E	196-230-050-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-230-060-000	SFR	0.158	1.000	1.0	1.0000	61.04	61.04
E	196-230-070-000	SFR	0.149	1.000	1.0	1.0000	61.04	61.04
E	196-230-080-000	SFR	0.149	1.000	1.0	1.0000	61.04	61.04
E	196-230-090-000	SFR	0.149	1.000	1.0	1.0000	61.04	61.04

**CITY OF LATHROP**  
**RESIDENTIAL LIGHTING MAINTENANCE DISTRICT**  
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**PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-230-100-000	SFR	0.149	1.000	1.0	1.0000	61.04	61.04
E	196-230-110-000	SFR	0.149	1.000	1.0	1.0000	61.04	61.04
E	196-230-120-000	SFR	0.149	1.000	1.0	1.0000	61.04	61.04
E	196-230-130-000	SFR	0.158	1.000	1.0	1.0000	61.04	61.04
E	196-230-140-000	SFR	0.156	1.000	1.0	1.0000	61.04	61.04
E	196-230-150-000	SFR	0.158	1.000	1.0	1.0000	61.04	61.04
E	196-230-160-000	SFR	0.177	1.000	1.0	1.0000	61.04	61.04
E	196-230-170-000	SFR	0.239	1.000	1.0	1.0000	61.04	61.04
E	196-230-180-000	SFR	0.181	1.000	1.0	1.0000	61.04	61.04
E	196-230-190-000	SFR	0.221	1.000	1.0	1.0000	61.04	61.04
E	196-230-200-000	SFR	0.186	1.000	1.0	1.0000	61.04	61.04
E	196-230-210-000	SFR	0.147	1.000	1.0	1.0000	61.04	61.04
E	196-230-220-000	SFR	0.146	1.000	1.0	1.0000	61.04	61.04
E	196-230-230-000	SFR	0.156	1.000	1.0	1.0000	61.04	61.04
E	196-230-240-000	SFR	0.158	1.000	1.0	1.0000	61.04	61.04
E	196-230-250-000	SFR	0.206	1.000	1.0	1.0000	61.04	61.04
E	196-230-260-000	SFR	0.173	1.000	1.0	1.0000	61.04	61.04
E	196-230-270-000	SFR	0.204	1.000	1.0	1.0000	61.04	61.04
E	196-230-280-000	SFR	0.159	1.000	1.0	1.0000	61.04	61.04
E	196-230-290-000	SFR	0.180	1.000	1.0	1.0000	61.04	61.04
E	196-230-300-000	SFR	0.157	1.000	1.0	1.0000	61.04	61.04
E	196-230-310-000	SFR	0.159	1.000	1.0	1.0000	61.04	61.04
E	196-230-320-000	SFR	0.164	1.000	1.0	1.0000	61.04	61.04
E	196-230-330-000	SFR	0.169	1.000	1.0	1.0000	61.04	61.04
E	196-230-340-000	SFR	0.148	1.000	1.0	1.0000	61.04	61.04
E	196-230-350-000	SFR	0.226	1.000	1.0	1.0000	61.04	61.04
E	196-230-360-000	SFR	0.193	1.000	1.0	1.0000	61.04	61.04
E	196-230-370-000	SFR	0.200	1.000	1.0	1.0000	61.04	61.04
E	196-230-380-000	SFR	0.162	1.000	1.0	1.0000	61.04	61.04
E	196-230-390-000	SFR	0.187	1.000	1.0	1.0000	61.04	61.04
E	196-230-400-000	SFR	0.161	1.000	1.0	1.0000	61.04	61.04
E	196-230-410-000	SFR	0.148	1.000	1.0	1.0000	61.04	61.04
E	196-230-420-000	SFR	0.169	1.000	1.0	1.0000	61.04	61.04
E	196-230-430-000	SFR	0.144	1.000	1.0	1.0000	61.04	61.04
E	196-230-440-000	SFR	0.143	1.000	1.0	1.0000	61.04	61.04
E	196-230-450-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-230-460-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-230-470-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-230-480-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-230-490-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-230-500-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-230-510-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-230-520-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-230-530-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-230-540-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-230-550-000	SFR	0.183	1.000	1.0	1.0000	61.04	61.04
E	196-230-560-000	SFR	0.159	1.000	1.0	1.0000	61.04	61.04
E	196-230-570-000	SFR	0.183	1.000	1.0	1.0000	61.04	61.04
<b>SUBTOTAL:</b>		<b>618 PARCELS</b>				<b>608.1670</b>		<b>\$37,122.30</b>

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Rate	Levy
F	196-470-050-000	SFR	0.186	1.000	1.0	1.0000	\$35.11	\$35.10
F	196-470-060-000	SFR	0.145	1.000	1.0	1.0000	35.11	35.10
F	196-470-070-000	SFR	0.141	1.000	1.0	1.0000	35.11	35.10
F	196-470-080-000	SFR	0.138	1.000	1.0	1.0000	35.11	35.10

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
F	196-470-090-000	SFR	0.162	1.000	1.0	1.0000	35.11	35.10
F	196-470-100-000	SFR	0.175	1.000	1.0	1.0000	35.11	35.10
F	196-470-110-000	SFR	0.172	1.000	1.0	1.0000	35.11	35.10
F	196-470-120-000	SFR	0.148	1.000	1.0	1.0000	35.11	35.10
F	196-470-130-000	SFR	0.191	1.000	1.0	1.0000	35.11	35.10
F	196-470-140-000	SFR	0.227	1.000	1.0	1.0000	35.11	35.10
F	196-470-150-000	SFR	0.230	1.000	1.0	1.0000	35.11	35.10
F	196-470-160-000	SFR	0.177	1.000	1.0	1.0000	35.11	35.10
F	196-470-170-000	SFR	0.144	1.000	1.0	1.0000	35.11	35.10
F	196-470-180-000	SFR	0.148	1.000	1.0	1.0000	35.11	35.10
F	196-470-190-000	SFR	0.161	1.000	1.0	1.0000	35.11	35.10
F	196-480-010-000	SFR	0.144	1.000	1.0	1.0000	35.11	35.10
F	196-480-020-000	SFR	0.140	1.000	1.0	1.0000	35.11	35.10
F	196-480-030-000	SFR	0.140	1.000	1.0	1.0000	35.11	35.10
F	196-480-040-000	SFR	0.144	1.000	1.0	1.0000	35.11	35.10
F	196-480-050-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-480-060-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-480-070-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-480-080-000	SFR	0.156	1.000	1.0	1.0000	35.11	35.10
F	196-480-090-000	SFR	0.142	1.000	1.0	1.0000	35.11	35.10
F	196-480-100-000	SFR	0.156	1.000	1.0	1.0000	35.11	35.10
F	196-480-110-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-480-120-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-480-130-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-480-140-000	SFR	0.143	1.000	1.0	1.0000	35.11	35.10
F	196-480-150-000	SFR	0.138	1.000	1.0	1.0000	35.11	35.10
F	196-480-160-000	SFR	0.186	1.000	1.0	1.0000	35.11	35.10
F	196-480-170-000	SFR	0.198	1.000	1.0	1.0000	35.11	35.10
F	196-480-180-000	SFR	0.236	1.000	1.0	1.0000	35.11	35.10
F	196-480-190-000	SFR	0.164	1.000	1.0	1.0000	35.11	35.10
F	196-480-200-000	SFR	0.138	1.000	1.0	1.0000	35.11	35.10
F	196-480-210-000	SFR	0.142	1.000	1.0	1.0000	35.11	35.10
F	196-480-220-000	SFR	0.142	1.000	1.0	1.0000	35.11	35.10
F	196-480-230-000	SFR	0.142	1.000	1.0	1.0000	35.11	35.10
F	196-480-240-000	SFR	0.142	1.000	1.0	1.0000	35.11	35.10
F	196-480-250-000	SFR	0.160	1.000	1.0	1.0000	35.11	35.10
F	196-480-260-000	SFR	0.158	1.000	1.0	1.0000	35.11	35.10
F	196-480-270-000	SFR	0.153	1.000	1.0	1.0000	35.11	35.10
F	196-480-280-000	SFR	0.142	1.000	1.0	1.0000	35.11	35.10
F	196-480-290-000	SFR	0.146	1.000	1.0	1.0000	35.11	35.10
F	196-480-300-000	SFR	0.151	1.000	1.0	1.0000	35.11	35.10
F	196-480-310-000	SFR	0.138	1.000	1.0	1.0000	35.11	35.10
F	196-480-320-000	SFR	0.169	1.000	1.0	1.0000	35.11	35.10
F	196-480-330-000	SFR	0.193	1.000	1.0	1.0000	35.11	35.10
F	196-480-340-000	SFR	0.232	1.000	1.0	1.0000	35.11	35.10
F	196-480-350-000	SFR	0.174	1.000	1.0	1.0000	35.11	35.10
F	196-480-360-000	SFR	0.149	1.000	1.0	1.0000	35.11	35.10
F	196-480-370-000	SFR	0.143	1.000	1.0	1.0000	35.11	35.10
F	196-480-380-000	SFR	0.174	1.000	1.0	1.0000	35.11	35.10
F	196-480-390-000	SFR	0.196	1.000	1.0	1.0000	35.11	35.10
F	196-480-400-000	SFR	0.140	1.000	1.0	1.0000	35.11	35.10
F	196-480-410-000	SFR	0.153	1.000	1.0	1.0000	35.11	35.10
F	196-480-420-000	SFR	0.148	1.000	1.0	1.0000	35.11	35.10
F	196-480-430-000	SFR	0.148	1.000	1.0	1.0000	35.11	35.10
F	196-480-440-000	SFR	0.147	1.000	1.0	1.0000	35.11	35.10
F	196-480-450-000	SFR	0.149	1.000	1.0	1.0000	35.11	35.10



**CITY OF LATHROP**  
**RESIDENTIAL LIGHTING MAINTENANCE DISTRICT**  
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**PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
F	196-480-460-000	SFR	0.151	1.000	1.0	1.0000	35.11	35.10
F	196-480-470-000	SFR	0.139	1.000	1.0	1.0000	35.11	35.10
F	196-480-480-000	SFR	0.139	1.000	1.0	1.0000	35.11	35.10
F	196-480-490-000	SFR	0.152	1.000	1.0	1.0000	35.11	35.10
F	196-480-500-000	SFR	0.178	1.000	1.0	1.0000	35.11	35.10
F	196-480-510-000	SFR	0.188	1.000	1.0	1.0000	35.11	35.10
F	196-480-520-000	SFR	0.207	1.000	1.0	1.0000	35.11	35.10
F	196-480-530-000	VAC	0.311	0.311	1.0	0.3110	35.11	10.90
F	196-480-540-000	SFR	0.177	1.000	1.0	1.0000	35.11	35.10
F	196-480-550-000	SFR	0.154	1.000	1.0	1.0000	35.11	35.10
F	196-480-560-000	SFR	0.190	1.000	1.0	1.0000	35.11	35.10
F	196-480-570-000	SFR	0.158	1.000	1.0	1.0000	35.11	35.10
F	196-480-580-000	SFR	0.147	1.000	1.0	1.0000	35.11	35.10
F	196-480-590-000	SFR	0.144	1.000	1.0	1.0000	35.11	35.10
F	196-480-600-000	SFR	0.146	1.000	1.0	1.0000	35.11	35.10
F	196-480-610-000	SFR	0.141	1.000	1.0	1.0000	35.11	35.10
F	196-480-620-000	SFR	0.196	1.000	1.0	1.0000	35.11	35.10
F	196-480-630-000	SFR	0.214	1.000	1.0	1.0000	35.11	35.10
F	196-480-640-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-480-650-000	SFR	0.142	1.000	1.0	1.0000	35.11	35.10
F	196-480-660-000	SFR	0.138	1.000	1.0	1.0000	35.11	35.10
F	196-480-670-000	SFR	0.158	1.000	1.0	1.0000	35.11	35.10
F	196-480-680-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-480-690-000	SFR	0.159	1.000	1.0	1.0000	35.11	35.10
F	196-480-700-000	SFR	0.138	1.000	1.0	1.0000	35.11	35.10
F	196-480-710-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-480-720-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-480-730-000	SFR	0.138	1.000	1.0	1.0000	35.11	35.10
F	196-480-740-000	SFR	0.138	1.000	1.0	1.0000	35.11	35.10
F	196-480-750-000	SFR	0.138	1.000	1.0	1.0000	35.11	35.10
F	196-480-760-000	SFR	0.150	1.000	1.0	1.0000	35.11	35.10
F	196-480-770-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-480-780-000	SFR	0.139	1.000	1.0	1.0000	35.11	35.10
F	196-480-790-000	SFR	0.150	1.000	1.0	1.0000	35.11	35.10
F	196-480-800-000	SFR	0.160	1.000	1.0	1.0000	35.11	35.10
F	196-480-810-000	SFR	0.138	1.000	1.0	1.0000	35.11	35.10
F	196-480-820-000	SFR	0.173	1.000	1.0	1.0000	35.11	35.10
F	196-480-830-000	SFR	0.157	1.000	1.0	1.0000	35.11	35.10
F	196-480-840-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-490-010-000	SFR	0.158	1.000	1.0	1.0000	35.11	35.10
F	196-490-020-000	SFR	0.168	1.000	1.0	1.0000	35.11	35.10
F	196-490-030-000	SFR	0.151	1.000	1.0	1.0000	35.11	35.10
F	196-490-040-000	SFR	0.151	1.000	1.0	1.0000	35.11	35.10
F	196-490-050-000	SFR	0.150	1.000	1.0	1.0000	35.11	35.10
F	196-490-060-000	SFR	0.142	1.000	1.0	1.0000	35.11	35.10
F	196-490-070-000	SFR	0.159	1.000	1.0	1.0000	35.11	35.10
F	196-490-080-000	SFR	0.140	1.000	1.0	1.0000	35.11	35.10
F	196-490-090-000	SFR	0.156	1.000	1.0	1.0000	35.11	35.10
F	196-490-100-000	SFR	0.172	1.000	1.0	1.0000	35.11	35.10
F	196-490-110-000	SFR	0.165	1.000	1.0	1.0000	35.11	35.10
F	196-490-120-000	SFR	0.178	1.000	1.0	1.0000	35.11	35.10
F	196-490-130-000	SFR	0.193	1.000	1.0	1.0000	35.11	35.10
F	196-490-140-000	SFR	0.253	1.000	1.0	1.0000	35.11	35.10
F	196-490-150-000	SFR	0.305	1.000	1.0	1.0000	35.11	35.10
F	196-490-160-000	SFR	0.132	1.000	1.0	1.0000	35.11	35.10
F	196-490-170-000	SFR	0.145	1.000	1.0	1.0000	35.11	35.10

**CITY OF LATHROP**  
**RESIDENTIAL LIGHTING MAINTENANCE DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
F	196-490-180-000	SFR	0.148	1.000	1.0	1.0000	35.11	35.10
F	196-490-190-000	SFR	0.168	1.000	1.0	1.0000	35.11	35.10
F	196-490-200-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-490-210-000	SFR	0.164	1.000	1.0	1.0000	35.11	35.10
F	196-490-220-000	SFR	0.140	1.000	1.0	1.0000	35.11	35.10
F	196-490-230-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-490-240-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-490-250-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-490-260-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-490-270-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-490-280-000	SFR	0.138	1.000	1.0	1.0000	35.11	35.10
F	196-490-290-000	SFR	0.151	1.000	1.0	1.0000	35.11	35.10
F	196-490-320-000	SFR	0.150	1.000	1.0	1.0000	35.11	35.10
F	196-490-330-000	SFR	0.149	1.000	1.0	1.0000	35.11	35.10
F	196-490-340-000	SFR	0.149	1.000	1.0	1.0000	35.11	35.10
F	196-490-350-000	SFR	0.139	1.000	1.0	1.0000	35.11	35.10
F	196-490-360-000	SFR	0.154	1.000	1.0	1.0000	35.11	35.10
F	196-490-370-000	SFR	0.214	1.000	1.0	1.0000	35.11	35.10
F	196-490-380-000	SFR	0.164	1.000	1.0	1.0000	35.11	35.10
F	196-490-390-000	SFR	0.233	1.000	1.0	1.0000	35.11	35.10
F	196-490-400-000	SFR	0.209	1.000	1.0	1.0000	35.11	35.10
F	196-490-410-000	SFR	0.211	1.000	1.0	1.0000	35.11	35.10
F	196-490-420-000	SFR	0.150	1.000	1.0	1.0000	35.11	35.10
F	196-490-430-000	SFR	0.150	1.000	1.0	1.0000	35.11	35.10
F	196-490-440-000	SFR	0.151	1.000	1.0	1.0000	35.11	35.10
F	196-490-450-000	VAC	0.202	0.250	1.0	0.2500	35.11	8.76
F	196-490-460-000	SFR	0.151	1.000	1.0	1.0000	35.11	35.10
F	196-490-470-000	SFR	0.151	1.000	1.0	1.0000	35.11	35.10
F	196-490-480-000	SFR	0.151	1.000	1.0	1.0000	35.11	35.10
F	196-490-490-000	SFR	0.151	1.000	1.0	1.0000	35.11	35.10
F	196-490-500-000	SFR	0.151	1.000	1.0	1.0000	35.11	35.10
F	196-490-510-000	SFR	0.151	1.000	1.0	1.0000	35.11	35.10
F	196-490-520-000	SFR	0.151	1.000	1.0	1.0000	35.11	35.10
F	196-490-530-000	SFR	0.151	1.000	1.0	1.0000	35.11	35.10
F	196-490-540-000	SFR	0.152	1.000	1.0	1.0000	35.11	35.10
F	196-490-550-000	SFR	0.160	1.000	1.0	1.0000	35.11	35.10
F	196-490-560-000	SFR	0.151	1.000	1.0	1.0000	35.11	35.10
F	196-490-570-000	SFR	0.153	1.000	1.0	1.0000	35.11	35.10
<b>SUBTOTAL:</b>		<b>154 PARCELS</b>				<b>152.5610</b>		<b>\$5,354.86</b>

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Rate	Levy
G	196-110-010-000	VAC	0.312	0.312	1.0	0.3120	\$8.03	\$2.50
G	196-110-020-000	VAC	0.281	0.281	1.0	0.2810	8.03	2.24
G	196-110-030-000	VAC	0.650	0.650	1.0	0.6500	8.03	5.20
G	196-110-040-000	VAC	0.933	0.933	1.0	0.9330	8.03	7.48
G	196-110-050-000	NON-RES	0.356	0.356	4.0	1.4240	8.03	11.42
G	196-110-060-000	VAC	0.218	0.250	1.0	0.2500	8.03	2.00
G	196-110-070-000	NON-RES	0.557	0.557	4.0	2.2280	8.03	17.88
G	196-110-080-000	NON-RES	0.469	0.469	4.0	1.8760	8.03	15.06
G	196-110-090-000	VAC	0.151	0.250	1.0	0.2500	8.03	2.00
G	196-110-230-000	NON-RES	0.878	0.878	4.0	3.5120	8.03	28.20
G	196-110-240-000	NON-RES	0.920	0.920	4.0	3.6800	8.03	29.54
G	196-110-250-000	VAC-RESTR DEV	0.324	0.324	0.5	0.1620	8.03	1.30
G	196-110-260-000	VAC-RESTR DEV	1.408	1.408	0.5	0.7040	8.03	5.64
G	196-110-200-000	NON-RES	3.250	3.250	4.0	13.0000	8.03	104.38
G	196-110-210-000	NON-RES	5.970	5.970	4.0	23.8800	8.03	191.74

**CITY OF LATHROP**  
**RESIDENTIAL LIGHTING MAINTENANCE DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
G	196-110-220-000	NON-RES	0.742	0.742	4.0	2.9680	8.03	23.82
G	196-110-180-000	NON-RES	2.480	2.480	4.0	9.9200	8.03	79.64
G	196-110-190-000	VAC	0.664	0.664	1.0	0.6640	8.03	5.32
G	196-190-810-000	NON-RES	3.770	3.770	4.0	15.0800	8.03	121.08
G	196-190-820-000	NON-RES	0.675	0.675	4.0	2.7000	8.03	21.68
G	196-190-830-000	NON-RES	0.732	0.732	4.0	2.9280	8.03	23.50
G	196-200-790-000	NON-RES	2.230	2.230	4.0	8.9200	8.03	71.62
G	196-200-800-000	NON-RES	0.780	0.780	4.0	3.1200	8.03	25.04
G	196-200-810-000	NON-RES	1.590	1.590	4.0	6.3600	8.03	51.06
G	196-270-010-000	NON-RES	1.244	1.244	4.0	4.9760	8.03	39.94
G	196-270-020-000	NON-RES	8.340	8.340	4.0	33.3600	8.03	267.88
G	196-270-040-000	NON-RES	12.000	10.000	4.0	40.0000	8.03	321.20
G	196-270-220-000	NON-RES	4.800	4.800	4.0	19.2000	8.03	154.16
G	196-270-310-000	NON-RES	0.920	0.920	4.0	3.6800	8.03	29.54
G	196-730-010-000	SFR	0.091	1.000	1.0	1.0000	8.03	8.02
G	196-730-020-000	SFR	0.090	1.000	1.0	1.0000	8.03	8.02
G	196-730-030-000	SFR	0.092	1.000	1.0	1.0000	8.03	8.02
G	196-730-040-000	SFR	0.092	1.000	1.0	1.0000	8.03	8.02
G	196-730-050-000	SFR	0.092	1.000	1.0	1.0000	8.03	8.02
G	196-730-060-000	SFR	0.092	1.000	1.0	1.0000	8.03	8.02
G	196-730-070-000	SFR	0.092	1.000	1.0	1.0000	8.03	8.02
G	196-730-080-000	SFR	0.092	1.000	1.0	1.0000	8.03	8.02
G	196-730-090-000	SFR	0.092	1.000	1.0	1.0000	8.03	8.02
G	196-730-100-000	SFR	0.089	1.000	1.0	1.0000	8.03	8.02
G	196-730-110-000	SFR	0.115	1.000	1.0	1.0000	8.03	8.02
G	196-730-120-000	SFR	0.088	1.000	1.0	1.0000	8.03	8.02
G	196-730-130-000	SFR	0.088	1.000	1.0	1.0000	8.03	8.02
G	196-730-140-000	SFR	0.088	1.000	1.0	1.0000	8.03	8.02
G	196-730-150-000	SFR	0.088	1.000	1.0	1.0000	8.03	8.02
G	196-730-160-000	SFR	0.088	1.000	1.0	1.0000	8.03	8.02
G	196-730-170-000	SFR	0.088	1.000	1.0	1.0000	8.03	8.02
G	196-730-180-000	SFR	0.088	1.000	1.0	1.0000	8.03	8.02
G	196-730-190-000	SFR	0.102	1.000	1.0	1.0000	8.03	8.02
G	196-730-200-000	SFR	0.142	1.000	1.0	1.0000	8.03	8.02
G	196-730-210-000	SFR	0.188	1.000	1.0	1.0000	8.03	8.02
G	196-730-220-000	SFR	0.105	1.000	1.0	1.0000	8.03	8.02
G	196-730-230-000	SFR	0.087	1.000	1.0	1.0000	8.03	8.02
G	196-730-240-000	SFR	0.088	1.000	1.0	1.0000	8.03	8.02
G	196-730-250-000	SFR	0.088	1.000	1.0	1.0000	8.03	8.02
G	196-730-260-000	SFR	0.088	1.000	1.0	1.0000	8.03	8.02
G	196-730-270-000	SFR	0.088	1.000	1.0	1.0000	8.03	8.02
G	196-730-280-000	SFR	0.088	1.000	1.0	1.0000	8.03	8.02
G	196-730-290-000	SFR	0.088	1.000	1.0	1.0000	8.03	8.02
G	196-730-300-000	SFR	0.088	1.000	1.0	1.0000	8.03	8.02
G	196-730-310-000	SFR	0.088	1.000	1.0	1.0000	8.03	8.02
G	196-730-320-000	SFR	0.111	1.000	1.0	1.0000	8.03	8.02
G	196-730-330-000	SFR	0.105	1.000	1.0	1.0000	8.03	8.02
G	196-730-340-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-350-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-360-000	SFR	0.094	1.000	1.0	1.0000	8.03	8.02
G	196-730-370-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-380-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-390-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-400-000	SFR	0.112	1.000	1.0	1.0000	8.03	8.02
G	196-730-410-000	SFR	0.108	1.000	1.0	1.0000	8.03	8.02
G	196-730-420-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02

**CITY OF LATHROP**  
**RESIDENTIAL LIGHTING MAINTENANCE DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
G	196-730-430-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-440-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-450-000	SFR	0.094	1.000	1.0	1.0000	8.03	8.02
G	196-730-460-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-470-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-480-000	SFR	0.112	1.000	1.0	1.0000	8.03	8.02
G	196-730-490-000	SFR	0.110	1.000	1.0	1.0000	8.03	8.02
G	196-730-500-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-510-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-520-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-530-000	SFR	0.094	1.000	1.0	1.0000	8.03	8.02
G	196-730-540-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-550-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-560-000	SFR	0.116	1.000	1.0	1.0000	8.03	8.02
G	196-730-570-000	SFR	0.109	1.000	1.0	1.0000	8.03	8.02
G	196-730-580-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-590-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-600-000	SFR	0.094	1.000	1.0	1.0000	8.03	8.02
G	196-730-610-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-620-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-630-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-640-000	SFR	0.116	1.000	1.0	1.0000	8.03	8.02
G	196-730-650-000	EXEMPT	0.000	0.000	0.0	0.0000	8.03	0.00
G	196-730-660-000	VAC-RESTR DEV	0.390	0.390	0.5	0.1950	8.03	1.56
G	196-750-010-000	SFR	0.127	1.000	1.0	1.0000	8.03	8.02
G	196-750-020-000	SFR	0.118	1.000	1.0	1.0000	8.03	8.02
G	196-750-030-000	SFR	0.116	1.000	1.0	1.0000	8.03	8.02
G	196-750-040-000	SFR	0.114	1.000	1.0	1.0000	8.03	8.02
G	196-750-050-000	SFR	0.114	1.000	1.0	1.0000	8.03	8.02
G	196-750-060-000	SFR	0.114	1.000	1.0	1.0000	8.03	8.02
G	196-750-070-000	SFR	0.134	1.000	1.0	1.0000	8.03	8.02
G	196-750-080-000	SFR	0.125	1.000	1.0	1.0000	8.03	8.02
G	196-750-090-000	SFR	0.144	1.000	1.0	1.0000	8.03	8.02
G	196-750-100-000	SFR	0.173	1.000	1.0	1.0000	8.03	8.02
G	196-750-110-000	SFR	0.137	1.000	1.0	1.0000	8.03	8.02
G	196-750-120-000	SFR	0.114	1.000	1.0	1.0000	8.03	8.02
G	196-750-130-000	SFR	0.151	1.000	1.0	1.0000	8.03	8.02
G	196-750-140-000	SFR	0.154	1.000	1.0	1.0000	8.03	8.02
G	196-750-150-000	SFR	0.139	1.000	1.0	1.0000	8.03	8.02
G	196-750-160-000	SFR	0.153	1.000	1.0	1.0000	8.03	8.02
G	196-750-170-000	SFR	0.178	1.000	1.0	1.0000	8.03	8.02
G	196-750-180-000	SFR	0.137	1.000	1.0	1.0000	8.03	8.02
G	196-750-190-000	SFR	0.114	1.000	1.0	1.0000	8.03	8.02
G	196-750-200-000	SFR	0.140	1.000	1.0	1.0000	8.03	8.02
<b>SUBTOTAL:</b>		<b>115 PARCELS</b>				<b>291.2130</b>		<b>\$2,337.30</b>
<b>GRAND TOTAL:</b>		<b>2,487 PARCELS</b>				<b>2,838.0835</b>		<b>\$130,664.14</b>

(1) Units represents number of assessable residential units or acreage (with applicable minimum and maximum restrictions) for non-residential parcels.

# CITY OF LATHROP

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**Mossdale Landscape and Lighting  
Maintenance District**

**Annual Engineer's Report**

Fiscal Year 2020/21

Prepared by:



Corporate Headquarters  
32605 Temecula Parkway, Suite 100  
Temecula, CA 92592  
Toll free: 800.676.7516

**CITY OF LATHROP  
MOSSDALE LANDSCAPE AND  
LIGHTING MAINTENANCE DISTRICT**

**390 Towne Centre Drive  
Lathrop, California 95330  
Phone - (209) 941-7320  
Fax - (209) 941-7339**

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**CITY COUNCIL**

Sonny Dhaliwal, Mayor

Martha Salcedo, Vice Mayor

Paul Akinjo, Councilmember

Diane Lazard, Councilmember

Jennifer Torres-O'Callaghan, Councilmember

**CITY STAFF**

Stephen Salvatore, City Manager

Salvador Navarrete, City Attorney

Cari James, Finance Director

Glenn Gebhardt, City Engineer

**NBS**

Tim Seufert, Client Services Director

Kristin Harvey, Senior Consultant

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# 1. ENGINEER’S LETTER

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**WHEREAS**, the City Council of the City of Lathrop (the “City”), State of California, directed NBS Government Finance Group, DBA NBS (“NBS”) to prepare and file a report presenting plans and specifications describing the general nature, location, and extent of the improvements to be maintained, and an estimate of the costs of the maintenance, operations, and servicing of the improvements for the City of Lathrop Mossdale Landscape and Lighting Maintenance District, including Annexation No. 1, Zone 2 (the “District”) for Fiscal Year 2020/21. The report includes a diagram for the District showing the area and properties proposed to be assessed, an assessment of the estimated costs of the maintenance, operations, and servicing of the improvements, and the net amount to be assessed upon all assessable parcels within the District in proportion to the special benefit received;

**WHEREAS**, the proposed assessment rate of \$276.10 per Equivalent Unit (“EU”) is not greater than 103% of the prior year maximum assessment rate, as approved by the land owners. The District is in compliance with the assessment balloting procedures set forth in Section 4 of Article XIII D of the California Constitution and the District was formed by consent of 100% of the land owners.

**NOW THEREFORE**, only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated benefit received. The following assessment is made to fund the portion of the estimated costs of maintenance, operation, and servicing of the improvements to be paid by the assessable real property within the District in proportion to the special benefit received:

**SUMMARY OF ASSESSMENT**

Description	Amount
Balance to Levy	\$595,934.24
Total District Equivalent Units	2,158.40
Total Assessment per Equivalent Unit	\$276.10
<b>Total Assessment <sup>(1)</sup></b>	<b>\$595,934.24</b>

(1) Accounts for the actual levy rounded down to an even cent for San Joaquin County tax roll purposes, where applicable.

I, the undersigned, respectfully submit the enclosed Engineer’s Report and, to the best of my knowledge, information, and belief, the Engineer’s Report, Assessments, and the District Diagram herein have been prepared and computed in accordance with the order and historical practices of the City Council of the City.

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NBS Government Finance Group, DBA NBS





## 2. OVERVIEW

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### 2.1 Introduction

The District was formed in 2004 (the “Zone 1”) and is levied pursuant to the Landscaping and Lighting Act of 1972, Part 2 of Division 15 of the California Streets and Highways Code (the “Act”). In 2006, the City annexed territory to the District designated as Annexation No. 1, Zone 2.

This Annual Engineer’s Report (the “Report”) describes the District and the charge per single family residence (the “SFR”) and multi-family residence (the “MFR”) EU for Fiscal Year 2020/21 based upon the estimated costs to maintain the improvements and provide the services that benefit parcels within the District.

The word “parcel,” for the purposes of this Report, refers to an individual property assigned its own Assessor’s Parcel Number by the San Joaquin County (the “County”) Assessor’s Office. The County Auditor-Controller uses Assessor’s Parcel Numbers and specific fund numbers to identify properties on the tax roll that receive special district benefit assessments.

Following consideration of public comments at a noticed public hearing, and following review of the Report, the City Council may confirm the submittal of the Report and may order the levy and collection of assessments to the County Auditor-Controller for Fiscal Year 2020/21.

### 2.2 Effect of Proposition 218

On November 5, 1996, California voters approved Proposition 218 by a vote of 56.5% to 43.5%. The provisions of the Proposition, now California Constitutional Articles XIII C and XIII D, added substantive and procedural requirements for assessments, which affect the City’s landscaping and lighting maintenance assessments.

As approved by the land owners, the maximum assessment rate increases by 3% each year. The maximum assessment rate for Fiscal Year 2020/21 is \$284.38 per EU. The proposed assessment rate for Fiscal Year 2020/21 is \$276.10 per SFR EU and \$276.10 per MFR EU, each of which are below the maximum assessment rate.

The District is in compliance with the assessment balloting procedures set forth in Section 4 of Article XIII D and the District was formed by consent of 100% of the land owners.

The following table shows the levy assessment rate and the maximum assessment rate for the three most recent years.

Fiscal Year	Levy Assessment Rate	Maximum Assessment Rate
2020/21	\$276.10	\$284.38
2019/20	268.06	276.10
2018/19	260.25	268.06

### **2.3 Plans and Specifications for the Improvements**

The District is located in the City; the boundaries of the District are described as that area generally bounded by Assessor's Parcel Number ("APN") 191-210-05 to the North, APN 241-020-009 to the South, generally Golden Valley Parkway to the East, and the San Joaquin River to the West. All APNs detailed above reference the County Assessor's Maps for Fiscal Year 2003/04. The District currently consists of 2,108 SFR EU and 50.4 MFR EU in multiple subdivisions on the western side of the City.

The boundaries of Annexation No. 1 are described as that area generally bounded by APN 241-020-052 and 241-020-053 to the North, the Pacific Union Railroad to the South, Interstate 5 to the East, and the San Joaquin River to the West. Annexation No. 1 is comprised of Tract 3438 (Vallentyne – Autumnwood Villas III) and APN 241-020-33 and 241-020-34, which were anticipated to consist of 69 residential lots when developed.

The District provides for the continued administration, maintenance, operations, and servicing of various improvements located within the public right-of-way and dedicated easements within the boundaries of the District.

The improvements are the construction, operation, maintenance, and servicing of lighting, landscaping, and appurtenant facilities including, but not limited to, personnel, electrical energy for street lights, security lighting, and irrigation controllers, materials, contracting services, and other items necessary for the satisfactory operation of these services as described as follows:

"The landscape and lighting improvements within the District, may include, but are not limited to: landscaping, planting, shrubbery, trees, turf, irrigation systems, street lighting, and appurtenant facilities including, but not limited to, public right-of-way, easements, and park sites. Services provided include all necessary service, operations, administration, and maintenance required to keep the improvements in a healthy, vigorous, and satisfactory condition."

Reference is made to the plans and specifications for the improvements, which are on file with the City.

## 3. ESTIMATE OF COSTS

---

### 3.1 Description of Budget Items

**Personnel Services** - Includes employee salaries, salary related costs, and employee benefits including retirement, medical benefits, and workers compensation costs, etc.

**Maintenance & Operations** - Includes the following:

**Advertising/Legal Notices** - Includes the cost of publishing the required legal notices necessary to complete the required procedures for levying the assessments.

**Auto & Heavy Equipment Maintenance Parts** - Includes replacement parts for City vehicles used for maintenance.

**Auto & Heavy Equipment Maintenance & Repair** - Includes maintenance of City vehicles used for maintenance.

**Chemicals** - Includes insect repellent, weed killer, and rodent control.

**Communication Equipment Repair** - Includes repair of electronic components, power cords, mobile, and portable radios.

**Contract Services** - Includes Professional Services necessary for District maintenance including trees and landscaping, park maintenance, equipment rental, computer technical support, and the preparation of the Report.

**Gas, Diesel, Oil & Lubricants** - Includes fuel, oil, and lubricants for vehicles and miscellaneous small equipment.

**Miscellaneous Supplies** - Includes office equipment and supplies, custodial supplies, materials, and supplies, tools, reference materials, and additional administrative costs.

**Other Maintenance & Repair** - Includes contracted maintenance and repair services such as annual fire extinguisher service and emergency repairs.

**Printing & Typesetting** - Includes the cost of preparing the required legal notices necessary to complete the required procedures for levying the assessments.

**Training, Membership, Travel & Dues** - Includes continuing training for maintenance staff.

**Uniforms/Protective Clothing** - Includes employee uniforms including safety boots, jackets, gloves, etc.

**Utilities - Gas & Electric** - Includes electrical power for street lights, sprinklers, statuary fountains etc.

**Water** - Includes water for irrigation.

**Fixed Charges & Special Fees** - Includes the charges per parcel to place the assessments on the County Secured Property Tax Roll.

**Capital** - Includes depreciation charges for capital items used in Mossdale operations (e.g. vehicles, buildings, etc.).

**Indirect Costs** - Includes overhead costs of the City related to maintenance, operation, and administration of the District.

**Capital Replacement** - includes funding for the timely replacement of vehicles and buildings used for Mossdale operations.

**Equipment Replacement** - Includes funding for the timely replacement of equipment used for Mossdale operations.

**Maintenance Repairs & Contingency** - An amount included to build a Reserve and Contingency Fund. The Fund will be considered fully funded when the account balance reaches an amount equal to 50% of the annual maintenance costs, unless an additional reserve amount is collected to provide for capital replacement in future fiscal years.

### 3.2 District Budget

The budget for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Personnel Services	\$56,933.00
Maintenance & Operations Total	565,700.00
Fixed Assets/Capital Total	6,106.00
Indirect Costs	74,837.00
Capital Replacement	5,000.00
Equipment Replacement	0.00
Maintenance Repair & Contingency	<u>0.00</u>
<b>Total District Costs</b>	<b>\$708,576.00</b>

### 3.3 Balance to Levy

**Total District Costs** - Includes the personnel services, maintenance, and operations, capital (including capital replacement costs), indirect costs and equipment, and capital replacement costs.

**Other Revenue Sources** - This is the amount of additional funds designated for use by the District that are not from District assessments. These funds are added to the District account to reduce assessments and may be from either non-District sources including City General Fund contributions or District sources including interest earnings.

**Contribution to (from) Operational Reserves** - The Operational Reserves item provides funds to operate the District from the time period of July 1 (beginning of the fiscal year) through December when the County provides the City with the first installment of assessments collected from the property tax bills. This eliminates the need for the City to transfer funds from non-District accounts to pay for District charges during the first half of the fiscal year. Negative amounts shown here are transfers that are used to reduce the Balance to Levy. Using reserve amounts in this way allows the levy per unit to remain at prior period rates, despite an increase in District costs.

**Contribution to (from) Capital Reserves** - The Capital Reserve Account item provides funds to maintain reserves for extraordinary maintenance items and unexpected capital expenditures that may occur as a result of natural occurrences or other unforeseen circumstances.

**Balance to Levy** - This is the total amount to be levied and collected through assessments for the current fiscal year. The Balance to Levy represents the sum of the total direct and administration costs, reserves, contributions, and other revenue sources.

The following table shows the total costs, additional revenues and contributions, and the Balance to Levy for Fiscal Year 2020/21.

Description	Amount
Total District Costs	\$708,576.00
Other Revenue Sources	0.00
Contribution to (from) Operational Reserves	(112,641.76)
Contribution to (from) Capital Reserves	<u>0.00</u>
<b>Balance to Levy</b>	<b>\$595,934.24</b>

### 3.4 Operational & Maintenance Reserve Information

The following table shows the estimated balance of the Operational and Maintenance Reserves.

Description	Amount
Estimated Beginning Balance - July 1, 2020	\$423,608.68
Contribution to (from) Operational and Maintenance	<u>(112,641.76)</u>
<b>Estimated Ending Balance - June 30, 2021</b>	<b>\$310,966.92</b>

The reserves are intended to be used and/or accumulated for repair and/or capital replacement, as needed for improvements within the District.

## 4. METHOD OF APPORTIONMENT

### 4.1 Method of Apportionment

Pursuant to the Act and Article XIII D of the Constitution of the State of California, all parcels that have special benefit conferred upon them as a result of the maintenance and operation of improvements will be identified and the proportional special benefit derived by each identified parcel will be determined in relation to the entire cost of the maintenance and operation of the improvements. Only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated benefit received. The assessment has been levied in accordance with the assessment methodology adopted and approved by the City Council at the time of District formation.

Mossdale is a mixed use development. There are 2,108 SFR units within the District. Each of these units is deemed to receive a proportional special benefit of one (1) EU from the maintenance and operation of the improvements. The total SFR EU count is 2,108.

There are 84 MFR units within the District. MFR units receive a proportional special benefit of six tenths (0.60) EU from the maintenance and operation of the improvements. The total MFR EU count is 50.4.

The Fiscal Year 2020/21 assessment rate is not proposed to increase by more than 3% from the prior year maximum assessment rate. Therefore, the District is in compliance with the assessment balloting procedures set forth in Section 4 of Article XIII D. For details, see section 2.2 of this Report.

### 4.2 Assessment - SFR EU

The following table shows the assessment per single family residential EU for the Fiscal Year 2020/21 levy.

Description	Amount
Balance to Levy	\$595,934.24
Total District SFR EU	2,108
<b>Calculated Assessment Per SFR EU</b>	<b>\$276.10</b>
Total Assessment – SFR EU <sup>(1)</sup>	\$582,018.80

(1) Where applicable, the actual levy will be rounded down to an even cent for San Joaquin County tax roll purposes.

### 4.3 Assessment - MFR EU

The following table shows the assessment per multi-family residential EU for the Fiscal Year 2020/21 levy.

Description	Amount
Balance to Levy	\$595,934.24
Total Assessment – SFR EU	<u>(582,018.80)</u>
Remaining Balance to Levy	\$13,915.44
Total District MFR EU	50.40
<b>Calculated Assessment Per MFR EU</b>	<b>\$276.10</b>
Total Assessment – MFR EU <sup>(1)</sup>	\$13,915.44

(1) Where applicable, the actual levy will be rounded down to an even cent for San Joaquin County tax roll purposes.

## 5. ASSESSMENT DIAGRAM

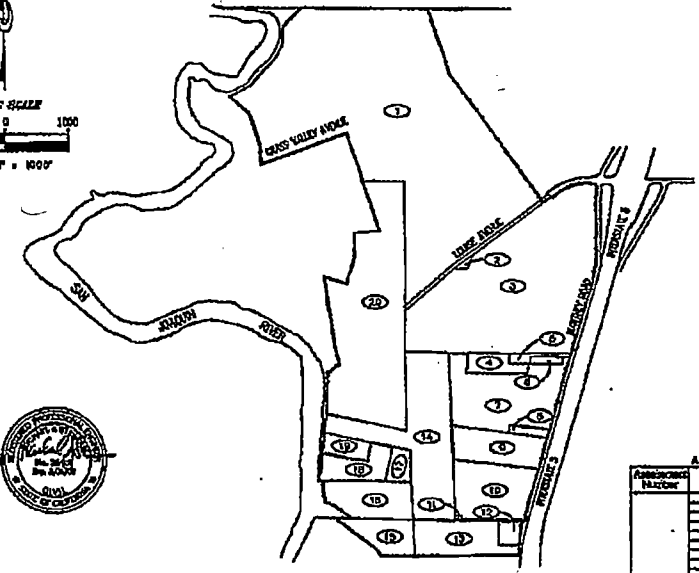
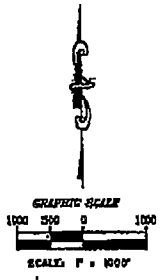
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The following pages provide a copy of the Assessment Diagram for the District and Annexation No. 1, Zone 2. The lines and dimensions shown on maps of the County Assessor for the current year are incorporated by reference and made part of this Report.



# ASSESSMENT DIAGRAM MOSSDALE LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT

CITY OF LATHROP  
COUNTY OF SAN JOAQUIN  
STATE OF CALIFORNIA



**NBS**  
1160 Edison Drive West, Suite 225  
Lathrop, CA 95240  
Local Government Solutions

FILED IN THE OFFICE OF THE CITY CLERK OF THE CITY OF LATHROP THIS  
15th DAY OF June, 2004.  
*[Signature]*  
CITY CLERK  
CITY OF LATHROP

WHEREBY CERTIFY THAT THE WITHIN DIAGRAM SHOWING THE PROPOSED PROMOTION OF MOSSDALE  
LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT WAS APPROVED BY THE CITY COUNCIL OF THE CITY  
OF LATHROP AT A REGULAR MEETING THEREOF HELD ON THE 15th DAY OF June, 2004, ...  
*[Signature]*  
CITY CLERK  
CITY OF LATHROP

FILED THIS 16 DAY OF June, 2004, AT THE HOUR OF 9:00 O'CLOCK A.M. IN  
BOOK 204 AT PAGE 515 OF MAPS OF ASSESSMENT AND COMMUNITY FACILITIES  
DEPOSITED IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF SAN JOAQUIN,  
STATE OF CALIFORNIA.  
County Recorder by *[Signature]*  
DEPUTY  
COUNTY RECORDER  
COUNTY OF SAN JOAQUIN

NOTE: FOR A DETAILED DESCRIPTION OF THE LIMITS AND DIMENSIONS OF EACH PARCEL,  
WITHIN THE DISTRICT REFER TO THE COUNTY OF SAN JOAQUIN ASSESSOR'S MAPS.

Assessor's Locator	APN	Assessor's Parcel ID
1	001-001-001	1
2	001-001-002	2
3	001-001-003	3
4	001-001-004	4
5	001-001-005	5
6	001-001-006	6
7	001-001-007	7
8	001-001-008	8
9	001-001-009	9
10	001-001-010	10
11	001-001-011	11
12	001-001-012	12
13	001-001-013	13
14	001-001-014	14
15	001-001-015	15
16	001-001-016	16
17	001-001-017	17

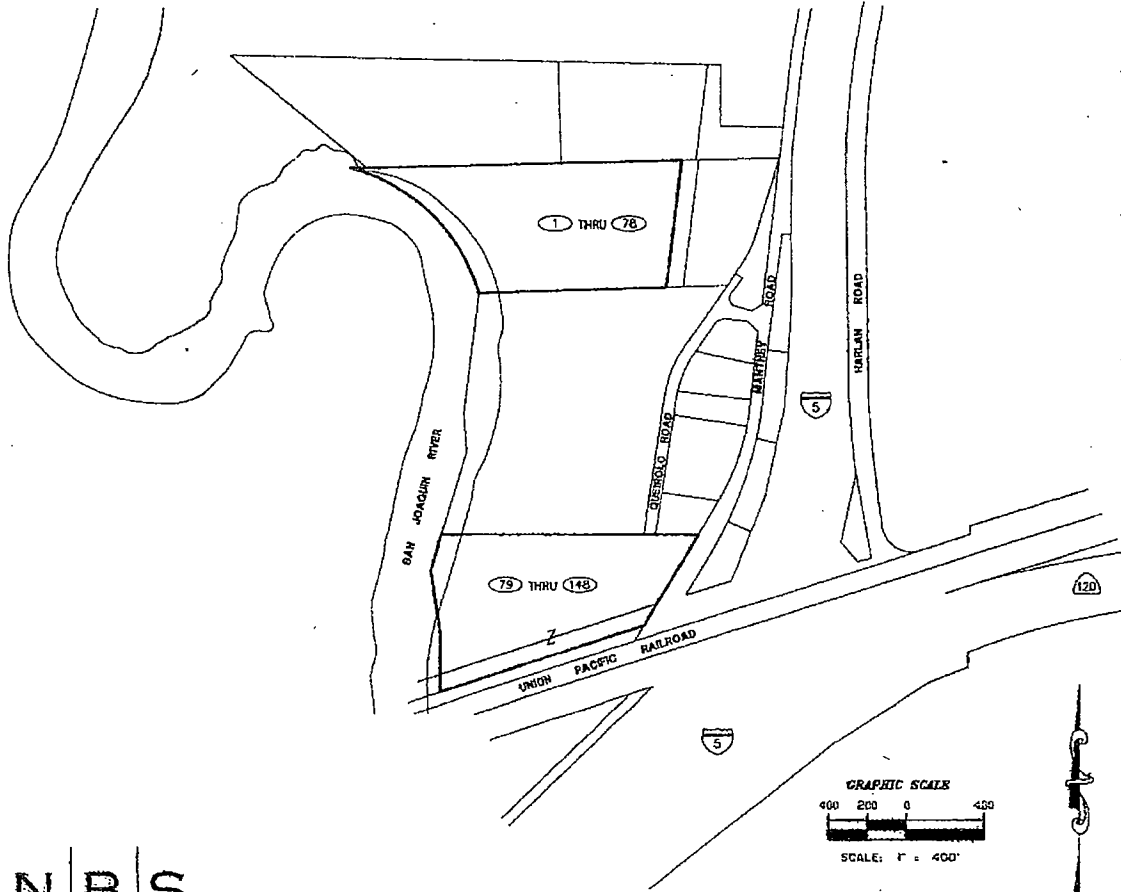
DOC # 2004-132743  
20040616 09:00:00  
COUNTY OF SAN JOAQUIN  
RECORDED IN THE OFFICE OF THE COUNTY RECORDER  
COUNTY OF SAN JOAQUIN  
STATE OF CALIFORNIA

**LEGEND**  
 ASSESSMENT DISTRICT BOUNDARY  
 PARCEL LINE  
 ASSESSOR'S PARCEL IDENTIFICATION

5-151

# ANNEXATION DIAGRAM MOSSDALE LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT ANNEXATION NO. 1, ZONE 2 (MOSSDALE LANDING SOUTH)

CITY OF LATHROP  
COUNTY OF SAN JOAQUIN  
STATE OF CALIFORNIA



FILED IN THE OFFICE OF THE CITY CLERK OF THE CITY OF LATHROP  
THIS 17<sup>th</sup> DAY OF December, 2006  
 \_\_\_\_\_  
 CITY CLERK  
 CITY OF LATHROP  
 SAN JOAQUIN COUNTY, CALIFORNIA

I HEREBY CERTIFY THAT THE WITHIN MAP SHOWING THE BOUNDARIES OF THE ANNEXATION OF TERRITORY INTO MOSSDALE LANDSCAPE MAINTENANCE DISTRICT, CITY OF LATHROP, COUNTY OF SAN JOAQUIN, STATE OF CALIFORNIA, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF LATHROP AT A REGULAR MEETING THEREOF, HELD ON THE 21<sup>st</sup> DAY OF December, 2006, BY ITS RESOLUTION NO. 06-2314.

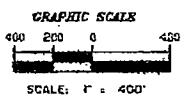
\_\_\_\_\_  
 CITY CLERK  
 CITY OF LATHROP  
 SAN JOAQUIN COUNTY, CALIFORNIA

FILED THIS 9 DAY OF January, 2007, AT THE HOUR OF 2:30 O'CLOCK P.M., IN BOOK 5 AT PAGE 18 OF MAPS OF ASSESSMENT DISTRICTS IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF SAN JOAQUIN, STATE OF CALIFORNIA.

Gary W. Freedman by Christina Moreno  
 DEPUTY  
 COUNTY RECORDER  
 COUNTY OF SAN JOAQUIN

NOTE: FOR A DETAILED DESCRIPTION OF THE LINES AND DIMENSIONS OF EACH PARCEL WITHIN THE DISTRICT REFER TO THE COUNTY OF SAN JOAQUIN ASSESSOR'S MAPS.

**LEGEND**  
 ——— ASSESSMENT DISTRICT BOUNDARY  
 ——— PARCEL LINES  
 (117) ASSESSMENT NUMBER



DOC # 2007-008577  
 01/08/2007 02:200 Fee:10.00  
 Page 1 of 2  
 Recorded in Official Records  
 County of San Joaquin  
 GARY W. FREEDMAN  
 Deputee Recorder - County Clerk  
 Paid by Assessor or Document

**N | B | S**  
 380 Agency 78 S.A. 5th Fl. 12  
 Torrance, CA 90501  
 Local Government Solutions

5-151

5-151A

SHEET 2 OF 2

ANNEXATION DIAGRAM  
MOSSDALE LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT  
ANNEXATION NO. 1, ZONE 2 (MOSSDALE LANDING SOUTH)

CITY OF LATHROP  
COUNTY OF SAN JOAQUIN  
STATE OF CALIFORNIA

Assessment ID	Assessor's Parcel Number
1	POR. OF 241-020-56
2	POR. OF 241-020-56
3	POR. OF 241-020-56
4	POR. OF 241-020-56
5	POR. OF 241-020-56
6	POR. OF 241-020-56
7	POR. OF 241-020-56
8	POR. OF 241-020-56
9	POR. OF 241-020-56
10	POR. OF 241-020-56
11	POR. OF 241-020-56
12	POR. OF 241-020-56
13	POR. OF 241-020-56
14	POR. OF 241-020-56
15	POR. OF 241-020-56
16	POR. OF 241-020-56
17	POR. OF 241-020-56
18	POR. OF 241-020-56
19	POR. OF 241-020-56
20	POR. OF 241-020-56
21	POR. OF 241-020-56
22	POR. OF 241-020-56
23	POR. OF 241-020-56
24	POR. OF 241-020-56
25	POR. OF 241-020-56
26	POR. OF 241-020-56
27	POR. OF 241-020-56
28	POR. OF 241-020-56
29	POR. OF 241-020-56
30	POR. OF 241-020-56
31	POR. OF 241-020-56
32	POR. OF 241-020-56
33	POR. OF 241-020-56
34	POR. OF 241-020-56
35	POR. OF 241-020-56
36	POR. OF 241-020-56
37	POR. OF 241-020-56
38	POR. OF 241-020-56
39	POR. OF 241-020-56
40	POR. OF 241-020-56
41	POR. OF 241-020-56
42	POR. OF 241-020-56
43	POR. OF 241-020-56
44	POR. OF 241-020-56
45	POR. OF 241-020-56
46	POR. OF 241-020-56
47	POR. OF 241-020-56
48	POR. OF 241-020-56
49	POR. OF 241-020-56
50	POR. OF 241-020-56

Assessment ID	Assessor's Parcel Number
51	POR. OF 241-020-56
52	POR. OF 241-020-56
53	POR. OF 241-020-56
54	POR. OF 241-020-56
55	POR. OF 241-020-56
56	POR. OF 241-020-56
57	POR. OF 241-020-56
58	POR. OF 241-020-56
59	POR. OF 241-020-56
60	POR. OF 241-020-56
61	POR. OF 241-020-56
62	POR. OF 241-020-56
63	POR. OF 241-020-56
64	POR. OF 241-020-56
65	POR. OF 241-020-56
66	POR. OF 241-020-56
67	POR. OF 241-020-56
68	POR. OF 241-020-56
69	POR. OF 241-020-56
70	POR. OF 241-020-56
71	POR. OF 241-020-56
72	POR. OF 241-020-56
73	POR. OF 241-020-56
74	POR. OF 241-020-56
75	POR. OF 241-020-56
76	POR. OF 241-020-56
77	POR. OF 241-020-56
78	POR. OF 241-020-56
79	POR. OF 241-020-33233
80	POR. OF 241-020-33233
81	POR. OF 241-020-33233
82	POR. OF 241-020-33233
83	POR. OF 241-020-33233
84	POR. OF 241-020-33233
85	POR. OF 241-020-33233
86	POR. OF 241-020-33233
87	POR. OF 241-020-33233
88	POR. OF 241-020-33233
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92	POR. OF 241-020-33233
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94	POR. OF 241-020-33233
95	POR. OF 241-020-33233
96	POR. OF 241-020-33233
97	POR. OF 241-020-33233
98	POR. OF 241-020-33233
99	POR. OF 241-020-33233
100	POR. OF 241-020-33233

Assessment ID	Assessor's Parcel Number
101	POR. OF 241-020-56
102	POR. OF 241-020-56
103	POR. OF 241-020-56
104	POR. OF 241-020-56
105	POR. OF 241-020-56
106	POR. OF 241-020-56
107	POR. OF 241-020-56
108	POR. OF 241-020-56
109	POR. OF 241-020-56
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112	POR. OF 241-020-56
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120	POR. OF 241-020-56
121	POR. OF 241-020-56
122	POR. OF 241-020-56
123	POR. OF 241-020-56
124	POR. OF 241-020-56
125	POR. OF 241-020-56
126	POR. OF 241-020-56
127	POR. OF 241-020-56
128	POR. OF 241-020-56
129	POR. OF 241-020-56
130	POR. OF 241-020-56
131	POR. OF 241-020-56
132	POR. OF 241-020-56
133	POR. OF 241-020-56
134	POR. OF 241-020-56
135	POR. OF 241-020-56
136	POR. OF 241-020-56
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138	POR. OF 241-020-56
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140	POR. OF 241-020-56
141	POR. OF 241-020-56
142	POR. OF 241-020-56
143	POR. OF 241-020-56
144	POR. OF 241-020-56
145	POR. OF 241-020-56
146	POR. OF 241-020-56
147	POR. OF 241-020-56
148	POR. OF 241-020-56
149	POR. OF 241-020-56
150	POR. OF 241-020-56



NBS  
2625 Highway 78 South, Ste 100  
Lathrop, CA 95257  
Local Government Solutions

5-151A

## 6. PARCEL LISTING

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The parcel listing of assessments is provided on the following pages. The description of each lot or parcel is a part of the records of the County Assessor and is incorporated by reference and made part of this Report.

**CITY OF LATHROP**  
**MOSSDALE LANDSCAPING AND LIGHTING DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-360-010-000	SFR	1	1.0	284.38	276.10
1	191-360-020-000	SFR	1	1.0	284.38	276.10
1	191-360-030-000	SFR	1	1.0	284.38	276.10
1	191-360-040-000	SFR	1	1.0	284.38	276.10
1	191-360-050-000	SFR	1	1.0	284.38	276.10
1	191-360-060-000	SFR	1	1.0	284.38	276.10
1	191-360-070-000	SFR	1	1.0	284.38	276.10
1	191-360-080-000	SFR	1	1.0	284.38	276.10
1	191-360-090-000	SFR	1	1.0	284.38	276.10
1	191-360-100-000	SFR	1	1.0	284.38	276.10
1	191-360-110-000	SFR	1	1.0	284.38	276.10
1	191-360-120-000	SFR	1	1.0	284.38	276.10
1	191-360-130-000	SFR	1	1.0	284.38	276.10
1	191-360-140-000	SFR	1	1.0	284.38	276.10
1	191-360-150-000	SFR	1	1.0	284.38	276.10
1	191-360-160-000	SFR	1	1.0	284.38	276.10
1	191-360-170-000	SFR	1	1.0	284.38	276.10
1	191-360-180-000	SFR	1	1.0	284.38	276.10
1	191-360-190-000	SFR	1	1.0	284.38	276.10
1	191-360-200-000	SFR	1	1.0	284.38	276.10
1	191-360-210-000	SFR	1	1.0	284.38	276.10
1	191-360-220-000	SFR	1	1.0	284.38	276.10
1	191-360-230-000	SFR	1	1.0	284.38	276.10
1	191-360-240-000	SFR	1	1.0	284.38	276.10
1	191-360-250-000	SFR	1	1.0	284.38	276.10
1	191-360-260-000	SFR	1	1.0	284.38	276.10
1	191-360-270-000	SFR	1	1.0	284.38	276.10
1	191-360-280-000	SFR	1	1.0	284.38	276.10
1	191-360-290-000	SFR	1	1.0	284.38	276.10
1	191-360-300-000	SFR	1	1.0	284.38	276.10
1	191-360-310-000	SFR	1	1.0	284.38	276.10
1	191-360-320-000	SFR	1	1.0	284.38	276.10
1	191-360-330-000	SFR	1	1.0	284.38	276.10
1	191-360-340-000	SFR	1	1.0	284.38	276.10
1	191-360-350-000	SFR	1	1.0	284.38	276.10
1	191-360-360-000	SFR	1	1.0	284.38	276.10
1	191-360-370-000	SFR	1	1.0	284.38	276.10
1	191-360-380-000	SFR	1	1.0	284.38	276.10
1	191-360-390-000	SFR	1	1.0	284.38	276.10
1	191-360-400-000	SFR	1	1.0	284.38	276.10
1	191-360-410-000	SFR	1	1.0	284.38	276.10
1	191-360-420-000	SFR	1	1.0	284.38	276.10
1	191-360-430-000	SFR	1	1.0	284.38	276.10
1	191-360-440-000	SFR	1	1.0	284.38	276.10
1	191-360-450-000	SFR	1	1.0	284.38	276.10
1	191-360-460-000	SFR	1	1.0	284.38	276.10
1	191-360-470-000	SFR	1	1.0	284.38	276.10
1	191-360-480-000	SFR	1	1.0	284.38	276.10

**CITY OF LATHROP**  
**MOSSDALE LANDSCAPING AND LIGHTING DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-360-490-000	SFR	1	1.0	284.38	276.10
1	191-360-500-000	SFR	1	1.0	284.38	276.10
1	191-360-510-000	SFR	1	1.0	284.38	276.10
1	191-360-520-000	SFR	1	1.0	284.38	276.10
1	191-360-530-000	SFR	1	1.0	284.38	276.10
1	191-360-540-000	SFR	1	1.0	284.38	276.10
1	191-360-550-000	SFR	1	1.0	284.38	276.10
1	191-360-560-000	SFR	1	1.0	284.38	276.10
1	191-360-570-000	SFR	1	1.0	284.38	276.10
1	191-360-580-000	SFR	1	1.0	284.38	276.10
1	191-360-590-000	SFR	1	1.0	284.38	276.10
1	191-360-600-000	SFR	1	1.0	284.38	276.10
1	191-360-610-000	SFR	1	1.0	284.38	276.10
1	191-360-620-000	SFR	1	1.0	284.38	276.10
1	191-360-630-000	SFR	1	1.0	284.38	276.10
1	191-360-640-000	SFR	1	1.0	284.38	276.10
1	191-360-650-000	SFR	1	1.0	284.38	276.10
1	191-360-660-000	SFR	1	1.0	284.38	276.10
1	191-360-670-000	SFR	1	1.0	284.38	276.10
1	191-370-010-000	SFR	1	1.0	284.38	276.10
1	191-370-020-000	SFR	1	1.0	284.38	276.10
1	191-370-030-000	SFR	1	1.0	284.38	276.10
1	191-370-040-000	SFR	1	1.0	284.38	276.10
1	191-370-050-000	SFR	1	1.0	284.38	276.10
1	191-370-060-000	SFR	1	1.0	284.38	276.10
1	191-370-070-000	SFR	1	1.0	284.38	276.10
1	191-370-080-000	SFR	1	1.0	284.38	276.10
1	191-370-090-000	SFR	1	1.0	284.38	276.10
1	191-370-100-000	SFR	1	1.0	284.38	276.10
1	191-370-110-000	SFR	1	1.0	284.38	276.10
1	191-370-120-000	SFR	1	1.0	284.38	276.10
1	191-370-130-000	SFR	1	1.0	284.38	276.10
1	191-370-140-000	SFR	1	1.0	284.38	276.10
1	191-370-150-000	SFR	1	1.0	284.38	276.10
1	191-370-160-000	SFR	1	1.0	284.38	276.10
1	191-370-170-000	SFR	1	1.0	284.38	276.10
1	191-370-180-000	SFR	1	1.0	284.38	276.10
1	191-370-190-000	SFR	1	1.0	284.38	276.10
1	191-370-200-000	SFR	1	1.0	284.38	276.10
1	191-370-210-000	SFR	1	1.0	284.38	276.10
1	191-370-220-000	SFR	1	1.0	284.38	276.10
1	191-370-230-000	SFR	1	1.0	284.38	276.10
1	191-370-240-000	SFR	1	1.0	284.38	276.10
1	191-370-250-000	SFR	1	1.0	284.38	276.10
1	191-370-260-000	SFR	1	1.0	284.38	276.10
1	191-370-270-000	SFR	1	1.0	284.38	276.10
1	191-370-280-000	SFR	1	1.0	284.38	276.10
1	191-370-290-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-370-300-000	SFR	1	1.0	284.38	276.10
1	191-370-310-000	SFR	1	1.0	284.38	276.10
1	191-370-320-000	SFR	1	1.0	284.38	276.10
1	191-370-330-000	SFR	1	1.0	284.38	276.10
1	191-370-340-000	SFR	1	1.0	284.38	276.10
1	191-370-350-000	SFR	1	1.0	284.38	276.10
1	191-370-360-000	SFR	1	1.0	284.38	276.10
1	191-370-370-000	SFR	1	1.0	284.38	276.10
1	191-370-380-000	SFR	1	1.0	284.38	276.10
1	191-370-390-000	SFR	1	1.0	284.38	276.10
1	191-370-400-000	SFR	1	1.0	284.38	276.10
1	191-370-410-000	SFR	1	1.0	284.38	276.10
1	191-370-420-000	SFR	1	1.0	284.38	276.10
1	191-370-430-000	SFR	1	1.0	284.38	276.10
1	191-370-440-000	SFR	1	1.0	284.38	276.10
1	191-370-450-000	SFR	1	1.0	284.38	276.10
1	191-370-460-000	SFR	1	1.0	284.38	276.10
1	191-370-470-000	SFR	1	1.0	284.38	276.10
1	191-370-480-000	SFR	1	1.0	284.38	276.10
1	191-370-490-000	SFR	1	1.0	284.38	276.10
1	191-370-500-000	SFR	1	1.0	284.38	276.10
1	191-370-510-000	SFR	1	1.0	284.38	276.10
1	191-370-520-000	SFR	1	1.0	284.38	276.10
1	191-370-530-000	SFR	1	1.0	284.38	276.10
1	191-370-540-000	SFR	1	1.0	284.38	276.10
1	191-370-550-000	SFR	1	1.0	284.38	276.10
1	191-370-560-000	SFR	1	1.0	284.38	276.10
1	191-370-570-000	SFR	1	1.0	284.38	276.10
1	191-370-580-000	SFR	1	1.0	284.38	276.10
1	191-370-590-000	SFR	1	1.0	284.38	276.10
1	191-370-600-000	SFR	1	1.0	284.38	276.10
1	191-370-610-000	SFR	1	1.0	284.38	276.10
1	191-370-620-000	SFR	1	1.0	284.38	276.10
1	191-370-630-000	SFR	1	1.0	284.38	276.10
1	191-370-640-000	SFR	1	1.0	284.38	276.10
1	191-370-650-000	SFR	1	1.0	284.38	276.10
1	191-370-660-000	SFR	1	1.0	284.38	276.10
1	191-370-670-000	SFR	1	1.0	284.38	276.10
1	191-370-680-000	SFR	1	1.0	284.38	276.10
1	191-370-690-000	SFR	1	1.0	284.38	276.10
1	191-370-700-000	SFR	1	1.0	284.38	276.10
1	191-380-010-000	SFR	1	1.0	284.38	276.10
1	191-380-020-000	SFR	1	1.0	284.38	276.10
1	191-380-030-000	SFR	1	1.0	284.38	276.10
1	191-380-040-000	SFR	1	1.0	284.38	276.10
1	191-380-050-000	SFR	1	1.0	284.38	276.10
1	191-380-060-000	SFR	1	1.0	284.38	276.10
1	191-380-070-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-380-080-000	SFR	1	1.0	284.38	276.10
1	191-380-090-000	SFR	1	1.0	284.38	276.10
1	191-380-100-000	SFR	1	1.0	284.38	276.10
1	191-380-110-000	SFR	1	1.0	284.38	276.10
1	191-380-120-000	SFR	1	1.0	284.38	276.10
1	191-380-130-000	SFR	1	1.0	284.38	276.10
1	191-380-140-000	SFR	1	1.0	284.38	276.10
1	191-380-150-000	SFR	1	1.0	284.38	276.10
1	191-380-160-000	SFR	1	1.0	284.38	276.10
1	191-380-170-000	SFR	1	1.0	284.38	276.10
1	191-380-180-000	SFR	1	1.0	284.38	276.10
1	191-380-190-000	SFR	1	1.0	284.38	276.10
1	191-380-200-000	SFR	1	1.0	284.38	276.10
1	191-380-210-000	SFR	1	1.0	284.38	276.10
1	191-380-220-000	SFR	1	1.0	284.38	276.10
1	191-380-230-000	SFR	1	1.0	284.38	276.10
1	191-380-240-000	SFR	1	1.0	284.38	276.10
1	191-380-250-000	SFR	1	1.0	284.38	276.10
1	191-380-260-000	SFR	1	1.0	284.38	276.10
1	191-380-270-000	SFR	1	1.0	284.38	276.10
1	191-380-280-000	SFR	1	1.0	284.38	276.10
1	191-380-290-000	SFR	1	1.0	284.38	276.10
1	191-380-300-000	SFR	1	1.0	284.38	276.10
1	191-380-310-000	SFR	1	1.0	284.38	276.10
1	191-380-320-000	SFR	1	1.0	284.38	276.10
1	191-380-330-000	SFR	1	1.0	284.38	276.10
1	191-380-340-000	SFR	1	1.0	284.38	276.10
1	191-380-350-000	SFR	1	1.0	284.38	276.10
1	191-380-360-000	SFR	1	1.0	284.38	276.10
1	191-380-370-000	SFR	1	1.0	284.38	276.10
1	191-380-380-000	SFR	1	1.0	284.38	276.10
1	191-380-390-000	SFR	1	1.0	284.38	276.10
1	191-380-400-000	SFR	1	1.0	284.38	276.10
1	191-380-410-000	SFR	1	1.0	284.38	276.10
1	191-380-420-000	SFR	1	1.0	284.38	276.10
1	191-380-430-000	SFR	1	1.0	284.38	276.10
1	191-380-440-000	SFR	1	1.0	284.38	276.10
1	191-380-450-000	SFR	1	1.0	284.38	276.10
1	191-380-460-000	SFR	1	1.0	284.38	276.10
1	191-380-470-000	SFR	1	1.0	284.38	276.10
1	191-380-480-000	SFR	1	1.0	284.38	276.10
1	191-380-490-000	SFR	1	1.0	284.38	276.10
1	191-380-500-000	SFR	1	1.0	284.38	276.10
1	191-380-510-000	SFR	1	1.0	284.38	276.10
1	191-380-520-000	SFR	1	1.0	284.38	276.10
1	191-380-530-000	SFR	1	1.0	284.38	276.10
1	191-380-540-000	SFR	1	1.0	284.38	276.10
1	191-380-550-000	SFR	1	1.0	284.38	276.10



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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-380-560-000	SFR	1	1.0	284.38	276.10
1	191-380-570-000	SFR	1	1.0	284.38	276.10
1	191-380-580-000	SFR	1	1.0	284.38	276.10
1	191-380-590-000	SFR	1	1.0	284.38	276.10
1	191-380-600-000	SFR	1	1.0	284.38	276.10
1	191-380-610-000	SFR	1	1.0	284.38	276.10
1	191-380-620-000	SFR	1	1.0	284.38	276.10
1	191-380-630-000	SFR	1	1.0	284.38	276.10
1	191-380-640-000	SFR	1	1.0	284.38	276.10
1	191-380-650-000	SFR	1	1.0	284.38	276.10
1	191-380-660-000	SFR	1	1.0	284.38	276.10
1	191-390-010-000	SFR	1	1.0	284.38	276.10
1	191-390-020-000	SFR	1	1.0	284.38	276.10
1	191-390-030-000	SFR	1	1.0	284.38	276.10
1	191-390-040-000	SFR	1	1.0	284.38	276.10
1	191-390-050-000	SFR	1	1.0	284.38	276.10
1	191-390-060-000	SFR	1	1.0	284.38	276.10
1	191-390-070-000	SFR	1	1.0	284.38	276.10
1	191-390-080-000	SFR	1	1.0	284.38	276.10
1	191-390-090-000	SFR	1	1.0	284.38	276.10
1	191-390-100-000	SFR	1	1.0	284.38	276.10
1	191-390-110-000	SFR	1	1.0	284.38	276.10
1	191-390-120-000	SFR	1	1.0	284.38	276.10
1	191-390-130-000	SFR	1	1.0	284.38	276.10
1	191-390-140-000	SFR	1	1.0	284.38	276.10
1	191-390-150-000	SFR	1	1.0	284.38	276.10
1	191-390-160-000	SFR	1	1.0	284.38	276.10
1	191-390-170-000	SFR	1	1.0	284.38	276.10
1	191-390-180-000	SFR	1	1.0	284.38	276.10
1	191-390-190-000	SFR	1	1.0	284.38	276.10
1	191-390-200-000	SFR	1	1.0	284.38	276.10
1	191-390-210-000	SFR	1	1.0	284.38	276.10
1	191-390-220-000	SFR	1	1.0	284.38	276.10
1	191-390-230-000	SFR	1	1.0	284.38	276.10
1	191-390-250-000	SFR	1	1.0	284.38	276.10
1	191-390-260-000	SFR	1	1.0	284.38	276.10
1	191-390-270-000	SFR	1	1.0	284.38	276.10
1	191-390-280-000	SFR	1	1.0	284.38	276.10
1	191-390-290-000	SFR	1	1.0	284.38	276.10
1	191-390-300-000	SFR	1	1.0	284.38	276.10
1	191-390-310-000	SFR	1	1.0	284.38	276.10
1	191-390-320-000	SFR	1	1.0	284.38	276.10
1	191-390-330-000	SFR	1	1.0	284.38	276.10
1	191-390-340-000	SFR	1	1.0	284.38	276.10
1	191-390-350-000	SFR	1	1.0	284.38	276.10
1	191-390-360-000	SFR	1	1.0	284.38	276.10
1	191-390-370-000	SFR	1	1.0	284.38	276.10
1	191-390-380-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-390-390-000	SFR	1	1.0	284.38	276.10
1	191-390-400-000	SFR	1	1.0	284.38	276.10
1	191-390-410-000	SFR	1	1.0	284.38	276.10
1	191-390-420-000	SFR	1	1.0	284.38	276.10
1	191-390-430-000	SFR	1	1.0	284.38	276.10
1	191-390-440-000	SFR	1	1.0	284.38	276.10
1	191-390-450-000	SFR	1	1.0	284.38	276.10
1	191-390-460-000	SFR	1	1.0	284.38	276.10
1	191-390-470-000	SFR	1	1.0	284.38	276.10
1	191-390-480-000	SFR	1	1.0	284.38	276.10
1	191-390-490-000	SFR	1	1.0	284.38	276.10
1	191-390-500-000	SFR	1	1.0	284.38	276.10
1	191-390-510-000	SFR	1	1.0	284.38	276.10
1	191-390-520-000	SFR	1	1.0	284.38	276.10
1	191-390-530-000	SFR	1	1.0	284.38	276.10
1	191-390-540-000	SFR	1	1.0	284.38	276.10
1	191-390-550-000	SFR	1	1.0	284.38	276.10
1	191-390-560-000	SFR	1	1.0	284.38	276.10
1	191-390-570-000	SFR	1	1.0	284.38	276.10
1	191-390-580-000	SFR	1	1.0	284.38	276.10
1	191-390-590-000	SFR	1	1.0	284.38	276.10
1	191-390-600-000	SFR	1	1.0	284.38	276.10
1	191-390-610-000	SFR	1	1.0	284.38	276.10
1	191-390-620-000	SFR	1	1.0	284.38	276.10
1	191-390-630-000	SFR	1	1.0	284.38	276.10
1	191-390-640-000	SFR	1	1.0	284.38	276.10
1	191-390-650-000	SFR	1	1.0	284.38	276.10
1	191-390-660-000	SFR	1	1.0	284.38	276.10
1	191-390-670-000	SFR	1	1.0	284.38	276.10
1	191-400-010-000	SFR	1	1.0	284.38	276.10
1	191-400-020-000	SFR	1	1.0	284.38	276.10
1	191-400-030-000	SFR	1	1.0	284.38	276.10
1	191-400-040-000	SFR	1	1.0	284.38	276.10
1	191-400-050-000	SFR	1	1.0	284.38	276.10
1	191-400-060-000	SFR	1	1.0	284.38	276.10
1	191-400-070-000	SFR	1	1.0	284.38	276.10
1	191-400-080-000	SFR	1	1.0	284.38	276.10
1	191-400-090-000	SFR	1	1.0	284.38	276.10
1	191-400-100-000	SFR	1	1.0	284.38	276.10
1	191-400-110-000	SFR	1	1.0	284.38	276.10
1	191-400-120-000	SFR	1	1.0	284.38	276.10
1	191-400-130-000	SFR	1	1.0	284.38	276.10
1	191-400-140-000	SFR	1	1.0	284.38	276.10
1	191-400-150-000	SFR	1	1.0	284.38	276.10
1	191-400-160-000	SFR	1	1.0	284.38	276.10
1	191-400-170-000	SFR	1	1.0	284.38	276.10
1	191-400-180-000	SFR	1	1.0	284.38	276.10
1	191-400-190-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-400-200-000	SFR	1	1.0	284.38	276.10
1	191-400-210-000	SFR	1	1.0	284.38	276.10
1	191-400-220-000	SFR	1	1.0	284.38	276.10
1	191-400-230-000	SFR	1	1.0	284.38	276.10
1	191-400-240-000	SFR	1	1.0	284.38	276.10
1	191-400-250-000	SFR	1	1.0	284.38	276.10
1	191-400-260-000	SFR	1	1.0	284.38	276.10
1	191-400-270-000	SFR	1	1.0	284.38	276.10
1	191-400-280-000	SFR	1	1.0	284.38	276.10
1	191-400-290-000	SFR	1	1.0	284.38	276.10
1	191-400-300-000	SFR	1	1.0	284.38	276.10
1	191-400-310-000	SFR	1	1.0	284.38	276.10
1	191-400-320-000	SFR	1	1.0	284.38	276.10
1	191-400-330-000	SFR	1	1.0	284.38	276.10
1	191-400-340-000	SFR	1	1.0	284.38	276.10
1	191-400-350-000	SFR	1	1.0	284.38	276.10
1	191-400-360-000	SFR	1	1.0	284.38	276.10
1	191-400-370-000	SFR	1	1.0	284.38	276.10
1	191-400-380-000	SFR	1	1.0	284.38	276.10
1	191-400-390-000	SFR	1	1.0	284.38	276.10
1	191-400-400-000	SFR	1	1.0	284.38	276.10
1	191-400-410-000	SFR	1	1.0	284.38	276.10
1	191-400-420-000	SFR	1	1.0	284.38	276.10
1	191-400-430-000	SFR	1	1.0	284.38	276.10
1	191-400-440-000	SFR	1	1.0	284.38	276.10
1	191-400-450-000	SFR	1	1.0	284.38	276.10
1	191-400-460-000	SFR	1	1.0	284.38	276.10
1	191-400-470-000	SFR	1	1.0	284.38	276.10
1	191-400-480-000	SFR	1	1.0	284.38	276.10
1	191-400-490-000	SFR	1	1.0	284.38	276.10
1	191-400-500-000	SFR	1	1.0	284.38	276.10
1	191-400-510-000	SFR	1	1.0	284.38	276.10
1	191-400-520-000	SFR	1	1.0	284.38	276.10
1	191-400-530-000	SFR	1	1.0	284.38	276.10
1	191-400-540-000	SFR	1	1.0	284.38	276.10
1	191-400-550-000	SFR	1	1.0	284.38	276.10
1	191-400-560-000	SFR	1	1.0	284.38	276.10
1	191-400-570-000	SFR	1	1.0	284.38	276.10
1	191-410-010-000	SFR	1	1.0	284.38	276.10
1	191-410-020-000	SFR	1	1.0	284.38	276.10
1	191-410-030-000	SFR	1	1.0	284.38	276.10
1	191-410-040-000	SFR	1	1.0	284.38	276.10
1	191-410-050-000	SFR	1	1.0	284.38	276.10
1	191-410-060-000	SFR	1	1.0	284.38	276.10
1	191-410-070-000	SFR	1	1.0	284.38	276.10
1	191-410-080-000	SFR	1	1.0	284.38	276.10
1	191-410-090-000	SFR	1	1.0	284.38	276.10
1	191-410-100-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-410-110-000	SFR	1	1.0	284.38	276.10
1	191-410-120-000	SFR	1	1.0	284.38	276.10
1	191-410-130-000	SFR	1	1.0	284.38	276.10
1	191-410-140-000	SFR	1	1.0	284.38	276.10
1	191-410-150-000	SFR	1	1.0	284.38	276.10
1	191-410-160-000	SFR	1	1.0	284.38	276.10
1	191-410-170-000	SFR	1	1.0	284.38	276.10
1	191-410-180-000	SFR	1	1.0	284.38	276.10
1	191-410-190-000	SFR	1	1.0	284.38	276.10
1	191-410-200-000	SFR	1	1.0	284.38	276.10
1	191-410-210-000	SFR	1	1.0	284.38	276.10
1	191-410-220-000	SFR	1	1.0	284.38	276.10
1	191-410-230-000	SFR	1	1.0	284.38	276.10
1	191-410-240-000	SFR	1	1.0	284.38	276.10
1	191-410-250-000	SFR	1	1.0	284.38	276.10
1	191-410-260-000	SFR	1	1.0	284.38	276.10
1	191-410-270-000	SFR	1	1.0	284.38	276.10
1	191-410-280-000	SFR	1	1.0	284.38	276.10
1	191-410-290-000	SFR	1	1.0	284.38	276.10
1	191-410-300-000	SFR	1	1.0	284.38	276.10
1	191-410-310-000	SFR	1	1.0	284.38	276.10
1	191-410-320-000	SFR	1	1.0	284.38	276.10
1	191-410-330-000	SFR	1	1.0	284.38	276.10
1	191-410-340-000	SFR	1	1.0	284.38	276.10
1	191-410-350-000	SFR	1	1.0	284.38	276.10
1	191-410-360-000	SFR	1	1.0	284.38	276.10
1	191-410-370-000	SFR	1	1.0	284.38	276.10
1	191-410-380-000	SFR	1	1.0	284.38	276.10
1	191-410-390-000	SFR	1	1.0	284.38	276.10
1	191-410-400-000	SFR	1	1.0	284.38	276.10
1	191-410-410-000	SFR	1	1.0	284.38	276.10
1	191-410-420-000	SFR	1	1.0	284.38	276.10
1	191-410-430-000	SFR	1	1.0	284.38	276.10
1	191-410-440-000	SFR	1	1.0	284.38	276.10
1	191-410-450-000	SFR	1	1.0	284.38	276.10
1	191-410-460-000	SFR	1	1.0	284.38	276.10
1	191-410-470-000	SFR	1	1.0	284.38	276.10
1	191-410-480-000	SFR	1	1.0	284.38	276.10
1	191-410-490-000	SFR	1	1.0	284.38	276.10
1	191-410-500-000	SFR	1	1.0	284.38	276.10
1	191-410-510-000	SFR	1	1.0	284.38	276.10
1	191-410-520-000	SFR	1	1.0	284.38	276.10
1	191-410-530-000	SFR	1	1.0	284.38	276.10
1	191-420-010-000	SFR	1	1.0	284.38	276.10
1	191-420-020-000	SFR	1	1.0	284.38	276.10
1	191-420-030-000	SFR	1	1.0	284.38	276.10
1	191-420-040-000	SFR	1	1.0	284.38	276.10
1	191-420-050-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-420-060-000	SFR	1	1.0	284.38	276.10
1	191-420-070-000	SFR	1	1.0	284.38	276.10
1	191-420-080-000	SFR	1	1.0	284.38	276.10
1	191-420-090-000	SFR	1	1.0	284.38	276.10
1	191-420-100-000	SFR	1	1.0	284.38	276.10
1	191-420-110-000	SFR	1	1.0	284.38	276.10
1	191-420-120-000	SFR	1	1.0	284.38	276.10
1	191-420-130-000	SFR	1	1.0	284.38	276.10
1	191-420-140-000	SFR	1	1.0	284.38	276.10
1	191-420-150-000	SFR	1	1.0	284.38	276.10
1	191-420-160-000	SFR	1	1.0	284.38	276.10
1	191-420-170-000	SFR	1	1.0	284.38	276.10
1	191-420-180-000	SFR	1	1.0	284.38	276.10
1	191-420-190-000	SFR	1	1.0	284.38	276.10
1	191-420-200-000	SFR	1	1.0	284.38	276.10
1	191-420-210-000	SFR	1	1.0	284.38	276.10
1	191-420-220-000	SFR	1	1.0	284.38	276.10
1	191-420-230-000	SFR	1	1.0	284.38	276.10
1	191-420-240-000	SFR	1	1.0	284.38	276.10
1	191-420-250-000	SFR	1	1.0	284.38	276.10
1	191-420-260-000	SFR	1	1.0	284.38	276.10
1	191-420-270-000	SFR	1	1.0	284.38	276.10
1	191-420-280-000	SFR	1	1.0	284.38	276.10
1	191-420-290-000	SFR	1	1.0	284.38	276.10
1	191-420-300-000	SFR	1	1.0	284.38	276.10
1	191-420-310-000	SFR	1	1.0	284.38	276.10
1	191-420-320-000	SFR	1	1.0	284.38	276.10
1	191-420-330-000	SFR	1	1.0	284.38	276.10
1	191-420-340-000	SFR	1	1.0	284.38	276.10
1	191-420-350-000	SFR	1	1.0	284.38	276.10
1	191-420-360-000	SFR	1	1.0	284.38	276.10
1	191-420-370-000	SFR	1	1.0	284.38	276.10
1	191-420-380-000	SFR	1	1.0	284.38	276.10
1	191-420-390-000	SFR	1	1.0	284.38	276.10
1	191-420-400-000	SFR	1	1.0	284.38	276.10
1	191-420-410-000	SFR	1	1.0	284.38	276.10
1	191-420-420-000	SFR	1	1.0	284.38	276.10
1	191-420-430-000	SFR	1	1.0	284.38	276.10
1	191-420-440-000	SFR	1	1.0	284.38	276.10
1	191-420-450-000	SFR	1	1.0	284.38	276.10
1	191-420-460-000	SFR	1	1.0	284.38	276.10
1	191-420-470-000	SFR	1	1.0	284.38	276.10
1	191-420-480-000	SFR	1	1.0	284.38	276.10
1	191-420-490-000	SFR	1	1.0	284.38	276.10
1	191-420-500-000	SFR	1	1.0	284.38	276.10
1	191-420-510-000	SFR	1	1.0	284.38	276.10
1	191-420-520-000	SFR	1	1.0	284.38	276.10
1	191-420-530-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-420-540-000	SFR	1	1.0	284.38	276.10
1	191-420-550-000	SFR	1	1.0	284.38	276.10
1	191-420-560-000	SFR	1	1.0	284.38	276.10
1	191-420-570-000	SFR	1	1.0	284.38	276.10
1	191-420-580-000	SFR	1	1.0	284.38	276.10
1	191-420-590-000	SFR	1	1.0	284.38	276.10
1	191-420-600-000	SFR	1	1.0	284.38	276.10
1	191-420-610-000	SFR	1	1.0	284.38	276.10
1	191-420-620-000	SFR	1	1.0	284.38	276.10
1	191-420-630-000	SFR	1	1.0	284.38	276.10
1	191-420-640-000	SFR	1	1.0	284.38	276.10
1	191-420-650-000	SFR	1	1.0	284.38	276.10
1	191-420-660-000	SFR	1	1.0	284.38	276.10
1	191-430-010-000	SFR	1	1.0	284.38	276.10
1	191-430-020-000	SFR	1	1.0	284.38	276.10
1	191-430-030-000	SFR	1	1.0	284.38	276.10
1	191-430-040-000	SFR	1	1.0	284.38	276.10
1	191-430-050-000	SFR	1	1.0	284.38	276.10
1	191-430-060-000	SFR	1	1.0	284.38	276.10
1	191-430-070-000	SFR	1	1.0	284.38	276.10
1	191-430-080-000	SFR	1	1.0	284.38	276.10
1	191-430-090-000	SFR	1	1.0	284.38	276.10
1	191-430-100-000	SFR	1	1.0	284.38	276.10
1	191-430-110-000	SFR	1	1.0	284.38	276.10
1	191-430-120-000	SFR	1	1.0	284.38	276.10
1	191-430-130-000	SFR	1	1.0	284.38	276.10
1	191-430-140-000	SFR	1	1.0	284.38	276.10
1	191-430-150-000	SFR	1	1.0	284.38	276.10
1	191-430-160-000	SFR	1	1.0	284.38	276.10
1	191-430-170-000	SFR	1	1.0	284.38	276.10
1	191-430-180-000	SFR	1	1.0	284.38	276.10
1	191-430-190-000	SFR	1	1.0	284.38	276.10
1	191-430-200-000	SFR	1	1.0	284.38	276.10
1	191-430-210-000	SFR	1	1.0	284.38	276.10
1	191-430-220-000	SFR	1	1.0	284.38	276.10
1	191-430-230-000	SFR	1	1.0	284.38	276.10
1	191-430-240-000	SFR	1	1.0	284.38	276.10
1	191-430-250-000	SFR	1	1.0	284.38	276.10
1	191-430-260-000	SFR	1	1.0	284.38	276.10
1	191-430-270-000	SFR	1	1.0	284.38	276.10
1	191-430-280-000	SFR	1	1.0	284.38	276.10
1	191-430-290-000	SFR	1	1.0	284.38	276.10
1	191-430-300-000	SFR	1	1.0	284.38	276.10
1	191-430-310-000	SFR	1	1.0	284.38	276.10
1	191-430-320-000	SFR	1	1.0	284.38	276.10
1	191-430-330-000	SFR	1	1.0	284.38	276.10
1	191-430-340-000	SFR	1	1.0	284.38	276.10
1	191-430-350-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-430-360-000	SFR	1	1.0	284.38	276.10
1	191-430-370-000	SFR	1	1.0	284.38	276.10
1	191-430-380-000	SFR	1	1.0	284.38	276.10
1	191-430-390-000	SFR	1	1.0	284.38	276.10
1	191-430-400-000	SFR	1	1.0	284.38	276.10
1	191-430-410-000	SFR	1	1.0	284.38	276.10
1	191-430-420-000	SFR	1	1.0	284.38	276.10
1	191-430-430-000	SFR	1	1.0	284.38	276.10
1	191-430-440-000	SFR	1	1.0	284.38	276.10
1	191-430-450-000	SFR	1	1.0	284.38	276.10
1	191-430-460-000	SFR	1	1.0	284.38	276.10
1	191-430-470-000	SFR	1	1.0	284.38	276.10
1	191-430-480-000	SFR	1	1.0	284.38	276.10
1	191-430-490-000	SFR	1	1.0	284.38	276.10
1	191-430-500-000	SFR	1	1.0	284.38	276.10
1	191-430-510-000	SFR	1	1.0	284.38	276.10
1	191-430-520-000	SFR	1	1.0	284.38	276.10
1	191-430-530-000	SFR	1	1.0	284.38	276.10
1	191-430-540-000	SFR	1	1.0	284.38	276.10
1	191-430-550-000	SFR	1	1.0	284.38	276.10
1	191-430-560-000	SFR	1	1.0	284.38	276.10
1	191-430-570-000	SFR	1	1.0	284.38	276.10
1	191-430-580-000	SFR	1	1.0	284.38	276.10
1	191-430-590-000	SFR	1	1.0	284.38	276.10
1	191-430-600-000	SFR	1	1.0	284.38	276.10
1	191-430-610-000	SFR	1	1.0	284.38	276.10
1	191-430-620-000	SFR	1	1.0	284.38	276.10
1	191-430-630-000	SFR	1	1.0	284.38	276.10
1	191-430-640-000	SFR	1	1.0	284.38	276.10
1	191-430-650-000	SFR	1	1.0	284.38	276.10
1	191-430-660-000	SFR	1	1.0	284.38	276.10
1	191-430-670-000	SFR	1	1.0	284.38	276.10
1	191-430-680-000	SFR	1	1.0	284.38	276.10
1	191-430-690-000	SFR	1	1.0	284.38	276.10
1	191-430-700-000	SFR	1	1.0	284.38	276.10
1	191-430-710-000	SFR	1	1.0	284.38	276.10
1	191-430-720-000	SFR	1	1.0	284.38	276.10
1	191-430-730-000	SFR	1	1.0	284.38	276.10
1	191-440-010-000	SFR	1	1.0	284.38	276.10
1	191-440-020-000	SFR	1	1.0	284.38	276.10
1	191-440-030-000	SFR	1	1.0	284.38	276.10
1	191-440-040-000	SFR	1	1.0	284.38	276.10
1	191-440-050-000	SFR	1	1.0	284.38	276.10
1	191-440-060-000	SFR	1	1.0	284.38	276.10
1	191-440-070-000	SFR	1	1.0	284.38	276.10
1	191-440-110-000	SFR	1	1.0	284.38	276.10
1	191-440-120-000	SFR	1	1.0	284.38	276.10
1	191-440-130-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-440-140-000	SFR	1	1.0	284.38	276.10
1	191-440-150-000	SFR	1	1.0	284.38	276.10
1	191-440-160-000	SFR	1	1.0	284.38	276.10
1	191-440-170-000	SFR	1	1.0	284.38	276.10
1	191-440-180-000	SFR	1	1.0	284.38	276.10
1	191-440-190-000	SFR	1	1.0	284.38	276.10
1	191-440-200-000	SFR	1	1.0	284.38	276.10
1	191-440-210-000	SFR	1	1.0	284.38	276.10
1	191-440-220-000	SFR	1	1.0	284.38	276.10
1	191-440-230-000	SFR	1	1.0	284.38	276.10
1	191-440-240-000	SFR	1	1.0	284.38	276.10
1	191-440-250-000	SFR	1	1.0	284.38	276.10
1	191-440-260-000	SFR	1	1.0	284.38	276.10
1	191-440-270-000	SFR	1	1.0	284.38	276.10
1	191-440-280-000	SFR	1	1.0	284.38	276.10
1	191-440-290-000	SFR	1	1.0	284.38	276.10
1	191-440-300-000	SFR	1	1.0	284.38	276.10
1	191-440-310-000	SFR	1	1.0	284.38	276.10
1	191-440-320-000	SFR	1	1.0	284.38	276.10
1	191-440-330-000	SFR	1	1.0	284.38	276.10
1	191-440-340-000	SFR	1	1.0	284.38	276.10
1	191-440-350-000	SFR	1	1.0	284.38	276.10
1	191-440-360-000	SFR	1	1.0	284.38	276.10
1	191-440-370-000	SFR	1	1.0	284.38	276.10
1	191-440-380-000	SFR	1	1.0	284.38	276.10
1	191-440-390-000	SFR	1	1.0	284.38	276.10
1	191-440-400-000	SFR	1	1.0	284.38	276.10
1	191-440-410-000	SFR	1	1.0	284.38	276.10
1	191-440-420-000	SFR	1	1.0	284.38	276.10
1	191-440-430-000	SFR	1	1.0	284.38	276.10
1	191-440-440-000	SFR	1	1.0	284.38	276.10
1	191-440-450-000	SFR	1	1.0	284.38	276.10
1	191-440-460-000	SFR	1	1.0	284.38	276.10
1	191-440-470-000	SFR	1	1.0	284.38	276.10
1	191-440-480-000	SFR	1	1.0	284.38	276.10
1	191-440-490-000	SFR	1	1.0	284.38	276.10
1	191-440-500-000	SFR	1	1.0	284.38	276.10
1	191-440-510-000	SFR	1	1.0	284.38	276.10
1	191-440-520-000	SFR	1	1.0	284.38	276.10
1	191-440-530-000	SFR	1	1.0	284.38	276.10
1	191-440-540-000	SFR	1	1.0	284.38	276.10
1	191-440-550-000	SFR	1	1.0	284.38	276.10
1	191-440-560-000	SFR	1	1.0	284.38	276.10
1	191-440-570-000	SFR	1	1.0	284.38	276.10
1	191-440-580-000	SFR	1	1.0	284.38	276.10
1	191-440-590-000	SFR	1	1.0	284.38	276.10
1	191-440-600-000	SFR	1	1.0	284.38	276.10
1	191-440-610-000	SFR	1	1.0	284.38	276.10



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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-440-620-000	SFR	1	1.0	284.38	276.10
1	191-440-630-000	SFR	1	1.0	284.38	276.10
1	191-440-640-000	SFR	1	1.0	284.38	276.10
1	191-440-650-000	SFR	1	1.0	284.38	276.10
1	191-440-660-000	SFR	1	1.0	284.38	276.10
1	191-440-670-000	SFR	1	1.0	284.38	276.10
1	191-440-680-000	SFR	1	1.0	284.38	276.10
1	191-440-690-000	SFR	1	1.0	284.38	276.10
1	191-440-700-000	SFR	1	1.0	284.38	276.10
1	191-440-710-000	SFR	1	1.0	284.38	276.10
1	191-440-720-000	SFR	1	1.0	284.38	276.10
1	191-440-730-000	SFR	1	1.0	284.38	276.10
1	191-440-740-000	SFR	1	1.0	284.38	276.10
1	191-440-750-000	SFR	1	1.0	284.38	276.10
1	191-440-760-000	SFR	1	1.0	284.38	276.10
1	191-440-770-000	SFR	1	1.0	284.38	276.10
1	191-440-780-000	SFR	1	1.0	284.38	276.10
1	191-450-010-000	SFR	1	1.0	284.38	276.10
1	191-450-020-000	SFR	1	1.0	284.38	276.10
1	191-450-030-000	SFR	1	1.0	284.38	276.10
1	191-450-040-000	SFR	1	1.0	284.38	276.10
1	191-450-050-000	SFR	1	1.0	284.38	276.10
1	191-450-060-000	SFR	1	1.0	284.38	276.10
1	191-450-070-000	SFR	1	1.0	284.38	276.10
1	191-450-080-000	SFR	1	1.0	284.38	276.10
1	191-450-090-000	SFR	1	1.0	284.38	276.10
1	191-450-100-000	SFR	1	1.0	284.38	276.10
1	191-450-110-000	SFR	1	1.0	284.38	276.10
1	191-450-120-000	SFR	1	1.0	284.38	276.10
1	191-450-130-000	SFR	1	1.0	284.38	276.10
1	191-450-140-000	SFR	1	1.0	284.38	276.10
1	191-450-150-000	SFR	1	1.0	284.38	276.10
1	191-450-160-000	SFR	1	1.0	284.38	276.10
1	191-450-170-000	SFR	1	1.0	284.38	276.10
1	191-450-180-000	SFR	1	1.0	284.38	276.10
1	191-450-190-000	SFR	1	1.0	284.38	276.10
1	191-450-200-000	SFR	1	1.0	284.38	276.10
1	191-450-210-000	SFR	1	1.0	284.38	276.10
1	191-450-220-000	SFR	1	1.0	284.38	276.10
1	191-450-230-000	SFR	1	1.0	284.38	276.10
1	191-450-240-000	SFR	1	1.0	284.38	276.10
1	191-450-250-000	SFR	1	1.0	284.38	276.10
1	191-450-260-000	SFR	1	1.0	284.38	276.10
1	191-450-270-000	SFR	1	1.0	284.38	276.10
1	191-450-280-000	SFR	1	1.0	284.38	276.10
1	191-450-290-000	SFR	1	1.0	284.38	276.10
1	191-450-300-000	SFR	1	1.0	284.38	276.10
1	191-450-310-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-450-320-000	SFR	1	1.0	284.38	276.10
1	191-450-330-000	SFR	1	1.0	284.38	276.10
1	191-450-340-000	SFR	1	1.0	284.38	276.10
1	191-450-350-000	SFR	1	1.0	284.38	276.10
1	191-450-360-000	SFR	1	1.0	284.38	276.10
1	191-450-370-000	SFR	1	1.0	284.38	276.10
1	191-450-380-000	SFR	1	1.0	284.38	276.10
1	191-450-390-000	SFR	1	1.0	284.38	276.10
1	191-450-400-000	SFR	1	1.0	284.38	276.10
1	191-450-410-000	SFR	1	1.0	284.38	276.10
1	191-450-420-000	SFR	1	1.0	284.38	276.10
1	191-450-430-000	SFR	1	1.0	284.38	276.10
1	191-460-010-000	SFR	1	1.0	284.38	276.10
1	191-460-020-000	SFR	1	1.0	284.38	276.10
1	191-460-030-000	SFR	1	1.0	284.38	276.10
1	191-460-040-000	SFR	1	1.0	284.38	276.10
1	191-460-050-000	SFR	1	1.0	284.38	276.10
1	191-460-060-000	SFR	1	1.0	284.38	276.10
1	191-460-070-000	SFR	1	1.0	284.38	276.10
1	191-460-080-000	SFR	1	1.0	284.38	276.10
1	191-460-090-000	SFR	1	1.0	284.38	276.10
1	191-460-100-000	SFR	1	1.0	284.38	276.10
1	191-460-110-000	SFR	1	1.0	284.38	276.10
1	191-460-120-000	SFR	1	1.0	284.38	276.10
1	191-460-130-000	SFR	1	1.0	284.38	276.10
1	191-460-140-000	SFR	1	1.0	284.38	276.10
1	191-460-150-000	SFR	1	1.0	284.38	276.10
1	191-460-160-000	SFR	1	1.0	284.38	276.10
1	191-460-170-000	SFR	1	1.0	284.38	276.10
1	191-460-180-000	SFR	1	1.0	284.38	276.10
1	191-460-190-000	SFR	1	1.0	284.38	276.10
1	191-460-200-000	SFR	1	1.0	284.38	276.10
1	191-460-210-000	SFR	1	1.0	284.38	276.10
1	191-460-220-000	SFR	1	1.0	284.38	276.10
1	191-460-230-000	SFR	1	1.0	284.38	276.10
1	191-460-240-000	SFR	1	1.0	284.38	276.10
1	191-460-250-000	SFR	1	1.0	284.38	276.10
1	191-460-260-000	SFR	1	1.0	284.38	276.10
1	191-460-270-000	SFR	1	1.0	284.38	276.10
1	191-460-280-000	SFR	1	1.0	284.38	276.10
1	191-460-290-000	SFR	1	1.0	284.38	276.10
1	191-460-300-000	SFR	1	1.0	284.38	276.10
1	191-460-310-000	SFR	1	1.0	284.38	276.10
1	191-460-320-000	SFR	1	1.0	284.38	276.10
1	191-460-330-000	SFR	1	1.0	284.38	276.10
1	191-460-340-000	SFR	1	1.0	284.38	276.10
1	191-460-350-000	SFR	1	1.0	284.38	276.10
1	191-460-360-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-470-010-000	SFR	1	1.0	284.38	276.10
1	191-470-020-000	SFR	1	1.0	284.38	276.10
1	191-470-030-000	SFR	1	1.0	284.38	276.10
1	191-470-040-000	SFR	1	1.0	284.38	276.10
1	191-470-050-000	SFR	1	1.0	284.38	276.10
1	191-470-060-000	SFR	1	1.0	284.38	276.10
1	191-470-070-000	SFR	1	1.0	284.38	276.10
1	191-470-080-000	SFR	1	1.0	284.38	276.10
1	191-470-090-000	SFR	1	1.0	284.38	276.10
1	191-470-100-000	SFR	1	1.0	284.38	276.10
1	191-470-110-000	SFR	1	1.0	284.38	276.10
1	191-470-120-000	SFR	1	1.0	284.38	276.10
1	191-470-130-000	SFR	1	1.0	284.38	276.10
1	191-470-140-000	SFR	1	1.0	284.38	276.10
1	191-470-150-000	SFR	1	1.0	284.38	276.10
1	191-470-160-000	SFR	1	1.0	284.38	276.10
1	191-470-170-000	SFR	1	1.0	284.38	276.10
1	191-470-180-000	SFR	1	1.0	284.38	276.10
1	191-470-190-000	SFR	1	1.0	284.38	276.10
1	191-470-200-000	SFR	1	1.0	284.38	276.10
1	191-470-210-000	SFR	1	1.0	284.38	276.10
1	191-470-220-000	SFR	1	1.0	284.38	276.10
1	191-470-230-000	SFR	1	1.0	284.38	276.10
1	191-470-240-000	SFR	1	1.0	284.38	276.10
1	191-470-250-000	SFR	1	1.0	284.38	276.10
1	191-470-260-000	SFR	1	1.0	284.38	276.10
1	191-470-270-000	SFR	1	1.0	284.38	276.10
1	191-470-280-000	SFR	1	1.0	284.38	276.10
1	191-470-290-000	SFR	1	1.0	284.38	276.10
1	191-470-300-000	SFR	1	1.0	284.38	276.10
1	191-470-310-000	SFR	1	1.0	284.38	276.10
1	191-470-320-000	SFR	1	1.0	284.38	276.10
1	191-470-330-000	SFR	1	1.0	284.38	276.10
1	191-470-340-000	SFR	1	1.0	284.38	276.10
1	191-470-350-000	SFR	1	1.0	284.38	276.10
1	191-470-360-000	SFR	1	1.0	284.38	276.10
1	191-470-370-000	SFR	1	1.0	284.38	276.10
1	191-470-380-000	SFR	1	1.0	284.38	276.10
1	191-470-390-000	SFR	1	1.0	284.38	276.10
1	191-480-010-000	SFR	1	1.0	284.38	276.10
1	191-480-020-000	SFR	1	1.0	284.38	276.10
1	191-480-030-000	SFR	1	1.0	284.38	276.10
1	191-480-040-000	SFR	1	1.0	284.38	276.10
1	191-480-050-000	SFR	1	1.0	284.38	276.10
1	191-480-060-000	SFR	1	1.0	284.38	276.10
1	191-480-070-000	SFR	1	1.0	284.38	276.10
1	191-480-080-000	SFR	1	1.0	284.38	276.10
1	191-480-090-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-480-100-000	SFR	1	1.0	284.38	276.10
1	191-480-110-000	SFR	1	1.0	284.38	276.10
1	191-480-120-000	SFR	1	1.0	284.38	276.10
1	191-480-130-000	SFR	1	1.0	284.38	276.10
1	191-480-140-000	SFR	1	1.0	284.38	276.10
1	191-480-150-000	SFR	1	1.0	284.38	276.10
1	191-480-160-000	SFR	1	1.0	284.38	276.10
1	191-480-170-000	SFR	1	1.0	284.38	276.10
1	191-480-180-000	SFR	1	1.0	284.38	276.10
1	191-480-190-000	SFR	1	1.0	284.38	276.10
1	191-480-200-000	SFR	1	1.0	284.38	276.10
1	191-480-210-000	SFR	1	1.0	284.38	276.10
1	191-480-220-000	SFR	1	1.0	284.38	276.10
1	191-480-230-000	SFR	1	1.0	284.38	276.10
1	191-480-240-000	SFR	1	1.0	284.38	276.10
1	191-480-250-000	SFR	1	1.0	284.38	276.10
1	191-480-260-000	SFR	1	1.0	284.38	276.10
1	191-480-270-000	SFR	1	1.0	284.38	276.10
1	191-480-280-000	SFR	1	1.0	284.38	276.10
1	191-480-290-000	SFR	1	1.0	284.38	276.10
1	191-480-300-000	SFR	1	1.0	284.38	276.10
1	191-480-310-000	SFR	1	1.0	284.38	276.10
1	191-480-320-000	SFR	1	1.0	284.38	276.10
1	191-480-330-000	SFR	1	1.0	284.38	276.10
1	191-480-340-000	SFR	1	1.0	284.38	276.10
1	191-480-350-000	SFR	1	1.0	284.38	276.10
1	191-480-360-000	SFR	1	1.0	284.38	276.10
1	191-480-370-000	SFR	1	1.0	284.38	276.10
1	191-480-380-000	SFR	1	1.0	284.38	276.10
1	191-480-390-000	SFR	1	1.0	284.38	276.10
1	191-480-400-000	SFR	1	1.0	284.38	276.10
1	191-480-410-000	SFR	1	1.0	284.38	276.10
1	191-480-420-000	SFR	1	1.0	284.38	276.10
1	191-490-010-000	SFR	1	1.0	284.38	276.10
1	191-490-020-000	SFR	1	1.0	284.38	276.10
1	191-490-030-000	SFR	1	1.0	284.38	276.10
1	191-490-040-000	SFR	1	1.0	284.38	276.10
1	191-490-050-000	SFR	1	1.0	284.38	276.10
1	191-490-060-000	SFR	1	1.0	284.38	276.10
1	191-490-070-000	SFR	1	1.0	284.38	276.10
1	191-490-080-000	SFR	1	1.0	284.38	276.10
1	191-490-090-000	SFR	1	1.0	284.38	276.10
1	191-490-100-000	SFR	1	1.0	284.38	276.10
1	191-490-110-000	SFR	1	1.0	284.38	276.10
1	191-490-120-000	SFR	1	1.0	284.38	276.10
1	191-490-130-000	SFR	1	1.0	284.38	276.10
1	191-490-140-000	SFR	1	1.0	284.38	276.10
1	191-490-150-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-490-160-000	SFR	1	1.0	284.38	276.10
1	191-490-170-000	SFR	1	1.0	284.38	276.10
1	191-490-180-000	SFR	1	1.0	284.38	276.10
1	191-490-190-000	SFR	1	1.0	284.38	276.10
1	191-490-200-000	SFR	1	1.0	284.38	276.10
1	191-490-210-000	SFR	1	1.0	284.38	276.10
1	191-490-220-000	SFR	1	1.0	284.38	276.10
1	191-490-230-000	SFR	1	1.0	284.38	276.10
1	191-490-240-000	SFR	1	1.0	284.38	276.10
1	191-490-250-000	SFR	1	1.0	284.38	276.10
1	191-490-260-000	SFR	1	1.0	284.38	276.10
1	191-490-270-000	SFR	1	1.0	284.38	276.10
1	191-490-280-000	SFR	1	1.0	284.38	276.10
1	191-490-290-000	SFR	1	1.0	284.38	276.10
1	191-490-300-000	SFR	1	1.0	284.38	276.10
1	191-490-310-000	SFR	1	1.0	284.38	276.10
1	191-490-320-000	SFR	1	1.0	284.38	276.10
1	191-490-330-000	SFR	1	1.0	284.38	276.10
1	191-490-340-000	SFR	1	1.0	284.38	276.10
1	191-490-350-000	SFR	1	1.0	284.38	276.10
1	191-490-360-000	SFR	1	1.0	284.38	276.10
1	191-490-370-000	SFR	1	1.0	284.38	276.10
1	191-490-380-000	SFR	1	1.0	284.38	276.10
1	191-490-390-000	SFR	1	1.0	284.38	276.10
1	191-490-400-000	SFR	1	1.0	284.38	276.10
1	191-490-410-000	SFR	1	1.0	284.38	276.10
1	191-490-420-000	SFR	1	1.0	284.38	276.10
1	191-490-430-000	SFR	1	1.0	284.38	276.10
1	191-490-440-000	SFR	1	1.0	284.38	276.10
1	191-490-450-000	SFR	1	1.0	284.38	276.10
1	191-490-460-000	SFR	1	1.0	284.38	276.10
1	191-490-470-000	SFR	1	1.0	284.38	276.10
1	191-490-480-000	SFR	1	1.0	284.38	276.10
1	191-490-490-000	SFR	1	1.0	284.38	276.10
1	191-490-500-000	SFR	1	1.0	284.38	276.10
1	191-490-510-000	SFR	1	1.0	284.38	276.10
1	191-490-520-000	SFR	1	1.0	284.38	276.10
1	191-490-530-000	SFR	1	1.0	284.38	276.10
1	191-490-540-000	SFR	1	1.0	284.38	276.10
1	191-490-550-000	SFR	1	1.0	284.38	276.10
1	191-490-560-000	SFR	1	1.0	284.38	276.10
1	191-490-570-000	SFR	1	1.0	284.38	276.10
1	191-500-010-000	SFR	1	1.0	284.38	276.10
1	191-500-020-000	SFR	1	1.0	284.38	276.10
1	191-500-030-000	SFR	1	1.0	284.38	276.10
1	191-500-040-000	SFR	1	1.0	284.38	276.10
1	191-500-050-000	SFR	1	1.0	284.38	276.10
1	191-500-060-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-500-070-000	SFR	1	1.0	284.38	276.10
1	191-500-080-000	SFR	1	1.0	284.38	276.10
1	191-500-090-000	SFR	1	1.0	284.38	276.10
1	191-500-100-000	SFR	1	1.0	284.38	276.10
1	191-500-110-000	SFR	1	1.0	284.38	276.10
1	191-500-120-000	SFR	1	1.0	284.38	276.10
1	191-500-130-000	SFR	1	1.0	284.38	276.10
1	191-500-140-000	SFR	1	1.0	284.38	276.10
1	191-500-150-000	SFR	1	1.0	284.38	276.10
1	191-500-160-000	SFR	1	1.0	284.38	276.10
1	191-500-170-000	SFR	1	1.0	284.38	276.10
1	191-500-180-000	SFR	1	1.0	284.38	276.10
1	191-500-190-000	SFR	1	1.0	284.38	276.10
1	191-500-200-000	SFR	1	1.0	284.38	276.10
1	191-500-210-000	SFR	1	1.0	284.38	276.10
1	191-500-220-000	SFR	1	1.0	284.38	276.10
1	191-500-230-000	SFR	1	1.0	284.38	276.10
1	191-500-240-000	SFR	1	1.0	284.38	276.10
1	191-500-250-000	SFR	1	1.0	284.38	276.10
1	191-500-260-000	SFR	1	1.0	284.38	276.10
1	191-500-270-000	SFR	1	1.0	284.38	276.10
1	191-500-280-000	SFR	1	1.0	284.38	276.10
1	191-500-290-000	SFR	1	1.0	284.38	276.10
1	191-500-300-000	SFR	1	1.0	284.38	276.10
1	191-500-310-000	SFR	1	1.0	284.38	276.10
1	191-500-320-000	SFR	1	1.0	284.38	276.10
1	191-500-330-000	SFR	1	1.0	284.38	276.10
1	191-500-340-000	SFR	1	1.0	284.38	276.10
1	191-500-350-000	SFR	1	1.0	284.38	276.10
1	191-500-360-000	SFR	1	1.0	284.38	276.10
1	191-500-370-000	SFR	1	1.0	284.38	276.10
1	191-500-380-000	SFR	1	1.0	284.38	276.10
1	191-500-390-000	SFR	1	1.0	284.38	276.10
1	191-500-400-000	SFR	1	1.0	284.38	276.10
1	191-500-410-000	SFR	1	1.0	284.38	276.10
1	191-500-420-000	SFR	1	1.0	284.38	276.10
1	191-500-430-000	SFR	1	1.0	284.38	276.10
1	191-500-440-000	SFR	1	1.0	284.38	276.10
1	191-500-450-000	SFR	1	1.0	284.38	276.10
1	191-500-460-000	SFR	1	1.0	284.38	276.10
1	191-500-470-000	SFR	1	1.0	284.38	276.10
1	191-500-480-000	SFR	1	1.0	284.38	276.10
1	191-500-490-000	SFR	1	1.0	284.38	276.10
1	191-500-500-000	SFR	1	1.0	284.38	276.10
1	191-510-010-000	SFR	1	1.0	284.38	276.10
1	191-510-020-000	SFR	1	1.0	284.38	276.10
1	191-510-030-000	SFR	1	1.0	284.38	276.10
1	191-510-040-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-510-050-000	SFR	1	1.0	284.38	276.10
1	191-510-060-000	SFR	1	1.0	284.38	276.10
1	191-510-070-000	SFR	1	1.0	284.38	276.10
1	191-510-080-000	SFR	1	1.0	284.38	276.10
1	191-510-090-000	SFR	1	1.0	284.38	276.10
1	191-510-100-000	SFR	1	1.0	284.38	276.10
1	191-510-110-000	SFR	1	1.0	284.38	276.10
1	191-510-120-000	SFR	1	1.0	284.38	276.10
1	191-510-130-000	SFR	1	1.0	284.38	276.10
1	191-510-140-000	SFR	1	1.0	284.38	276.10
1	191-510-150-000	SFR	1	1.0	284.38	276.10
1	191-510-160-000	SFR	1	1.0	284.38	276.10
1	191-510-170-000	SFR	1	1.0	284.38	276.10
1	191-510-180-000	SFR	1	1.0	284.38	276.10
1	191-510-190-000	SFR	1	1.0	284.38	276.10
1	191-510-200-000	SFR	1	1.0	284.38	276.10
1	191-510-210-000	SFR	1	1.0	284.38	276.10
1	191-510-220-000	SFR	1	1.0	284.38	276.10
1	191-510-230-000	SFR	1	1.0	284.38	276.10
1	191-510-240-000	SFR	1	1.0	284.38	276.10
1	191-510-250-000	SFR	1	1.0	284.38	276.10
1	191-510-260-000	SFR	1	1.0	284.38	276.10
1	191-510-270-000	SFR	1	1.0	284.38	276.10
1	191-510-280-000	SFR	1	1.0	284.38	276.10
1	191-510-290-000	SFR	1	1.0	284.38	276.10
1	191-510-300-000	SFR	1	1.0	284.38	276.10
1	191-510-310-000	SFR	1	1.0	284.38	276.10
1	191-510-320-000	SFR	1	1.0	284.38	276.10
1	191-510-330-000	SFR	1	1.0	284.38	276.10
1	191-510-340-000	SFR	1	1.0	284.38	276.10
1	191-510-350-000	SFR	1	1.0	284.38	276.10
1	191-510-360-000	SFR	1	1.0	284.38	276.10
1	191-510-370-000	SFR	1	1.0	284.38	276.10
1	191-510-380-000	SFR	1	1.0	284.38	276.10
1	191-510-390-000	SFR	1	1.0	284.38	276.10
1	191-510-400-000	SFR	1	1.0	284.38	276.10
1	191-510-410-000	SFR	1	1.0	284.38	276.10
1	191-510-420-000	SFR	1	1.0	284.38	276.10
1	191-510-430-000	SFR	1	1.0	284.38	276.10
1	191-510-440-000	SFR	1	1.0	284.38	276.10
1	191-510-450-000	SFR	1	1.0	284.38	276.10
1	191-510-460-000	SFR	1	1.0	284.38	276.10
1	191-520-010-000	SFR	1	1.0	284.38	276.10
1	191-520-020-000	SFR	1	1.0	284.38	276.10
1	191-520-030-000	SFR	1	1.0	284.38	276.10
1	191-520-040-000	SFR	1	1.0	284.38	276.10
1	191-520-050-000	SFR	1	1.0	284.38	276.10
1	191-520-060-000	SFR	1	1.0	284.38	276.10

**CITY OF LATHROP**  
**MOSSDALE LANDSCAPING AND LIGHTING DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-520-070-000	SFR	1	1.0	284.38	276.10
1	191-520-080-000	SFR	1	1.0	284.38	276.10
1	191-520-090-000	SFR	1	1.0	284.38	276.10
1	191-520-100-000	SFR	1	1.0	284.38	276.10
1	191-520-110-000	SFR	1	1.0	284.38	276.10
1	191-520-120-000	SFR	1	1.0	284.38	276.10
1	191-520-130-000	SFR	1	1.0	284.38	276.10
1	191-520-140-000	SFR	1	1.0	284.38	276.10
1	191-520-150-000	SFR	1	1.0	284.38	276.10
1	191-520-160-000	SFR	1	1.0	284.38	276.10
1	191-520-170-000	SFR	1	1.0	284.38	276.10
1	191-520-180-000	SFR	1	1.0	284.38	276.10
1	191-520-190-000	SFR	1	1.0	284.38	276.10
1	191-520-200-000	SFR	1	1.0	284.38	276.10
1	191-520-210-000	SFR	1	1.0	284.38	276.10
1	191-520-220-000	SFR	1	1.0	284.38	276.10
1	191-520-230-000	SFR	1	1.0	284.38	276.10
1	191-520-240-000	SFR	1	1.0	284.38	276.10
1	191-520-250-000	SFR	1	1.0	284.38	276.10
1	191-520-260-000	SFR	1	1.0	284.38	276.10
1	191-520-270-000	SFR	1	1.0	284.38	276.10
1	191-520-280-000	SFR	1	1.0	284.38	276.10
1	191-520-290-000	SFR	1	1.0	284.38	276.10
1	191-520-300-000	SFR	1	1.0	284.38	276.10
1	191-520-310-000	SFR	1	1.0	284.38	276.10
1	191-520-320-000	SFR	1	1.0	284.38	276.10
1	191-520-330-000	SFR	1	1.0	284.38	276.10
1	191-520-340-000	SFR	1	1.0	284.38	276.10
1	191-520-350-000	SFR	1	1.0	284.38	276.10
1	191-520-360-000	SFR	1	1.0	284.38	276.10
1	191-520-370-000	SFR	1	1.0	284.38	276.10
1	191-520-380-000	SFR	1	1.0	284.38	276.10
1	191-520-390-000	SFR	1	1.0	284.38	276.10
1	191-520-400-000	SFR	1	1.0	284.38	276.10
1	191-520-410-000	SFR	1	1.0	284.38	276.10
1	191-520-420-000	SFR	1	1.0	284.38	276.10
1	191-520-430-000	SFR	1	1.0	284.38	276.10
1	191-520-440-000	SFR	1	1.0	284.38	276.10
1	191-520-450-000	SFR	1	1.0	284.38	276.10
1	191-520-460-000	SFR	1	1.0	284.38	276.10
1	191-520-470-000	SFR	1	1.0	284.38	276.10
1	191-520-480-000	SFR	1	1.0	284.38	276.10
1	191-520-490-000	SFR	1	1.0	284.38	276.10
1	191-520-500-000	SFR	1	1.0	284.38	276.10
1	191-520-510-000	SFR	1	1.0	284.38	276.10
1	191-520-520-000	SFR	1	1.0	284.38	276.10
1	191-520-530-000	SFR	1	1.0	284.38	276.10
1	191-520-540-000	SFR	1	1.0	284.38	276.10



**CITY OF LATHROP**  
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**FISCAL YEAR 2020/21**  
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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-520-550-000	SFR	1	1.0	284.38	276.10
1	191-520-560-000	SFR	1	1.0	284.38	276.10
1	191-520-570-000	SFR	1	1.0	284.38	276.10
1	191-520-580-000	SFR	1	1.0	284.38	276.10
1	191-520-590-000	SFR	1	1.0	284.38	276.10
1	191-520-600-000	SFR	1	1.0	284.38	276.10
1	191-520-610-000	SFR	1	1.0	284.38	276.10
1	191-520-620-000	SFR	1	1.0	284.38	276.10
1	191-520-630-000	SFR	1	1.0	284.38	276.10
1	191-520-640-000	SFR	1	1.0	284.38	276.10
1	191-530-010-000	SFR	1	1.0	284.38	276.10
1	191-530-020-000	SFR	1	1.0	284.38	276.10
1	191-530-030-000	SFR	1	1.0	284.38	276.10
1	191-530-040-000	SFR	1	1.0	284.38	276.10
1	191-530-050-000	SFR	1	1.0	284.38	276.10
1	191-530-060-000	SFR	1	1.0	284.38	276.10
1	191-530-070-000	SFR	1	1.0	284.38	276.10
1	191-530-080-000	SFR	1	1.0	284.38	276.10
1	191-530-090-000	SFR	1	1.0	284.38	276.10
1	191-530-100-000	SFR	1	1.0	284.38	276.10
1	191-530-110-000	SFR	1	1.0	284.38	276.10
1	191-530-120-000	SFR	1	1.0	284.38	276.10
1	191-530-130-000	SFR	1	1.0	284.38	276.10
1	191-530-140-000	SFR	1	1.0	284.38	276.10
1	191-530-150-000	SFR	1	1.0	284.38	276.10
1	191-530-160-000	SFR	1	1.0	284.38	276.10
1	191-530-170-000	SFR	1	1.0	284.38	276.10
1	191-530-180-000	SFR	1	1.0	284.38	276.10
1	191-530-190-000	SFR	1	1.0	284.38	276.10
1	191-530-200-000	SFR	1	1.0	284.38	276.10
1	191-530-210-000	SFR	1	1.0	284.38	276.10
1	191-530-220-000	SFR	1	1.0	284.38	276.10
1	191-530-230-000	SFR	1	1.0	284.38	276.10
1	191-530-240-000	SFR	1	1.0	284.38	276.10
1	191-530-250-000	SFR	1	1.0	284.38	276.10
1	191-530-260-000	SFR	1	1.0	284.38	276.10
1	191-530-270-000	SFR	1	1.0	284.38	276.10
1	191-530-280-000	SFR	1	1.0	284.38	276.10
1	191-530-290-000	SFR	1	1.0	284.38	276.10
1	191-530-300-000	SFR	1	1.0	284.38	276.10
1	191-530-310-000	SFR	1	1.0	284.38	276.10
1	191-530-320-000	SFR	1	1.0	284.38	276.10
1	191-530-330-000	SFR	1	1.0	284.38	276.10
1	191-530-340-000	SFR	1	1.0	284.38	276.10
1	191-530-350-000	SFR	1	1.0	284.38	276.10
1	191-530-360-000	SFR	1	1.0	284.38	276.10
1	191-530-370-000	SFR	1	1.0	284.38	276.10
1	191-530-380-000	SFR	1	1.0	284.38	276.10

**CITY OF LATHROP**  
**MOSSDALE LANDSCAPING AND LIGHTING DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-530-390-000	SFR	1	1.0	284.38	276.10
1	191-530-400-000	SFR	1	1.0	284.38	276.10
1	191-530-410-000	SFR	1	1.0	284.38	276.10
1	191-530-420-000	SFR	1	1.0	284.38	276.10
1	191-530-430-000	SFR	1	1.0	284.38	276.10
1	191-530-440-000	SFR	1	1.0	284.38	276.10
1	191-530-450-000	SFR	1	1.0	284.38	276.10
1	191-530-460-000	SFR	1	1.0	284.38	276.10
1	191-530-470-000	SFR	1	1.0	284.38	276.10
1	191-530-480-000	SFR	1	1.0	284.38	276.10
1	191-530-490-000	SFR	1	1.0	284.38	276.10
1	191-530-500-000	SFR	1	1.0	284.38	276.10
1	191-530-510-000	SFR	1	1.0	284.38	276.10
1	191-530-520-000	SFR	1	1.0	284.38	276.10
1	191-530-530-000	SFR	1	1.0	284.38	276.10
1	191-530-540-000	SFR	1	1.0	284.38	276.10
1	191-530-550-000	SFR	1	1.0	284.38	276.10
1	191-530-560-000	SFR	1	1.0	284.38	276.10
1	191-530-570-000	SFR	1	1.0	284.38	276.10
1	191-530-590-000	SFR	1	1.0	284.38	276.10
1	191-530-600-000	SFR	1	1.0	284.38	276.10
1	191-530-610-000	SFR	1	1.0	284.38	276.10
1	191-530-620-000	SFR	1	1.0	284.38	276.10
1	191-530-630-000	SFR	1	1.0	284.38	276.10
1	191-530-640-000	SFR	1	1.0	284.38	276.10
1	191-530-650-000	SFR	1	1.0	284.38	276.10
1	191-530-660-000	SFR	1	1.0	284.38	276.10
1	191-530-670-000	SFR	1	1.0	284.38	276.10
1	191-530-680-000	SFR	1	1.0	284.38	276.10
1	191-530-690-000	SFR	1	1.0	284.38	276.10
1	191-530-700-000	SFR	1	1.0	284.38	276.10
1	191-530-710-000	SFR	1	1.0	284.38	276.10
1	191-530-720-000	SFR	1	1.0	284.38	276.10
1	191-530-730-000	SFR	1	1.0	284.38	276.10
1	191-530-740-000	SFR	1	1.0	284.38	276.10
1	191-530-750-000	SFR	1	1.0	284.38	276.10
1	191-540-010-000	SFR	1	1.0	284.38	276.10
1	191-540-020-000	SFR	1	1.0	284.38	276.10
1	191-540-030-000	SFR	1	1.0	284.38	276.10
1	191-540-040-000	SFR	1	1.0	284.38	276.10
1	191-540-050-000	SFR	1	1.0	284.38	276.10
1	191-540-060-000	SFR	1	1.0	284.38	276.10
1	191-540-070-000	SFR	1	1.0	284.38	276.10
1	191-540-080-000	SFR	1	1.0	284.38	276.10
1	191-540-090-000	SFR	1	1.0	284.38	276.10
1	191-540-100-000	SFR	1	1.0	284.38	276.10
1	191-540-110-000	SFR	1	1.0	284.38	276.10
1	191-540-120-000	SFR	1	1.0	284.38	276.10

**CITY OF LATHROP**  
**MOSSDALE LANDSCAPING AND LIGHTING DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-540-130-000	SFR	1	1.0	284.38	276.10
1	191-540-140-000	SFR	1	1.0	284.38	276.10
1	191-540-150-000	SFR	1	1.0	284.38	276.10
1	191-540-160-000	SFR	1	1.0	284.38	276.10
1	191-540-170-000	SFR	1	1.0	284.38	276.10
1	191-540-180-000	SFR	1	1.0	284.38	276.10
1	191-540-190-000	SFR	1	1.0	284.38	276.10
1	191-540-200-000	SFR	1	1.0	284.38	276.10
1	191-540-210-000	SFR	1	1.0	284.38	276.10
1	191-540-220-000	SFR	1	1.0	284.38	276.10
1	191-540-230-000	SFR	1	1.0	284.38	276.10
1	191-540-240-000	SFR	1	1.0	284.38	276.10
1	191-540-250-000	SFR	1	1.0	284.38	276.10
1	191-540-260-000	SFR	1	1.0	284.38	276.10
1	191-540-270-000	SFR	1	1.0	284.38	276.10
1	191-540-280-000	SFR	1	1.0	284.38	276.10
1	191-540-290-000	SFR	1	1.0	284.38	276.10
1	191-540-300-000	SFR	1	1.0	284.38	276.10
1	191-540-310-000	SFR	1	1.0	284.38	276.10
1	191-540-320-000	SFR	1	1.0	284.38	276.10
1	191-540-330-000	SFR	1	1.0	284.38	276.10
1	191-540-340-000	SFR	1	1.0	284.38	276.10
1	191-540-350-000	SFR	1	1.0	284.38	276.10
1	191-540-360-000	SFR	1	1.0	284.38	276.10
1	191-540-370-000	SFR	1	1.0	284.38	276.10
1	191-540-380-000	SFR	1	1.0	284.38	276.10
1	191-540-390-000	SFR	1	1.0	284.38	276.10
1	191-540-400-000	SFR	1	1.0	284.38	276.10
1	191-540-410-000	SFR	1	1.0	284.38	276.10
1	191-540-420-000	SFR	1	1.0	284.38	276.10
1	191-540-430-000	SFR	1	1.0	284.38	276.10
1	191-540-440-000	SFR	1	1.0	284.38	276.10
1	191-540-450-000	SFR	1	1.0	284.38	276.10
1	191-540-460-000	SFR	1	1.0	284.38	276.10
1	191-540-470-000	SFR	1	1.0	284.38	276.10
1	191-540-480-000	SFR	1	1.0	284.38	276.10
1	191-540-490-000	SFR	1	1.0	284.38	276.10
1	191-540-500-000	SFR	1	1.0	284.38	276.10
1	191-540-510-000	SFR	1	1.0	284.38	276.10
1	191-540-520-000	SFR	1	1.0	284.38	276.10
1	191-540-530-000	SFR	1	1.0	284.38	276.10
1	191-540-540-000	SFR	1	1.0	284.38	276.10
1	191-540-550-000	SFR	1	1.0	284.38	276.10
1	191-540-560-000	SFR	1	1.0	284.38	276.10
1	191-540-570-000	SFR	1	1.0	284.38	276.10
1	191-540-580-000	SFR	1	1.0	284.38	276.10
1	191-540-590-000	SFR	1	1.0	284.38	276.10
1	191-540-600-000	SFR	1	1.0	284.38	276.10

**CITY OF LATHROP**  
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**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

<b>Zone</b>	<b>APN</b>	<b>Development Type</b>	<b>Units</b>	<b>EU</b>	<b>Maximum Assessment</b>	<b>2020/21 Assessment<sup>(1)</sup></b>
1	191-550-010-000	SFR	1	1.0	284.38	276.10
1	191-550-020-000	SFR	1	1.0	284.38	276.10
1	191-550-030-000	SFR	1	1.0	284.38	276.10
1	191-550-040-000	SFR	1	1.0	284.38	276.10
1	191-550-050-000	SFR	1	1.0	284.38	276.10
1	191-550-060-000	SFR	1	1.0	284.38	276.10
1	191-550-070-000	SFR	1	1.0	284.38	276.10
1	191-550-080-000	SFR	1	1.0	284.38	276.10
1	191-550-090-000	SFR	1	1.0	284.38	276.10
1	191-550-100-000	SFR	1	1.0	284.38	276.10
1	191-550-110-000	SFR	1	1.0	284.38	276.10
1	191-550-120-000	SFR	1	1.0	284.38	276.10
1	191-550-130-000	SFR	1	1.0	284.38	276.10
1	191-550-140-000	SFR	1	1.0	284.38	276.10
1	191-550-150-000	SFR	1	1.0	284.38	276.10
1	191-550-160-000	SFR	1	1.0	284.38	276.10
1	191-550-170-000	SFR	1	1.0	284.38	276.10
1	191-550-180-000	SFR	1	1.0	284.38	276.10
1	191-550-190-000	SFR	1	1.0	284.38	276.10
1	191-550-200-000	SFR	1	1.0	284.38	276.10
1	191-550-210-000	SFR	1	1.0	284.38	276.10
1	191-550-220-000	SFR	1	1.0	284.38	276.10
1	191-550-230-000	SFR	1	1.0	284.38	276.10
1	191-550-240-000	SFR	1	1.0	284.38	276.10
1	191-550-250-000	SFR	1	1.0	284.38	276.10
1	191-550-260-000	SFR	1	1.0	284.38	276.10
1	191-550-270-000	SFR	1	1.0	284.38	276.10
1	191-550-280-000	SFR	1	1.0	284.38	276.10
1	191-550-290-000	SFR	1	1.0	284.38	276.10
1	191-550-300-000	SFR	1	1.0	284.38	276.10
1	191-550-310-000	SFR	1	1.0	284.38	276.10
1	191-550-320-000	SFR	1	1.0	284.38	276.10
1	191-550-330-000	SFR	1	1.0	284.38	276.10
1	191-550-340-000	SFR	1	1.0	284.38	276.10
1	191-550-350-000	SFR	1	1.0	284.38	276.10
1	191-550-360-000	SFR	1	1.0	284.38	276.10
1	191-550-370-000	SFR	1	1.0	284.38	276.10
1	191-550-380-000	SFR	1	1.0	284.38	276.10
1	191-550-390-000	SFR	1	1.0	284.38	276.10
1	191-550-400-000	SFR	1	1.0	284.38	276.10
1	191-550-410-000	SFR	1	1.0	284.38	276.10
1	191-550-420-000	SFR	1	1.0	284.38	276.10
1	191-550-430-000	SFR	1	1.0	284.38	276.10
1	191-550-440-000	SFR	1	1.0	284.38	276.10
1	191-550-450-000	SFR	1	1.0	284.38	276.10
1	191-550-460-000	SFR	1	1.0	284.38	276.10
1	191-550-470-000	SFR	1	1.0	284.38	276.10
1	191-550-480-000	SFR	1	1.0	284.38	276.10

**CITY OF LATHROP**  
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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-550-490-000	SFR	1	1.0	284.38	276.10
1	191-550-500-000	SFR	1	1.0	284.38	276.10
1	191-550-510-000	SFR	1	1.0	284.38	276.10
1	191-550-520-000	SFR	1	1.0	284.38	276.10
1	191-550-530-000	SFR	1	1.0	284.38	276.10
1	191-550-540-000	SFR	1	1.0	284.38	276.10
1	191-550-550-000	SFR	1	1.0	284.38	276.10
1	191-550-560-000	SFR	1	1.0	284.38	276.10
1	191-550-570-000	SFR	1	1.0	284.38	276.10
1	191-550-580-000	SFR	1	1.0	284.38	276.10
1	191-550-590-000	SFR	1	1.0	284.38	276.10
1	191-550-600-000	SFR	1	1.0	284.38	276.10
1	191-550-610-000	SFR	1	1.0	284.38	276.10
1	191-550-620-000	SFR	1	1.0	284.38	276.10
1	191-550-630-000	SFR	1	1.0	284.38	276.10
1	191-550-640-000	SFR	1	1.0	284.38	276.10
1	191-550-650-000	SFR	1	1.0	284.38	276.10
1	191-550-660-000	SFR	1	1.0	284.38	276.10
1	191-550-670-000	SFR	1	1.0	284.38	276.10
1	191-550-680-000	SFR	1	1.0	284.38	276.10
1	191-560-010-000	SFR	1	1.0	284.38	276.10
1	191-560-020-000	SFR	1	1.0	284.38	276.10
1	191-560-030-000	SFR	1	1.0	284.38	276.10
1	191-560-040-000	SFR	1	1.0	284.38	276.10
1	191-560-050-000	SFR	1	1.0	284.38	276.10
1	191-560-060-000	SFR	1	1.0	284.38	276.10
1	191-560-070-000	SFR	1	1.0	284.38	276.10
1	191-560-080-000	SFR	1	1.0	284.38	276.10
1	191-560-090-000	SFR	1	1.0	284.38	276.10
1	191-560-100-000	SFR	1	1.0	284.38	276.10
1	191-560-110-000	SFR	1	1.0	284.38	276.10
1	191-560-120-000	SFR	1	1.0	284.38	276.10
1	191-560-130-000	SFR	1	1.0	284.38	276.10
1	191-560-140-000	SFR	1	1.0	284.38	276.10
1	191-560-150-000	SFR	1	1.0	284.38	276.10
1	191-560-160-000	SFR	1	1.0	284.38	276.10
1	191-560-170-000	SFR	1	1.0	284.38	276.10
1	191-560-180-000	SFR	1	1.0	284.38	276.10
1	191-560-190-000	SFR	1	1.0	284.38	276.10
1	191-560-200-000	SFR	1	1.0	284.38	276.10
1	191-560-210-000	SFR	1	1.0	284.38	276.10
1	191-560-220-000	SFR	1	1.0	284.38	276.10
1	191-560-230-000	SFR	1	1.0	284.38	276.10
1	191-560-240-000	SFR	1	1.0	284.38	276.10
1	191-560-250-000	SFR	1	1.0	284.38	276.10
1	191-560-260-000	SFR	1	1.0	284.38	276.10
1	191-560-270-000	SFR	1	1.0	284.38	276.10
1	191-560-280-000	SFR	1	1.0	284.38	276.10

**CITY OF LATHROP**  
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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-560-290-000	SFR	1	1.0	284.38	276.10
1	191-560-300-000	SFR	1	1.0	284.38	276.10
1	191-560-310-000	SFR	1	1.0	284.38	276.10
1	191-560-320-000	SFR	1	1.0	284.38	276.10
1	191-560-330-000	SFR	1	1.0	284.38	276.10
1	191-560-340-000	SFR	1	1.0	284.38	276.10
1	191-560-350-000	SFR	1	1.0	284.38	276.10
1	191-560-360-000	SFR	1	1.0	284.38	276.10
1	191-560-370-000	SFR	1	1.0	284.38	276.10
1	191-560-380-000	SFR	1	1.0	284.38	276.10
1	191-560-390-000	SFR	1	1.0	284.38	276.10
1	191-560-400-000	SFR	1	1.0	284.38	276.10
1	191-560-410-000	SFR	1	1.0	284.38	276.10
1	191-560-420-000	SFR	1	1.0	284.38	276.10
1	191-560-430-000	SFR	1	1.0	284.38	276.10
1	191-560-440-000	SFR	1	1.0	284.38	276.10
1	191-560-450-000	SFR	1	1.0	284.38	276.10
1	191-560-460-000	SFR	1	1.0	284.38	276.10
1	191-570-010-000	SFR	1	1.0	284.38	276.10
1	191-570-020-000	SFR	1	1.0	284.38	276.10
1	191-570-030-000	SFR	1	1.0	284.38	276.10
1	191-570-040-000	SFR	1	1.0	284.38	276.10
1	191-570-050-000	SFR	1	1.0	284.38	276.10
1	191-570-060-000	SFR	1	1.0	284.38	276.10
1	191-570-070-000	SFR	1	1.0	284.38	276.10
1	191-570-080-000	SFR	1	1.0	284.38	276.10
1	191-570-090-000	SFR	1	1.0	284.38	276.10
1	191-570-100-000	SFR	1	1.0	284.38	276.10
1	191-570-110-000	SFR	1	1.0	284.38	276.10
1	191-570-120-000	SFR	1	1.0	284.38	276.10
1	191-570-130-000	SFR	1	1.0	284.38	276.10
1	191-570-140-000	SFR	1	1.0	284.38	276.10
1	191-570-150-000	SFR	1	1.0	284.38	276.10
1	191-570-160-000	SFR	1	1.0	284.38	276.10
1	191-570-170-000	SFR	1	1.0	284.38	276.10
1	191-570-180-000	SFR	1	1.0	284.38	276.10
1	191-570-190-000	SFR	1	1.0	284.38	276.10
1	191-570-200-000	SFR	1	1.0	284.38	276.10
1	191-570-210-000	SFR	1	1.0	284.38	276.10
1	191-570-220-000	SFR	1	1.0	284.38	276.10
1	191-570-230-000	SFR	1	1.0	284.38	276.10
1	191-570-240-000	SFR	1	1.0	284.38	276.10
1	191-570-250-000	SFR	1	1.0	284.38	276.10
1	191-570-260-000	SFR	1	1.0	284.38	276.10
1	191-570-270-000	SFR	1	1.0	284.38	276.10
1	191-570-280-000	SFR	1	1.0	284.38	276.10
1	191-570-290-000	SFR	1	1.0	284.38	276.10
1	191-570-300-000	SFR	1	1.0	284.38	276.10

**CITY OF LATHROP**  
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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-570-310-000	SFR	1	1.0	284.38	276.10
1	191-570-320-000	SFR	1	1.0	284.38	276.10
1	191-570-330-000	SFR	1	1.0	284.38	276.10
1	191-570-340-000	SFR	1	1.0	284.38	276.10
1	191-570-350-000	SFR	1	1.0	284.38	276.10
1	191-570-360-000	SFR	1	1.0	284.38	276.10
1	191-570-370-000	SFR	1	1.0	284.38	276.10
1	191-570-380-000	SFR	1	1.0	284.38	276.10
1	191-570-390-000	SFR	1	1.0	284.38	276.10
1	191-570-400-000	SFR	1	1.0	284.38	276.10
1	191-570-410-000	SFR	1	1.0	284.38	276.10
1	191-570-420-000	SFR	1	1.0	284.38	276.10
1	191-570-430-000	SFR	1	1.0	284.38	276.10
1	191-570-440-000	SFR	1	1.0	284.38	276.10
1	191-570-450-000	SFR	1	1.0	284.38	276.10
1	191-570-460-000	SFR	1	1.0	284.38	276.10
1	191-570-470-000	SFR	1	1.0	284.38	276.10
1	191-570-480-000	SFR	1	1.0	284.38	276.10
1	191-570-490-000	SFR	1	1.0	284.38	276.10
1	191-570-500-000	SFR	1	1.0	284.38	276.10
1	191-580-010-000	SFR	1	1.0	284.38	276.10
1	191-580-020-000	SFR	1	1.0	284.38	276.10
1	191-580-030-000	SFR	1	1.0	284.38	276.10
1	191-580-040-000	SFR	1	1.0	284.38	276.10
1	191-580-050-000	SFR	1	1.0	284.38	276.10
1	191-580-060-000	SFR	1	1.0	284.38	276.10
1	191-580-070-000	SFR	1	1.0	284.38	276.10
1	191-580-080-000	SFR	1	1.0	284.38	276.10
1	191-580-090-000	SFR	1	1.0	284.38	276.10
1	191-580-100-000	SFR	1	1.0	284.38	276.10
1	191-580-110-000	SFR	1	1.0	284.38	276.10
1	191-580-120-000	SFR	1	1.0	284.38	276.10
1	191-580-130-000	SFR	1	1.0	284.38	276.10
1	191-580-140-000	SFR	1	1.0	284.38	276.10
1	191-580-150-000	SFR	1	1.0	284.38	276.10
1	191-580-160-000	SFR	1	1.0	284.38	276.10
1	191-580-170-000	SFR	1	1.0	284.38	276.10
1	191-580-180-000	SFR	1	1.0	284.38	276.10
1	191-580-190-000	SFR	1	1.0	284.38	276.10
1	191-580-200-000	SFR	1	1.0	284.38	276.10
1	191-580-210-000	SFR	1	1.0	284.38	276.10
1	191-580-220-000	SFR	1	1.0	284.38	276.10
1	191-580-230-000	SFR	1	1.0	284.38	276.10
1	191-580-240-000	SFR	1	1.0	284.38	276.10
1	191-580-250-000	SFR	1	1.0	284.38	276.10
1	191-580-260-000	SFR	1	1.0	284.38	276.10
1	191-580-270-000	SFR	1	1.0	284.38	276.10
1	191-580-280-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-580-290-000	SFR	1	1.0	284.38	276.10
1	191-580-300-000	SFR	1	1.0	284.38	276.10
1	191-580-310-000	SFR	1	1.0	284.38	276.10
1	191-580-320-000	SFR	1	1.0	284.38	276.10
1	191-580-330-000	SFR	1	1.0	284.38	276.10
1	191-580-340-000	SFR	1	1.0	284.38	276.10
1	191-580-350-000	SFR	1	1.0	284.38	276.10
1	191-580-360-000	SFR	1	1.0	284.38	276.10
1	191-580-370-000	SFR	1	1.0	284.38	276.10
1	191-580-380-000	SFR	1	1.0	284.38	276.10
1	191-580-390-000	SFR	1	1.0	284.38	276.10
1	191-590-010-000	SFR	1	1.0	284.38	276.10
1	191-590-020-000	SFR	1	1.0	284.38	276.10
1	191-590-030-000	SFR	1	1.0	284.38	276.10
1	191-590-040-000	SFR	1	1.0	284.38	276.10
1	191-590-050-000	SFR	1	1.0	284.38	276.10
1	191-590-060-000	SFR	1	1.0	284.38	276.10
1	191-590-070-000	SFR	1	1.0	284.38	276.10
1	191-590-080-000	SFR	1	1.0	284.38	276.10
1	191-590-090-000	SFR	1	1.0	284.38	276.10
1	191-590-100-000	SFR	1	1.0	284.38	276.10
1	191-590-110-000	SFR	1	1.0	284.38	276.10
1	191-590-120-000	SFR	1	1.0	284.38	276.10
1	191-590-130-000	SFR	1	1.0	284.38	276.10
1	191-590-140-000	SFR	1	1.0	284.38	276.10
1	191-590-150-000	SFR	1	1.0	284.38	276.10
1	191-590-180-000	SFR	1	1.0	284.38	276.10
1	191-590-190-000	SFR	1	1.0	284.38	276.10
1	191-590-200-000	SFR	1	1.0	284.38	276.10
1	191-590-210-000	SFR	1	1.0	284.38	276.10
1	191-590-220-000	SFR	1	1.0	284.38	276.10
1	191-590-240-000	SFR	1	1.0	284.38	276.10
1	191-590-250-000	SFR	1	1.0	284.38	276.10
1	191-590-260-000	SFR	1	1.0	284.38	276.10
1	191-590-270-000	SFR	1	1.0	284.38	276.10
1	191-590-280-000	SFR	1	1.0	284.38	276.10
1	191-590-290-000	SFR	1	1.0	284.38	276.10
1	191-590-300-000	SFR	1	1.0	284.38	276.10
1	191-590-310-000	SFR	1	1.0	284.38	276.10
1	191-590-320-000	SFR	1	1.0	284.38	276.10
1	191-590-330-000	SFR	1	1.0	284.38	276.10
1	191-590-340-000	SFR	1	1.0	284.38	276.10
1	191-590-350-000	SFR	1	1.0	284.38	276.10
1	191-590-360-000	SFR	1	1.0	284.38	276.10
1	191-590-370-000	SFR	1	1.0	284.38	276.10
1	191-590-380-000	SFR	1	1.0	284.38	276.10
1	191-590-390-000	SFR	1	1.0	284.38	276.10
1	191-590-400-000	SFR	1	1.0	284.38	276.10



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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-590-410-000	SFR	1	1.0	284.38	276.10
1	191-590-420-000	SFR	1	1.0	284.38	276.10
1	191-590-430-000	SFR	1	1.0	284.38	276.10
1	191-590-440-000	SFR	1	1.0	284.38	276.10
1	191-590-450-000	SFR	1	1.0	284.38	276.10
1	191-590-460-000	SFR	1	1.0	284.38	276.10
1	191-590-470-000	SFR	1	1.0	284.38	276.10
1	191-590-480-000	SFR	1	1.0	284.38	276.10
1	191-590-490-000	SFR	1	1.0	284.38	276.10
1	191-590-500-000	SFR	1	1.0	284.38	276.10
1	191-590-510-000	SFR	1	1.0	284.38	276.10
1	191-590-520-000	SFR	1	1.0	284.38	276.10
1	191-590-530-000	SFR	1	1.0	284.38	276.10
1	191-590-540-000	SFR	1	1.0	284.38	276.10
1	191-590-550-000	SFR	1	1.0	284.38	276.10
1	191-590-560-000	SFR	1	1.0	284.38	276.10
1	191-590-570-000	SFR	1	1.0	284.38	276.10
1	191-590-580-000	SFR	1	1.0	284.38	276.10
1	191-590-590-000	SFR	1	1.0	284.38	276.10
1	191-590-600-000	SFR	1	1.0	284.38	276.10
1	191-590-610-000	SFR	1	1.0	284.38	276.10
1	191-590-620-000	SFR	1	1.0	284.38	276.10
1	191-590-630-000	SFR	1	1.0	284.38	276.10
1	191-590-640-000	SFR	1	1.0	284.38	276.10
1	191-590-650-000	SFR	1	1.0	284.38	276.10
1	191-590-660-000	SFR	1	1.0	284.38	276.10
1	191-590-670-000	SFR	1	1.0	284.38	276.10
1	191-590-680-000	SFR	1	1.0	284.38	276.10
1	191-590-690-000	SFR	1	1.0	284.38	276.10
1	191-590-700-000	SFR	1	1.0	284.38	276.10
1	191-600-010-000	SFR	1	1.0	284.38	276.10
1	191-600-020-000	SFR	1	1.0	284.38	276.10
1	191-600-030-000	SFR	1	1.0	284.38	276.10
1	191-600-040-000	SFR	1	1.0	284.38	276.10
1	191-600-050-000	SFR	1	1.0	284.38	276.10
1	191-600-060-000	SFR	1	1.0	284.38	276.10
1	191-600-070-000	SFR	1	1.0	284.38	276.10
1	191-600-080-000	SFR	1	1.0	284.38	276.10
1	191-600-090-000	SFR	1	1.0	284.38	276.10
1	191-600-100-000	SFR	1	1.0	284.38	276.10
1	191-600-110-000	SFR	1	1.0	284.38	276.10
1	191-600-120-000	SFR	1	1.0	284.38	276.10
1	191-600-130-000	SFR	1	1.0	284.38	276.10
1	191-600-140-000	SFR	1	1.0	284.38	276.10
1	191-600-150-000	SFR	1	1.0	284.38	276.10
1	191-600-160-000	SFR	1	1.0	284.38	276.10
1	191-600-170-000	SFR	1	1.0	284.38	276.10
1	191-600-180-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-600-190-000	SFR	1	1.0	284.38	276.10
1	191-600-200-000	SFR	1	1.0	284.38	276.10
1	191-600-210-000	SFR	1	1.0	284.38	276.10
1	191-600-220-000	SFR	1	1.0	284.38	276.10
1	191-600-230-000	SFR	1	1.0	284.38	276.10
1	191-600-240-000	SFR	1	1.0	284.38	276.10
1	191-600-250-000	SFR	1	1.0	284.38	276.10
1	191-600-260-000	SFR	1	1.0	284.38	276.10
1	191-600-270-000	SFR	1	1.0	284.38	276.10
1	191-600-280-000	SFR	1	1.0	284.38	276.10
1	191-600-290-000	SFR	1	1.0	284.38	276.10
1	191-600-300-000	SFR	1	1.0	284.38	276.10
1	191-600-340-000	SFR	1	1.0	284.38	276.10
1	191-600-350-000	SFR	1	1.0	284.38	276.10
1	191-600-360-000	SFR	1	1.0	284.38	276.10
1	191-600-370-000	SFR	1	1.0	284.38	276.10
1	191-600-380-000	SFR	1	1.0	284.38	276.10
1	191-600-390-000	SFR	1	1.0	284.38	276.10
1	191-600-400-000	SFR	1	1.0	284.38	276.10
1	191-600-460-000	SFR	1	1.0	284.38	276.10
1	191-600-470-000	SFR	1	1.0	284.38	276.10
1	191-600-480-000	SFR	1	1.0	284.38	276.10
1	191-600-490-000	SFR	1	1.0	284.38	276.10
1	191-600-500-000	SFR	1	1.0	284.38	276.10
1	191-600-510-000	SFR	1	1.0	284.38	276.10
1	191-600-520-000	SFR	1	1.0	284.38	276.10
1	191-600-530-000	SFR	1	1.0	284.38	276.10
1	191-600-540-000	SFR	1	1.0	284.38	276.10
1	191-600-550-000	SFR	1	1.0	284.38	276.10
1	191-600-560-000	SFR	1	1.0	284.38	276.10
1	191-600-570-000	SFR	1	1.0	284.38	276.10
1	191-600-580-000	SFR	1	1.0	284.38	276.10
1	191-600-590-000	SFR	1	1.0	284.38	276.10
1	191-600-600-000	SFR	1	1.0	284.38	276.10
1	191-600-610-000	SFR	1	1.0	284.38	276.10
1	191-600-620-000	SFR	1	1.0	284.38	276.10
1	191-600-630-000	SFR	1	1.0	284.38	276.10
1	191-600-640-000	SFR	1	1.0	284.38	276.10
1	191-600-650-000	SFR	1	1.0	284.38	276.10
1	191-600-660-000	SFR	1	1.0	284.38	276.10
1	191-600-670-000	SFR	1	1.0	284.38	276.10
1	191-600-680-000	SFR	1	1.0	284.38	276.10
1	191-600-690-000	SFR	1	1.0	284.38	276.10
1	191-600-700-000	SFR	1	1.0	284.38	276.10
1	191-600-710-000	SFR	1	1.0	284.38	276.10
1	191-600-720-000	SFR	1	1.0	284.38	276.10
1	191-600-730-000	SFR	1	1.0	284.38	276.10
1	191-600-740-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-600-750-000	SFR	1	1.0	284.38	276.10
1	191-610-030-000	SFR	1	1.0	284.38	276.10
1	191-610-040-000	SFR	1	1.0	284.38	276.10
1	191-610-050-000	SFR	1	1.0	284.38	276.10
1	191-610-060-000	SFR	1	1.0	284.38	276.10
1	191-610-070-000	SFR	1	1.0	284.38	276.10
1	191-610-080-000	SFR	1	1.0	284.38	276.10
1	191-610-090-000	SFR	1	1.0	284.38	276.10
1	191-610-100-000	SFR	1	1.0	284.38	276.10
1	191-610-110-000	SFR	1	1.0	284.38	276.10
1	191-610-120-000	SFR	1	1.0	284.38	276.10
1	191-610-130-000	SFR	1	1.0	284.38	276.10
1	191-610-140-000	SFR	1	1.0	284.38	276.10
1	191-610-150-000	SFR	1	1.0	284.38	276.10
1	191-610-160-000	SFR	1	1.0	284.38	276.10
1	191-610-170-000	SFR	1	1.0	284.38	276.10
1	191-610-180-000	SFR	1	1.0	284.38	276.10
1	191-610-190-000	SFR	1	1.0	284.38	276.10
1	191-610-200-000	SFR	1	1.0	284.38	276.10
1	191-610-210-000	SFR	1	1.0	284.38	276.10
1	191-610-240-000	SFR	1	1.0	284.38	276.10
1	191-610-250-000	SFR	1	1.0	284.38	276.10
1	191-610-260-000	SFR	1	1.0	284.38	276.10
1	191-610-270-000	SFR	1	1.0	284.38	276.10
1	191-610-280-000	SFR	1	1.0	284.38	276.10
1	191-610-290-000	SFR	1	1.0	284.38	276.10
1	191-610-300-000	SFR	1	1.0	284.38	276.10
1	191-610-310-000	SFR	1	1.0	284.38	276.10
1	191-610-320-000	SFR	1	1.0	284.38	276.10
1	191-610-330-000	SFR	1	1.0	284.38	276.10
1	191-610-340-000	SFR	1	1.0	284.38	276.10
1	191-610-350-000	SFR	1	1.0	284.38	276.10
1	191-610-360-000	SFR	1	1.0	284.38	276.10
1	191-610-370-000	SFR	1	1.0	284.38	276.10
1	191-610-380-000	SFR	1	1.0	284.38	276.10
1	191-610-390-000	SFR	1	1.0	284.38	276.10
1	191-610-400-000	SFR	1	1.0	284.38	276.10
1	191-610-410-000	SFR	1	1.0	284.38	276.10
1	191-620-010-000	SFR	1	1.0	284.38	276.10
1	191-620-020-000	SFR	1	1.0	284.38	276.10
1	191-620-030-000	SFR	1	1.0	284.38	276.10
1	191-620-040-000	SFR	1	1.0	284.38	276.10
1	191-620-050-000	SFR	1	1.0	284.38	276.10
1	191-620-060-000	SFR	1	1.0	284.38	276.10
1	191-620-070-000	SFR	1	1.0	284.38	276.10
1	191-620-130-000	SFR	1	1.0	284.38	276.10
1	191-620-140-000	SFR	1	1.0	284.38	276.10
1	191-620-150-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-620-160-000	SFR	1	1.0	284.38	276.10
1	191-620-170-000	SFR	1	1.0	284.38	276.10
1	191-620-180-000	SFR	1	1.0	284.38	276.10
1	191-620-190-000	SFR	1	1.0	284.38	276.10
1	191-620-200-000	SFR	1	1.0	284.38	276.10
1	191-620-210-000	SFR	1	1.0	284.38	276.10
1	191-620-220-000	SFR	1	1.0	284.38	276.10
1	191-620-230-000	SFR	1	1.0	284.38	276.10
1	191-620-250-000	SFR	1	1.0	284.38	276.10
1	191-620-260-000	SFR	1	1.0	284.38	276.10
1	191-620-270-000	SFR	1	1.0	284.38	276.10
1	191-620-280-000	SFR	1	1.0	284.38	276.10
1	191-620-290-000	SFR	1	1.0	284.38	276.10
1	191-620-300-000	SFR	1	1.0	284.38	276.10
1	191-620-310-000	SFR	1	1.0	284.38	276.10
1	191-620-320-000	SFR	1	1.0	284.38	276.10
1	191-620-330-000	SFR	1	1.0	284.38	276.10
1	191-620-340-000	SFR	1	1.0	284.38	276.10
1	191-620-350-000	SFR	1	1.0	284.38	276.10
1	191-620-360-000	SFR	1	1.0	284.38	276.10
1	191-620-370-000	SFR	1	1.0	284.38	276.10
1	191-620-380-000	SFR	1	1.0	284.38	276.10
1	191-620-390-000	SFR	1	1.0	284.38	276.10
1	191-620-400-000	SFR	1	1.0	284.38	276.10
1	191-620-410-000	SFR	1	1.0	284.38	276.10
1	191-620-420-000	SFR	1	1.0	284.38	276.10
1	191-620-430-000	SFR	1	1.0	284.38	276.10
1	191-620-440-000	SFR	1	1.0	284.38	276.10
1	191-620-450-000	SFR	1	1.0	284.38	276.10
1	191-620-460-000	SFR	1	1.0	284.38	276.10
1	191-620-470-000	SFR	1	1.0	284.38	276.10
1	191-620-480-000	SFR	1	1.0	284.38	276.10
1	191-620-520-000	SFR	1	1.0	284.38	276.10
1	191-620-540-000	SFR	1	1.0	284.38	276.10
1	191-620-560-000	SFR	1	1.0	284.38	276.10
1	191-620-570-000	SFR	1	1.0	284.38	276.10
1	191-630-010-000	SFR	1	1.0	284.38	276.10
1	191-630-020-000	SFR	1	1.0	284.38	276.10
1	191-630-030-000	SFR	1	1.0	284.38	276.10
1	191-630-040-000	SFR	1	1.0	284.38	276.10
1	191-630-050-000	SFR	1	1.0	284.38	276.10
1	191-630-060-000	SFR	1	1.0	284.38	276.10
1	191-630-070-000	SFR	1	1.0	284.38	276.10
1	191-630-080-000	SFR	1	1.0	284.38	276.10
1	191-630-090-000	SFR	1	1.0	284.38	276.10
1	191-630-100-000	SFR	1	1.0	284.38	276.10
1	191-630-110-000	SFR	1	1.0	284.38	276.10
1	191-630-120-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-630-130-000	SFR	1	1.0	284.38	276.10
1	191-630-140-000	SFR	1	1.0	284.38	276.10
1	191-630-150-000	SFR	1	1.0	284.38	276.10
1	191-630-180-000	SFR	1	1.0	284.38	276.10
1	191-630-190-000	SFR	1	1.0	284.38	276.10
1	191-630-200-000	SFR	1	1.0	284.38	276.10
1	191-630-210-000	SFR	1	1.0	284.38	276.10
1	191-630-220-000	SFR	1	1.0	284.38	276.10
1	191-630-230-000	SFR	1	1.0	284.38	276.10
1	191-630-240-000	SFR	1	1.0	284.38	276.10
1	191-630-250-000	SFR	1	1.0	284.38	276.10
1	191-630-260-000	SFR	1	1.0	284.38	276.10
1	191-630-270-000	SFR	1	1.0	284.38	276.10
1	191-630-280-000	SFR	1	1.0	284.38	276.10
1	191-630-280-000	SFR	1	1.0	284.38	276.10
1	191-630-290-000	SFR	1	1.0	284.38	276.10
1	191-630-320-000	SFR	1	1.0	284.38	276.10
1	191-630-330-000	SFR	1	1.0	284.38	276.10
1	191-630-340-000	SFR	1	1.0	284.38	276.10
1	191-630-350-000	SFR	1	1.0	284.38	276.10
1	191-630-360-000	SFR	1	1.0	284.38	276.10
1	191-630-370-000	SFR	1	1.0	284.38	276.10
1	191-630-380-000	SFR	1	1.0	284.38	276.10
1	191-630-390-000	SFR	1	1.0	284.38	276.10
1	191-630-400-000	SFR	1	1.0	284.38	276.10
1	191-630-410-000	SFR	1	1.0	284.38	276.10
1	191-630-420-000	SFR	1	1.0	284.38	276.10
1	191-630-430-000	SFR	1	1.0	284.38	276.10
1	191-630-440-000	SFR	1	1.0	284.38	276.10
1	191-630-450-000	SFR	1	1.0	284.38	276.10
1	191-630-460-000	SFR	1	1.0	284.38	276.10
1	191-630-470-000	SFR	1	1.0	284.38	276.10
1	191-630-480-000	SFR	1	1.0	284.38	276.10
1	191-630-500-000	SFR	1	1.0	284.38	276.10
1	191-630-510-000	SFR	1	1.0	284.38	276.10
1	191-640-010-000	SFR	1	1.0	284.38	276.10
1	191-640-020-000	SFR	1	1.0	284.38	276.10
1	191-640-030-000	SFR	1	1.0	284.38	276.10
1	191-640-040-000	SFR	1	1.0	284.38	276.10
1	191-640-050-000	SFR	1	1.0	284.38	276.10
1	191-640-060-000	SFR	1	1.0	284.38	276.10
1	191-640-070-000	SFR	1	1.0	284.38	276.10
1	191-640-080-000	SFR	1	1.0	284.38	276.10
1	191-640-090-000	SFR	1	1.0	284.38	276.10
1	191-640-100-000	SFR	1	1.0	284.38	276.10
1	191-640-110-000	SFR	1	1.0	284.38	276.10
1	191-640-120-000	SFR	1	1.0	284.38	276.10
1	191-640-130-000	SFR	1	1.0	284.38	276.10
1	191-640-140-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-640-150-000	SFR	1	1.0	284.38	276.10
1	191-640-160-000	SFR	1	1.0	284.38	276.10
1	191-640-170-000	SFR	1	1.0	284.38	276.10
1	191-640-180-000	SFR	1	1.0	284.38	276.10
1	191-640-190-000	SFR	1	1.0	284.38	276.10
1	191-640-200-000	SFR	1	1.0	284.38	276.10
1	191-640-210-000	SFR	1	1.0	284.38	276.10
1	191-640-220-000	SFR	1	1.0	284.38	276.10
1	191-640-230-000	SFR	1	1.0	284.38	276.10
1	191-640-240-000	SFR	1	1.0	284.38	276.10
1	191-640-250-000	SFR	1	1.0	284.38	276.10
1	191-640-260-000	SFR	1	1.0	284.38	276.10
1	191-640-270-000	SFR	1	1.0	284.38	276.10
1	191-640-280-000	SFR	1	1.0	284.38	276.10
1	191-640-290-000	SFR	1	1.0	284.38	276.10
1	191-640-300-000	SFR	1	1.0	284.38	276.10
1	191-640-310-000	SFR	1	1.0	284.38	276.10
1	191-640-320-000	SFR	1	1.0	284.38	276.10
1	191-640-330-000	SFR	1	1.0	284.38	276.10
1	191-640-340-000	SFR	1	1.0	284.38	276.10
1	191-640-350-000	SFR	1	1.0	284.38	276.10
1	191-640-360-000	SFR	1	1.0	284.38	276.10
1	191-640-370-000	SFR	1	1.0	284.38	276.10
1	191-640-380-000	SFR	1	1.0	284.38	276.10
1	191-640-390-000	SFR	1	1.0	284.38	276.10
1	191-640-400-000	SFR	1	1.0	284.38	276.10
1	191-640-410-000	SFR	1	1.0	284.38	276.10
1	191-640-420-000	SFR	1	1.0	284.38	276.10
1	191-640-430-000	SFR	1	1.0	284.38	276.10
1	191-640-440-000	SFR	1	1.0	284.38	276.10
1	191-640-450-000	SFR	1	1.0	284.38	276.10
1	191-640-460-000	SFR	1	1.0	284.38	276.10
1	191-640-470-000	SFR	1	1.0	284.38	276.10
1	191-640-480-000	SFR	1	1.0	284.38	276.10
1	191-640-490-000	SFR	1	1.0	284.38	276.10
1	191-640-500-000	SFR	1	1.0	284.38	276.10
1	191-640-510-000	SFR	1	1.0	284.38	276.10
1	191-640-520-000	SFR	1	1.0	284.38	276.10
1	191-640-530-000	SFR	1	1.0	284.38	276.10
1	191-640-540-000	SFR	1	1.0	284.38	276.10
1	191-640-550-000	SFR	1	1.0	284.38	276.10
1	191-640-560-000	SFR	1	1.0	284.38	276.10
1	191-640-570-000	SFR	1	1.0	284.38	276.10
1	191-640-580-000	SFR	1	1.0	284.38	276.10
1	191-640-590-000	SFR	1	1.0	284.38	276.10
1	191-640-600-000	SFR	1	1.0	284.38	276.10
1	191-640-610-000	SFR	1	1.0	284.38	276.10
1	191-640-620-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-640-630-000	SFR	1	1.0	284.38	276.10
1	191-640-640-000	SFR	1	1.0	284.38	276.10
1	191-640-650-000	SFR	1	1.0	284.38	276.10
1	191-650-010-000	SFR	1	1.0	284.38	276.10
1	191-650-020-000	SFR	1	1.0	284.38	276.10
1	191-650-030-000	SFR	1	1.0	284.38	276.10
1	191-650-040-000	SFR	1	1.0	284.38	276.10
1	191-650-050-000	SFR	1	1.0	284.38	276.10
1	191-650-060-000	SFR	1	1.0	284.38	276.10
1	191-650-070-000	SFR	1	1.0	284.38	276.10
1	191-650-080-000	SFR	1	1.0	284.38	276.10
1	191-650-090-000	SFR	1	1.0	284.38	276.10
1	191-650-100-000	SFR	1	1.0	284.38	276.10
1	191-650-110-000	SFR	1	1.0	284.38	276.10
1	191-650-120-000	SFR	1	1.0	284.38	276.10
1	191-650-130-000	SFR	1	1.0	284.38	276.10
1	191-650-140-000	SFR	1	1.0	284.38	276.10
1	191-650-150-000	SFR	1	1.0	284.38	276.10
1	191-650-160-000	SFR	1	1.0	284.38	276.10
1	191-650-170-000	SFR	1	1.0	284.38	276.10
1	191-650-180-000	SFR	1	1.0	284.38	276.10
1	191-650-190-000	SFR	1	1.0	284.38	276.10
1	191-650-200-000	SFR	1	1.0	284.38	276.10
1	191-650-210-000	SFR	1	1.0	284.38	276.10
1	191-650-220-000	SFR	1	1.0	284.38	276.10
1	191-650-230-000	SFR	1	1.0	284.38	276.10
1	191-650-240-000	SFR	1	1.0	284.38	276.10
1	191-650-250-000	SFR	1	1.0	284.38	276.10
1	191-650-260-000	SFR	1	1.0	284.38	276.10
1	191-650-270-000	SFR	1	1.0	284.38	276.10
1	191-650-280-000	SFR	1	1.0	284.38	276.10
1	191-650-290-000	SFR	1	1.0	284.38	276.10
1	191-650-300-000	SFR	1	1.0	284.38	276.10
1	191-650-310-000	SFR	1	1.0	284.38	276.10
1	191-650-320-000	SFR	1	1.0	284.38	276.10
1	191-650-330-000	SFR	1	1.0	284.38	276.10
1	191-650-340-000	SFR	1	1.0	284.38	276.10
1	191-650-350-000	SFR	1	1.0	284.38	276.10
1	191-650-360-000	SFR	1	1.0	284.38	276.10
1	191-660-010-000	SFR	1	1.0	284.38	276.10
1	191-660-020-000	SFR	1	1.0	284.38	276.10
1	191-660-030-000	SFR	1	1.0	284.38	276.10
1	191-660-040-000	SFR	1	1.0	284.38	276.10
1	191-660-050-000	SFR	1	1.0	284.38	276.10
1	191-660-060-000	SFR	1	1.0	284.38	276.10
1	191-660-070-000	SFR	1	1.0	284.38	276.10
1	191-660-080-000	SFR	1	1.0	284.38	276.10
1	191-660-090-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-660-100-000	SFR	1	1.0	284.38	276.10
1	191-660-110-000	SFR	1	1.0	284.38	276.10
1	191-660-120-000	SFR	1	1.0	284.38	276.10
1	191-660-130-000	SFR	1	1.0	284.38	276.10
1	191-660-140-000	SFR	1	1.0	284.38	276.10
1	191-660-150-000	SFR	1	1.0	284.38	276.10
1	191-660-160-000	SFR	1	1.0	284.38	276.10
1	191-660-170-000	SFR	1	1.0	284.38	276.10
1	191-660-180-000	SFR	1	1.0	284.38	276.10
1	191-660-190-000	SFR	1	1.0	284.38	276.10
1	191-660-200-000	SFR	1	1.0	284.38	276.10
1	191-660-210-000	SFR	1	1.0	284.38	276.10
1	191-660-220-000	SFR	1	1.0	284.38	276.10
1	191-660-230-000	SFR	1	1.0	284.38	276.10
1	191-660-240-000	SFR	1	1.0	284.38	276.10
1	191-660-250-000	SFR	1	1.0	284.38	276.10
1	191-660-260-000	SFR	1	1.0	284.38	276.10
1	191-660-270-000	SFR	1	1.0	284.38	276.10
1	191-660-280-000	SFR	1	1.0	284.38	276.10
1	191-660-290-000	SFR	1	1.0	284.38	276.10
1	191-660-300-000	SFR	1	1.0	284.38	276.10
1	191-660-310-000	SFR	1	1.0	284.38	276.10
1	191-660-320-000	SFR	1	1.0	284.38	276.10
1	191-660-330-000	SFR	1	1.0	284.38	276.10
1	191-670-010-000	SFR	1	1.0	284.38	276.10
1	191-670-020-000	SFR	1	1.0	284.38	276.10
1	191-670-030-000	SFR	1	1.0	284.38	276.10
1	191-670-040-000	SFR	1	1.0	284.38	276.10
1	191-670-050-000	SFR	1	1.0	284.38	276.10
1	191-670-060-000	SFR	1	1.0	284.38	276.10
1	191-670-070-000	SFR	1	1.0	284.38	276.10
1	191-670-080-000	SFR	1	1.0	284.38	276.10
1	191-670-090-000	SFR	1	1.0	284.38	276.10
1	191-670-100-000	SFR	1	1.0	284.38	276.10
1	191-670-110-000	SFR	1	1.0	284.38	276.10
1	191-670-120-000	SFR	1	1.0	284.38	276.10
1	191-670-130-000	SFR	1	1.0	284.38	276.10
1	191-670-140-000	SFR	1	1.0	284.38	276.10
1	191-670-150-000	SFR	1	1.0	284.38	276.10
1	191-670-160-000	SFR	1	1.0	284.38	276.10
1	191-670-170-000	SFR	1	1.0	284.38	276.10
1	191-670-180-000	SFR	1	1.0	284.38	276.10
1	191-670-190-000	SFR	1	1.0	284.38	276.10
1	191-670-200-000	SFR	1	1.0	284.38	276.10
1	191-670-210-000	SFR	1	1.0	284.38	276.10
1	191-670-220-000	SFR	1	1.0	284.38	276.10
1	191-670-230-000	SFR	1	1.0	284.38	276.10
1	191-670-240-000	SFR	1	1.0	284.38	276.10



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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-670-250-000	SFR	1	1.0	284.38	276.10
1	191-670-260-000	SFR	1	1.0	284.38	276.10
1	191-670-270-000	SFR	1	1.0	284.38	276.10
1	191-670-280-000	SFR	1	1.0	284.38	276.10
1	191-670-290-000	SFR	1	1.0	284.38	276.10
1	191-670-300-000	SFR	1	1.0	284.38	276.10
1	191-670-310-000	SFR	1	1.0	284.38	276.10
1	191-670-320-000	SFR	1	1.0	284.38	276.10
1	191-670-330-000	SFR	1	1.0	284.38	276.10
1	191-670-340-000	SFR	1	1.0	284.38	276.10
1	191-670-350-000	SFR	1	1.0	284.38	276.10
1	191-670-360-000	SFR	1	1.0	284.38	276.10
1	191-670-370-000	SFR	1	1.0	284.38	276.10
1	191-670-380-000	SFR	1	1.0	284.38	276.10
1	191-670-390-000	SFR	1	1.0	284.38	276.10
1	191-670-400-000	SFR	1	1.0	284.38	276.10
1	191-670-410-000	SFR	1	1.0	284.38	276.10
1	191-670-420-000	SFR	1	1.0	284.38	276.10
1	191-670-430-000	SFR	1	1.0	284.38	276.10
1	191-670-440-000	SFR	1	1.0	284.38	276.10
1	191-670-450-000	SFR	1	1.0	284.38	276.10
1	191-670-460-000	SFR	1	1.0	284.38	276.10
1	191-670-470-000	SFR	1	1.0	284.38	276.10
1	191-670-480-000	SFR	1	1.0	284.38	276.10
1	191-670-490-000	SFR	1	1.0	284.38	276.10
1	191-670-500-000	SFR	1	1.0	284.38	276.10
1	191-670-510-000	SFR	1	1.0	284.38	276.10
1	191-670-520-000	SFR	1	1.0	284.38	276.10
1	191-680-010-000	SFR	1	1.0	284.38	276.10
1	191-680-020-000	SFR	1	1.0	284.38	276.10
1	191-680-030-000	SFR	1	1.0	284.38	276.10
1	191-680-040-000	SFR	1	1.0	284.38	276.10
1	191-680-050-000	SFR	1	1.0	284.38	276.10
1	191-680-060-000	SFR	1	1.0	284.38	276.10
1	191-680-070-000	SFR	1	1.0	284.38	276.10
1	191-680-080-000	SFR	1	1.0	284.38	276.10
1	191-680-090-000	SFR	1	1.0	284.38	276.10
1	191-680-100-000	SFR	1	1.0	284.38	276.10
1	191-680-110-000	SFR	1	1.0	284.38	276.10
1	191-680-120-000	SFR	1	1.0	284.38	276.10
1	191-680-130-000	SFR	1	1.0	284.38	276.10
1	191-680-140-000	SFR	1	1.0	284.38	276.10
1	191-680-150-000	SFR	1	1.0	284.38	276.10
1	191-680-160-000	SFR	1	1.0	284.38	276.10
1	191-680-170-000	SFR	1	1.0	284.38	276.10
1	191-680-180-000	SFR	1	1.0	284.38	276.10
1	191-680-190-000	SFR	1	1.0	284.38	276.10
1	191-680-200-000	SFR	1	1.0	284.38	276.10

**CITY OF LATHROP**  
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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-680-210-000	SFR	1	1.0	284.38	276.10
1	191-680-220-000	SFR	1	1.0	284.38	276.10
1	191-680-230-000	SFR	1	1.0	284.38	276.10
1	191-680-240-000	SFR	1	1.0	284.38	276.10
1	191-680-250-000	SFR	1	1.0	284.38	276.10
1	191-680-260-000	SFR	1	1.0	284.38	276.10
1	191-680-270-000	SFR	1	1.0	284.38	276.10
1	191-680-280-000	SFR	1	1.0	284.38	276.10
1	191-680-290-000	SFR	1	1.0	284.38	276.10
1	191-680-300-000	SFR	1	1.0	284.38	276.10
1	191-680-310-000	SFR	1	1.0	284.38	276.10
1	191-680-320-000	SFR	1	1.0	284.38	276.10
1	191-680-330-000	SFR	1	1.0	284.38	276.10
1	191-680-340-000	SFR	1	1.0	284.38	276.10
1	191-680-350-000	SFR	1	1.0	284.38	276.10
1	191-680-360-000	SFR	1	1.0	284.38	276.10
1	191-680-370-000	SFR	1	1.0	284.38	276.10
1	191-680-380-000	SFR	1	1.0	284.38	276.10
1	191-680-390-000	SFR	1	1.0	284.38	276.10
1	191-680-400-000	SFR	1	1.0	284.38	276.10
1	191-680-410-000	SFR	1	1.0	284.38	276.10
1	191-680-420-000	SFR	1	1.0	284.38	276.10
1	191-680-430-000	SFR	1	1.0	284.38	276.10
1	191-680-440-000	SFR	1	1.0	284.38	276.10
1	191-680-450-000	SFR	1	1.0	284.38	276.10
1	191-680-460-000	SFR	1	1.0	284.38	276.10
1	191-680-470-000	SFR	1	1.0	284.38	276.10
1	191-680-480-000	SFR	1	1.0	284.38	276.10
1	191-680-490-000	SFR	1	1.0	284.38	276.10
1	191-680-500-000	SFR	1	1.0	284.38	276.10
1	191-680-510-000	SFR	1	1.0	284.38	276.10
1	191-680-520-000	SFR	1	1.0	284.38	276.10
1	191-690-010-000	SFR	1	1.0	284.38	276.10
1	191-690-020-000	SFR	1	1.0	284.38	276.10
1	191-690-030-000	SFR	1	1.0	284.38	276.10
1	191-690-040-000	SFR	1	1.0	284.38	276.10
1	191-690-050-000	SFR	1	1.0	284.38	276.10
1	191-690-060-000	SFR	1	1.0	284.38	276.10
1	191-690-070-000	SFR	1	1.0	284.38	276.10
1	191-690-080-000	SFR	1	1.0	284.38	276.10
1	191-690-120-000	SFR	1	1.0	284.38	276.10
1	191-690-130-000	SFR	1	1.0	284.38	276.10
1	191-690-140-000	SFR	1	1.0	284.38	276.10
1	191-690-150-000	SFR	1	1.0	284.38	276.10
1	191-690-160-000	SFR	1	1.0	284.38	276.10
1	191-690-170-000	SFR	1	1.0	284.38	276.10
1	191-690-180-000	SFR	1	1.0	284.38	276.10
1	191-690-190-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-690-200-000	SFR	1	1.0	284.38	276.10
1	191-690-210-000	SFR	1	1.0	284.38	276.10
1	191-690-220-000	SFR	1	1.0	284.38	276.10
1	191-690-230-000	SFR	1	1.0	284.38	276.10
1	191-690-240-000	SFR	1	1.0	284.38	276.10
1	191-690-250-000	SFR	1	1.0	284.38	276.10
1	191-690-260-000	SFR	1	1.0	284.38	276.10
1	191-690-270-000	SFR	1	1.0	284.38	276.10
1	191-690-280-000	SFR	1	1.0	284.38	276.10
1	191-690-290-000	SFR	1	1.0	284.38	276.10
1	191-690-300-000	SFR	1	1.0	284.38	276.10
1	191-690-310-000	SFR	1	1.0	284.38	276.10
1	191-690-320-000	SFR	1	1.0	284.38	276.10
1	191-690-330-000	SFR	1	1.0	284.38	276.10
1	191-690-340-000	SFR	1	1.0	284.38	276.10
1	191-690-350-000	SFR	1	1.0	284.38	276.10
1	191-690-360-000	SFR	1	1.0	284.38	276.10
1	191-690-370-000	SFR	1	1.0	284.38	276.10
1	191-690-380-000	SFR	1	1.0	284.38	276.10
1	191-690-390-000	SFR	1	1.0	284.38	276.10
1	191-690-400-000	SFR	1	1.0	284.38	276.10
1	191-690-410-000	SFR	1	1.0	284.38	276.10
1	191-690-520-000	SFR	1	1.0	284.38	276.10
1	191-690-530-000	SFR	1	1.0	284.38	276.10
1	191-690-540-000	SFR	1	1.0	284.38	276.10
1	191-730-010-000	SFR	1	1.0	284.38	276.10
1	191-730-020-000	SFR	1	1.0	284.38	276.10
1	191-730-030-000	SFR	1	1.0	284.38	276.10
1	191-730-040-000	SFR	1	1.0	284.38	276.10
1	191-730-050-000	SFR	1	1.0	284.38	276.10
1	191-730-060-000	SFR	1	1.0	284.38	276.10
1	191-730-070-000	SFR	1	1.0	284.38	276.10
1	191-730-080-000	SFR	1	1.0	284.38	276.10
1	191-730-090-000	SFR	1	1.0	284.38	276.10
1	191-730-100-000	SFR	1	1.0	284.38	276.10
1	191-730-110-000	SFR	1	1.0	284.38	276.10
1	191-730-120-000	SFR	1	1.0	284.38	276.10
1	191-730-130-000	SFR	1	1.0	284.38	276.10
1	191-730-140-000	SFR	1	1.0	284.38	276.10
1	191-730-150-000	SFR	1	1.0	284.38	276.10
1	191-730-160-000	SFR	1	1.0	284.38	276.10
1	191-730-170-000	SFR	1	1.0	284.38	276.10
1	191-730-180-000	SFR	1	1.0	284.38	276.10
1	191-730-190-000	SFR	1	1.0	284.38	276.10
1	191-730-200-000	SFR	1	1.0	284.38	276.10
1	191-730-210-000	SFR	1	1.0	284.38	276.10
1	191-730-220-000	SFR	1	1.0	284.38	276.10
1	191-730-230-000	SFR	1	1.0	284.38	276.10

**CITY OF LATHROP**  
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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-730-240-000	SFR	1	1.0	284.38	276.10
1	191-730-250-000	SFR	1	1.0	284.38	276.10
1	191-730-260-000	SFR	1	1.0	284.38	276.10
1	191-730-270-000	SFR	1	1.0	284.38	276.10
1	191-730-280-000	SFR	1	1.0	284.38	276.10
1	191-730-290-000	SFR	1	1.0	284.38	276.10
1	191-730-300-000	SFR	1	1.0	284.38	276.10
1	191-730-310-000	SFR	1	1.0	284.38	276.10
1	191-730-320-000	SFR	1	1.0	284.38	276.10
1	191-730-330-000	SFR	1	1.0	284.38	276.10
1	191-730-340-000	SFR	1	1.0	284.38	276.10
1	191-730-350-000	SFR	1	1.0	284.38	276.10
1	191-730-360-000	SFR	1	1.0	284.38	276.10
1	191-730-370-000	SFR	1	1.0	284.38	276.10
1	191-730-380-000	SFR	1	1.0	284.38	276.10
1	191-730-390-000	SFR	1	1.0	284.38	276.10
1	191-730-400-000	SFR	1	1.0	284.38	276.10
1	191-730-410-000	SFR	1	1.0	284.38	276.10
1	191-730-420-000	SFR	1	1.0	284.38	276.10
1	191-730-430-000	SFR	1	1.0	284.38	276.10
1	191-730-440-000	SFR	1	1.0	284.38	276.10
1	191-730-450-000	SFR	1	1.0	284.38	276.10
1	191-730-460-000	SFR	1	1.0	284.38	276.10
1	191-730-470-000	SFR	1	1.0	284.38	276.10
1	191-730-480-000	SFR	1	1.0	284.38	276.10
1	191-730-490-000	SFR	1	1.0	284.38	276.10
1	191-730-500-000	SFR	1	1.0	284.38	276.10
1	191-730-510-000	SFR	1	1.0	284.38	276.10
1	191-730-520-000	SFR	1	1.0	284.38	276.10
1	191-730-530-000	SFR	1	1.0	284.38	276.10
1	191-730-540-000	SFR	1	1.0	284.38	276.10
1	191-730-550-000	SFR	1	1.0	284.38	276.10
1	191-730-560-000	SFR	1	1.0	284.38	276.10
1	191-740-010-000	SFR	1	1.0	284.38	276.10
1	191-740-020-000	SFR	1	1.0	284.38	276.10
1	191-740-030-000	SFR	1	1.0	284.38	276.10
1	191-740-040-000	SFR	1	1.0	284.38	276.10
1	191-740-050-000	SFR	1	1.0	284.38	276.10
1	191-740-060-000	SFR	1	1.0	284.38	276.10
1	191-740-070-000	SFR	1	1.0	284.38	276.10
1	191-740-080-000	SFR	1	1.0	284.38	276.10
1	191-740-090-000	SFR	1	1.0	284.38	276.10
1	191-740-100-000	SFR	1	1.0	284.38	276.10
1	191-740-110-000	SFR	1	1.0	284.38	276.10
1	191-740-120-000	SFR	1	1.0	284.38	276.10
1	191-740-130-000	SFR	1	1.0	284.38	276.10
1	191-740-140-000	SFR	1	1.0	284.38	276.10
1	191-740-150-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-740-160-000	SFR	1	1.0	284.38	276.10
1	191-740-170-000	SFR	1	1.0	284.38	276.10
1	191-740-180-000	SFR	1	1.0	284.38	276.10
1	191-740-190-000	SFR	1	1.0	284.38	276.10
1	191-740-200-000	SFR	1	1.0	284.38	276.10
1	191-740-210-000	SFR	1	1.0	284.38	276.10
1	191-740-220-000	SFR	1	1.0	284.38	276.10
1	191-740-230-000	SFR	1	1.0	284.38	276.10
1	191-740-240-000	SFR	1	1.0	284.38	276.10
1	191-740-250-000	SFR	1	1.0	284.38	276.10
1	191-740-260-000	SFR	1	1.0	284.38	276.10
1	191-740-270-000	SFR	1	1.0	284.38	276.10
1	191-740-280-000	SFR	1	1.0	284.38	276.10
1	191-740-290-000	SFR	1	1.0	284.38	276.10
1	191-740-300-000	SFR	1	1.0	284.38	276.10
1	191-740-310-000	SFR	1	1.0	284.38	276.10
1	191-740-320-000	SFR	1	1.0	284.38	276.10
1	191-740-330-000	SFR	1	1.0	284.38	276.10
1	191-740-340-000	SFR	1	1.0	284.38	276.10
1	191-740-350-000	SFR	1	1.0	284.38	276.10
1	191-740-360-000	SFR	1	1.0	284.38	276.10
1	191-740-370-000	SFR	1	1.0	284.38	276.10
1	191-740-380-000	SFR	1	1.0	284.38	276.10
1	191-740-390-000	SFR	1	1.0	284.38	276.10
1	191-740-400-000	SFR	1	1.0	284.38	276.10
1	191-740-410-000	SFR	1	1.0	284.38	276.10
1	191-740-420-000	SFR	1	1.0	284.38	276.10
1	191-740-430-000	SFR	1	1.0	284.38	276.10
1	191-740-440-000	SFR	1	1.0	284.38	276.10
1	191-740-450-000	SFR	1	1.0	284.38	276.10
1	191-740-460-000	SFR	1	1.0	284.38	276.10
1	191-750-010-000	SFR	1	1.0	284.38	276.10
1	191-750-020-000	SFR	1	1.0	284.38	276.10
1	191-750-030-000	SFR	1	1.0	284.38	276.10
1	191-750-040-000	SFR	1	1.0	284.38	276.10
1	191-750-050-000	SFR	1	1.0	284.38	276.10
1	191-750-060-000	SFR	1	1.0	284.38	276.10
1	191-750-070-000	SFR	1	1.0	284.38	276.10
1	191-750-080-000	SFR	1	1.0	284.38	276.10
1	191-750-090-000	SFR	1	1.0	284.38	276.10
1	191-750-100-000	SFR	1	1.0	284.38	276.10
1	191-750-110-000	SFR	1	1.0	284.38	276.10
1	191-750-120-000	SFR	1	1.0	284.38	276.10
1	191-750-130-000	SFR	1	1.0	284.38	276.10
1	191-750-140-000	SFR	1	1.0	284.38	276.10
1	191-750-150-000	SFR	1	1.0	284.38	276.10
1	191-750-160-000	SFR	1	1.0	284.38	276.10
1	191-750-170-000	SFR	1	1.0	284.38	276.10

**CITY OF LATHROP**  
**MOSSDALE LANDSCAPING AND LIGHTING DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	191-750-180-000	SFR	1	1.0	284.38	276.10
1	191-750-190-000	SFR	1	1.0	284.38	276.10
1	191-750-200-000	SFR	1	1.0	284.38	276.10
1	191-750-210-000	SFR	1	1.0	284.38	276.10
1	191-750-220-000	SFR	1	1.0	284.38	276.10
1	191-750-230-000	SFR	1	1.0	284.38	276.10
1	191-750-240-000	SFR	1	1.0	284.38	276.10
1	191-750-250-000	SFR	1	1.0	284.38	276.10
1	191-750-260-000	SFR	1	1.0	284.38	276.10
1	191-750-270-000	SFR	1	1.0	284.38	276.10
1	191-750-280-000	SFR	1	1.0	284.38	276.10
1	191-750-290-000	SFR	1	1.0	284.38	276.10
1	191-750-300-000	SFR	1	1.0	284.38	276.10
1	191-750-310-000	SFR	1	1.0	284.38	276.10
1	191-750-320-000	SFR	1	1.0	284.38	276.10
1	191-750-330-000	SFR	1	1.0	284.38	276.10
1	191-750-340-000	SFR	1	1.0	284.38	276.10
1	191-750-350-000	SFR	1	1.0	284.38	276.10
1	191-750-360-000	SFR	1	1.0	284.38	276.10
1	191-750-370-000	SFR	1	1.0	284.38	276.10
1	191-750-380-000	SFR	1	1.0	284.38	276.10
1	191-750-390-000	SFR	1	1.0	284.38	276.10
1	191-750-400-000	SFR	1	1.0	284.38	276.10
1	191-750-410-000	SFR	1	1.0	284.38	276.10
1	191-750-420-000	SFR	1	1.0	284.38	276.10
1	191-750-430-000	SFR	1	1.0	284.38	276.10
1	191-750-440-000	SFR	1	1.0	284.38	276.10
1	191-750-450-000	SFR	1	1.0	284.38	276.10
1	191-750-460-000	SFR	1	1.0	284.38	276.10
1	191-750-470-000	SFR	1	1.0	284.38	276.10
1	191-750-480-000	SFR	1	1.0	284.38	276.10
1	191-750-490-000	SFR	1	1.0	284.38	276.10
1	191-750-500-000	SFR	1	1.0	284.38	276.10
1	191-750-510-000	SFR	1	1.0	284.38	276.10
1	191-750-520-000	SFR	1	1.0	284.38	276.10
1	241-700-010-000	SFR	1	1.0	284.38	276.10
1	241-700-020-000	SFR	1	1.0	284.38	276.10
1	241-700-030-000	SFR	1	1.0	284.38	276.10
1	241-700-040-000	SFR	1	1.0	284.38	276.10
1	241-700-050-000	SFR	1	1.0	284.38	276.10
1	241-700-060-000	SFR	1	1.0	284.38	276.10
1	241-700-070-000	SFR	1	1.0	284.38	276.10
1	241-700-080-000	SFR	1	1.0	284.38	276.10
1	241-700-090-000	SFR	1	1.0	284.38	276.10
1	241-700-100-000	SFR	1	1.0	284.38	276.10
1	241-700-110-000	SFR	1	1.0	284.38	276.10
1	241-700-120-000	SFR	1	1.0	284.38	276.10
1	241-700-130-000	SFR	1	1.0	284.38	276.10

**CITY OF LATHROP**  
**MOSSDALE LANDSCAPING AND LIGHTING DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
1	241-700-140-000	SFR	1	1.0	284.38	276.10
1	241-700-150-000	SFR	1	1.0	284.38	276.10
1	241-700-160-000	SFR	1	1.0	284.38	276.10
1	241-700-170-000	SFR	1	1.0	284.38	276.10
1	241-700-180-000	SFR	1	1.0	284.38	276.10
1	241-700-190-000	SFR	1	1.0	284.38	276.10
1	241-700-200-000	SFR	1	1.0	284.38	276.10
1	241-700-210-000	SFR	1	1.0	284.38	276.10
1	241-700-220-000	SFR	1	1.0	284.38	276.10
1	241-700-230-000	SFR	1	1.0	284.38	276.10
1	241-700-240-000	SFR	1	1.0	284.38	276.10
1	241-700-250-000	SFR	1	1.0	284.38	276.10
1	241-700-260-000	SFR	1	1.0	284.38	276.10
2	241-020-680-000	SFR	1	1.0	284.38	276.10
2	241-710-010-000	SFR	1	1.0	284.38	276.10
2	241-710-020-000	SFR	1	1.0	284.38	276.10
2	241-710-030-000	SFR	1	1.0	284.38	276.10
2	241-710-040-000	SFR	1	1.0	284.38	276.10
2	241-710-050-000	SFR	1	1.0	284.38	276.10
2	241-710-060-000	SFR	1	1.0	284.38	276.10
2	241-710-070-000	SFR	1	1.0	284.38	276.10
2	241-710-080-000	SFR	1	1.0	284.38	276.10
2	241-710-090-000	SFR	1	1.0	284.38	276.10
2	241-710-100-000	SFR	1	1.0	284.38	276.10
2	241-710-110-000	SFR	1	1.0	284.38	276.10
2	241-710-120-000	SFR	1	1.0	284.38	276.10
2	241-710-130-000	SFR	1	1.0	284.38	276.10
2	241-710-140-000	SFR	1	1.0	284.38	276.10
2	241-710-150-000	SFR	1	1.0	284.38	276.10
2	241-710-160-000	SFR	1	1.0	284.38	276.10
2	241-710-170-000	SFR	1	1.0	284.38	276.10
2	241-710-180-000	SFR	1	1.0	284.38	276.10
2	241-710-190-000	SFR	1	1.0	284.38	276.10
2	241-710-200-000	SFR	1	1.0	284.38	276.10
2	241-710-210-000	SFR	1	1.0	284.38	276.10
2	241-710-220-000	SFR	1	1.0	284.38	276.10
2	241-710-230-000	SFR	1	1.0	284.38	276.10
2	241-710-240-000	SFR	1	1.0	284.38	276.10
2	241-710-250-000	SFR	1	1.0	284.38	276.10
2	241-710-260-000	SFR	1	1.0	284.38	276.10
2	241-710-270-000	SFR	1	1.0	284.38	276.10
2	241-710-280-000	SFR	1	1.0	284.38	276.10
2	241-710-290-000	SFR	1	1.0	284.38	276.10
2	241-710-300-000	SFR	1	1.0	284.38	276.10
2	241-710-310-000	SFR	1	1.0	284.38	276.10
2	241-710-320-000	SFR	1	1.0	284.38	276.10
2	241-710-330-000	SFR	1	1.0	284.38	276.10
2	241-710-340-000	SFR	1	1.0	284.38	276.10

**CITY OF LATHROP**  
**MOSSDALE LANDSCAPING AND LIGHTING DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment <sup>(1)</sup>
2	241-710-350-000	SFR	1	1.0	284.38	276.10
2	241-710-360-000	SFR	1	1.0	284.38	276.10
2	241-710-370-000	SFR	1	1.0	284.38	276.10
2	241-710-380-000	SFR	1	1.0	284.38	276.10
2	241-710-390-000	SFR	1	1.0	284.38	276.10
2	241-710-400-000	SFR	1	1.0	284.38	276.10
2	241-710-410-000	SFR	1	1.0	284.38	276.10
2	241-710-420-000	SFR	1	1.0	284.38	276.10
2	241-710-430-000	SFR	1	1.0	284.38	276.10
2	241-710-440-000	SFR	1	1.0	284.38	276.10
2	241-710-450-000	SFR	1	1.0	284.38	276.10
2	241-710-460-000	SFR	1	1.0	284.38	276.10
2	241-710-470-000	SFR	1	1.0	284.38	276.10
2	241-710-480-000	SFR	1	1.0	284.38	276.10
2	241-710-490-000	SFR	1	1.0	284.38	276.10
2	241-710-500-000	SFR	1	1.0	284.38	276.10
2	241-710-510-000	SFR	1	1.0	284.38	276.10
2	241-710-520-000	SFR	1	1.0	284.38	276.10
2	241-710-530-000	SFR	1	1.0	284.38	276.10
2	241-710-540-000	SFR	1	1.0	284.38	276.10
2	241-710-550-000	SFR	1	1.0	284.38	276.10
2	241-710-560-000	SFR	1	1.0	284.38	276.10
2	241-710-570-000	SFR	1	1.0	284.38	276.10
2	241-710-580-000	SFR	1	1.0	284.38	276.10
2	241-710-590-000	SFR	1	1.0	284.38	276.10
2	241-710-600-000	SFR	1	1.0	284.38	276.10
2	241-710-610-000	SFR	1	1.0	284.38	276.10
2	241-710-620-000	SFR	1	1.0	284.38	276.10
2	241-710-630-000	SFR	1	1.0	284.38	276.10
2	241-710-640-000	SFR	1	1.0	284.38	276.10
2	241-710-650-000	SFR	1	1.0	284.38	276.10
2	241-710-660-000	SFR	1	1.0	284.38	276.10
2	241-710-670-000	SFR	1	1.0	284.38	276.10
2	241-710-680-000	SFR	1	1.0	284.38	276.10
2	241-710-690-000	SFR	1	1.0	284.38	276.10
2	241-710-700-000	SFR	1	1.0	284.38	276.10
2	241-710-710-000	SFR	1	1.0	284.38	276.10
2	241-710-720-000	SFR	1	1.0	284.38	276.10
2	241-710-730-000	SFR	1	1.0	284.38	276.10
2	241-710-740-000	SFR	1	1.0	284.38	276.10
2	241-710-750-000	SFR	1	1.0	284.38	276.10
2	241-710-760-000	SFR	1	1.0	284.38	276.10
2	241-710-770-000	SFR	1	1.0	284.38	276.10
2	241-710-780-000	SFR	1	1.0	284.38	276.10
<b>Totals:</b>			<b>2,192</b>	<b>2,158.4</b>	<b>\$613,805.79</b>	<b>\$595,934.24</b>

(1) Where applicable, the actual levy will be rounded down to an even amount for County tax roll purposes.



# CITY OF LATHROP

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Stonebridge Landscaping District

Annual Engineer's Report

Fiscal Year 2020/21

Prepared by:



Corporate Headquarters  
32605 Temecula Parkway, Suite 100  
Temecula, CA 92592  
Toll free: 800.676.7516

**CITY OF LATHROP  
STONEBRIDGE LANDSCAPING DISTRICT**

**390 Towne Centre Drive  
Lathrop, California 95330  
Phone - (209) 941-7320  
Fax - (209) 941-7339**

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**CITY COUNCIL**

Sonny Dhaliwal, Mayor

Martha Salcedo, Vice Mayor

Paul Akinjo, Councilmember

Diane Lazard, Councilmember

Jennifer Torres-O'Callaghan, Councilmember

**CITY STAFF**

Stephen Salvatore, City Manager

Salvador Navarrete, City Attorney

Cari James, Finance Director

Glenn Gebhardt, City Engineer

**NBS**

Tim Seufert, Client Services Director

Kristin Harvey, Senior Consultant

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# 1. ENGINEER’S LETTER

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**WHEREAS**, the City Council of the City of Lathrop (the “City”), State of California, directed NBS Government Finance Group, DBA NBS (“NBS”) to prepare and file a report presenting plans and specifications describing the general nature, location, and extent of the improvements to be maintained, and an estimate of the costs of the maintenance, operations, and servicing of the improvements for the City of Lathrop Stonebridge Landscaping District (the “District”) for Fiscal Year 2020/21. The report includes a diagram for the District showing the area and properties proposed to be assessed, an assessment of the estimated costs of the maintenance, operations and servicing of the improvements, and the net amount to be assessed upon all assessable parcels within the District in proportion to the special benefit received;

**WHEREAS**, the proposed assessment rate of \$292.88 per single family lot, is not greater than 105% of the prior year maximum assessment, as approved by the land owners. The District is in compliance with the assessment balloting procedures set forth in Section 4 of Article XIII D of the California Constitution and the District was formed by consent of 100% of the land owners.

**NOW THEREFORE**, only special benefits are assessed and any general benefits have been identified. The following assessment is made to fund the portion of the estimated costs of maintenance, operation, and servicing of the improvements to be paid by the assessable real property within the District in proportion to the special benefit received:

**SUMMARY OF ASSESSMENT– SINGLE FAMILY LOTS**

Description	Amount
Balance to Levy	\$264,470.64
Total Single Family Lots	903
<b>Calculated Assessment Per Single Family Lot</b>	<b>\$292.88</b>
Maximum Assessment Per Single Family Lot	\$438.78
<b>Total Assessment – Single Family Lots</b>	<b>\$264,470.64</b>

I, the undersigned, respectfully submit the enclosed Engineer’s Report and, to the best of my knowledge, information, and belief, the Engineer’s Report, Assessments, and the District Diagram herein have been prepared and computed in accordance with the order and historical practices of the City Council of the City.

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NBS Government Finance Group, DBA NBS

## 2. OVERVIEW

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### 2.1 Introduction

The City previously formed several maintenance assessment districts for the purpose of providing maintenance services to benefit certain parcels in the City. Over several years, these districts have levied and collected special assessments. The District was formed in 1998 pursuant to the Landscaping and Lighting Act of 1972, Part 2 of Division 15 of the California Streets and Highways Code (the "Act"). All parcels within the District which have special benefit conferred upon them as a result of the maintenance and operation of improvements have been identified and the proportionate special benefit derived by each identified parcel has been determined in relation to the entire cost of the maintenance and operation of the improvements. Only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated special benefit received.

This Annual Engineer's Report (the "Report") describes the District and the charge per single family lot for Fiscal Year 2020/21 based on the historical and estimated cost to maintain the improvements and provide the services that benefit parcels within the District.

The word "parcel," for the purposes of this Report, refers to an individual property assigned its own Assessor's Parcel Number by the San Joaquin County (the "County") Assessor's Office. The County Auditor-Controller uses Assessor's Parcel Numbers and specific fund numbers to identify, on the tax roll, properties assessed for special district benefit assessments.

Following consideration of public comments at a noticed public hearing and following review of the Report, the City Council may confirm the submittal of the Report and may order the levy and collection of assessments for Fiscal Year 2020/21. If approved, the assessment information will be submitted to the County Auditor-Controller and included on the property tax roll for each benefiting parcel for Fiscal Year 2020/21.

### 2.2 Effect of Proposition 218

On November 5, 1996, California voters approved Proposition 218 by a vote of 56.5% to 43.5%. The provisions of the Proposition, now California Constitutional Articles XIII C and XIII D, added substantive and procedural requirements for assessments.

As approved by the land owners, the maximum assessment rate increases by 5% each year. The maximum assessment rate for Fiscal Year 2020/21 is \$438.78 per single family lot. The proposed assessment rate for Fiscal Year 2020/21 is \$292.88, which is below the maximum assessment rate.

The District is in compliance with the assessment balloting procedures set forth in Section 4 of Article XIII D and the District was formed by consent of 100% of the land owners.

The following table shows the levy assessment rate and the maximum assessment rate for the three most recent years.

<b>Fiscal Year</b>	<b>Levy Assessment Rate</b>	<b>Maximum Assessment Rate</b>
2020/21	\$292.88	\$438.78
2019/20	265.64	417.89
2018/19	225.06	397.99

### **2.3 Plans and Specifications for the Improvements**

The District consists of a fully developed residential area generally located east of I-5, west of the Union Pacific Railroad, north of Warren Avenue, and south of Roth Road.

Improvements within the District include the design, construction, or installation, including the maintenance or servicing, or both, of landscaping, including trees, shrubs, grass or other ornamental vegetation, statuary fountains and other ornamental structures, and facilities; providing for the life, growth, health and beauty of landscaping, including cultivation, irrigation, trimming, spraying, fertilizing, and treating for disease or injury; the removal of trimmings, rubbish, debris, and other solid waste; and the operation of any fountains or the maintenance of any other improvements.

The improvements provide special benefit to the parcels assessed since:

- 1) The improvements are adjacent to the neighborhoods within which assessed parcels are located, and the improvements:
  - a) help to identify, distinguish, and enhance these neighborhoods, including the entrances thereto; and
  - b) help to improve the quality of life in these neighborhoods by reducing the potential for graffiti, eliminating dust and litter, providing sound attenuation, eliminating the potential for blight, and providing added security and safety through an added City presence; and
- 2) In the absence of the District, the work and improvements would not otherwise be provided by the City.

## 3. ESTIMATE OF COSTS

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### 3.1 Description of Budget Items

**Personnel Services** - Includes employee salaries, salary related costs, and employee benefits including retirement, medical benefits, and workers compensation costs, etc.

**Maintenance & Operations** - Includes the following:

**Advertising/Legal Notices** - Includes the cost of publishing the required legal notices necessary to complete the required procedures for levying the assessments.

**Contract Services** - Includes professional services necessary for District maintenance including trees and landscaping, park maintenance, equipment rental, computer technical support, and the preparation of the Report.

**Gas, Diesel, Oil & Lubricants** - Includes fuel, oil and lubricants for vehicles, and miscellaneous small equipment.

**Maintenance & Repair** - Includes contracted maintenance and repair services such as annual fire extinguisher service and emergency repairs.

**Miscellaneous Supplies** - Includes custodial supplies, building maintenance materials, and supplies, parts, tools, reference materials, and additional administrative costs.

**Printing & Typesetting** - Includes the cost of preparing the required legal notices necessary to complete the required procedures for levying the assessments.

**Training, Membership, Travel & Dues** – Includes continuing training for maintenance staff.

**Uniforms/Protective Clothing** - Includes employee uniforms including safety boots, jackets, gloves, etc.

**Utilities - Gas & Electric** - Includes electrical power for sprinklers, statuary fountains etc.

**Water** - Includes water for irrigation.

**Fixed Charges & Special Fees** - Includes the charges per parcel to collect the assessments on the County Secured Property Tax Roll.

**Indirect Costs** - Includes overhead costs of the City related to the maintenance, operation, and administration of the District.

### 3.2 District Budget

The budget for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Personnel Services	\$20,495.00
Maintenance & Operations Total	232,100.00
Fixed Charge Total	4,827.00
Indirect Costs	<u>31,797.00</u>
<b>Total District Costs</b>	<b>\$289,219.00</b>
General Benefit	(4,680.00)
Contribution to (from) Operational Reserves	(19,068.36)
Contribution to (from) Capital Reserves	0.00
Other Revenue Sources	<u>(1,000.00)</u>
<b>Total Balance to Levy</b>	<b>\$264,470.64</b>

### 3.3 Balance to Levy

**Total District Costs** - Includes personnel services, maintenance and operations, capital costs, and indirect costs determined above.

**General Benefit** - Includes any enhancement of street frontages that do not lie entirely within the District, which are estimated to cost \$4,680.00 (for Fiscal Year 2020/21). The cost is to be paid from funds other than assessments.

**Contribution to (from) Operational Reserves** - The Operational Reserves item provides funds to operate the District from the time period of July 1 (beginning of the fiscal year) through December when the County provides the City with the first installment of assessments collected from the property tax bills. This eliminates the need for the City to transfer funds from non-District accounts to pay for District charges during the first half of the fiscal year. Negative amounts shown here are transfers that are used to reduce the Balance to Levy.

**Contribution to (from) Capital Reserves** - The Capital Reserve Account item provides funds to maintain reserves for extraordinary maintenance items and unexpected capital expenditures that may occur as a result of natural occurrences or other unforeseen circumstances.

**Other Revenue Sources** - This is the amount of additional funds designated for use by the District that are not from District assessments. These funds are added to the District account to reduce assessments and may be from either non-District sources including City General Fund contributions or District sources including interest earnings.

**Balance to Levy** - This is the total amount to be levied and collected through assessments for the current fiscal year. The Balance to Levy represents the sum of the total direct and administration costs, reserves, contributions, and other revenue sources.



The following table shows the total costs, additional revenues, and the Balance to Levy for Fiscal Year 2020/21.

Description	Amount
Total District Costs	\$289,219.00
Less General Benefit	(4,680.00)
Contribution to (from) Operational Reserves	(19,068.36)
Contribution to (from) Capital Reserves	0.00
Other Revenue Sources	<u>(1,000.00)</u>
<b>Balance to Levy</b>	<b>\$264,470.64</b>

### 3.4 Operational & Maintenance Reserve Information

The following table shows the estimated balance of the Operational and Maintenance Reserves.

Description	Amount
Estimated Beginning Balance - July 1, 2020	\$49,939.27
Contribution to (from) Operational and Maintenance Reserves	<u>(19,068.36)</u>
<b>Estimated Ending Balance - June 30, 2021</b>	<b>\$30,870.91</b>

The reserves are intended to be used and/or accumulated for repair and/or capital replacement, as needed for improvements within the District.

## 4. METHOD OF APPORTIONMENT

### 4.1 Method of Apportionment

Pursuant to the Act, the costs of the District are apportioned by a formula or method which fairly distributes the net amount to be assessed among all assessable parcels in proportion to the estimated special benefit to be received by each such parcel from the maintenance, servicing, and operation of the improvements. The proportional special benefit derived by each parcel is determined in relationship to the entirety of the maintenance and operation expenses of the improvements. No assessment has been apportioned on any parcel that exceeds the reasonable cost of the proportional benefit conferred on that parcel. The assessment has been levied in accordance with the assessment methodology adopted and approved by the City Council at the time of District formation.

Only special benefits are assessed and any general benefits have been separated from the special benefits. The general benefits are derived from any enhancement of street frontages which do not lie entirely within the District, and are estimated to cost \$4,680.00 (for Fiscal Year 2020/21). The cost is to be paid from funds other than those raised by the assessments.

The basis of benefit for the District was determined as follows:

- The estimated annual maintenance cost will be allocated equally to each subdivided single family lot existing at the time of levy of the assessment, not to exceed the maximum assessment amount described below.
- The maximum assessment for Fiscal Year 1999/00 for each subdivided single family lot was \$157.50. Each year, the maximum assessment rate has been calculated by multiplying the previous year's maximum assessment rate by 1.05.
- In the event the amount obtained by assessing the maximum assessment to each subdivided single family lot is less than the total estimated maintenance cost, the difference will be assessed to the undivided parcels within the District, proportional to parcel area. There are currently no undivided parcels in the district.

### 4.2 Assessment - Subdivided Single Family Lots

The following table shows the assessment for subdivided single family lots for the Fiscal Year 2020/21 levy.

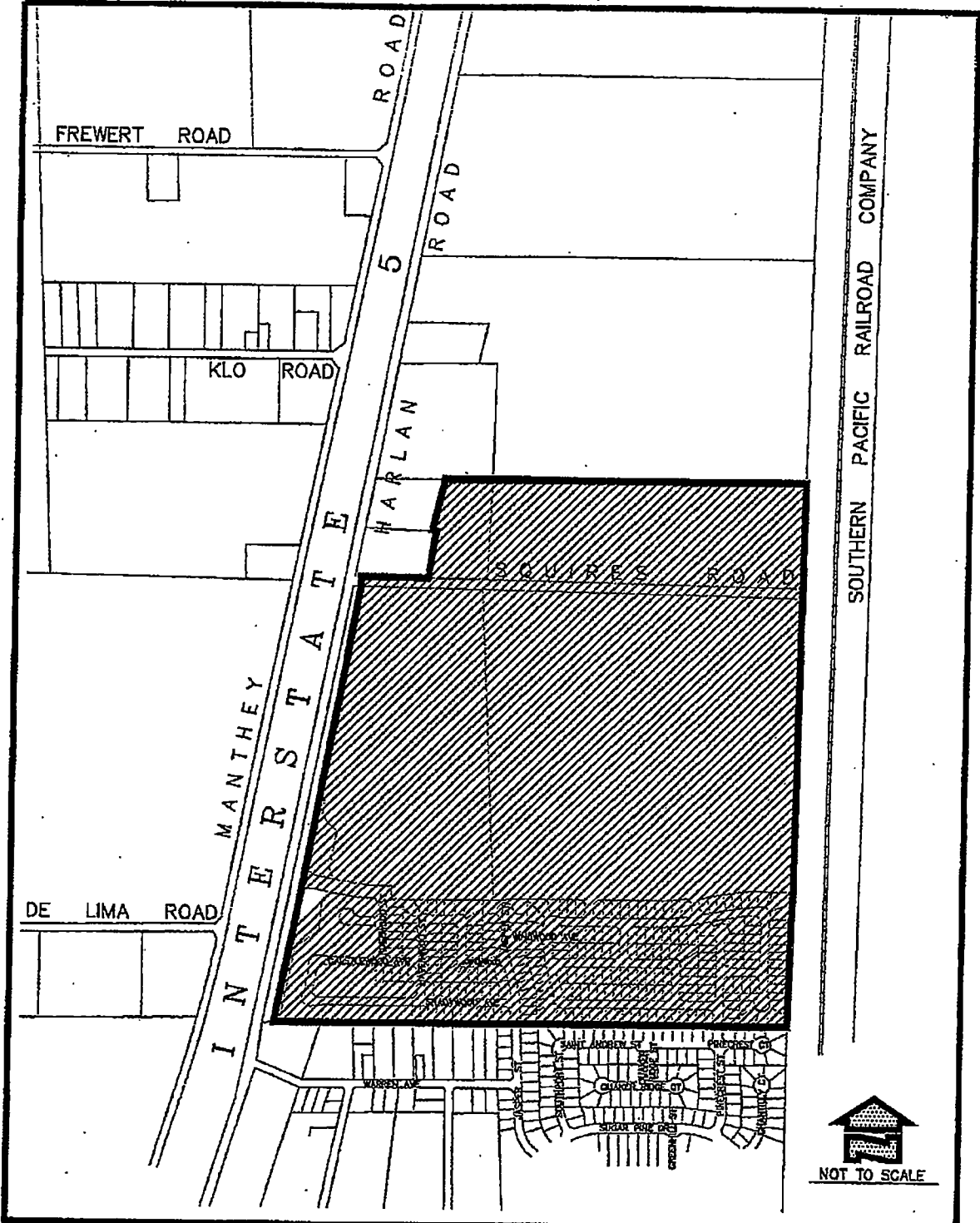
Description	Amount
Balance to Levy	\$264,470.64
Total Single Family Lots	903
<b>Calculated Assessment Per Single Family Lot</b>	<b>\$292.88</b>
Maximum Assessment Per Single Family Lot	\$438.78
<b>Total Assessment - Single Family Lots <sup>(1)</sup></b>	<b>\$264,470.64</b>

(1) Includes installment rounding of \$0.01 per parcel for tax roll purposes.

## 5. DISTRICT DIAGRAM

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Reference is made to the District Diagram on file with the City Clerk. The following page provides the boundaries of the District. The lines and dimensions shown on maps of the County Assessor for the current year are incorporated by reference and made part of this Report.



# City of Lathrop

## Stonebridge Landscaping District



Date: June 2001

## 6. PARCEL LISTING

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The parcel listing of assessments is provided on the following pages. The description of each lot or parcel is a part of the records of the County Assessor and is incorporated by reference and made part of this Report.

**CITY OF LATHROP  
STONEBRIDGE LANDSCAPING DISTRICT  
FISCAL YEAR 2020/21  
PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-580-010-000	SFR	\$438.78	\$292.88	\$292.88
196-580-020-000	SFR	438.78	292.88	292.88
196-580-030-000	SFR	438.78	292.88	292.88
196-580-040-000	SFR	438.78	292.88	292.88
196-580-050-000	SFR	438.78	292.88	292.88
196-580-060-000	SFR	438.78	292.88	292.88
196-580-070-000	SFR	438.78	292.88	292.88
196-580-080-000	SFR	438.78	292.88	292.88
196-580-090-000	SFR	438.78	292.88	292.88
196-580-100-000	SFR	438.78	292.88	292.88
196-580-110-000	SFR	438.78	292.88	292.88
196-580-120-000	SFR	438.78	292.88	292.88
196-580-130-000	SFR	438.78	292.88	292.88
196-580-140-000	SFR	438.78	292.88	292.88
196-580-150-000	SFR	438.78	292.88	292.88
196-580-160-000	SFR	438.78	292.88	292.88
196-580-170-000	SFR	438.78	292.88	292.88
196-580-180-000	SFR	438.78	292.88	292.88
196-580-190-000	SFR	438.78	292.88	292.88
196-580-200-000	SFR	438.78	292.88	292.88
196-580-210-000	SFR	438.78	292.88	292.88
196-580-220-000	SFR	438.78	292.88	292.88
196-580-230-000	SFR	438.78	292.88	292.88
196-580-240-000	SFR	438.78	292.88	292.88
196-580-250-000	SFR	438.78	292.88	292.88
196-580-260-000	SFR	438.78	292.88	292.88
196-580-270-000	SFR	438.78	292.88	292.88
196-580-280-000	SFR	438.78	292.88	292.88
196-580-290-000	SFR	438.78	292.88	292.88
196-580-300-000	SFR	438.78	292.88	292.88
196-580-310-000	SFR	438.78	292.88	292.88
196-580-320-000	SFR	438.78	292.88	292.88
196-580-330-000	SFR	438.78	292.88	292.88
196-580-340-000	SFR	438.78	292.88	292.88
196-580-350-000	SFR	438.78	292.88	292.88
196-580-360-000	SFR	438.78	292.88	292.88

**CITY OF LATHROP  
STONEBRIDGE LANDSCAPING DISTRICT  
FISCAL YEAR 2020/21  
PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-580-370-000	SFR	438.78	292.88	292.88
196-580-380-000	SFR	438.78	292.88	292.88
196-580-390-000	SFR	438.78	292.88	292.88
196-580-400-000	SFR	438.78	292.88	292.88
196-580-410-000	SFR	438.78	292.88	292.88
196-580-420-000	SFR	438.78	292.88	292.88
196-580-430-000	SFR	438.78	292.88	292.88
196-580-440-000	SFR	438.78	292.88	292.88
196-580-450-000	SFR	438.78	292.88	292.88
196-580-460-000	SFR	438.78	292.88	292.88
196-580-470-000	SFR	438.78	292.88	292.88
196-580-480-000	SFR	438.78	292.88	292.88
196-580-490-000	SFR	438.78	292.88	292.88
196-580-500-000	SFR	438.78	292.88	292.88
196-580-510-000	SFR	438.78	292.88	292.88
196-580-520-000	SFR	438.78	292.88	292.88
196-580-530-000	SFR	438.78	292.88	292.88
196-580-540-000	SFR	438.78	292.88	292.88
196-580-550-000	SFR	438.78	292.88	292.88
196-580-560-000	SFR	438.78	292.88	292.88
196-580-570-000	SFR	438.78	292.88	292.88
196-580-580-000	SFR	438.78	292.88	292.88
196-580-590-000	SFR	438.78	292.88	292.88
196-580-600-000	SFR	438.78	292.88	292.88
196-580-610-000	SFR	438.78	292.88	292.88
196-580-620-000	SFR	438.78	292.88	292.88
196-580-630-000	SFR	438.78	292.88	292.88
196-580-640-000	SFR	438.78	292.88	292.88
196-580-650-000	SFR	438.78	292.88	292.88
196-580-660-000	SFR	438.78	292.88	292.88
196-580-670-000	SFR	438.78	292.88	292.88
196-580-680-000	SFR	438.78	292.88	292.88
196-580-690-000	SFR	438.78	292.88	292.88
196-580-700-000	SFR	438.78	292.88	292.88
196-580-710-000	SFR	438.78	292.88	292.88
196-580-720-000	SFR	438.78	292.88	292.88

**CITY OF LATHROP  
STONEBRIDGE LANDSCAPING DISTRICT  
FISCAL YEAR 2020/21  
PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-580-730-000	SFR	438.78	292.88	292.88
196-580-740-000	SFR	438.78	292.88	292.88
196-580-750-000	SFR	438.78	292.88	292.88
196-580-760-000	SFR	438.78	292.88	292.88
196-580-770-000	SFR	438.78	292.88	292.88
196-580-780-000	SFR	438.78	292.88	292.88
196-580-790-000	SFR	438.78	292.88	292.88
196-580-800-000	SFR	438.78	292.88	292.88
196-580-810-000	SFR	438.78	292.88	292.88
196-580-820-000	SFR	438.78	292.88	292.88
196-580-830-000	SFR	438.78	292.88	292.88
196-580-840-000	SFR	438.78	292.88	292.88
196-580-850-000	SFR	438.78	292.88	292.88
196-580-860-000	SFR	438.78	292.88	292.88
196-580-870-000	SFR	438.78	292.88	292.88
196-580-880-000	SFR	438.78	292.88	292.88
196-600-010-000	SFR	438.78	292.88	292.88
196-600-020-000	SFR	438.78	292.88	292.88
196-600-030-000	SFR	438.78	292.88	292.88
196-600-040-000	SFR	438.78	292.88	292.88
196-600-050-000	SFR	438.78	292.88	292.88
196-600-060-000	SFR	438.78	292.88	292.88
196-600-070-000	SFR	438.78	292.88	292.88
196-600-080-000	SFR	438.78	292.88	292.88
196-600-090-000	SFR	438.78	292.88	292.88
196-600-100-000	SFR	438.78	292.88	292.88
196-600-110-000	SFR	438.78	292.88	292.88
196-600-120-000	SFR	438.78	292.88	292.88
196-600-130-000	SFR	438.78	292.88	292.88
196-600-140-000	SFR	438.78	292.88	292.88
196-600-150-000	SFR	438.78	292.88	292.88
196-600-160-000	SFR	438.78	292.88	292.88
196-600-170-000	SFR	438.78	292.88	292.88
196-600-180-000	SFR	438.78	292.88	292.88
196-600-190-000	SFR	438.78	292.88	292.88
196-600-200-000	SFR	438.78	292.88	292.88



**CITY OF LATHROP**  
**STONEBRIDGE LANDSCAPING DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-600-210-000	SFR	438.78	292.88	292.88
196-600-220-000	SFR	438.78	292.88	292.88
196-600-230-000	SFR	438.78	292.88	292.88
196-600-240-000	SFR	438.78	292.88	292.88
196-600-250-000	SFR	438.78	292.88	292.88
196-600-260-000	SFR	438.78	292.88	292.88
196-600-270-000	SFR	438.78	292.88	292.88
196-600-280-000	SFR	438.78	292.88	292.88
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196-600-300-000	SFR	438.78	292.88	292.88
196-600-310-000	SFR	438.78	292.88	292.88
196-600-320-000	SFR	438.78	292.88	292.88
196-600-330-000	SFR	438.78	292.88	292.88
196-600-340-000	SFR	438.78	292.88	292.88
196-600-350-000	SFR	438.78	292.88	292.88
196-600-360-000	SFR	438.78	292.88	292.88
196-600-370-000	SFR	438.78	292.88	292.88
196-600-380-000	SFR	438.78	292.88	292.88
196-600-390-000	SFR	438.78	292.88	292.88
196-600-400-000	SFR	438.78	292.88	292.88
196-600-410-000	SFR	438.78	292.88	292.88
196-600-420-000	SFR	438.78	292.88	292.88
196-600-430-000	SFR	438.78	292.88	292.88
196-600-440-000	SFR	438.78	292.88	292.88
196-600-450-000	SFR	438.78	292.88	292.88
196-600-460-000	SFR	438.78	292.88	292.88
196-600-470-000	SFR	438.78	292.88	292.88
196-600-480-000	SFR	438.78	292.88	292.88
196-600-490-000	SFR	438.78	292.88	292.88
196-600-500-000	SFR	438.78	292.88	292.88
196-600-510-000	SFR	438.78	292.88	292.88
196-600-520-000	SFR	438.78	292.88	292.88
196-600-530-000	SFR	438.78	292.88	292.88
196-600-540-000	SFR	438.78	292.88	292.88
196-600-550-000	SFR	438.78	292.88	292.88
196-600-560-000	SFR	438.78	292.88	292.88

**CITY OF LATHROP**  
**STONEBRIDGE LANDSCAPING DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-600-570-000	SFR	438.78	292.88	292.88
196-600-580-000	SFR	438.78	292.88	292.88
196-600-590-000	SFR	438.78	292.88	292.88
196-600-600-000	SFR	438.78	292.88	292.88
196-600-610-000	SFR	438.78	292.88	292.88
196-600-620-000	SFR	438.78	292.88	292.88
196-600-630-000	SFR	438.78	292.88	292.88
196-600-640-000	SFR	438.78	292.88	292.88
196-600-650-000	SFR	438.78	292.88	292.88
196-600-660-000	SFR	438.78	292.88	292.88
196-600-670-000	SFR	438.78	292.88	292.88
196-600-680-000	SFR	438.78	292.88	292.88
196-600-690-000	SFR	438.78	292.88	292.88
196-600-700-000	SFR	438.78	292.88	292.88
196-600-710-000	SFR	438.78	292.88	292.88
196-600-720-000	SFR	438.78	292.88	292.88
196-600-730-000	SFR	438.78	292.88	292.88
196-600-740-000	SFR	438.78	292.88	292.88
196-600-750-000	SFR	438.78	292.88	292.88
196-600-760-000	SFR	438.78	292.88	292.88
196-600-770-000	SFR	438.78	292.88	292.88
196-600-780-000	SFR	438.78	292.88	292.88
196-600-790-000	SFR	438.78	292.88	292.88
196-610-010-000	SFR	438.78	292.88	292.88
196-610-020-000	SFR	438.78	292.88	292.88
196-610-030-000	SFR	438.78	292.88	292.88
196-610-040-000	SFR	438.78	292.88	292.88
196-610-050-000	SFR	438.78	292.88	292.88
196-610-060-000	SFR	438.78	292.88	292.88
196-610-070-000	SFR	438.78	292.88	292.88
196-610-080-000	SFR	438.78	292.88	292.88
196-610-090-000	SFR	438.78	292.88	292.88
196-610-100-000	SFR	438.78	292.88	292.88
196-610-110-000	SFR	438.78	292.88	292.88
196-610-120-000	SFR	438.78	292.88	292.88
196-610-130-000	SFR	438.78	292.88	292.88

**CITY OF LATHROP  
STONEBRIDGE LANDSCAPING DISTRICT  
FISCAL YEAR 2020/21  
PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-610-140-000	SFR	438.78	292.88	292.88
196-610-150-000	SFR	438.78	292.88	292.88
196-610-160-000	SFR	438.78	292.88	292.88
196-610-170-000	SFR	438.78	292.88	292.88
196-610-180-000	SFR	438.78	292.88	292.88
196-610-190-000	SFR	438.78	292.88	292.88
196-610-200-000	SFR	438.78	292.88	292.88
196-610-210-000	SFR	438.78	292.88	292.88
196-610-220-000	SFR	438.78	292.88	292.88
196-610-230-000	SFR	438.78	292.88	292.88
196-610-240-000	SFR	438.78	292.88	292.88
196-610-250-000	SFR	438.78	292.88	292.88
196-610-260-000	SFR	438.78	292.88	292.88
196-610-270-000	SFR	438.78	292.88	292.88
196-610-280-000	SFR	438.78	292.88	292.88
196-610-290-000	SFR	438.78	292.88	292.88
196-610-300-000	SFR	438.78	292.88	292.88
196-610-310-000	SFR	438.78	292.88	292.88
196-610-320-000	SFR	438.78	292.88	292.88
196-610-330-000	SFR	438.78	292.88	292.88
196-610-340-000	SFR	438.78	292.88	292.88
196-610-350-000	SFR	438.78	292.88	292.88
196-610-360-000	SFR	438.78	292.88	292.88
196-610-370-000	SFR	438.78	292.88	292.88
196-610-380-000	SFR	438.78	292.88	292.88
196-610-390-000	SFR	438.78	292.88	292.88
196-610-400-000	SFR	438.78	292.88	292.88
196-610-410-000	SFR	438.78	292.88	292.88
196-610-420-000	SFR	438.78	292.88	292.88
196-610-430-000	SFR	438.78	292.88	292.88
196-610-440-000	SFR	438.78	292.88	292.88
196-610-450-000	SFR	438.78	292.88	292.88
196-610-460-000	SFR	438.78	292.88	292.88
196-610-470-000	SFR	438.78	292.88	292.88
196-610-480-000	SFR	438.78	292.88	292.88
196-610-490-000	SFR	438.78	292.88	292.88

**CITY OF LATHROP**  
**STONEBRIDGE LANDSCAPING DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-610-500-000	SFR	438.78	292.88	292.88
196-610-510-000	SFR	438.78	292.88	292.88
196-610-520-000	SFR	438.78	292.88	292.88
196-610-530-000	SFR	438.78	292.88	292.88
196-610-540-000	SFR	438.78	292.88	292.88
196-610-550-000	SFR	438.78	292.88	292.88
196-610-560-000	SFR	438.78	292.88	292.88
196-610-570-000	SFR	438.78	292.88	292.88
196-610-580-000	SFR	438.78	292.88	292.88
196-610-590-000	SFR	438.78	292.88	292.88
196-610-600-000	SFR	438.78	292.88	292.88
196-610-610-000	SFR	438.78	292.88	292.88
196-610-620-000	SFR	438.78	292.88	292.88
196-610-630-000	SFR	438.78	292.88	292.88
196-610-640-000	SFR	438.78	292.88	292.88
196-610-650-000	SFR	438.78	292.88	292.88
196-610-660-000	SFR	438.78	292.88	292.88
196-610-670-000	SFR	438.78	292.88	292.88
196-610-680-000	SFR	438.78	292.88	292.88
196-610-690-000	SFR	438.78	292.88	292.88
196-610-700-000	SFR	438.78	292.88	292.88
196-610-710-000	SFR	438.78	292.88	292.88
196-610-750-000	SFR	438.78	292.88	292.88
196-610-760-000	SFR	438.78	292.88	292.88
196-610-770-000	SFR	438.78	292.88	292.88
196-610-780-000	SFR	438.78	292.88	292.88
196-610-790-000	SFR	438.78	292.88	292.88
196-610-800-000	SFR	438.78	292.88	292.88
196-610-810-000	SFR	438.78	292.88	292.88
196-610-820-000	SFR	438.78	292.88	292.88
196-610-830-000	SFR	438.78	292.88	292.88
196-610-840-000	SFR	438.78	292.88	292.88
196-610-850-000	SFR	438.78	292.88	292.88
196-610-870-000	SFR	438.78	292.88	292.88
196-620-010-000	SFR	438.78	292.88	292.88
196-620-020-000	SFR	438.78	292.88	292.88

**CITY OF LATHROP  
STONEBRIDGE LANDSCAPING DISTRICT  
FISCAL YEAR 2020/21  
PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-620-030-000	SFR	438.78	292.88	292.88
196-620-040-000	SFR	438.78	292.88	292.88
196-620-050-000	SFR	438.78	292.88	292.88
196-620-060-000	SFR	438.78	292.88	292.88
196-620-070-000	SFR	438.78	292.88	292.88
196-620-080-000	SFR	438.78	292.88	292.88
196-620-090-000	SFR	438.78	292.88	292.88
196-620-100-000	SFR	438.78	292.88	292.88
196-620-110-000	SFR	438.78	292.88	292.88
196-620-120-000	SFR	438.78	292.88	292.88
196-620-130-000	SFR	438.78	292.88	292.88
196-620-140-000	SFR	438.78	292.88	292.88
196-620-150-000	SFR	438.78	292.88	292.88
196-620-160-000	SFR	438.78	292.88	292.88
196-620-170-000	SFR	438.78	292.88	292.88
196-620-180-000	SFR	438.78	292.88	292.88
196-620-190-000	SFR	438.78	292.88	292.88
196-620-200-000	SFR	438.78	292.88	292.88
196-620-210-000	SFR	438.78	292.88	292.88
196-620-220-000	SFR	438.78	292.88	292.88
196-620-230-000	SFR	438.78	292.88	292.88
196-620-240-000	SFR	438.78	292.88	292.88
196-620-250-000	SFR	438.78	292.88	292.88
196-620-260-000	SFR	438.78	292.88	292.88
196-620-270-000	SFR	438.78	292.88	292.88
196-620-280-000	SFR	438.78	292.88	292.88
196-620-290-000	SFR	438.78	292.88	292.88
196-620-300-000	SFR	438.78	292.88	292.88
196-620-310-000	SFR	438.78	292.88	292.88
196-620-320-000	SFR	438.78	292.88	292.88
196-620-330-000	SFR	438.78	292.88	292.88
196-620-340-000	SFR	438.78	292.88	292.88
196-620-350-000	SFR	438.78	292.88	292.88
196-620-360-000	SFR	438.78	292.88	292.88
196-620-370-000	SFR	438.78	292.88	292.88
196-620-380-000	SFR	438.78	292.88	292.88

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STONEBRIDGE LANDSCAPING DISTRICT  
FISCAL YEAR 2020/21  
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196-620-390-000	SFR	438.78	292.88	292.88
196-620-400-000	SFR	438.78	292.88	292.88
196-620-410-000	SFR	438.78	292.88	292.88
196-620-420-000	SFR	438.78	292.88	292.88
196-620-430-000	SFR	438.78	292.88	292.88
196-620-440-000	SFR	438.78	292.88	292.88
196-620-450-000	SFR	438.78	292.88	292.88
196-620-460-000	SFR	438.78	292.88	292.88
196-620-470-000	SFR	438.78	292.88	292.88
196-620-480-000	SFR	438.78	292.88	292.88
196-620-490-000	SFR	438.78	292.88	292.88
196-620-500-000	SFR	438.78	292.88	292.88
196-620-510-000	SFR	438.78	292.88	292.88
196-620-520-000	SFR	438.78	292.88	292.88
196-620-530-000	SFR	438.78	292.88	292.88
196-620-540-000	SFR	438.78	292.88	292.88
196-620-550-000	SFR	438.78	292.88	292.88
196-620-560-000	SFR	438.78	292.88	292.88
196-620-570-000	GOVT <sup>(1)</sup>	438.78	292.88	292.88
196-630-010-000	SFR	438.78	292.88	292.88
196-630-020-000	SFR	438.78	292.88	292.88
196-630-030-000	SFR	438.78	292.88	292.88
196-630-040-000	SFR	438.78	292.88	292.88
196-630-050-000	SFR	438.78	292.88	292.88
196-630-060-000	SFR	438.78	292.88	292.88
196-630-070-000	SFR	438.78	292.88	292.88
196-630-080-000	SFR	438.78	292.88	292.88
196-630-090-000	SFR	438.78	292.88	292.88
196-630-100-000	SFR	438.78	292.88	292.88
196-630-110-000	SFR	438.78	292.88	292.88
196-630-120-000	SFR	438.78	292.88	292.88
196-630-130-000	SFR	438.78	292.88	292.88
196-630-140-000	SFR	438.78	292.88	292.88
196-630-150-000	SFR	438.78	292.88	292.88
196-630-160-000	SFR	438.78	292.88	292.88
196-630-170-000	SFR	438.78	292.88	292.88

**CITY OF LATHROP**  
**STONEBRIDGE LANDSCAPING DISTRICT**  
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**PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-630-180-000	SFR	438.78	292.88	292.88
196-630-190-000	SFR	438.78	292.88	292.88
196-630-200-000	SFR	438.78	292.88	292.88
196-630-210-000	SFR	438.78	292.88	292.88
196-630-220-000	SFR	438.78	292.88	292.88
196-630-230-000	SFR	438.78	292.88	292.88
196-630-240-000	SFR	438.78	292.88	292.88
196-630-250-000	SFR	438.78	292.88	292.88
196-630-260-000	SFR	438.78	292.88	292.88
196-630-270-000	SFR	438.78	292.88	292.88
196-630-280-000	SFR	438.78	292.88	292.88
196-630-290-000	SFR	438.78	292.88	292.88
196-630-300-000	SFR	438.78	292.88	292.88
196-630-310-000	SFR	438.78	292.88	292.88
196-630-320-000	SFR	438.78	292.88	292.88
196-630-330-000	SFR	438.78	292.88	292.88
196-630-340-000	SFR	438.78	292.88	292.88
196-630-350-000	SFR	438.78	292.88	292.88
196-630-360-000	SFR	438.78	292.88	292.88
196-630-370-000	SFR	438.78	292.88	292.88
196-630-380-000	SFR	438.78	292.88	292.88
196-630-390-000	SFR	438.78	292.88	292.88
196-630-400-000	SFR	438.78	292.88	292.88
196-630-410-000	SFR	438.78	292.88	292.88
196-630-420-000	SFR	438.78	292.88	292.88
196-630-430-000	SFR	438.78	292.88	292.88
196-630-440-000	SFR	438.78	292.88	292.88
196-630-450-000	SFR	438.78	292.88	292.88
196-630-460-000	SFR	438.78	292.88	292.88
196-630-470-000	SFR	438.78	292.88	292.88
196-630-480-000	SFR	438.78	292.88	292.88
196-630-490-000	SFR	438.78	292.88	292.88
196-630-500-000	SFR	438.78	292.88	292.88
196-630-510-000	SFR	438.78	292.88	292.88
196-630-520-000	SFR	438.78	292.88	292.88
196-630-530-000	SFR	438.78	292.88	292.88

**CITY OF LATHROP**  
**STONEBRIDGE LANDSCAPING DISTRICT**  
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<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-630-540-000	SFR	438.78	292.88	292.88
196-630-550-000	SFR	438.78	292.88	292.88
196-630-560-000	SFR	438.78	292.88	292.88
196-630-570-000	SFR	438.78	292.88	292.88
196-630-580-000	SFR	438.78	292.88	292.88
196-630-590-000	SFR	438.78	292.88	292.88
196-630-600-000	SFR	438.78	292.88	292.88
196-630-610-000	SFR	438.78	292.88	292.88
196-630-620-000	SFR	438.78	292.88	292.88
196-630-630-000	SFR	438.78	292.88	292.88
196-630-640-000	SFR	438.78	292.88	292.88
196-630-650-000	SFR	438.78	292.88	292.88
196-640-010-000	SFR	438.78	292.88	292.88
196-640-020-000	SFR	438.78	292.88	292.88
196-640-030-000	SFR	438.78	292.88	292.88
196-640-040-000	SFR	438.78	292.88	292.88
196-640-050-000	SFR	438.78	292.88	292.88
196-640-060-000	SFR	438.78	292.88	292.88
196-640-070-000	SFR	438.78	292.88	292.88
196-640-080-000	SFR	438.78	292.88	292.88
196-640-090-000	SFR	438.78	292.88	292.88
196-640-100-000	SFR	438.78	292.88	292.88
196-640-110-000	SFR	438.78	292.88	292.88
196-640-120-000	SFR	438.78	292.88	292.88
196-640-130-000	SFR	438.78	292.88	292.88
196-640-140-000	SFR	438.78	292.88	292.88
196-640-150-000	SFR	438.78	292.88	292.88
196-640-160-000	SFR	438.78	292.88	292.88
196-640-170-000	SFR	438.78	292.88	292.88
196-640-180-000	SFR	438.78	292.88	292.88
196-640-190-000	SFR	438.78	292.88	292.88
196-640-200-000	SFR	438.78	292.88	292.88
196-640-210-000	SFR	438.78	292.88	292.88
196-640-220-000	SFR	438.78	292.88	292.88
196-640-230-000	SFR	438.78	292.88	292.88
196-640-240-000	SFR	438.78	292.88	292.88



**CITY OF LATHROP**  
**STONEBRIDGE LANDSCAPING DISTRICT**  
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<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-640-250-000	SFR	438.78	292.88	292.88
196-640-260-000	SFR	438.78	292.88	292.88
196-640-270-000	SFR	438.78	292.88	292.88
196-640-280-000	SFR	438.78	292.88	292.88
196-640-290-000	SFR	438.78	292.88	292.88
196-640-300-000	SFR	438.78	292.88	292.88
196-640-310-000	SFR	438.78	292.88	292.88
196-640-320-000	SFR	438.78	292.88	292.88
196-640-330-000	SFR	438.78	292.88	292.88
196-640-340-000	SFR	438.78	292.88	292.88
196-640-350-000	SFR	438.78	292.88	292.88
196-640-360-000	SFR	438.78	292.88	292.88
196-640-370-000	SFR	438.78	292.88	292.88
196-640-380-000	SFR	438.78	292.88	292.88
196-640-390-000	SFR	438.78	292.88	292.88
196-640-400-000	SFR	438.78	292.88	292.88
196-640-410-000	SFR	438.78	292.88	292.88
196-640-420-000	SFR	438.78	292.88	292.88
196-640-430-000	SFR	438.78	292.88	292.88
196-640-440-000	SFR	438.78	292.88	292.88
196-640-450-000	SFR	438.78	292.88	292.88
196-640-460-000	SFR	438.78	292.88	292.88
196-640-470-000	SFR	438.78	292.88	292.88
196-640-480-000	SFR	438.78	292.88	292.88
196-640-490-000	SFR	438.78	292.88	292.88
196-640-500-000	SFR	438.78	292.88	292.88
196-650-010-000	SFR	438.78	292.88	292.88
196-650-020-000	SFR	438.78	292.88	292.88
196-650-030-000	SFR	438.78	292.88	292.88
196-650-040-000	SFR	438.78	292.88	292.88
196-650-050-000	SFR	438.78	292.88	292.88
196-650-060-000	SFR	438.78	292.88	292.88
196-650-070-000	SFR	438.78	292.88	292.88
196-650-080-000	SFR	438.78	292.88	292.88
196-650-090-000	SFR	438.78	292.88	292.88
196-650-100-000	SFR	438.78	292.88	292.88

**CITY OF LATHROP**  
**STONEBRIDGE LANDSCAPING DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-650-110-000	SFR	438.78	292.88	292.88
196-650-120-000	SFR	438.78	292.88	292.88
196-650-130-000	SFR	438.78	292.88	292.88
196-650-140-000	SFR	438.78	292.88	292.88
196-650-150-000	SFR	438.78	292.88	292.88
196-650-160-000	SFR	438.78	292.88	292.88
196-650-170-000	SFR	438.78	292.88	292.88
196-650-180-000	SFR	438.78	292.88	292.88
196-650-190-000	SFR	438.78	292.88	292.88
196-650-200-000	SFR	438.78	292.88	292.88
196-650-210-000	SFR	438.78	292.88	292.88
196-650-220-000	SFR	438.78	292.88	292.88
196-650-230-000	SFR	438.78	292.88	292.88
196-650-240-000	SFR	438.78	292.88	292.88
196-650-250-000	SFR	438.78	292.88	292.88
196-650-260-000	SFR	438.78	292.88	292.88
196-650-270-000	SFR	438.78	292.88	292.88
196-650-280-000	SFR	438.78	292.88	292.88
196-650-290-000	SFR	438.78	292.88	292.88
196-650-300-000	SFR	438.78	292.88	292.88
196-650-310-000	SFR	438.78	292.88	292.88
196-650-320-000	SFR	438.78	292.88	292.88
196-650-330-000	SFR	438.78	292.88	292.88
196-650-340-000	SFR	438.78	292.88	292.88
196-650-350-000	SFR	438.78	292.88	292.88
196-650-360-000	SFR	438.78	292.88	292.88
196-650-370-000	SFR	438.78	292.88	292.88
196-650-380-000	SFR	438.78	292.88	292.88
196-650-390-000	SFR	438.78	292.88	292.88
196-650-400-000	SFR	438.78	292.88	292.88
196-650-410-000	SFR	438.78	292.88	292.88
196-650-420-000	SFR	438.78	292.88	292.88
196-650-430-000	SFR	438.78	292.88	292.88
196-650-440-000	SFR	438.78	292.88	292.88
196-650-450-000	SFR	438.78	292.88	292.88
196-650-460-000	SFR	438.78	292.88	292.88

**CITY OF LATHROP**  
**STONEBRIDGE LANDSCAPING DISTRICT**  
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**PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-650-470-000	SFR	438.78	292.88	292.88
196-650-480-000	SFR	438.78	292.88	292.88
196-650-490-000	SFR	438.78	292.88	292.88
196-650-500-000	SFR	438.78	292.88	292.88
196-650-510-000	SFR	438.78	292.88	292.88
196-650-520-000	SFR	438.78	292.88	292.88
196-650-530-000	SFR	438.78	292.88	292.88
196-650-540-000	SFR	438.78	292.88	292.88
196-650-550-000	SFR	438.78	292.88	292.88
196-650-560-000	SFR	438.78	292.88	292.88
196-650-570-000	SFR	438.78	292.88	292.88
196-650-580-000	SFR	438.78	292.88	292.88
196-650-590-000	SFR	438.78	292.88	292.88
196-650-600-000	SFR	438.78	292.88	292.88
196-650-610-000	SFR	438.78	292.88	292.88
196-650-620-000	SFR	438.78	292.88	292.88
196-650-630-000	SFR	438.78	292.88	292.88
196-650-640-000	SFR	438.78	292.88	292.88
196-650-650-000	SFR	438.78	292.88	292.88
196-650-660-000	SFR	438.78	292.88	292.88
196-660-010-000	SFR	438.78	292.88	292.88
196-660-020-000	SFR	438.78	292.88	292.88
196-660-030-000	SFR	438.78	292.88	292.88
196-660-040-000	SFR	438.78	292.88	292.88
196-660-050-000	SFR	438.78	292.88	292.88
196-660-060-000	SFR	438.78	292.88	292.88
196-660-070-000	SFR	438.78	292.88	292.88
196-660-080-000	SFR	438.78	292.88	292.88
196-660-090-000	SFR	438.78	292.88	292.88
196-660-100-000	SFR	438.78	292.88	292.88
196-660-110-000	SFR	438.78	292.88	292.88
196-660-120-000	SFR	438.78	292.88	292.88
196-660-130-000	SFR	438.78	292.88	292.88
196-660-140-000	SFR	438.78	292.88	292.88
196-660-150-000	SFR	438.78	292.88	292.88
196-660-160-000	SFR	438.78	292.88	292.88

**CITY OF LATHROP**  
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<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-660-170-000	SFR	438.78	292.88	292.88
196-660-180-000	SFR	438.78	292.88	292.88
196-660-190-000	SFR	438.78	292.88	292.88
196-660-200-000	SFR	438.78	292.88	292.88
196-660-210-000	SFR	438.78	292.88	292.88
196-660-220-000	SFR	438.78	292.88	292.88
196-660-230-000	SFR	438.78	292.88	292.88
196-660-240-000	SFR	438.78	292.88	292.88
196-660-250-000	SFR	438.78	292.88	292.88
196-660-260-000	SFR	438.78	292.88	292.88
196-660-270-000	SFR	438.78	292.88	292.88
196-660-280-000	SFR	438.78	292.88	292.88
196-660-290-000	SFR	438.78	292.88	292.88
196-660-300-000	SFR	438.78	292.88	292.88
196-660-310-000	SFR	438.78	292.88	292.88
196-660-320-000	SFR	438.78	292.88	292.88
196-660-330-000	SFR	438.78	292.88	292.88
196-660-340-000	SFR	438.78	292.88	292.88
196-660-350-000	SFR	438.78	292.88	292.88
196-660-360-000	SFR	438.78	292.88	292.88
196-660-370-000	SFR	438.78	292.88	292.88
196-660-380-000	SFR	438.78	292.88	292.88
196-660-390-000	SFR	438.78	292.88	292.88
196-660-400-000	SFR	438.78	292.88	292.88
196-660-410-000	SFR	438.78	292.88	292.88
196-660-420-000	SFR	438.78	292.88	292.88
196-660-430-000	SFR	438.78	292.88	292.88
196-660-440-000	SFR	438.78	292.88	292.88
196-660-450-000	SFR	438.78	292.88	292.88
196-660-460-000	SFR	438.78	292.88	292.88
196-660-470-000	SFR	438.78	292.88	292.88
196-660-500-000	SFR	438.78	292.88	292.88
196-660-530-000	SFR	438.78	292.88	292.88
196-660-540-000	SFR	438.78	292.88	292.88
196-660-550-000	SFR	438.78	292.88	292.88
196-660-560-000	SFR	438.78	292.88	292.88

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<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-670-010-000	SFR	438.78	292.88	292.88
196-670-020-000	SFR	438.78	292.88	292.88
196-670-030-000	SFR	438.78	292.88	292.88
196-670-040-000	SFR	438.78	292.88	292.88
196-670-050-000	SFR	438.78	292.88	292.88
196-670-060-000	SFR	438.78	292.88	292.88
196-670-070-000	SFR	438.78	292.88	292.88
196-670-080-000	SFR	438.78	292.88	292.88
196-670-090-000	SFR	438.78	292.88	292.88
196-670-100-000	SFR	438.78	292.88	292.88
196-670-110-000	SFR	438.78	292.88	292.88
196-670-120-000	SFR	438.78	292.88	292.88
196-670-130-000	SFR	438.78	292.88	292.88
196-670-140-000	SFR	438.78	292.88	292.88
196-670-150-000	SFR	438.78	292.88	292.88
196-670-160-000	SFR	438.78	292.88	292.88
196-670-170-000	SFR	438.78	292.88	292.88
196-670-180-000	SFR	438.78	292.88	292.88
196-670-190-000	SFR	438.78	292.88	292.88
196-670-200-000	SFR	438.78	292.88	292.88
196-670-210-000	SFR	438.78	292.88	292.88
196-670-220-000	SFR	438.78	292.88	292.88
196-670-230-000	SFR	438.78	292.88	292.88
196-670-240-000	SFR	438.78	292.88	292.88
196-670-250-000	SFR	438.78	292.88	292.88
196-670-260-000	SFR	438.78	292.88	292.88
196-670-270-000	SFR	438.78	292.88	292.88
196-670-280-000	SFR	438.78	292.88	292.88
196-670-290-000	SFR	438.78	292.88	292.88
196-670-300-000	SFR	438.78	292.88	292.88
196-670-310-000	SFR	438.78	292.88	292.88
196-670-320-000	SFR	438.78	292.88	292.88
196-670-330-000	SFR	438.78	292.88	292.88
196-670-340-000	SFR	438.78	292.88	292.88
196-670-350-000	SFR	438.78	292.88	292.88
196-670-360-000	SFR	438.78	292.88	292.88

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<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-670-370-000	SFR	438.78	292.88	292.88
196-670-380-000	SFR	438.78	292.88	292.88
196-670-390-000	SFR	438.78	292.88	292.88
196-670-400-000	SFR	438.78	292.88	292.88
196-670-410-000	SFR	438.78	292.88	292.88
196-670-420-000	SFR	438.78	292.88	292.88
196-670-430-000	SFR	438.78	292.88	292.88
196-670-440-000	SFR	438.78	292.88	292.88
196-670-450-000	SFR	438.78	292.88	292.88
196-670-460-000	SFR	438.78	292.88	292.88
196-670-470-000	SFR	438.78	292.88	292.88
196-670-480-000	SFR	438.78	292.88	292.88
196-670-490-000	SFR	438.78	292.88	292.88
196-670-500-000	SFR	438.78	292.88	292.88
196-670-510-000	SFR	438.78	292.88	292.88
196-680-010-000	SFR	438.78	292.88	292.88
196-680-020-000	SFR	438.78	292.88	292.88
196-680-030-000	SFR	438.78	292.88	292.88
196-680-040-000	SFR	438.78	292.88	292.88
196-680-050-000	SFR	438.78	292.88	292.88
196-680-060-000	SFR	438.78	292.88	292.88
196-680-070-000	SFR	438.78	292.88	292.88
196-680-080-000	SFR	438.78	292.88	292.88
196-680-090-000	SFR	438.78	292.88	292.88
196-680-100-000	SFR	438.78	292.88	292.88
196-680-110-000	SFR	438.78	292.88	292.88
196-680-120-000	SFR	438.78	292.88	292.88
196-680-130-000	SFR	438.78	292.88	292.88
196-680-140-000	SFR	438.78	292.88	292.88
196-680-150-000	SFR	438.78	292.88	292.88
196-680-160-000	SFR	438.78	292.88	292.88
196-680-170-000	SFR	438.78	292.88	292.88
196-680-180-000	SFR	438.78	292.88	292.88
196-680-190-000	SFR	438.78	292.88	292.88
196-680-200-000	SFR	438.78	292.88	292.88
196-680-210-000	SFR	438.78	292.88	292.88

**CITY OF LATHROP  
STONEBRIDGE LANDSCAPING DISTRICT  
FISCAL YEAR 2020/21  
PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-680-220-000	SFR	438.78	292.88	292.88
196-680-230-000	SFR	438.78	292.88	292.88
196-680-240-000	SFR	438.78	292.88	292.88
196-680-250-000	SFR	438.78	292.88	292.88
196-680-260-000	SFR	438.78	292.88	292.88
196-680-270-000	SFR	438.78	292.88	292.88
196-680-280-000	SFR	438.78	292.88	292.88
196-680-290-000	SFR	438.78	292.88	292.88
196-680-300-000	SFR	438.78	292.88	292.88
196-680-310-000	SFR	438.78	292.88	292.88
196-680-320-000	SFR	438.78	292.88	292.88
196-680-330-000	SFR	438.78	292.88	292.88
196-680-340-000	SFR	438.78	292.88	292.88
196-680-350-000	SFR	438.78	292.88	292.88
196-680-360-000	SFR	438.78	292.88	292.88
196-680-370-000	SFR	438.78	292.88	292.88
196-680-380-000	SFR	438.78	292.88	292.88
196-680-390-000	SFR	438.78	292.88	292.88
196-680-400-000	SFR	438.78	292.88	292.88
196-680-410-000	SFR	438.78	292.88	292.88
196-680-420-000	SFR	438.78	292.88	292.88
196-680-430-000	SFR	438.78	292.88	292.88
196-680-440-000	SFR	438.78	292.88	292.88
196-680-450-000	SFR	438.78	292.88	292.88
196-680-460-000	SFR	438.78	292.88	292.88
196-680-470-000	SFR	438.78	292.88	292.88
196-680-480-000	SFR	438.78	292.88	292.88
196-680-490-000	SFR	438.78	292.88	292.88
196-680-500-000	SFR	438.78	292.88	292.88
196-680-510-000	SFR	438.78	292.88	292.88
196-680-520-000	SFR	438.78	292.88	292.88
196-680-530-000	SFR	438.78	292.88	292.88
196-680-540-000	SFR	438.78	292.88	292.88
196-680-550-000	SFR	438.78	292.88	292.88
196-680-560-000	SFR	438.78	292.88	292.88
196-680-570-000	SFR	438.78	292.88	292.88

**CITY OF LATHROP**  
**STONEBRIDGE LANDSCAPING DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-680-580-000	SFR	438.78	292.88	292.88
196-680-590-000	SFR	438.78	292.88	292.88
196-680-600-000	SFR	438.78	292.88	292.88
196-680-610-000	SFR	438.78	292.88	292.88
196-680-620-000	SFR	438.78	292.88	292.88
196-680-630-000	SFR	438.78	292.88	292.88
196-680-640-000	SFR	438.78	292.88	292.88
196-680-650-000	SFR	438.78	292.88	292.88
196-680-660-000	SFR	438.78	292.88	292.88
196-680-670-000	SFR	438.78	292.88	292.88
196-680-680-000	SFR	438.78	292.88	292.88
196-680-690-000	SFR	438.78	292.88	292.88
196-680-700-000	SFR	438.78	292.88	292.88
196-680-710-000	SFR	438.78	292.88	292.88
196-680-720-000	SFR	438.78	292.88	292.88
196-680-730-000	SFR	438.78	292.88	292.88
196-680-740-000	SFR	438.78	292.88	292.88
196-680-750-000	SFR	438.78	292.88	292.88
196-680-760-000	SFR	438.78	292.88	292.88
196-680-770-000	SFR	438.78	292.88	292.88
196-680-780-000	SFR	438.78	292.88	292.88
196-680-790-000	SFR	438.78	292.88	292.88
196-680-800-000	SFR	438.78	292.88	292.88
196-680-810-000	SFR	438.78	292.88	292.88
196-680-820-000	SFR	438.78	292.88	292.88
196-680-830-000	SFR	438.78	292.88	292.88
196-680-840-000	SFR	438.78	292.88	292.88
196-680-850-000	SFR	438.78	292.88	292.88
196-680-860-000	SFR	438.78	292.88	292.88
196-680-870-000	SFR	438.78	292.88	292.88
196-680-880-000	SFR	438.78	292.88	292.88
196-690-010-000	SFR	438.78	292.88	292.88
196-690-020-000	SFR	438.78	292.88	292.88
196-690-030-000	SFR	438.78	292.88	292.88
196-690-040-000	SFR	438.78	292.88	292.88
196-690-050-000	SFR	438.78	292.88	292.88



**CITY OF LATHROP**  
**STONEBRIDGE LANDSCAPING DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-690-060-000	SFR	438.78	292.88	292.88
196-690-070-000	SFR	438.78	292.88	292.88
196-690-080-000	SFR	438.78	292.88	292.88
196-690-090-000	SFR	438.78	292.88	292.88
196-690-100-000	SFR	438.78	292.88	292.88
196-690-110-000	SFR	438.78	292.88	292.88
196-690-120-000	SFR	438.78	292.88	292.88
196-690-130-000	SFR	438.78	292.88	292.88
196-690-140-000	SFR	438.78	292.88	292.88
196-690-150-000	SFR	438.78	292.88	292.88
196-690-160-000	SFR	438.78	292.88	292.88
196-690-170-000	SFR	438.78	292.88	292.88
196-690-180-000	SFR	438.78	292.88	292.88
196-690-190-000	SFR	438.78	292.88	292.88
196-690-200-000	SFR	438.78	292.88	292.88
196-690-210-000	SFR	438.78	292.88	292.88
196-690-220-000	SFR	438.78	292.88	292.88
196-690-230-000	SFR	438.78	292.88	292.88
196-690-240-000	SFR	438.78	292.88	292.88
196-690-250-000	SFR	438.78	292.88	292.88
196-690-260-000	SFR	438.78	292.88	292.88
196-690-270-000	SFR	438.78	292.88	292.88
196-690-280-000	SFR	438.78	292.88	292.88
196-690-290-000	SFR	438.78	292.88	292.88
196-690-300-000	SFR	438.78	292.88	292.88
196-690-310-000	SFR	438.78	292.88	292.88
196-690-320-000	SFR	438.78	292.88	292.88
196-690-330-000	SFR	438.78	292.88	292.88
196-690-340-000	SFR	438.78	292.88	292.88
196-690-350-000	SFR	438.78	292.88	292.88
196-690-360-000	SFR	438.78	292.88	292.88
196-690-370-000	SFR	438.78	292.88	292.88
196-690-380-000	SFR	438.78	292.88	292.88
196-690-390-000	SFR	438.78	292.88	292.88
196-690-400-000	SFR	438.78	292.88	292.88
196-690-410-000	SFR	438.78	292.88	292.88

**CITY OF LATHROP**  
**STONEBRIDGE LANDSCAPING DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-690-420-000	SFR	438.78	292.88	292.88
196-690-430-000	SFR	438.78	292.88	292.88
196-700-010-000	SFR	438.78	292.88	292.88
196-700-020-000	SFR	438.78	292.88	292.88
196-700-030-000	SFR	438.78	292.88	292.88
196-700-040-000	SFR	438.78	292.88	292.88
196-700-050-000	SFR	438.78	292.88	292.88
196-700-060-000	SFR	438.78	292.88	292.88
196-700-070-000	SFR	438.78	292.88	292.88
196-700-080-000	SFR	438.78	292.88	292.88
196-700-090-000	SFR	438.78	292.88	292.88
196-700-100-000	SFR	438.78	292.88	292.88
196-700-110-000	SFR	438.78	292.88	292.88
196-700-120-000	SFR	438.78	292.88	292.88
196-700-130-000	SFR	438.78	292.88	292.88
196-700-140-000	SFR	438.78	292.88	292.88
196-700-150-000	SFR	438.78	292.88	292.88
196-700-160-000	SFR	438.78	292.88	292.88
196-700-170-000	SFR	438.78	292.88	292.88
196-700-180-000	SFR	438.78	292.88	292.88
196-700-190-000	SFR	438.78	292.88	292.88
196-700-200-000	SFR	438.78	292.88	292.88
196-700-210-000	SFR	438.78	292.88	292.88
196-700-220-000	SFR	438.78	292.88	292.88
196-700-230-000	SFR	438.78	292.88	292.88
196-700-240-000	SFR	438.78	292.88	292.88
196-700-250-000	SFR	438.78	292.88	292.88
196-700-260-000	SFR	438.78	292.88	292.88
196-700-270-000	SFR	438.78	292.88	292.88
196-700-280-000	SFR	438.78	292.88	292.88
196-700-290-000	SFR	438.78	292.88	292.88
196-700-300-000	SFR	438.78	292.88	292.88
196-700-310-000	SFR	438.78	292.88	292.88
196-700-320-000	SFR	438.78	292.88	292.88
196-700-330-000	SFR	438.78	292.88	292.88
196-700-340-000	SFR	438.78	292.88	292.88

**CITY OF LATHROP**  
**STONEBRIDGE LANDSCAPING DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-700-350-000	SFR	438.78	292.88	292.88
196-700-360-000	SFR	438.78	292.88	292.88
196-700-370-000	SFR	438.78	292.88	292.88
196-700-380-000	SFR	438.78	292.88	292.88
196-700-390-000	SFR	438.78	292.88	292.88
196-700-400-000	SFR	438.78	292.88	292.88
196-700-410-000	SFR	438.78	292.88	292.88
196-700-420-000	SFR	438.78	292.88	292.88
196-700-430-000	SFR	438.78	292.88	292.88
196-700-440-000	SFR	438.78	292.88	292.88
196-700-450-000	SFR	438.78	292.88	292.88
196-700-460-000	SFR	438.78	292.88	292.88
196-700-470-000	SFR	438.78	292.88	292.88
196-700-480-000	SFR	438.78	292.88	292.88
196-700-490-000	SFR	438.78	292.88	292.88
196-700-500-000	SFR	438.78	292.88	292.88
196-700-510-000	SFR	438.78	292.88	292.88
196-700-520-000	SFR	438.78	292.88	292.88
196-700-530-000	SFR	438.78	292.88	292.88
196-700-540-000	SFR	438.78	292.88	292.88
196-700-550-000	SFR	438.78	292.88	292.88
196-700-560-000	SFR	438.78	292.88	292.88
196-700-570-000	SFR	438.78	292.88	292.88
196-700-580-000	SFR	438.78	292.88	292.88
196-700-590-000	SFR	438.78	292.88	292.88
196-700-600-000	SFR	438.78	292.88	292.88
196-700-610-000	SFR	438.78	292.88	292.88
196-700-620-000	SFR	438.78	292.88	292.88
196-700-630-000	SFR	438.78	292.88	292.88
196-700-640-000	SFR	438.78	292.88	292.88
196-700-650-000	SFR	438.78	292.88	292.88
196-700-660-000	SFR	438.78	292.88	292.88
196-700-670-000	SFR	438.78	292.88	292.88
196-700-680-000	SFR	438.78	292.88	292.88
196-700-690-000	SFR	438.78	292.88	292.88
196-700-700-000	SFR	438.78	292.88	292.88

**CITY OF LATHROP  
STONEBRIDGE LANDSCAPING DISTRICT  
FISCAL YEAR 2020/21  
PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-700-710-000	SFR	438.78	292.88	292.88
196-710-010-000	SFR	438.78	292.88	292.88
196-710-020-000	SFR	438.78	292.88	292.88
196-710-030-000	SFR	438.78	292.88	292.88
196-710-040-000	SFR	438.78	292.88	292.88
196-710-050-000	SFR	438.78	292.88	292.88
196-710-060-000	SFR	438.78	292.88	292.88
196-710-070-000	SFR	438.78	292.88	292.88
196-710-080-000	SFR	438.78	292.88	292.88
196-710-090-000	SFR	438.78	292.88	292.88
196-710-100-000	SFR	438.78	292.88	292.88
196-710-110-000	SFR	438.78	292.88	292.88
196-710-120-000	SFR	438.78	292.88	292.88
196-710-130-000	SFR	438.78	292.88	292.88
196-710-140-000	SFR	438.78	292.88	292.88
196-710-150-000	SFR	438.78	292.88	292.88
196-710-160-000	SFR	438.78	292.88	292.88
196-710-170-000	SFR	438.78	292.88	292.88
196-710-180-000	SFR	438.78	292.88	292.88
196-710-190-000	SFR	438.78	292.88	292.88
196-710-200-000	SFR	438.78	292.88	292.88
196-710-210-000	SFR	438.78	292.88	292.88
196-710-220-000	SFR	438.78	292.88	292.88
196-710-230-000	SFR	438.78	292.88	292.88
196-710-240-000	SFR	438.78	292.88	292.88
196-710-250-000	SFR	438.78	292.88	292.88
196-710-260-000	SFR	438.78	292.88	292.88
196-710-270-000	SFR	438.78	292.88	292.88
196-710-280-000	SFR	438.78	292.88	292.88
196-710-290-000	SFR	438.78	292.88	292.88
196-710-300-000	SFR	438.78	292.88	292.88
196-710-310-000	SFR	438.78	292.88	292.88
196-710-320-000	SFR	438.78	292.88	292.88
196-710-330-000	SFR	438.78	292.88	292.88
196-710-340-000	SFR	438.78	292.88	292.88
196-710-350-000	SFR	438.78	292.88	292.88

**CITY OF LATHROP**  
**STONEBRIDGE LANDSCAPING DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-710-360-000	SFR	438.78	292.88	292.88
196-710-370-000	SFR	438.78	292.88	292.88
196-710-380-000	SFR	438.78	292.88	292.88
196-710-390-000	SFR	438.78	292.88	292.88
196-710-400-000	SFR	438.78	292.88	292.88
196-710-410-000	SFR	438.78	292.88	292.88
196-710-420-000	SFR	438.78	292.88	292.88
196-710-430-000	SFR	438.78	292.88	292.88
196-710-440-000	SFR	438.78	292.88	292.88
196-710-450-000	SFR	438.78	292.88	292.88
196-710-460-000	SFR	438.78	292.88	292.88
196-710-470-000	SFR	438.78	292.88	292.88
196-710-480-000	SFR	438.78	292.88	292.88
196-710-490-000	SFR	438.78	292.88	292.88
196-710-500-000	SFR	438.78	292.88	292.88
196-710-510-000	SFR	438.78	292.88	292.88
196-710-520-000	SFR	438.78	292.88	292.88
196-710-530-000	SFR	438.78	292.88	292.88
196-710-540-000	SFR	438.78	292.88	292.88
196-710-550-000	SFR	438.78	292.88	292.88
196-710-560-000	SFR	438.78	292.88	292.88
196-710-570-000	GOVT <sup>(1)</sup>	438.78	292.88	292.88
196-720-010-000	SFR	438.78	292.88	292.88
196-720-020-000	SFR	438.78	292.88	292.88
196-720-030-000	SFR	438.78	292.88	292.88
196-720-040-000	SFR	438.78	292.88	292.88
196-720-050-000	SFR	438.78	292.88	292.88
196-720-060-000	SFR	438.78	292.88	292.88
196-720-070-000	SFR	438.78	292.88	292.88
196-720-080-000	SFR	438.78	292.88	292.88
196-720-090-000	SFR	438.78	292.88	292.88
196-720-100-000	SFR	438.78	292.88	292.88
196-720-110-000	SFR	438.78	292.88	292.88
196-720-120-000	SFR	438.78	292.88	292.88
196-720-130-000	SFR	438.78	292.88	292.88
196-720-140-000	SFR	438.78	292.88	292.88

**CITY OF LATHROP**  
**STONEBRIDGE LANDSCAPING DISTRICT**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-720-150-000	SFR	438.78	292.88	292.88
196-720-160-000	SFR	438.78	292.88	292.88
196-720-170-000	SFR	438.78	292.88	292.88
196-720-180-000	SFR	438.78	292.88	292.88
196-720-190-000	SFR	438.78	292.88	292.88
196-720-200-000	SFR	438.78	292.88	292.88
196-720-210-000	SFR	438.78	292.88	292.88
196-720-220-000	SFR	438.78	292.88	292.88
196-720-230-000	SFR	438.78	292.88	292.88
196-720-240-000	SFR	438.78	292.88	292.88
196-720-250-000	SFR	438.78	292.88	292.88
196-720-260-000	SFR	438.78	292.88	292.88
196-720-270-000	SFR	438.78	292.88	292.88
196-720-280-000	SFR	438.78	292.88	292.88
196-720-290-000	SFR	438.78	292.88	292.88
196-720-300-000	SFR	438.78	292.88	292.88
196-720-310-000	SFR	438.78	292.88	292.88
196-720-320-000	SFR	438.78	292.88	292.88
196-720-330-000	SFR	438.78	292.88	292.88
196-720-340-000	SFR	438.78	292.88	292.88
196-720-350-000	SFR	438.78	292.88	292.88
196-720-360-000	SFR	438.78	292.88	292.88
196-720-370-000	SFR	438.78	292.88	292.88
196-720-380-000	SFR	438.78	292.88	292.88
196-720-390-000	SFR	438.78	292.88	292.88
196-720-400-000	SFR	438.78	292.88	292.88
196-720-410-000	SFR	438.78	292.88	292.88
196-720-420-000	SFR	438.78	292.88	292.88
196-720-430-000	SFR	438.78	292.88	292.88
196-720-440-000	SFR	438.78	292.88	292.88
196-720-450-000	SFR	438.78	292.88	292.88
196-720-460-000	SFR	438.78	292.88	292.88
196-720-470-000	SFR	438.78	292.88	292.88
196-720-480-000	SFR	438.78	292.88	292.88
196-720-490-000	SFR	438.78	292.88	292.88
196-720-500-000	SFR	438.78	292.88	292.88

**CITY OF LATHROP  
 STONEBRIDGE LANDSCAPING DISTRICT  
 FISCAL YEAR 2020/21  
 PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-720-510-000	SFR	438.78	292.88	292.88
196-720-520-000	SFR	438.78	292.88	292.88
196-720-530-000	SFR	438.78	292.88	292.88
<b>Total:</b>	<b>903 Parcels</b>			<b>\$264,470.64</b>

(!) Per City instruction, APN 196-620-570-000 & 196-710-570-000 are assessable.

# CITY OF LATHROP

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Stonebridge Drainage and Lighting Area of Benefit

Annual Engineer's Report

Fiscal Year 2020/21



Prepared by:

**NBS**  
helping communities  
fund tomorrow  
[nbsgov.com](http://nbsgov.com)

Corporate Headquarters  
32605 Temecula Parkway, Suite 100  
Temecula, CA 92592  
Toll free: 800.676.7516



**CITY OF LATHROP  
STONEBRIDGE DRAINAGE AND LIGHTING  
AREA OF BENEFIT**

**390 Towne Centre Drive  
Lathrop, California 95330  
Phone - (209) 941-7320  
Fax - (209) 941-7339**

---

**CITY COUNCIL**

Sonny Dhaliwal, Mayor

Martha Salcedo, Vice Mayor

Paul Akinjo, Councilmember

Diane Lazard, Councilmember

Jennifer Torres-O'Callaghan, Councilmember

**CITY STAFF**

Stephen Salvatore, City Manager

Salvador Navarrete, City Attorney

Cari James, Finance Director

Glenn Gebhardt, City Engineer

**NBS**

Tim Seufert, Client Services Director

Kristin Harvey, Senior Consultant

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# 1. ENGINEER'S LETTER

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**WHEREAS**, the City Council of the City of Lathrop (the "City"), State of California, directed NBS Government Finance Group, DBA NBS ("NBS") to prepare and file a report presenting plans and specifications describing the general nature, location and extent of the improvements to be maintained, and an estimate of the costs of the maintenance, operations and servicing of the improvements for the City of Lathrop Stonebridge Drainage and Lighting Area of Benefit (the "District") for Fiscal Year 2020/21. The report includes a diagram for the District showing the area and properties proposed to be assessed, an assessment of the estimated costs of the maintenance, operations and servicing of the improvements, and the net amount to be assessed upon all assessable parcels within the District in proportion to the special benefit received;

**WHEREAS**, the proposed assessment rate of \$248.14 per single family lot, is not greater than 105% of the prior year maximum assessment, as approved by the land owners. The District is in compliance with the assessment balloting procedures set forth in Section 4 of Article XIII D of the California Constitution and the District was formed by consent of 100% of the land owners.

**NOW THEREFORE**, only special benefits are assessed and any general benefits have been identified. The following assessment is made to fund the portion of the estimated costs of maintenance, operation, and servicing of the improvements to be paid by the assessable real property within the District in proportion to the special benefit received:

## SUMMARY OF ASSESSMENT-- SINGLE FAMILY LOTS

Description	Amount
Balance to Levy	\$223,822.28
Total Single Family Lots	902
<b>Calculated Assessment Per Single Family Lot</b>	<b>\$248.14</b>
Maximum Assessment Per Single Family Lot	\$438.78
<b>Total Assessment – Single Family Lots</b>	<b>\$223,822.28</b>

I, the undersigned, respectfully submit the enclosed Engineer's Report and, to the best of my knowledge, information, and belief, the Engineer's Report, Assessments, and the District Diagram herein have been prepared and computed in accordance with the order and historical practices of the City Council of the City.

---

NBS Government Finance Group, DBA NBS



City of Lathrop  
Stonebridge Drainage and Lighting Area of Benefit

## 2. OVERVIEW

---

### 2.1 Introduction

The City previously formed several maintenance assessment districts for the purpose of providing maintenance services to benefit certain parcels in the City. Over several years, these districts have levied and collected special assessments. In 1998, the District was formed pursuant to the Benefit Assessment Act of 1982, beginning with Section 54703 of the California Government Code (the "Act"). All parcels within the District which have special benefit conferred upon them as a result of the maintenance and operation of improvements have been identified and the proportionate special benefit derived by each identified parcel has been determined in relation to the entire cost of the maintenance and operation of the improvements. Only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated special benefit received.

This Annual Engineer's Report (the "Report") describes the District and the charge per single family lot for Fiscal Year 2020/21 based on the historical and estimated cost to maintain the improvements and provide the services that benefit parcels within the District.

The word "parcel," for the purposes of this Report, refers to an individual property assigned its own Assessor's Parcel Number by the San Joaquin County (the "County") Assessor's Office. The County Auditor-Controller uses Assessor's Parcel Numbers and specific fund numbers to identify, on the tax roll, properties assessed for special district benefit assessments.

Following consideration of public comments at a noticed public hearing and following review of the Report, the City Council may confirm the submittal of the Report and may order the levy and collection of assessments for Fiscal Year 2020/21. If approved, the assessment information will be submitted to the County Auditor-Controller, and included on the property tax roll for each benefiting parcel for Fiscal Year 2020/21.

### 2.2 Effect of Proposition 218

On November 5, 1996, California voters approved Proposition 218 by a vote of 56.5% to 43.5%. The provisions of the Proposition, now California Constitutional Articles XIII C and XIII D, added substantive and procedural requirements for assessments, which affect the City of Lathrop lighting maintenance assessments.

As approved by the land owners, the maximum assessment rate increases by 5% each year. The maximum assessment rate for Fiscal Year 2020/21 is \$438.78 per single family lot. The proposed assessment rate for Fiscal Year 2020/21 is \$248.14, which is below the maximum assessment rate.

The District is in compliance with the assessment balloting procedures set forth in Section 4 of Article XIII D and the District was formed by consent of 100% of the land owners.

The following table shows the levy assessment rate and the maximum assessment rate for the three most recent years.

<b>Fiscal Year</b>	<b>Levy Assessment Rate</b>	<b>Maximum Assessment Rate</b>
2020/21	\$248.14	\$438.78
2019/20	236.32	417.89
2018/19	225.06	397.99

**2.3 Plans and Specifications for the Improvements**

The District consists of a fully developed residential area generally located east of I-5, west of the Union Pacific Railroad, north of Warren Avenue, and south of Roth Road.

Improvements within the District include the design, construction, or installation, including the maintenance or servicing, or both, of public lighting facilities for the lighting of any public places, including traffic signals, ornamental standards, luminaries, poles, supports, tunnels, manholes, vaults, conduits, pipes, wires, conductors, guys, stubs, platforms, braces, transformers, insulators, contacts, switches, capacitors, meters, communication circuits, appliances, attachments, and appurtenances, including the cost of repair, removal, or replacement of all or any part thereof; providing for electric current or energy, gas or other illuminating agent for any public lighting facilities or for the lighting or operation of any other improvements; and the maintenance of storm drainage facilities, trunk main line pipe with manholes and drop inlets, pump station including backup emergency generator and telemetry system, trunk line outfall structure at river, concrete lined open channel, and earth lined holding pond.

The improvements provide special benefit to the parcels assessed since:

- 1) The improvements are adjacent to the neighborhoods within which assessed parcels are located, and the result is improved quality of life and added security and safety in these neighborhoods by reducing the potential for flooding, providing lighting, and adding a City presence; and
- 2) In the absence of the District, the work and improvements would not otherwise be provided by the City.



## 3. ESTIMATE OF COSTS

---

### 3.1 Description of Budget Items

**Personnel Services** - Includes employee salaries, salary related costs, and employee benefits including retirement, medical benefits, and workers compensation costs, etc.

**Maintenance & Operations** - Includes the following:

**Advertising/Legal Notices** - Includes the cost of publishing the required legal notices necessary to complete the required procedures for levying the assessments.

**Chemicals** - Includes insect repellent, weed killer, and rodent control.

**Communication Equipment Repair** - Includes repair of electrical components, power cords, etc.

**Contract - Other** - Includes uniform service, hazardous waste dump fees, Sheriff's Community Corp., alarm service, and the cost to recondition one pump and motor.

**Contract Services** - Includes professional services necessary for District maintenance including trees and landscaping, park maintenance, equipment rental, computer technical support, and the preparation of the Report.

**Gas, Diesel, Oil & Lubricants** - Includes fuel, oil and lubricants for vehicles, and miscellaneous small equipment.

**Maintenance & Repair** - Includes contracted maintenance and repair services such as annual fire extinguisher service and emergency repairs.

**Miscellaneous Supplies** - Includes office equipment and supplies, custodial supplies, building maintenance materials and supplies, parts, tools, reference materials, and additional administrative costs.

**Other Maintenance & Repair** - Includes items related to non-contracted maintenance and repair such as barricade batteries, paint, collection line repair, cones, signs, etc.

**Printing & Typesetting** - Includes the cost of preparing the required legal notices necessary to complete the required procedures for levying the assessments.

**Training, Membership, Travel & Dues** - Includes continuing training for maintenance staff.

**Uniforms/Protective Clothing** - Includes employee uniforms including safety boots, jackets, gloves, etc.

**Utilities - Gas & Electric** - Includes electrical power for the storm drain pump stations.

**Water Service** - Includes water for the storm drain pump stations.

**Fixed Charges & Special Fees** - Includes the charges per parcel to collect the assessments on the County Secured Property Tax Roll.

**Indirect Costs** - Includes overhead costs of the City related to the maintenance, operation, and administration of the District.

### 3.2 District Budget

The budget for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Personnel Services	\$110,364.00
Maintenance & Operations Total	150,500.00
Fixed Assets/Capital Total	7,461.00
Indirect Costs	<u>50,138.00</u>
<b>Total District Costs</b>	<b>\$318,463.00</b>
General Benefit	(4,680.00)
Contribution to (from) Operational Reserves	(89,960.72)
Contribution to (from) Capital Reserves	0.00
Other Revenue Sources	<u>0.00</u>
<b>Total Balance to Levy</b>	<b>\$223,822.28</b>

### 3.3 Balance to Levy

**Total District Costs** - Includes personnel services, maintenance and operations, capital costs, and indirect costs determined above.

**General Benefit** - Includes any enhancement of street frontages that do not lie entirely within the District, which are estimated to cost \$4,680.00 (for Fiscal Year 2020/21). The cost is to be paid from funds other than assessments.

**Contribution to (from) Operational Reserves** - The Operational Reserves item provides funds to operate the District from the time period of July 1 (beginning of the fiscal year) through December when the County provides the City with the first installment of assessments collected from the property tax bills. This eliminates the need for the City to transfer funds from non-District accounts to pay for District charges during the first half of the fiscal year. Negative amounts shown here are transfers that are used to reduce the Balance to Levy.

**Contribution to (from) Capital Reserves** - The Capital Reserve Account item provides funds to maintain reserves for extraordinary maintenance items and unexpected capital expenditures that may occur as a result of natural occurrences or other unforeseen circumstances.

**Other Revenue Sources** - This is the amount of additional funds designated for use by the District that are not from District assessments. These funds are added to the District account to reduce assessments and may be from either non-District sources including City General Fund contributions or District sources including interest earnings.

**Balance to Levy** - This is the total amount to be levied and collected through assessments for the current fiscal year. The Balance to Levy represents the sum of the total direct and administration costs, reserves, contributions, and other revenue sources.

The following table shows the total costs, additional revenues, and the Balance to Levy for Fiscal Year 2020/21.

Description	Amount
Total District Costs	\$318,463.00
Less General Benefit	(4,680.00)
Contribution to (from) Operational Reserves	(89,960.72)
Contribution to (from) Capital Reserves	0.00
Other Revenue Sources	<u>0.00</u>
<b>Balance to Levy</b>	<b>\$223,822.28</b>

### 3.4 Reserve Information

The following table shows the estimated balance of the Operational Reserves.

Description	Amount
Estimated Beginning Balance - July 1, 2020 <sup>(1)</sup>	\$348,067.17
Contribution to (from) Operational Reserves	<u>(89,960.72)</u>
<b>Estimated Ending Balance - June 30, 2021</b>	<b>\$258,106.45</b>

(1) Includes \$180,000 designated for capital replacement.

The reserves are intended to be used and/or accumulated for repair and/or capital replacement, as needed for improvements within the District.



## 4. METHOD OF APPORTIONMENT

### 4.1 Method of Apportionment

Pursuant to the Act, the costs of the District are apportioned by a formula or method which fairly distributes the net amount to be assessed among all assessable parcels in proportion to the estimated special benefit to be received by each such parcel from the maintenance, servicing and operation of the improvements. The proportional special benefit derived by each parcel is determined in relationship to the entirety of the maintenance and operation expenses of the improvements. No assessment has been apportioned on any parcel that exceeds the reasonable cost of the proportional benefit conferred on that parcel. The assessment has been levied in accordance with the assessment methodology adopted and approved by the City Council at the time of District formation.

Only special benefits are assessed and any general benefits have been separated from the special benefits. The general benefits are derived from any enhancement of street frontages which do not lie entirely within the District, and are estimated to cost \$4,680.00 (for Fiscal Year 2020/21). The cost is to be paid from funds other than those raised by the assessments.

The basis of benefit for the District was determined as follows:

- The estimated annual maintenance cost will be allocated equally to each subdivided single family lot existing at the time of levy of the assessment, not to exceed the maximum assessment amount described below.
- The maximum assessment for Fiscal Year 1999/00 for each subdivided single family lot was \$157.50. Each year, the maximum assessment rate has been calculated by multiplying the previous year's maximum assessment rate by 1.05.
- In the event the amount obtained by assessing the maximum assessment to each subdivided single family lot is less than the total estimated maintenance cost, the difference will be assessed to the undivided parcels within the District, proportional to parcel area. There are currently no undivided parcels in the district.

### 4.2 Assessment - Subdivided Single Family Lots

The following table shows the assessment for subdivided single family lots for the Fiscal Year 2020/21 levy.

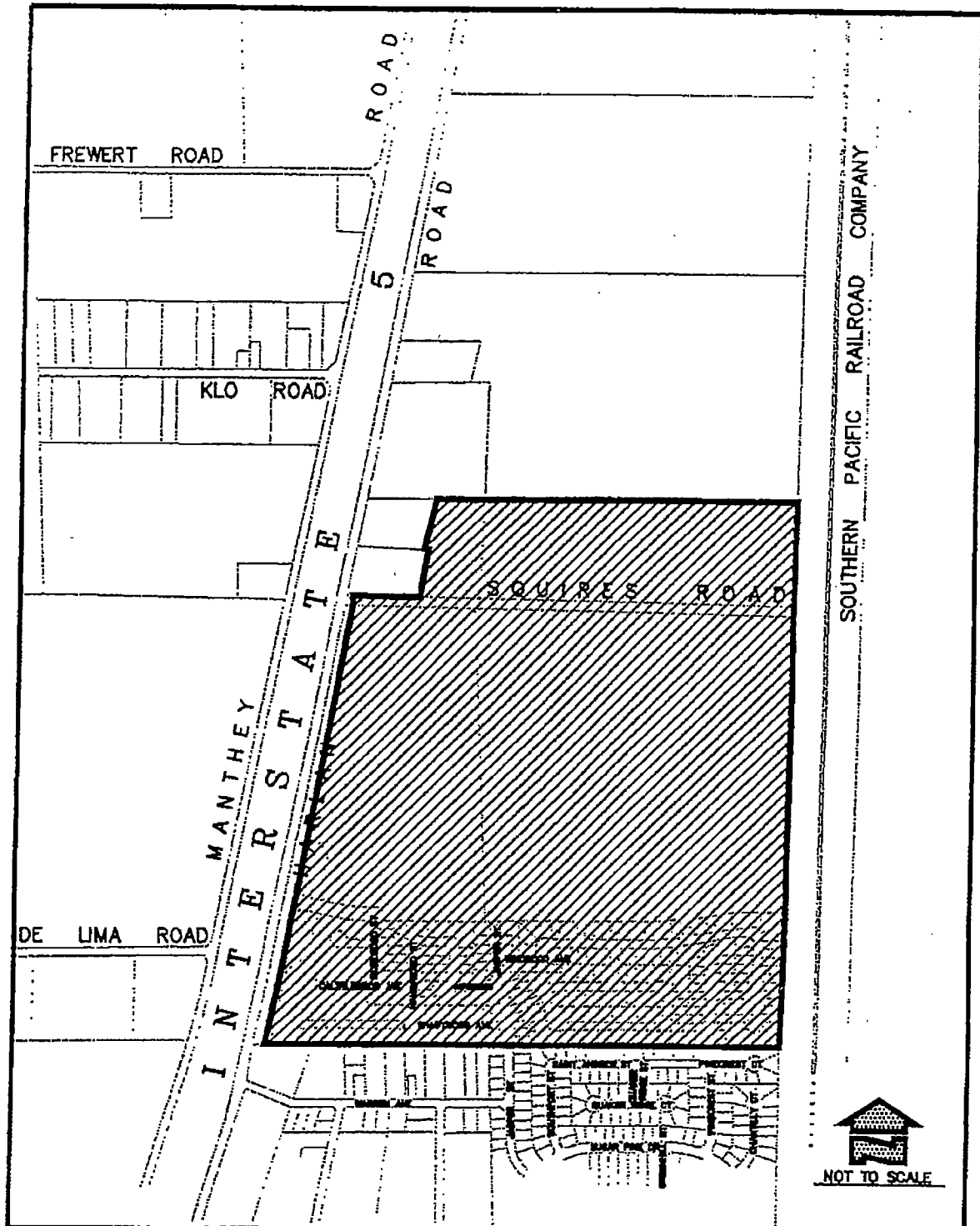
Description	Amount
Balance to Levy	\$223,822.28
Total Single Family Lots	902
<b>Calculated Assessment Per Single Family Lot</b>	<b>\$248.14</b>
Maximum Assessment Per Single Family Lot	\$438.78
<b>Total Assessment - Single Family Lots</b>	<b>\$223,822.28</b>



## 5. DISTRICT DIAGRAM

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Reference is made to the District Diagram on file with the City Clerk. The following page provides the boundaries of the District. The lines and dimensions shown on maps of the County Assessor for the current year are incorporated by reference and made part of this Report.



# City of Lathrop

Stonebridge Drainage & Lighting District



Date: February 1999

## 6. PARCEL LISTING

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The parcel listing of assessments is provided on the following pages. The description of each lot or parcel is a part of the records of the County Assessor and is incorporated by reference and made part of this Report.

**CITY OF LATHROP**  
**STONEBRIDGE DRAINAGE AND LIGHTING**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-580-010-000	SFR	\$438.78	\$248.14	\$248.14
196-580-020-000	SFR	438.78	248.14	248.14
196-580-030-000	SFR	438.78	248.14	248.14
196-580-040-000	SFR	438.78	248.14	248.14
196-580-050-000	SFR	438.78	248.14	248.14
196-580-060-000	SFR	438.78	248.14	248.14
196-580-070-000	SFR	438.78	248.14	248.14
196-580-080-000	SFR	438.78	248.14	248.14
196-580-090-000	SFR	438.78	248.14	248.14
196-580-100-000	SFR	438.78	248.14	248.14
196-580-110-000	SFR	438.78	248.14	248.14
196-580-120-000	SFR	438.78	248.14	248.14
196-580-130-000	SFR	438.78	248.14	248.14
196-580-140-000	SFR	438.78	248.14	248.14
196-580-150-000	SFR	438.78	248.14	248.14
196-580-160-000	SFR	438.78	248.14	248.14
196-580-170-000	SFR	438.78	248.14	248.14
196-580-180-000	SFR	438.78	248.14	248.14
196-580-190-000	SFR	438.78	248.14	248.14
196-580-200-000	SFR	438.78	248.14	248.14
196-580-210-000	SFR	438.78	248.14	248.14
196-580-220-000	SFR	438.78	248.14	248.14
196-580-230-000	SFR	438.78	248.14	248.14
196-580-240-000	SFR	438.78	248.14	248.14
196-580-250-000	SFR	438.78	248.14	248.14
196-580-260-000	SFR	438.78	248.14	248.14
196-580-270-000	SFR	438.78	248.14	248.14
196-580-280-000	SFR	438.78	248.14	248.14
196-580-290-000	SFR	438.78	248.14	248.14
196-580-300-000	SFR	438.78	248.14	248.14
196-580-310-000	SFR	438.78	248.14	248.14
196-580-320-000	SFR	438.78	248.14	248.14
196-580-330-000	SFR	438.78	248.14	248.14
196-580-340-000	SFR	438.78	248.14	248.14
196-580-350-000	SFR	438.78	248.14	248.14
196-580-360-000	SFR	438.78	248.14	248.14

**CITY OF LATHROP**  
**STONEBRIDGE DRAINAGE AND LIGHTING**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-580-370-000	SFR	438.78	248.14	248.14
196-580-380-000	SFR	438.78	248.14	248.14
196-580-390-000	SFR	438.78	248.14	248.14
196-580-400-000	SFR	438.78	248.14	248.14
196-580-410-000	SFR	438.78	248.14	248.14
196-580-420-000	SFR	438.78	248.14	248.14
196-580-430-000	SFR	438.78	248.14	248.14
196-580-440-000	SFR	438.78	248.14	248.14
196-580-450-000	SFR	438.78	248.14	248.14
196-580-460-000	SFR	438.78	248.14	248.14
196-580-470-000	SFR	438.78	248.14	248.14
196-580-480-000	SFR	438.78	248.14	248.14
196-580-490-000	SFR	438.78	248.14	248.14
196-580-500-000	SFR	438.78	248.14	248.14
196-580-510-000	SFR	438.78	248.14	248.14
196-580-520-000	SFR	438.78	248.14	248.14
196-580-530-000	SFR	438.78	248.14	248.14
196-580-540-000	SFR	438.78	248.14	248.14
196-580-550-000	SFR	438.78	248.14	248.14
196-580-560-000	SFR	438.78	248.14	248.14
196-580-570-000	SFR	438.78	248.14	248.14
196-580-580-000	SFR	438.78	248.14	248.14
196-580-590-000	SFR	438.78	248.14	248.14
196-580-600-000	SFR	438.78	248.14	248.14
196-580-610-000	SFR	438.78	248.14	248.14
196-580-620-000	SFR	438.78	248.14	248.14
196-580-630-000	SFR	438.78	248.14	248.14
196-580-640-000	SFR	438.78	248.14	248.14
196-580-650-000	SFR	438.78	248.14	248.14
196-580-660-000	SFR	438.78	248.14	248.14
196-580-670-000	SFR	438.78	248.14	248.14
196-580-680-000	SFR	438.78	248.14	248.14
196-580-690-000	SFR	438.78	248.14	248.14
196-580-700-000	SFR	438.78	248.14	248.14
196-580-710-000	SFR	438.78	248.14	248.14
196-580-720-000	SFR	438.78	248.14	248.14

**CITY OF LATHROP**  
**STONEBRIDGE DRAINAGE AND LIGHTING**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-580-730-000	SFR	438.78	248.14	248.14
196-580-740-000	SFR	438.78	248.14	248.14
196-580-750-000	SFR	438.78	248.14	248.14
196-580-760-000	SFR	438.78	248.14	248.14
196-580-770-000	SFR	438.78	248.14	248.14
196-580-780-000	SFR	438.78	248.14	248.14
196-580-790-000	SFR	438.78	248.14	248.14
196-580-800-000	SFR	438.78	248.14	248.14
196-580-810-000	SFR	438.78	248.14	248.14
196-580-820-000	SFR	438.78	248.14	248.14
196-580-830-000	SFR	438.78	248.14	248.14
196-580-840-000	SFR	438.78	248.14	248.14
196-580-850-000	SFR	438.78	248.14	248.14
196-580-860-000	SFR	438.78	248.14	248.14
196-580-870-000	SFR	438.78	248.14	248.14
196-580-880-000	SFR	438.78	248.14	248.14
196-600-010-000	SFR	438.78	248.14	248.14
196-600-020-000	SFR	438.78	248.14	248.14
196-600-030-000	SFR	438.78	248.14	248.14
196-600-040-000	SFR	438.78	248.14	248.14
196-600-050-000	SFR	438.78	248.14	248.14
196-600-060-000	SFR	438.78	248.14	248.14
196-600-070-000	SFR	438.78	248.14	248.14
196-600-080-000	SFR	438.78	248.14	248.14
196-600-090-000	SFR	438.78	248.14	248.14
196-600-100-000	SFR	438.78	248.14	248.14
196-600-110-000	SFR	438.78	248.14	248.14
196-600-120-000	SFR	438.78	248.14	248.14
196-600-130-000	SFR	438.78	248.14	248.14
196-600-140-000	SFR	438.78	248.14	248.14
196-600-150-000	SFR	438.78	248.14	248.14
196-600-160-000	SFR	438.78	248.14	248.14
196-600-170-000	SFR	438.78	248.14	248.14
196-600-180-000	SFR	438.78	248.14	248.14
196-600-190-000	SFR	438.78	248.14	248.14
196-600-200-000	SFR	438.78	248.14	248.14

**CITY OF LATHROP**  
**STONEBRIDGE DRAINAGE AND LIGHTING**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-600-210-000	SFR	438.78	248.14	248.14
196-600-220-000	SFR	438.78	248.14	248.14
196-600-230-000	SFR	438.78	248.14	248.14
196-600-240-000	SFR	438.78	248.14	248.14
196-600-250-000	SFR	438.78	248.14	248.14
196-600-260-000	SFR	438.78	248.14	248.14
196-600-270-000	SFR	438.78	248.14	248.14
196-600-280-000	SFR	438.78	248.14	248.14
196-600-290-000	SFR	438.78	248.14	248.14
196-600-300-000	SFR	438.78	248.14	248.14
196-600-310-000	SFR	438.78	248.14	248.14
196-600-320-000	SFR	438.78	248.14	248.14
196-600-330-000	SFR	438.78	248.14	248.14
196-600-340-000	SFR	438.78	248.14	248.14
196-600-350-000	SFR	438.78	248.14	248.14
196-600-360-000	SFR	438.78	248.14	248.14
196-600-370-000	SFR	438.78	248.14	248.14
196-600-380-000	SFR	438.78	248.14	248.14
196-600-390-000	SFR	438.78	248.14	248.14
196-600-400-000	SFR	438.78	248.14	248.14
196-600-410-000	SFR	438.78	248.14	248.14
196-600-420-000	SFR	438.78	248.14	248.14
196-600-430-000	SFR	438.78	248.14	248.14
196-600-440-000	SFR	438.78	248.14	248.14
196-600-450-000	SFR	438.78	248.14	248.14
196-600-460-000	SFR	438.78	248.14	248.14
196-600-470-000	SFR	438.78	248.14	248.14
196-600-480-000	SFR	438.78	248.14	248.14
196-600-490-000	SFR	438.78	248.14	248.14
196-600-500-000	SFR	438.78	248.14	248.14
196-600-510-000	SFR	438.78	248.14	248.14
196-600-520-000	SFR	438.78	248.14	248.14
196-600-530-000	SFR	438.78	248.14	248.14
196-600-540-000	SFR	438.78	248.14	248.14
196-600-550-000	SFR	438.78	248.14	248.14
196-600-560-000	SFR	438.78	248.14	248.14



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**PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-600-570-000	SFR	438.78	248.14	248.14
196-600-580-000	SFR	438.78	248.14	248.14
196-600-590-000	SFR	438.78	248.14	248.14
196-600-600-000	SFR	438.78	248.14	248.14
196-600-610-000	SFR	438.78	248.14	248.14
196-600-620-000	SFR	438.78	248.14	248.14
196-600-630-000	SFR	438.78	248.14	248.14
196-600-640-000	SFR	438.78	248.14	248.14
196-600-650-000	SFR	438.78	248.14	248.14
196-600-660-000	SFR	438.78	248.14	248.14
196-600-670-000	SFR	438.78	248.14	248.14
196-600-680-000	SFR	438.78	248.14	248.14
196-600-690-000	SFR	438.78	248.14	248.14
196-600-700-000	SFR	438.78	248.14	248.14
196-600-710-000	SFR	438.78	248.14	248.14
196-600-720-000	SFR	438.78	248.14	248.14
196-600-730-000	SFR	438.78	248.14	248.14
196-600-740-000	SFR	438.78	248.14	248.14
196-600-750-000	SFR	438.78	248.14	248.14
196-600-760-000	SFR	438.78	248.14	248.14
196-600-770-000	SFR	438.78	248.14	248.14
196-600-780-000	SFR	438.78	248.14	248.14
196-600-790-000	SFR	438.78	248.14	248.14
196-610-010-000	SFR	438.78	248.14	248.14
196-610-020-000	SFR	438.78	248.14	248.14
196-610-030-000	SFR	438.78	248.14	248.14
196-610-040-000	SFR	438.78	248.14	248.14
196-610-050-000	SFR	438.78	248.14	248.14
196-610-060-000	SFR	438.78	248.14	248.14
196-610-070-000	SFR	438.78	248.14	248.14
196-610-080-000	SFR	438.78	248.14	248.14
196-610-090-000	SFR	438.78	248.14	248.14
196-610-100-000	SFR	438.78	248.14	248.14
196-610-110-000	SFR	438.78	248.14	248.14
196-610-120-000	SFR	438.78	248.14	248.14
196-610-130-000	SFR	438.78	248.14	248.14

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<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-610-140-000	SFR	438.78	248.14	248.14
196-610-150-000	SFR	438.78	248.14	248.14
196-610-160-000	SFR	438.78	248.14	248.14
196-610-170-000	SFR	438.78	248.14	248.14
196-610-180-000	SFR	438.78	248.14	248.14
196-610-190-000	SFR	438.78	248.14	248.14
196-610-200-000	SFR	438.78	248.14	248.14
196-610-210-000	SFR	438.78	248.14	248.14
196-610-220-000	SFR	438.78	248.14	248.14
196-610-230-000	SFR	438.78	248.14	248.14
196-610-240-000	SFR	438.78	248.14	248.14
196-610-250-000	SFR	438.78	248.14	248.14
196-610-260-000	SFR	438.78	248.14	248.14
196-610-270-000	SFR	438.78	248.14	248.14
196-610-280-000	SFR	438.78	248.14	248.14
196-610-290-000	SFR	438.78	248.14	248.14
196-610-300-000	SFR	438.78	248.14	248.14
196-610-310-000	SFR	438.78	248.14	248.14
196-610-320-000	SFR	438.78	248.14	248.14
196-610-330-000	SFR	438.78	248.14	248.14
196-610-340-000	SFR	438.78	248.14	248.14
196-610-350-000	SFR	438.78	248.14	248.14
196-610-360-000	SFR	438.78	248.14	248.14
196-610-370-000	SFR	438.78	248.14	248.14
196-610-380-000	SFR	438.78	248.14	248.14
196-610-390-000	SFR	438.78	248.14	248.14
196-610-400-000	SFR	438.78	248.14	248.14
196-610-410-000	SFR	438.78	248.14	248.14
196-610-420-000	SFR	438.78	248.14	248.14
196-610-430-000	SFR	438.78	248.14	248.14
196-610-440-000	SFR	438.78	248.14	248.14
196-610-450-000	SFR	438.78	248.14	248.14
196-610-460-000	SFR	438.78	248.14	248.14
196-610-470-000	SFR	438.78	248.14	248.14
196-610-480-000	SFR	438.78	248.14	248.14
196-610-490-000	SFR	438.78	248.14	248.14

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<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-610-500-000	SFR	438.78	248.14	248.14
196-610-510-000	SFR	438.78	248.14	248.14
196-610-520-000	SFR	438.78	248.14	248.14
196-610-530-000	SFR	438.78	248.14	248.14
196-610-540-000	SFR	438.78	248.14	248.14
196-610-550-000	SFR	438.78	248.14	248.14
196-610-560-000	SFR	438.78	248.14	248.14
196-610-570-000	SFR	438.78	248.14	248.14
196-610-580-000	SFR	438.78	248.14	248.14
196-610-590-000	SFR	438.78	248.14	248.14
196-610-600-000	SFR	438.78	248.14	248.14
196-610-610-000	SFR	438.78	248.14	248.14
196-610-620-000	SFR	438.78	248.14	248.14
196-610-630-000	SFR	438.78	248.14	248.14
196-610-640-000	SFR	438.78	248.14	248.14
196-610-650-000	SFR	438.78	248.14	248.14
196-610-660-000	SFR	438.78	248.14	248.14
196-610-670-000	SFR	438.78	248.14	248.14
196-610-680-000	SFR	438.78	248.14	248.14
196-610-690-000	SFR	438.78	248.14	248.14
196-610-700-000	SFR	438.78	248.14	248.14
196-610-710-000	SFR	438.78	248.14	248.14
196-610-750-000	SFR	438.78	248.14	248.14
196-610-760-000	SFR	438.78	248.14	248.14
196-610-770-000	SFR	438.78	248.14	248.14
196-610-780-000	SFR	438.78	248.14	248.14
196-610-790-000	SFR	438.78	248.14	248.14
196-610-800-000	SFR	438.78	248.14	248.14
196-610-810-000	SFR	438.78	248.14	248.14
196-610-820-000	SFR	438.78	248.14	248.14
196-610-830-000	SFR	438.78	248.14	248.14
196-610-840-000	SFR	438.78	248.14	248.14
196-610-850-000	SFR	438.78	248.14	248.14
196-610-870-000	SFR	438.78	248.14	248.14
196-620-010-000	SFR	438.78	248.14	248.14
196-620-020-000	SFR	438.78	248.14	248.14

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<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-620-030-000	SFR	438.78	248.14	248.14
196-620-040-000	SFR	438.78	248.14	248.14
196-620-050-000	SFR	438.78	248.14	248.14
196-620-060-000	SFR	438.78	248.14	248.14
196-620-070-000	SFR	438.78	248.14	248.14
196-620-080-000	SFR	438.78	248.14	248.14
196-620-090-000	SFR	438.78	248.14	248.14
196-620-100-000	SFR	438.78	248.14	248.14
196-620-110-000	SFR	438.78	248.14	248.14
196-620-120-000	SFR	438.78	248.14	248.14
196-620-130-000	SFR	438.78	248.14	248.14
196-620-140-000	SFR	438.78	248.14	248.14
196-620-150-000	SFR	438.78	248.14	248.14
196-620-160-000	SFR	438.78	248.14	248.14
196-620-170-000	SFR	438.78	248.14	248.14
196-620-180-000	SFR	438.78	248.14	248.14
196-620-190-000	SFR	438.78	248.14	248.14
196-620-200-000	SFR	438.78	248.14	248.14
196-620-210-000	SFR	438.78	248.14	248.14
196-620-220-000	SFR	438.78	248.14	248.14
196-620-230-000	SFR	438.78	248.14	248.14
196-620-240-000	SFR	438.78	248.14	248.14
196-620-250-000	SFR	438.78	248.14	248.14
196-620-260-000	SFR	438.78	248.14	248.14
196-620-270-000	SFR	438.78	248.14	248.14
196-620-280-000	SFR	438.78	248.14	248.14
196-620-290-000	SFR	438.78	248.14	248.14
196-620-300-000	SFR	438.78	248.14	248.14
196-620-310-000	SFR	438.78	248.14	248.14
196-620-320-000	SFR	438.78	248.14	248.14
196-620-330-000	SFR	438.78	248.14	248.14
196-620-340-000	SFR	438.78	248.14	248.14
196-620-350-000	SFR	438.78	248.14	248.14
196-620-360-000	SFR	438.78	248.14	248.14
196-620-370-000	SFR	438.78	248.14	248.14
196-620-380-000	SFR	438.78	248.14	248.14

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<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-620-390-000	SFR	438.78	248.14	248.14
196-620-400-000	SFR	438.78	248.14	248.14
196-620-410-000	SFR	438.78	248.14	248.14
196-620-420-000	SFR	438.78	248.14	248.14
196-620-430-000	SFR	438.78	248.14	248.14
196-620-440-000	SFR	438.78	248.14	248.14
196-620-450-000	SFR	438.78	248.14	248.14
196-620-460-000	SFR	438.78	248.14	248.14
196-620-470-000	SFR	438.78	248.14	248.14
196-620-480-000	SFR	438.78	248.14	248.14
196-620-490-000	SFR	438.78	248.14	248.14
196-620-500-000	SFR	438.78	248.14	248.14
196-620-510-000	SFR	438.78	248.14	248.14
196-620-520-000	SFR	438.78	248.14	248.14
196-620-530-000	SFR	438.78	248.14	248.14
196-620-540-000	SFR	438.78	248.14	248.14
196-620-550-000	SFR	438.78	248.14	248.14
196-620-560-000	SFR	438.78	248.14	248.14
196-620-570-000	GOVT <sup>(1)</sup>	438.78	248.14	248.14
196-630-010-000	SFR	438.78	248.14	248.14
196-630-020-000	SFR	438.78	248.14	248.14
196-630-030-000	SFR	438.78	248.14	248.14
196-630-040-000	SFR	438.78	248.14	248.14
196-630-050-000	SFR	438.78	248.14	248.14
196-630-060-000	SFR	438.78	248.14	248.14
196-630-070-000	SFR	438.78	248.14	248.14
196-630-080-000	SFR	438.78	248.14	248.14
196-630-090-000	SFR	438.78	248.14	248.14
196-630-100-000	SFR	438.78	248.14	248.14
196-630-110-000	SFR	438.78	248.14	248.14
196-630-120-000	SFR	438.78	248.14	248.14
196-630-130-000	SFR	438.78	248.14	248.14
196-630-140-000	SFR	438.78	248.14	248.14
196-630-150-000	SFR	438.78	248.14	248.14
196-630-160-000	SFR	438.78	248.14	248.14
196-630-170-000	SFR	438.78	248.14	248.14

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<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-630-180-000	SFR	438.78	248.14	248.14
196-630-190-000	SFR	438.78	248.14	248.14
196-630-200-000	SFR	438.78	248.14	248.14
196-630-210-000	SFR	438.78	248.14	248.14
196-630-220-000	SFR	438.78	248.14	248.14
196-630-230-000	SFR	438.78	248.14	248.14
196-630-240-000	SFR	438.78	248.14	248.14
196-630-250-000	SFR	438.78	248.14	248.14
196-630-260-000	SFR	438.78	248.14	248.14
196-630-270-000	SFR	438.78	248.14	248.14
196-630-280-000	SFR	438.78	248.14	248.14
196-630-290-000	SFR	438.78	248.14	248.14
196-630-300-000	SFR	438.78	248.14	248.14
196-630-310-000	SFR	438.78	248.14	248.14
196-630-320-000	SFR	438.78	248.14	248.14
196-630-330-000	SFR	438.78	248.14	248.14
196-630-340-000	SFR	438.78	248.14	248.14
196-630-350-000	SFR	438.78	248.14	248.14
196-630-360-000	SFR	438.78	248.14	248.14
196-630-370-000	SFR	438.78	248.14	248.14
196-630-380-000	SFR	438.78	248.14	248.14
196-630-390-000	SFR	438.78	248.14	248.14
196-630-400-000	SFR	438.78	248.14	248.14
196-630-410-000	SFR	438.78	248.14	248.14
196-630-420-000	SFR	438.78	248.14	248.14
196-630-430-000	SFR	438.78	248.14	248.14
196-630-440-000	SFR	438.78	248.14	248.14
196-630-450-000	SFR	438.78	248.14	248.14
196-630-460-000	SFR	438.78	248.14	248.14
196-630-470-000	SFR	438.78	248.14	248.14
196-630-480-000	SFR	438.78	248.14	248.14
196-630-490-000	SFR	438.78	248.14	248.14
196-630-500-000	SFR	438.78	248.14	248.14
196-630-510-000	SFR	438.78	248.14	248.14
196-630-520-000	SFR	438.78	248.14	248.14
196-630-530-000	SFR	438.78	248.14	248.14

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<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-630-540-000	SFR	438.78	248.14	248.14
196-630-550-000	SFR	438.78	248.14	248.14
196-630-560-000	SFR	438.78	248.14	248.14
196-630-570-000	SFR	438.78	248.14	248.14
196-630-580-000	SFR	438.78	248.14	248.14
196-630-590-000	SFR	438.78	248.14	248.14
196-630-600-000	SFR	438.78	248.14	248.14
196-630-610-000	SFR	438.78	248.14	248.14
196-630-620-000	SFR	438.78	248.14	248.14
196-630-630-000	SFR	438.78	248.14	248.14
196-630-640-000	SFR	438.78	248.14	248.14
196-630-650-000	SFR	438.78	248.14	248.14
196-640-010-000	SFR	438.78	248.14	248.14
196-640-020-000	SFR	438.78	248.14	248.14
196-640-030-000	SFR	438.78	248.14	248.14
196-640-040-000	SFR	438.78	248.14	248.14
196-640-050-000	SFR	438.78	248.14	248.14
196-640-060-000	SFR	438.78	248.14	248.14
196-640-070-000	SFR	438.78	248.14	248.14
196-640-080-000	SFR	438.78	248.14	248.14
196-640-090-000	SFR	438.78	248.14	248.14
196-640-100-000	SFR	438.78	248.14	248.14
196-640-110-000	SFR	438.78	248.14	248.14
196-640-120-000	SFR	438.78	248.14	248.14
196-640-130-000	SFR	438.78	248.14	248.14
196-640-140-000	SFR	438.78	248.14	248.14
196-640-150-000	SFR	438.78	248.14	248.14
196-640-160-000	SFR	438.78	248.14	248.14
196-640-170-000	SFR	438.78	248.14	248.14
196-640-180-000	SFR	438.78	248.14	248.14
196-640-190-000	SFR	438.78	248.14	248.14
196-640-200-000	SFR	438.78	248.14	248.14
196-640-210-000	SFR	438.78	248.14	248.14
196-640-220-000	SFR	438.78	248.14	248.14
196-640-230-000	SFR	438.78	248.14	248.14
196-640-240-000	SFR	438.78	248.14	248.14

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<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-640-250-000	SFR	438.78	248.14	248.14
196-640-260-000	SFR	438.78	248.14	248.14
196-640-270-000	SFR	438.78	248.14	248.14
196-640-280-000	SFR	438.78	248.14	248.14
196-640-290-000	SFR	438.78	248.14	248.14
196-640-300-000	SFR	438.78	248.14	248.14
196-640-310-000	SFR	438.78	248.14	248.14
196-640-320-000	SFR	438.78	248.14	248.14
196-640-330-000	SFR	438.78	248.14	248.14
196-640-340-000	SFR	438.78	248.14	248.14
196-640-350-000	SFR	438.78	248.14	248.14
196-640-360-000	SFR	438.78	248.14	248.14
196-640-370-000	SFR	438.78	248.14	248.14
196-640-380-000	SFR	438.78	248.14	248.14
196-640-390-000	SFR	438.78	248.14	248.14
196-640-400-000	SFR	438.78	248.14	248.14
196-640-410-000	SFR	438.78	248.14	248.14
196-640-420-000	SFR	438.78	248.14	248.14
196-640-430-000	SFR	438.78	248.14	248.14
196-640-440-000	SFR	438.78	248.14	248.14
196-640-450-000	SFR	438.78	248.14	248.14
196-640-460-000	SFR	438.78	248.14	248.14
196-640-470-000	SFR	438.78	248.14	248.14
196-640-480-000	SFR	438.78	248.14	248.14
196-640-490-000	SFR	438.78	248.14	248.14
196-640-500-000	SFR	438.78	248.14	248.14
196-650-010-000	SFR	438.78	248.14	248.14
196-650-020-000	SFR	438.78	248.14	248.14
196-650-030-000	SFR	438.78	248.14	248.14
196-650-040-000	SFR	438.78	248.14	248.14
196-650-050-000	SFR	438.78	248.14	248.14
196-650-060-000	SFR	438.78	248.14	248.14
196-650-070-000	SFR	438.78	248.14	248.14
196-650-080-000	SFR	438.78	248.14	248.14
196-650-090-000	SFR	438.78	248.14	248.14
196-650-100-000	SFR	438.78	248.14	248.14



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<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-650-110-000	SFR	438.78	248.14	248.14
196-650-120-000	SFR	438.78	248.14	248.14
196-650-130-000	SFR	438.78	248.14	248.14
196-650-140-000	SFR	438.78	248.14	248.14
196-650-150-000	SFR	438.78	248.14	248.14
196-650-160-000	SFR	438.78	248.14	248.14
196-650-170-000	SFR	438.78	248.14	248.14
196-650-180-000	SFR	438.78	248.14	248.14
196-650-190-000	SFR	438.78	248.14	248.14
196-650-200-000	SFR	438.78	248.14	248.14
196-650-210-000	SFR	438.78	248.14	248.14
196-650-220-000	SFR	438.78	248.14	248.14
196-650-230-000	SFR	438.78	248.14	248.14
196-650-240-000	SFR	438.78	248.14	248.14
196-650-250-000	SFR	438.78	248.14	248.14
196-650-260-000	SFR	438.78	248.14	248.14
196-650-270-000	SFR	438.78	248.14	248.14
196-650-280-000	SFR	438.78	248.14	248.14
196-650-290-000	SFR	438.78	248.14	248.14
196-650-300-000	SFR	438.78	248.14	248.14
196-650-310-000	SFR	438.78	248.14	248.14
196-650-320-000	SFR	438.78	248.14	248.14
196-650-330-000	SFR	438.78	248.14	248.14
196-650-340-000	SFR	438.78	248.14	248.14
196-650-350-000	SFR	438.78	248.14	248.14
196-650-360-000	SFR	438.78	248.14	248.14
196-650-370-000	SFR	438.78	248.14	248.14
196-650-380-000	SFR	438.78	248.14	248.14
196-650-390-000	SFR	438.78	248.14	248.14
196-650-400-000	SFR	438.78	248.14	248.14
196-650-410-000	SFR	438.78	248.14	248.14
196-650-420-000	SFR	438.78	248.14	248.14
196-650-430-000	SFR	438.78	248.14	248.14
196-650-440-000	SFR	438.78	248.14	248.14
196-650-450-000	SFR	438.78	248.14	248.14
196-650-460-000	SFR	438.78	248.14	248.14

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<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-650-470-000	SFR	438.78	248.14	248.14
196-650-480-000	SFR	438.78	248.14	248.14
196-650-490-000	SFR	438.78	248.14	248.14
196-650-500-000	SFR	438.78	248.14	248.14
196-650-510-000	SFR	438.78	248.14	248.14
196-650-520-000	SFR	438.78	248.14	248.14
196-650-530-000	SFR	438.78	248.14	248.14
196-650-540-000	SFR	438.78	248.14	248.14
196-650-550-000	SFR	438.78	248.14	248.14
196-650-560-000	SFR	438.78	248.14	248.14
196-650-570-000	SFR	438.78	248.14	248.14
196-650-580-000	SFR	438.78	248.14	248.14
196-650-590-000	SFR	438.78	248.14	248.14
196-650-600-000	SFR	438.78	248.14	248.14
196-650-610-000	SFR	438.78	248.14	248.14
196-650-620-000	SFR	438.78	248.14	248.14
196-650-630-000	SFR	438.78	248.14	248.14
196-650-640-000	SFR	438.78	248.14	248.14
196-650-650-000	SFR	438.78	248.14	248.14
196-650-660-000	SFR	438.78	248.14	248.14
196-660-010-000	SFR	438.78	248.14	248.14
196-660-020-000	SFR	438.78	248.14	248.14
196-660-030-000	SFR	438.78	248.14	248.14
196-660-040-000	SFR	438.78	248.14	248.14
196-660-050-000	SFR	438.78	248.14	248.14
196-660-060-000	SFR	438.78	248.14	248.14
196-660-070-000	SFR	438.78	248.14	248.14
196-660-080-000	SFR	438.78	248.14	248.14
196-660-090-000	SFR	438.78	248.14	248.14
196-660-100-000	SFR	438.78	248.14	248.14
196-660-110-000	SFR	438.78	248.14	248.14
196-660-120-000	SFR	438.78	248.14	248.14
196-660-130-000	SFR	438.78	248.14	248.14
196-660-140-000	SFR	438.78	248.14	248.14
196-660-150-000	SFR	438.78	248.14	248.14
196-660-160-000	SFR	438.78	248.14	248.14

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<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-660-170-000	SFR	438.78	248.14	248.14
196-660-180-000	SFR	438.78	248.14	248.14
196-660-190-000	SFR	438.78	248.14	248.14
196-660-200-000	SFR	438.78	248.14	248.14
196-660-210-000	SFR	438.78	248.14	248.14
196-660-220-000	SFR	438.78	248.14	248.14
196-660-230-000	SFR	438.78	248.14	248.14
196-660-240-000	SFR	438.78	248.14	248.14
196-660-250-000	SFR	438.78	248.14	248.14
196-660-260-000	SFR	438.78	248.14	248.14
196-660-270-000	SFR	438.78	248.14	248.14
196-660-280-000	SFR	438.78	248.14	248.14
196-660-290-000	SFR	438.78	248.14	248.14
196-660-300-000	SFR	438.78	248.14	248.14
196-660-310-000	SFR	438.78	248.14	248.14
196-660-320-000	SFR	438.78	248.14	248.14
196-660-330-000	SFR	438.78	248.14	248.14
196-660-340-000	SFR	438.78	248.14	248.14
196-660-350-000	SFR	438.78	248.14	248.14
196-660-360-000	SFR	438.78	248.14	248.14
196-660-370-000	SFR	438.78	248.14	248.14
196-660-380-000	SFR	438.78	248.14	248.14
196-660-390-000	SFR	438.78	248.14	248.14
196-660-400-000	SFR	438.78	248.14	248.14
196-660-410-000	SFR	438.78	248.14	248.14
196-660-420-000	SFR	438.78	248.14	248.14
196-660-430-000	SFR	438.78	248.14	248.14
196-660-440-000	SFR	438.78	248.14	248.14
196-660-450-000	SFR	438.78	248.14	248.14
196-660-460-000	SFR	438.78	248.14	248.14
196-660-470-000	SFR	438.78	248.14	248.14
196-660-500-000	SFR	438.78	248.14	248.14
196-660-530-000	SFR	438.78	248.14	248.14
196-660-540-000	SFR	438.78	248.14	248.14
196-660-550-000	SFR	438.78	248.14	248.14
196-660-560-000	SFR	438.78	248.14	248.14

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<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-670-010-000	SFR	438.78	248.14	248.14
196-670-020-000	SFR	438.78	248.14	248.14
196-670-030-000	SFR	438.78	248.14	248.14
196-670-040-000	SFR	438.78	248.14	248.14
196-670-050-000	SFR	438.78	248.14	248.14
196-670-060-000	SFR	438.78	248.14	248.14
196-670-070-000	SFR	438.78	248.14	248.14
196-670-080-000	SFR	438.78	248.14	248.14
196-670-090-000	SFR	438.78	248.14	248.14
196-670-100-000	SFR	438.78	248.14	248.14
196-670-110-000	SFR	438.78	248.14	248.14
196-670-120-000	SFR	438.78	248.14	248.14
196-670-130-000	SFR	438.78	248.14	248.14
196-670-140-000	SFR	438.78	248.14	248.14
196-670-150-000	SFR	438.78	248.14	248.14
196-670-160-000	SFR	438.78	248.14	248.14
196-670-170-000	SFR	438.78	248.14	248.14
196-670-180-000	SFR	438.78	248.14	248.14
196-670-190-000	SFR	438.78	248.14	248.14
196-670-200-000	SFR	438.78	248.14	248.14
196-670-210-000	SFR	438.78	248.14	248.14
196-670-220-000	SFR	438.78	248.14	248.14
196-670-230-000	SFR	438.78	248.14	248.14
196-670-240-000	SFR	438.78	248.14	248.14
196-670-250-000	SFR	438.78	248.14	248.14
196-670-260-000	SFR	438.78	248.14	248.14
196-670-270-000	SFR	438.78	248.14	248.14
196-670-280-000	SFR	438.78	248.14	248.14
196-670-290-000	SFR	438.78	248.14	248.14
196-670-300-000	SFR	438.78	248.14	248.14
196-670-310-000	SFR	438.78	248.14	248.14
196-670-320-000	SFR	438.78	248.14	248.14
196-670-330-000	SFR	438.78	248.14	248.14
196-670-340-000	SFR	438.78	248.14	248.14
196-670-350-000	SFR	438.78	248.14	248.14
196-670-360-000	SFR	438.78	248.14	248.14

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<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-670-370-000	SFR	438.78	248.14	248.14
196-670-380-000	SFR	438.78	248.14	248.14
196-670-390-000	SFR	438.78	248.14	248.14
196-670-400-000	SFR	438.78	248.14	248.14
196-670-410-000	SFR	438.78	248.14	248.14
196-670-420-000	SFR	438.78	248.14	248.14
196-670-430-000	SFR	438.78	248.14	248.14
196-670-440-000	SFR	438.78	248.14	248.14
196-670-450-000	SFR	438.78	248.14	248.14
196-670-460-000	SFR	438.78	248.14	248.14
196-670-470-000	SFR	438.78	248.14	248.14
196-670-480-000	SFR	438.78	248.14	248.14
196-670-490-000	SFR	438.78	248.14	248.14
196-670-500-000	SFR	438.78	248.14	248.14
196-670-510-000	SFR	438.78	248.14	248.14
196-680-010-000	SFR	438.78	248.14	248.14
196-680-020-000	SFR	438.78	248.14	248.14
196-680-030-000	SFR	438.78	248.14	248.14
196-680-040-000	SFR	438.78	248.14	248.14
196-680-050-000	SFR	438.78	248.14	248.14
196-680-060-000	SFR	438.78	248.14	248.14
196-680-070-000	SFR	438.78	248.14	248.14
196-680-080-000	SFR	438.78	248.14	248.14
196-680-090-000	SFR	438.78	248.14	248.14
196-680-100-000	SFR	438.78	248.14	248.14
196-680-110-000	SFR	438.78	248.14	248.14
196-680-120-000	SFR	438.78	248.14	248.14
196-680-130-000	SFR	438.78	248.14	248.14
196-680-140-000	SFR	438.78	248.14	248.14
196-680-150-000	SFR	438.78	248.14	248.14
196-680-160-000	SFR	438.78	248.14	248.14
196-680-170-000	SFR	438.78	248.14	248.14
196-680-180-000	SFR	438.78	248.14	248.14
196-680-190-000	SFR	438.78	248.14	248.14
196-680-200-000	SFR	438.78	248.14	248.14
196-680-210-000	SFR	438.78	248.14	248.14

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<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-680-220-000	SFR	438.78	248.14	248.14
196-680-230-000	SFR	438.78	248.14	248.14
196-680-240-000	SFR	438.78	248.14	248.14
196-680-250-000	SFR	438.78	248.14	248.14
196-680-260-000	SFR	438.78	248.14	248.14
196-680-270-000	SFR	438.78	248.14	248.14
196-680-280-000	SFR	438.78	248.14	248.14
196-680-290-000	SFR	438.78	248.14	248.14
196-680-300-000	SFR	438.78	248.14	248.14
196-680-310-000	SFR	438.78	248.14	248.14
196-680-320-000	SFR	438.78	248.14	248.14
196-680-330-000	SFR	438.78	248.14	248.14
196-680-340-000	SFR	438.78	248.14	248.14
196-680-350-000	SFR	438.78	248.14	248.14
196-680-360-000	SFR	438.78	248.14	248.14
196-680-370-000	SFR	438.78	248.14	248.14
196-680-380-000	SFR	438.78	248.14	248.14
196-680-390-000	SFR	438.78	248.14	248.14
196-680-400-000	SFR	438.78	248.14	248.14
196-680-410-000	SFR	438.78	248.14	248.14
196-680-420-000	SFR	438.78	248.14	248.14
196-680-430-000	SFR	438.78	248.14	248.14
196-680-440-000	SFR	438.78	248.14	248.14
196-680-450-000	SFR	438.78	248.14	248.14
196-680-460-000	SFR	438.78	248.14	248.14
196-680-470-000	SFR	438.78	248.14	248.14
196-680-480-000	SFR	438.78	248.14	248.14
196-680-490-000	SFR	438.78	248.14	248.14
196-680-500-000	SFR	438.78	248.14	248.14
196-680-510-000	SFR	438.78	248.14	248.14
196-680-520-000	SFR	438.78	248.14	248.14
196-680-530-000	SFR	438.78	248.14	248.14
196-680-540-000	SFR	438.78	248.14	248.14
196-680-550-000	SFR	438.78	248.14	248.14
196-680-560-000	SFR	438.78	248.14	248.14
196-680-570-000	SFR	438.78	248.14	248.14

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<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-680-580-000	SFR	438.78	248.14	248.14
196-680-590-000	SFR	438.78	248.14	248.14
196-680-600-000	SFR	438.78	248.14	248.14
196-680-610-000	SFR	438.78	248.14	248.14
196-680-620-000	SFR	438.78	248.14	248.14
196-680-630-000	SFR	438.78	248.14	248.14
196-680-640-000	SFR	438.78	248.14	248.14
196-680-650-000	SFR	438.78	248.14	248.14
196-680-660-000	SFR	438.78	248.14	248.14
196-680-670-000	SFR	438.78	248.14	248.14
196-680-680-000	SFR	438.78	248.14	248.14
196-680-690-000	SFR	438.78	248.14	248.14
196-680-700-000	SFR	438.78	248.14	248.14
196-680-710-000	SFR	438.78	248.14	248.14
196-680-720-000	SFR	438.78	248.14	248.14
196-680-730-000	SFR	438.78	248.14	248.14
196-680-740-000	SFR	438.78	248.14	248.14
196-680-750-000	SFR	438.78	248.14	248.14
196-680-760-000	SFR	438.78	248.14	248.14
196-680-770-000	SFR	438.78	248.14	248.14
196-680-780-000	SFR	438.78	248.14	248.14
196-680-790-000	SFR	438.78	248.14	248.14
196-680-800-000	SFR	438.78	248.14	248.14
196-680-810-000	SFR	438.78	248.14	248.14
196-680-820-000	SFR	438.78	248.14	248.14
196-680-830-000	SFR	438.78	248.14	248.14
196-680-840-000	SFR	438.78	248.14	248.14
196-680-850-000	SFR	438.78	248.14	248.14
196-680-860-000	SFR	438.78	248.14	248.14
196-680-870-000	SFR	438.78	248.14	248.14
196-680-880-000	SFR	438.78	248.14	248.14
196-690-010-000	SFR	438.78	248.14	248.14
196-690-020-000	SFR	438.78	248.14	248.14
196-690-030-000	SFR	438.78	248.14	248.14
196-690-040-000	SFR	438.78	248.14	248.14
196-690-050-000	SFR	438.78	248.14	248.14

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<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-690-060-000	SFR	438.78	248.14	248.14
196-690-070-000	SFR	438.78	248.14	248.14
196-690-080-000	SFR	438.78	248.14	248.14
196-690-090-000	SFR	438.78	248.14	248.14
196-690-100-000	SFR	438.78	248.14	248.14
196-690-110-000	SFR	438.78	248.14	248.14
196-690-120-000	SFR	438.78	248.14	248.14
196-690-130-000	SFR	438.78	248.14	248.14
196-690-140-000	SFR	438.78	248.14	248.14
196-690-150-000	SFR	438.78	248.14	248.14
196-690-160-000	SFR	438.78	248.14	248.14
196-690-170-000	SFR	438.78	248.14	248.14
196-690-180-000	SFR	438.78	248.14	248.14
196-690-190-000	SFR	438.78	248.14	248.14
196-690-200-000	SFR	438.78	248.14	248.14
196-690-210-000	SFR	438.78	248.14	248.14
196-690-220-000	SFR	438.78	248.14	248.14
196-690-230-000	SFR	438.78	248.14	248.14
196-690-240-000	SFR	438.78	248.14	248.14
196-690-250-000	SFR	438.78	248.14	248.14
196-690-260-000	SFR	438.78	248.14	248.14
196-690-270-000	SFR	438.78	248.14	248.14
196-690-280-000	SFR	438.78	248.14	248.14
196-690-290-000	SFR	438.78	248.14	248.14
196-690-300-000	SFR	438.78	248.14	248.14
196-690-310-000	SFR	438.78	248.14	248.14
196-690-320-000	SFR	438.78	248.14	248.14
196-690-330-000	SFR	438.78	248.14	248.14
196-690-340-000	SFR	438.78	248.14	248.14
196-690-350-000	SFR	438.78	248.14	248.14
196-690-360-000	SFR	438.78	248.14	248.14
196-690-370-000	SFR	438.78	248.14	248.14
196-690-380-000	SFR	438.78	248.14	248.14
196-690-390-000	SFR	438.78	248.14	248.14
196-690-400-000	SFR	438.78	248.14	248.14
196-690-410-000	SFR	438.78	248.14	248.14



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<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-690-420-000	SFR	438.78	248.14	248.14
196-690-430-000	SFR	438.78	248.14	248.14
196-700-010-000	SFR	438.78	248.14	248.14
196-700-020-000	SFR	438.78	248.14	248.14
196-700-030-000	SFR	438.78	248.14	248.14
196-700-040-000	SFR	438.78	248.14	248.14
196-700-050-000	SFR	438.78	248.14	248.14
196-700-060-000	SFR	438.78	248.14	248.14
196-700-070-000	SFR	438.78	248.14	248.14
196-700-080-000	SFR	438.78	248.14	248.14
196-700-090-000	SFR	438.78	248.14	248.14
196-700-100-000	SFR	438.78	248.14	248.14
196-700-110-000	SFR	438.78	248.14	248.14
196-700-120-000	SFR	438.78	248.14	248.14
196-700-130-000	SFR	438.78	248.14	248.14
196-700-140-000	SFR	438.78	248.14	248.14
196-700-150-000	SFR	438.78	248.14	248.14
196-700-160-000	SFR	438.78	248.14	248.14
196-700-170-000	SFR	438.78	248.14	248.14
196-700-180-000	SFR	438.78	248.14	248.14
196-700-190-000	SFR	438.78	248.14	248.14
196-700-200-000	SFR	438.78	248.14	248.14
196-700-210-000	SFR	438.78	248.14	248.14
196-700-220-000	SFR	438.78	248.14	248.14
196-700-230-000	SFR	438.78	248.14	248.14
196-700-240-000	SFR	438.78	248.14	248.14
196-700-250-000	SFR	438.78	248.14	248.14
196-700-260-000	SFR	438.78	248.14	248.14
196-700-270-000	SFR	438.78	248.14	248.14
196-700-280-000	SFR	438.78	248.14	248.14
196-700-290-000	SFR	438.78	248.14	248.14
196-700-300-000	SFR	438.78	248.14	248.14
196-700-310-000	SFR	438.78	248.14	248.14
196-700-320-000	SFR	438.78	248.14	248.14
196-700-330-000	SFR	438.78	248.14	248.14
196-700-340-000	SFR	438.78	248.14	248.14

**CITY OF LATHROP**  
**STONEBRIDGE DRAINAGE AND LIGHTING**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-700-350-000	SFR	438.78	248.14	248.14
196-700-360-000	SFR	438.78	248.14	248.14
196-700-370-000	SFR	438.78	248.14	248.14
196-700-380-000	SFR	438.78	248.14	248.14
196-700-390-000	SFR	438.78	248.14	248.14
196-700-400-000	SFR	438.78	248.14	248.14
196-700-410-000	SFR	438.78	248.14	248.14
196-700-420-000	SFR	438.78	248.14	248.14
196-700-430-000	SFR	438.78	248.14	248.14
196-700-440-000	SFR	438.78	248.14	248.14
196-700-450-000	SFR	438.78	248.14	248.14
196-700-460-000	SFR	438.78	248.14	248.14
196-700-470-000	SFR	438.78	248.14	248.14
196-700-480-000	SFR	438.78	248.14	248.14
196-700-490-000	SFR	438.78	248.14	248.14
196-700-500-000	SFR	438.78	248.14	248.14
196-700-510-000	SFR	438.78	248.14	248.14
196-700-520-000	SFR	438.78	248.14	248.14
196-700-530-000	SFR	438.78	248.14	248.14
196-700-540-000	SFR	438.78	248.14	248.14
196-700-550-000	SFR	438.78	248.14	248.14
196-700-560-000	SFR	438.78	248.14	248.14
196-700-570-000	SFR	438.78	248.14	248.14
196-700-580-000	SFR	438.78	248.14	248.14
196-700-590-000	SFR	438.78	248.14	248.14
196-700-600-000	SFR	438.78	248.14	248.14
196-700-610-000	SFR	438.78	248.14	248.14
196-700-620-000	SFR	438.78	248.14	248.14
196-700-630-000	SFR	438.78	248.14	248.14
196-700-640-000	SFR	438.78	248.14	248.14
196-700-650-000	SFR	438.78	248.14	248.14
196-700-660-000	SFR	438.78	248.14	248.14
196-700-670-000	SFR	438.78	248.14	248.14
196-700-680-000	SFR	438.78	248.14	248.14
196-700-690-000	SFR	438.78	248.14	248.14
196-700-700-000	SFR	438.78	248.14	248.14

**CITY OF LATHROP  
STONEBRIDGE DRAINAGE AND LIGHTING  
FISCAL YEAR 2020/21  
PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-700-710-000	SFR	438.78	248.14	248.14
196-710-010-000	SFR	438.78	248.14	248.14
196-710-020-000	SFR	438.78	248.14	248.14
196-710-030-000	SFR	438.78	248.14	248.14
196-710-040-000	SFR	438.78	248.14	248.14
196-710-050-000	SFR	438.78	248.14	248.14
196-710-060-000	SFR	438.78	248.14	248.14
196-710-070-000	SFR	438.78	248.14	248.14
196-710-080-000	SFR	438.78	248.14	248.14
196-710-090-000	SFR	438.78	248.14	248.14
196-710-100-000	SFR	438.78	248.14	248.14
196-710-110-000	SFR	438.78	248.14	248.14
196-710-120-000	SFR	438.78	248.14	248.14
196-710-130-000	SFR	438.78	248.14	248.14
196-710-140-000	SFR	438.78	248.14	248.14
196-710-150-000	SFR	438.78	248.14	248.14
196-710-160-000	SFR	438.78	248.14	248.14
196-710-170-000	SFR	438.78	248.14	248.14
196-710-180-000	SFR	438.78	248.14	248.14
196-710-190-000	SFR	438.78	248.14	248.14
196-710-200-000	SFR	438.78	248.14	248.14
196-710-210-000	SFR	438.78	248.14	248.14
196-710-220-000	SFR	438.78	248.14	248.14
196-710-230-000	SFR	438.78	248.14	248.14
196-710-240-000	SFR	438.78	248.14	248.14
196-710-250-000	SFR	438.78	248.14	248.14
196-710-260-000	SFR	438.78	248.14	248.14
196-710-270-000	SFR	438.78	248.14	248.14
196-710-280-000	SFR	438.78	248.14	248.14
196-710-290-000	SFR	438.78	248.14	248.14
196-710-300-000	SFR	438.78	248.14	248.14
196-710-310-000	SFR	438.78	248.14	248.14
196-710-320-000	SFR	438.78	248.14	248.14
196-710-330-000	SFR	438.78	248.14	248.14
196-710-340-000	SFR	438.78	248.14	248.14
196-710-350-000	SFR	438.78	248.14	248.14

**CITY OF LATHROP  
STONEBRIDGE DRAINAGE AND LIGHTING  
FISCAL YEAR 2020/21  
PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-710-360-000	SFR	438.78	248.14	248.14
196-710-370-000	SFR	438.78	248.14	248.14
196-710-380-000	SFR	438.78	248.14	248.14
196-710-390-000	SFR	438.78	248.14	248.14
196-710-400-000	SFR	438.78	248.14	248.14
196-710-410-000	SFR	438.78	248.14	248.14
196-710-420-000	SFR	438.78	248.14	248.14
196-710-430-000	SFR	438.78	248.14	248.14
196-710-440-000	SFR	438.78	248.14	248.14
196-710-450-000	SFR	438.78	248.14	248.14
196-710-460-000	SFR	438.78	248.14	248.14
196-710-470-000	SFR	438.78	248.14	248.14
196-710-480-000	SFR	438.78	248.14	248.14
196-710-490-000	SFR	438.78	248.14	248.14
196-710-500-000	SFR	438.78	248.14	248.14
196-710-510-000	SFR	438.78	248.14	248.14
196-710-520-000	SFR	438.78	248.14	248.14
196-710-530-000	SFR	438.78	248.14	248.14
196-710-540-000	SFR	438.78	248.14	248.14
196-710-550-000	SFR	438.78	248.14	248.14
196-710-560-000	SFR	438.78	248.14	248.14
196-720-010-000	SFR	438.78	248.14	248.14
196-720-020-000	SFR	438.78	248.14	248.14
196-720-030-000	SFR	438.78	248.14	248.14
196-720-040-000	SFR	438.78	248.14	248.14
196-720-050-000	SFR	438.78	248.14	248.14
196-720-060-000	SFR	438.78	248.14	248.14
196-720-070-000	SFR	438.78	248.14	248.14
196-720-080-000	SFR	438.78	248.14	248.14
196-720-090-000	SFR	438.78	248.14	248.14
196-720-100-000	SFR	438.78	248.14	248.14
196-720-110-000	SFR	438.78	248.14	248.14
196-720-120-000	SFR	438.78	248.14	248.14
196-720-130-000	SFR	438.78	248.14	248.14
196-720-140-000	SFR	438.78	248.14	248.14
196-720-150-000	SFR	438.78	248.14	248.14

**CITY OF LATHROP**  
**STONEBRIDGE DRAINAGE AND LIGHTING**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-720-160-000	SFR	438.78	248.14	248.14
196-720-170-000	SFR	438.78	248.14	248.14
196-720-180-000	SFR	438.78	248.14	248.14
196-720-190-000	SFR	438.78	248.14	248.14
196-720-200-000	SFR	438.78	248.14	248.14
196-720-210-000	SFR	438.78	248.14	248.14
196-720-220-000	SFR	438.78	248.14	248.14
196-720-230-000	SFR	438.78	248.14	248.14
196-720-240-000	SFR	438.78	248.14	248.14
196-720-250-000	SFR	438.78	248.14	248.14
196-720-260-000	SFR	438.78	248.14	248.14
196-720-270-000	SFR	438.78	248.14	248.14
196-720-280-000	SFR	438.78	248.14	248.14
196-720-290-000	SFR	438.78	248.14	248.14
196-720-300-000	SFR	438.78	248.14	248.14
196-720-310-000	SFR	438.78	248.14	248.14
196-720-320-000	SFR	438.78	248.14	248.14
196-720-330-000	SFR	438.78	248.14	248.14
196-720-340-000	SFR	438.78	248.14	248.14
196-720-350-000	SFR	438.78	248.14	248.14
196-720-360-000	SFR	438.78	248.14	248.14
196-720-370-000	SFR	438.78	248.14	248.14
196-720-380-000	SFR	438.78	248.14	248.14
196-720-390-000	SFR	438.78	248.14	248.14
196-720-400-000	SFR	438.78	248.14	248.14
196-720-410-000	SFR	438.78	248.14	248.14
196-720-420-000	SFR	438.78	248.14	248.14
196-720-430-000	SFR	438.78	248.14	248.14
196-720-440-000	SFR	438.78	248.14	248.14
196-720-450-000	SFR	438.78	248.14	248.14
196-720-460-000	SFR	438.78	248.14	248.14
196-720-470-000	SFR	438.78	248.14	248.14
196-720-480-000	SFR	438.78	248.14	248.14
196-720-490-000	SFR	438.78	248.14	248.14
196-720-500-000	SFR	438.78	248.14	248.14
196-720-510-000	SFR	438.78	248.14	248.14

**CITY OF LATHROP  
 STONEBRIDGE DRAINAGE AND LIGHTING  
 FISCAL YEAR 2020/21  
 PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Max Rate</b>	<b>Levy Rate</b>	<b>Levy</b>
196-720-520-000	SFR	438.78	248.14	248.14
196-720-530-000	SFR	438.78	248.14	248.14
<b>Total:</b>	<b>902 Parcels</b>			<b>\$223,822.28</b>

(1) Per City instruction, APN 196-620-570-000 is assessable.

# CITY OF LATHROP

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## City Zone 1 Storm Drainage Annual Engineer's Report

Fiscal Year 2020/21

Prepared by:



**Corporate Headquarters**  
32605 Temecula Parkway, Suite 100  
Temecula, CA 92592  
Toll free: 800.676.7516

**CITY OF LATHROP  
CITY ZONE 1 STORM DRAINAGE**

**390 Towne Centre Drive  
Lathrop, California 95330  
Phone - (209) 941-7320  
Fax - (209) 941-7339**

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**CITY COUNCIL**

Sonny Dhaliwal, Mayor

Martha Salcedo, Vice Mayor

Paul Akinjo, Councilmember

Diane Lazard, Councilmember

Jennifer Torres-O'Callaghan, Councilmember

**CITY STAFF**

Stephen Salvatore, City Manager

Salvador Navarrete, City Attorney

Cari James, Finance Director

Glenn Gebhardt, City Engineer

**NBS**

Tim Seufert, Client Services Director

Kristin Harvey, Senior Consultant



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# 1. ENGINEER'S LETTER

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**WHEREAS**, the City Council of the City of Lathrop (the "City"), State of California, directed NBS Government Finance Group, DBA NBS ("NBS") to prepare and file a report presenting plans and specifications describing the general nature, location, and extent of the improvements to be maintained, and an estimate of the costs of the maintenance, operations, and servicing of the improvements for the City Zone 1 Storm Drainage ("City Zone 1" or the "District") for Fiscal Year 2020/21. The report includes a diagram for the District showing the area and properties proposed to be assessed, an assessment of the estimated costs of the maintenance, operations, and servicing of the improvements, and the net amount to be assessed upon all assessable parcels within the District in proportion to the special benefit received;

**WHEREAS**, the assessment for City Zone 1 for Fiscal Year 1996/97 and thereafter of \$112.52 per unit meets the requirements of an existing assessment that is not subject to the assessment ballot procedures under Section 5(a) of Article XIII D of the California Constitution which reads: "the following assessments existing on the effective date of this article shall be exempt from the procedures and approval process...any assessment imposed exclusively to finance the capital costs or maintenance and operation expenses for sidewalks, streets, sewers, water, flood control, drainage systems or vector control". The City may continue to levy the assessment for City Zone 1 as long as the rate does not exceed \$112.52 per unit;

**NOW THEREFORE**, only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated special benefit received. The following assessment is made to fund the portion of the estimated costs of maintenance, operation and servicing of the improvements to be paid by the assessable real property within City Zone 1 in proportion to the special benefit received:

## SUMMARY OF ASSESSMENT

Description	Amount
Total Costs	\$295,860.00
Contribution to (from) Operational Reserves	(56,719.04)
Contribution to (from) Capital Reserves	0.00
Other Revenue Sources	<u>0.00</u>
<b>Total Costs to be Assessed <sup>(1)</sup></b>	<b>\$239,140.96</b>
<b>Total Units to be Assessed</b>	<b>2,125.322</b>
<b>Total Assessment per Unit</b>	<b>\$112.52</b>
<b>Total Parcels to be Assessed</b>	<b>2,081</b>

(1) Where applicable, the actual levy will be rounded to an even amount for San Joaquin County tax roll purposes.



I, the undersigned, respectfully submit the enclosed Engineer's Report and, to the best of my knowledge, information, and belief, the Engineer's Report, Assessments, and the District Diagram herein have been prepared and computed in accordance with the order and historical practices of the City Council of the City.

---

NBS Government Finance Group, DBA NBS

## 2. OVERVIEW

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### 2.1 Introduction

The City Council of the City of Lathrop, previously accepted responsibility for portions of County Service Area (“CSA”) No. 4, Zones A & B. Zone A and B of CSA No. 4 became City Zone 1 Storm Drainage pursuant to Ballot Measure A, upon incorporation of the City on June 6, 1989. The City was authorized by the Local Agency Formation Commission (“LAFCO”) to continue the levy and collection of storm drainage assessments, as was previously authorized by the County of San Joaquin (the “County”).

This Annual Engineer’s Report (the “Report”) describes the District and the assessment per parcel for Fiscal Year 2020/21 based on the historical and estimated cost to maintain the improvements and provide the services that benefit parcels within the District. The parcels contained within City Zone 1 receive a special benefit from the improvements and will pay only their fair share of the costs of the operations, servicing, and maintenance of the improvements within the District.

The word “parcel,” for the purposes of this Report, refers to an individual property assigned its own Assessor’s Parcel Number by the San Joaquin County Assessor’s Office. The San Joaquin County Auditor-Controller uses Assessor’s Parcel Numbers and specific fund numbers to identify, on the tax roll, properties assessed for special district benefit assessments.

Following consideration of public comments and written protests at a noticed public hearing, and following review of the Report, the City Council may confirm the Report. Following final approval of the Report and confirmation of the assessments, the City Council may order the levy and collection of assessments for Fiscal Year 2020/21. The assessment information will be submitted to the County Auditor-Controller and included on the property tax roll for each benefiting parcel for Fiscal Year 2020/21.

### 2.2 Effect of Proposition 218

On November 5, 1996, California voters approved Proposition 218 by a vote of 56.5% to 43.5%. The provisions of the Proposition, now California Constitutional Articles XIII C and XIII D, added substantive and procedural requirements for assessments which affect City Zone 1.

- The assessment for City Zone 1 for Fiscal Year 1996/97 and thereafter of \$112.52 per unit meets the requirements of an existing assessment that is not subject to the assessment ballot procedures under Section 5(a) of the Proposition which reads: “the following assessments existing on the effective date of this article shall be exempt from the procedures and approval process...any assessment imposed exclusively to finance the capital costs or maintenance and operation expenses for sidewalks, streets, sewers, water, flood control, drainage systems or vector control”.
- The City may continue to levy the assessment for City Zone 1 as long as the rate does not exceed \$112.52 per unit.

- Section 5 of Article XIII D reads: *“Beginning July 1, 1997, all existing, new, or increased assessments shall comply with this article.”* This requires that all proposed increases in the assessments for City Zone 1A be approved by property owners following the assessment balloting procedures set forth in Section 4 of Article XIII D.

### **2.3 Plans and Specifications for the Improvements**

City Zone 1 provides services necessary to maintain existing storm drain facilities in addition to long-term repair and renovation of the facilities. The District encompasses most of the area north of Louise Avenue, east of Interstate 5, and west of the Southern Pacific Railroad.

All improvements within the District are maintained and serviced on a regular basis. The frequency and specific maintenance operations required within the District are determined by City staff, but are generally scheduled weekly. It should be noted that extraordinary maintenance and capital asset replacement has not occurred for several years due to the lack of funding beyond that which provides for the District’s ordinary, baseline maintenance. The District has been limited to the same assessment rate since District formation because of the absence of an annual cost escalation factor.

### 3. ESTIMATE OF COSTS

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#### 3.1 Description of Budget Items

**Personnel Services** - Includes employee salaries, salary related costs, and employee benefits including retirement, medical benefits, and workers compensation costs, etc.

**Maintenance & Operations** - Includes the following:

**Advertising/Legal Notices** - Includes the cost of publishing the required legal notices necessary to complete the required procedures for levying the assessments.

**Alarm Service** - Includes servicing the alarm at the corporation yard on 7th Street.

**Auto & Heavy Equipment Maintenance Parts** - Includes replacement parts for City vehicles used for storm drain maintenance including tires, safety lights, and engine tune-ups.

**Auto & Heavy Equipment Maintenance & Repair** - Includes maintenance of City vehicles used for storm drain maintenance.

**Chemicals** - Includes insect repellent, weed killer, and rodent control.

**Communication Equipment Repair** - Includes repair of electronic components, power cords, and mobile and portable radios.

**Contract - Other** - Includes uniform service, hazardous waste dump fees, Sheriff's Community Corp., and the cost to recondition one pump and motor.

**Contract Services** - Includes professional services necessary for District maintenance, including trees and landscaping, park maintenance, equipment rental, computer technical support, the preparation of the Report, and administration.

**Equipment Rental** - Includes miscellaneous equipment rental, which the City does not own.

**Gas, Diesel, Oil & Lubricants** - Includes fuel, oil and lubricants for vehicles, and miscellaneous small equipment used for storm drain maintenance.

**Insurance** - Includes insurance costs for vehicles and property associated with storm drain maintenance.

**Maintenance & Repair** - Includes contracted maintenance and repair services such as annual fire extinguisher service and emergency repairs.

**Materials & Supplies** - Includes first aid supplies.

**Miscellaneous Supplies** - Includes office equipment and supplies, custodial supplies, parts, tools, reference materials, and additional administrative costs.

**Other Maintenance & Repair** - Includes items related to non-contracted maintenance and repair such as barricade batteries, paint, collection line repair, cones, signs, etc.

Printing & Typesetting - Includes the cost of preparing the required legal notices necessary to complete the required procedures for levying the assessments.

Shop Tools - Includes miscellaneous small tools necessary for storm drain maintenance such as shovels, weed eaters, and a shop vacuum.

Training, Membership, Travel & Dues - Includes continuing training for maintenance staff.

Uniforms/Protective Clothing - Includes employee uniforms including safety boots, jackets, gloves, etc.

Utilities - Gas & Electric - Includes gas and electrical power for the maintenance office at 7th Street and for the storm drain pump stations.

Water Service - Includes water for the storm drain pump stations.

Fixed Charges & Special Fees - Includes the charges per parcel to place the assessments on the County Secured Property Tax Roll.

**Capital** - Includes the payment for lease purchase of storm drain vehicles and portable pump equipment purchased over five year lease.

**Indirect Costs** - Includes overhead costs of the City related to the maintenance, operation, and administration of the District.

### 3.2 City Zone 1 Budget

The budget for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Personnel Services Total	\$134,370.00
Maintenance & Operations Total	118,792.00
Capital Total	<u>0.00</u>
<b>Budget Total</b>	<b>\$253,162.00</b>
Indirect Costs	42,698.00
Equipment Replacement	<u>0.00</u>
<b>Total District Costs</b>	<b>\$295,860.00</b>
Contribution to (from) Operational Reserves	(56,719.04)
Contribution to (from) Capital Reserves	0.00
Other Revenue Sources	<u>0.00</u>
<b>Balance to Levy <sup>(1)</sup></b>	<b>\$239,140.96</b>

(1) Where applicable, the actual levy will be rounded to an even amount for San Joaquin County tax roll purposes.



### 3.3 Balance to Levy

**Total District Costs** - Includes the personnel services, maintenance and operations, capital costs, and indirect costs determined above.

**Contribution to (from) Operational Reserves** - The Operational Reserves item provides funds to operate the District from the time period of July 1 (beginning of the fiscal year) through December when the County provides the City with the first installment of assessments collected from the property tax bills. This eliminates the need for the City to transfer funds from non-District accounts to pay for District charges during the first half of the fiscal year. Negative amounts shown here are transfers that are used to reduce the Balance to Levy. Using reserve amounts in this way allows the levy per unit to remain at prior period rates, despite increases in District costs.

**Contribution to (from) Capital Reserves** - The Capital Reserve Account item provides funds to maintain reserves for extraordinary maintenance items and unexpected capital expenditures that may occur as a result of natural occurrences or other unforeseen circumstances.

**Other Revenue Sources** - This is the amount of funds designated for use by the District that are not from District assessments. These funds are added to the District account to reduce assessments and may be from either non-District sources including City General Fund contributions or District sources including interest earnings.

**Balance to Levy** - This is the total amount to be levied and collected through assessments for the current fiscal year. The Balance to Levy represents the sum of the total direct and administration costs, reserves, contributions, and other revenue sources.

The following table shows the total costs, additional revenues, and the Balance to Levy for Fiscal Year 2020/21.

Description	Amount
Total District Costs	\$295,860.00
Contribution to (from) Operational Reserves	(56,719.04)
Contribution to (from) Capital Reserves	0.00
Other Revenue Sources	<u>0.00</u>
<b>Balance to Levy</b> <sup>(1)</sup>	<b>\$239,140.96</b>

(1) Where applicable, the actual levy will be rounded to an even amount for San Joaquin County tax roll purposes.

### 3.4 Operational & Maintenance Reserve Information

The following table shows the estimated balance of the Operational and Maintenance Reserves.

Description	Amount
Estimated Beginning Balance - July 1, 2020	\$125,642.95
Contribution to (from) Operational and Maintenance Reserves	<u>(56,719.04)</u>
<b>Estimated Ending Balance - June 30, 2021</b>	<b>\$68,923.91</b>





## 4. METHOD OF APPORTIONMENT

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### 4.1 Method of Apportionment

The costs of the District are apportioned by a formula or method which fairly distributes the net amount to be assessed among all assessable parcels in proportion to the estimated special benefits to be received by each such parcel from the operations, servicing, and maintenance of improvements.

Properties are assessed for the estimated special benefit received from the acceptance of storm water runoff from private property into the storm drain system, as well as improved ingress and egress to and from the property. All assessable parcels within the District will be assessed their proportional share of the costs of operations, servicing, and maintenance of the storm drain system, based upon their relative size.

All property owners in the District benefit from streets that are kept free from standing storm water. Therefore, the costs related to those streets contributing runoff into the system will be borne proportionately by all assessable parcels in the District. The assessment has been levied in accordance with the assessment methodology adopted and approved by the City Council at the time of District formation.

The method used to calculate the assessments is as follows:

$$\text{District Budget} / \text{Total Assessable District Units} = \text{Assessment Rate Per Unit}$$

$$\text{Assessment Rate Per Unit} \times \text{Parcel Units} = \text{Parcel Assessment}$$

The Units are equivalent to the parcel's specific acreage. Parcels that are less than or equal to one acre are assessed as one unit. Parcels that are greater than one acre are assigned units equal to their actual acreage. The Maximum Assessment Rate Per Unit is \$112.52.

### 4.2 Assessment Per Unit

The following table shows the assessment per unit for the Fiscal Year 2020/21 levy.

Description	Amount
Balance to Levy <sup>(1)</sup>	\$239,140.96
Assessable District Units	2,125.322
<b>Total Assessment Rate Per Unit</b>	<b>\$112.52</b>

(1) Where applicable, the actual levy will be rounded to an even amount for County tax roll purposes.

### 4.3 Historical Assessment Information

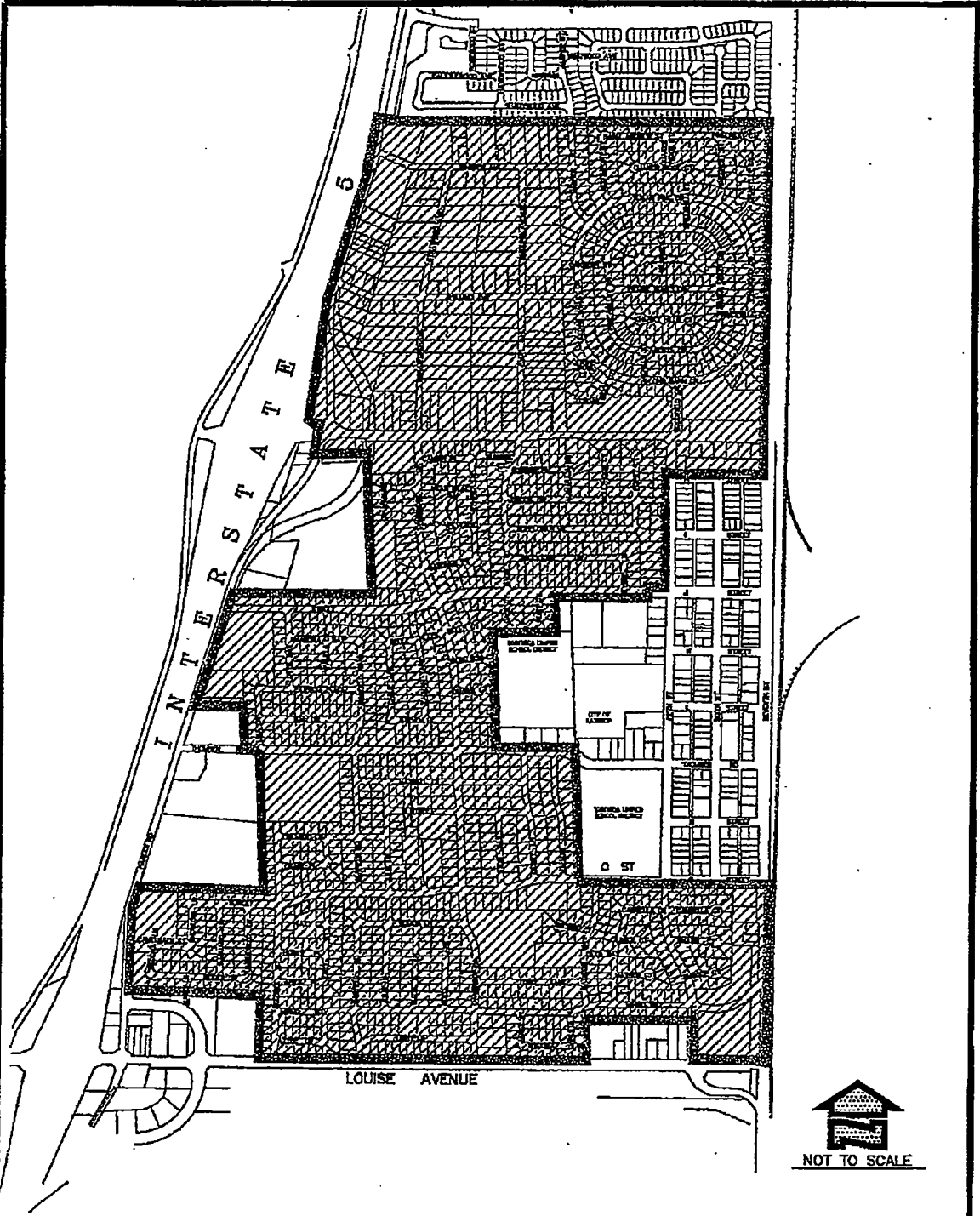
The following table shows the historical assessment rates for the District for the past ten years.

Description	Amount
Fiscal Year 2019/20 Assessment Rate Per Unit	\$112.52
Fiscal Year 2018/19 Assessment Rate Per Unit	112.52
Fiscal Year 2017/18 Assessment Rate Per Unit	112.52
Fiscal Year 2016/17 Assessment Rate Per Unit	112.52
Fiscal Year 2015/16 Assessment Rate Per Unit	112.52
Fiscal Year 2014/15 Assessment Rate Per Unit	112.52
Fiscal Year 2013/14 Assessment Rate Per Unit	112.52
Fiscal Year 2012/13 Assessment Rate Per Unit	112.52
Fiscal Year 2011/12 Assessment Rate Per Unit	112.52
Fiscal Year 2010/11 Assessment Rate Per Unit	112.52

## 5. DISTRICT DIAGRAM

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Reference is made to the District Diagram on file with the City Clerk. The following page provides the boundaries of the District. The lines and dimensions shown on maps of the County Assessor for the current year are incorporated by reference and made part of this Report.



City of Lathrop  
 Storm Drain Zone 1



NOT TO SCALE



Date: February 1999

## 6. PARCEL LISTING

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The parcel listing of assessments is provided on the following pages. The description of each lot or parcel is a part of the records of the County Assessor and is incorporated by reference and made part of this Report.

**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

APN	Land Use	Acreage	Units	Rate	Levy <sup>(1)</sup>
196-050-020-000	MFR	0.380	1.000	\$112.52	\$112.52
196-050-040-000	SFR	0.237	1.000	112.52	112.52
196-050-050-000	SFR	1.002	1.002	112.52	112.74
196-050-090-000	SFR	0.999	1.000	112.52	112.52
196-050-100-000	SFR	0.999	1.000	112.52	112.52
196-050-110-000	SFR	0.633	1.000	112.52	112.52
196-050-120-000	SFR	0.633	1.000	112.52	112.52
196-050-130-000	SFR	0.647	1.000	112.52	112.52
196-050-140-000	SFR	0.172	1.000	112.52	112.52
196-050-150-000	SFR	0.995	1.000	112.52	112.52
196-050-160-000	SFR	1.045	1.045	112.52	117.58
196-050-170-000	SFR	1.037	1.037	112.52	116.68
196-050-180-000	SFR	0.996	1.000	112.52	112.52
196-050-190-000	SFR	1.041	1.041	112.52	117.12
196-050-230-000	SFR	0.259	1.000	112.52	112.52
196-050-240-000	SFR	0.383	1.000	112.52	112.52
196-050-250-000	SFR	0.259	1.000	112.52	112.52
196-050-260-000	SFR	0.279	1.000	112.52	112.52
196-050-270-000	SFR	0.988	1.000	112.52	112.52
196-050-280-000	SFR	0.968	1.000	112.52	112.52
196-050-290-000	MFR	0.995	1.000	112.52	112.52
196-050-300-000	SFR	0.974	1.000	112.52	112.52
196-050-310-000	SFR	0.995	1.000	112.52	112.52
196-050-320-000	SFR	0.972	1.000	112.52	112.52
196-050-330-000	SFR	0.999	1.000	112.52	112.52
196-050-340-000	SFR	0.990	1.000	112.52	112.52
196-050-350-000	SFR	1.008	1.008	112.52	113.42
196-050-360-000	SFR	1.010	1.010	112.52	113.64
196-050-370-000	SFR	0.357	1.000	112.52	112.52
196-050-380-000	SFR	0.199	1.000	112.52	112.52
196-050-390-000	SFR	0.204	1.000	112.52	112.52
196-050-400-000	SFR	0.528	1.000	112.52	112.52
196-050-410-000	SFR	0.530	1.000	112.52	112.52
196-050-420-000	MFR	0.530	1.000	112.52	112.52
196-050-430-000	SFR	0.530	1.000	112.52	112.52
196-050-440-000	SFR	0.530	1.000	112.52	112.52
196-050-450-000	SFR	0.268	1.000	112.52	112.52
196-050-460-000	SFR	0.259	1.000	112.52	112.52
196-050-490-000	SFR	0.298	1.000	112.52	112.52
196-050-500-000	COM	1.030	1.030	112.52	115.88
196-050-510-000	SFR	1.008	1.008	112.52	113.42
196-050-520-000	SFR	1.029	1.029	112.52	115.78
196-050-530-000	SFR	1.015	1.015	112.52	114.20
196-050-540-000	MFR	0.999	1.000	112.52	112.52
196-050-560-000	SFR	0.247	1.000	112.52	112.52
196-050-570-000	SFR	0.247	1.000	112.52	112.52
196-050-580-000	SFR	0.242	1.000	112.52	112.52
196-050-590-000	SFR	0.179	1.000	112.52	112.52
196-050-600-000	SFR	0.364	1.000	112.52	112.52
196-050-610-000	SFR	0.170	1.000	112.52	112.52
196-050-620-000	SFR	0.136	1.000	112.52	112.52
196-050-630-000	SFR	0.128	1.000	112.52	112.52
196-050-640-000	SFR	0.161	1.000	112.52	112.52

**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

APN	Land Use	Acreage	Units	Rate	Levy <sup>(1)</sup>
196-050-660-000	SFR	0.148	1.000	112.52	112.52
196-050-680-000	SFR	0.144	1.000	112.52	112.52
196-050-690-000	SFR	1.548	1.548	112.52	174.18
196-050-700-000	SFR	0.185	1.000	112.52	112.52
196-050-710-000	SFR	0.193	1.000	112.52	112.52
196-060-010-000	SFR	0.217	1.000	112.52	112.52
196-060-020-000	SFR	0.217	1.000	112.52	112.52
196-060-030-000	SFR	0.217	1.000	112.52	112.52
196-060-040-000	SFR	0.176	1.000	112.52	112.52
196-060-050-000	SFR	0.165	1.000	112.52	112.52
196-070-010-000	COM	1.790	1.790	112.52	201.40
196-070-070-000	SFR	0.114	1.000	112.52	112.52
196-070-080-000	SFR	0.114	1.000	112.52	112.52
196-070-090-000	SFR	0.161	1.000	112.52	112.52
196-070-100-000	SFR	0.166	1.000	112.52	112.52
196-070-110-000	SFR	0.320	1.000	112.52	112.52
196-070-120-000	SFR	0.240	1.000	112.52	112.52
196-070-130-000	COM	0.060	1.000	112.52	112.52
196-070-140-000	COM	1.030	1.030	112.52	115.88
196-070-150-000	SFR	0.350	1.000	112.52	112.52
196-070-160-000	COM	0.172	1.000	112.52	112.52
196-070-170-000	COM	0.149	1.000	112.52	112.52
196-070-180-000	SFR	0.149	1.000	112.52	112.52
196-070-190-000	COM	0.172	1.000	112.52	112.52
196-070-200-000	SFR	0.688	1.000	112.52	112.52
196-070-210-000	COM	0.819	1.000	112.52	112.52
196-070-220-000	COM	3.000	3.000	112.52	337.56
196-070-230-000	COM	0.040	1.000	112.52	112.52
196-070-240-000	COM	0.980	1.000	112.52	112.52
196-070-250-000	COM	0.703	1.000	112.52	112.52
196-070-270-000	GVT <sup>(2)</sup>	0.188	1.000	112.52	112.52
196-070-280-000	SFR	0.114	1.000	112.52	112.52
196-070-290-000	SFR	0.114	1.000	112.52	112.52
196-070-300-000	COM	1.628	1.628	112.52	183.18
196-080-010-000	SFR	0.159	1.000	112.52	112.52
196-080-020-000	SFR	0.265	1.000	112.52	112.52
196-080-030-000	SFR	0.449	1.000	112.52	112.52
196-080-040-000	SFR	1.120	1.120	112.52	126.02
196-080-050-000	SFR	1.170	1.170	112.52	131.64
196-080-070-000	COM	0.694	1.000	112.52	112.52
196-080-160-000	SFR	0.250	1.000	112.52	112.52
196-080-170-000	COM	0.250	1.000	112.52	112.52
196-080-180-000	SFR	0.247	1.000	112.52	112.52
196-080-190-000	SFR	0.252	1.000	112.52	112.52
196-080-210-000	SFR	1.000	1.000	112.52	112.52
196-080-220-000	SFR	0.500	1.000	112.52	112.52
196-080-230-000	SFR	0.500	1.000	112.52	112.52
196-080-240-000	SFR	1.000	1.000	112.52	112.52
196-080-260-000	SFR	1.500	1.500	112.52	168.78
196-080-270-000	SFR	0.500	1.000	112.52	112.52
196-080-280-000	SFR	0.318	1.000	112.52	112.52
196-080-290-000	COM	0.120	1.000	112.52	112.52
196-080-300-000	SFR	0.500	1.000	112.52	112.52

**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

APN	Land Use	Acreage	Units	Rate	Levy <sup>(1)</sup>
196-080-310-000	MFR	1.000	1.000	112.52	112.52
196-080-320-000	SFR	1.000	1.000	112.52	112.52
196-080-330-000	SFR	0.247	1.000	112.52	112.52
196-080-340-000	SFR	0.250	1.000	112.52	112.52
196-080-350-000	SFR	0.500	1.000	112.52	112.52
196-080-360-000	SFR	1.000	1.000	112.52	112.52
196-080-380-000	SFR	1.000	1.000	112.52	112.52
196-080-390-000	SFR	1.080	1.080	112.52	121.52
196-080-400-000	SFR	1.000	1.000	112.52	112.52
196-080-410-000	SFR	1.000	1.000	112.52	112.52
196-080-420-000	SFR	0.484	1.000	112.52	112.52
196-080-430-000	MFR	0.515	1.000	112.52	112.52
196-080-440-000	SFR	1.000	1.000	112.52	112.52
196-080-450-000	SFR	0.248	1.000	112.52	112.52
196-080-460-000	SFR	0.251	1.000	112.52	112.52
196-080-470-000	SFR	0.234	1.000	112.52	112.52
196-080-480-000	SFR	0.263	1.000	112.52	112.52
196-080-490-000	SFR	0.286	1.000	112.52	112.52
196-080-500-000	MFR	0.287	1.000	112.52	112.52
196-080-510-000	MFR	0.298	1.000	112.52	112.52
196-080-520-000	SFR	0.941	1.000	112.52	112.52
196-080-530-000	SFR	0.500	1.000	112.52	112.52
196-080-540-000	SFR	0.500	1.000	112.52	112.52
196-080-550-000	MFR	0.500	1.000	112.52	112.52
196-080-560-000	MFR	0.492	1.000	112.52	112.52
196-080-570-000	MFR	0.473	1.000	112.52	112.52
196-080-580-000	MFR	0.479	1.000	112.52	112.52
196-080-590-000	SFR	0.480	1.000	112.52	112.52
196-080-600-000	SFR	0.348	1.000	112.52	112.52
196-080-610-000	MFR	0.500	1.000	112.52	112.52
196-080-620-000	SFR	0.333	1.000	112.52	112.52
196-080-630-000	SFR	0.151	1.000	112.52	112.52
196-080-640-000	MFR	0.500	1.000	112.52	112.52
196-080-650-000	SFR	0.458	1.000	112.52	112.52
196-080-660-000	SFR	1.033	1.033	112.52	116.22
196-080-670-000	SFR	0.151	1.000	112.52	112.52
196-080-680-000	SFR	0.169	1.000	112.52	112.52
196-080-690-000	SFR	0.180	1.000	112.52	112.52
196-080-700-000	COM	1.162	1.162	112.52	130.74
196-080-710-000	COM	0.860	1.000	112.52	112.52
196-080-720-000	SFR	0.250	1.000	112.52	112.52
196-080-730-000	SFR	0.750	1.000	112.52	112.52
196-080-770-000	COM	2.020	2.020	112.52	227.28
196-080-780-000	COM	0.559	1.000	112.52	112.52
196-080-790-000	COM	0.803	1.000	112.52	112.52
196-080-800-000	SFR	0.696	1.000	112.52	112.52
196-090-010-000	SFR	0.137	1.000	112.52	112.52
196-090-020-000	SFR	0.137	1.000	112.52	112.52
196-090-030-000	SFR	0.146	1.000	112.52	112.52
196-090-040-000	SFR	0.152	1.000	112.52	112.52
196-090-050-000	SFR	0.155	1.000	112.52	112.52
196-090-060-000	SFR	0.150	1.000	112.52	112.52
196-090-070-000	SFR	0.155	1.000	112.52	112.52



**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

APN	Land Use	Acreage	Units	Rate	Levy <sup>(1)</sup>
196-090-080-000	SFR	0.158	1.000	112.52	112.52
196-090-090-000	SFR	0.173	1.000	112.52	112.52
196-090-100-000	SFR	0.146	1.000	112.52	112.52
196-090-110-000	SFR	0.144	1.000	112.52	112.52
196-090-120-000	SFR	0.137	1.000	112.52	112.52
196-090-130-000	SFR	0.137	1.000	112.52	112.52
196-090-140-000	SFR	0.137	1.000	112.52	112.52
196-090-150-000	SFR	0.137	1.000	112.52	112.52
196-090-160-000	SFR	0.137	1.000	112.52	112.52
196-090-170-000	SFR	0.137	1.000	112.52	112.52
196-090-180-000	SFR	0.137	1.000	112.52	112.52
196-090-190-000	SFR	0.137	1.000	112.52	112.52
196-090-200-000	SFR	0.137	1.000	112.52	112.52
196-090-210-000	SFR	0.137	1.000	112.52	112.52
196-090-220-000	SFR	0.137	1.000	112.52	112.52
196-090-230-000	SFR	0.137	1.000	112.52	112.52
196-090-240-000	SFR	0.144	1.000	112.52	112.52
196-090-250-000	SFR	0.148	1.000	112.52	112.52
196-090-260-000	SFR	0.141	1.000	112.52	112.52
196-090-270-000	SFR	0.137	1.000	112.52	112.52
196-090-280-000	SFR	0.137	1.000	112.52	112.52
196-090-290-000	SFR	0.144	1.000	112.52	112.52
196-090-300-000	SFR	0.144	1.000	112.52	112.52
196-090-310-000	SFR	0.137	1.000	112.52	112.52
196-090-320-000	SFR	0.137	1.000	112.52	112.52
196-090-330-000	SFR	0.145	1.000	112.52	112.52
196-090-340-000	SFR	0.147	1.000	112.52	112.52
196-090-350-000	SFR	0.148	1.000	112.52	112.52
196-090-360-000	SFR	0.137	1.000	112.52	112.52
196-090-370-000	SFR	0.137	1.000	112.52	112.52
196-090-380-000	SFR	0.137	1.000	112.52	112.52
196-090-390-000	SFR	0.199	1.000	112.52	112.52
196-090-400-000	SFR	0.138	1.000	112.52	112.52
196-090-410-000	SFR	0.141	1.000	112.52	112.52
196-090-420-000	SFR	0.144	1.000	112.52	112.52
196-090-430-000	SFR	0.144	1.000	112.52	112.52
196-090-440-000	SFR	0.144	1.000	112.52	112.52
196-090-450-000	SFR	0.144	1.000	112.52	112.52
196-090-460-000	SFR	0.141	1.000	112.52	112.52
196-090-470-000	SFR	0.139	1.000	112.52	112.52
196-090-480-000	SFR	0.206	1.000	112.52	112.52
196-090-490-000	SFR	0.138	1.000	112.52	112.52
196-090-500-000	SFR	0.140	1.000	112.52	112.52
196-090-510-000	SFR	0.137	1.000	112.52	112.52
196-090-520-000	SFR	0.144	1.000	112.52	112.52
196-090-530-000	SFR	0.152	1.000	112.52	112.52
196-090-540-000	SFR	0.147	1.000	112.52	112.52
196-090-550-000	SFR	0.137	1.000	112.52	112.52
196-090-560-000	SFR	0.138	1.000	112.52	112.52
196-090-570-000	SFR	0.138	1.000	112.52	112.52
196-090-580-000	SFR	0.143	1.000	112.52	112.52
196-090-590-000	SFR	0.149	1.000	112.52	112.52
196-090-600-000	SFR	0.140	1.000	112.52	112.52

**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

APN	Land Use	Acreage	Units	Rate	Levy <sup>(1)</sup>
196-090-610-000	SFR	0.140	1.000	112.52	112.52
196-090-620-000	SFR	0.140	1.000	112.52	112.52
196-090-630-000	SFR	0.140	1.000	112.52	112.52
196-090-640-000	SFR	0.140	1.000	112.52	112.52
196-090-650-000	SFR	0.140	1.000	112.52	112.52
196-090-660-000	SFR	0.140	1.000	112.52	112.52
196-090-670-000	SFR	0.142	1.000	112.52	112.52
196-090-680-000	SFR	0.142	1.000	112.52	112.52
196-090-690-000	SFR	0.137	1.000	112.52	112.52
196-090-700-000	SFR	0.137	1.000	112.52	112.52
196-090-710-000	SFR	0.139	1.000	112.52	112.52
196-090-720-000	SFR	0.139	1.000	112.52	112.52
196-090-730-000	SFR	0.137	1.000	112.52	112.52
196-090-740-000	SFR	0.137	1.000	112.52	112.52
196-090-750-000	SFR	0.137	1.000	112.52	112.52
196-090-760-000	SFR	0.137	1.000	112.52	112.52
196-090-770-000	SFR	0.137	1.000	112.52	112.52
196-090-780-000	SFR	0.137	1.000	112.52	112.52
196-090-790-000	SFR	0.137	1.000	112.52	112.52
196-090-800-000	SFR	0.137	1.000	112.52	112.52
196-090-810-000	SFR	0.137	1.000	112.52	112.52
196-090-820-000	SFR	0.137	1.000	112.52	112.52
196-090-830-000	SFR	0.137	1.000	112.52	112.52
196-090-840-000	SFR	0.140	1.000	112.52	112.52
196-090-850-000	SFR	0.137	1.000	112.52	112.52
196-090-860-000	SFR	0.137	1.000	112.52	112.52
196-090-870-000	SFR	0.144	1.000	112.52	112.52
196-090-880-000	SFR	0.159	1.000	112.52	112.52
196-090-890-000	SFR	0.155	1.000	112.52	112.52
196-100-010-000	SFR	0.158	1.000	112.52	112.52
196-100-020-000	SFR	0.149	1.000	112.52	112.52
196-100-030-000	SFR	0.149	1.000	112.52	112.52
196-100-040-000	SFR	0.151	1.000	112.52	112.52
196-100-050-000	SFR	0.164	1.000	112.52	112.52
196-100-060-000	SFR	0.157	1.000	112.52	112.52
196-100-070-000	SFR	0.148	1.000	112.52	112.52
196-100-080-000	SFR	0.157	1.000	112.52	112.52
196-100-090-000	SFR	0.166	1.000	112.52	112.52
196-100-100-000	SFR	0.222	1.000	112.52	112.52
196-100-110-000	SFR	0.185	1.000	112.52	112.52
196-100-120-000	SFR	0.182	1.000	112.52	112.52
196-100-130-000	SFR	0.149	1.000	112.52	112.52
196-100-140-000	SFR	0.149	1.000	112.52	112.52
196-100-150-000	SFR	0.149	1.000	112.52	112.52
196-100-160-000	SFR	0.149	1.000	112.52	112.52
196-100-170-000	SFR	0.149	1.000	112.52	112.52
196-100-180-000	SFR	0.193	1.000	112.52	112.52
196-100-190-000	SFR	0.150	1.000	112.52	112.52
196-100-200-000	SFR	0.151	1.000	112.52	112.52
196-100-210-000	SFR	0.149	1.000	112.52	112.52
196-100-220-000	SFR	0.197	1.000	112.52	112.52
196-100-230-000	SFR	0.177	1.000	112.52	112.52
196-100-240-000	SFR	0.154	1.000	112.52	112.52

**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

APN	Land Use	Acreage	Units	Rate	Levy <sup>(1)</sup>
196-100-250-000	SFR	0.143	1.000	112.52	112.52
196-100-260-000	SFR	0.138	1.000	112.52	112.52
196-100-270-000	SFR	0.140	1.000	112.52	112.52
196-100-280-000	SFR	0.140	1.000	112.52	112.52
196-100-290-000	SFR	0.140	1.000	112.52	112.52
196-100-300-000	SFR	0.140	1.000	112.52	112.52
196-100-310-000	SFR	0.140	1.000	112.52	112.52
196-100-320-000	SFR	0.140	1.000	112.52	112.52
196-100-330-000	SFR	0.140	1.000	112.52	112.52
196-100-340-000	SFR	0.140	1.000	112.52	112.52
196-100-350-000	SFR	0.140	1.000	112.52	112.52
196-100-360-000	SFR	0.176	1.000	112.52	112.52
196-100-370-000	SFR	0.160	1.000	112.52	112.52
196-100-380-000	SFR	0.150	1.000	112.52	112.52
196-100-390-000	SFR	0.150	1.000	112.52	112.52
196-100-400-000	SFR	0.150	1.000	112.52	112.52
196-100-410-000	SFR	0.150	1.000	112.52	112.52
196-100-420-000	SFR	0.150	1.000	112.52	112.52
196-100-430-000	SFR	0.150	1.000	112.52	112.52
196-100-440-000	SFR	0.146	1.000	112.52	112.52
196-100-450-000	SFR	0.147	1.000	112.52	112.52
196-100-460-000	SFR	0.147	1.000	112.52	112.52
196-100-470-000	SFR	0.147	1.000	112.52	112.52
196-100-480-000	SFR	0.147	1.000	112.52	112.52
196-100-490-000	SFR	0.141	1.000	112.52	112.52
196-100-500-000	SFR	0.137	1.000	112.52	112.52
196-100-510-000	SFR	0.144	1.000	112.52	112.52
196-100-520-000	SFR	0.144	1.000	112.52	112.52
196-100-530-000	SFR	0.137	1.000	112.52	112.52
196-100-540-000	SFR	0.138	1.000	112.52	112.52
196-100-550-000	SFR	0.147	1.000	112.52	112.52
196-100-560-000	SFR	0.151	1.000	112.52	112.52
196-100-570-000	SFR	0.151	1.000	112.52	112.52
196-100-580-000	SFR	0.155	1.000	112.52	112.52
196-100-590-000	SFR	0.155	1.000	112.52	112.52
196-100-600-000	SFR	0.155	1.000	112.52	112.52
196-100-610-000	SFR	0.155	1.000	112.52	112.52
196-100-620-000	SFR	0.143	1.000	112.52	112.52
196-100-630-000	SFR	0.153	1.000	112.52	112.52
196-100-640-000	SFR	0.137	1.000	112.52	112.52
196-100-650-000	SFR	0.137	1.000	112.52	112.52
196-100-660-000	SFR	0.137	1.000	112.52	112.52
196-100-670-000	SFR	0.137	1.000	112.52	112.52
196-100-680-000	SFR	0.144	1.000	112.52	112.52
196-100-690-000	SFR	0.137	1.000	112.52	112.52
196-100-700-000	SFR	0.144	1.000	112.52	112.52
196-100-710-000	SFR	0.137	1.000	112.52	112.52
196-100-720-000	SFR	0.137	1.000	112.52	112.52
196-100-730-000	SFR	0.137	1.000	112.52	112.52
196-100-740-000	SFR	0.137	1.000	112.52	112.52
196-100-750-000	SFR	0.139	1.000	112.52	112.52
196-100-760-000	SFR	0.140	1.000	112.52	112.52
196-100-770-000	SFR	0.141	1.000	112.52	112.52

**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
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APN	Land Use	Acreage	Units	Rate	Levy <sup>(1)</sup>
196-100-780-000	SFR	0.141	1.000	112.52	112.52
196-120-010-000	SFR	0.137	1.000	112.52	112.52
196-120-020-000	SFR	0.138	1.000	112.52	112.52
196-120-030-000	SFR	0.140	1.000	112.52	112.52
196-120-040-000	SFR	0.153	1.000	112.52	112.52
196-120-050-000	SFR	0.145	1.000	112.52	112.52
196-120-060-000	SFR	0.191	1.000	112.52	112.52
196-120-070-000	SFR	0.158	1.000	112.52	112.52
196-120-080-000	SFR	0.143	1.000	112.52	112.52
196-120-090-000	SFR	0.149	1.000	112.52	112.52
196-120-100-000	SFR	0.140	1.000	112.52	112.52
196-120-110-000	SFR	0.138	1.000	112.52	112.52
196-120-120-000	SFR	0.132	1.000	112.52	112.52
196-120-130-000	SFR	0.137	1.000	112.52	112.52
196-120-140-000	SFR	0.137	1.000	112.52	112.52
196-120-150-000	SFR	0.137	1.000	112.52	112.52
196-120-160-000	SFR	0.158	1.000	112.52	112.52
196-120-170-000	SFR	0.131	1.000	112.52	112.52
196-120-180-000	SFR	0.130	1.000	112.52	112.52
196-120-190-000	SFR	0.130	1.000	112.52	112.52
196-120-200-000	SFR	0.130	1.000	112.52	112.52
196-120-210-000	SFR	0.130	1.000	112.52	112.52
196-120-220-000	SFR	0.132	1.000	112.52	112.52
196-120-230-000	SFR	0.133	1.000	112.52	112.52
196-120-240-000	SFR	0.132	1.000	112.52	112.52
196-120-250-000	SFR	0.134	1.000	112.52	112.52
196-120-260-000	SFR	0.135	1.000	112.52	112.52
196-120-270-000	SFR	0.140	1.000	112.52	112.52
196-120-280-000	SFR	0.135	1.000	112.52	112.52
196-120-290-000	SFR	0.201	1.000	112.52	112.52
196-120-300-000	SFR	0.173	1.000	112.52	112.52
196-120-310-000	SFR	0.139	1.000	112.52	112.52
196-120-320-000	SFR	0.137	1.000	112.52	112.52
196-120-330-000	SFR	0.141	1.000	112.52	112.52
196-120-340-000	SFR	0.204	1.000	112.52	112.52
196-120-350-000	SFR	0.173	1.000	112.52	112.52
196-120-360-000	SFR	0.137	1.000	112.52	112.52
196-120-370-000	SFR	0.138	1.000	112.52	112.52
196-120-380-000	SFR	0.137	1.000	112.52	112.52
196-120-390-000	SFR	0.141	1.000	112.52	112.52
196-120-410-000	SFR	0.178	1.000	112.52	112.52
196-120-420-000	SFR	0.202	1.000	112.52	112.52
196-120-430-000	SFR	0.161	1.000	112.52	112.52
196-120-440-000	SFR	0.144	1.000	112.52	112.52
196-120-450-000	SFR	0.156	1.000	112.52	112.52
196-120-460-000	SFR	0.137	1.000	112.52	112.52
196-120-470-000	SFR	0.140	1.000	112.52	112.52
196-120-480-000	SFR	0.143	1.000	112.52	112.52
196-120-490-000	SFR	0.257	1.000	112.52	112.52
196-120-500-000	SFR	0.252	1.000	112.52	112.52
196-120-510-000	SFR	0.260	1.000	112.52	112.52
196-120-520-000	SFR	0.271	1.000	112.52	112.52
196-120-530-000	SFR	0.269	1.000	112.52	112.52

**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
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APN	Land Use	Acreage	Units	Rate	Levy <sup>(1)</sup>
196-120-540-000	SFR	0.149	1.000	112.52	112.52
196-120-550-000	SFR	0.170	1.000	112.52	112.52
196-120-560-000	SFR	0.166	1.000	112.52	112.52
196-120-570-000	SFR	0.206	1.000	112.52	112.52
196-120-580-000	SFR	0.245	1.000	112.52	112.52
196-120-590-000	SFR	0.163	1.000	112.52	112.52
196-120-600-000	SFR	0.139	1.000	112.52	112.52
196-120-610-000	SFR	0.164	1.000	112.52	112.52
196-120-620-000	SFR	0.147	1.000	112.52	112.52
196-120-630-000	SFR	0.141	1.000	112.52	112.52
196-120-640-000	SFR	0.140	1.000	112.52	112.52
196-120-650-000	SFR	0.250	1.000	112.52	112.52
196-120-660-000	SFR	0.249	1.000	112.52	112.52
196-120-670-000	SFR	0.219	1.000	112.52	112.52
196-130-010-000	COM	0.723	1.000	112.52	112.52
196-130-020-000	COM	1.192	1.192	112.52	134.12
196-130-030-000	SFR	0.278	1.000	112.52	112.52
196-130-040-000	SFR	0.173	1.000	112.52	112.52
196-130-050-000	SFR	0.173	1.000	112.52	112.52
196-130-060-000	SFR	0.173	1.000	112.52	112.52
196-130-070-000	SFR	0.173	1.000	112.52	112.52
196-130-080-000	SFR	0.188	1.000	112.52	112.52
196-130-090-000	SFR	0.188	1.000	112.52	112.52
196-130-100-000	SFR	0.139	1.000	112.52	112.52
196-130-110-000	SFR	0.144	1.000	112.52	112.52
196-130-120-000	SFR	0.137	1.000	112.52	112.52
196-130-130-000	SFR	0.137	1.000	112.52	112.52
196-130-140-000	SFR	0.137	1.000	112.52	112.52
196-130-150-000	SFR	0.137	1.000	112.52	112.52
196-130-160-000	SFR	0.137	1.000	112.52	112.52
196-130-170-000	SFR	0.137	1.000	112.52	112.52
196-130-180-000	SFR	0.137	1.000	112.52	112.52
196-130-190-000	SFR	0.137	1.000	112.52	112.52
196-130-200-000	SFR	0.137	1.000	112.52	112.52
196-130-210-000	SFR	0.137	1.000	112.52	112.52
196-130-220-000	SFR	0.137	1.000	112.52	112.52
196-130-230-000	SFR	0.137	1.000	112.52	112.52
196-130-240-000	SFR	0.137	1.000	112.52	112.52
196-130-250-000	SFR	0.189	1.000	112.52	112.52
196-130-260-000	SFR	0.141	1.000	112.52	112.52
196-130-270-000	SFR	0.147	1.000	112.52	112.52
196-130-280-000	SFR	0.153	1.000	112.52	112.52
196-130-290-000	SFR	0.146	1.000	112.52	112.52
196-130-300-000	SFR	0.130	1.000	112.52	112.52
196-130-310-000	SFR	0.171	1.000	112.52	112.52
196-130-320-000	SFR	0.139	1.000	112.52	112.52
196-130-330-000	SFR	0.164	1.000	112.52	112.52
196-130-340-000	SFR	0.142	1.000	112.52	112.52
196-130-350-000	SFR	0.138	1.000	112.52	112.52
196-130-360-000	SFR	0.139	1.000	112.52	112.52
196-130-370-000	SFR	0.140	1.000	112.52	112.52
196-130-380-000	SFR	0.137	1.000	112.52	112.52
196-130-390-000	SFR	0.137	1.000	112.52	112.52

**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
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**PARCEL LISTING**

APN	Land Use	Acreage	Units	Rate	Levy <sup>(1)</sup>
196-130-430-000	SFR	0.170	1.000	112.52	112.52
196-130-440-000	SFR	0.151	1.000	112.52	112.52
196-130-450-000	SFR	0.174	1.000	112.52	112.52
196-130-480-000	SFR	0.231	1.000	112.52	112.52
196-130-490-000	SFR	0.309	1.000	112.52	112.52
196-130-500-000	SFR	0.179	1.000	112.52	112.52
196-130-510-000	SFR	0.169	1.000	112.52	112.52
196-130-520-000	SFR	0.150	1.000	112.52	112.52
196-130-530-000	SFR	0.151	1.000	112.52	112.52
196-130-540-000	SFR	0.174	1.000	112.52	112.52
196-130-550-000	SFR	0.182	1.000	112.52	112.52
196-130-560-000	SFR	0.328	1.000	112.52	112.52
196-130-570-000	SFR	0.252	1.000	112.52	112.52
196-130-580-000	SFR	0.275	1.000	112.52	112.52
196-130-590-000	SFR	0.174	1.000	112.52	112.52
196-130-600-000	SFR	0.157	1.000	112.52	112.52
196-130-610-000	SFR	0.137	1.000	112.52	112.52
196-130-620-000	SFR	0.137	1.000	112.52	112.52
196-130-630-000	SFR	0.151	1.000	112.52	112.52
196-130-640-000	SFR	0.148	1.000	112.52	112.52
196-130-650-000	SFR	0.152	1.000	112.52	112.52
196-130-660-000	SFR	0.160	1.000	112.52	112.52
196-140-040-000	SFR	0.146	1.000	112.52	112.52
196-140-050-000	SFR	0.139	1.000	112.52	112.52
196-140-060-000	SFR	0.194	1.000	112.52	112.52
196-140-070-000	SFR	0.184	1.000	112.52	112.52
196-140-080-000	SFR	0.200	1.000	112.52	112.52
196-140-090-000	SFR	0.148	1.000	112.52	112.52
196-140-100-000	SFR	0.139	1.000	112.52	112.52
196-140-110-000	SFR	0.138	1.000	112.52	112.52
196-140-120-000	SFR	0.138	1.000	112.52	112.52
196-140-130-000	SFR	0.138	1.000	112.52	112.52
196-140-140-000	SFR	0.203	1.000	112.52	112.52
196-140-150-000	SFR	0.212	1.000	112.52	112.52
196-140-170-000	SFR	0.232	1.000	112.52	112.52
196-140-180-000	SFR	0.160	1.000	112.52	112.52
196-140-200-000	SFR	0.249	1.000	112.52	112.52
196-140-210-000	SFR	0.180	1.000	112.52	112.52
196-140-220-000	SFR	0.144	1.000	112.52	112.52
196-140-230-000	SFR	0.144	1.000	112.52	112.52
196-140-240-000	SFR	0.145	1.000	112.52	112.52
196-140-250-000	SFR	0.185	1.000	112.52	112.52
196-140-260-000	SFR	0.185	1.000	112.52	112.52
196-140-280-000	SFR	0.272	1.000	112.52	112.52
196-140-290-000	SFR	0.192	1.000	112.52	112.52
196-140-300-000	SFR	0.174	1.000	112.52	112.52
196-140-310-000	SFR	0.201	1.000	112.52	112.52
196-140-320-000	SFR	0.141	1.000	112.52	112.52
196-140-330-000	SFR	0.143	1.000	112.52	112.52
196-140-340-000	SFR	0.262	1.000	112.52	112.52
196-140-350-000	SFR	0.137	1.000	112.52	112.52
196-140-360-000	SFR	0.137	1.000	112.52	112.52
196-140-370-000	SFR	0.137	1.000	112.52	112.52

**CITY OF LATHROP**  
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APN	Land Use	Acreage	Units	Rate	Levy <sup>(1)</sup>
196-140-380-000	SFR	0.137	1.000	112.52	112.52
196-140-390-000	SFR	0.137	1.000	112.52	112.52
196-140-400-000	SFR	0.146	1.000	112.52	112.52
196-140-410-000	SFR	0.154	1.000	112.52	112.52
196-140-420-000	SFR	0.137	1.000	112.52	112.52
196-140-430-000	SFR	0.137	1.000	112.52	112.52
196-140-440-000	SFR	0.137	1.000	112.52	112.52
196-140-450-000	SFR	0.137	1.000	112.52	112.52
196-140-460-000	SFR	0.137	1.000	112.52	112.52
196-140-470-000	SFR	0.137	1.000	112.52	112.52
196-140-480-000	SFR	0.143	1.000	112.52	112.52
196-140-490-000	SFR	0.139	1.000	112.52	112.52
196-140-500-000	SFR	0.150	1.000	112.52	112.52
196-140-510-000	SFR	0.143	1.000	112.52	112.52
196-140-520-000	SFR	0.143	1.000	112.52	112.52
196-140-530-000	SFR	0.143	1.000	112.52	112.52
196-140-540-000	SFR	0.143	1.000	112.52	112.52
196-140-550-000	SFR	0.143	1.000	112.52	112.52
196-140-560-000	SFR	0.144	1.000	112.52	112.52
196-140-570-000	SFR	0.158	1.000	112.52	112.52
196-140-580-000	SFR	0.156	1.000	112.52	112.52
196-140-590-000	SFR	0.154	1.000	112.52	112.52
196-140-600-000	SFR	0.193	1.000	112.52	112.52
196-140-610-000	SFR	0.180	1.000	112.52	112.52
196-150-010-000	SFR	0.182	1.000	112.52	112.52
196-150-020-000	SFR	0.162	1.000	112.52	112.52
196-150-030-000	SFR	0.162	1.000	112.52	112.52
196-150-040-000	SFR	0.162	1.000	112.52	112.52
196-150-050-000	SFR	0.162	1.000	112.52	112.52
196-150-060-000	SFR	0.162	1.000	112.52	112.52
196-150-070-000	SFR	0.183	1.000	112.52	112.52
196-150-080-000	SFR	0.203	1.000	112.52	112.52
196-150-090-000	SFR	0.170	1.000	112.52	112.52
196-150-100-000	SFR	0.170	1.000	112.52	112.52
196-150-110-000	SFR	0.170	1.000	112.52	112.52
196-150-120-000	SFR	0.167	1.000	112.52	112.52
196-150-130-000	SFR	0.199	1.000	112.52	112.52
196-150-140-000	SFR	0.236	1.000	112.52	112.52
196-150-150-000	SFR	0.228	1.000	112.52	112.52
196-150-160-000	SFR	0.168	1.000	112.52	112.52
196-150-170-000	SFR	0.150	1.000	112.52	112.52
196-150-180-000	SFR	0.153	1.000	112.52	112.52
196-150-190-000	SFR	0.153	1.000	112.52	112.52
196-150-200-000	SFR	0.153	1.000	112.52	112.52
196-150-210-000	SFR	0.179	1.000	112.52	112.52
196-150-220-000	SFR	0.182	1.000	112.52	112.52
196-150-230-000	SFR	0.153	1.000	112.52	112.52
196-150-240-000	SFR	0.153	1.000	112.52	112.52
196-150-250-000	SFR	0.153	1.000	112.52	112.52
196-150-260-000	SFR	0.149	1.000	112.52	112.52
196-150-270-000	SFR	0.167	1.000	112.52	112.52
196-150-280-000	SFR	0.227	1.000	112.52	112.52
196-150-290-000	SFR	0.222	1.000	112.52	112.52

**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

APN	Land Use	Acreage	Units	Rate	Levy <sup>(1)</sup>
196-150-300-000	SFR	0.173	1.000	112.52	112.52
196-150-310-000	SFR	0.151	1.000	112.52	112.52
196-150-320-000	SFR	0.153	1.000	112.52	112.52
196-150-330-000	SFR	0.153	1.000	112.52	112.52
196-150-340-000	SFR	0.153	1.000	112.52	112.52
196-150-350-000	SFR	0.179	1.000	112.52	112.52
196-150-360-000	SFR	0.138	1.000	112.52	112.52
196-150-370-000	SFR	0.138	1.000	112.52	112.52
196-150-380-000	SFR	0.130	1.000	112.52	112.52
196-150-390-000	SFR	0.138	1.000	112.52	112.52
196-150-400-000	SFR	0.140	1.000	112.52	112.52
196-150-410-000	SFR	0.137	1.000	112.52	112.52
196-150-420-000	SFR	0.139	1.000	112.52	112.52
196-150-430-000	SFR	0.140	1.000	112.52	112.52
196-150-440-000	SFR	0.140	1.000	112.52	112.52
196-150-450-000	SFR	0.140	1.000	112.52	112.52
196-150-460-000	SFR	0.139	1.000	112.52	112.52
196-150-470-000	SFR	0.137	1.000	112.52	112.52
196-150-480-000	SFR	0.137	1.000	112.52	112.52
196-150-490-000	SFR	0.137	1.000	112.52	112.52
196-150-500-000	SFR	0.137	1.000	112.52	112.52
196-150-510-000	SFR	0.137	1.000	112.52	112.52
196-150-520-000	SFR	0.137	1.000	112.52	112.52
196-150-530-000	SFR	0.137	1.000	112.52	112.52
196-150-540-000	SFR	0.137	1.000	112.52	112.52
196-150-550-000	SFR	0.137	1.000	112.52	112.52
196-150-560-000	SFR	0.178	1.000	112.52	112.52
196-150-570-000	SFR	0.172	1.000	112.52	112.52
196-150-580-000	SFR	0.187	1.000	112.52	112.52
196-150-590-000	SFR	0.197	1.000	112.52	112.52
196-150-600-000	SFR	0.139	1.000	112.52	112.52
196-150-610-000	SFR	0.137	1.000	112.52	112.52
196-150-620-000	SFR	0.137	1.000	112.52	112.52
196-150-630-000	SFR	0.137	1.000	112.52	112.52
196-150-640-000	SFR	0.137	1.000	112.52	112.52
196-150-650-000	SFR	0.137	1.000	112.52	112.52
196-150-660-000	SFR	0.137	1.000	112.52	112.52
196-150-670-000	SFR	0.137	1.000	112.52	112.52
196-150-680-000	SFR	0.137	1.000	112.52	112.52
196-150-690-000	SFR	0.137	1.000	112.52	112.52
196-150-700-000	SFR	0.137	1.000	112.52	112.52
196-150-710-000	SFR	0.137	1.000	112.52	112.52
196-150-720-000	SFR	0.137	1.000	112.52	112.52
196-150-730-000	SFR	0.138	1.000	112.52	112.52
196-150-740-000	SFR	0.172	1.000	112.52	112.52
196-150-750-000	SFR	0.252	1.000	112.52	112.52
196-150-760-000	SFR	0.172	1.000	112.52	112.52
196-150-770-000	SFR	0.147	1.000	112.52	112.52
196-150-780-000	SFR	0.156	1.000	112.52	112.52
196-150-790-000	SFR	0.144	1.000	112.52	112.52
196-150-800-000	SFR	0.163	1.000	112.52	112.52
196-150-810-000	SFR	0.301	1.000	112.52	112.52
196-160-010-000	SFR	0.173	1.000	112.52	112.52



**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
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APN	Land Use	Acreage	Units	Rate	Levy <sup>(1)</sup>
196-160-020-000	SFR	0.155	1.000	112.52	112.52
196-160-030-000	SFR	0.172	1.000	112.52	112.52
196-160-040-000	SFR	0.182	1.000	112.52	112.52
196-160-050-000	SFR	0.294	1.000	112.52	112.52
196-160-060-000	SFR	0.178	1.000	112.52	112.52
196-160-070-000	SFR	0.150	1.000	112.52	112.52
196-160-080-000	SFR	0.151	1.000	112.52	112.52
196-160-090-000	SFR	0.151	1.000	112.52	112.52
196-160-100-000	SFR	0.151	1.000	112.52	112.52
196-160-110-000	SFR	0.151	1.000	112.52	112.52
196-160-120-000	SFR	0.151	1.000	112.52	112.52
196-160-130-000	SFR	0.151	1.000	112.52	112.52
196-160-140-000	SFR	0.151	1.000	112.52	112.52
196-160-150-000	SFR	0.151	1.000	112.52	112.52
196-160-160-000	SFR	0.151	1.000	112.52	112.52
196-160-170-000	SFR	0.151	1.000	112.52	112.52
196-160-180-000	SFR	0.151	1.000	112.52	112.52
196-160-190-000	SFR	0.151	1.000	112.52	112.52
196-160-200-000	SFR	0.151	1.000	112.52	112.52
196-160-210-000	SFR	0.174	1.000	112.52	112.52
196-160-250-000	SFR	0.154	1.000	112.52	112.52
196-160-260-000	SFR	0.154	1.000	112.52	112.52
196-160-270-000	SFR	0.154	1.000	112.52	112.52
196-160-280-000	SFR	0.154	1.000	112.52	112.52
196-160-290-000	SFR	0.154	1.000	112.52	112.52
196-160-300-000	SFR	0.154	1.000	112.52	112.52
196-160-310-000	SFR	0.154	1.000	112.52	112.52
196-160-320-000	SFR	0.154	1.000	112.52	112.52
196-160-330-000	SFR	0.154	1.000	112.52	112.52
196-160-340-000	SFR	0.154	1.000	112.52	112.52
196-160-350-000	SFR	0.154	1.000	112.52	112.52
196-160-360-000	SFR	0.177	1.000	112.52	112.52
196-160-370-000	SFR	0.179	1.000	112.52	112.52
196-160-380-000	SFR	0.154	1.000	112.52	112.52
196-160-390-000	SFR	0.153	1.000	112.52	112.52
196-160-400-000	SFR	0.152	1.000	112.52	112.52
196-160-410-000	SFR	0.151	1.000	112.52	112.52
196-160-420-000	SFR	0.150	1.000	112.52	112.52
196-160-430-000	SFR	0.149	1.000	112.52	112.52
196-160-440-000	SFR	0.149	1.000	112.52	112.52
196-160-450-000	SFR	0.154	1.000	112.52	112.52
196-160-460-000	SFR	0.160	1.000	112.52	112.52
196-160-470-000	SFR	0.163	1.000	112.52	112.52
196-160-480-000	SFR	0.163	1.000	112.52	112.52
196-160-520-000	SFR	0.194	1.000	112.52	112.52
196-160-530-000	SFR	0.150	1.000	112.52	112.52
196-160-540-000	SFR	0.152	1.000	112.52	112.52
196-160-550-000	SFR	0.155	1.000	112.52	112.52
196-160-560-000	SFR	0.158	1.000	112.52	112.52
196-160-570-000	SFR	0.162	1.000	112.52	112.52
196-160-580-000	SFR	0.148	1.000	112.52	112.52
196-160-590-000	SFR	0.138	1.000	112.52	112.52
196-160-600-000	SFR	0.138	1.000	112.52	112.52

**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
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APN	Land Use	Acreage	Units	Rate	Levy <sup>(1)</sup>
196-160-610-000	SFR	0.200	1.000	112.52	112.52
196-160-620-000	SFR	0.143	1.000	112.52	112.52
196-160-630-000	SFR	0.209	1.000	112.52	112.52
196-160-640-000	SFR	0.145	1.000	112.52	112.52
196-160-650-000	SFR	0.151	1.000	112.52	112.52
196-160-660-000	SFR	0.151	1.000	112.52	112.52
196-160-670-000	SFR	0.156	1.000	112.52	112.52
196-160-680-000	SFR	0.143	1.000	112.52	112.52
196-160-690-000	SFR	0.137	1.000	112.52	112.52
196-160-700-000	SFR	0.198	1.000	112.52	112.52
196-160-710-000	SFR	0.143	1.000	112.52	112.52
196-160-720-000	SFR	0.211	1.000	112.52	112.52
196-160-730-000	SFR	0.142	1.000	112.52	112.52
196-160-740-000	SFR	0.145	1.000	112.52	112.52
196-160-750-000	SFR	0.144	1.000	112.52	112.52
196-190-010-000	SFR	0.137	1.000	112.52	112.52
196-190-020-000	SFR	0.137	1.000	112.52	112.52
196-190-030-000	SFR	0.137	1.000	112.52	112.52
196-190-040-000	SFR	0.137	1.000	112.52	112.52
196-190-050-000	SFR	0.137	1.000	112.52	112.52
196-190-060-000	SFR	0.137	1.000	112.52	112.52
196-190-070-000	SFR	0.137	1.000	112.52	112.52
196-190-080-000	SFR	0.152	1.000	112.52	112.52
196-190-090-000	SFR	0.139	1.000	112.52	112.52
196-190-100-000	SFR	0.139	1.000	112.52	112.52
196-190-110-000	SFR	0.139	1.000	112.52	112.52
196-190-120-000	SFR	0.139	1.000	112.52	112.52
196-190-130-000	SFR	0.139	1.000	112.52	112.52
196-190-140-000	SFR	0.139	1.000	112.52	112.52
196-190-150-000	SFR	0.139	1.000	112.52	112.52
196-190-160-000	SFR	0.139	1.000	112.52	112.52
196-190-170-000	SFR	0.139	1.000	112.52	112.52
196-190-180-000	SFR	0.139	1.000	112.52	112.52
196-190-190-000	SFR	0.139	1.000	112.52	112.52
196-190-200-000	SFR	0.139	1.000	112.52	112.52
196-190-210-000	SFR	0.139	1.000	112.52	112.52
196-190-220-000	SFR	0.158	1.000	112.52	112.52
196-190-230-000	SFR	0.146	1.000	112.52	112.52
196-190-240-000	SFR	0.139	1.000	112.52	112.52
196-190-250-000	SFR	0.139	1.000	112.52	112.52
196-190-260-000	SFR	0.140	1.000	112.52	112.52
196-190-270-000	SFR	0.138	1.000	112.52	112.52
196-190-280-000	SFR	0.139	1.000	112.52	112.52
196-190-290-000	SFR	0.137	1.000	112.52	112.52
196-190-300-000	SFR	0.137	1.000	112.52	112.52
196-190-310-000	SFR	0.137	1.000	112.52	112.52
196-190-320-000	SFR	0.137	1.000	112.52	112.52
196-190-330-000	SFR	0.156	1.000	112.52	112.52
196-190-340-000	SFR	0.137	1.000	112.52	112.52
196-190-350-000	SFR	0.156	1.000	112.52	112.52
196-190-360-000	SFR	0.148	1.000	112.52	112.52
196-190-370-000	SFR	0.144	1.000	112.52	112.52
196-190-380-000	SFR	0.144	1.000	112.52	112.52

**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
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**PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Acreage</b>	<b>Units</b>	<b>Rate</b>	<b>Levy<sup>(1)</sup></b>
196-190-390-000	SFR	0.144	1.000	112.52	112.52
196-190-400-000	SFR	0.144	1.000	112.52	112.52
196-190-410-000	SFR	0.147	1.000	112.52	112.52
196-190-420-000	SFR	0.151	1.000	112.52	112.52
196-190-430-000	SFR	0.190	1.000	112.52	112.52
196-190-440-000	SFR	0.213	1.000	112.52	112.52
196-190-450-000	SFR	0.140	1.000	112.52	112.52
196-190-460-000	SFR	0.137	1.000	112.52	112.52
196-190-470-000	SFR	0.137	1.000	112.52	112.52
196-190-480-000	SFR	0.137	1.000	112.52	112.52
196-190-490-000	SFR	0.137	1.000	112.52	112.52
196-190-500-000	SFR	0.137	1.000	112.52	112.52
196-190-510-000	SFR	0.156	1.000	112.52	112.52
196-190-520-000	SFR	0.137	1.000	112.52	112.52
196-190-530-000	SFR	0.137	1.000	112.52	112.52
196-190-540-000	SFR	0.137	1.000	112.52	112.52
196-190-550-000	SFR	0.137	1.000	112.52	112.52
196-190-560-000	SFR	0.137	1.000	112.52	112.52
196-190-570-000	SFR	0.137	1.000	112.52	112.52
196-190-580-000	SFR	0.137	1.000	112.52	112.52
196-190-590-000	SFR	0.160	1.000	112.52	112.52
196-190-600-000	SFR	0.176	1.000	112.52	112.52
196-190-610-000	SFR	0.179	1.000	112.52	112.52
196-190-620-000	SFR	0.182	1.000	112.52	112.52
196-190-630-000	SFR	0.161	1.000	112.52	112.52
196-190-640-000	SFR	0.140	1.000	112.52	112.52
196-190-650-000	SFR	0.140	1.000	112.52	112.52
196-190-660-000	SFR	0.158	1.000	112.52	112.52
196-190-670-000	SFR	0.180	1.000	112.52	112.52
196-190-680-000	SFR	0.154	1.000	112.52	112.52
196-190-690-000	SFR	0.206	1.000	112.52	112.52
196-190-700-000	SFR	0.213	1.000	112.52	112.52
196-190-710-000	SFR	0.159	1.000	112.52	112.52
196-190-720-000	SFR	0.182	1.000	112.52	112.52
196-190-730-000	SFR	0.156	1.000	112.52	112.52
196-190-740-000	SFR	0.138	1.000	112.52	112.52
196-190-750-000	SFR	0.191	1.000	112.52	112.52
196-190-760-000	SFR	0.164	1.000	112.52	112.52
196-190-770-000	SFR	0.164	1.000	112.52	112.52
196-190-780-000	SFR	0.164	1.000	112.52	112.52
196-190-810-000	COM	3.770	3.770	112.52	424.20
196-190-820-000	COM	0.675	1.000	112.52	112.52
196-190-830-000	COM	0.732	1.000	112.52	112.52
196-200-010-000	SFR	0.159	1.000	112.52	112.52
196-200-020-000	SFR	0.137	1.000	112.52	112.52
196-200-030-000	SFR	0.137	1.000	112.52	112.52
196-200-040-000	SFR	0.137	1.000	112.52	112.52
196-200-050-000	SFR	0.137	1.000	112.52	112.52
196-200-060-000	SFR	0.137	1.000	112.52	112.52
196-200-070-000	SFR	0.158	1.000	112.52	112.52
196-200-080-000	SFR	0.174	1.000	112.52	112.52
196-200-090-000	SFR	0.334	1.000	112.52	112.52
196-200-100-000	SFR	0.228	1.000	112.52	112.52

**CITY OF LATHROP**  
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**PARCEL LISTING**

APN	Land Use	Acreage	Units	Rate	Levy <sup>(1)</sup>
196-200-110-000	SFR	0.181	1.000	112.52	112.52
196-200-120-000	SFR	0.168	1.000	112.52	112.52
196-200-130-000	SFR	0.137	1.000	112.52	112.52
196-200-140-000	SFR	0.137	1.000	112.52	112.52
196-200-150-000	SFR	0.137	1.000	112.52	112.52
196-200-160-000	SFR	0.137	1.000	112.52	112.52
196-200-170-000	SFR	0.137	1.000	112.52	112.52
196-200-180-000	SFR	0.141	1.000	112.52	112.52
196-200-190-000	SFR	0.155	1.000	112.52	112.52
196-200-200-000	SFR	0.181	1.000	112.52	112.52
196-200-210-000	SFR	0.154	1.000	112.52	112.52
196-200-220-000	SFR	0.192	1.000	112.52	112.52
196-200-230-000	SFR	0.153	1.000	112.52	112.52
196-200-240-000	SFR	0.137	1.000	112.52	112.52
196-200-250-000	SFR	0.137	1.000	112.52	112.52
196-200-260-000	SFR	0.137	1.000	112.52	112.52
196-200-270-000	SFR	0.137	1.000	112.52	112.52
196-200-280-000	SFR	0.137	1.000	112.52	112.52
196-200-290-000	SFR	0.137	1.000	112.52	112.52
196-200-300-000	SFR	0.137	1.000	112.52	112.52
196-200-310-000	SFR	0.137	1.000	112.52	112.52
196-200-320-000	SFR	0.137	1.000	112.52	112.52
196-200-330-000	SFR	0.137	1.000	112.52	112.52
196-200-340-000	SFR	0.158	1.000	112.52	112.52
196-200-350-000	SFR	0.142	1.000	112.52	112.52
196-200-360-000	SFR	0.165	1.000	112.52	112.52
196-200-370-000	SFR	0.141	1.000	112.52	112.52
196-200-380-000	SFR	0.141	1.000	112.52	112.52
196-200-390-000	SFR	0.141	1.000	112.52	112.52
196-200-400-000	SFR	0.141	1.000	112.52	112.52
196-200-410-000	SFR	0.141	1.000	112.52	112.52
196-200-420-000	SFR	0.141	1.000	112.52	112.52
196-200-430-000	SFR	0.141	1.000	112.52	112.52
196-200-440-000	SFR	0.141	1.000	112.52	112.52
196-200-450-000	SFR	0.141	1.000	112.52	112.52
196-200-460-000	SFR	0.141	1.000	112.52	112.52
196-200-470-000	SFR	0.185	1.000	112.52	112.52
196-200-480-000	SFR	0.155	1.000	112.52	112.52
196-200-490-000	SFR	0.137	1.000	112.52	112.52
196-200-500-000	SFR	0.137	1.000	112.52	112.52
196-200-510-000	SFR	0.137	1.000	112.52	112.52
196-200-520-000	SFR	0.137	1.000	112.52	112.52
196-200-530-000	SFR	0.137	1.000	112.52	112.52
196-200-540-000	SFR	0.137	1.000	112.52	112.52
196-200-550-000	SFR	0.137	1.000	112.52	112.52
196-200-560-000	SFR	0.137	1.000	112.52	112.52
196-200-570-000	SFR	0.137	1.000	112.52	112.52
196-200-580-000	SFR	0.137	1.000	112.52	112.52
196-200-590-000	SFR	0.137	1.000	112.52	112.52
196-200-600-000	SFR	0.152	1.000	112.52	112.52
196-200-610-000	SFR	0.137	1.000	112.52	112.52
196-200-620-000	SFR	0.159	1.000	112.52	112.52
196-200-630-000	SFR	0.137	1.000	112.52	112.52

**CITY OF LATHROP**  
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**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

APN	Land Use	Acreage	Units	Rate	Levy <sup>(1)</sup>
196-200-640-000	SFR	0.137	1.000	112.52	112.52
196-200-650-000	SFR	0.137	1.000	112.52	112.52
196-200-660-000	SFR	0.137	1.000	112.52	112.52
196-200-670-000	SFR	0.137	1.000	112.52	112.52
196-200-680-000	SFR	0.137	1.000	112.52	112.52
196-200-690-000	SFR	0.137	1.000	112.52	112.52
196-200-700-000	SFR	0.137	1.000	112.52	112.52
196-200-710-000	SFR	0.137	1.000	112.52	112.52
196-200-720-000	SFR	0.137	1.000	112.52	112.52
196-200-730-000	SFR	0.137	1.000	112.52	112.52
196-200-740-000	SFR	0.148	1.000	112.52	112.52
196-200-790-000	COM	2.230	2.230	112.52	250.90
196-210-010-000	SFR	0.137	1.000	112.52	112.52
196-210-020-000	SFR	0.137	1.000	112.52	112.52
196-210-030-000	SFR	0.137	1.000	112.52	112.52
196-210-040-000	SFR	0.137	1.000	112.52	112.52
196-210-050-000	SFR	0.137	1.000	112.52	112.52
196-210-060-000	SFR	0.140	1.000	112.52	112.52
196-210-070-000	SFR	0.161	1.000	112.52	112.52
196-210-080-000	SFR	0.181	1.000	112.52	112.52
196-210-090-000	SFR	0.135	1.000	112.52	112.52
196-210-100-000	SFR	0.144	1.000	112.52	112.52
196-210-110-000	SFR	0.145	1.000	112.52	112.52
196-210-120-000	SFR	0.148	1.000	112.52	112.52
196-210-130-000	SFR	0.147	1.000	112.52	112.52
196-210-140-000	SFR	0.180	1.000	112.52	112.52
196-210-150-000	SFR	0.165	1.000	112.52	112.52
196-210-160-000	SFR	0.150	1.000	112.52	112.52
196-210-170-000	SFR	0.142	1.000	112.52	112.52
196-210-180-000	SFR	0.144	1.000	112.52	112.52
196-210-190-000	SFR	0.138	1.000	112.52	112.52
196-210-200-000	SFR	0.171	1.000	112.52	112.52
196-210-210-000	SFR	0.161	1.000	112.52	112.52
196-210-220-000	SFR	0.157	1.000	112.52	112.52
196-210-230-000	SFR	0.152	1.000	112.52	112.52
196-210-240-000	SFR	0.144	1.000	112.52	112.52
196-210-250-000	SFR	0.146	1.000	112.52	112.52
196-210-260-000	SFR	0.149	1.000	112.52	112.52
196-210-270-000	SFR	0.142	1.000	112.52	112.52
196-210-280-000	SFR	0.146	1.000	112.52	112.52
196-210-290-000	SFR	0.151	1.000	112.52	112.52
196-210-300-000	SFR	0.156	1.000	112.52	112.52
196-210-310-000	SFR	0.159	1.000	112.52	112.52
196-220-010-000	SFR	0.137	1.000	112.52	112.52
196-220-020-000	SFR	0.137	1.000	112.52	112.52
196-220-030-000	SFR	0.137	1.000	112.52	112.52
196-220-040-000	SFR	0.137	1.000	112.52	112.52
196-220-050-000	SFR	0.137	1.000	112.52	112.52
196-220-060-000	SFR	0.137	1.000	112.52	112.52
196-220-130-000	SFR	0.521	1.000	112.52	112.52
196-220-140-000	SFR	0.214	1.000	112.52	112.52
196-220-150-000	SFR	0.133	1.000	112.52	112.52
196-220-160-000	SFR	0.141	1.000	112.52	112.52

**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

APN	Land Use	Acreage	Units	Rate	Levy <sup>(1)</sup>
196-220-170-000	SFR	0.137	1.000	112.52	112.52
196-220-180-000	SFR	0.137	1.000	112.52	112.52
196-220-190-000	SFR	0.137	1.000	112.52	112.52
196-220-200-000	SFR	0.137	1.000	112.52	112.52
196-220-210-000	SFR	0.137	1.000	112.52	112.52
196-220-220-000	SFR	0.137	1.000	112.52	112.52
196-220-230-000	SFR	0.143	1.000	112.52	112.52
196-220-240-000	SFR	0.183	1.000	112.52	112.52
196-220-250-000	SFR	0.164	1.000	112.52	112.52
196-220-260-000	SFR	0.164	1.000	112.52	112.52
196-220-270-000	SFR	0.164	1.000	112.52	112.52
196-220-280-000	SFR	0.166	1.000	112.52	112.52
196-220-290-000	SFR	0.159	1.000	112.52	112.52
196-220-300-000	SFR	0.159	1.000	112.52	112.52
196-220-310-000	SFR	0.159	1.000	112.52	112.52
196-230-010-000	SFR	0.149	1.000	112.52	112.52
196-230-020-000	SFR	0.149	1.000	112.52	112.52
196-230-030-000	SFR	0.149	1.000	112.52	112.52
196-230-040-000	SFR	0.158	1.000	112.52	112.52
196-230-050-000	SFR	0.138	1.000	112.52	112.52
196-230-060-000	SFR	0.158	1.000	112.52	112.52
196-230-070-000	SFR	0.149	1.000	112.52	112.52
196-230-080-000	SFR	0.149	1.000	112.52	112.52
196-230-090-000	SFR	0.149	1.000	112.52	112.52
196-230-100-000	SFR	0.149	1.000	112.52	112.52
196-230-110-000	SFR	0.149	1.000	112.52	112.52
196-230-120-000	SFR	0.149	1.000	112.52	112.52
196-230-130-000	SFR	0.158	1.000	112.52	112.52
196-230-140-000	SFR	0.156	1.000	112.52	112.52
196-230-150-000	SFR	0.158	1.000	112.52	112.52
196-230-160-000	SFR	0.177	1.000	112.52	112.52
196-230-170-000	SFR	0.239	1.000	112.52	112.52
196-230-180-000	SFR	0.181	1.000	112.52	112.52
196-230-190-000	SFR	0.221	1.000	112.52	112.52
196-230-200-000	SFR	0.186	1.000	112.52	112.52
196-230-210-000	SFR	0.147	1.000	112.52	112.52
196-230-220-000	SFR	0.146	1.000	112.52	112.52
196-230-230-000	SFR	0.156	1.000	112.52	112.52
196-230-240-000	SFR	0.158	1.000	112.52	112.52
196-230-250-000	SFR	0.206	1.000	112.52	112.52
196-230-260-000	SFR	0.173	1.000	112.52	112.52
196-230-270-000	SFR	0.204	1.000	112.52	112.52
196-230-280-000	SFR	0.159	1.000	112.52	112.52
196-230-290-000	SFR	0.180	1.000	112.52	112.52
196-230-300-000	SFR	0.157	1.000	112.52	112.52
196-230-310-000	SFR	0.159	1.000	112.52	112.52
196-230-320-000	SFR	0.164	1.000	112.52	112.52
196-230-330-000	SFR	0.169	1.000	112.52	112.52
196-230-340-000	SFR	0.148	1.000	112.52	112.52
196-230-350-000	SFR	0.226	1.000	112.52	112.52
196-230-360-000	SFR	0.193	1.000	112.52	112.52
196-230-370-000	SFR	0.200	1.000	112.52	112.52
196-230-380-000	SFR	0.162	1.000	112.52	112.52

**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
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**PARCEL LISTING**

APN	Land Use	Acreage	Units	Rate	Levy <sup>(1)</sup>
196-230-390-000	SFR	0.187	1.000	112.52	112.52
196-230-400-000	SFR	0.161	1.000	112.52	112.52
196-230-410-000	SFR	0.148	1.000	112.52	112.52
196-230-420-000	SFR	0.169	1.000	112.52	112.52
196-230-430-000	SFR	0.144	1.000	112.52	112.52
196-230-440-000	SFR	0.143	1.000	112.52	112.52
196-230-450-000	SFR	0.140	1.000	112.52	112.52
196-230-460-000	SFR	0.140	1.000	112.52	112.52
196-230-470-000	SFR	0.140	1.000	112.52	112.52
196-230-480-000	SFR	0.140	1.000	112.52	112.52
196-230-490-000	SFR	0.140	1.000	112.52	112.52
196-230-500-000	SFR	0.140	1.000	112.52	112.52
196-230-510-000	SFR	0.138	1.000	112.52	112.52
196-230-520-000	SFR	0.137	1.000	112.52	112.52
196-230-530-000	SFR	0.137	1.000	112.52	112.52
196-230-540-000	SFR	0.137	1.000	112.52	112.52
196-230-550-000	SFR	0.183	1.000	112.52	112.52
196-230-560-000	SFR	0.159	1.000	112.52	112.52
196-230-570-000	SFR	0.183	1.000	112.52	112.52
196-270-010-000	COM	1.244	1.244	112.52	139.96
196-270-020-000	MHP	8.340	8.340	112.52	938.40
196-270-040-000	MHP	12.000	12.000	112.52	1350.24
196-270-220-000	MHP	4.800	4.800	112.52	540.08
196-270-300-000	COM	1.437	1.437	112.52	161.68
196-280-010-000	SFR	0.149	1.000	112.52	112.52
196-280-020-000	SFR	0.149	1.000	112.52	112.52
196-280-030-000	SFR	0.149	1.000	112.52	112.52
196-280-040-000	SFR	0.168	1.000	112.52	112.52
196-280-050-000	SFR	0.145	1.000	112.52	112.52
196-280-060-000	SFR	0.138	1.000	112.52	112.52
196-280-070-000	SFR	0.144	1.000	112.52	112.52
196-280-080-000	SFR	0.168	1.000	112.52	112.52
196-280-090-000	SFR	0.202	1.000	112.52	112.52
196-280-100-000	SFR	0.177	1.000	112.52	112.52
196-280-110-000	SFR	0.137	1.000	112.52	112.52
196-280-120-000	SFR	0.139	1.000	112.52	112.52
196-280-130-000	SFR	0.145	1.000	112.52	112.52
196-280-140-000	SFR	0.140	1.000	112.52	112.52
196-280-150-000	SFR	0.139	1.000	112.52	112.52
196-280-160-000	SFR	0.140	1.000	112.52	112.52
196-280-170-000	SFR	0.149	1.000	112.52	112.52
196-280-180-000	SFR	0.148	1.000	112.52	112.52
196-280-190-000	SFR	0.153	1.000	112.52	112.52
196-280-200-000	SFR	0.144	1.000	112.52	112.52
196-280-210-000	SFR	0.139	1.000	112.52	112.52
196-280-220-000	SFR	0.140	1.000	112.52	112.52
196-280-230-000	SFR	0.141	1.000	112.52	112.52
196-280-240-000	SFR	0.148	1.000	112.52	112.52
196-280-250-000	SFR	0.144	1.000	112.52	112.52
196-280-260-000	SFR	0.144	1.000	112.52	112.52
196-280-270-000	SFR	0.144	1.000	112.52	112.52
196-280-280-000	SFR	0.144	1.000	112.52	112.52
196-280-290-000	SFR	0.144	1.000	112.52	112.52

**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

APN	Land Use	Acreage	Units	Rate	Levy <sup>(1)</sup>
196-280-300-000	SFR	0.144	1.000	112.52	112.52
196-280-310-000	SFR	0.146	1.000	112.52	112.52
196-280-320-000	SFR	0.145	1.000	112.52	112.52
196-280-330-000	SFR	0.140	1.000	112.52	112.52
196-280-340-000	SFR	0.140	1.000	112.52	112.52
196-280-350-000	SFR	0.140	1.000	112.52	112.52
196-280-360-000	SFR	0.140	1.000	112.52	112.52
196-280-370-000	SFR	0.140	1.000	112.52	112.52
196-280-380-000	SFR	0.140	1.000	112.52	112.52
196-280-390-000	SFR	0.140	1.000	112.52	112.52
196-280-400-000	SFR	0.140	1.000	112.52	112.52
196-280-410-000	SFR	0.140	1.000	112.52	112.52
196-290-010-000	SFR	0.142	1.000	112.52	112.52
196-290-020-000	SFR	0.142	1.000	112.52	112.52
196-290-030-000	SFR	0.142	1.000	112.52	112.52
196-290-040-000	SFR	0.142	1.000	112.52	112.52
196-290-050-000	SFR	0.142	1.000	112.52	112.52
196-290-060-000	SFR	0.142	1.000	112.52	112.52
196-290-070-000	SFR	0.142	1.000	112.52	112.52
196-290-080-000	SFR	0.142	1.000	112.52	112.52
196-290-090-000	SFR	0.142	1.000	112.52	112.52
196-290-100-000	SFR	0.142	1.000	112.52	112.52
196-290-110-000	SFR	0.142	1.000	112.52	112.52
196-290-120-000	SFR	0.137	1.000	112.52	112.52
196-290-130-000	SFR	0.142	1.000	112.52	112.52
196-290-140-000	SFR	0.142	1.000	112.52	112.52
196-290-150-000	SFR	0.142	1.000	112.52	112.52
196-290-160-000	SFR	0.142	1.000	112.52	112.52
196-290-170-000	SFR	0.142	1.000	112.52	112.52
196-290-180-000	SFR	0.142	1.000	112.52	112.52
196-290-190-000	SFR	0.142	1.000	112.52	112.52
196-290-200-000	SFR	0.142	1.000	112.52	112.52
196-290-210-000	SFR	0.140	1.000	112.52	112.52
196-290-220-000	SFR	0.142	1.000	112.52	112.52
196-290-230-000	SFR	0.142	1.000	112.52	112.52
196-290-240-000	SFR	0.140	1.000	112.52	112.52
196-290-250-000	SFR	0.143	1.000	112.52	112.52
196-290-260-000	SFR	0.143	1.000	112.52	112.52
196-290-290-000	SFR	0.175	1.000	112.52	112.52
196-290-300-000	SFR	0.142	1.000	112.52	112.52
196-290-310-000	SFR	0.139	1.000	112.52	112.52
196-290-320-000	SFR	0.139	1.000	112.52	112.52
196-290-330-000	SFR	0.139	1.000	112.52	112.52
196-290-340-000	SFR	0.142	1.000	112.52	112.52
196-290-350-000	SFR	0.139	1.000	112.52	112.52
196-290-360-000	SFR	0.139	1.000	112.52	112.52
196-290-370-000	SFR	0.139	1.000	112.52	112.52
196-290-380-000	SFR	0.139	1.000	112.52	112.52
196-290-390-000	SFR	0.139	1.000	112.52	112.52
196-290-400-000	SFR	0.139	1.000	112.52	112.52
196-290-410-000	SFR	0.142	1.000	112.52	112.52
196-290-420-000	SFR	0.139	1.000	112.52	112.52
196-290-430-000	SFR	0.147	1.000	112.52	112.52



**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
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**PARCEL LISTING**

APN	Land Use	Acreage	Units	Rate	Levy <sup>(1)</sup>
196-290-440-000	SFR	0.139	1.000	112.52	112.52
196-290-450-000	SFR	0.139	1.000	112.52	112.52
196-290-460-000	SFR	0.139	1.000	112.52	112.52
196-290-470-000	SFR	0.148	1.000	112.52	112.52
196-290-480-000	SFR	0.148	1.000	112.52	112.52
196-290-490-000	SFR	0.147	1.000	112.52	112.52
196-290-500-000	SFR	0.142	1.000	112.52	112.52
196-290-510-000	SFR	0.148	1.000	112.52	112.52
196-290-520-000	SFR	0.137	1.000	112.52	112.52
196-290-530-000	SFR	0.142	1.000	112.52	112.52
196-290-540-000	SFR	0.148	1.000	112.52	112.52
196-290-550-000	SFR	0.137	1.000	112.52	112.52
196-290-560-000	SFR	0.147	1.000	112.52	112.52
196-290-570-000	SFR	0.147	1.000	112.52	112.52
196-290-580-000	SFR	0.147	1.000	112.52	112.52
196-290-590-000	SFR	0.242	1.000	112.52	112.52
196-290-600-000	SFR	0.172	1.000	112.52	112.52
196-300-010-000	SFR	0.148	1.000	112.52	112.52
196-300-020-000	SFR	0.148	1.000	112.52	112.52
196-300-030-000	SFR	0.148	1.000	112.52	112.52
196-300-040-000	SFR	0.148	1.000	112.52	112.52
196-300-050-000	SFR	0.148	1.000	112.52	112.52
196-300-060-000	SFR	0.148	1.000	112.52	112.52
196-300-070-000	SFR	0.139	1.000	112.52	112.52
196-300-080-000	SFR	0.139	1.000	112.52	112.52
196-300-090-000	SFR	0.139	1.000	112.52	112.52
196-300-100-000	SFR	0.139	1.000	112.52	112.52
196-300-110-000	SFR	0.139	1.000	112.52	112.52
196-300-120-000	SFR	0.139	1.000	112.52	112.52
196-300-130-000	SFR	0.139	1.000	112.52	112.52
196-300-140-000	SFR	0.139	1.000	112.52	112.52
196-300-150-000	SFR	0.139	1.000	112.52	112.52
196-300-160-000	SFR	0.139	1.000	112.52	112.52
196-300-170-000	SFR	0.139	1.000	112.52	112.52
196-300-180-000	SFR	0.139	1.000	112.52	112.52
196-300-190-000	SFR	0.139	1.000	112.52	112.52
196-300-200-000	SFR	0.139	1.000	112.52	112.52
196-300-210-000	SFR	0.139	1.000	112.52	112.52
196-300-220-000	SFR	0.139	1.000	112.52	112.52
196-300-230-000	SFR	0.173	1.000	112.52	112.52
196-300-240-000	SFR	0.173	1.000	112.52	112.52
196-300-250-000	SFR	0.138	1.000	112.52	112.52
196-300-260-000	SFR	0.136	1.000	112.52	112.52
196-300-270-000	SFR	0.137	1.000	112.52	112.52
196-300-280-000	SFR	0.146	1.000	112.52	112.52
196-300-290-000	SFR	0.790	1.000	112.52	112.52
196-300-300-000	SFR	0.514	1.000	112.52	112.52
196-300-310-000	SFR	1.210	1.210	112.52	136.14
196-300-320-000	SFR	0.340	1.000	112.52	112.52
196-300-330-000	SFR	0.137	1.000	112.52	112.52
196-300-340-000	SFR	0.201	1.000	112.52	112.52
196-300-350-000	SFR	0.187	1.000	112.52	112.52
196-300-360-000	SFR	0.176	1.000	112.52	112.52

**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

APN	Land Use	Acreage	Units	Rate	Levy <sup>(1)</sup>
196-300-370-000	SFR	0.160	1.000	112.52	112.52
196-300-380-000	SFR	0.136	1.000	112.52	112.52
196-300-390-000	SFR	0.138	1.000	112.52	112.52
196-300-400-000	SFR	0.138	1.000	112.52	112.52
196-300-410-000	SFR	0.154	1.000	112.52	112.52
196-300-420-000	SFR	0.136	1.000	112.52	112.52
196-300-430-000	SFR	0.136	1.000	112.52	112.52
196-300-440-000	SFR	0.136	1.000	112.52	112.52
196-300-450-000	SFR	0.137	1.000	112.52	112.52
196-300-460-000	SFR	0.136	1.000	112.52	112.52
196-300-470-000	SFR	0.137	1.000	112.52	112.52
196-310-010-000	SFR	0.241	1.000	112.52	112.52
196-310-020-000	SFR	0.229	1.000	112.52	112.52
196-310-030-000	SFR	0.238	1.000	112.52	112.52
196-310-040-000	SFR	0.240	1.000	112.52	112.52
196-310-050-000	SFR	0.229	1.000	112.52	112.52
196-310-060-000	SFR	0.229	1.000	112.52	112.52
196-310-070-000	SFR	0.229	1.000	112.52	112.52
196-310-080-000	SFR	0.229	1.000	112.52	112.52
196-310-090-000	SFR	0.229	1.000	112.52	112.52
196-310-100-000	SFR	0.229	1.000	112.52	112.52
196-310-110-000	SFR	0.241	1.000	112.52	112.52
196-310-120-000	SFR	0.229	1.000	112.52	112.52
196-310-130-000	SFR	0.229	1.000	112.52	112.52
196-310-140-000	SFR	0.231	1.000	112.52	112.52
196-310-150-000	SFR	0.241	1.000	112.52	112.52
196-310-160-000	SFR	0.229	1.000	112.52	112.52
196-310-170-000	SFR	0.247	1.000	112.52	112.52
196-310-180-000	SFR	0.215	1.000	112.52	112.52
196-310-190-000	SFR	0.229	1.000	112.52	112.52
196-310-200-000	SFR	0.229	1.000	112.52	112.52
196-310-210-000	SFR	0.229	1.000	112.52	112.52
196-310-220-000	SFR	0.206	1.000	112.52	112.52
196-310-230-000	SFR	0.229	1.000	112.52	112.52
196-310-240-000	SFR	0.229	1.000	112.52	112.52
196-310-250-000	SFR	0.238	1.000	112.52	112.52
196-310-260-000	SFR	0.238	1.000	112.52	112.52
196-310-270-000	SFR	0.229	1.000	112.52	112.52
196-310-280-000	SFR	0.234	1.000	112.52	112.52
196-310-310-000	SFR	0.229	1.000	112.52	112.52
196-310-320-000	SFR	0.228	1.000	112.52	112.52
196-310-330-000	SFR	0.228	1.000	112.52	112.52
196-310-340-000	SFR	0.228	1.000	112.52	112.52
196-310-350-000	SFR	0.219	1.000	112.52	112.52
196-310-360-000	SFR	0.235	1.000	112.52	112.52
196-310-370-000	SFR	0.228	1.000	112.52	112.52
196-310-380-000	SFR	0.228	1.000	112.52	112.52
196-310-390-000	SFR	0.228	1.000	112.52	112.52
196-310-400-000	SFR	0.236	1.000	112.52	112.52
196-310-410-000	SFR	0.236	1.000	112.52	112.52
196-310-420-000	SFR	0.240	1.000	112.52	112.52
196-310-430-000	SFR	0.230	1.000	112.52	112.52
196-320-010-000	SFR	0.229	1.000	112.52	112.52

**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

APN	Land Use	Acreage	Units	Rate	Levy <sup>(1)</sup>
196-320-020-000	SFR	0.300	1.000	112.52	112.52
196-320-030-000	SFR	0.229	1.000	112.52	112.52
196-320-040-000	SFR	0.229	1.000	112.52	112.52
196-320-050-000	SFR	0.228	1.000	112.52	112.52
196-320-060-000	SFR	0.228	1.000	112.52	112.52
196-320-070-000	SFR	0.228	1.000	112.52	112.52
196-320-080-000	SFR	0.244	1.000	112.52	112.52
196-320-090-000	SFR	0.228	1.000	112.52	112.52
196-320-100-000	SFR	0.228	1.000	112.52	112.52
196-320-110-000	SFR	0.228	1.000	112.52	112.52
196-320-120-000	SFR	0.228	1.000	112.52	112.52
196-320-130-000	SFR	0.236	1.000	112.52	112.52
196-320-140-000	SFR	0.236	1.000	112.52	112.52
196-320-150-000	SFR	0.228	1.000	112.52	112.52
196-320-160-000	SFR	0.238	1.000	112.52	112.52
196-320-170-000	SFR	0.218	1.000	112.52	112.52
196-320-180-000	SFR	0.224	1.000	112.52	112.52
196-320-190-000	SFR	0.227	1.000	112.52	112.52
196-320-200-000	SFR	0.229	1.000	112.52	112.52
196-320-210-000	SFR	0.217	1.000	112.52	112.52
196-320-220-000	SFR	0.229	1.000	112.52	112.52
196-330-010-000	SFR	0.229	1.000	112.52	112.52
196-330-020-000	SFR	0.229	1.000	112.52	112.52
196-330-030-000	SFR	0.229	1.000	112.52	112.52
196-330-040-000	SFR	0.229	1.000	112.52	112.52
196-330-050-000	SFR	0.231	1.000	112.52	112.52
196-330-060-000	SFR	0.231	1.000	112.52	112.52
196-330-070-000	SFR	0.231	1.000	112.52	112.52
196-330-080-000	SFR	0.229	1.000	112.52	112.52
196-330-090-000	SFR	0.229	1.000	112.52	112.52
196-330-100-000	SFR	0.229	1.000	112.52	112.52
196-330-110-000	SFR	0.282	1.000	112.52	112.52
196-330-120-000	SFR	0.229	1.000	112.52	112.52
196-330-130-000	SFR	0.229	1.000	112.52	112.52
196-330-140-000	SFR	0.229	1.000	112.52	112.52
196-330-150-000	SFR	0.282	1.000	112.52	112.52
196-330-160-000	SFR	0.244	1.000	112.52	112.52
196-330-170-000	SFR	0.254	1.000	112.52	112.52
196-330-180-000	SFR	0.229	1.000	112.52	112.52
196-330-190-000	SFR	0.229	1.000	112.52	112.52
196-340-020-000	SFR	0.251	1.000	112.52	112.52
196-340-030-000	SFR	0.206	1.000	112.52	112.52
196-340-040-000	SFR	0.266	1.000	112.52	112.52
196-340-050-000	SFR	0.229	1.000	112.52	112.52
196-340-060-000	SFR	0.229	1.000	112.52	112.52
196-340-070-000	SFR	0.229	1.000	112.52	112.52
196-340-080-000	SFR	0.241	1.000	112.52	112.52
196-340-090-000	SFR	0.229	1.000	112.52	112.52
196-340-100-000	SFR	0.229	1.000	112.52	112.52
196-340-110-000	SFR	0.229	1.000	112.52	112.52
196-340-120-000	SFR	0.229	1.000	112.52	112.52
196-340-130-000	SFR	0.190	1.000	112.52	112.52
196-340-140-000	SFR	0.236	1.000	112.52	112.52

**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Acreage</b>	<b>Units</b>	<b>Rate</b>	<b>Levy<sup>(1)</sup></b>
196-340-150-000	SFR	0.263	1.000	112.52	112.52
196-340-160-000	SFR	0.229	1.000	112.52	112.52
196-340-170-000	SFR	0.229	1.000	112.52	112.52
196-340-180-000	SFR	0.238	1.000	112.52	112.52
196-340-190-000	SFR	0.644	1.000	112.52	112.52
196-370-010-000	SFR	0.126	1.000	112.52	112.52
196-370-020-000	SFR	0.123	1.000	112.52	112.52
196-370-030-000	SFR	0.123	1.000	112.52	112.52
196-370-040-000	SFR	0.123	1.000	112.52	112.52
196-370-050-000	SFR	0.123	1.000	112.52	112.52
196-370-060-000	SFR	0.123	1.000	112.52	112.52
196-370-070-000	SFR	0.123	1.000	112.52	112.52
196-370-080-000	SFR	0.123	1.000	112.52	112.52
196-370-090-000	SFR	0.123	1.000	112.52	112.52
196-370-100-000	SFR	0.123	1.000	112.52	112.52
196-370-110-000	SFR	0.123	1.000	112.52	112.52
196-370-120-000	SFR	0.123	1.000	112.52	112.52
196-370-130-000	SFR	0.123	1.000	112.52	112.52
196-370-140-000	SFR	0.132	1.000	112.52	112.52
196-370-150-000	SFR	0.124	1.000	112.52	112.52
196-370-160-000	SFR	0.124	1.000	112.52	112.52
196-370-170-000	SFR	0.124	1.000	112.52	112.52
196-370-180-000	SFR	0.138	1.000	112.52	112.52
196-370-190-000	SFR	0.124	1.000	112.52	112.52
196-370-200-000	SFR	0.115	1.000	112.52	112.52
196-370-210-000	SFR	0.117	1.000	112.52	112.52
196-370-220-000	SFR	0.119	1.000	112.52	112.52
196-370-230-000	SFR	0.120	1.000	112.52	112.52
196-370-240-000	SFR	0.129	1.000	112.52	112.52
196-370-250-000	SFR	0.208	1.000	112.52	112.52
196-370-260-000	SFR	0.206	1.000	112.52	112.52
196-370-270-000	SFR	0.125	1.000	112.52	112.52
196-370-280-000	SFR	0.173	1.000	112.52	112.52
196-370-290-000	SFR	0.172	1.000	112.52	112.52
196-370-300-000	SFR	0.173	1.000	112.52	112.52
196-370-310-000	SFR	0.177	1.000	112.52	112.52
196-370-320-000	SFR	0.172	1.000	112.52	112.52
196-370-330-000	SFR	0.173	1.000	112.52	112.52
196-370-340-000	SFR	0.119	1.000	112.52	112.52
196-370-350-000	SFR	0.120	1.000	112.52	112.52
196-370-360-000	SFR	0.120	1.000	112.52	112.52
196-370-370-000	SFR	0.119	1.000	112.52	112.52
196-370-380-000	SFR	0.123	1.000	112.52	112.52
196-370-390-000	SFR	0.114	1.000	112.52	112.52
196-370-400-000	SFR	0.114	1.000	112.52	112.52
196-370-410-000	SFR	0.114	1.000	112.52	112.52
196-370-420-000	SFR	0.114	1.000	112.52	112.52
196-370-430-000	SFR	0.114	1.000	112.52	112.52
196-370-440-000	SFR	0.114	1.000	112.52	112.52
196-370-450-000	SFR	0.114	1.000	112.52	112.52
196-370-460-000	SFR	0.114	1.000	112.52	112.52
196-370-470-000	SFR	0.120	1.000	112.52	112.52
196-370-480-000	SFR	0.125	1.000	112.52	112.52

**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Acreage</b>	<b>Units</b>	<b>Rate</b>	<b>Levy<sup>(1)</sup></b>
196-370-490-000	SFR	0.116	1.000	112.52	112.52
196-370-500-000	SFR	0.116	1.000	112.52	112.52
196-370-510-000	SFR	0.116	1.000	112.52	112.52
196-370-520-000	SFR	0.116	1.000	112.52	112.52
196-370-530-000	SFR	0.116	1.000	112.52	112.52
196-370-540-000	SFR	0.116	1.000	112.52	112.52
196-370-550-000	SFR	0.116	1.000	112.52	112.52
196-370-560-000	SFR	0.116	1.000	112.52	112.52
196-370-570-000	SFR	0.126	1.000	112.52	112.52
196-370-580-000	SFR	0.129	1.000	112.52	112.52
196-370-590-000	SFR	0.116	1.000	112.52	112.52
196-370-600-000	SFR	0.116	1.000	112.52	112.52
196-370-610-000	SFR	0.116	1.000	112.52	112.52
196-370-620-000	SFR	0.116	1.000	112.52	112.52
196-370-630-000	SFR	0.116	1.000	112.52	112.52
196-370-640-000	SFR	0.116	1.000	112.52	112.52
196-370-650-000	SFR	0.116	1.000	112.52	112.52
196-370-660-000	SFR	0.116	1.000	112.52	112.52
196-370-670-000	SFR	0.126	1.000	112.52	112.52
196-370-680-000	SFR	0.123	1.000	112.52	112.52
196-370-690-000	SFR	0.117	1.000	112.52	112.52
196-370-700-000	SFR	0.117	1.000	112.52	112.52
196-370-710-000	SFR	0.117	1.000	112.52	112.52
196-370-720-000	SFR	0.117	1.000	112.52	112.52
196-370-730-000	SFR	0.117	1.000	112.52	112.52
196-370-740-000	SFR	0.117	1.000	112.52	112.52
196-370-750-000	SFR	0.117	1.000	112.52	112.52
196-370-760-000	SFR	0.119	1.000	112.52	112.52
196-370-770-000	SFR	0.117	1.000	112.52	112.52
196-370-780-000	SFR	0.135	1.000	112.52	112.52
196-370-790-000	SFR	0.251	1.000	112.52	112.52
196-370-800-000	SFR	0.139	1.000	112.52	112.52
196-370-810-000	SFR	0.116	1.000	112.52	112.52
196-370-820-000	SFR	0.117	1.000	112.52	112.52
196-370-830-000	SFR	0.117	1.000	112.52	112.52
196-370-840-000	SFR	0.117	1.000	112.52	112.52
196-370-850-000	SFR	0.117	1.000	112.52	112.52
196-370-860-000	SFR	0.117	1.000	112.52	112.52
196-370-870-000	SFR	0.117	1.000	112.52	112.52
196-370-880-000	SFR	0.144	1.000	112.52	112.52
196-370-890-000	SFR	0.172	1.000	112.52	112.52
196-370-900-000	SFR	0.172	1.000	112.52	112.52
196-370-910-000	SFR	0.172	1.000	112.52	112.52
196-370-920-000	SFR	0.172	1.000	112.52	112.52
196-380-010-000	SFR	0.137	1.000	112.52	112.52
196-380-020-000	SFR	0.137	1.000	112.52	112.52
196-380-030-000	SFR	0.137	1.000	112.52	112.52
196-380-040-000	SFR	0.137	1.000	112.52	112.52
196-380-050-000	SFR	0.151	1.000	112.52	112.52
196-380-060-000	SFR	0.197	1.000	112.52	112.52
196-380-070-000	SFR	0.169	1.000	112.52	112.52
196-380-080-000	SFR	0.137	1.000	112.52	112.52
196-380-090-000	SFR	0.144	1.000	112.52	112.52

**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

APN	Land Use	Acreage	Units	Rate	Levy <sup>(1)</sup>
196-380-100-000	SFR	0.144	1.000	112.52	112.52
196-380-110-000	SFR	0.144	1.000	112.52	112.52
196-380-120-000	SFR	0.140	1.000	112.52	112.52
196-380-130-000	SFR	0.144	1.000	112.52	112.52
196-380-140-000	SFR	0.144	1.000	112.52	112.52
196-380-150-000	SFR	0.143	1.000	112.52	112.52
196-380-160-000	SFR	0.143	1.000	112.52	112.52
196-380-170-000	SFR	0.143	1.000	112.52	112.52
196-380-180-000	SFR	0.145	1.000	112.52	112.52
196-380-190-000	SFR	0.161	1.000	112.52	112.52
196-380-200-000	SFR	0.143	1.000	112.52	112.52
196-380-210-000	SFR	0.148	1.000	112.52	112.52
196-380-220-000	SFR	0.160	1.000	112.52	112.52
196-380-230-000	SFR	0.170	1.000	112.52	112.52
196-380-240-000	SFR	0.180	1.000	112.52	112.52
196-380-250-000	SFR	0.165	1.000	112.52	112.52
196-380-260-000	SFR	0.158	1.000	112.52	112.52
196-380-270-000	SFR	0.138	1.000	112.52	112.52
196-380-280-000	SFR	0.182	1.000	112.52	112.52
196-380-290-000	SFR	0.146	1.000	112.52	112.52
196-380-300-000	SFR	0.153	1.000	112.52	112.52
196-380-310-000	SFR	0.151	1.000	112.52	112.52
196-380-320-000	SFR	0.161	1.000	112.52	112.52
196-380-330-000	SFR	0.161	1.000	112.52	112.52
196-380-340-000	SFR	0.166	1.000	112.52	112.52
196-380-350-000	SFR	0.138	1.000	112.52	112.52
196-380-360-000	SFR	0.137	1.000	112.52	112.52
196-380-370-000	SFR	0.137	1.000	112.52	112.52
196-380-380-000	SFR	0.137	1.000	112.52	112.52
196-380-390-000	SFR	0.137	1.000	112.52	112.52
196-380-400-000	SFR	0.137	1.000	112.52	112.52
196-380-410-000	SFR	0.137	1.000	112.52	112.52
196-380-420-000	SFR	0.137	1.000	112.52	112.52
196-380-430-000	SFR	0.137	1.000	112.52	112.52
196-380-440-000	SFR	0.138	1.000	112.52	112.52
196-380-450-000	SFR	0.138	1.000	112.52	112.52
196-380-460-000	SFR	0.137	1.000	112.52	112.52
196-380-470-000	SFR	0.137	1.000	112.52	112.52
196-380-480-000	SFR	0.137	1.000	112.52	112.52
196-380-490-000	SFR	0.137	1.000	112.52	112.52
196-390-010-000	SFR	0.255	1.000	112.52	112.52
196-390-020-000	SFR	0.225	1.000	112.52	112.52
196-390-030-000	SFR	0.213	1.000	112.52	112.52
196-390-040-000	SFR	0.196	1.000	112.52	112.52
196-390-050-000	SFR	0.183	1.000	112.52	112.52
196-390-060-000	SFR	0.176	1.000	112.52	112.52
196-390-070-000	SFR	0.172	1.000	112.52	112.52
196-390-080-000	SFR	0.176	1.000	112.52	112.52
196-390-090-000	SFR	0.252	1.000	112.52	112.52
196-390-100-000	SFR	0.296	1.000	112.52	112.52
196-390-110-000	SFR	0.149	1.000	112.52	112.52
196-390-120-000	SFR	0.153	1.000	112.52	112.52
196-390-130-000	SFR	0.151	1.000	112.52	112.52

**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

APN	Land Use	Acreage	Units	Rate	Levy <sup>(1)</sup>
196-390-140-000	SFR	0.153	1.000	112.52	112.52
196-390-150-000	SFR	0.150	1.000	112.52	112.52
196-390-160-000	SFR	0.145	1.000	112.52	112.52
196-390-170-000	SFR	0.138	1.000	112.52	112.52
196-390-180-000	SFR	0.137	1.000	112.52	112.52
196-390-190-000	SFR	0.137	1.000	112.52	112.52
196-390-200-000	SFR	0.137	1.000	112.52	112.52
196-390-210-000	SFR	0.137	1.000	112.52	112.52
196-390-220-000	SFR	0.138	1.000	112.52	112.52
196-390-230-000	SFR	0.138	1.000	112.52	112.52
196-390-240-000	SFR	0.137	1.000	112.52	112.52
196-390-250-000	SFR	0.137	1.000	112.52	112.52
196-390-260-000	SFR	0.137	1.000	112.52	112.52
196-390-270-000	SFR	0.137	1.000	112.52	112.52
196-390-280-000	SFR	0.138	1.000	112.52	112.52
196-390-290-000	SFR	0.149	1.000	112.52	112.52
196-390-300-000	SFR	0.166	1.000	112.52	112.52
196-390-310-000	SFR	0.144	1.000	112.52	112.52
196-390-320-000	SFR	0.144	1.000	112.52	112.52
196-390-330-000	SFR	0.144	1.000	112.52	112.52
196-390-340-000	SFR	0.137	1.000	112.52	112.52
196-390-350-000	SFR	0.137	1.000	112.52	112.52
196-390-360-000	SFR	0.138	1.000	112.52	112.52
196-390-370-000	SFR	0.138	1.000	112.52	112.52
196-390-380-000	SFR	0.138	1.000	112.52	112.52
196-390-390-000	SFR	0.138	1.000	112.52	112.52
196-390-400-000	SFR	0.138	1.000	112.52	112.52
196-390-410-000	SFR	0.149	1.000	112.52	112.52
196-390-420-000	SFR	0.149	1.000	112.52	112.52
196-390-430-000	SFR	0.149	1.000	112.52	112.52
196-390-440-000	SFR	0.137	1.000	112.52	112.52
196-390-450-000	SFR	0.137	1.000	112.52	112.52
196-390-460-000	SFR	0.137	1.000	112.52	112.52
196-390-470-000	SFR	0.137	1.000	112.52	112.52
196-390-480-000	SFR	0.137	1.000	112.52	112.52
196-390-490-000	SFR	0.137	1.000	112.52	112.52
196-390-500-000	SFR	0.137	1.000	112.52	112.52
196-390-510-000	SFR	0.137	1.000	112.52	112.52
196-390-520-000	SFR	0.137	1.000	112.52	112.52
196-390-530-000	SFR	0.137	1.000	112.52	112.52
196-390-540-000	SFR	0.137	1.000	112.52	112.52
196-390-550-000	SFR	0.137	1.000	112.52	112.52
196-390-560-000	SFR	0.137	1.000	112.52	112.52
196-390-570-000	SFR	0.137	1.000	112.52	112.52
196-390-580-000	SFR	0.137	1.000	112.52	112.52
196-390-590-000	SFR	0.137	1.000	112.52	112.52
196-390-600-000	SFR	0.137	1.000	112.52	112.52
196-390-610-000	SFR	0.137	1.000	112.52	112.52
196-390-620-000	SFR	0.137	1.000	112.52	112.52
196-390-630-000	SFR	0.140	1.000	112.52	112.52
196-400-010-000	SFR	0.144	1.000	112.52	112.52
196-400-020-000	SFR	0.172	1.000	112.52	112.52
196-400-030-000	SFR	0.159	1.000	112.52	112.52

**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

APN	Land Use	Acreage	Units	Rate	Levy <sup>(1)</sup>
196-400-040-000	SFR	0.134	1.000	112.52	112.52
196-400-050-000	SFR	0.142	1.000	112.52	112.52
196-400-060-000	SFR	0.137	1.000	112.52	112.52
196-400-070-000	SFR	0.137	1.000	112.52	112.52
196-400-080-000	SFR	0.137	1.000	112.52	112.52
196-400-090-000	SFR	0.137	1.000	112.52	112.52
196-400-100-000	SFR	0.137	1.000	112.52	112.52
196-400-110-000	SFR	0.137	1.000	112.52	112.52
196-400-120-000	SFR	0.149	1.000	112.52	112.52
196-400-130-000	SFR	0.149	1.000	112.52	112.52
196-400-140-000	SFR	0.151	1.000	112.52	112.52
196-400-150-000	SFR	0.183	1.000	112.52	112.52
196-400-160-000	SFR	0.182	1.000	112.52	112.52
196-400-170-000	SFR	0.151	1.000	112.52	112.52
196-400-180-000	SFR	0.149	1.000	112.52	112.52
196-400-190-000	SFR	0.149	1.000	112.52	112.52
196-400-200-000	SFR	0.137	1.000	112.52	112.52
196-400-210-000	SFR	0.137	1.000	112.52	112.52
196-400-220-000	SFR	0.137	1.000	112.52	112.52
196-400-230-000	SFR	0.137	1.000	112.52	112.52
196-400-240-000	SFR	0.137	1.000	112.52	112.52
196-400-250-000	SFR	0.137	1.000	112.52	112.52
196-400-260-000	SFR	0.137	1.000	112.52	112.52
196-400-270-000	SFR	0.124	1.000	112.52	112.52
196-400-280-000	SFR	0.105	1.000	112.52	112.52
196-400-290-000	SFR	0.193	1.000	112.52	112.52
196-400-300-000	SFR	0.144	1.000	112.52	112.52
196-400-310-000	SFR	0.130	1.000	112.52	112.52
196-400-320-000	SFR	0.137	1.000	112.52	112.52
196-400-330-000	SFR	0.140	1.000	112.52	112.52
196-410-010-000	SFR	0.144	1.000	112.52	112.52
196-410-020-000	SFR	0.137	1.000	112.52	112.52
196-410-030-000	SFR	0.137	1.000	112.52	112.52
196-410-040-000	SFR	0.137	1.000	112.52	112.52
196-410-050-000	SFR	0.137	1.000	112.52	112.52
196-410-060-000	SFR	0.137	1.000	112.52	112.52
196-410-070-000	SFR	0.137	1.000	112.52	112.52
196-410-080-000	SFR	0.137	1.000	112.52	112.52
196-410-090-000	SFR	0.149	1.000	112.52	112.52
196-410-100-000	SFR	0.151	1.000	112.52	112.52
196-410-110-000	SFR	0.149	1.000	112.52	112.52
196-410-120-000	SFR	0.149	1.000	112.52	112.52
196-410-130-000	SFR	0.149	1.000	112.52	112.52
196-410-140-000	SFR	0.149	1.000	112.52	112.52
196-410-150-000	SFR	0.151	1.000	112.52	112.52
196-410-160-000	SFR	0.149	1.000	112.52	112.52
196-410-170-000	SFR	0.149	1.000	112.52	112.52
196-410-180-000	SFR	0.137	1.000	112.52	112.52
196-410-190-000	SFR	0.137	1.000	112.52	112.52
196-410-200-000	SFR	0.137	1.000	112.52	112.52
196-410-210-000	SFR	0.137	1.000	112.52	112.52
196-410-220-000	SFR	0.137	1.000	112.52	112.52
196-410-230-000	SFR	0.137	1.000	112.52	112.52



**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Acreage</b>	<b>Units</b>	<b>Rate</b>	<b>Levy<sup>(1)</sup></b>
196-410-240-000	SFR	0.144	1.000	112.52	112.52
196-420-010-000	SFR	0.140	1.000	112.52	112.52
196-420-020-000	SFR	0.140	1.000	112.52	112.52
196-420-030-000	SFR	0.140	1.000	112.52	112.52
196-420-040-000	SFR	0.139	1.000	112.52	112.52
196-420-050-000	SFR	0.139	1.000	112.52	112.52
196-420-060-000	SFR	0.139	1.000	112.52	112.52
196-420-070-000	SFR	0.139	1.000	112.52	112.52
196-420-080-000	SFR	0.165	1.000	112.52	112.52
196-420-090-000	SFR	0.160	1.000	112.52	112.52
196-420-100-000	SFR	0.151	1.000	112.52	112.52
196-420-110-000	SFR	0.151	1.000	112.52	112.52
196-420-120-000	SFR	0.142	1.000	112.52	112.52
196-420-130-000	SFR	0.137	1.000	112.52	112.52
196-420-140-000	SFR	0.137	1.000	112.52	112.52
196-420-150-000	SFR	0.137	1.000	112.52	112.52
196-420-160-000	SFR	0.137	1.000	112.52	112.52
196-420-170-000	SFR	0.137	1.000	112.52	112.52
196-420-180-000	SFR	0.137	1.000	112.52	112.52
196-420-190-000	SFR	0.149	1.000	112.52	112.52
196-420-200-000	SFR	0.149	1.000	112.52	112.52
196-420-210-000	SFR	0.151	1.000	112.52	112.52
196-420-220-000	SFR	0.151	1.000	112.52	112.52
196-420-230-000	SFR	0.149	1.000	112.52	112.52
196-420-240-000	SFR	0.137	1.000	112.52	112.52
196-420-250-000	SFR	0.149	1.000	112.52	112.52
196-420-260-000	SFR	0.137	1.000	112.52	112.52
196-420-270-000	SFR	0.137	1.000	112.52	112.52
196-420-280-000	SFR	0.130	1.000	112.52	112.52
196-420-290-000	SFR	0.137	1.000	112.52	112.52
196-420-300-000	SFR	0.137	1.000	112.52	112.52
196-420-310-000	SFR	0.144	1.000	112.52	112.52
196-420-320-000	SFR	0.153	1.000	112.52	112.52
196-430-010-000	SFR	0.149	1.000	112.52	112.52
196-430-020-000	SFR	0.149	1.000	112.52	112.52
196-430-030-000	SFR	0.149	1.000	112.52	112.52
196-430-040-000	SFR	0.149	1.000	112.52	112.52
196-430-070-000	SFR	0.149	1.000	112.52	112.52
196-430-080-000	SFR	0.149	1.000	112.52	112.52
196-430-090-000	SFR	0.149	1.000	112.52	112.52
196-430-100-000	SFR	0.160	1.000	112.52	112.52
196-430-110-000	SFR	0.173	1.000	112.52	112.52
196-430-120-000	SFR	0.168	1.000	112.52	112.52
196-430-130-000	SFR	0.181	1.000	112.52	112.52
196-430-140-000	SFR	0.200	1.000	112.52	112.52
196-430-170-000	SFR	0.127	1.000	112.52	112.52
196-430-180-000	SFR	0.204	1.000	112.52	112.52
196-430-190-000	SFR	0.203	1.000	112.52	112.52
196-430-200-000	SFR	0.203	1.000	112.52	112.52
196-430-210-000	SFR	0.203	1.000	112.52	112.52
196-430-220-000	SFR	0.202	1.000	112.52	112.52
196-430-230-000	SFR	0.202	1.000	112.52	112.52
196-430-240-000	SFR	0.202	1.000	112.52	112.52

**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

APN	Land Use	Acreage	Units	Rate	Levy <sup>(1)</sup>
196-430-250-000	SFR	0.201	1.000	112.52	112.52
196-430-260-000	SFR	0.201	1.000	112.52	112.52
196-430-270-000	SFR	0.200	1.000	112.52	112.52
196-430-280-000	SFR	0.200	1.000	112.52	112.52
196-430-290-000	SFR	0.200	1.000	112.52	112.52
196-430-300-000	SFR	0.199	1.000	112.52	112.52
196-430-310-000	SFR	0.185	1.000	112.52	112.52
196-430-320-000	COM	0.395	1.000	112.52	112.52
196-430-330-000	COM	0.745	1.000	112.52	112.52
196-440-010-000	SFR	0.140	1.000	112.52	112.52
196-440-020-000	SFR	0.137	1.000	112.52	112.52
196-440-030-000	SFR	0.137	1.000	112.52	112.52
196-440-040-000	SFR	0.137	1.000	112.52	112.52
196-440-050-000	SFR	0.137	1.000	112.52	112.52
196-440-060-000	SFR	0.137	1.000	112.52	112.52
196-440-070-000	SFR	0.137	1.000	112.52	112.52
196-440-080-000	SFR	0.149	1.000	112.52	112.52
196-440-090-000	SFR	0.149	1.000	112.52	112.52
196-440-100-000	SFR	0.151	1.000	112.52	112.52
196-440-110-000	SFR	0.149	1.000	112.52	112.52
196-440-120-000	SFR	0.149	1.000	112.52	112.52
196-440-130-000	SFR	0.149	1.000	112.52	112.52
196-440-140-000	SFR	0.160	1.000	112.52	112.52
196-440-150-000	SFR	0.151	1.000	112.52	112.52
196-440-160-000	SFR	0.149	1.000	112.52	112.52
196-440-170-000	SFR	0.149	1.000	112.52	112.52
196-440-180-000	SFR	0.137	1.000	112.52	112.52
196-440-190-000	SFR	0.137	1.000	112.52	112.52
196-440-200-000	SFR	0.137	1.000	112.52	112.52
196-440-210-000	SFR	0.137	1.000	112.52	112.52
196-440-220-000	SFR	0.130	1.000	112.52	112.52
196-440-230-000	SFR	0.137	1.000	112.52	112.52
196-440-240-000	SFR	0.142	1.000	112.52	112.52
196-440-250-000	SFR	0.162	1.000	112.52	112.52
196-440-260-000	SFR	0.134	1.000	112.52	112.52
196-440-270-000	SFR	0.136	1.000	112.52	112.52
196-440-280-000	SFR	0.137	1.000	112.52	112.52
196-440-290-000	SFR	0.137	1.000	112.52	112.52
196-440-300-000	SFR	0.137	1.000	112.52	112.52
196-440-310-000	SFR	0.137	1.000	112.52	112.52
196-440-320-000	SFR	0.149	1.000	112.52	112.52
196-440-330-000	SFR	0.151	1.000	112.52	112.52
196-440-340-000	SFR	0.181	1.000	112.52	112.52
196-440-350-000	SFR	0.199	1.000	112.52	112.52
196-450-010-000	SFR	0.149	1.000	112.52	112.52
196-450-020-000	SFR	0.138	1.000	112.52	112.52
196-450-030-000	SFR	0.137	1.000	112.52	112.52
196-450-040-000	SFR	0.137	1.000	112.52	112.52
196-450-050-000	SFR	0.137	1.000	112.52	112.52
196-450-060-000	SFR	0.137	1.000	112.52	112.52
196-450-070-000	SFR	0.137	1.000	112.52	112.52
196-450-080-000	SFR	0.137	1.000	112.52	112.52
196-450-090-000	SFR	0.137	1.000	112.52	112.52

**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

APN	Land Use	Acreage	Units	Rate	Levy <sup>(1)</sup>
196-450-100-000	SFR	0.238	1.000	112.52	112.52
196-450-110-000	SFR	0.344	1.000	112.52	112.52
196-450-120-000	SFR	0.149	1.000	112.52	112.52
196-450-130-000	SFR	0.148	1.000	112.52	112.52
196-450-140-000	SFR	0.141	1.000	112.52	112.52
196-450-150-000	SFR	0.137	1.000	112.52	112.52
196-450-160-000	SFR	0.137	1.000	112.52	112.52
196-450-170-000	SFR	0.137	1.000	112.52	112.52
196-450-180-000	SFR	0.137	1.000	112.52	112.52
196-450-190-000	SFR	0.146	1.000	112.52	112.52
196-450-200-000	SFR	0.137	1.000	112.52	112.52
196-450-210-000	SFR	0.137	1.000	112.52	112.52
196-450-220-000	SFR	0.137	1.000	112.52	112.52
196-450-230-000	SFR	0.137	1.000	112.52	112.52
196-450-240-000	SFR	0.137	1.000	112.52	112.52
196-450-250-000	SFR	0.137	1.000	112.52	112.52
196-450-260-000	SFR	0.137	1.000	112.52	112.52
196-450-270-000	SFR	0.137	1.000	112.52	112.52
196-450-280-000	SFR	0.156	1.000	112.52	112.52
196-450-290-000	SFR	0.137	1.000	112.52	112.52
196-450-300-000	SFR	0.159	1.000	112.52	112.52
196-460-010-000	SFR	0.144	1.000	112.52	112.52
196-460-020-000	SFR	0.137	1.000	112.52	112.52
196-460-030-000	SFR	0.137	1.000	112.52	112.52
196-460-040-000	SFR	0.137	1.000	112.52	112.52
196-460-050-000	SFR	0.137	1.000	112.52	112.52
196-460-060-000	SFR	0.137	1.000	112.52	112.52
196-460-070-000	SFR	0.137	1.000	112.52	112.52
196-460-080-000	SFR	0.137	1.000	112.52	112.52
196-460-090-000	SFR	0.145	1.000	112.52	112.52
196-460-100-000	SFR	0.177	1.000	112.52	112.52
196-460-110-000	SFR	0.151	1.000	112.52	112.52
196-460-120-000	SFR	0.137	1.000	112.52	112.52
196-460-130-000	SFR	0.137	1.000	112.52	112.52
196-460-140-000	SFR	0.144	1.000	112.52	112.52
196-460-150-000	SFR	0.165	1.000	112.52	112.52
196-460-160-000	SFR	0.158	1.000	112.52	112.52
196-460-170-000	SFR	0.158	1.000	112.52	112.52
196-460-180-000	SFR	0.158	1.000	112.52	112.52
196-460-190-000	SFR	0.158	1.000	112.52	112.52
196-460-200-000	SFR	0.158	1.000	112.52	112.52
196-460-210-000	SFR	0.158	1.000	112.52	112.52
196-460-220-000	SFR	0.184	1.000	112.52	112.52
196-460-230-000	SFR	0.193	1.000	112.52	112.52
196-460-240-000	SFR	0.308	1.000	112.52	112.52
196-460-250-000	SFR	0.178	1.000	112.52	112.52
196-460-260-000	SFR	0.137	1.000	112.52	112.52
196-460-270-000	SFR	0.137	1.000	112.52	112.52
196-460-280-000	SFR	0.161	1.000	112.52	112.52
196-460-290-000	SFR	0.158	1.000	112.52	112.52
196-460-300-000	SFR	0.161	1.000	112.52	112.52
196-460-310-000	SFR	0.161	1.000	112.52	112.52
196-460-320-000	SFR	0.161	1.000	112.52	112.52

**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Acreage</b>	<b>Units</b>	<b>Rate</b>	<b>Levy<sup>(1)</sup></b>
196-460-330-000	SFR	0.161	1.000	112.52	112.52
196-460-340-000	SFR	0.139	1.000	112.52	112.52
196-460-350-000	SFR	0.159	1.000	112.52	112.52
196-460-360-000	SFR	0.161	1.000	112.52	112.52
196-460-370-000	SFR	0.161	1.000	112.52	112.52
196-460-380-000	SFR	0.161	1.000	112.52	112.52
196-460-390-000	SFR	0.161	1.000	112.52	112.52
196-460-400-000	SFR	0.156	1.000	112.52	112.52
196-470-010-000	MFR	0.256	1.000	112.52	112.52
196-470-050-000	SFR	0.186	1.000	112.52	112.52
196-470-060-000	SFR	0.145	1.000	112.52	112.52
196-470-070-000	SFR	0.141	1.000	112.52	112.52
196-470-080-000	SFR	0.138	1.000	112.52	112.52
196-470-090-000	SFR	0.162	1.000	112.52	112.52
196-470-100-000	SFR	0.175	1.000	112.52	112.52
196-470-110-000	SFR	0.172	1.000	112.52	112.52
196-470-120-000	SFR	0.148	1.000	112.52	112.52
196-470-130-000	SFR	0.191	1.000	112.52	112.52
196-470-140-000	SFR	0.227	1.000	112.52	112.52
196-470-150-000	SFR	0.230	1.000	112.52	112.52
196-470-160-000	SFR	0.177	1.000	112.52	112.52
196-470-170-000	SFR	0.144	1.000	112.52	112.52
196-470-180-000	SFR	0.148	1.000	112.52	112.52
196-470-190-000	SFR	0.161	1.000	112.52	112.52
196-470-210-000	COM	5.740	5.740	112.52	645.86
196-470-220-000	COM	0.055	1.000	112.52	112.52
196-470-230-000	SFR	0.199	1.000	112.52	112.52
196-470-240-000	SFR	0.315	1.000	112.52	112.52
196-470-250-000	MFR	0.283	1.000	112.52	112.52
196-470-260-000	MFR	0.308	1.000	112.52	112.52
196-470-270-000	MFR	0.323	1.000	112.52	112.52
196-470-280-000	MFR	0.327	1.000	112.52	112.52
196-470-290-000	MFR	0.327	1.000	112.52	112.52
196-470-300-000	MFR	0.326	1.000	112.52	112.52
196-480-010-000	SFR	0.144	1.000	112.52	112.52
196-480-020-000	SFR	0.140	1.000	112.52	112.52
196-480-030-000	SFR	0.140	1.000	112.52	112.52
196-480-040-000	SFR	0.144	1.000	112.52	112.52
196-480-050-000	SFR	0.137	1.000	112.52	112.52
196-480-060-000	SFR	0.137	1.000	112.52	112.52
196-480-070-000	SFR	0.137	1.000	112.52	112.52
196-480-080-000	SFR	0.156	1.000	112.52	112.52
196-480-090-000	SFR	0.142	1.000	112.52	112.52
196-480-100-000	SFR	0.156	1.000	112.52	112.52
196-480-110-000	SFR	0.137	1.000	112.52	112.52
196-480-120-000	SFR	0.137	1.000	112.52	112.52
196-480-130-000	SFR	0.137	1.000	112.52	112.52
196-480-140-000	SFR	0.143	1.000	112.52	112.52
196-480-150-000	SFR	0.138	1.000	112.52	112.52
196-480-160-000	SFR	0.186	1.000	112.52	112.52
196-480-170-000	SFR	0.198	1.000	112.52	112.52
196-480-180-000	SFR	0.236	1.000	112.52	112.52
196-480-190-000	SFR	0.164	1.000	112.52	112.52

**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Acreage</b>	<b>Units</b>	<b>Rate</b>	<b>Levy<sup>(1)</sup></b>
196-480-200-000	SFR	0.138	1.000	112.52	112.52
196-480-210-000	SFR	0.142	1.000	112.52	112.52
196-480-220-000	SFR	0.142	1.000	112.52	112.52
196-480-230-000	SFR	0.142	1.000	112.52	112.52
196-480-240-000	SFR	0.142	1.000	112.52	112.52
196-480-250-000	SFR	0.160	1.000	112.52	112.52
196-480-260-000	SFR	0.158	1.000	112.52	112.52
196-480-270-000	SFR	0.153	1.000	112.52	112.52
196-480-280-000	SFR	0.142	1.000	112.52	112.52
196-480-290-000	SFR	0.146	1.000	112.52	112.52
196-480-300-000	SFR	0.151	1.000	112.52	112.52
196-480-310-000	SFR	0.138	1.000	112.52	112.52
196-480-320-000	SFR	0.169	1.000	112.52	112.52
196-480-330-000	SFR	0.193	1.000	112.52	112.52
196-480-340-000	SFR	0.232	1.000	112.52	112.52
196-480-350-000	SFR	0.174	1.000	112.52	112.52
196-480-360-000	SFR	0.149	1.000	112.52	112.52
196-480-370-000	SFR	0.143	1.000	112.52	112.52
196-480-380-000	SFR	0.174	1.000	112.52	112.52
196-480-390-000	SFR	0.196	1.000	112.52	112.52
196-480-400-000	SFR	0.140	1.000	112.52	112.52
196-480-410-000	SFR	0.153	1.000	112.52	112.52
196-480-420-000	SFR	0.148	1.000	112.52	112.52
196-480-430-000	SFR	0.148	1.000	112.52	112.52
196-480-440-000	SFR	0.147	1.000	112.52	112.52
196-480-450-000	SFR	0.149	1.000	112.52	112.52
196-480-460-000	SFR	0.151	1.000	112.52	112.52
196-480-470-000	SFR	0.139	1.000	112.52	112.52
196-480-480-000	SFR	0.139	1.000	112.52	112.52
196-480-490-000	SFR	0.152	1.000	112.52	112.52
196-480-500-000	SFR	0.178	1.000	112.52	112.52
196-480-510-000	SFR	0.188	1.000	112.52	112.52
196-480-520-000	SFR	0.207	1.000	112.52	112.52
196-480-530-000	SFR	0.311	1.000	112.52	112.52
196-480-540-000	SFR	0.177	1.000	112.52	112.52
196-480-550-000	SFR	0.154	1.000	112.52	112.52
196-480-560-000	SFR	0.190	1.000	112.52	112.52
196-480-570-000	SFR	0.158	1.000	112.52	112.52
196-480-580-000	SFR	0.147	1.000	112.52	112.52
196-480-590-000	SFR	0.144	1.000	112.52	112.52
196-480-600-000	SFR	0.146	1.000	112.52	112.52
196-480-610-000	SFR	0.141	1.000	112.52	112.52
196-480-620-000	SFR	0.196	1.000	112.52	112.52
196-480-630-000	SFR	0.214	1.000	112.52	112.52
196-480-640-000	SFR	0.137	1.000	112.52	112.52
196-480-650-000	SFR	0.142	1.000	112.52	112.52
196-480-660-000	SFR	0.138	1.000	112.52	112.52
196-480-670-000	SFR	0.158	1.000	112.52	112.52
196-480-680-000	SFR	0.137	1.000	112.52	112.52
196-480-690-000	SFR	0.159	1.000	112.52	112.52
196-480-700-000	SFR	0.138	1.000	112.52	112.52
196-480-710-000	SFR	0.137	1.000	112.52	112.52
196-480-720-000	SFR	0.137	1.000	112.52	112.52

**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

APN	Land Use	Acreage	Units	Rate	Levy <sup>(1)</sup>
196-480-730-000	SFR	0.138	1.000	112.52	112.52
196-480-740-000	SFR	0.138	1.000	112.52	112.52
196-480-750-000	SFR	0.138	1.000	112.52	112.52
196-480-760-000	SFR	0.150	1.000	112.52	112.52
196-480-770-000	SFR	0.137	1.000	112.52	112.52
196-480-780-000	SFR	0.139	1.000	112.52	112.52
196-480-790-000	SFR	0.150	1.000	112.52	112.52
196-480-800-000	SFR	0.160	1.000	112.52	112.52
196-480-810-000	SFR	0.138	1.000	112.52	112.52
196-480-820-000	SFR	0.173	1.000	112.52	112.52
196-480-830-000	SFR	0.157	1.000	112.52	112.52
196-480-840-000	SFR	0.137	1.000	112.52	112.52
196-490-010-000	SFR	0.158	1.000	112.52	112.52
196-490-020-000	SFR	0.168	1.000	112.52	112.52
196-490-030-000	SFR	0.151	1.000	112.52	112.52
196-490-040-000	SFR	0.151	1.000	112.52	112.52
196-490-050-000	SFR	0.150	1.000	112.52	112.52
196-490-060-000	SFR	0.142	1.000	112.52	112.52
196-490-070-000	SFR	0.159	1.000	112.52	112.52
196-490-080-000	SFR	0.140	1.000	112.52	112.52
196-490-090-000	SFR	0.156	1.000	112.52	112.52
196-490-100-000	SFR	0.172	1.000	112.52	112.52
196-490-110-000	SFR	0.165	1.000	112.52	112.52
196-490-120-000	SFR	0.178	1.000	112.52	112.52
196-490-130-000	SFR	0.193	1.000	112.52	112.52
196-490-140-000	SFR	0.253	1.000	112.52	112.52
196-490-150-000	SFR	0.305	1.000	112.52	112.52
196-490-160-000	SFR	0.132	1.000	112.52	112.52
196-490-170-000	SFR	0.145	1.000	112.52	112.52
196-490-180-000	SFR	0.148	1.000	112.52	112.52
196-490-190-000	SFR	0.168	1.000	112.52	112.52
196-490-200-000	SFR	0.137	1.000	112.52	112.52
196-490-210-000	SFR	0.164	1.000	112.52	112.52
196-490-220-000	SFR	0.140	1.000	112.52	112.52
196-490-230-000	SFR	0.137	1.000	112.52	112.52
196-490-240-000	SFR	0.137	1.000	112.52	112.52
196-490-250-000	SFR	0.137	1.000	112.52	112.52
196-490-260-000	SFR	0.137	1.000	112.52	112.52
196-490-270-000	SFR	0.137	1.000	112.52	112.52
196-490-280-000	SFR	0.138	1.000	112.52	112.52
196-490-290-000	SFR	0.151	1.000	112.52	112.52
196-490-320-000	SFR	0.150	1.000	112.52	112.52
196-490-330-000	SFR	0.149	1.000	112.52	112.52
196-490-340-000	SFR	0.149	1.000	112.52	112.52
196-490-350-000	SFR	0.139	1.000	112.52	112.52
196-490-360-000	SFR	0.154	1.000	112.52	112.52
196-490-370-000	SFR	0.214	1.000	112.52	112.52
196-490-380-000	SFR	0.164	1.000	112.52	112.52
196-490-390-000	SFR	0.233	1.000	112.52	112.52
196-490-400-000	SFR	0.209	1.000	112.52	112.52
196-490-410-000	SFR	0.211	1.000	112.52	112.52
196-490-420-000	SFR	0.150	1.000	112.52	112.52
196-490-430-000	SFR	0.150	1.000	112.52	112.52

**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
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<b>APN</b>	<b>Land Use</b>	<b>Acreage</b>	<b>Units</b>	<b>Rate</b>	<b>Levy<sup>(1)</sup></b>
196-490-440-000	SFR	0.151	1.000	112.52	112.52
196-490-450-000	SFR	0.202	1.000	112.52	112.52
196-490-460-000	SFR	0.151	1.000	112.52	112.52
196-490-470-000	SFR	0.151	1.000	112.52	112.52
196-490-480-000	SFR	0.151	1.000	112.52	112.52
196-490-490-000	SFR	0.151	1.000	112.52	112.52
196-490-500-000	SFR	0.151	1.000	112.52	112.52
196-490-510-000	SFR	0.151	1.000	112.52	112.52
196-490-520-000	SFR	0.151	1.000	112.52	112.52
196-490-530-000	SFR	0.151	1.000	112.52	112.52
196-490-540-000	SFR	0.152	1.000	112.52	112.52
196-490-550-000	SFR	0.160	1.000	112.52	112.52
196-490-560-000	SFR	0.151	1.000	112.52	112.52
196-490-570-000	SFR	0.153	1.000	112.52	112.52
196-500-090-000	SFR	0.598	1.000	112.52	112.52
196-510-080-000	COM	3.130	3.130	112.52	352.18
196-510-090-000	COM	4.570	4.570	112.52	514.20
196-510-100-000	COM	0.482	1.000	112.52	112.52
196-510-110-000	COM	1.353	1.353	112.52	152.22
196-520-010-000	SFR	0.140	1.000	112.52	112.52
196-520-020-000	SFR	0.145	1.000	112.52	112.52
196-520-030-000	SFR	0.152	1.000	112.52	112.52
196-520-040-000	SFR	0.152	1.000	112.52	112.52
196-520-050-000	SFR	0.152	1.000	112.52	112.52
196-520-060-000	SFR	0.160	1.000	112.52	112.52
196-520-070-000	SFR	0.138	1.000	112.52	112.52
196-520-080-000	SFR	0.137	1.000	112.52	112.52
196-520-090-000	SFR	0.137	1.000	112.52	112.52
196-520-100-000	SFR	0.137	1.000	112.52	112.52
196-520-110-000	SFR	0.137	1.000	112.52	112.52
196-520-120-000	SFR	0.137	1.000	112.52	112.52
196-520-130-000	SFR	0.137	1.000	112.52	112.52
196-520-140-000	SFR	0.137	1.000	112.52	112.52
196-520-150-000	SFR	0.165	1.000	112.52	112.52
196-520-160-000	SFR	0.160	1.000	112.52	112.52
196-520-170-000	SFR	0.138	1.000	112.52	112.52
196-520-180-000	SFR	0.138	1.000	112.52	112.52
196-520-190-000	SFR	0.138	1.000	112.52	112.52
196-520-200-000	SFR	0.138	1.000	112.52	112.52
196-520-210-000	SFR	0.138	1.000	112.52	112.52
196-520-220-000	SFR	0.138	1.000	112.52	112.52
196-520-230-000	SFR	0.236	1.000	112.52	112.52
196-520-240-000	SFR	0.186	1.000	112.52	112.52
196-520-250-000	SFR	0.141	1.000	112.52	112.52
196-520-260-000	SFR	0.137	1.000	112.52	112.52
196-520-270-000	SFR	0.137	1.000	112.52	112.52
196-520-280-000	SFR	0.137	1.000	112.52	112.52
196-520-290-000	SFR	0.137	1.000	112.52	112.52
196-520-300-000	SFR	0.137	1.000	112.52	112.52
196-520-310-000	SFR	0.137	1.000	112.52	112.52
196-520-320-000	SFR	0.137	1.000	112.52	112.52
196-520-330-000	SFR	0.144	1.000	112.52	112.52
196-520-340-000	SFR	0.137	1.000	112.52	112.52

**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
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**PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Acreage</b>	<b>Units</b>	<b>Rate</b>	<b>Levy<sup>(1)</sup></b>
196-520-350-000	SFR	0.137	1.000	112.52	112.52
196-520-360-000	SFR	0.137	1.000	112.52	112.52
196-520-370-000	SFR	0.137	1.000	112.52	112.52
196-520-380-000	SFR	0.142	1.000	112.52	112.52
196-520-390-000	SFR	0.148	1.000	112.52	112.52
196-520-400-000	SFR	0.137	1.000	112.52	112.52
196-520-410-000	SFR	0.137	1.000	112.52	112.52
196-520-420-000	SFR	0.137	1.000	112.52	112.52
196-520-430-000	SFR	0.137	1.000	112.52	112.52
196-520-440-000	SFR	0.141	1.000	112.52	112.52
196-520-450-000	SFR	0.160	1.000	112.52	112.52
196-520-460-000	SFR	0.147	1.000	112.52	112.52
196-520-470-000	SFR	0.147	1.000	112.52	112.52
196-520-480-000	SFR	0.147	1.000	112.52	112.52
196-520-490-000	SFR	0.140	1.000	112.52	112.52
196-520-510-000	SFR	0.182	1.000	112.52	112.52
196-520-520-000	SFR	0.247	1.000	112.52	112.52
196-520-530-000	SFR	0.140	1.000	112.52	112.52
196-520-540-000	SFR	0.143	1.000	112.52	112.52
196-520-550-000	SFR	0.146	1.000	112.52	112.52
196-520-560-000	SFR	0.154	1.000	112.52	112.52
196-520-570-000	SFR	0.218	1.000	112.52	112.52
196-530-010-000	SFR	0.137	1.000	112.52	112.52
196-530-020-000	SFR	0.137	1.000	112.52	112.52
196-530-030-000	SFR	0.137	1.000	112.52	112.52
196-530-040-000	SFR	0.137	1.000	112.52	112.52
196-530-050-000	SFR	0.137	1.000	112.52	112.52
196-530-060-000	SFR	0.137	1.000	112.52	112.52
196-530-070-000	SFR	0.169	1.000	112.52	112.52
196-530-080-000	SFR	0.144	1.000	112.52	112.52
196-530-090-000	SFR	0.137	1.000	112.52	112.52
196-530-100-000	SFR	0.139	1.000	112.52	112.52
196-530-110-000	SFR	0.138	1.000	112.52	112.52
196-530-120-000	SFR	0.223	1.000	112.52	112.52
196-530-130-000	SFR	0.180	1.000	112.52	112.52
196-530-140-000	SFR	0.220	1.000	112.52	112.52
196-530-150-000	SFR	0.138	1.000	112.52	112.52
196-530-160-000	SFR	0.139	1.000	112.52	112.52
196-530-170-000	SFR	0.137	1.000	112.52	112.52
196-530-180-000	SFR	0.144	1.000	112.52	112.52
196-530-190-000	SFR	0.137	1.000	112.52	112.52
196-530-200-000	SFR	0.138	1.000	112.52	112.52
196-530-210-000	SFR	0.138	1.000	112.52	112.52
196-530-220-000	SFR	0.138	1.000	112.52	112.52
196-530-230-000	SFR	0.159	1.000	112.52	112.52
196-530-240-000	SFR	0.161	1.000	112.52	112.52
196-530-250-000	SFR	0.181	1.000	112.52	112.52
196-530-260-000	SFR	0.141	1.000	112.52	112.52
196-530-270-000	SFR	0.139	1.000	112.52	112.52
196-530-280-000	SFR	0.143	1.000	112.52	112.52
196-530-290-000	SFR	0.194	1.000	112.52	112.52
196-530-300-000	SFR	0.181	1.000	112.52	112.52
196-530-310-000	SFR	0.208	1.000	112.52	112.52



**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
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**PARCEL LISTING**

APN	Land Use	Acreage	Units	Rate	Levy <sup>(1)</sup>
196-530-320-000	SFR	0.160	1.000	112.52	112.52
196-530-330-000	SFR	0.138	1.000	112.52	112.52
196-530-340-000	SFR	0.146	1.000	112.52	112.52
196-530-350-000	SFR	0.145	1.000	112.52	112.52
196-530-360-000	SFR	0.158	1.000	112.52	112.52
196-530-370-000	SFR	0.182	1.000	112.52	112.52
196-530-380-000	SFR	0.236	1.000	112.52	112.52
196-530-390-000	SFR	0.205	1.000	112.52	112.52
196-530-400-000	SFR	0.192	1.000	112.52	112.52
196-530-410-000	SFR	0.143	1.000	112.52	112.52
196-530-420-000	SFR	0.139	1.000	112.52	112.52
196-530-430-000	SFR	0.139	1.000	112.52	112.52
196-530-440-000	SFR	0.142	1.000	112.52	112.52
196-530-450-000	SFR	0.153	1.000	112.52	112.52
196-530-460-000	SFR	0.138	1.000	112.52	112.52
196-530-470-000	SFR	0.137	1.000	112.52	112.52
196-530-480-000	SFR	0.137	1.000	112.52	112.52
196-530-490-000	SFR	0.137	1.000	112.52	112.52
196-530-500-000	SFR	0.144	1.000	112.52	112.52
196-530-510-000	SFR	0.154	1.000	112.52	112.52
196-530-520-000	SFR	0.146	1.000	112.52	112.52
196-530-530-000	SFR	0.142	1.000	112.52	112.52
196-530-540-000	SFR	0.210	1.000	112.52	112.52
196-530-550-000	SFR	0.173	1.000	112.52	112.52
196-530-560-000	SFR	0.239	1.000	112.52	112.52
196-530-570-000	SFR	0.155	1.000	112.52	112.52
196-530-580-000	SFR	0.145	1.000	112.52	112.52
196-530-590-000	SFR	0.147	1.000	112.52	112.52
196-530-600-000	SFR	0.147	1.000	112.52	112.52
196-540-010-000	SFR	0.189	1.000	112.52	112.52
196-540-020-000	SFR	0.232	1.000	112.52	112.52
196-540-030-000	SFR	0.200	1.000	112.52	112.52
196-540-040-000	SFR	0.232	1.000	112.52	112.52
196-540-050-000	SFR	0.207	1.000	112.52	112.52
196-540-060-000	SFR	0.157	1.000	112.52	112.52
196-540-070-000	SFR	0.143	1.000	112.52	112.52
196-540-080-000	SFR	0.138	1.000	112.52	112.52
196-540-090-000	SFR	0.138	1.000	112.52	112.52
196-540-100-000	SFR	0.138	1.000	112.52	112.52
196-540-110-000	SFR	0.138	1.000	112.52	112.52
196-540-120-000	SFR	0.138	1.000	112.52	112.52
196-540-130-000	SFR	0.142	1.000	112.52	112.52
196-540-140-000	SFR	0.158	1.000	112.52	112.52
196-540-150-000	SFR	0.159	1.000	112.52	112.52
196-540-160-000	SFR	0.145	1.000	112.52	112.52
196-540-180-000	SFR	0.148	1.000	112.52	112.52
196-540-190-000	SFR	0.137	1.000	112.52	112.52
196-540-200-000	SFR	0.137	1.000	112.52	112.52
196-540-210-000	SFR	0.130	1.000	112.52	112.52
196-540-220-000	SFR	0.137	1.000	112.52	112.52
196-540-230-000	SFR	0.137	1.000	112.52	112.52
196-540-240-000	SFR	0.137	1.000	112.52	112.52
196-540-250-000	SFR	0.137	1.000	112.52	112.52

**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Acreage</b>	<b>Units</b>	<b>Rate</b>	<b>Levy<sup>(1)</sup></b>
196-540-260-000	SFR	0.142	1.000	112.52	112.52
196-540-270-000	SFR	0.146	1.000	112.52	112.52
196-540-280-000	SFR	0.145	1.000	112.52	112.52
196-540-290-000	SFR	0.170	1.000	112.52	112.52
196-540-300-000	SFR	0.146	1.000	112.52	112.52
196-540-310-000	SFR	0.158	1.000	112.52	112.52
196-540-320-000	SFR	0.150	1.000	112.52	112.52
196-540-330-000	SFR	0.144	1.000	112.52	112.52
196-540-340-000	SFR	0.137	1.000	112.52	112.52
196-540-350-000	SFR	0.137	1.000	112.52	112.52
196-540-360-000	SFR	0.137	1.000	112.52	112.52
196-540-370-000	SFR	0.137	1.000	112.52	112.52
196-540-380-000	SFR	0.137	1.000	112.52	112.52
196-540-390-000	SFR	0.137	1.000	112.52	112.52
196-540-400-000	SFR	0.138	1.000	112.52	112.52
196-540-410-000	SFR	0.138	1.000	112.52	112.52
196-540-420-000	SFR	0.139	1.000	112.52	112.52
196-540-430-000	SFR	0.139	1.000	112.52	112.52
196-540-440-000	SFR	0.140	1.000	112.52	112.52
196-540-450-000	SFR	0.139	1.000	112.52	112.52
196-540-460-000	SFR	0.139	1.000	112.52	112.52
196-540-470-000	SFR	0.140	1.000	112.52	112.52
196-540-480-000	SFR	0.139	1.000	112.52	112.52
196-540-490-000	SFR	0.138	1.000	112.52	112.52
196-540-500-000	SFR	0.159	1.000	112.52	112.52
196-550-010-000	SFR	0.160	1.000	112.52	112.52
196-550-020-000	SFR	0.263	1.000	112.52	112.52
196-550-030-000	SFR	0.215	1.000	112.52	112.52
196-550-040-000	SFR	0.178	1.000	112.52	112.52
196-550-050-000	SFR	0.156	1.000	112.52	112.52
196-550-060-000	SFR	0.145	1.000	112.52	112.52
196-550-070-000	SFR	0.137	1.000	112.52	112.52
196-550-080-000	SFR	0.137	1.000	112.52	112.52
196-550-090-000	SFR	0.137	1.000	112.52	112.52
196-550-100-000	SFR	0.137	1.000	112.52	112.52
196-550-110-000	SFR	0.137	1.000	112.52	112.52
196-550-120-000	SFR	0.137	1.000	112.52	112.52
196-550-130-000	SFR	0.144	1.000	112.52	112.52
196-550-140-000	SFR	0.144	1.000	112.52	112.52
196-550-150-000	SFR	0.137	1.000	112.52	112.52
196-550-160-000	SFR	0.137	1.000	112.52	112.52
196-550-170-000	SFR	0.137	1.000	112.52	112.52
196-550-180-000	SFR	0.137	1.000	112.52	112.52
196-550-190-000	SFR	0.137	1.000	112.52	112.52
196-550-200-000	SFR	0.137	1.000	112.52	112.52
196-550-210-000	SFR	0.154	1.000	112.52	112.52
196-550-220-000	SFR	0.143	1.000	112.52	112.52
196-550-230-000	SFR	0.143	1.000	112.52	112.52
196-550-240-000	SFR	0.144	1.000	112.52	112.52
196-550-250-000	SFR	0.142	1.000	112.52	112.52
196-550-260-000	SFR	0.143	1.000	112.52	112.52
196-550-270-000	SFR	0.143	1.000	112.52	112.52
196-550-280-000	SFR	0.143	1.000	112.52	112.52

**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

APN	Land Use	Acreage	Units	Rate	Levy <sup>(1)</sup>
196-550-290-000	SFR	0.143	1.000	112.52	112.52
196-550-300-000	SFR	0.143	1.000	112.52	112.52
196-550-310-000	SFR	0.167	1.000	112.52	112.52
196-560-010-000	SFR	0.147	1.000	112.52	112.52
196-560-020-000	SFR	0.154	1.000	112.52	112.52
196-560-030-000	SFR	0.154	1.000	112.52	112.52
196-560-040-000	SFR	0.154	1.000	112.52	112.52
196-560-050-000	SFR	0.154	1.000	112.52	112.52
196-560-060-000	SFR	0.154	1.000	112.52	112.52
196-560-070-000	SFR	0.154	1.000	112.52	112.52
196-560-080-000	SFR	0.163	1.000	112.52	112.52
196-560-090-000	SFR	0.196	1.000	112.52	112.52
196-560-100-000	SFR	0.228	1.000	112.52	112.52
196-560-110-000	SFR	0.247	1.000	112.52	112.52
196-560-120-000	SFR	0.246	1.000	112.52	112.52
196-560-130-000	SFR	0.281	1.000	112.52	112.52
196-560-140-000	SFR	0.163	1.000	112.52	112.52
196-560-150-000	SFR	0.175	1.000	112.52	112.52
196-560-160-000	SFR	0.200	1.000	112.52	112.52
196-560-170-000	SFR	0.174	1.000	112.52	112.52
196-560-180-000	SFR	0.154	1.000	112.52	112.52
196-560-190-000	SFR	0.150	1.000	112.52	112.52
196-570-010-000	SFR	0.171	1.000	112.52	112.52
196-570-020-000	SFR	0.144	1.000	112.52	112.52
196-570-030-000	SFR	0.137	1.000	112.52	112.52
196-570-040-000	SFR	0.137	1.000	112.52	112.52
196-570-050-000	SFR	0.137	1.000	112.52	112.52
196-570-060-000	SFR	0.137	1.000	112.52	112.52
196-570-070-000	SFR	0.137	1.000	112.52	112.52
196-570-080-000	SFR	0.156	1.000	112.52	112.52
196-570-090-000	SFR	0.162	1.000	112.52	112.52
196-570-100-000	SFR	0.158	1.000	112.52	112.52
196-570-110-000	SFR	0.160	1.000	112.52	112.52
196-570-120-000	SFR	0.160	1.000	112.52	112.52
196-570-130-000	SFR	0.160	1.000	112.52	112.52
196-570-140-000	SFR	0.161	1.000	112.52	112.52
196-570-150-000	SFR	0.149	1.000	112.52	112.52
196-570-160-000	SFR	0.146	1.000	112.52	112.52
196-570-170-000	SFR	0.143	1.000	112.52	112.52
196-570-180-000	SFR	0.149	1.000	112.52	112.52
196-570-190-000	SFR	0.145	1.000	112.52	112.52
196-570-200-000	SFR	0.137	1.000	112.52	112.52
196-570-210-000	SFR	0.144	1.000	112.52	112.52
196-570-220-000	SFR	0.144	1.000	112.52	112.52
196-570-230-000	SFR	0.137	1.000	112.52	112.52
196-570-240-000	SFR	0.137	1.000	112.52	112.52
196-570-250-000	SFR	0.138	1.000	112.52	112.52
196-570-270-000	SFR	0.139	1.000	112.52	112.52
196-570-280-000	SFR	0.153	1.000	112.52	112.52
196-570-290-000	SFR	0.149	1.000	112.52	112.52
196-570-300-000	SFR	0.137	1.000	112.52	112.52
196-570-310-000	SFR	0.138	1.000	112.52	112.52
196-570-320-000	SFR	0.139	1.000	112.52	112.52

**CITY OF LATHROP**  
**CITY ZONE 1 - STORM DRAINAGE**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

APN	Land Use	Acreage	Units	Rate	Levy <sup>(1)</sup>
196-570-330-000	SFR	0.137	1.000	112.52	112.52
196-570-340-000	SFR	0.137	1.000	112.52	112.52
196-570-350-000	SFR	0.147	1.000	112.52	112.52
196-570-360-000	SFR	0.149	1.000	112.52	112.52
196-570-370-000	SFR	0.149	1.000	112.52	112.52
196-570-380-000	SFR	0.149	1.000	112.52	112.52
196-570-390-000	SFR	0.149	1.000	112.52	112.52
196-570-400-000	SFR	0.149	1.000	112.52	112.52
196-570-410-000	SFR	0.149	1.000	112.52	112.52
196-570-420-000	SFR	0.152	1.000	112.52	112.52
196-570-430-000	SFR	0.144	1.000	112.52	112.52
196-570-440-000	SFR	0.147	1.000	112.52	112.52
196-570-450-000	SFR	0.145	1.000	112.52	112.52
196-570-460-000	SFR	0.167	1.000	112.52	112.52
196-570-470-000	SFR	0.201	1.000	112.52	112.52
196-570-480-000	SFR	0.170	1.000	112.52	112.52
196-570-490-000	SFR	0.142	1.000	112.52	112.52
196-570-500-000	SFR	0.144	1.000	112.52	112.52
196-570-510-000	SFR	0.144	1.000	112.52	112.52
196-570-520-000	SFR	0.144	1.000	112.52	112.52
196-570-530-000	SFR	0.144	1.000	112.52	112.52
196-570-540-000	SFR	0.143	1.000	112.52	112.52
196-570-550-000	SFR	0.138	1.000	112.52	112.52
196-570-560-000	SFR	0.210	1.000	112.52	112.52
196-570-570-000	SFR	0.176	1.000	112.52	112.52
196-570-580-000	SFR	0.160	1.000	112.52	112.52
196-570-590-000	SFR	0.138	1.000	112.52	112.52
196-570-600-000	SFR	0.143	1.000	112.52	112.52
196-570-610-000	SFR	0.152	1.000	112.52	112.52
196-740-010-000	SFR	0.000	1.000	112.52	112.52
196-740-020-000	SFR	0.000	1.000	112.52	112.52
196-740-030-000	SFR	0.000	1.000	112.52	112.52
196-740-040-000	SFR	0.000	1.000	112.52	112.52
196-740-050-000	SFR	0.000	1.000	112.52	112.52
196-740-060-000	SFR	0.000	1.000	112.52	112.52
196-740-070-000	SFR	0.000	1.000	112.52	112.52
196-740-080-000	SFR	0.000	1.000	112.52	112.52
196-740-090-000	SFR	0.000	1.000	112.52	112.52
196-760-010-000	SFR	0.119	1.000	112.52	112.52
196-760-020-000	SFR	0.116	1.000	112.52	112.52
196-760-030-000	SFR	0.116	1.000	112.52	112.52
196-760-040-000	SFR	0.115	1.000	112.52	112.52
196-760-050-000	SFR	0.116	1.000	112.52	112.52
196-760-060-000	SFR	0.116	1.000	112.52	112.52
196-760-070-000	SFR	0.116	1.000	112.52	112.52
196-760-080-000	SFR	0.152	1.000	112.52	112.52
196-760-090-000	SFR	0.168	1.000	112.52	112.52
196-760-100-000	SFR	0.118	1.000	112.52	112.52
196-760-110-000	SFR	0.115	1.000	112.52	112.52
196-760-120-000	SFR	0.120	1.000	112.52	112.52
196-760-130-000	SFR	0.123	1.000	112.52	112.52
196-760-140-000	SFR	0.140	1.000	112.52	112.52
196-760-150-000	SFR	0.115	1.000	112.52	112.52

**CITY OF LATHROP  
CITY ZONE 1 - STORM DRAINAGE  
FISCAL YEAR 2020/21  
PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>Acreage</b>	<b>Units</b>	<b>Rate</b>	<b>Levy<sup>(1)</sup></b>
196-760-160-000	SFR	0.114	1.000	112.52	112.52
196-760-170-000	SFR	0.114	1.000	112.52	112.52
196-760-180-000	SFR	0.114	1.000	112.52	112.52
196-760-190-000	SFR	0.120	1.000	112.52	112.52
196-760-200-000	SFR	0.130	1.000	112.52	112.52
196-760-210-000	SFR	0.114	1.000	112.52	112.52
196-760-220-000	SFR	0.114	1.000	112.52	112.52
196-760-230-000	SFR	0.114	1.000	112.52	112.52
196-760-240-000	SFR	0.114	1.000	112.52	112.52
196-760-250-000	SFR	0.142	1.000	112.52	112.52
196-760-260-000	SFR	0.148	1.000	112.52	112.52
196-760-300-000	SFR	0.167	1.000	112.52	112.52
196-760-310-000	SFR	0.147	1.000	112.52	112.52
196-760-320-000	SFR	0.260	1.000	112.52	112.52
<b>Totals:</b>	<b>2,081</b>	<b>Parcels</b>	<b>2,125.322</b>		<b>\$239,140.96</b>

(1) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.

(2) Per City instruction, APN 196-070-270-000 is assessable.

# CITY OF LATHROP

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## City Zone 1A Storm Drainage Annual Engineer's Report

Fiscal Year 2020/21

Prepared by:



Corporate Headquarters  
32605 Temecula Parkway, Suite 100  
Temecula, CA 92592  
Toll free: 800.676.7516

**CITY OF LATHROP  
CITY ZONE 1A STORM DRAINAGE**

**390 Towne Centre Drive  
Lathrop, California 95330  
Phone - (209) 941-7320  
Fax - (209) 941-7339**

---

**CITY COUNCIL**

Sonny Dhaliwal, Mayor

Martha Salcedo, Vice Mayor

Paul Akinjo, Councilmember

Diane Lazard, Councilmember

Jennifer Torres-O'Callaghan, Councilmember

**CITY STAFF**

Stephen Salvatore, City Manager

Salvador Navarrete, City Attorney

Cari James, Finance Director

Glenn Gebhardt, City Engineer

**NBS**

Tim Seufert, Client Services Director

Kristin Harvey, Senior Consultant

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# 1. ENGINEER'S LETTER

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**WHEREAS**, the City Council of the City of Lathrop (the "City"), State of California, directed NBS Government Finance Group, DBA NBS ("NBS") to prepare and file a report presenting plans and specifications describing the general nature, location, and extent of the improvements to be maintained, and an estimate of the costs of the maintenance, operations, and servicing of the improvements for the City Zone 1A Storm Drainage ("City Zone 1A" or the "District") for Fiscal Year 2020/21. The report includes a diagram for the District showing the area and properties proposed to be assessed, an assessment of the estimated costs of the maintenance, operations and servicing of the improvements, and the net amount to be assessed upon all assessable parcels within the District in proportion to the special benefit received;

**WHEREAS**, the assessment for City Zone 1A for Fiscal Year 1996/97 and thereafter, of \$84.72 per Maintenance Unit and \$115.20 per Availability Unit meets the requirements of an existing assessment that is not subject to the assessment ballot procedures under Section 5(a) of Article XIII D of the California Constitution which reads: *"the following assessments existing on the effective date of this article shall be exempt from the procedures and approval process...any assessment imposed exclusively to finance the capital costs or maintenance and operation expenses for sidewalks, streets, sewers, water, flood control, drainage systems or vector control."* The City may continue to levy the assessment for City Zone 1A as long as the rate does not exceed \$84.72 per Maintenance Unit and \$115.20 per Availability Unit;

**NOW THEREFORE**, only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated benefit received. The following assessment is made to fund the portion of the estimated costs of maintenance, operation, and servicing of said improvements to be paid by the assessable real property within City Zone 1A in proportion to the special benefit received.

**SUMMARY OF ASSESSMENT**

Description	Amount
Total Costs to be Assessed	\$133,943.00
Contribution to (from) Operational Reserves	0.00
Contribution to (from) Capital Reserves	0.00
Other Revenue Sources <sup>(1)</sup>	<u>(20,579.00)</u>
<b>Balance to Levy</b>	<b>\$113,364.00</b>
Total Maintenance Costs to be Assessed <sup>(2)</sup>	\$48,040.20
Total Maintenance Units to be Assessed	567.047
<b>Total Maintenance Assessment per Unit</b>	<b>\$84.72</b>
Total Availability Costs to be Assessed <sup>(2)</sup>	\$65,323.80
Total Availability Units to be Assessed	567.047
<b>Total Availability Assessment per Unit</b>	<b>\$115.20</b>
<b>Total Parcels to be Assessed</b>	<b>153</b>

(1) Includes General Fund contribution.

(2) Where applicable, the actual levy will be rounded down to an even cent for San Joaquin County tax roll purposes.

I, the undersigned, respectfully submit the enclosed Engineer's Report and, to the best of my knowledge, information, and belief, the Engineer's Report, Assessments, and the District Diagram herein have been prepared and computed in accordance with the order and historical practices of the City Council of the City.

---

NBS Government Finance Group, DBA NBS



## 2. OVERVIEW

---

### 2.1 Introduction

The City Council of the City of Lathrop (the “City”), previously accepted responsibility for portions of County Service Area (the “CSA”) No. 4, within the Crossroads Development, known as City Zone 1A Storm Drainage. City acceptance was made at the time of incorporation of the City and approved at an election on June 6, 1989. The City was authorized by the Local Agency Formation Commission (“LAFCO”) to continue to collect assessments and service charges as were previously authorized by the County of San Joaquin (the “County”).

This Annual Engineer’s Report (the “Report”) describes the District and the charge per parcel for Fiscal Year 2020/21 based on the historical and estimated cost to maintain the improvements and provide the services that benefit parcels within the District. The parcels contained within City Zone 1A receive a special benefit from the improvements and will pay only their fair share of the costs of the operations, servicing, and maintenance of the improvements within the District.

The word “parcel,” for the purposes of this Report, refers to an individual property assigned its own Assessor’s Parcel Number by the County Assessor’s Office. The County Auditor-Controller uses Assessor’s Parcel Numbers and specific fund numbers to identify, on the tax roll, properties assessed for special district benefit assessments.

Following consideration of public comments and written protests at a noticed public hearing, and following review of the Report, the City Council may confirm the Report. Following final approval of the Report and confirmation of the assessments, the City Council may order the levy and collection of assessments for Fiscal Year 2020/21. The assessment information will be submitted to the County Auditor-Controller and included on the property tax roll for each benefiting parcel for Fiscal Year 2020/21.

### 2.2 Effect of Proposition 218

On November 5, 1996, California voters approved Proposition 218 by a vote of 56.5% to 43.5%. The provisions of the Proposition, now California Constitutional Articles XIII C and XIII D, added substantive and procedural requirements for assessments which affect City Zone 1A.

- The assessments for City Zone 1A for Fiscal Year 1996/97 and thereafter of \$84.72 per Maintenance Unit and \$115.20 per Availability Unit meet the requirements of existing assessments that are not subject to the assessment ballot procedures under Section 5(a) of Article XIII D which reads: *“the following assessments existing on the effective date of this article shall be exempt from the procedures and approval process...any assessment imposed exclusively to finance the capital costs or maintenance and operation expenses for sidewalks, streets, sewers, water, flood control, **drainage systems** or vector control.”*
- The City may continue to levy the assessments for City Zone 1A as long as the rates do not exceed \$84.72 per Maintenance Unit and \$115.20 per Availability Unit.

- Section 5 of Article XIII D reads: *“Beginning July 1, 1997, all existing, new, or increased assessments shall comply with this article.”* This requires that all proposed increases in the assessments for City Zone 1A are required to be approved by property owners following the assessment balloting procedures set forth in Section 4 of Article XIII D.

## **2.3 Plans and Specifications for the Improvements**

City Zone 1A provides services necessary to maintain existing storm drain facilities in addition to long term repair and renovation of the facilities. The District encompasses the area south of Louise Avenue, east of Interstate 5, and northwest of the Southern Pacific Railroad.

Due to the existence of storm drain inlets on streets within and adjacent to the Crossroads project, ingress and egress to and from the properties is enhanced. In addition, all storm drain facilities currently installed in the District are projected to be of sufficient capacity to accept storm runoff from all District properties at ultimate project build-out. Therefore all District properties will be charged for the costs related to the availability of the current system and the enhanced access to the properties afforded by that system.

Those properties that contribute runoff (and therefore, debris) into the storm drain system will be assessed their proportionate share of the incremental costs of maintaining the storm drain system, based upon their relative size and amount of run off contributed. Parcels currently contributing runoff into the system are those in the “Phase I” area as well as all those in the northern section of the District. Parcels that do not contribute to the system do not receive this charge.

All improvements within the District are maintained and serviced on a regular basis. The frequency and specific maintenance operations required within the District will be determined by City staff, but are generally scheduled weekly. It should be noted that extraordinary maintenance and capital asset replacement has not occurred for several years due to the lack of funding beyond that which provides for the District’s ordinary, baseline maintenance. The District has been limited to the same assessment rate since District formation because of the absence of an annual cost escalation factor.

Only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated benefit received. As properties within the District develop and contribute runoff into the system, they will be assessed for their proportionate share of the maintenance costs.

## 3. ESTIMATE OF COSTS

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### 3.1 Description of Budget Items

**Personnel Services** - Includes employee salaries, salary related costs, and employee benefits including retirement, medical benefits, and workers compensation costs, etc.

**Maintenance & Operations** - Includes the following:

**Advertising/Legal Notices** - Includes the cost of publishing the required legal notices necessary to complete the required procedures for levying the assessments.

**Auto & Heavy Equipment Maintenance Parts** - Includes replacement parts for City vehicles used for storm drain maintenance.

**Auto & Heavy Equipment Maintenance & Repair** - Includes maintenance of City vehicles used for storm drain maintenance.

**Chemicals** - Includes insect repellent, weed killer, and rodent control.

**Communication Equipment Repair** - Includes repair of mobile and portable radios.

**Contract Services** - Includes professional services necessary for District maintenance, including computer technical support, the preparation of the Report, and administration.

**Contracts - Other** - Includes uniform service, calibration services, Sheriff's Community Corp., alarm service, and annual engine service.

**Contracts - Building and Ground Maintenance** - Includes professional services necessary for District maintenance, including building and ground maintenance.

**Gas, Diesel, Oil & Lubricants** - Includes fuel, oil, and lubricants for vehicles, and miscellaneous small equipment used for storm drain maintenance and lift station.

**Insurance** - Includes insurance costs on property associated with storm drain maintenance.

**Miscellaneous Supplies** - Includes office equipment and supplies, tools, reference materials, and additional administrative costs. Includes items related to non-contracted maintenance and repair such as barricade batteries, paint, collection line repair, cones, signs, etc.

**Other Maintenance & Repair** - Includes contracted maintenance and repair services such as annual fire extinguisher service and emergency repairs.

**Printing & Typesetting** - Includes the cost of preparing the required legal notices necessary to complete the required procedures for levying the assessments.

**Training, Membership, Travel & Dues** - Includes continuing training for maintenance staff.

**Uniforms/Protective Clothing** - Includes employee uniforms including safety boots, jackets, gloves, etc.

**Utilities - Gas & Electric** - Includes electrical power for the storm drain pump station.

Fixed Charges & Special Fees - Includes the charges per parcel to collect the assessments on the County Secured Property Tax Roll.

**Capital Costs** - Includes depreciation costs of City owned equipment.

**Indirect Costs** - Includes overhead costs of the City related to maintenance, operation, and administration of the District.

### 3.2 City Zone 1A Budget

The budget for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Personnel Services	\$20,906.00
Maintenance & Operations Total	90,460.00
Capital Costs	0.00
<b>Subtotal</b>	<b>\$111,366.00</b>
Indirect Costs	22,577.00
Equipment Replacement	0.00
Capital Replacement	0.00
<b>Total District Costs</b>	<b>\$133,943.00</b>
Contribution to (from) Operational Reserves	0.00
Contribution to (from) Capital Reserves	0.00
Other Revenue Sources <sup>(1)</sup>	(20,579.00)
<b>Total Balance to Levy</b>	<b>\$113,364.00</b>
Maintenance Portion of Balance to Levy <sup>(2)</sup>	\$48,040.20
Availability Portion of Balance to Levy <sup>(2)</sup>	\$65,323.80

(1) Includes General Fund contribution.

(2) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.

### 3.3 Balance to Levy

**Total District Costs** - Includes the personnel services, maintenance, and operations, capital (including capital replacement costs), indirect costs and equipment, and capital replacement costs.

**Contribution to (from) Operational Reserves** - The Operational Reserves item provides funds to operate the District from the time period of July 1 (beginning of the fiscal year) through December when the County provides the City with the first installment of assessments collected from the property tax bills. This eliminates the need for the City to transfer funds from non-District accounts to pay for District charges during the first half of the fiscal year. Negative amounts shown here are transfers that are used to reduce the Balance to Levy. Using reserve amounts in this way allows the levy per unit to remain at prior period rates, despite increases in District costs.

**Contribution to (from) Capital Reserves** - The Capital Reserve Account item provides funds to maintain reserves for extraordinary maintenance items and unexpected capital expenditures that may occur as a result of natural occurrences or other unforeseen circumstances.

**Other Revenue Sources** - This is the amount of additional funds designated for use by the District that are not from District assessments. These funds are added to the District account to reduce assessments and may be from either non-District sources including City General Fund contributions or District sources including interest earnings.

**Balance to Levy** - This is the total amount to be levied and collected through assessments for the current fiscal year. The Balance to Levy represents the sum of the total direct and administration costs, reserves, contributions, and other revenue sources.

The following table shows the total costs, additional revenues, and the Balance to Levy for Fiscal Year 2020/21.

Description	Amount
Total District Costs	\$133,943.00
Contribution to (from) Operational Reserves	0.00
Contribution to (from) Capital Reserves	0.00
Other Revenue Sources <sup>(1)</sup>	<u>(20,579.00)</u>
<b>Balance to Levy</b>	<b>\$113,364.00</b>

(1) Includes General Fund contribution.

### 3.4 Operational & Maintenance Reserve Information

The following table shows the estimated balance of the Operational and Maintenance Reserves.

Description	Amount
Estimated Beginning Balance - July 1, 2020	\$0.00
Contribution to (from) Operational and Maintenance Reserves	<u>0.00</u>
<b>Estimated Ending Balance - June 30, 2021</b>	<b>\$0.00</b>

## 4. METHOD OF APPORTIONMENT

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### 4.1 Method of Apportionment

The costs of the District are apportioned by a formula or method which fairly distributes the net amount to be assessed, among all assessable parcels in proportion to the estimated special benefits to be received by each such parcel from the operations, servicing, and maintenance of the improvements. The formula reflects the composition of the parcels and the improvements and services provided, to fairly apportion the costs based on estimated special benefit to each parcel. The assessment has been levied in accordance with the assessment methodology adopted and approved by the City Council at the time of District formation.

The method used to calculate the assessments is as follows:

<b>Maintenance Budget</b>	/	<b>Maintenance Benefiting Units</b>	=	<b>Assessment Rate Per Maintenance Unit</b>
<b>Assessment Rate Per Maintenance Unit</b>	x	<b>Parcel Maintenance Units</b>	=	<b>Parcel Maintenance Assessment</b>

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<b>Availability Budget</b>	/	<b>Availability Benefiting Units</b>	=	<b>Assessment Rate Per Availability Unit</b>
<b>Assessment Rate Per Availability Unit</b>	x	<b>Parcel Availability Units</b>	=	<b>Parcel Availability Assessment</b>

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<b>Parcel Maintenance Assessment</b>	+	<b>Parcel Availability Assessment</b>	=	<b>Parcel Assessment</b>
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The Maintenance Units and Availability Units are equivalent to the parcel's specific acreage. Parcels that are less than one acre are assessed for one acre. Parcels that are larger than or equal to one acre are assessed based on actual acreage.



## 4.2 Maintenance Assessment Per Unit

The following table shows the maintenance assessment per unit for the Fiscal Year 2020/21 levy.

Description	Amount
Maintenance Portion of Balance to Levy <sup>(1)</sup>	\$48,040.20
Maintenance Units	567.047
<b>Maintenance Assessment Per Unit</b>	<b>\$84.72</b>

(1) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.

## 4.3 Availability Assessment Per Unit

The following table shows the availability assessment per unit for the Fiscal Year 2020/21 levy.

Description	Amount
Availability Portion of Balance to Levy <sup>(1)</sup>	\$65,323.80
Availability Units	567.047
<b>Availability Assessment Per Unit</b>	<b>\$115.20</b>

(1) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.

## 4.4 Total Assessment Per Unit

The following table shows the total assessment per unit for the Fiscal Year 2020/21 levy.

Description	Amount
Maintenance Assessment Per Unit	\$84.72
Availability Assessment Per Unit	115.20
<b>Total Assessment Per Unit</b>	<b>\$199.92</b>

## 4.5 Historical Assessment Information

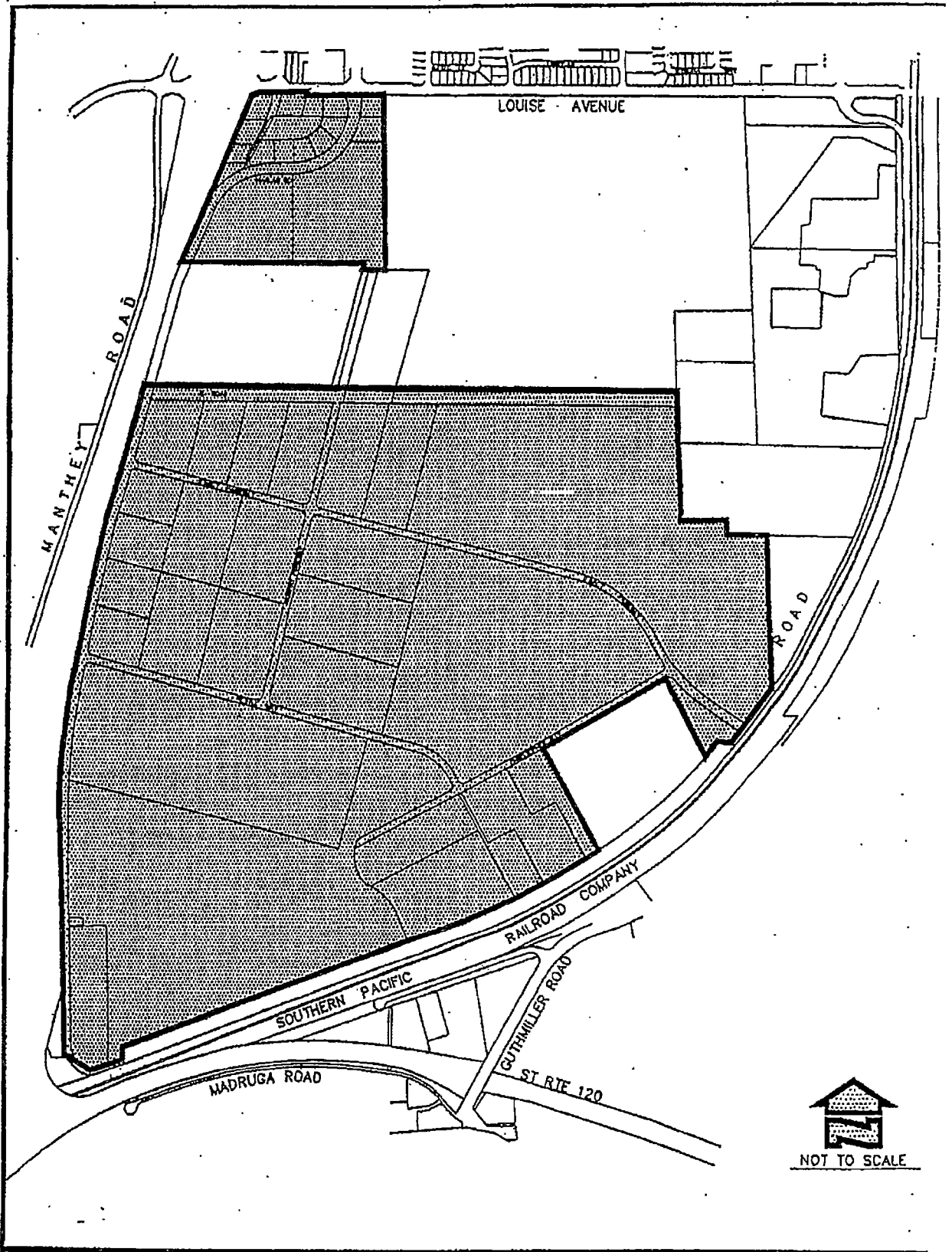
The following table shows the historical assessment rates for the District for the past ten years.

Fiscal Year	Maintenance Assessment Per Unit	Availability Assessment Per Unit	Total Amount
Fiscal Year 2019/20	\$84.72	\$115.20	\$199.92
Fiscal Year 2018/19	84.72	115.20	199.92
Fiscal Year 2017/18	84.72	115.20	199.92
Fiscal Year 2016/17	84.72	115.20	199.92
Fiscal Year 2015/16	84.72	115.20	199.92
Fiscal Year 2014/15	84.72	115.20	199.92
Fiscal Year 2013/14	84.72	115.20	199.92
Fiscal Year 2012/13	84.72	115.20	199.92
Fiscal Year 2011/12	84.72	115.20	199.92
Fiscal Year 2010/11	84.72	115.20	199.92

## 5. DISTRICT DIAGRAM

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Reference is made to the District Diagram on file with the City Clerk. The following page provides the boundaries of the District. The lines and dimensions shown on maps of the County Assessor for the current year are incorporated by reference and made part of this Report.



# City of Lathrop

## Storm Drain Zone 1A



Date: February 15

## 6. PARCEL LISTING

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The parcel listing of assessments is provided on the following pages. The description of each lot or parcel is a part of the records of the County Assessor and is incorporated by reference and made part of this Report.

**CITY OF LATHROP**  
**CITY ZONE 1A - STORM DRAINAGE**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

APN	Land Use	Acreage	Maintenance Assessment			Availability Assessment			Total Levy
			Units	Rate	Levy*	Units	Rate	Levy*	
198-130-300-000	COM	8.6300	8.6300	\$84.72	\$731.13	8.6300	\$115.20	\$994.18	\$1,725.30
198-130-390-000	INV	27.9300	27.9300	84.72	2,366.23	27.9300	115.20	3217.54	5,583.76
198-130-420-000	IND	47.1600	47.1600	84.72	3,995.40	47.1600	115.20	5432.83	9,428.22
198-130-540-000	INV	5.0200	5.0200	84.72	425.29	5.0200	115.20	578.30	1,003.58
198-130-550-000	INV	7.2100	7.2100	84.72	610.83	7.2100	115.20	830.59	1,441.42
198-130-560-000	INV	6.0400	6.0400	84.72	511.71	6.0400	115.20	695.81	1,207.52
198-130-570-000	INV	4.8800	4.8800	84.72	413.43	4.8800	115.20	562.18	975.60
198-130-580-000	INV	1.8300	1.8300	84.72	155.04	1.8300	115.20	210.82	365.86
198-130-610-000	INV	9.7600	9.7600	84.72	826.87	9.7600	115.20	1124.35	1,951.22
198-130-620-000	IND	18.6700	18.6700	84.72	1,581.72	18.6700	115.20	2150.78	3,732.50
198-130-630-000	INV	7.1900	7.1900	84.72	609.14	7.1900	115.20	828.29	1,437.42
198-130-640-000	IND	49.6400	49.6400	84.72	4,205.50	49.6400	115.20	5718.53	9,924.02
198-190-040-000	IND	6.3100	6.3100	84.72	534.58	6.3100	115.20	726.91	1,261.48
198-190-060-000	COM	8.9900	8.9900	84.72	761.63	8.9900	115.20	1035.65	1,797.28
198-190-190-000	IND	12.4900	12.4900	84.72	1,058.15	12.4900	115.20	1438.85	2,497.00
198-190-200-000	IND	12.5000	12.5000	84.72	1,059.00	12.5000	115.20	1440.00	2,499.00
198-190-210-000	IND	13.2000	13.2000	84.72	1,118.30	13.2000	115.20	1520.64	2,638.94
198-190-300-000	IND	11.0000	11.0000	84.72	931.92	11.0000	115.20	1267.20	2,199.12
198-190-310-000	IND	14.7200	14.7200	84.72	1,247.08	14.7200	115.20	1695.74	2,942.82
198-190-320-000	IND	29.1100	29.1100	84.72	2,466.20	29.1100	115.20	3353.47	5,819.66
198-190-330-000	IND	7.2800	7.2800	84.72	616.76	7.2800	115.20	838.66	1,455.42
198-210-020-000	COM	1.1690	1.1690	84.72	99.04	1.1690	115.20	134.67	233.70
198-210-030-000	COM	0.8390	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-040-000	COM	0.6390	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-050-000	COM	0.8500	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-060-000	COM	0.6890	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-070-000	COM	0.7600	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-080-000	COM	0.7390	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-090-000	COM	0.8500	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-100-000	COM	0.8300	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-140-000	COM	0.7390	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-160-000	COM	0.9930	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-170-000	COM	0.9160	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-180-000	COM	14.2800	14.2800	84.72	1,209.80	14.2800	115.20	1645.06	2,854.86
198-210-190-000	COM	18.7000	18.7000	84.72	1,584.26	18.7000	115.20	2154.24	3,738.50
198-210-200-000	COM	0.7740	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-210-000	COM	0.3850	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-220-000	COM	1.3390	1.3390	84.72	113.44	1.3390	115.20	154.25	267.68
198-210-230-000	COM	1.0690	1.0690	84.72	90.57	1.0690	115.20	123.15	213.72
198-220-020-000	IND	19.3900	19.3900	84.72	1,642.72	19.3900	115.20	2233.73	3,876.44

**CITY OF LATHROP**  
**CITY ZONE 1A - STORM DRAINAGE**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

APN	Land Use	Acreage	Maintenance Assessment			Availability Assessment			Total Levy
			Units	Rate	Levy*	Units	Rate	Levy*	
198-220-030-000	IND	10.0100	10.0100	84.72	848.05	10.0100	115.20	1153.15	2,001.20
198-220-090-000	COM	27.7900	27.7900	84.72	2,354.37	27.7900	115.20	3201.41	5,555.78
198-220-100-000	IND	11.4900	11.4900	84.72	973.43	11.4900	115.20	1323.65	2,297.08
198-220-110-000	INV	0.7440	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-220-120-000	IND	23.0700	23.0700	84.72	1,954.49	23.0700	115.20	2657.66	4,612.14
198-240-010-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-020-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-030-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-040-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-050-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-060-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-070-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-080-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-090-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-100-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-110-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-120-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-130-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-140-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-150-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-160-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-170-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-180-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-190-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-200-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-210-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-220-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-230-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-240-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-250-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-260-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-270-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-280-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-290-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-300-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-310-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-320-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-330-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-340-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-350-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92

**CITY OF LATHROP**  
**CITY ZONE 1A - STORM DRAINAGE**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

APN	Land Use	Acreage	Maintenance Assessment			Availability Assessment			Total Levy
			Units	Rate	Levy*	Units	Rate	Levy*	
198-240-360-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-370-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-380-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-390-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-400-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-410-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-420-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-430-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-440-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-450-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-460-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-470-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-480-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-010-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-020-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-030-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-040-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-050-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-060-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-070-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-080-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-090-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-100-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-110-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-120-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-130-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-140-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-150-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-160-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-170-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-180-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-190-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-200-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-210-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-220-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-230-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-240-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-250-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-260-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-270-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92

**CITY OF LATHROP**  
**CITY ZONE 1A - STORM DRAINAGE**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

APN	Land Use	Acreage	Maintenance Assessment			Availability Assessment			Total Levy
			Units	Rate	Levy*	Units	Rate	Levy*	
198-250-280-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-290-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-300-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-310-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-320-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-330-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-340-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-350-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-360-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-370-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-380-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-390-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-400-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-410-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-420-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-430-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-440-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-450-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-460-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-470-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-480-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-490-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-500-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-510-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-520-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-530-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-540-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-550-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-560-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-570-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-580-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-590-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-600-000	INV	8.1800	8.1800	84.72	693.0096	8.18	115.2	942.336	1,635.34
<b>Totals:</b>	<b>153 Parcels</b>		<b>567.0470</b>		<b>\$48,040.22</b>	<b>567.0470</b>		<b>\$65,323.81</b>	<b>\$113,363.90</b>

\* Where applicable, the actual levy will be rounded down to an even amount for County tax roll purposes.



**ITEM: APPROVAL OF THE PRELIMINARY ENGINEER'S REPORT AND DECLARING INTENTION TO LEVY ANNUAL ASSESSMENTS FOR FISCAL YEAR 2020/21 FOR LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT NO. 93-1 (WOODFIELD PARK)**

**RECOMMENDATION: Adopt a Resolution Approving the Preliminary Engineer's Report for Landscape and Lighting Maintenance District No. 93-1 (Woodfield Park) and Declaring Intention to Levy Annual Assessments for Fiscal Year 2020/21**

**SUMMARY:**

Landscape and Lighting Maintenance District No. 93-1 ("Woodfield Park" or the "District") was created to pay for the costs of ongoing maintenance and operations of specific park improvements within Tract 2051. This report has been separated from the report for the other maintenance districts due to the size. (Legal guidelines generally prohibit legislative body members from voting on matters involving districts where they reside if the district(s) in question comprise less than 10% of the agency's total residential parcels as defined by the County Assessor.)

District	FY 19/20	FY 20/21	% Change	Notes
	Actual Rate	Proposed Rate		
Woodfield Park	\$123.90	\$123.90	0.00%	Rate unchanged since FY 1998/99

The revenues for the District do not meet expenditures, and while City Staff has cut costs in an effort to minimize the shortfall, a General Fund subsidy of \$29,342, coupled with the use of District's reserves will be required to maintain current service levels (the estimated beginning Fiscal Year 2020/21 District reserves total \$5,045). In order to prevent the annual need of General Fund subsidies and the use of District's reserves, a Proposition 218 balloting of the district's property owners would have to be successfully completed, which would amend the assessment rate and provide for an annual escalation factor. This is not being proposed at this time.

Tonight, City Council is being asked to approve the preliminary Engineer's Report and to declare its intention to levy annual assessments for Fiscal Year 2020/21. After tonight's actions, notices will be published regarding the public hearing. The public hearing will be scheduled for June 8, 2020 at 7:00 p.m.

**CITY MANAGER'S REPORT  
MAY 11, 2020 CITY COUNCIL REGULAR MEETING  
FISCAL YEAR 2020/21 ASSESSMENTS FOR WOODFIELD PARK**

**PAGE 2**

**BACKGROUND:**

Maintenance Districts are created to fund the costs of ongoing maintenance and operations of improvements which may include landscaping, park sites, street lighting, and storm drainage that provide special benefit to properties in given areas of the City. Special benefit is defined as that benefit, over and above the general benefit provided by the improvements, which is conferred upon parcels within a district, as identified and measured by the formation assessment engineer.

Within the City of Lathrop, there are eight maintenance assessment districts: five Landscaping and Lighting Maintenance Districts (LLMD), including Woodfield Park and three Benefit Assessment Districts (BAD); each is levied assessments according to the annual specific cost estimate associated with each individual district. Each property owner is assessed annually for a portion of the maintenance costs in their district(s). The assessments are paid by the property owner via each parcel's secured property tax bill.

On an annual basis, City Staff evaluates the anticipated costs for maintenance for the upcoming year. This analysis takes into consideration any increases in costs as well as cost savings realized. Some of the costs that are quantified include: routine maintenance and mowing contracts; equipment repair; weed abatement; shrub and tree pruning; radios and computers; irrigation parts and controllers; water; electricity; fertilizer and other chemicals; vehicles and vehicle maintenance; street lighting repairs; storm drain system maintenance; and other administrative costs to operate Woodfield Park.

An annual budget is then developed using these cost estimates. The total costs are divided among the parcels in the district based on the proportionate share of benefit received from the improvements. The proposed assessments are then reviewed and approved each year by the City Council during a public hearing process.

By law, assessments can only be increased by an amount property owners have approved in each district. Any proposed increase which exceeds the amount approved by the property owners requires the approval of the property owners via a Proposition 218 ballot process. Each of the City's districts has a maximum assessment amount. The City Council may authorize any level of assessment up to this maximum. For this reason, the City could decide to levy the maximum assessment, however if it is determined that the maximum is not needed the City can lower the actual annual assessment without jeopardizing the ongoing maximum assessment.

The preliminary Engineer's Report for Landscape and Lighting Maintenance District No. 93-1 ("Woodfield Park" or the "District") is available in the City Clerk's office and the Public Works Department for review and copies will be available at the City Council meeting by request.

**CITY MANAGER'S REPORT  
MAY 11, 2020 CITY COUNCIL REGULAR MEETING  
FISCAL YEAR 2020/21 ASSESSMENTS FOR WOODFIELD PARK**

The following summarizes the background information for Woodfield Park:

The District was created to pay for the maintenance of Woodfield Park. This includes costs for personnel to maintain buildings and equipment and the cost for contracted park maintenance.

Expenditures exceed revenues for this district because the District was created without an annual escalation factor and, as a result has a maximum assessment rate that does not escalate to mirror increases in district expenses. As mentioned above, in order to change this, a Proposition 218 balloting of the District's property owners would have to be successfully completed. This is not being proposed at this time.

Woodfield Park will receive \$54,764 in revenue from assessments. The total expenditures for this District are \$89,251, which creates a shortfall of \$34,487. The District is anticipated to begin Fiscal Year 2020/21 with a reserve fund balance of \$5,045, which will be used to offset the shortfall. However, in order to keep the same service levels in the District, a General Fund subsidy in the amount of \$29,342 would be needed to fund the remaining shortfall.

District	Actual FY 2019/20 Annual Assessment Rate	Proposed FY 2020/21 Annual Assessment Rate	Difference
LLMD No. 93-1 (Woodfield Park)	\$123.90	\$123.90	\$0.00

**REASON FOR RECOMMENDATION:**

Staff has prepared the budget for the service, operation and maintenance of Woodfield Park in order to establish the annual assessments. The District provides necessary services to property owners within the District boundary.

Upon adoption of the attached Resolution, the Preliminary Engineer's Report will be approved and the Council will declare its intention to levy annual assessments for Fiscal Year 2020/21 and a public hearing will be scheduled for June 8, 2020 at 7:00 p.m., to permit public testimony. Written protests will be accepted from property owners until the close of the public hearing. At the close of the public hearing, the City Council may approve the Engineer's Report as submitted or amend it and order the levy and collection of the assessments.

**FISCAL IMPACT:**

The Woodfield Park Landscaping and Lighting District has expenditures which exceed revenues. In order to maintain the current service levels in the District, the utilization of \$5,045 of the District's fund balance reserves; a General Fund subsidy in the amount of \$29,342 would be required to cover the remaining shortfall.

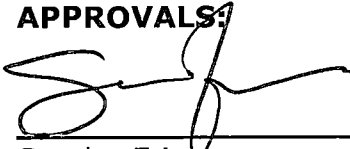
**ATTACHMENTS:**

- A. A Resolution Approving the Preliminary Engineer's Report for Landscape and Lighting Maintenance District No. 93-1 (Woodfield Park) and Declaring its Intention to Levy Annual Assessments for Fiscal Year 2020/21
- B. Landscape and Lighting Maintenance District No. 93-1 (Woodfield Park) District Diagram

**\* Note - Preliminary Engineer's Report is available for review in the City Clerk's Office.**

**CITY MANAGER'S REPORT  
MAY 11, 2020 CITY COUNCIL REGULAR MEETING  
FISCAL YEAR 2020/21 ASSESSMENTS FOR WOODFIELD PARK**

**APPROVALS:**



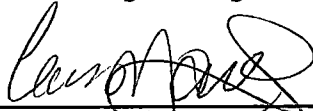
Sandra Frias  
Sr. Management Analyst

4/30/2020  
Date



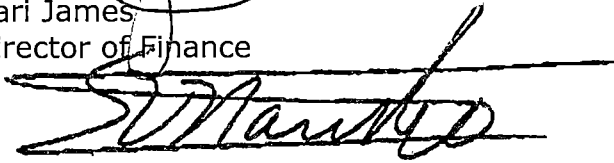
Thomas Hedegård  
Accounting Manager

4/30/20  
Date



Cari James  
Director of Finance

4/30/2020  
Date



Salvador Navarrete  
City Attorney

4/30/2020  
Date



Stephen Salvatore  
City Manager

5.5.2020  
Date

**RESOLUTION NO. 20-\_\_\_\_\_**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP  
 APPROVING THE PRELIMINARY ENGINEER'S REPORT FOR LANDSCAPE AND  
 LIGHTING MAINTENANCE DISTRICT NO. 93-1 (WOODFIELD PARK) AND  
 DECLARING INTENTION TO LEVY ANNUAL ASSESSMENTS FOR FISCAL YEAR  
 2020/21**

**WHEREAS**, the City Council has by previous Resolutions formed the City of Lathrop Landscape and Lighting Maintenance District No. 93-1 (Woodfield Park) (hereafter referred to as the "District"), and initiated proceedings for Fiscal Year 2020/21, pursuant to the provisions of the *Landscape and Lighting Act of 1972, Part 2, Division 15 of the California Streets and Highways Code (commencing with Section 22500)* (hereafter referred to as the "Act") that provides for the levy and collection of assessments by the County of San Joaquin for the City of Lathrop to pay the maintenance and services of all improvements and facilities related thereto; and,

**WHEREAS**, the City Council has retained NBS for the purpose of assisting with the Annual Levy of the District, and to prepare and file a report with the City Clerk in accordance with the Act; and,

**WHEREAS**, the City Council has previously called for the preparation of an Engineer's Report and Annual Levy Report (collectively referred to herein as the "Report") for the district known as Landscape and Lighting Maintenance District No. 93-1 (Woodfield Park); and

**WHEREAS**, the Report has now been presented to the City Council; and

**WHEREAS**, the Report includes the District's budget and assessments and contains the data necessary to determine the special benefit conferred upon each property included in the District; and

**WHEREAS**, the City Council has carefully examined and reviewed the Report as presented on May 11, 2020, and is preliminarily satisfied with Landscape and Lighting Maintenance District No. 93-1 (Woodfield Park), and all of the budget items and charges, and is satisfied that the levy amounts, on a preliminary basis, have been spread in accordance with the special benefits received from the improvements, operation, maintenance and services performed in and provided by the District;

**NOW, THEREFORE, BE IT RESOLVED that the following actions shall be taken:**

**Section 1 Intention:** The City Council hereby declares that it is its intention to seek the Annual Levy of the District pursuant to the Act, over and including the land within the District boundary, and to levy and collect assessments on all such land to pay the annual costs of the improvements.

**Section 2** Description of Improvements and any substantial changes proposed: The improvements within the District may include, but are not limited to: planting materials, irrigation systems, drainage systems, natural drainage areas, fencing, restroom facilities, playground equipment, picnic facilities, landscape and associated appurtenances. Services provided include all necessary service, operations, administration and maintenance required to keep the improvements in a healthy, vigorous and satisfactory condition. The Report, attached hereto as Exhibit "A" and incorporated herein by this reference is hereby approved on a preliminary basis and ordered to be filed with this Resolution in the Office of the City Clerk as a permanent record. Such Report shall remain open to public inspection. The Report provides a full and complete description of all improvements and any or all substantial changes to the District or improvements within the District.

**Section 3** Boundaries and Designation: The boundaries of the District are described as the boundaries previously defined in the formation documents of the original District, within the boundaries of the City of Lathrop, within the County of San Joaquin, State of California. Also described as:

Landscape and Lighting Maintenance District No. 93-1 (Woodfield Park)

**Section 4** Proposed Assessment Amounts: For Fiscal Year 2020/21, the proposed assessments are outlined in the Report, Exhibit "A", which details any changes or increases in the annual assessment.

**Section 5** Public Hearing(s): The City Council hereby declares its intention to conduct a Public Hearing annually concerning the levy of assessments for the District in accordance with *Chapter 3, Section 22626* of the Act and Articles XIII (C) and XIII (D) of the California Constitution.

**Section 6** Notice: The City shall give notice of the time and place of the Public Hearing to all property owners within the District by causing the publishing of this Resolution once in a newspaper of local circulation for two consecutive weeks not less than ten (10) days before the date of the public hearing, and by posting a copy of this resolution on the official bulletin board customarily used by the City Council for the posting of notices.

**Section 7** Notice of Public Hearing: Notice is hereby given that a Public Hearing on these matters will be held by the City Council on Monday, June 8, 2020, at 7:00 p.m. or as soon thereafter as feasible in the City Council Chambers, located at 390 Towne Centre Dr., Lathrop, California.

**Section 8** Compliance with Article XIII (C) and XIII (D) of the California Constitution: The City Council hereby finds that the proposed assessments are exempt from the requirements for Article XIII (C) and XIII (D) of the California Constitution in that the amount of the assessment is unchanged and the assessment is imposed exclusively to finance the maintenance and operation expenses for park maintenance.

The foregoing resolution was passed and adopted this 11<sup>TH</sup> day of May 2020, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSTAIN:

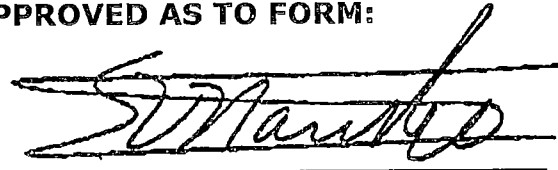
ABSENT:

\_\_\_\_\_  
Sonny Dhaliwal, Mayor

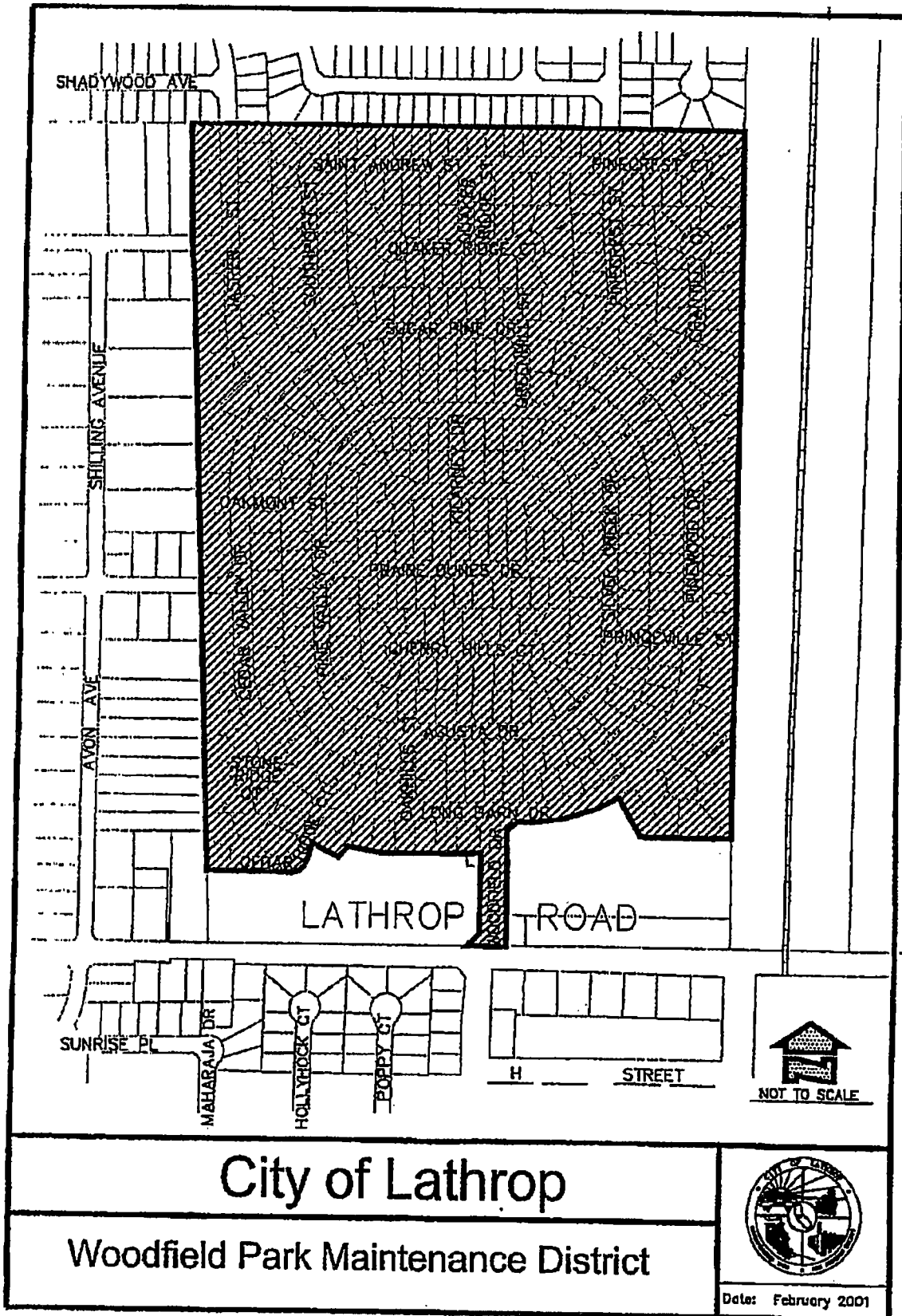
**ATTEST:**

\_\_\_\_\_  
Teresa Vargas, City Clerk

**APPROVED AS TO FORM:**

  
\_\_\_\_\_  
Salvador Navarrete, City Attorney





# CITY OF LATHROP

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Landscape and Lighting Maintenance District No. 93-1

Woodfield Park Maintenance Zone

Annual Engineer's Report

Fiscal Year 2020/21

Prepared by:



Corporate Headquarters  
32605 Temecula Parkway, Suite 100  
Temecula, CA 92592  
Toll free: 800.676.7516

**CITY OF LATHROP  
LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT NO. 93-1  
WOODFIELD PARK MAINTENANCE ZONE**

**390 Towne Centre Drive  
Lathrop, California 95330  
Phone - (209) 941-7320  
Fax - (209) 941-7339**

---

**CITY COUNCIL**

Sonny Dhaliwal, Mayor

Martha Salcedo, Vice Mayor

Paul Akinjo, Councilmember

Diane Lazard, Councilmember

Jennifer Torres-O'Callaghan, Councilmember

**CITY STAFF**

Stephen Salvatore, City Manager

Salvador Navarrete, City Attorney

Cari James, Finance Director

Glenn Gebhardt, City Engineer

**NBS**

Tim Seufert, Client Services Director

Kristin Harvey, Senior Consultant

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# 1. ENGINEER'S LETTER

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**WHEREAS**, the City Council of the City of Lathrop (the "City"), State of California, directed NBS Government Finance Group, DBA NBS ("NBS") to prepare and file a report presenting plans and specifications describing the general nature, location, and extent of the improvements to be maintained, and an estimate of the costs of the maintenance, operations, and servicing of the improvements for the City of Lathrop Landscape and Lighting Maintenance District No. 93-1 (the "District") for Fiscal Year 2020/21 including only the Woodfield Park Maintenance Zone. The report includes a diagram for the District showing the area and properties proposed to be assessed, an assessment of the estimated costs of the maintenance, operations and servicing the improvements, and the net amount to be assessed upon all assessable parcels within the District in proportion to the special benefit received;

**WHEREAS**, the proposed assessment rate of \$123.90 per Equivalent Dwelling Unit ("EDU") has not increased from the previous year. The District is in compliance with the assessment balloting procedures set forth in Section 4 of Article XIII D of the California Constitution and the District was formed by consent of 100% of the land owners;

**NOW THEREFORE**, only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated benefit received. The following assessment is made to fund the portion of the estimated costs of maintenance, operation, and servicing of the improvements to be paid by the assessable real property within the District in proportion to the special benefit received:

## SUMMARY OF ASSESSMENT

Description	Amount
Balance to Levy	\$54,763.80
Total Equivalent Dwelling Units	442.00
<b>Total Assessment Per Equivalent Dwelling Unit</b>	<b>\$123.90</b>
<b>Total Parcels to be Assessed</b>	<b>442</b>

I, the undersigned, respectfully submit the enclosed Engineer's Report and, to the best of my knowledge, information, and belief, the Engineer's Report, Assessments, and the District Diagram herein have been prepared and computed in accordance with the order and historical practices of the City Council of the City.

---

NBS Government Finance Group, DBA NBS



## **2. OVERVIEW**

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### **2.1 Introduction**

The City previously formed several maintenance assessment districts for the purpose of providing maintenance services to benefit certain parcels in the City. Over several years, these districts have levied and collected special assessments. In 1993, the districts were consolidated, and now represent distinct zones in the District. The District was formed and the levies made pursuant to the Landscaping and Lighting Act of 1972, Part 2 of Division 15 of the California Streets and Highways Code (the "Act"). Since Fiscal Year 1998/99, only the Woodfield Park Maintenance Zone has been included in the annual assessment of the District.

This Annual Engineer's Report (the "Report") describes the District and the proposed charge per EDU for Fiscal Year 2020/21 based on the historical and estimated cost to maintain the improvements and provide the services that benefit parcels within the District. Maintenance and operation of the facilities provides a healthy alternative for youth and adult activities while protecting the capital investments that have been made within the District.

The word "parcel," for the purposes of this Report, refers to an individual property assigned its own Assessor's Parcel Number by the San Joaquin County (the "County") Assessor's Office. The County Auditor-Controller uses Assessor's Parcel Numbers and specific fund numbers to identify, on the tax roll, properties assessed for special district benefit assessments.

Following consideration of public comments at a noticed public hearing and following review of the Report, the City Council may confirm the submittal of the Report and may order the levy and collection of assessments for Fiscal Year 2020/21. If approved, the assessment information will be submitted to the County Auditor-Controller, and included on the property tax roll for each benefiting parcel for Fiscal Year 2020/21.

### **2.2 Effect of Proposition 218**

On November 5, 1996, California voters approved Proposition 218 by a vote of 56.5% to 43.5%. The provisions of the Proposition, now California Constitutional Articles XIII C and XIII D, added substantive and procedural requirements for assessments which affect the City's landscaping and lighting maintenance assessments.

The assessment rate of \$123.90 per EDU has been in effect since Fiscal Year 1996/97 and is not proposed to increase. The District is in compliance with the assessment balloting procedures set forth in Section 4 of Article XIII D and the District was formed by consent of 100% of the land owners.

## **2.3 Plans and Specifications for the Improvements**

The City operates, services, and maintains Woodfield Park (5.49 acres).

The District includes parcels within Tract 2051 and consists of a residential area generally located east of I-5, west of the Union Pacific Railroad, and north of Lathrop Road. Parcels within this zone receive special benefit from the Woodfield Park improvements. Specific improvements within this zone include planting materials, irrigation systems, drainage systems, natural drainage areas, fencing, restroom facilities, playground equipment, picnic facilities, and hardscape.

## 3. ESTIMATE OF COSTS

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### 3.1 Description of Budget Items

**Personnel Services** – Includes employee salaries, salary related costs, and employee benefits including retirement, medical benefits, and workers compensation costs, etc.

**Maintenance & Operations** – Includes the following:

**Advertising/Legal Notices** – Includes the cost of publishing the required legal notices necessary to complete the required procedures for levying the assessments.

**Auto & Heavy Equipment Maintenance Parts** – Includes replacement parts for City vehicles used for storm drain maintenance.

**Auto & Heavy Equipment Maintenance & Repair** – Includes maintenance of City vehicles used for storm drain maintenance.

**Building Maintenance Materials & Supplies** – Includes materials and supplies necessary for maintenance of restrooms, first aid kits, flashlights, fire extinguishers, employee uniforms (e.g. safety boots, jackets, and gloves), and pest control application training.

**Contracts – Park Maintenance** – Includes professional services necessary for District maintenance, including park maintenance, computer technical support, and alarm service.

**Contract Services** – Includes professional services necessary for District maintenance, including the Report and administration.

**Gas, Diesel, Oil & Lubricants** – Includes fuel, oil and lubricants for vehicles, and miscellaneous small equipment used for park maintenance.

**Materials & Supplies** – Includes materials and supplies necessary for park maintenance (e.g. sprinkler parts, pipe, sand for playgrounds, replacement plants, and trees).

**Miscellaneous Equipment** – Includes small equipment (e.g. blowers, roto-tiller, and hedge trimmer) and miscellaneous small tools (e.g. shovels, rakes, and hand tools) necessary for park maintenance.

**Miscellaneous Supplies** – Includes reference materials and additional administrative costs.

**Other Maintenance & Repair** – Includes contracted maintenance and repair services such as annual fire extinguisher service and emergency repairs.

**Shop Tools** – Includes miscellaneous small tools necessary for park maintenance such as shovels, weed eaters, and shop vacuums.

**Uniforms/Protective Clothing** – Includes employee uniforms including safety boots, jackets, gloves, etc.

**Utility – Gas & Electric** – Includes electrical power for sprinkler controllers, pumps, and park lights.

**Water** – Includes water for irrigation, water fountains, and restrooms.

**Training, Membership, Travel & Dues** – Includes continuing training for maintenance staff.



**Fixed Charges & Special Fees** – Includes the charges per parcel to collect the assessments on the County Secured Property Tax Roll.

**Capital** – Includes principal payment for lease purchase of park vehicles plus miscellaneous equipment purchased over a five year lease.

**Indirect Costs** – Includes overhead costs of the City related to maintenance, operation, and administration of the District.

### 3.2 District Budget

The budget for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Personnel Services	\$6,365.00
Maintenance & Operations	67,760.00
Capital Costs / Fixed Charges	<u>1,641.00</u>
<b>Subtotal</b>	<b>\$75,766.00</b>
Indirect Costs	<u>13,385.00</u>
<b>Total District Costs</b>	<b>\$89,151.00</b>

### 3.3 Balance to Levy

**Total District Costs** – Includes personnel services, maintenance and operations, capital, and indirect costs determined above.

**Contribution to (from) Operational Reserves** – The Operational Reserves item provides funds to operate the District from the time period of July 1 (beginning of the Fiscal Year) through December when the County provides the City with the first installment of assessments collected from the property tax bills. This eliminates the need for the City to transfer funds from non-District accounts to pay for District charges during the first half of the fiscal year. Negative amounts shown here are transfers that are used to reduce the Balance to Levy. Using reserve amounts in this way allows the Levy per EDU to remain at prior period rates, despite increases in District costs.

**Contribution to (from) Capital Reserves** – The Capital Reserve Account item provides funds to maintain reserves for extraordinary maintenance items and unexpected capital expenditures that may occur as a result of natural occurrences or other unforeseen circumstances.

**Balance to Levy** – This is the total amount to be levied and collected through assessments for the current fiscal year. The Balance to Levy represents the sum of the total direct and administration costs, reserves, contributions, and other revenue sources.

The following table shows the total costs, additional revenues, and the Balance to Levy for Fiscal Year 2020/21.

Description	Amount
Total District Costs	\$89,151.00
Other Revenue Sources <sup>(1)</sup>	(29,342.00)
Contribution to (from) Operational Reserves	<u>(5,045.20)</u>
<b>Balance to Levy</b>	<b>\$54,763.80</b>

(1) Includes General Fund contribution.

### 3.4 Operational & Maintenance Reserve Information

The following table shows the estimated balance of the Operational and Maintenance Reserves.

Description	Amount
Estimated Beginning Balance – July 1, 2020	\$5,045.20
Contribution to (from) Operational and Maintenance Reserves	<u>(5,045.20)</u>
<b>Estimated Ending Balance - June 30, 2021</b>	<b>\$0.00</b>

## 4. METHOD OF APPORTIONMENT

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### 4.1 Method of Apportionment

Pursuant to the Act, the costs of the District are apportioned by a formula or method which fairly distributes the net amount to be assessed among all assessable parcels in proportion to the estimated special benefit to be received by each such parcel from the maintenance, servicing, and operation of the improvements. The formula used for the Woodfield Park Maintenance Zone reflects the homogenous composition of the parcels, as well as the improvements and services provided to fairly proportion the costs based on the estimated benefits to each parcel. The assessment has been levied in accordance with the assessment methodology adopted and approved by the City Council at the time of District formation.

The basis of benefit for the District was determined to be equal for all EDUs within the Woodfield Park Maintenance Zone.

The method used to calculate the assessments within the Woodfield Park Maintenance Zone is as follows:

$$\text{Total Balance to Levy} / \text{Total EDU} = \text{Levy per EDU}$$

To determine the EDU for single-family residential parcels, the Benefit Unit Factor (BUF) is multiplied by the number of developed residential units on the parcel.

To determine the EDU for vacant (no buildings) residential parcels, the BUF is multiplied by the number of residential units that can be built on the parcel.

To determine the EDU for unimproved residential parcels, the number of potential parcels is calculated per the approved tentative map and the BUF is multiplied by that number of parcels.

All parcels in the District have been developed as single-family residential and there are currently no vacant or unimproved residential parcels.

### 4.2 Benefit Unit Factors

The following table shows the Benefit Unit Factors.

Property Type / Land Use	BUF per Unit or Acre
Single-Family Residential	1.0
Vacant Residential Parcels	1.0
Unimproved Residential Parcels	1.0

### 4.3 Assessment Per EDU

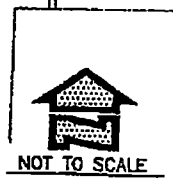
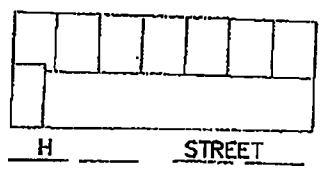
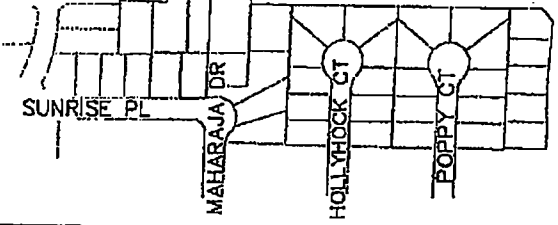
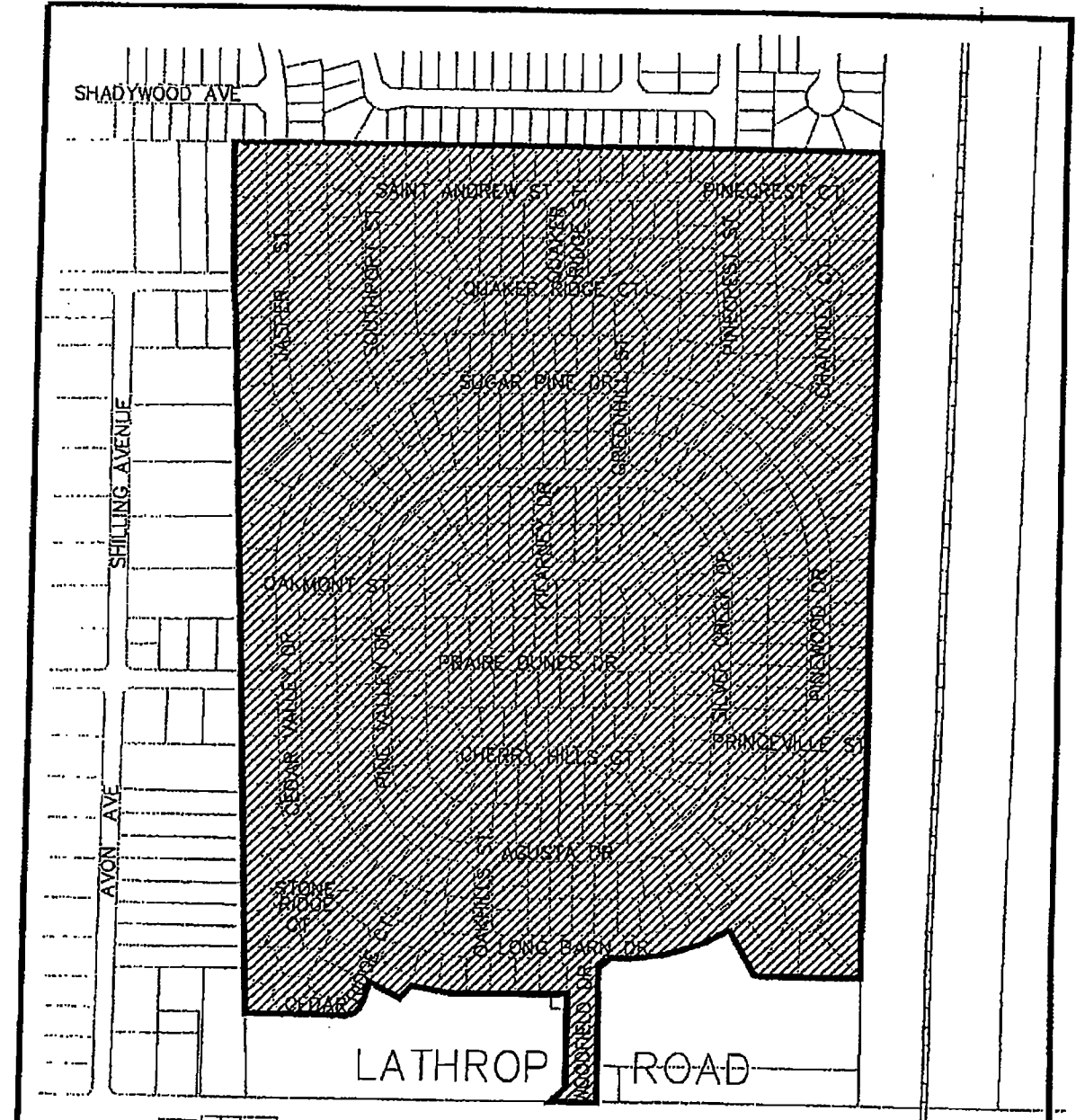
The following table shows the total assessment per EDU for the Fiscal Year 2020/21 levy.

Description	Amount
Balance to Levy	\$54,763.80
Total District EDU	442.00
<b>Total Assessment Per EDU</b>	<b>\$123.90</b>

## 5. DISTRICT DIAGRAM

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Reference is made to the District Diagram on file with the City Clerk. The following page provides the boundaries of the Woodfield Park Maintenance Zone of the District. The lines and dimensions shown on maps of the County Assessor for the current year are incorporated by reference and made part of this Report.



# City of Lathrop

## Woodfield Park Maintenance District



Date: February 2001

## 6. PARCEL LISTING

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The parcel listing of assessments is provided on the following pages. The description of each lot or parcel is a part of the records of the County Assessor and is incorporated by reference and made part of this Report.

**CITY OF LATHROP  
 LANDSCAPE AND LIGHTING MAINTENANCE  
 DISTRICT NO. 93-1, WOODFIELD PARK ZONE  
 FISCAL YEAR 2020/21  
 PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>EDU</b>	<b>Rate</b>	<b>Levy</b>
196-090-010-000	SFR	1.00	\$123.90	\$123.90
196-090-020-000	SFR	1.00	123.90	123.90
196-090-030-000	SFR	1.00	123.90	123.90
196-090-040-000	SFR	1.00	123.90	123.90
196-090-050-000	SFR	1.00	123.90	123.90
196-090-060-000	SFR	1.00	123.90	123.90
196-090-070-000	SFR	1.00	123.90	123.90
196-090-080-000	SFR	1.00	123.90	123.90
196-090-090-000	SFR	1.00	123.90	123.90
196-090-100-000	SFR	1.00	123.90	123.90
196-090-110-000	SFR	1.00	123.90	123.90
196-090-120-000	SFR	1.00	123.90	123.90
196-090-130-000	SFR	1.00	123.90	123.90
196-090-140-000	SFR	1.00	123.90	123.90
196-090-150-000	SFR	1.00	123.90	123.90
196-090-160-000	SFR	1.00	123.90	123.90
196-090-170-000	SFR	1.00	123.90	123.90
196-090-180-000	SFR	1.00	123.90	123.90
196-090-190-000	SFR	1.00	123.90	123.90
196-090-200-000	SFR	1.00	123.90	123.90
196-090-210-000	SFR	1.00	123.90	123.90
196-090-220-000	SFR	1.00	123.90	123.90
196-090-230-000	SFR	1.00	123.90	123.90
196-090-240-000	SFR	1.00	123.90	123.90
196-090-250-000	SFR	1.00	123.90	123.90
196-090-260-000	SFR	1.00	123.90	123.90
196-090-270-000	SFR	1.00	123.90	123.90
196-090-280-000	SFR	1.00	123.90	123.90
196-090-290-000	SFR	1.00	123.90	123.90
196-090-300-000	SFR	1.00	123.90	123.90
196-090-310-000	SFR	1.00	123.90	123.90
196-090-320-000	SFR	1.00	123.90	123.90
196-090-330-000	SFR	1.00	123.90	123.90
196-090-340-000	SFR	1.00	123.90	123.90
196-090-350-000	SFR	1.00	123.90	123.90



**CITY OF LATHROP  
 LANDSCAPE AND LIGHTING MAINTENANCE  
 DISTRICT NO. 93-1, WOODFIELD PARK ZONE  
 FISCAL YEAR 2020/21  
 PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>EDU</b>	<b>Rate</b>	<b>Levy</b>
196-090-360-000	SFR	1.00	123.90	123.90
196-090-370-000	SFR	1.00	123.90	123.90
196-090-380-000	SFR	1.00	123.90	123.90
196-090-390-000	SFR	1.00	123.90	123.90
196-090-400-000	SFR	1.00	123.90	123.90
196-090-410-000	SFR	1.00	123.90	123.90
196-090-420-000	SFR	1.00	123.90	123.90
196-090-430-000	SFR	1.00	123.90	123.90
196-090-440-000	SFR	1.00	123.90	123.90
196-090-450-000	SFR	1.00	123.90	123.90
196-090-460-000	SFR	1.00	123.90	123.90
196-090-470-000	SFR	1.00	123.90	123.90
196-090-480-000	SFR	1.00	123.90	123.90
196-090-490-000	SFR	1.00	123.90	123.90
196-090-500-000	SFR	1.00	123.90	123.90
196-090-510-000	SFR	1.00	123.90	123.90
196-090-520-000	SFR	1.00	123.90	123.90
196-090-530-000	SFR	1.00	123.90	123.90
196-090-540-000	SFR	1.00	123.90	123.90
196-090-550-000	SFR	1.00	123.90	123.90
196-090-560-000	SFR	1.00	123.90	123.90
196-090-570-000	SFR	1.00	123.90	123.90
196-090-580-000	SFR	1.00	123.90	123.90
196-090-590-000	SFR	1.00	123.90	123.90
196-090-600-000	SFR	1.00	123.90	123.90
196-090-610-000	SFR	1.00	123.90	123.90
196-090-620-000	SFR	1.00	123.90	123.90
196-090-630-000	SFR	1.00	123.90	123.90
196-090-640-000	SFR	1.00	123.90	123.90
196-090-650-000	SFR	1.00	123.90	123.90
196-090-660-000	SFR	1.00	123.90	123.90
196-090-670-000	SFR	1.00	123.90	123.90
196-090-680-000	SFR	1.00	123.90	123.90
196-090-690-000	SFR	1.00	123.90	123.90
196-090-700-000	SFR	1.00	123.90	123.90

**CITY OF LATHROP  
 LANDSCAPE AND LIGHTING MAINTENANCE  
 DISTRICT NO. 93-1, WOODFIELD PARK ZONE  
 FISCAL YEAR 2020/21  
 PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>EDU</b>	<b>Rate</b>	<b>Levy</b>
196-090-710-000	SFR	1.00	123.90	123.90
196-090-720-000	SFR	1.00	123.90	123.90
196-090-730-000	SFR	1.00	123.90	123.90
196-090-740-000	SFR	1.00	123.90	123.90
196-090-750-000	SFR	1.00	123.90	123.90
196-090-760-000	SFR	1.00	123.90	123.90
196-090-770-000	SFR	1.00	123.90	123.90
196-090-780-000	SFR	1.00	123.90	123.90
196-090-790-000	SFR	1.00	123.90	123.90
196-090-800-000	SFR	1.00	123.90	123.90
196-090-810-000	SFR	1.00	123.90	123.90
196-090-820-000	SFR	1.00	123.90	123.90
196-090-830-000	SFR	1.00	123.90	123.90
196-090-840-000	SFR	1.00	123.90	123.90
196-090-850-000	SFR	1.00	123.90	123.90
196-090-860-000	SFR	1.00	123.90	123.90
196-090-870-000	SFR	1.00	123.90	123.90
196-090-880-000	SFR	1.00	123.90	123.90
196-090-890-000	SFR	1.00	123.90	123.90
196-100-010-000	SFR	1.00	123.90	123.90
196-100-020-000	SFR	1.00	123.90	123.90
196-100-030-000	SFR	1.00	123.90	123.90
196-100-040-000	SFR	1.00	123.90	123.90
196-100-050-000	SFR	1.00	123.90	123.90
196-100-060-000	SFR	1.00	123.90	123.90
196-100-070-000	SFR	1.00	123.90	123.90
196-100-080-000	SFR	1.00	123.90	123.90
196-100-090-000	SFR	1.00	123.90	123.90
196-100-100-000	SFR	1.00	123.90	123.90
196-100-110-000	SFR	1.00	123.90	123.90
196-100-120-000	SFR	1.00	123.90	123.90
196-100-130-000	SFR	1.00	123.90	123.90
196-100-140-000	SFR	1.00	123.90	123.90
196-100-150-000	SFR	1.00	123.90	123.90
196-100-160-000	SFR	1.00	123.90	123.90

**CITY OF LATHROP  
 LANDSCAPE AND LIGHTING MAINTENANCE  
 DISTRICT NO. 93-1, WOODFIELD PARK ZONE  
 FISCAL YEAR 2020/21  
 PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>EDU</b>	<b>Rate</b>	<b>Levy</b>
196-100-170-000	SFR	1.00	123.90	123.90
196-100-180-000	SFR	1.00	123.90	123.90
196-100-190-000	SFR	1.00	123.90	123.90
196-100-200-000	SFR	1.00	123.90	123.90
196-100-210-000	SFR	1.00	123.90	123.90
196-100-220-000	SFR	1.00	123.90	123.90
196-100-230-000	SFR	1.00	123.90	123.90
196-100-240-000	SFR	1.00	123.90	123.90
196-100-250-000	SFR	1.00	123.90	123.90
196-100-260-000	SFR	1.00	123.90	123.90
196-100-270-000	SFR	1.00	123.90	123.90
196-100-280-000	SFR	1.00	123.90	123.90
196-100-290-000	SFR	1.00	123.90	123.90
196-100-300-000	SFR	1.00	123.90	123.90
196-100-310-000	SFR	1.00	123.90	123.90
196-100-320-000	SFR	1.00	123.90	123.90
196-100-330-000	SFR	1.00	123.90	123.90
196-100-340-000	SFR	1.00	123.90	123.90
196-100-350-000	SFR	1.00	123.90	123.90
196-100-360-000	SFR	1.00	123.90	123.90
196-100-370-000	SFR	1.00	123.90	123.90
196-100-380-000	SFR	1.00	123.90	123.90
196-100-390-000	SFR	1.00	123.90	123.90
196-100-400-000	SFR	1.00	123.90	123.90
196-100-410-000	SFR	1.00	123.90	123.90
196-100-420-000	SFR	1.00	123.90	123.90
196-100-430-000	SFR	1.00	123.90	123.90
196-100-440-000	SFR	1.00	123.90	123.90
196-100-450-000	SFR	1.00	123.90	123.90
196-100-460-000	SFR	1.00	123.90	123.90
196-100-470-000	SFR	1.00	123.90	123.90
196-100-480-000	SFR	1.00	123.90	123.90
196-100-490-000	SFR	1.00	123.90	123.90
196-100-500-000	SFR	1.00	123.90	123.90
196-100-510-000	SFR	1.00	123.90	123.90

**CITY OF LATHROP**  
**LANDSCAPE AND LIGHTING MAINTENANCE**  
**DISTRICT NO. 93-1, WOODFIELD PARK ZONE**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>EDU</b>	<b>Rate</b>	<b>Levy</b>
196-100-520-000	SFR	1.00	123.90	123.90
196-100-530-000	SFR	1.00	123.90	123.90
196-100-540-000	SFR	1.00	123.90	123.90
196-100-550-000	SFR	1.00	123.90	123.90
196-100-560-000	SFR	1.00	123.90	123.90
196-100-570-000	SFR	1.00	123.90	123.90
196-100-580-000	SFR	1.00	123.90	123.90
196-100-590-000	SFR	1.00	123.90	123.90
196-100-600-000	SFR	1.00	123.90	123.90
196-100-610-000	SFR	1.00	123.90	123.90
196-100-620-000	SFR	1.00	123.90	123.90
196-100-630-000	SFR	1.00	123.90	123.90
196-100-640-000	SFR	1.00	123.90	123.90
196-100-650-000	SFR	1.00	123.90	123.90
196-100-660-000	SFR	1.00	123.90	123.90
196-100-670-000	SFR	1.00	123.90	123.90
196-100-680-000	SFR	1.00	123.90	123.90
196-100-690-000	SFR	1.00	123.90	123.90
196-100-700-000	SFR	1.00	123.90	123.90
196-100-710-000	SFR	1.00	123.90	123.90
196-100-720-000	SFR	1.00	123.90	123.90
196-100-730-000	SFR	1.00	123.90	123.90
196-100-740-000	SFR	1.00	123.90	123.90
196-100-750-000	SFR	1.00	123.90	123.90
196-100-760-000	SFR	1.00	123.90	123.90
196-100-770-000	SFR	1.00	123.90	123.90
196-100-780-000	SFR	1.00	123.90	123.90
196-520-010-000	SFR	1.00	123.90	123.90
196-520-020-000	SFR	1.00	123.90	123.90
196-520-030-000	SFR	1.00	123.90	123.90
196-520-040-000	SFR	1.00	123.90	123.90
196-520-050-000	SFR	1.00	123.90	123.90
196-520-060-000	SFR	1.00	123.90	123.90
196-520-070-000	SFR	1.00	123.90	123.90
196-520-080-000	SFR	1.00	123.90	123.90

**CITY OF LATHROP  
LANDSCAPE AND LIGHTING MAINTENANCE  
DISTRICT NO. 93-1, WOODFIELD PARK ZONE  
FISCAL YEAR 2020/21  
PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>EDU</b>	<b>Rate</b>	<b>Levy</b>
196-520-090-000	SFR	1.00	123.90	123.90
196-520-100-000	SFR	1.00	123.90	123.90
196-520-110-000	SFR	1.00	123.90	123.90
196-520-120-000	SFR	1.00	123.90	123.90
196-520-130-000	SFR	1.00	123.90	123.90
196-520-140-000	SFR	1.00	123.90	123.90
196-520-150-000	SFR	1.00	123.90	123.90
196-520-160-000	SFR	1.00	123.90	123.90
196-520-170-000	SFR	1.00	123.90	123.90
196-520-180-000	SFR	1.00	123.90	123.90
196-520-190-000	SFR	1.00	123.90	123.90
196-520-200-000	SFR	1.00	123.90	123.90
196-520-210-000	SFR	1.00	123.90	123.90
196-520-220-000	SFR	1.00	123.90	123.90
196-520-230-000	SFR	1.00	123.90	123.90
196-520-240-000	SFR	1.00	123.90	123.90
196-520-250-000	SFR	1.00	123.90	123.90
196-520-260-000	SFR	1.00	123.90	123.90
196-520-270-000	SFR	1.00	123.90	123.90
196-520-280-000	SFR	1.00	123.90	123.90
196-520-290-000	SFR	1.00	123.90	123.90
196-520-300-000	SFR	1.00	123.90	123.90
196-520-310-000	SFR	1.00	123.90	123.90
196-520-320-000	SFR	1.00	123.90	123.90
196-520-330-000	SFR	1.00	123.90	123.90
196-520-340-000	SFR	1.00	123.90	123.90
196-520-350-000	SFR	1.00	123.90	123.90
196-520-360-000	SFR	1.00	123.90	123.90
196-520-370-000	SFR	1.00	123.90	123.90
196-520-380-000	SFR	1.00	123.90	123.90
196-520-390-000	SFR	1.00	123.90	123.90
196-520-400-000	SFR	1.00	123.90	123.90
196-520-410-000	SFR	1.00	123.90	123.90
196-520-420-000	SFR	1.00	123.90	123.90
196-520-430-000	SFR	1.00	123.90	123.90

**CITY OF LATHROP  
 LANDSCAPE AND LIGHTING MAINTENANCE  
 DISTRICT NO. 93-1, WOODFIELD PARK ZONE  
 FISCAL YEAR 2020/21  
 PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>EDU</b>	<b>Rate</b>	<b>Levy</b>
196-520-440-000	SFR	1.00	123.90	123.90
196-520-450-000	SFR	1.00	123.90	123.90
196-520-460-000	SFR	1.00	123.90	123.90
196-520-470-000	SFR	1.00	123.90	123.90
196-520-480-000	SFR	1.00	123.90	123.90
196-520-490-000	SFR	1.00	123.90	123.90
196-520-510-000	SFR	1.00	123.90	123.90
196-520-520-000	SFR	1.00	123.90	123.90
196-520-530-000	SFR	1.00	123.90	123.90
196-520-540-000	SFR	1.00	123.90	123.90
196-520-550-000	SFR	1.00	123.90	123.90
196-520-560-000	SFR	1.00	123.90	123.90
196-520-570-000	SFR	1.00	123.90	123.90
196-530-010-000	SFR	1.00	123.90	123.90
196-530-020-000	SFR	1.00	123.90	123.90
196-530-030-000	SFR	1.00	123.90	123.90
196-530-040-000	SFR	1.00	123.90	123.90
196-530-050-000	SFR	1.00	123.90	123.90
196-530-060-000	SFR	1.00	123.90	123.90
196-530-070-000	SFR	1.00	123.90	123.90
196-530-080-000	SFR	1.00	123.90	123.90
196-530-090-000	SFR	1.00	123.90	123.90
196-530-100-000	SFR	1.00	123.90	123.90
196-530-110-000	SFR	1.00	123.90	123.90
196-530-120-000	SFR	1.00	123.90	123.90
196-530-130-000	SFR	1.00	123.90	123.90
196-530-140-000	SFR	1.00	123.90	123.90
196-530-150-000	SFR	1.00	123.90	123.90
196-530-160-000	SFR	1.00	123.90	123.90
196-530-170-000	SFR	1.00	123.90	123.90
196-530-180-000	SFR	1.00	123.90	123.90
196-530-190-000	SFR	1.00	123.90	123.90
196-530-200-000	SFR	1.00	123.90	123.90
196-530-210-000	SFR	1.00	123.90	123.90
196-530-220-000	SFR	1.00	123.90	123.90

**CITY OF LATHROP**  
**LANDSCAPE AND LIGHTING MAINTENANCE**  
**DISTRICT NO. 93-1, WOODFIELD PARK ZONE**  
**FISCAL YEAR 2020/21**  
**PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>EDU</b>	<b>Rate</b>	<b>Levy</b>
196-530-230-000	SFR	1.00	123.90	123.90
196-530-240-000	SFR	1.00	123.90	123.90
196-530-250-000	SFR	1.00	123.90	123.90
196-530-260-000	SFR	1.00	123.90	123.90
196-530-270-000	SFR	1.00	123.90	123.90
196-530-280-000	SFR	1.00	123.90	123.90
196-530-290-000	SFR	1.00	123.90	123.90
196-530-300-000	SFR	1.00	123.90	123.90
196-530-310-000	SFR	1.00	123.90	123.90
196-530-320-000	SFR	1.00	123.90	123.90
196-530-330-000	SFR	1.00	123.90	123.90
196-530-340-000	SFR	1.00	123.90	123.90
196-530-350-000	SFR	1.00	123.90	123.90
196-530-360-000	SFR	1.00	123.90	123.90
196-530-370-000	SFR	1.00	123.90	123.90
196-530-380-000	SFR	1.00	123.90	123.90
196-530-390-000	SFR	1.00	123.90	123.90
196-530-400-000	SFR	1.00	123.90	123.90
196-530-410-000	SFR	1.00	123.90	123.90
196-530-420-000	SFR	1.00	123.90	123.90
196-530-430-000	SFR	1.00	123.90	123.90
196-530-440-000	SFR	1.00	123.90	123.90
196-530-450-000	SFR	1.00	123.90	123.90
196-530-460-000	SFR	1.00	123.90	123.90
196-530-470-000	SFR	1.00	123.90	123.90
196-530-480-000	SFR	1.00	123.90	123.90
196-530-490-000	SFR	1.00	123.90	123.90
196-530-500-000	SFR	1.00	123.90	123.90
196-530-510-000	SFR	1.00	123.90	123.90
196-530-520-000	SFR	1.00	123.90	123.90
196-530-530-000	SFR	1.00	123.90	123.90
196-530-540-000	SFR	1.00	123.90	123.90
196-530-550-000	SFR	1.00	123.90	123.90
196-530-560-000	SFR	1.00	123.90	123.90
196-530-570-000	SFR	1.00	123.90	123.90

**CITY OF LATHROP  
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 DISTRICT NO. 93-1, WOODFIELD PARK ZONE  
 FISCAL YEAR 2020/21  
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<b>APN</b>	<b>Land Use</b>	<b>EDU</b>	<b>Rate</b>	<b>Levy</b>
196-530-580-000	SFR	1.00	123.90	123.90
196-530-590-000	SFR	1.00	123.90	123.90
196-530-600-000	SFR	1.00	123.90	123.90
196-540-010-000	SFR	1.00	123.90	123.90
196-540-020-000	SFR	1.00	123.90	123.90
196-540-030-000	SFR	1.00	123.90	123.90
196-540-040-000	SFR	1.00	123.90	123.90
196-540-050-000	SFR	1.00	123.90	123.90
196-540-060-000	SFR	1.00	123.90	123.90
196-540-070-000	SFR	1.00	123.90	123.90
196-540-080-000	SFR	1.00	123.90	123.90
196-540-090-000	SFR	1.00	123.90	123.90
196-540-100-000	SFR	1.00	123.90	123.90
196-540-110-000	SFR	1.00	123.90	123.90
196-540-120-000	SFR	1.00	123.90	123.90
196-540-130-000	SFR	1.00	123.90	123.90
196-540-140-000	SFR	1.00	123.90	123.90
196-540-150-000	SFR	1.00	123.90	123.90
196-540-160-000	SFR	1.00	123.90	123.90
196-540-180-000	SFR	1.00	123.90	123.90
196-540-190-000	SFR	1.00	123.90	123.90
196-540-200-000	SFR	1.00	123.90	123.90
196-540-210-000	SFR	1.00	123.90	123.90
196-540-220-000	SFR	1.00	123.90	123.90
196-540-230-000	SFR	1.00	123.90	123.90
196-540-240-000	SFR	1.00	123.90	123.90
196-540-250-000	SFR	1.00	123.90	123.90
196-540-260-000	SFR	1.00	123.90	123.90
196-540-270-000	SFR	1.00	123.90	123.90
196-540-280-000	SFR	1.00	123.90	123.90
196-540-290-000	SFR	1.00	123.90	123.90
196-540-300-000	SFR	1.00	123.90	123.90
196-540-310-000	SFR	1.00	123.90	123.90
196-540-320-000	SFR	1.00	123.90	123.90
196-540-330-000	SFR	1.00	123.90	123.90



**CITY OF LATHROP  
 LANDSCAPE AND LIGHTING MAINTENANCE  
 DISTRICT NO. 93-1, WOODFIELD PARK ZONE  
 FISCAL YEAR 2020/21  
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<b>APN</b>	<b>Land Use</b>	<b>EDU</b>	<b>Rate</b>	<b>Levy</b>
196-540-340-000	SFR	1.00	123.90	123.90
196-540-350-000	SFR	1.00	123.90	123.90
196-540-360-000	SFR	1.00	123.90	123.90
196-540-370-000	SFR	1.00	123.90	123.90
196-540-380-000	SFR	1.00	123.90	123.90
196-540-390-000	SFR	1.00	123.90	123.90
196-540-400-000	SFR	1.00	123.90	123.90
196-540-410-000	SFR	1.00	123.90	123.90
196-540-420-000	SFR	1.00	123.90	123.90
196-540-430-000	SFR	1.00	123.90	123.90
196-540-440-000	SFR	1.00	123.90	123.90
196-540-450-000	SFR	1.00	123.90	123.90
196-540-460-000	SFR	1.00	123.90	123.90
196-540-470-000	SFR	1.00	123.90	123.90
196-540-480-000	SFR	1.00	123.90	123.90
196-540-490-000	SFR	1.00	123.90	123.90
196-540-500-000	SFR	1.00	123.90	123.90
196-550-010-000	SFR	1.00	123.90	123.90
196-550-020-000	SFR	1.00	123.90	123.90
196-550-030-000	SFR	1.00	123.90	123.90
196-550-040-000	SFR	1.00	123.90	123.90
196-550-050-000	SFR	1.00	123.90	123.90
196-550-060-000	SFR	1.00	123.90	123.90
196-550-070-000	SFR	1.00	123.90	123.90
196-550-080-000	SFR	1.00	123.90	123.90
196-550-090-000	SFR	1.00	123.90	123.90
196-550-100-000	SFR	1.00	123.90	123.90
196-550-110-000	SFR	1.00	123.90	123.90
196-550-120-000	SFR	1.00	123.90	123.90
196-550-130-000	SFR	1.00	123.90	123.90
196-550-140-000	SFR	1.00	123.90	123.90
196-550-150-000	SFR	1.00	123.90	123.90
196-550-160-000	SFR	1.00	123.90	123.90
196-550-170-000	SFR	1.00	123.90	123.90
196-550-180-000	SFR	1.00	123.90	123.90

**CITY OF LATHROP  
 LANDSCAPE AND LIGHTING MAINTENANCE  
 DISTRICT NO. 93-1, WOODFIELD PARK ZONE  
 FISCAL YEAR 2020/21  
 PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>EDU</b>	<b>Rate</b>	<b>Levy</b>
196-550-190-000	SFR	1.00	123.90	123.90
196-550-200-000	SFR	1.00	123.90	123.90
196-550-210-000	SFR	1.00	123.90	123.90
196-550-220-000	SFR	1.00	123.90	123.90
196-550-230-000	SFR	1.00	123.90	123.90
196-550-240-000	SFR	1.00	123.90	123.90
196-550-250-000	SFR	1.00	123.90	123.90
196-550-260-000	SFR	1.00	123.90	123.90
196-550-270-000	SFR	1.00	123.90	123.90
196-550-280-000	SFR	1.00	123.90	123.90
196-550-290-000	SFR	1.00	123.90	123.90
196-550-300-000	SFR	1.00	123.90	123.90
196-550-310-000	SFR	1.00	123.90	123.90
196-560-010-000	SFR	1.00	123.90	123.90
196-560-020-000	SFR	1.00	123.90	123.90
196-560-030-000	SFR	1.00	123.90	123.90
196-560-040-000	SFR	1.00	123.90	123.90
196-560-050-000	SFR	1.00	123.90	123.90
196-560-060-000	SFR	1.00	123.90	123.90
196-560-070-000	SFR	1.00	123.90	123.90
196-560-080-000	SFR	1.00	123.90	123.90
196-560-090-000	SFR	1.00	123.90	123.90
196-560-100-000	SFR	1.00	123.90	123.90
196-560-110-000	SFR	1.00	123.90	123.90
196-560-120-000	SFR	1.00	123.90	123.90
196-560-130-000	SFR	1.00	123.90	123.90
196-560-140-000	SFR	1.00	123.90	123.90
196-560-150-000	SFR	1.00	123.90	123.90
196-560-160-000	SFR	1.00	123.90	123.90
196-560-170-000	SFR	1.00	123.90	123.90
196-560-180-000	SFR	1.00	123.90	123.90
196-560-190-000	SFR	1.00	123.90	123.90
196-570-010-000	SFR	1.00	123.90	123.90
196-570-020-000	SFR	1.00	123.90	123.90
196-570-030-000	SFR	1.00	123.90	123.90

**CITY OF LATHROP  
 LANDSCAPE AND LIGHTING MAINTENANCE  
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 FISCAL YEAR 2020/21  
 PARCEL LISTING**

<b>APN</b>	<b>Land Use</b>	<b>EDU</b>	<b>Rate</b>	<b>Levy</b>
196-570-040-000	SFR	1.00	123.90	123.90
196-570-050-000	SFR	1.00	123.90	123.90
196-570-060-000	SFR	1.00	123.90	123.90
196-570-070-000	SFR	1.00	123.90	123.90
196-570-080-000	SFR	1.00	123.90	123.90
196-570-090-000	SFR	1.00	123.90	123.90
196-570-100-000	SFR	1.00	123.90	123.90
196-570-110-000	SFR	1.00	123.90	123.90
196-570-120-000	SFR	1.00	123.90	123.90
196-570-130-000	SFR	1.00	123.90	123.90
196-570-140-000	SFR	1.00	123.90	123.90
196-570-150-000	SFR	1.00	123.90	123.90
196-570-160-000	SFR	1.00	123.90	123.90
196-570-170-000	SFR	1.00	123.90	123.90
196-570-180-000	SFR	1.00	123.90	123.90
196-570-190-000	SFR	1.00	123.90	123.90
196-570-200-000	SFR	1.00	123.90	123.90
196-570-210-000	SFR	1.00	123.90	123.90
196-570-220-000	SFR	1.00	123.90	123.90
196-570-230-000	SFR	1.00	123.90	123.90
196-570-240-000	SFR	1.00	123.90	123.90
196-570-250-000	SFR	1.00	123.90	123.90
196-570-270-000	SFR	1.00	123.90	123.90
196-570-280-000	SFR	1.00	123.90	123.90
196-570-290-000	SFR	1.00	123.90	123.90
196-570-300-000	SFR	1.00	123.90	123.90
196-570-310-000	SFR	1.00	123.90	123.90
196-570-320-000	SFR	1.00	123.90	123.90
196-570-330-000	SFR	1.00	123.90	123.90
196-570-340-000	SFR	1.00	123.90	123.90
196-570-350-000	SFR	1.00	123.90	123.90
196-570-360-000	SFR	1.00	123.90	123.90
196-570-370-000	SFR	1.00	123.90	123.90
196-570-380-000	SFR	1.00	123.90	123.90
196-570-390-000	SFR	1.00	123.90	123.90

**CITY OF LATHROP  
 LANDSCAPE AND LIGHTING MAINTENANCE  
 DISTRICT NO. 93-1, WOODFIELD PARK ZONE  
 FISCAL YEAR 2020/21  
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<b>APN</b>	<b>Land Use</b>	<b>EDU</b>	<b>Rate</b>	<b>Levy</b>
196-570-400-000	SFR	1.00	123.90	123.90
196-570-410-000	SFR	1.00	123.90	123.90
196-570-420-000	SFR	1.00	123.90	123.90
196-570-430-000	SFR	1.00	123.90	123.90
196-570-440-000	SFR	1.00	123.90	123.90
196-570-450-000	SFR	1.00	123.90	123.90
196-570-460-000	SFR	1.00	123.90	123.90
196-570-470-000	SFR	1.00	123.90	123.90
196-570-480-000	SFR	1.00	123.90	123.90
196-570-490-000	SFR	1.00	123.90	123.90
196-570-500-000	SFR	1.00	123.90	123.90
196-570-510-000	SFR	1.00	123.90	123.90
196-570-520-000	SFR	1.00	123.90	123.90
196-570-530-000	SFR	1.00	123.90	123.90
196-570-540-000	SFR	1.00	123.90	123.90
196-570-550-000	SFR	1.00	123.90	123.90
196-570-560-000	SFR	1.00	123.90	123.90
196-570-570-000	SFR	1.00	123.90	123.90
196-570-580-000	SFR	1.00	123.90	123.90
196-570-590-000	SFR	1.00	123.90	123.90
196-570-600-000	SFR	1.00	123.90	123.90
196-570-610-000	SFR	1.00	123.90	123.90
<b>Totals:</b>		<b>442.00</b>		<b>\$54,763.80</b>

## ITEM 4.14

### CITY MANAGER'S REPORT MAY 11, 2020 CITY COUNCIL REGULAR MEETING

**ITEM:** **APPROVAL OF FINAL MAP AND SUBDIVISION IMPROVEMENT AGREEMENT (SIA) FOR 44 LOTS IN TRACT 4021 VILLAGE "S" WITHIN LAKESIDE EAST DISTRICT OF RIVER ISLANDS**

**RECOMMENDATION:** **Adopt Resolution Approving a Final Map for Tract 4021 Village "S" within the Lakeside East District of River Islands, totaling 44 Single Family Detached Units (44 Lots), and a Subdivision Improvement Agreement with River Islands Development, LLC, and City of Lathrop Annexation No. 12 CFD**

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#### **SUMMARY:**

On June 1, 2015, the City approved an amendment to Vesting Tentative Map Tract 3694 (VTM 3694), Phase 1 of River Islands at Lathrop that revised conditions of approval for new development within Phase 1. On August 25, 2016, the City Community Development Department approved a Finding of Substantial Conformance for VTM 3694 for the Stage 2A sub-planning area. This action allowed minor changes in the land use pattern for VTM 3694 at the request of River Islands Development, LLC ("RID").

Village S, located south of Marina Drive in the Lakeside East District, vicinity map (Attachment B), is a low density designated and zoned neighborhood that will contain up to 143 detached single-family units. This village is unique, in that it will contain larger parcels that are subdivided by use of access and public easement easements on larger "pods." The layout of the parcels results in what builders call a "Four-Pack". The Final Map for Tract 4021 is the first of three maps that will make up Village "S".

Staff recommends that the City Council adopt a resolution approving the Final Map for Tract 4021, Village "S" and a Subdivision Improvement Agreement (Attachment D) with River Islands Development, LLC.

#### **BACKGROUND:**

On March 27, 2007, the City Council approved VTM 3694 and amended VTM 3694 on June 1, 2015 with updated conditions of approval. Tract 4021 as proposed by River Islands Development, LLC ("River Islands") as the subdivider, is in compliance with the most current conditions of approval.

This village is unique, in that it will contain larger parcels that are subdivided by use of access and public utility easements on larger "pods." The layout of the parcels results in what builders call a "Four-Pack", Stage 2A Village S Development Plan (Attachment C).

**MAY 11, 2020 CITY COUNCIL REGULAR MEETING****APPROVAL OF FINAL MAP AND SIA FOR 44 LOTS IN TRACT 4021 VILLAGE "S" WITHIN LAKESIDE EAST DISTRICT OF RIVER ISLANDS**

With the exception of one pod, there will be four single family dwellings built on a larger parcel that utilizes the easements for driveways (common access) and utilities from the public street. This allows for a higher density of detached units to be built than a typical single-family lots that do not share a common access point. This is similar to the "lane" units constructed in the past in Mossdale Landing near City Hall. While this final map is not a condominium map, there will be a homeowner's association (HOA) for these units to maintain common landscape areas and access pavement. Although this product is denser than a typical single-family subdivision, it is still within the low-density residential zoning range allowed by the City zoning code (under 9 units per acre).

Village S is the first neighborhood to be constructed by Lennar Communities in River Islands, which is the country's largest home builder. The Stewart Tract Design Review Committee (STDRC) reviewed and recommended approval of the proposed dwelling units on February 10, 2020.

As required by the City's subdivision ordinance, all final maps must include a Subdivision Improvement Agreement (SIA) to guarantee certain off-site and on-site improvements associated with the final map. While some of the public improvements for Tract 4021 and Village "S" have been completed, construction of additional improvements is necessary. Since the entirety of the improvements are not complete yet, the SIA requires security for the completion of required public improvements. The master developer has provided performance bonds for these guarantees. The Tract 4021 SIA (Attachment E), includes the requirement for performance, labor and materials, and maintenance related guarantees, as well as a reference to the Agreement for Dedication, Inspection, and Guarantee of Streets and Public Improvements ("Off-site Agreement") that was first approved by the City on September 30, 2013 to the extent that that agreement is still valid for certain improvements. Tract 4021 will not trigger any additional off-site improvements.

River Islands has paid all appropriate fees and has provided security for completion of required public improvements for Village "S". Completion of offsite improvements that were required to serve the CSRB, East Village, and Lakeside East areas were guaranteed in the Agreement for Dedication, Inspection, and Guarantee of Streets and Public Improvements ("Off-Site Agreement) approved by City Council on September 30, 2013.

**REASON FOR RECOMMENDATION:**

The applicant has completed some public improvements that provide public access to Village "S" and has provided appropriate performance security to guarantee the balance of the improvements.

Completion of the balance of improvements is required prior to the first occupancy of the first production unit for the project or by December 1, 2020, whichever comes first. Before to acceptance of public improvements within Tract 4021, River Islands

**MAY 11, 2020 CITY COUNCIL REGULAR MEETING**

**APPROVAL OF FINAL MAP AND SIA FOR 44 LOTS IN TRACT 4021 VILLAGE "S" WITHIN LAKESIDE EAST DISTRICT OF RIVER ISLANDS**

shall provide a 10% maintenance bond to guarantee the full improvements (completed and uncompleted) for one year. River Islands has provided the tract map, the tract improvement plans, all required documents and all fees for Tract 4021. This includes the following documents and fees:

<b>Documents</b>	<b>Status</b>
1. Final Map ready for signature	Completed
2. Subdivision Improvement Agreement	Completed
3. Performance Security – Incomplete public improvements	Completed
4. Labor and Material Security – Incomplete public improvements	Completed
5. Landscaping Plans	Completed
6. Street Light Plans	Completed
7. Joint Trench Plans	Completed
8. Geotechnical Report	Completed
9. Agreement for Backbone Improvements and Parks (Agreement for Dedication, Inspection and Guarantee of Streets and Public Improvements)	Completed
10. Approval of 3 <sup>rd</sup> Amendment to Development Agreement that guarantees creation of CFD for City Maintenance and Shortfalls, and Guarantee of Developer CFDs for Developer/other public agency maintenance	Completed
11. Allocation of Water and Sewer capacity	Completed
12. Recommendation for approval from Stewart Tract Design Review Committee	Completed
13. Submitted Certificate of Insurance	Completed
14. Submitted Tax Letter	Completed
15. Submitted Guarantee of Title	Completed
16. Tract 4021 Village "S" – City of Lathrop Community Facilities District No. 2013-1 (River Islands Public Services and Facilities) Annexation No. 12 CFD	Pending Approval with this item

<b>Fees</b>	<b>Status</b>
1. Final Map plan check fee	Paid

**MAY 11, 2020 CITY COUNCIL REGULAR MEETING**

**APPROVAL OF FINAL MAP AND SIA FOR 44 LOTS IN TRACT 4021 VILLAGE "S" WITHIN LAKESIDE EAST DISTRICT OF RIVER ISLANDS**

2.	Improvement Plans - Plan check fees	Paid
3.	Improvement Plans - Inspection fees	Paid
4.	Plan guarantee deposit	Paid
5.	Record retention fee	Paid
6.	Bond guaranteeing copies/reductions of final map	Paid
7.	Sierra Club Settlement fee	To be paid in escrow

The above noted documents and fees are required by the VTM 3694 conditions of approval prior to approval of the Final Map by City Council. The guarantee is in the form of the Subdivision Improvement Agreement with security and improvement plans.

Extensive off-site improvements to serve this Tract have already been completed, including construction of levees, participation in construction of a Wastewater Treatment Plant (Consolidated Treatment Facility) and related storage ponds and sprayfields, purchase of SSJID surface water and construction of utility infrastructure to serve the proposed Tract. Additional off-site improvements that are required to serve this Final Map, are detailed in the Agreement for Dedication, Inspection, and Guarantee of Streets and Public Improvements (Off-site Agreement) approved by the City Council in 2014.

Before the Final Maps are recorded, River Islands must also satisfy the Escrow Instructions (Attachment F) that guarantee all required payments to the Sierra Club are made, under the terms of the 3<sup>rd</sup> Amendment to the Development Agreement.

**FISCAL IMPACT:**

There is no fiscal impact to the City. All City costs are covered by development fees, and any shortfalls in City maintenance and operating costs are covered by the CFD's for maintenance. RID is also providing funds necessary to defray any staff time required to process their request.

**ATTACHMENTS:**

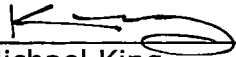
- A. Resolution Approving a Final Map for Tract 4021, Village "S" within the Lakeside East District of River Islands, totaling 44 Single Family Detached Units (44 Lots) and a Subdivision Improvement Agreement with River Islands Development, LLC, and Annexation No. 12 of City of Lathrop Community Facilities District No. 2013-1 (River Islands Public Services and Facilities)




- B. Village "S" Vicinity Map
- C. Four Pack Layout/Unit
- D. Final Map for Tract 40201, Village "S"
- E. Subdivision Improvement Agreement between the City of Lathrop and River Islands Development, LLC, a California limited liability company, for Tract 4021, Village "S"
- F. Escrow Instructions for Final Map Tract 4021 Village "S", including the Annexation No. 12 of City of Lathrop Community Facilities District No. 2013-1

**CITY MANAGER'S REPORT**  
**MAY 11, 2020 CITY COUNCIL REGULAR MEETING**  
**APPROVAL OF FINAL MAP AND SIA FOR 44 LOTS IN TRACT 4021 VILLAGE**  
**"S" WITHIN LAKESIDE EAST DISTRICT OF RIVER ISLANDS**

**APPROVALS:**

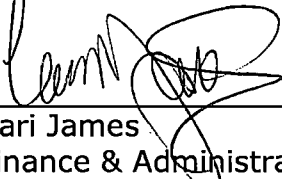
  
\_\_\_\_\_  
Michael King  
Public Works Director

5.5.2020  
Date

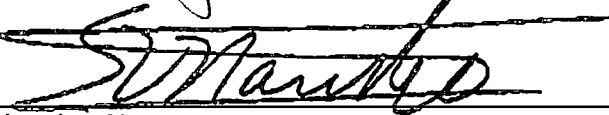
  
\_\_\_\_\_  
Glenn Gebhardt  
City Engineer

MICHAEL KING  
FOR

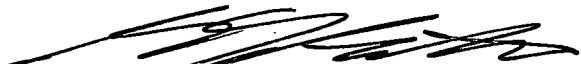
5.5.2020  
Date

  
\_\_\_\_\_  
Cari James  
Finance & Administrative Services Director

5/5/2020  
Date

  
\_\_\_\_\_  
Salvador Navarrete  
City Attorney

5/5/2020  
Date

  
\_\_\_\_\_  
Stephen J. Salvatore  
City Manager

5.6.2020  
Date

**RESOLUTION NO. 20-**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP APPROVING A FINAL MAP FOR TRACT 4021 VILLAGE "S" WITHIN THE LAKESIDE EAST DISTRICT OF RIVER ISLANDS, TOTALING 44 SINGLE FAMILY DETACHED UNITS (44 LOTS) AND A SUBDIVISION IMPROVEMENT AGREEMENT WITH RIVER ISLANDS DEVELOPMENT, LLC AND ANNEXATION NO. 12 OF CITY OF LATHROP COMMUNITY FACILITIES DISTRICT NO. 2013-1 (RIVER ISLANDS PUBLIC SERVICES AND FACILITIES)**

**WHEREAS**, on March 27, 2007, the City Council approved Vesting Tentative Map (VTM) No. 3694 with Conditions of Approval for a residential and commercial development that is consistent with the West Lathrop Specific Plan (WLSP) and the River Islands Urban Design Concept (UDC); and

**WHEREAS**, on June 1, 2015, the City Council approved amendments to the VTM, WLSP and UDC, with amended conditions of approval; and

**WHEREAS**, on August 25, 2016, the City Community Development Department approved a Finding of Substantial Conformance for VTM 3694 for the Stage 2A sub-planning area that allowed minor changes in the land use pattern for VTM 3694 and the approval of final maps within Stage 2A; and

**WHEREAS**, Tract 4021, the proposed subdivision, is part of the Lakeside East District of River Islands as described in the UDC, consisting of 44 lots for 44 single family detached homes covered by VTM No. 3694, located on the west side of the San Joaquin River, north of Union Pacific Railroad; and

**WHEREAS**, in its review of the Tract 4021 and Village "S", the Stewart Tract Design Review Committee recommended approval on February 10, 2020; and

**WHEREAS**, River Islands Development, LLC has completed or has guaranteed completion of all public improvements on Tract Map 4021, as identified on the approved improvement plans, and has completed or guaranteed completion of all required documents and payment of all fees; and

**WHEREAS**, River Islands Development area includes three Community Facility Districts (CFD); and these three separate districts include: City CFD 2013-1, Reclamation District 2062 (RD 2062) CFD 2013-01, and River Islands Public Financing Authority (RIPFA) CFD 2013-1; and

**WHEREAS**, a Subdivision Improvement Agreement between the City and River Islands Development LLC, and provision of security by River Islands Development LLC for unfinished and deferred improvements, are required prior to final map approval per the Lathrop Municipal Code Section 16.16.190; and

**WHEREAS**, a Subdivision Improvement Agreement has been signed by River Islands Development LLC and presented to the City for approval and signature; and

**WHEREAS**, upon acceptance of all improvements as complete, a one-year maintenance and repair bond will be required to secure River Islands Development, LLC obligation to maintain all improvements and repair or correct any defective work; and

**WHEREAS**, several conditions of approval of VTM 3694 are satisfied by the 3rd Amendment to the Development Agreement between the City and Califia, LLC, which the City Council approved on October 7, 2013; and

**WHEREAS**, off-site improvements were guaranteed with the Dedication, Inspection and Guarantee of Streets and Public Improvements (Off-site Agreement), approved by City Council on September 30, 2013; and

**WHEREAS**, City staff has confirmed that all Conditions of Approval of VTM 3694 required for approval of Final Map 4021 have been met, including those Conditions of Approval satisfied under the Subdivision Improvement Agreement and Off-Site Agreement; and

**WHEREAS**, the City Engineer has confirmed that the Final Map for Tract 4021 is substantially the same as it appeared on VTM No. 3694, is technically correct, and complies with the requirements of the Subdivision Map Act and Lathrop Municipal Code, Chapter 16.16; and

**WHEREAS**, River Islands Development, LLC will satisfy the escrow requirements to fund the Settlement Fee prior to recordation of the Final Map for Tract 3836; and

**WHEREAS**, Capital Facilities Fees are not required until such time as the builder applies for building permits.

**NOW, THEREFORE, BE IT RESOLVED**, by the City Council of the City of Lathrop that makes and accepts the following actions:

1. The Final Map for Tract 4021, Village "S" and the Escrow Instructions are hereby approved as submitted as part of the public record, and the City Clerk is authorized to execute the Final Map and a staff will deliver it to the escrow company for recordation in accordance with the Escrow Instructions. Copies can be located with the San Joaquin County Assessor/Recorder/County Clerk Office for record

2. The City Manager, or their designee, is authorized to execute a Subdivision Improvement Agreement with River Islands Development, LLC, and Annexation No. 12 of City of Lathrop Community Facilities District No. 2013-1 (River Islands Public Services and Facilities) in substantially the form as attached to the May 11, 2020 staff report, the executed copy will be filed with the City Clerk

**PASSED AND ADOPTED** by the City Council of the City of Lathrop this 11<sup>th</sup> day of May 2020 by the following vote:

AYES:

NOES:

ABSTAIN:

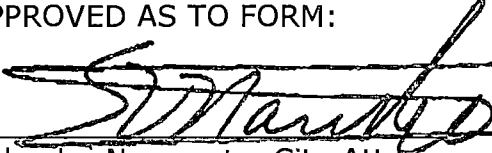
ABSENT:

\_\_\_\_\_  
Sonny Dhaliwal, Mayor

ATTEST:

APPROVED AS TO FORM:

\_\_\_\_\_  
Teresa Vargas, City Clerk

\_\_\_\_\_  
  
Salvador Navarrete, City Attorney

VILLAGE CC

VILLAGE O

RIVER ISLANDS PARKWAY

VILLAGE U

VILLAGE T

VILLAGE M

DELL'OSSO DRIVE

MARINA DRIVE

VILLAGE S

VILLAGE K

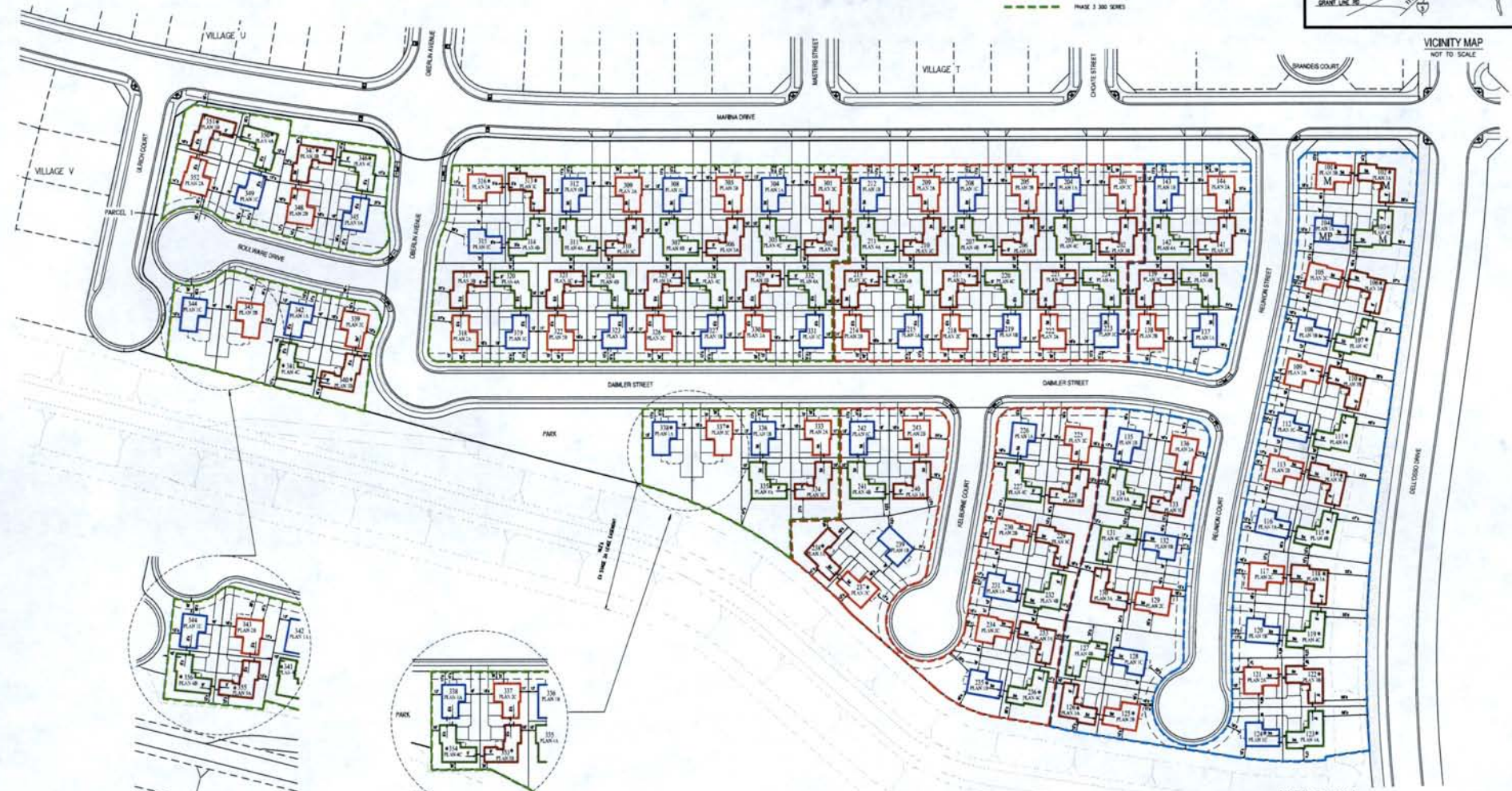
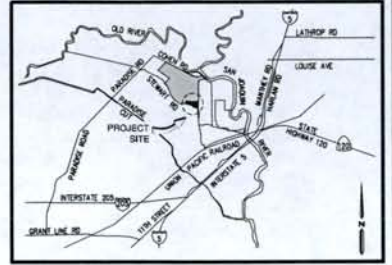
TRACT 4021

VILLAGE S  
VICINITY MAP  
APRIL 2020

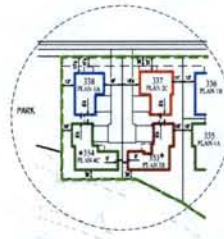
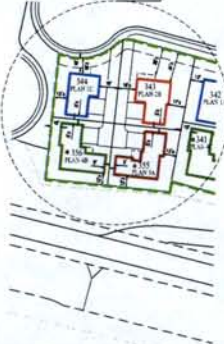
PRODUCT MIX					
PLAN	A	B	C	TOTAL	%
	12	12	12	36	25.9
	12	12	12	36	25.9
	12	11	11	34	24.3
	11	18	12	41	29.7
<b>TOTAL</b>	<b>47</b>	<b>45</b>	<b>47</b>	<b>139</b>	<b>100</b>

**LEGEND**

- LOT LINE
- LOT NUMBER
- PLAN TYPE
- M MODEL LOTS
- MP MODEL PARKING
- \* SHANNON CUSHION
- PHASE 1 100 SERIES
- PHASE 2 200 SERIES
- PHASE 3 300 SERIES



ATTACHMENT C



POSSIBLE FUTURE 4-PACK  
 \*SUBJECT TO LEVEE EASEMENT ABANDONMENT AND A LOT LINE ADJUSTMENT

POSSIBLE FUTURE 4-PACK  
 \*SUBJECT TO LEVEE EASEMENT ABANDONMENT AND A LOT LINE ADJUSTMENT

**HORIZON  
 STAGE 2A - VILLAGE S  
 DEVELOPMENT PLAN  
 RIVER ISLANDS**



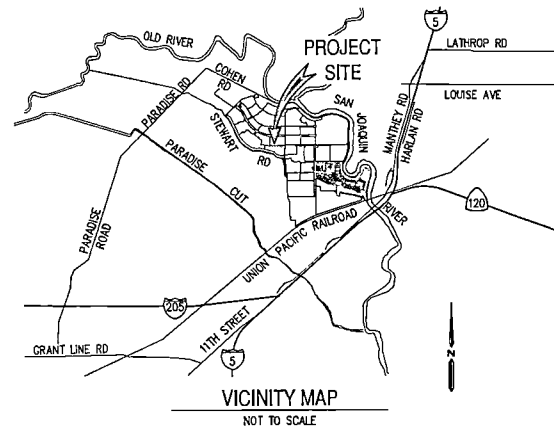
CITY OF LATHROP SAN JOAQUIN COUNTY CALIFORNIA  
 DATE: APRIL 30, 2020

**ODELL  
 ENGINEERING**  
 6200 Stoneridge Mall Road, Suite 330  
 Pleasanton, CA 94588  
 Ph: 925.223.4340 odelengineering.com



# TRACT 4021 RIVER ISLANDS - STAGE 2A VILLAGE S1

A PORTION OF RANCHO EL PESCADERO, BEING  
A SUBDIVISION OF PARCEL 5 OF TRACT 3908 (43 M&P 52)  
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA  
APRIL 2020



### OWNER'S STATEMENT

THE UNDERSIGNED, DOES HEREBY STATE THAT THEY ARE THE OWNERS OF ALL THE LAND DELINEATED AND EMBRACED WITHIN THE EXTERIOR BOUNDARY LINE OF THE HEREIN EMBODIED FINAL MAP ENTITLED, "TRACT 4021, RIVER ISLANDS, STAGE 2A, VILLAGE S1", CITY OF LATHROP, CALIFORNIA, CONSISTING OF THIRTEEN (13) SHEETS, AND WE HEREBY CONSENT TO THE PREPARATION AND FILING OF THIS FINAL MAP IN THE OFFICE OF THE COUNTY RECORDER OF SAN JOAQUIN COUNTY, CALIFORNIA.

THE UNDERSIGNED DOES HEREBY DEDICATE AN EASEMENT TO THE CITY OF LATHROP FOR PUBLIC RIGHT-OF-WAY PURPOSES, THOSE PORTIONS OF SAID LANDS DESIGNATED ON SAID MAP AS REUNION STREET, REUNION COURT, DANMLER STREET, OBERLIN AVENUE, AND MARINA DRIVE WIDENING AS SHOWN ON THIS FINAL MAP.

THE UNDERSIGNED DOES HEREBY DEDICATE TO THE CITY OF LATHROP A NON-EXCLUSIVE EASEMENT TOGETHER WITH THE RIGHT TO CONSTRUCT, RECONSTRUCT, REPAIR AND MAINTAIN, POLES, WIRES, CABLES, PIPES, AND CONDUITS AND THEIR APPURTENANCES UPON, OVER AND UNDER THE STRIPS OF LAND AS SHOWN ON THIS FINAL MAP DESIGNATED AS "PUBLIC UTILITY EASEMENT" (P.U.E.).

THE UNDERSIGNED DOES HEREBY DEDICATE TO THE CITY OF LATHROP A NON-EXCLUSIVE EASEMENT FOR THE PURPOSES OF REPAIR AND MAINTENANCE OF THE SOUND WALL FOR THE AREAS DESIGNATED AS "WALL EASEMENT" (W.E.) AS SHOWN ON THIS FINAL MAP.

THE UNDERSIGNED DOES HEREBY DEDICATE TO THE CITY OF LATHROP A NON-EXCLUSIVE EASEMENT TOGETHER WITH THE RIGHT TO CONSTRUCT, RECONSTRUCT, REPAIR AND MAINTAIN SLOPES ACROSS THE STRIPS OF LAND AS SHOWN ON THIS FINAL MAP DESIGNATED AS "SLOPE EASEMENT" OR "S.E." (SLOPE EASEMENT).

THE UNDERSIGNED DOES HEREBY RESERVE PARCEL 1 THROUGH 5 FOR FUTURE DEVELOPMENT.

THE UNDERSIGNED DOES HEREBY DEDICATE TO THE CITY OF LATHROP, IN FEE, PARCEL A FOR THE PURPOSE OF OPEN SPACE, INCLUDING PUBLIC UTILITIES, STORM DRAIN FACILITIES, FENCE MAINTENANCE, AND APPURTENANCES THEREOF, FOR THE BENEFIT OF THE PUBLIC, AS SHOWN ON THIS FINAL MAP.

OWNER: RIVER ISLANDS STAGE 2A, LLC, A DELAWARE LIMITED LIABILITY COMPANY.

BY: \_\_\_\_\_ DATE \_\_\_\_\_  
NAME: SUSAN DELL'OSSO  
ITS: PRESIDENT

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

OLD REPUBLIC TITLE COMPANY, AS TRUSTEE, UNDER THE DEED OF TRUST RECORDED DECEMBER 22, 2016, AS DOCUMENT NUMBER 2016-160886, AND AS AMENDED IN DOCUMENT RECORDED DECEMBER 26, 2017 AS DOCUMENT NUMBER 2017-150771 OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.

BY: \_\_\_\_\_  
NAME: \_\_\_\_\_  
ITS: \_\_\_\_\_

### ACKNOWLEDGEMENT CERTIFICATE (OWNER)

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA  
COUNTY OF SAN JOAQUIN

ON \_\_\_\_\_, 2020 BEFORE ME, \_\_\_\_\_  
A NOTARY PUBLIC, PERSONALLY APPEARED, \_\_\_\_\_ WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/HEY EXECUTED THE SAME IN HIS/HER/ THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/ THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND:

SIGNATURE: \_\_\_\_\_  
NAME (PRINT): \_\_\_\_\_  
PRINCIPAL COUNTY OF BUSINESS: \_\_\_\_\_  
MY COMMISSION NUMBER: \_\_\_\_\_  
MY COMMISSION EXPIRES: \_\_\_\_\_

### ACKNOWLEDGEMENT CERTIFICATE (TRUSTEE)

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA  
COUNTY OF SAN JOAQUIN

ON \_\_\_\_\_, 2020 BEFORE ME, \_\_\_\_\_  
A NOTARY PUBLIC, PERSONALLY APPEARED, \_\_\_\_\_ WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/HEY EXECUTED THE SAME IN HIS/HER/ THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/ THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND:

SIGNATURE: \_\_\_\_\_  
NAME (PRINT): \_\_\_\_\_  
PRINCIPAL COUNTY OF BUSINESS: \_\_\_\_\_  
MY COMMISSION NUMBER: \_\_\_\_\_  
MY COMMISSION EXPIRES: \_\_\_\_\_

### CITY CLERK'S STATEMENT

I, TERESA VARGAS, CITY CLERK AND CLERK OF THE CITY COUNCIL OF THE CITY OF LATHROP, STATE OF CALIFORNIA, DO HEREBY STATE THAT THE HEREIN EMBODIED MAP ENTITLED "TRACT 4021, RIVER ISLANDS, STAGE 2A, VILLAGE S1", CITY OF LATHROP, CALIFORNIA, CONSISTING OF THIRTEEN (13) SHEETS, THIS STATEMENT WAS PRESENTED TO SAID CITY COUNCIL, AS PROVIDED BY LAW, AT A REGULAR MEETING THEREOF, HELD ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020, AND THAT SAID CITY COUNCIL DID THEREUPON BY RESOLUTION NO. \_\_\_\_\_ DULY PASSED AND ADOPTED AT SAID MEETING, APPROVE SAID MAP, AND AUTHORIZED ITS RECORDATION, AND ACCEPTED ON BEHALF OF THE CITY OF LATHROP, FOR PUBLIC USE, THE DEDICATION OF ALL PUBLIC UTILITY EASEMENTS, WALL EASEMENT, SLOPE EASEMENTS, PARCEL A, AND ACCEPTED THE OFFER OF DEDICATION OF ALL ROADWAYS AS SHOWN ON SAID MAP SUBJECT TO THE IMPROVEMENTS BEING COMPLETED IN ACCORDANCE WITH CHAPTER 16, TITLE 16.16 OF THE CITY OF LATHROP MUNICIPAL CODE.

I FURTHER STATE THAT ALL SECURITIES AS REQUIRED BY LAW TO ACCOMPANY THE WITHIN MAP HAVE BEEN APPROVED BY THE CITY COUNCIL OF LATHROP AND FILED IN MY OFFICE.

TERESA VARGAS  
CITY CLERK AND CLERK OF THE CITY COUNCIL OF THE CITY OF LATHROP, COUNTY OF SAN JOAQUIN, STATE OF CALIFORNIA

### SECRETARY OF THE PLANNING COMMISSION'S STATEMENT

THIS MAP CONFORMS TO VESTING TENTATIVE MAP NO. 3694 APPROVED BY THE PLANNING COMMISSION.  
DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

MARK WEISSNER, COMMUNITY DEVELOPMENT DIRECTOR  
CITY OF LATHROP

### RECORDER'S STATEMENT

FILED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020, AT \_\_\_\_\_ M.  
IN BOOK \_\_\_\_\_ OF MAPS AND PLATS, AT PAGE \_\_\_\_\_, AT THE REQUEST OF OLD REPUBLIC  
TITLE COMPANY.

FEE: \$ \_\_\_\_\_

STEVE J. BESTOLARIDES, ASSESSOR-RECORDER-COUNTY CLERK  
SAN JOAQUIN COUNTY, CALIFORNIA  
BY: \_\_\_\_\_ ASSISTANT/DEPUTY RECORDER



**TRACT 4021  
RIVER ISLANDS - STAGE 2A  
VILLAGE S1**

A PORTION OF RANCHO EL PESCADERO, BEING  
A SUBDIVISION OF PARCEL 5 OF TRACT 3908 (43 M&P 52)  
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA  
APRIL 2020



**NOTES**

- RIGHT TO FARM STATEMENT:  
PER CITY OF LATHROP MUNICIPAL CODE OF ORDINANCES, TITLE 15, CHAPTER 15.48.04, THE CITY OF LATHROP PERMITS OPERATION OF PROPERLY CONDUCTED AGRICULTURAL OPERATIONS WITHIN THE CITY LIMITS, INCLUDING THOSE THAT UTILIZE CHEMICAL FERTILIZERS AND PESTICIDES. YOU ARE HEREBY NOTIFIED THAT THE PROPERTY YOU ARE PURCHASING MAY BE LOCATED CLOSE TO AGRICULTURAL LANDS AND OPERATIONS. YOU MAY BE SUBJECT TO INCONVENIENCE OR DISCOMFORT ARISING FROM THE LAWFUL AND PROPER USE OF AGRICULTURAL CHEMICALS AND PESTICIDES AND FROM OTHER AGRICULTURAL ACTIVITIES, INCLUDING WITHOUT LIMITATIONS, CULTIVATION, PLOWING, SPRAYING, IRRIGATION, PRUNING, HARVESTING, BURNING OF AGRICULTURAL WASTE PRODUCTS, PROTECTION OF CROPS AND ANIMALS FROM DEPREDATION, AND OTHER ACTIVITIES WHICH MAY GENERATE DUST, SMOKE, NOISE, ODOR, RODENTS AND PESTS. BE AWARE ALSO, THAT THIS PROPERTY MAY BE LOCATED ADJACENT TO AGRICULTURAL OPERATIONS OUTSIDE THE CITY'S JURISDICTION. CONSEQUENTLY, DEPENDING ON THE LOCATION OF YOUR PROPERTY, IT MAY BE NECESSARY THAT YOU BE PREPARED TO ACCEPT SUCH INCONVENIENCES OR DISCOMFORT AS NORMAL AND NECESSARY ASPECT OF LIVING IN AN AGRICULTURALLY ACTIVE REGION.
- A SOILS REPORT ENTITLED "GEOTECHNICAL EXPLORATION, RIVER ISLANDS PHASE 1, LATHROP, CALIFORNIA", REFERENCED AS PROJECT NO. S044.5.001.01 AND DATED JULY 29, 2005, HAS BEEN PREPARED FOR THIS PROJECT BY ENGEQ, INCORPORATED, JOSEF J. TOOTLE, G.E. NO. 2677, AND IS ON FILE WITH THE CITY OF LATHROP.
- \*TRACT 4021, RIVER ISLANDS, STAGE 2A, VILLAGE S1\* CONTAINS 44 RESIDENTIAL LOTS, AND 5 NUMBERED PARCELS, CONTAINING 19.65 ACRES, MORE OR LESS, INCLUDING ROADWAYS THAT ARE BEING DEDICATED BY THIS FINAL MAP, AND PARCEL A CONTAINING 0.412 ACRES, MORE OR LESS. ALL AS SHOWN ON SAID MAP HEREIN. (PLEASE REFER TO THE AREA SUMMARY TABLE BELOW):

TRACT 4021 AREA SUMMARY	
LOTS 1 THROUGH 44	4.897 AC±
PARCELS 1 THROUGH 5	10.488 AC±
PARCEL A	0.412 AC±
STREET DEDICATIONS & MARINA DRIVE WIDENING	3.858 AC±
TOTAL	19.65 AC±

- THOSE AREAS DESIGNATED AS "A.E." OR PRIVATE NON-EXCLUSIVE ACCESS EASEMENT ARE SHOWN FOR ACCESS PURPOSES FOR THE USE OF THE ADJOINING LOT AS SHOWN AND SHALL BE MAINTAINED BY A MANDATORY HOMEOWNERS ASSOCIATION. SAID AREAS TO BE CREATED BY SEPARATE DOCUMENT SUBSEQUENT TO THE FILING OF THIS FINAL MAP.
- BASED ON INFORMATION CONTAINED IN THE PRELIMINARY TITLE REPORT ORDER NUMBER 1614022183-KB (VERSION 1), DATED JANUARY 14, 2020, PROVIDED BY OLD REPUBLIC TITLE COMPANY.

**REFERENCES**

- (R1) TRACT 3908, RIVER ISLANDS, STAGE 2A LARGE LOT FINAL MAP, FILED SEPTEMBER 20, 2018, IN BOOK 43 MAPS AND PLATS, PAGE 52, S.J.C.R. (43 M&P 52)
- (R2) TRACT 3989, RIVER ISLANDS, STAGE 2A VILLAGE U FINAL MAP, FILED NOVEMBER 2, 2018, IN BOOK 43 MAPS AND PLATS, PAGE 54, S.J.C.R. (43 M&P 54)
- (R3) TRACT 3992, RIVER ISLANDS, STAGE 2A VILLAGE V FINAL MAP, FILED NOVEMBER 8, 2019, IN BOOK 43 MAPS AND PLATS, PAGE 111, S.J.C.R. (43 M&P 111)
- (R4) TRACT 3994, RIVER ISLANDS, STAGE 2A VILLAGE T FINAL MAP, FILED DECEMBER 13, 2018, IN BOOK 43 MAPS AND PLATS, PAGE 60, S.J.C.R. (43 M&P 60)
- (R5) TRACT 3995, RIVER ISLANDS, STAGE 2A VILLAGE T FINAL MAP, FILED DECEMBER 17, 2019, IN BOOK 43 MAPS AND PLATS, PAGE 114, S.J.C.R. (43 M&P 114)
- (R6) TRACT 3995, RIVER ISLANDS, PHASE 1B VILLAGES J & K FINAL MAP, FILED JUNE 20, 2017, IN BOOK 42 MAPS AND PLATS, PAGE 89, S.J.C.R. (42 M&P 89)
- (R7) TRACT 3991, RIVER ISLANDS, STAGE 2A VILLAGE V FINAL MAP, FILED DECEMBER 21, 2018, IN BOOK 43 MAPS AND PLATS, PAGE 66, S.J.C.R. (43 M&P 66)

**SIGNATURE OMISSIONS**

PURSUANT TO SECTION 66436 OF THE CALIFORNIA SUBDIVISION MAP ACT, THE SIGNATURES OF THE FOLLOWING PARTIES HAVE BEEN OMITTED:  
1. RECLAIMED ISLANDS LAND COMPANY, RESERVATION FOR OIL, GAS, MINERALS, AND OTHER HYDROCARBON SUBSTANCES LYING BELOW A DEPTH OF 500 FEET, PER DOCUMENT NUMBER 2001-046177, S.J.C.R.

**CITY SURVEYOR'S STATEMENT**

I, LAWRENCE GOSSETT, HEREBY STATE THAT I HAVE EXAMINED THIS FINAL MAP OF "TRACT 4021, RIVER ISLANDS, STAGE 2A, VILLAGE S1", CITY OF LATHROP, CALIFORNIA, AND THAT THE SUBDIVISION SHOWN HEREON COMPLIES WITH ALL THE PROVISIONS OF CHAPTER 2 OF THE CALIFORNIA SUBDIVISION MAP ACT, AS AMENDED, AND THAT THIS FINAL MAP IS TECHNICALLY CORRECT.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

LAWRENCE GOSSETT, P.E. 31695



**SURVEYOR'S STATEMENT**

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF RIVER ISLANDS DEVELOPMENT, LLC, ON \_\_\_\_\_, 2020. I HEREBY STATE ALL THE MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED OR THAT THEY WILL BE SET IN THOSE POSITIONS BEFORE DECEMBER 31, 2023, AND THAT THE MONUMENTS ARE, OR THAT THEY WILL BE, SUFFICIENT TO ENABLE THIS SURVEY TO BE RETRACED, AND THAT THIS FINAL MAP SUBSTANTIALLY CONFORMS TO THE CONDITIONALLY APPROVED TENTATIVE MAP.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

DYLAN CRAWFORD, P.L.S. NO 7768



**CITY ENGINEER'S STATEMENT**

I, GLENN GEBHARDT, HEREBY STATE THAT I AM THE CITY ENGINEER OF THE CITY OF LATHROP, CALIFORNIA AND THAT I HAVE EXAMINED THIS FINAL MAP OF "TRACT 4021, RIVER ISLANDS, STAGE 2A, VILLAGE S1", CITY OF LATHROP, CALIFORNIA, AND THAT THE SUBDIVISION SHOWN HEREON IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE VESTING TENTATIVE MAP NO. 3694, AND ANY APPROVED ALTERATIONS THEREOF. I FURTHER STATE THAT THIS FINAL MAP COMPLIES WITH ALL APPLICABLE ORDINANCES OF THE CITY OF LATHROP, AND ANY AMENDMENTS THERETO, APPLICABLE AT THE TIME OF APPROVAL OF THE VESTING TENTATIVE MAP.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

GLENN GEBHARDT, R.C.E. 34681  
CITY ENGINEER OF THE CITY OF LATHROP, CALIFORNIA

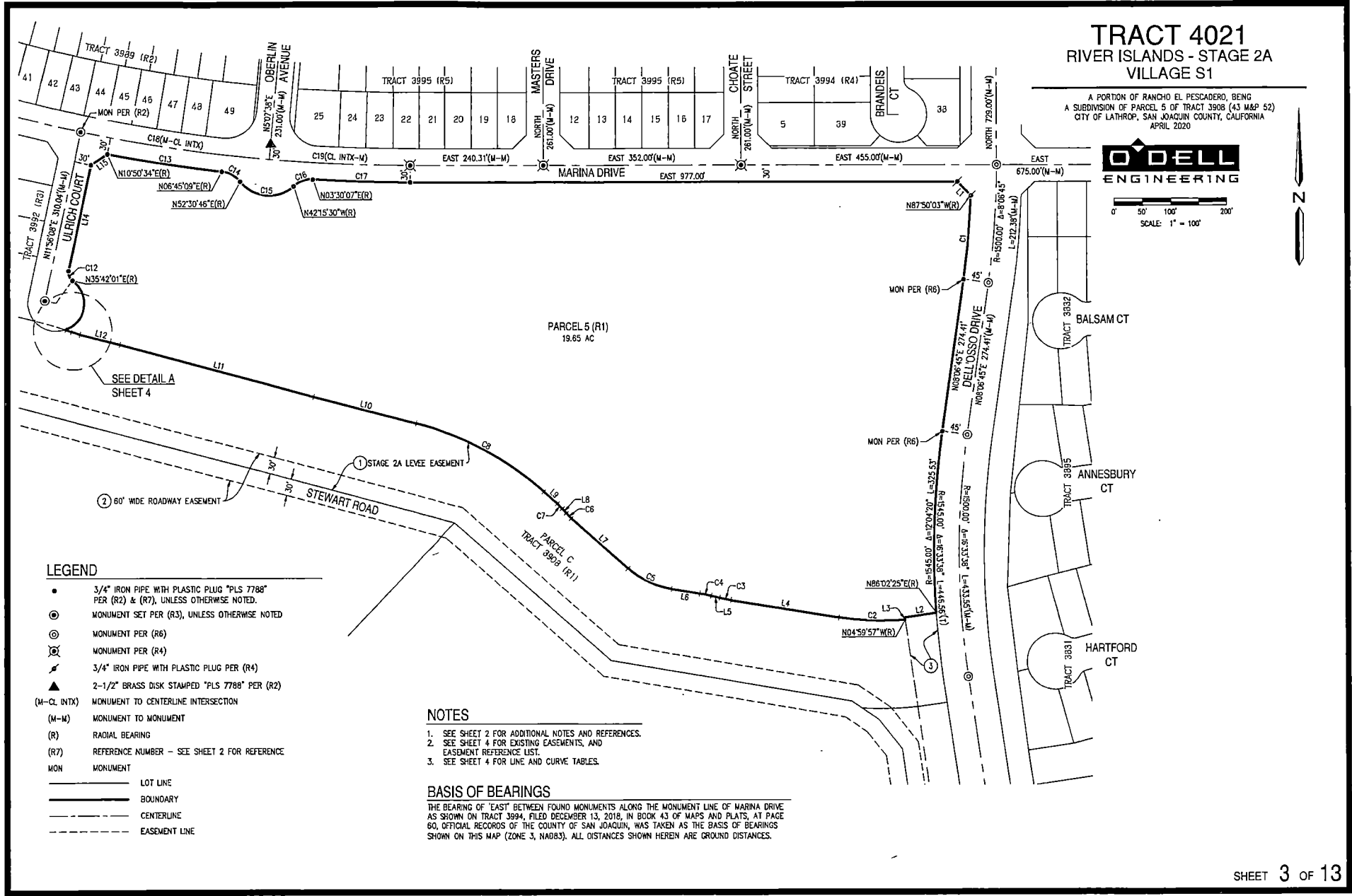


# TRACT 4021 RIVER ISLANDS - STAGE 2A VILLAGE S1

A PORTION OF RANCHO EL PESCADERO, BEING  
A SUBDIVISION OF PARCEL 5 OF TRACT 3908 (43 M&P 52)  
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA  
APRIL 2020

**ODELL**  
ENGINEERING

0' 50' 100' 200'  
SCALE: 1" = 100'



### LEGEND

- 3/4" IRON PIPE WITH PLASTIC PLUG "PLS 7788" PER (R2) & (R7), UNLESS OTHERWISE NOTED.
- ⊙ MONUMENT SET PER (R3), UNLESS OTHERWISE NOTED
- ⊙ MONUMENT PER (R6)
- ⊙ MONUMENT PER (R4)
- ⚡ 3/4" IRON PIPE WITH PLASTIC PLUG PER (R4)
- ▲ 2-1/2" BRASS DISK STAMPED "PLS 7788" PER (R2)
- (M-CL INTX) MONUMENT TO CENTERLINE INTERSECTION
- (M-M) MONUMENT TO MONUMENT
- (R) RADIAL BEARING
- (R7) REFERENCE NUMBER - SEE SHEET 2 FOR REFERENCE
- MON MONUMENT
- LOT LINE
- BOUNDARY
- CENTERLINE
- - - - - EASEMENT LINE

### NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 4 FOR EXISTING EASEMENTS, AND EASEMENT REFERENCE LIST.
3. SEE SHEET 4 FOR LINE AND CURVE TABLES.

### BASIS OF BEARINGS

THE BEARING OF "EAST" BETWEEN FOUND MONUMENTS ALONG THE MONUMENT LINE OF MARINA DRIVE AS SHOWN ON TRACT 3994, FILED DECEMBER 13, 2018, IN BOOK 43 OF MAPS AND PLATS, AT PAGE 60, OFFICIAL RECORDS OF THE COUNTY OF SAN JOAQUIN, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN ON THIS MAP (ZONE 3, NAD83). ALL DISTANCES SHOWN HEREIN ARE GROUND DISTANCES.

**EASEMENTS**

- ① STAGE 2A LEVEE EASEMENT IN FAVOR OF ISLAND RECLAMATION DISTRICT 2062 PER DOCUMENT NUMBER 2018-060092, S.J.C.R.
- ② ROADWAY EASEMENT (STEWART ROAD) IN FAVOR OF SAN JOAQUIN COUNTY PER 199 D.R. 212, S.J.C.R.
- ③ LEVEE EASEMENT IN FAVOR OF ISLAND RECLAMATION DISTRICT 2062 PER DOCUMENT NUMBER 2016-044287, S.J.C.R.

**TRACT 4021  
RIVER ISLANDS - STAGE 2A  
VILLAGE S1**

A PORTION OF RANCHO EL PESCADERO, BEING  
A SUBDIVISION OF PARCEL 5 OF TRACT 3908 (43 M&P 52)  
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA  
APRIL 2020

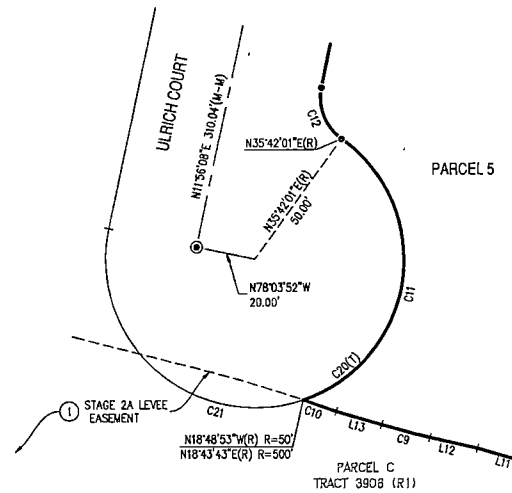


LINE TABLE FOR COURSES  
SHOWN ON SHEETS 3 & 4

LINE TABLE		
LINE	DIRECTION	LENGTH
L1	N44°09'47"W	34.84'
L2	N81°34'07"E	56.61'
L3	N8°05'53"W	4.14'
L4	N80°49'45"W	193.66'
L5	N76°04'58"W	15.53'
L6	N80°49'45"W	50.24'
L7	N48°14'46"W	134.98'
L8	N40°57'38"W	10.92'
L9	N48°14'46"W	32.46'
L10	N75°37'40"W	190.37'
L11	N74°39'34"W	355.03'
L12	N75°37'40"W	73.27'
L13	N71°06'D2"W	10.34'
L14	N11°56'08"E	194.24'
L15	N56°23'21"E	35.02'

CURVE TABLE FOR COURSES  
SHOWN ON SHEETS 3 & 4

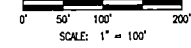
CURVE TABLE			
CURVE	RADIUS	DELTA	LENGTH
C1	1455.00	5°55'48"	151.01'
C2	477.00	141°0'12"	117.97'
C3	250.00	4°44'47"	20.71'
C4	250.00	4°44'47"	20.71'
C5	153.00	32°34'59"	87.01'
C6	100.00	7°17'08"	12.72'
C7	100.00	7°17'08"	12.72'
C8	550.00	27°22'54"	262.85'
C9	200.00	4°31'38"	15.80'
C10	500.00	0°10'15"	1.49'
C11	50.00	125°29'06"	109.51'
C12	17.00	66°14'07"	19.65'
C13	2859.00	4°05'25"	204.10'
C14	47.00	45°45'37"	37.54'
C15	65.00	94°46'16"	107.51'
C16	47.00	45°45'37"	37.54'
C17	2859.00	3°30'07"	174.74'
C18	2829.00	6°48'50"	336.16'
C19	2829.00	5°07'38"	253.15'
C20	50.00	246°14'06"	214.88'
C21	50.00	120°45'00"	105.37'



**DETAIL A**  
NOT TO SCALE  
(FROM SHEET 3)

# TRACT 4021 RIVER ISLANDS - STAGE 2A VILLAGE S1

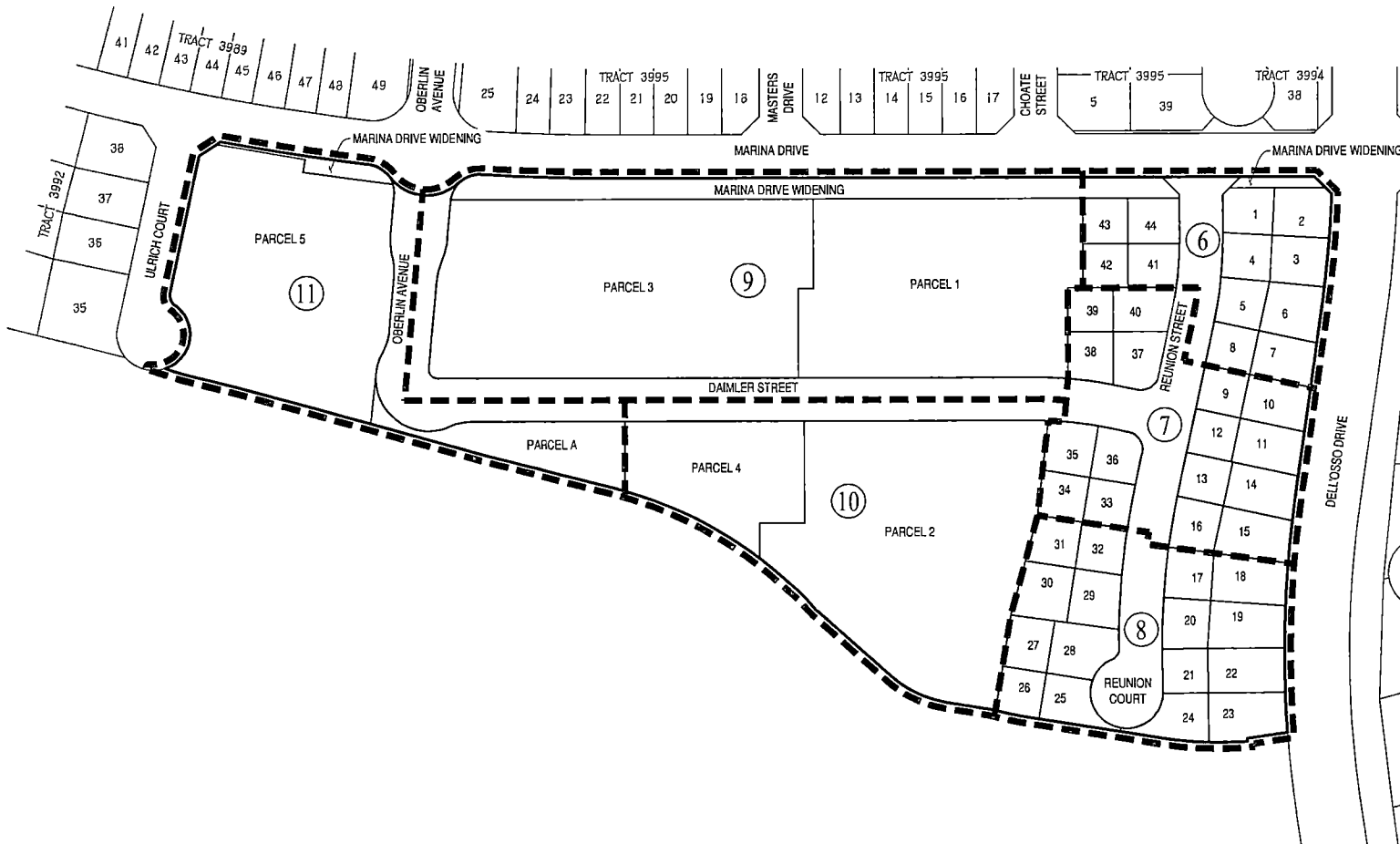
A PORTION OF RANCHO EL PESCADERO, BEING  
A SUBDIVISION OF PARCEL 5 OF TRACT 3908 (43 M&P 52)  
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA  
APRIL 2020



## SHEET INDEX

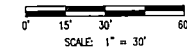
## LEGEND

- BOUNDARY
- LOT LINE
- SHEET NUMBER
- RESTRICTED ACCESS
- SHEET LIMIT LINE



# TRACT 4021 RIVER ISLANDS - STAGE 2A VILLAGE S1

A PORTION OF RANCHO EL PESCADERO, BEING  
A SUBDIVISION OF PARCEL 5 OF TRACT 3908 (43 M&P 52)  
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA  
APRIL 2020

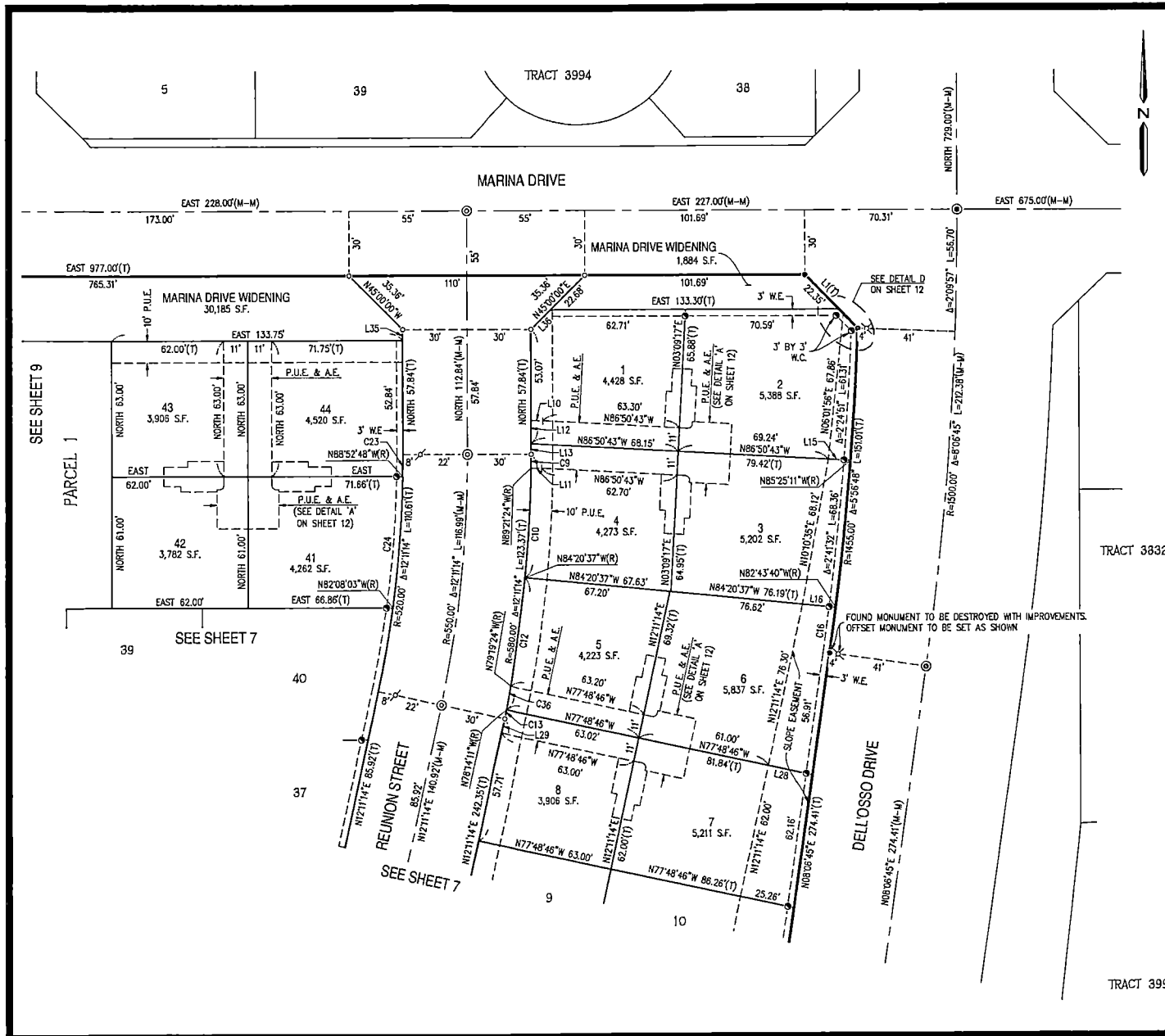


## LEGEND

- ⊙ SET STANDARD CITY OF LATHROP MONUMENT WELL STAMPED "PLS 7788"
- SET 3/4" IRON PIPE W/ PLASTIC PLUG "PLS 7788"
- ⊕ MONUMENT TO BE SET PER (R3)
- ⊗ MONUMENT TO BE SET PER (R9)
- MONUMENT TO BE SET PER (R11)
- ◆ FOUND 3/4" IRON PIPE W/ PLASTIC PLUG "PLS 7788" PER (R11), UNLESS OTHERWISE NOTED
- ✕ SET 3/4" IRON PIPE W/ PLASTIC PLUG "PLS 7788" AS NOTED
- SET 3.00" WITNESS CORNER (W.C.), UNLESS OTHERWISE NOTED, MEASURED ALONG LOT LINE, RADIAL LINE OR PERPENDICULAR TO STREET CENTERLINE AS NOTED. 3/4" x 24" IRON PIPE W/ PLASTIC PLUG "PLS 7788"
- ⚡ SET 8.00" WITNESS CORNER (W.C.) RADIAL LINE OR PERPENDICULAR TO STREET CENTERLINE AS NOTED. 3/4" IRON PIPE W/ PLASTIC PLUG "PLS 7788"
- 200.00'(R1) MEASURED AND RECORD DATA PER REFERENCE (R1)
- (R1) DENOTES REFERENCE (R1)- SEE REFERENCE LIST ON SHEET 3
- (M-M) MONUMENT TO MONUMENT
- (M-B) MONUMENT TO BOUNDARY
- (T) TOTAL
- (B) BOUNDARY
- A.E. PRIVATE ACCESS EASEMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- S.S.E. SANITARY SEWER EASEMENT
- W.E. WALL EASEMENT
- LOT LINE
- RIGHT-OF-WAY LINE
- BOUNDARY
- EASEMENT LINE
- MONUMENT LINE
- CENTERLINE

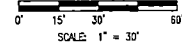
## NOTES

1. 1.17" BRASS DISK STAMPED "PLS 7788" TO BE SET ON CONCRETE, SIDEWALK 1.00' INTO THE RIGHT-OF-WAY, ALONG PROLONGATION OF SIDE LOT LINES, OR AS NOTED.
2. 5/8" REBAR WITH CAP "PLS 7788" TO BE SET AT ALL REAR LOT CORNERS, UNLESS OTHERWISE NOTED.
3. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
4. SEE SHEET 4 FOR EXISTING EASEMENT.
5. SEE SHEET 13 FOR LINE AND CURVE TABLES.
6. SEE SHEET 3 FOR BASIS OF BEARINGS.



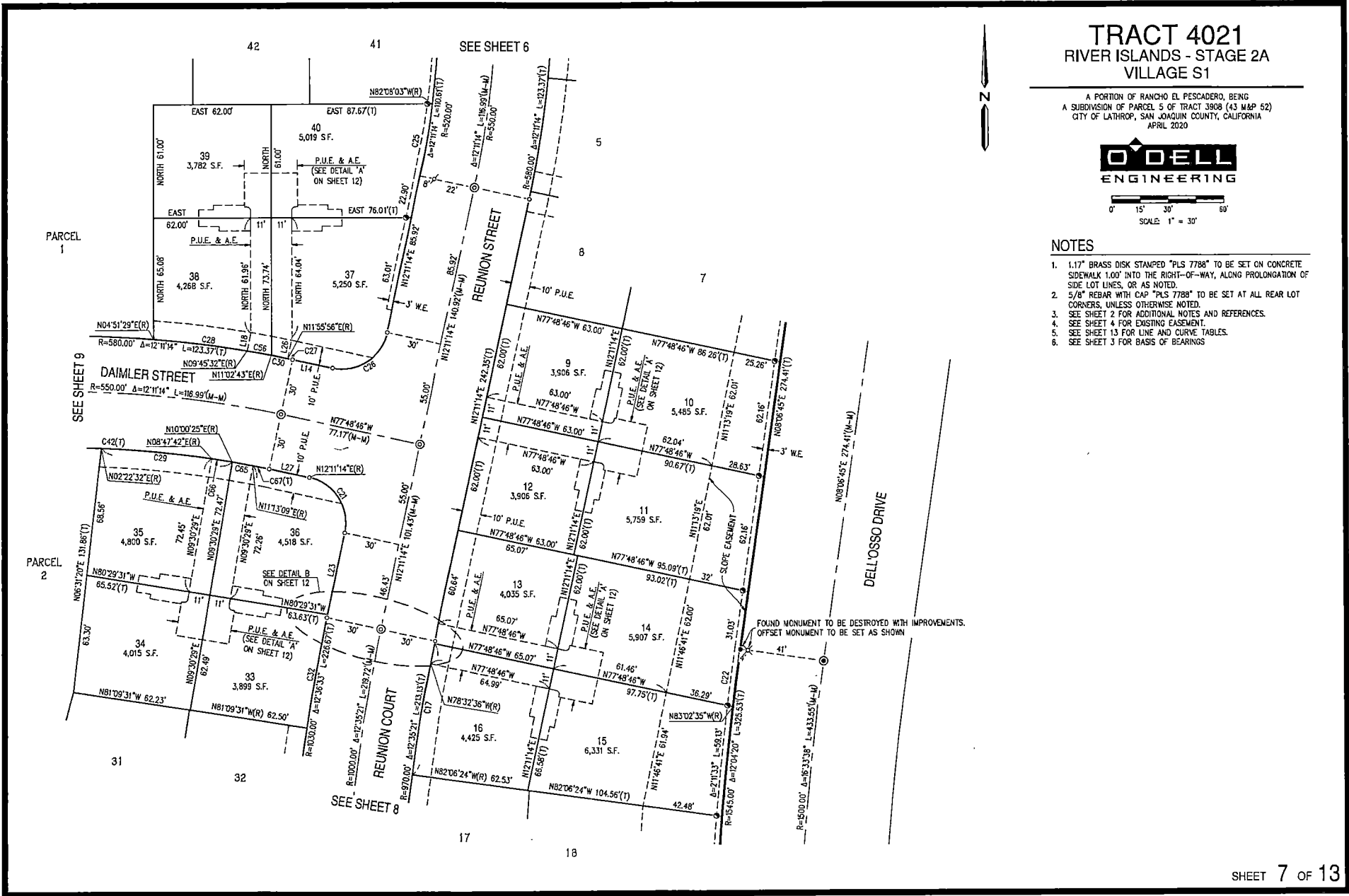
# TRACT 4021 RIVER ISLANDS - STAGE 2A VILLAGE S1

A PORTION OF RANCHO EL PESCADERO, BEING  
A SUBDIVISION OF PARCEL 5 OF TRACT 3908 (43 M&P 62)  
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA  
APRIL 2020



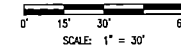
## NOTES

- 1.17" BRASS DISK STAMPED "PLS 7788" TO BE SET ON CONCRETE SIDEWALK 1.00' INTO THE RIGHT-OF-WAY, ALONG PROLONGATION OF SIDE LOT LINES, OR AS NOTED.
- 5/8" REBAR WITH CAP "PLS 7789" TO BE SET AT ALL REAR LOT CORNERS, UNLESS OTHERWISE NOTED.
- SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
- SEE SHEET 4 FOR EXISTING EASEMENT.
- SEE SHEET 13 FOR LINE AND CURVE TABLES.
- SEE SHEET 3 FOR BASIS OF BEARINGS



# TRACT 4021 RIVER ISLANDS - STAGE 2A VILLAGE S1

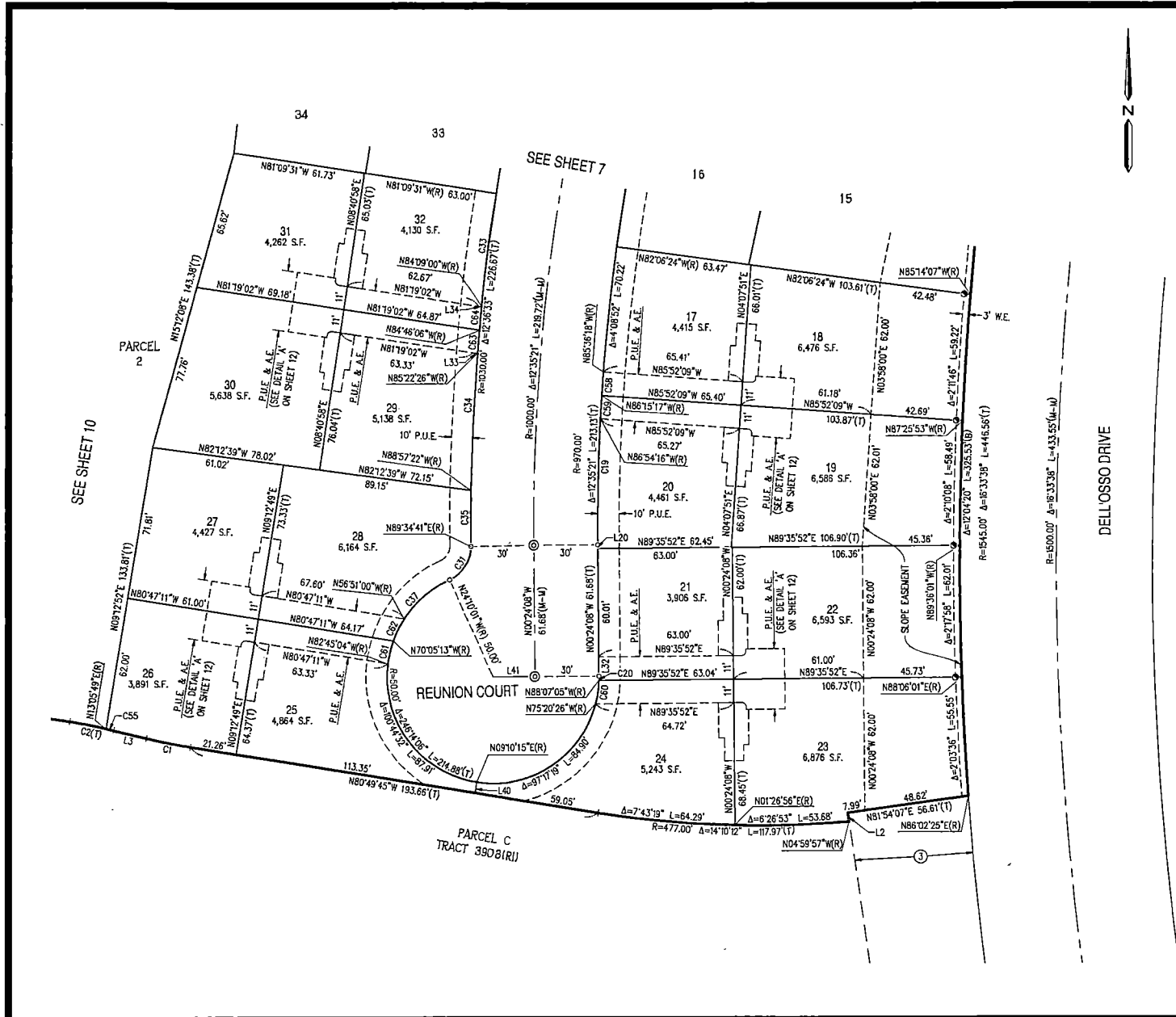
A PORTION OF RANCHO EL PESCADERO, BEING  
A SUBDIVISION OF PARCEL 5 OF TRACT 3908 (43 MAP 52)  
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA  
APRIL 2020



## NOTES

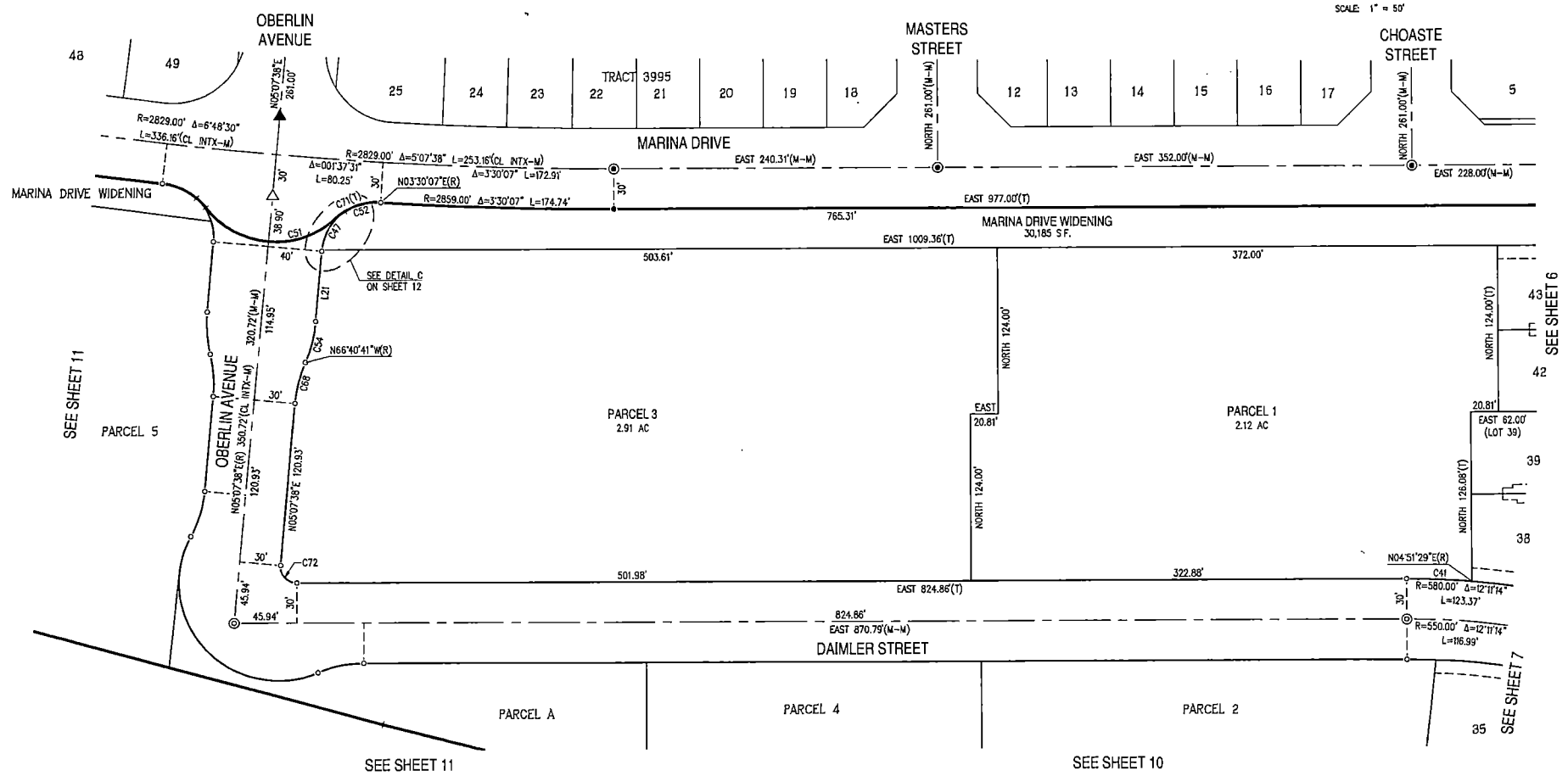
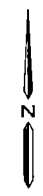
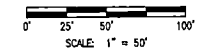
1. 1.17" BRASS DISK STAMPED "PLS 7788" TO BE SET ON CONCRETE SIDEWALK 1.00' INTO THE RIGHT-OF-WAY, ALONG PROLONGATION OF SIDE LOT LINES, OR AS NOTED.
2. 5/8" REBAR WITH CAP "PLS 7788" TO BE SET AT ALL REAR LOT CORNERS, UNLESS OTHERWISE NOTED.
3. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
4. SEE SHEET 4 FOR EXISTING EASEMENT.
5. SEE SHEET 13 FOR LINE AND CURVE TABLES.
6. SEE SHEET 3 FOR BASIS OF BEARINGS.

DELLOSSO DRIVE



# TRACT 4021 RIVER ISLANDS - STAGE 2A VILLAGE S1

A PORTION OF RANCHO EL PESCADERO, BEING  
A SUBDIVISION OF PARCEL 5 OF TRACT 3908 (4.3 M&P 52)  
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA  
APRIL 2020





SEE SHEET 9

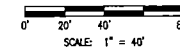
PARCEL 3

PARCEL 1

38

# TRACT 4021 RIVER ISLANDS - STAGE 2A VILLAGE S1

A PORTION OF RANCHO EL PESCADERO, BEING  
A SUBDIVISION OF PARCEL 5 OF TRACT 3908 (43 M&P 52)  
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA  
APRIL 2020



SEE SHEET 11

PARCEL A

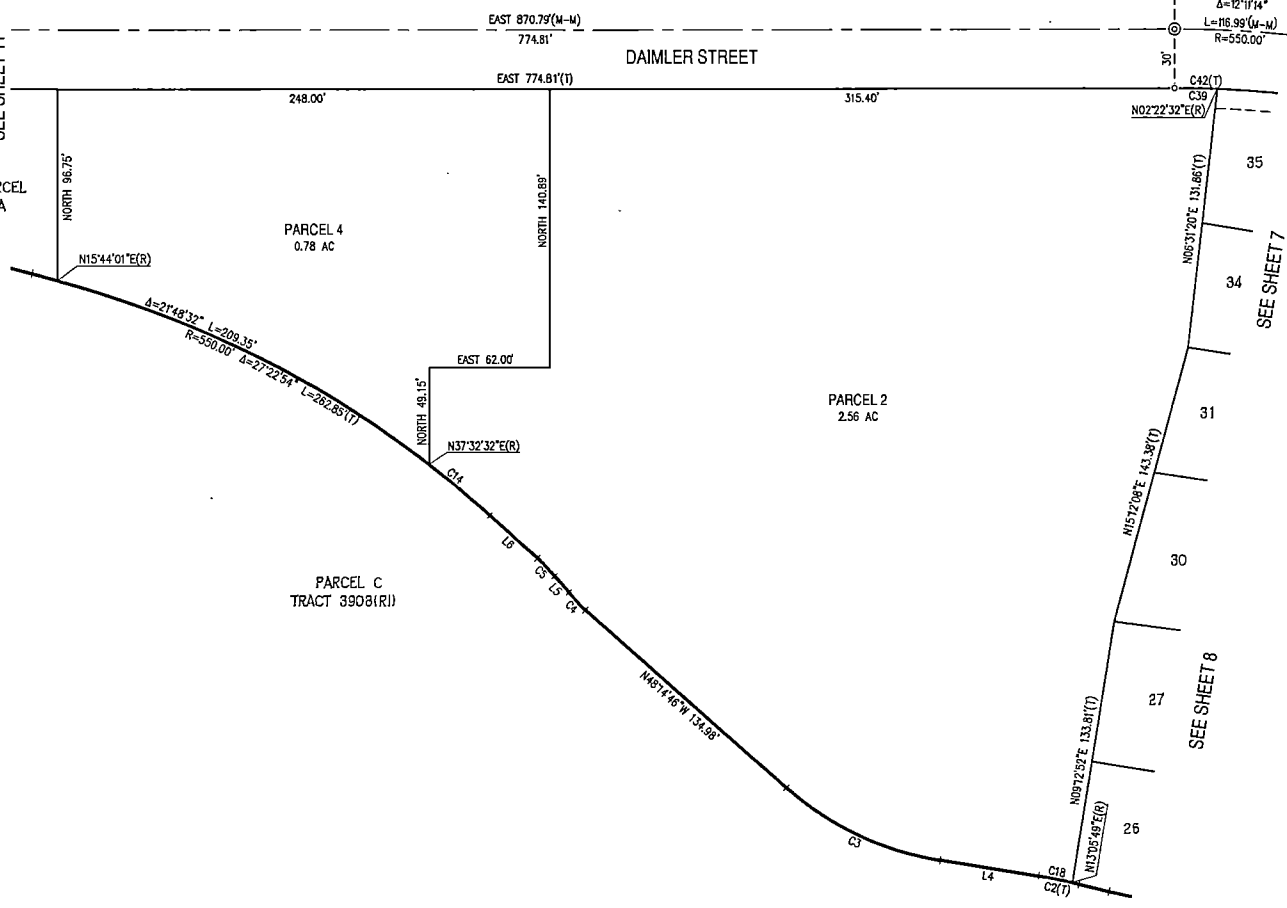
PARCEL 4  
0.78 AC

PARCEL 2  
2.56 AC

PARCEL C  
TRACT 3908(RJ)

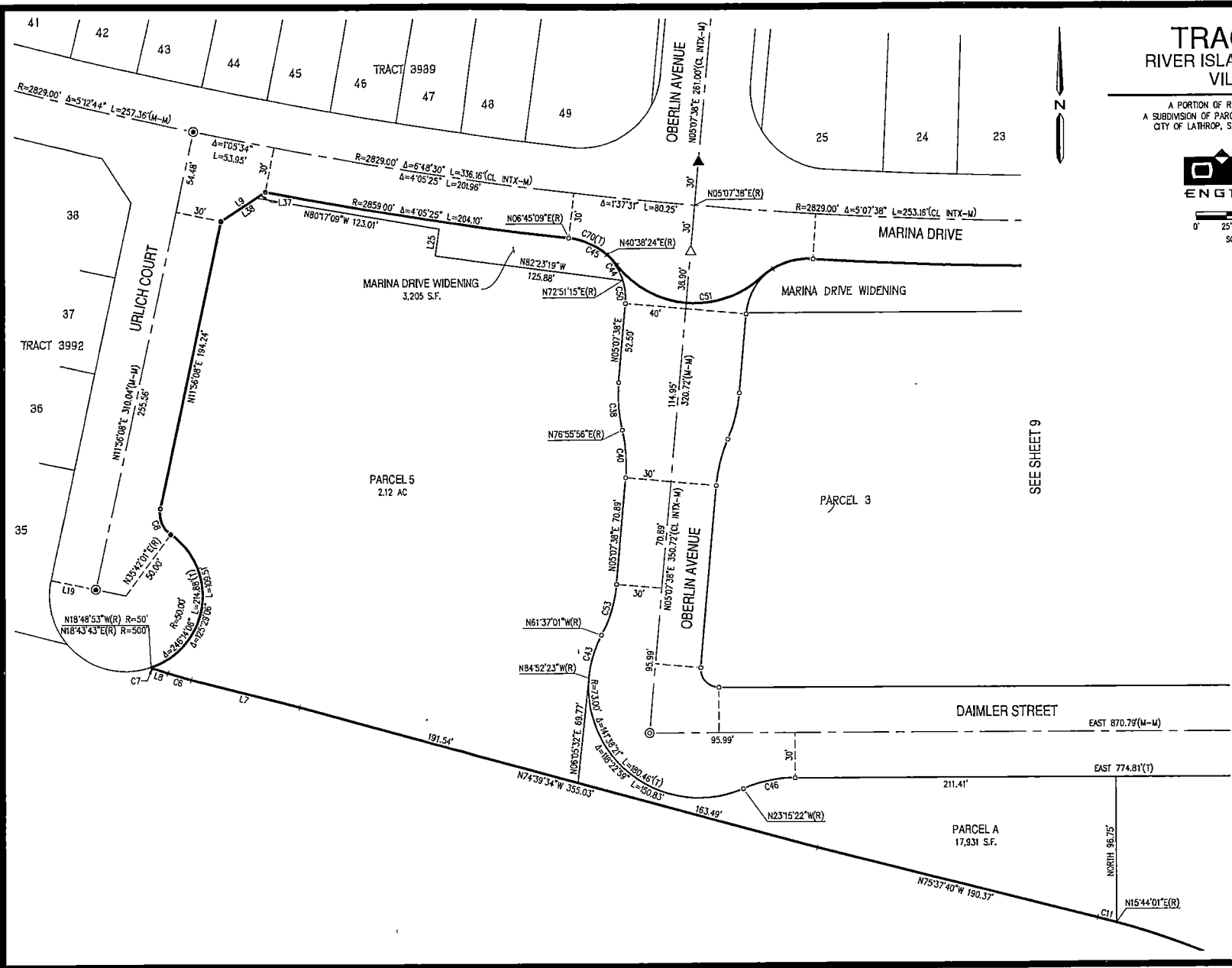
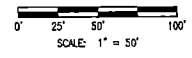
SEE SHEET 7

SEE SHEET 8



# TRACT 4021 RIVER ISLANDS - STAGE 2A VILLAGE S1

A PORTION OF RANCHO EL PESCADERO, BEING  
A SUBDIVISION OF PARCEL 5 OF TRACT 3908 (4.3 M&P 52)  
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA  
APRIL 2020

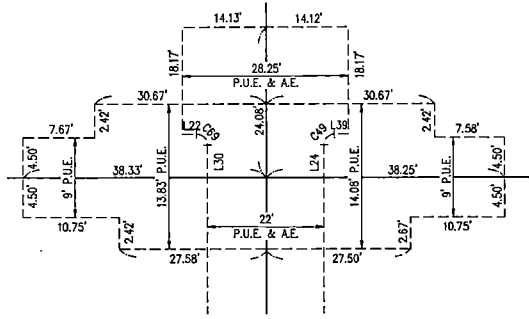


SEE SHEET 9

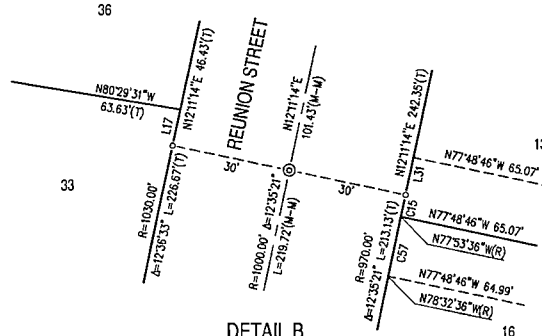
SEE SHEET 10

TRACT 4021  
RIVER ISLANDS - STAGE 2A  
VILLAGE S1

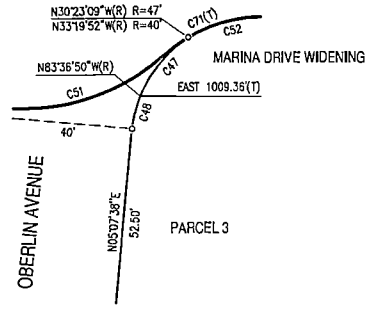
A PORTION OF RANCHO EL PESCADERO, BEING  
A SUBDIVISION OF PARCEL 5 OF TRACT 3908 (43 M&P 52)  
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA  
APRIL 2020



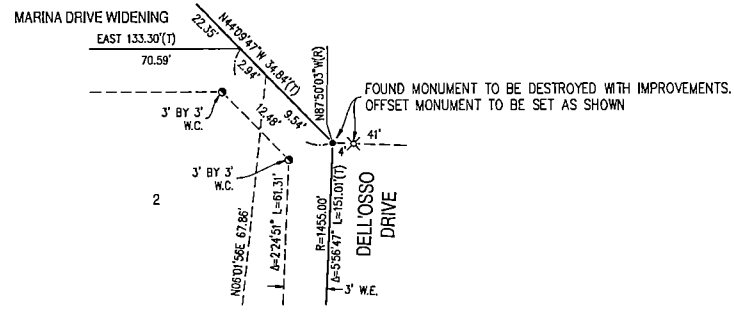
**DETAIL A**  
NOT TO SCALE



**DETAIL B**  
NOT TO SCALE  
(SEE SHEET 7)



**DETAIL C**  
NOT TO SCALE  
(SEE SHEET 9)



**DETAIL D**  
NOT TO SCALE  
(SEE SHEET 6)

LINE AND CURVE TABLES FOR COURSES SHOWN ON SHEETS 6 THROUGH 12 ONLY

LINE TABLE			LINE TABLE		
LINE #	DIRECTION	LENGTH	LINE #	DIRECTION	LENGTH
L1	N44°09'47"W	34.84'	L31	N121°11'14"E	9.64'
L2	N08°05'53"W	4.14'	L32	N00°24'08"W	9.01'
L3	N76°04'58"W	15.53'	L33	N85°22'21"W	2.25'
L4	N80°49'45"W	50.24'	L34	N84°45'43"W	1.59'
L5	N40°57'38"W	10.92'	L35	NORTH	5.00'
L6	N48°14'46"W	32.46'	L36	N45°00'00"E	12.68'
L7	N75°37'40"W	73.27'	L37	N56°23'21"E	7.13'
L8	N71°06'02"W	10.34'	L38	N56°23'21"E	35.02'
L9	N56°23'21"E	35.02'	L39	N121°11'14"E	1.12'
L10	EAST	5.45'	L40	N09°10'15"E	5.00'
L11	EAST	4.88'	L41	N89°35'52"E	20.00'
L12	NORTH	10.72'			
L13	NORTH	4.77'			
L14	N77°48'46"W	22.17'			
L15	N86°50'43"W	10.19'			
L16	N84°20'37"W	15.22'			
L17	N121°11'14"E	1.63'			
L18	N10°50'44"E	9.61'			
L19	N78°03'52"W	30.00'			
L20	N00°24'08"W	1.67'			
L21	N05°07'38"E	52.50'			
L22	N121°11'14"E	1.13'			
L23	N121°11'14"E	44.80'			
L24	N77°48'46"W	3.92'			
L25	N08°29'01"E	18.22'			
L26	N10°50'44"E	11.70'			
L27	N77°48'46"W	22.17'			
L28	N77°48'46"W	20.84'			
L29	N121°11'14"E	6.71'			
L30	N77°48'46"W	3.92'			

CURVE TABLE			
CURVE #	RADIUS	DELTA	LENGTH
C1	250.00'	4°44'47"	20.71'
C2	250.00'	4°44'47"	20.71'
C3	153.00'	32°34'59"	87.01'
C4	100.00'	7°17'08"	12.72'
C5	100.00'	7°17'08"	12.72'
C6	200.00'	4°31'38"	15.80'
C7	500.00'	0°10'15"	1.49'
C8	17.00'	66°14'07"	19.65'
C9	580.00'	0°38'36"	6.51'
C10	580.00'	5°39'23"	57.26'
C11	550.00'	1°21'40"	13.07'
C12	580.00'	6°06'25"	61.82'
C13	580.00'	0°25'25"	4.29'
C14	550.00'	4°12'42"	40.43'
C15	970.00'	0°04'50"	1.36'
C16	1455.00'	0°50'25"	21.34'
C17	970.00'	4°12'48"	71.33'
C18	250.00'	3°55'34"	17.13'
C19	970.00'	4°08'51"	70.22'
C20	50.00'	2°17'03"	1.99'
C21	25.00'	90°00'00"	39.27'
C22	1545.00'	1°09'19"	31.15'
C23	520.00'	1°07'12"	10.16'
C24	520.00'	6°44'45"	61.22'
C25	520.00'	4°19'17"	39.22'
C26	25.00'	90°00'00"	39.27'
C27	580.00'	0°15'17"	2.58'
C28	580.00'	6°11'14"	62.53'
C29	520.00'	7°37'54"	69.26'
C30	580.00'	0°53'13"	8.98'

CURVE TABLE			
CURVE #	RADIUS	DELTA	LENGTH
C31	17.00'	66°15'18"	19.66'
C32	1030.00'	3°20'45"	60.15'
C33	1030.00'	3°36'35"	64.89'
C34	1030.00'	4°11'16"	75.28'
C35	1030.00'	1°27'58"	26.35'
C36	580.00'	1°05'13"	11.00'
C37	50.00'	45°55'12"	40.07'
C38	100.00'	18°11'42"	31.76'
C39	520.00'	2°22'32"	21.56'
C40	100.00'	18°11'42"	31.76'
C41	580.00'	4°51'29"	49.18'
C42	520.00'	12°11'14"	110.61'
C43	73.00'	23°15'22"	29.63'
C44	40.00'	29°16'07"	20.43'
C45	47.00'	33°53'15"	27.80'
C46	87.00'	23°15'22"	35.31'
C47	40.00'	50°16'58"	35.10'
C48	40.00'	1°15'37"	0.88'
C49	2.00'	90°00'00"	3.14'
C50	40.00'	22°16'23"	15.55'
C51	65.00'	94°46'16"	107.51'
C52	47.00'	33°53'15"	27.80'
C53	87.00'	23°15'22"	35.31'
C54	100.00'	18°11'42"	31.76'
C55	250.00'	0°49'14"	3.58'
C56	580.00'	1°17'11"	13.02'
C57	970.00'	0°38'59"	11.00'
C58	970.00'	0°38'59"	11.00'
C59	970.00'	0°38'59"	11.00'
C60	50.00'	12°46'38"	11.15'

CURVE TABLE			
CURVE #	RADIUS	DELTA	LENGTH
C61	50.00'	12°39'50"	11.05'
C62	50.00'	13°14'13"	11.55'
C63	1030.00'	0°36'20"	10.89'
C64	1030.00'	0°37'05"	11.11'
C65	520.00'	1°12'44"	11.00'
C66	520.00'	1°12'43"	11.00'
C67	520.00'	2°10'46"	19.78'
C68	100.00'	18°11'42"	31.76'
C69	2.00'	90°00'00"	3.14'
C70	47.00'	45°45'37"	37.54'
C71	47.00'	45°45'37"	37.54'
C72	12.00'	95°07'38"	19.92'

TRACT 4021  
RIVER ISLANDS - STAGE 2A  
VILLAGE S1

A PORTION OF RANCHO EL PESCADERO, BEING  
A SUBDIVISION OF PARCEL 5 OF TRACT 3908 (43 M&P 52)  
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA  
APRIL 2020



**SUBDIVISION IMPROVEMENT AGREEMENT****BETWEEN THE CITY OF LATHROP AND****RIVER ISLANDS DEVELOPMENT, LLC, A CALIFORNIA LIMITED LIABILITY****COMPANY, FOR TRACT 4021 VILLAGE "S" 44 RESIDENTIAL UNITS (44 LOTS)**

---

**RECITALS**

A. This Agreement is made and entered into this **11th day of May 2020**, by and between the CITY OF LATHROP, a municipal corporation of the State of California (hereinafter "CITY") and River Islands Development, LLC, a California limited liability company (hereinafter "SUBDIVIDER").

B. At its meeting on May 15, 2017, CITY approved the temporary closure of Cohen and Paradise Roads associated with construction and grading activities in Stage 2 of River Islands. This approval requires SUBDIVIDER to construct a paved public roadway to connect any remaining gaps between the Paradise Road and Stewart Road intersection and the Somerston Parkway/River Islands Parkway intersection by August 1, 2020. As a result, previously provided security in the form of a Letter of Guarantee from the River Islands Public Financing Authority ("RIPFA") has guaranteed the replacement of Cohen Road and Paradise Road with a set aside of bond proceeds (Exhibit "G") in the amount of \$543,600, that is available to CITY if SUBDIVIDER does not meet the deadline of August 1, 2020. Further, the amount of set aside bond proceeds shall be reduced by the City Engineer as River Islands Parkway is extended to replace these removed roadways. The closed portion of Stewart Road is not anticipated to be replaced, but it remains for now as legal access to parcels fronting Stewart Road and as emergency access. The security referenced in this recital shall remain in place for this final map and all final maps associated with this access until it is no longer necessary.

C. At its meeting on July 9, 2018, CITY approved the Tract 3908 large lot final map which includes the Village S area within Stage 2A of River Islands. The approval of Tract 3908 required security for the construction of River Islands Parkway from Dell'Osso Drive to the Stage 2B boundary. As a result, previously provided security in the form of a Letter of Guarantee from the River Islands Public Financing Authority ("RIPFA") has guaranteed the construction of River Islands Parkway from Dell'Osso Drive to the Stage 2B boundary with a set aside of bond proceeds (Exhibit "H") in the amount of \$450,000, that is available to CITY if SUBDIVIDER does not meet a September 30, 2020, deadline or as may be extended by CITY. The security referenced in this recital shall remain in place for this final map and all final maps associated with it until River Islands Parkway from Dell'Osso Drive to the Stage 2B boundary is fully constructed and accepted into use by CITY.

D. Pursuant to Division 2 of Title 7 of the Government Code of the State of California and CITY's Subdivision Regulations (City of Lathrop, Code of Ordinances, Chapter 16), SUBDIVIDER is required to make dedications and improve Tract 4021. However, SUBDIVIDER has completed portions of public infrastructure improvements associated with Tract 4021 (Village "S") located within the Lakeside East District of River Islands Phase 1, which also includes major streets necessary to access the site. Because the Improvements are partially complete, SUBDIVIDER is required to only post Performance or Labor & Materials bonds to guarantee the deferred and unfinished improvements associated with Tract 4021 as included and described in Exhibit E of this Agreement. However, the unfinished improvements are so minor, that the full cost of improvements is being used for the performance bond. The amount of the performance bond required shall be 120% of the amount of unfinished and deferred improvements as shown in Exhibit E ( $\$3,835,421 \times 120\% = \$4,602,505$  – performance bond amount) as indicated in Recital C. The corresponding labor and materials bond amount shall be 50% of the performance bond amount ( $\$4,602,505 \times 50\% = \$2,301,253$ ), also as indicated in Recital C. Further, SUBDIVIDER shall also comply with CITY'S insurance requirements set forth on Exhibit C attached hereto and incorporated herein with a new certificate of insurance required.

E. SUBDIVIDER has completed a portion of the joint trench improvements for Tract 4021 and as noted in Recital D, security shall be required for the unfinished portion of these improvements, along with other required infrastructure associated with Tract 4021 and Village S overall. Improvement plans, and streetlight plans prepared by Power Systems Design, Inc., have already been approved by CITY. The street, sidewalk, underground utility, storm drainage, streetlight and joint trench improvements (hereinafter "Improvements") are substantially completed and minor improvements not yet constructed as part of the required infrastructure for Tract 4021 are required security as outlined in this Agreement.

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**NOW THEREFORE** in consideration of CITY'S pending approval and acceptance of the Improvements upon their satisfactory completion and in consideration of SUBDIVIDER'S construction of Improvements in strict accordance with the terms of this Agreement, all applicable laws, statutes, ordinances, rules and regulations currently in force and effect in CITY, the terms and conditions of which are incorporated herein by this reference, the parties hereto mutually covenant and agree as follows:

1. SUBDIVIDER shall complete construction of, or cause construction to be completed at its sole cost and expense, the Improvements for all of the lots within the Lakeside East District neighborhood, to the limits identified on Exhibit A, including the public landscaping, streetlight and joint trench improvements. All improvements shall be constructed to the satisfaction and approval of the City Engineer, in a good and workmanlike manner in accordance with the above-referenced improvement plans and specifications, the improvement standards and specifications of the CITY'S Department of Public Works, the applicable Ordinances of the City of Lathrop and the California Subdivision Map Act.
2. SUBDIVIDER shall complete the Improvements, including all deferred and unfinished improvements, prior to occupancy of the last home constructed in Tract 4021 that is conveyed to a

private interest not associated with the transfer of title of Tract 4021 associated with the filing of Tract 4021 or prior to the completion and occupancy of the last production dwelling unit associated with Tract 4021 or by December 1, 2020, whichever comes first. Such occupancy shall be documented by CITY in the form of a Certificate of Occupancy or Final Building Permit.

3. CITY or its agents shall, at any time during the progress of the Improvements, have free access thereto and shall be allowed to examine the same and all material to be used therein. If the Improvements or any part thereof are not completed in strict compliance with the standards set forth in Paragraph 1 above, CITY may refuse to accept and may reject the defective Improvements and/or materials therein.

4. SUBDIVIDER shall secure the services of skilled personnel necessary to construct the Improvements. CITY is not skilled in these matters and relies upon the skill of SUBDIVIDER to ensure that the construction of the Improvements is in the most skillful and durable manner.

5. CITY'S acceptance of the Improvements does not operate as a release of SUBDIVIDER from any guarantee hereunder.

6. SUBDIVIDER guarantees and warrants that the Improvements shall be constructed in compliance with the standards set forth in Paragraph 1 above, free from any defects in work or labor done and from any defects in materials furnished. Further, SUBDIVIDER shall repair and maintain the Improvements in good condition and in accordance with CITY specifications for one (1) year after CITY'S acceptance of the Improvements. As required by the Subdivision Improvement Agreement for Tract 4021, prior to acceptance of the Improvements, SUBDIVIDER shall deposit with the City Engineer a Maintenance Bond in the amount of \$460,251 equal to 10% of the estimated cost of the Improvements for the entire area (\$4,602,505) as shown on Exhibit E, to insure SUBDIVIDER'S repair and maintenance of the Improvements in accordance with the terms of this Agreement. The Maintenance Bond shall be released at the end of the one (1) year guarantee period, provided there are no claims against it are then outstanding.

7. Because some of the backbone improvements referenced in Recital D were required to provide access and required utilities to Tract 4021 and are associated with adjacent tracts as otherwise described in this Agreement, as well as backbone roads associated with the Agreement for Dedication, Inspection and Guarantee of Public Streets and Improvements referenced in Recital D, the security required by the Agreement for Dedication, Inspection and Guarantee of Public Streets and Improvements shall remain in place until the backbone improvements associated with that agreement are complete and accepted by CITY or as is further described by the conditions below:

- a. Rehabilitation of the pavement on Stewart/Cohen and Paradise Roads within the limits of Stewart Tract, as detailed on the attached Exhibit D, are now open to the public, and rehabilitation is guaranteed by a performance bond. Full improvement and acceptance of these streets shall be completed prior to release of security previously posted by SUBDIVIDER.

8. If SUBDIVIDER, in whole or in part, abandons the Improvements, unnecessarily or unreasonably delays construction of the Improvements, fails to complete construction of the Improvements within the time specified in this Agreement or fails to repair, replace or reconstruct any defects, as set forth in Paragraph 6 above, CITY may but is not required to proceed to complete and/or repair, replace or reconstruct the Improvements, either by itself or by contract for such service, and CITY may cause to be forfeited such portion of any security deposited therein as is necessary to cover the costs of completion, repair, replacement or reconstruction incurred by CITY. Once action is taken by CITY to complete, repair, replace and/or reconstruct the Improvements, SUBDIVIDER shall be responsible for all costs incurred by CITY even if SUBDIVIDER subsequently completes the work.

CITY shall have recourse against SUBDIVIDER for any and all amounts necessary to complete the obligations of SUBDIVIDER in the event the security (including but not limited to any Letter of Guarantee, Certificate of Deposit, cash, bond for performance, labor and materials, repair and maintenance, letter of credit or cash deposit) therefore is insufficient to pay such amounts. All administrative costs, including reasonable attorney's fees pursuant to Government Code Section 66499.4, incurred by CITY in addition to the costs of the improvements shall be a proper charge against the security and SUBDIVIDER.

In the event it becomes necessary for CITY to bring an action to compel performance of this Agreement or to recover costs of completing such improvements, SUBDIVIDER shall pay reasonable attorney's fees, costs of suit and all other expenses of litigation incurred by CITY in connection therewith.

9. Because the Improvements are partially complete, SUBDIVIDER is required to only post Performance or Labor & Materials bonds to guarantee the deferred and unfinished improvements associated with Tract 4021 as included and described in Exhibit E of this Agreement. However, the unfinished improvements are so minor, that the full cost of improvements is being used for the performance bond. The amount of the performance bond required shall be 120% of the amount of unfinished and deferred improvements as shown in Exhibit E ( $\$3,835,421 \times 120\% = \$4,602,505$  – performance bond amount) as indicated in Recital C. The corresponding labor and materials bond amount shall be 50% of the performance bond amount ( $\$4,602,505 \times 50\% = \$2,301,253$ ), also as indicated in Recital C. Further, SUBDIVIDER shall also comply with CITY'S insurance requirements set forth on Exhibit C attached hereto and incorporated herein with a new certificate of insurance required

10. Any alterations made to the plans and specifications, which are a part of this Agreement, or any provision of this Agreement shall not operate to release any surety or sureties from liability on any bond or bonds attached hereto and made a part hereof. The above-referenced sureties hereby consent to such alterations and waive the provisions of California Civil Code Section 2819.

11. Neither CITY nor any of its officers, employees or agents shall be liable to SUBDIVIDER and/or SUBDIVIDER'S agents, contractors or subcontractors for any error or omission arising out of or in connection with any work to be performed under this Agreement.



12. Neither CITY nor any of its officers, employees or agents shall be liable to SUBDIVIDER or to any person, entity or organization for any injury or damage that may result to any person or property by or from any cause in, on or about the subdivision of all or any part of the land covered by this Agreement.

13. SUBDIVIDER hereby agrees to and shall hold CITY, its elective and appointive boards, commissions, officers, agents and employees (collectively "Indemnitees") harmless from any liability for damage or claims which may arise from SUBDIVIDER and/or SUBDIVIDER'S contractors, subcontractors, agents or employees' operations under this Agreement, whether such operations be by SUBDIVIDER or by any SUBDIVIDER contractors, subcontractors or by any one or more persons directly or indirectly employed by or acting as agent for SUBDIVIDER or any of SUBDIVIDER'S contractors or subcontractors. SUBDIVIDER shall at its own cost and expense defend any and all actions, suits or legal proceedings or any type that may be brought or instituted against CITY and indemnities on any claim or demand, of any nature whatsoever, and pay or satisfy any judgment that may be rendered against CITY and the Indemnitees in any such action, suit or legal proceedings resulting from or alleged to have resulted from SUBDIVIDER'S performance or non-performance of its duties and obligations under this Agreement or from the negligent act or omission of itself, its agents, contractors, representatives, servants or employees. The promises and Agreement to indemnify and hold harmless set forth in this section is not conditioned or dependent on whether or not any indemnity has prepared, supplied or approved any plan or specification in connection with this work or subdivision whether or not any such indemnity has insurance or indemnification covering any of these matters. CITY does not and shall not waive any rights against SUBDIVIDER which it may have by reason of the aforesaid hold harmless agreement because of the acceptance by CITY of any deposit with CITY by SUBDIVIDER. The aforesaid hold harmless agreement by SUBDIVIDER shall apply to all damages and claims for damages of every kind suffered or alleged to have been suffered by reason of any of the aforesaid operations referred to in this paragraph regardless of whether or not CITY has prepared, supplied or approved of plans and/or specifications for the subdivision.

14. Neither SUBDIVIDER nor any of SUBDIVIDER'S agents, contractors or subcontractors are or shall be considered to be agents of CITY in connection with the performance of SUBDIVIDER'S obligations under this Agreement.

15. Prior to acceptance of the Improvements by the City Council, SUBDIVIDER shall be solely responsible for maintaining the quality of the Improvements and maintaining safety at the project site. SUBDIVIDER'S obligation to provide the Improvements shall not be satisfied until after the City Engineer has made a written determination that all obligations of the Agreement have been satisfied, all outstanding fees and charges have been paid and the City Council has accepted the Improvements as complete. CITY and SUBDIVIDER have formed Community Facilities Districts ("CFD") to finance maintenance and improvements. CITY expects to preserve the ability to use future special taxes of the CFD for payment of the cost of acquisition of the Improvements which may require that acceptance of improvements by CITY be subject to the provisions of an acquisition agreement to be entered into by CITY and SUBDIVIDER providing that CITY expects to be paid or reimbursed acquisition costs through future CFD special taxes. SUBDIVIDER shall cooperate

to facilitate such method of acquisition.

16. SUBDIVIDER shall pay service fees for the utility services from the time the Improvements are accepted by CITY to the end of the fiscal year or up to a one (1) year period, whichever is needed to ensure an opportunity for the Improvements to be included in the next fiscal year annual assessment.

17. SUBDIVIDER shall be responsible to sweep streets within the subdivision every two weeks as directed by the City Engineer on all streets where lots are occupied and all streets providing access to occupied lots until the Improvements are accepted by CITY.

18. SUBDIVIDER shall not assign this Agreement without the prior written consent of CITY. If such consent is given, the terms of this Agreement shall apply to and bind the heirs, successors, executors, administrators and assignees of SUBDIVIDER and any heirs, successors, executors, administrators and assignees of SUBDIVIDER and shall be jointly and severally liable hereunder.

19. SUBDIVIDER shall, at SUBDIVIDER'S expense, obtain and maintain all necessary permits and licenses for construction of the Improvements. Prior to the commencement of Improvement construction, SUBDIVIDER shall obtain a City of Lathrop Business License. SUBDIVIDER shall comply with all local, state and federal laws whether or not said laws are expressly stated in this Agreement.

20. This Agreement and any amendments hereto comprise the entire understanding and agreement between the parties regarding the improvements to be constructed and dedications for Tract 4021.

21. The following miscellaneous provisions are applicable to this Agreement:

a. Controlling Law. The parties agree that this Agreement shall be governed and construed by and in accordance with the laws of the State of California.

b. Definitions. The definitions and terms are as defined in this Agreement.

c. Force Majeure. Neither party shall be deemed to be in default on account of any delay or failure to perform its obligations under this Agreement which directly results from an Act of God or an act of a superior governmental authority.

d. Headings. The paragraph headings are not a part of this Agreement and shall have no effect upon the construction or interpretation of any part of this Agreement.

e. Incorporation of Documents. All documents referred to herein and all documents which may, from time to time, be referred to in any duly executed amendment hereto are by such reference incorporated herein and shall be deemed to be part of this Agreement.

f. **Modification of Agreement.** This Agreement shall not be modified or be binding upon the parties unless such modification is agreed to in writing and signed by the parties.

g. **Severability.** If a court of competent jurisdiction finds or rules that any provision of this Agreement is void or unenforceable, the provisions of this Agreement not so affected shall remain in full force and effect.

h. **Successors and Assigns.** Except as otherwise expressly provided herein, the provisions of this Agreement shall inure to the benefit of and shall apply to and bind the successors and assigns of the parties.

i. **Time of the Essence.** Time is of the essence of this Agreement and each of its provisions. In the calculation of time hereunder, the time in which an act is to be performed shall be computed by excluding the first day and including the last day. If the time in which an act is to be performed falls on a Saturday, Sunday or any day observed as a legal holiday by CITY, the time for performance shall be extended to the following business day.

J **Venue.** In the event either party brings suit hereunder, the parties agree that trial of such action shall be vested exclusively in the state courts of California in the County of San Joaquin.

**ATTACHMENTS:**

EXHIBIT A FINAL MAP - TRACT 4021 VILLAGE "S"

EXHIBIT B VILLAGE "S" VICINITY MAP

EXHIBIT C: CITY INSURANCE REQUIREMENTS

EXHIBIT D: COHEN/PARADISE/STEWART REHABILITATION MAP

EXHIBIT E: UNFINISHED AND DEFERRED IMPROVEMENT COST ESTIMATE –  
VILLAGE S = FULL IMPROVEMENT COST

EXHIBIT F: Not Used

EXHIBIT G: RIPFA LETTER OF GUARANTEE - INTERIM PUBLIC ACCESS WITHIN THE  
STAGE 2A DEVELOPMENT AREA

EXHIBIT H: RIPFA LETTER OF GUARANTEE – RIVER ISLANDS PARKWAY WITHIN  
THE STAGE 2A DEVELOPMENT AREA

IN WITNESS WHEREOF, the parties hereto have executed this Agreement on this 11th day of May 2020, at Lathrop, California.

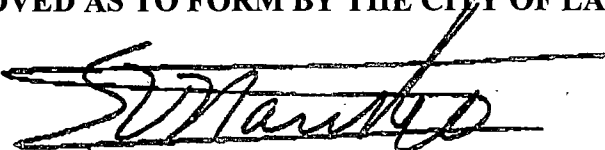
**ATTEST: TERESA VARGAS**  
City Clerk of and for the City  
of Lathrop, State of California

**CITY OF LATHROP**, a  
municipal corporation of the  
State of California

BY: \_\_\_\_\_  
Teresa Vargas  
City Clerk

BY: \_\_\_\_\_  
Stephen J. Salvatore  
City Manager

**APPROVED AS TO FORM BY THE CITY OF LATHROP CITY ATTORNEY**

BY:   
Salvador Navarrete  
City Attorney

**River Islands Development, LLC,**  
a California limited liability company

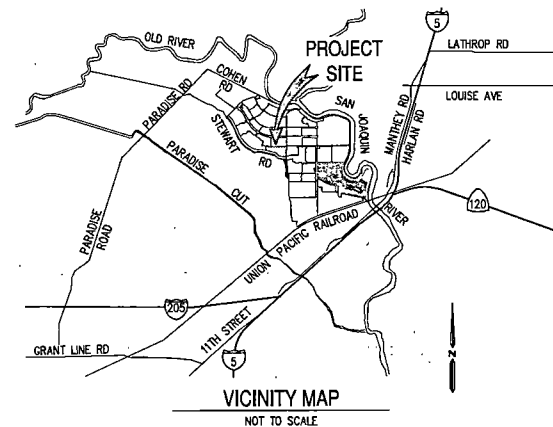
BY: \_\_\_\_\_  
Susan Dell'Osso, President  
"SUBDIVIDER"

**EXHIBIT A**

**FINAL MAP - TRACT 4021 VILLAGE "S"**

# TRACT 4021 RIVER ISLANDS - STAGE 2A VILLAGE S1

A PORTION OF RANCHO EL PESCADERO, BEING  
A SUBDIVISION OF PARCEL 5 OF TRACT 3908 (43 M&P 52)  
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA  
APRIL 2020



### OWNER'S STATEMENT

THE UNDERSIGNED, DOES HEREBY STATE THAT THEY ARE THE OWNERS OF ALL THE LAND DELINEATED AND EMBRACED WITHIN THE EXTERIOR BOUNDARY LINE OF THE HEREIN EMBODIED FINAL MAP ENTITLED, "TRACT 4021, RIVER ISLANDS, STAGE 2A, VILLAGE S1", CITY OF LATHROP, CALIFORNIA, CONSISTING OF THIRTEEN (13) SHEETS, AND WE HEREBY CONSENT TO THE PREPARATION AND FILING OF THIS FINAL MAP IN THE OFFICE OF THE COUNTY RECORDER OF SAN JOAQUIN COUNTY, CALIFORNIA.

THE UNDERSIGNED DOES HEREBY DEDICATE AN EASEMENT TO THE CITY OF LATHROP FOR PUBLIC RIGHT-OF-WAY PURPOSES, THOSE PORTIONS OF SAID LANDS DESIGNATED ON SAID MAP AS REUNION STREET, REUNION COURT, DAMLER STREET, OBERLIN AVENUE, AND MARINA DRIVE WIDENING AS SHOWN ON THIS FINAL MAP.

THE UNDERSIGNED DOES HEREBY DEDICATE TO THE CITY OF LATHROP A NON-EXCLUSIVE EASEMENT TOGETHER WITH THE RIGHT TO CONSTRUCT, RECONSTRUCT, REPAIR AND MAINTAIN, POLES, WIRES, CABLES, PIPES, AND CONDUITS AND THEIR APPURTENANCES UPON, OVER AND UNDER THE STRIPS OF LAND AS SHOWN ON THIS FINAL MAP DESIGNATED AS "PUBLIC UTILITY EASEMENT" (P.U.E.).

THE UNDERSIGNED DOES HEREBY DEDICATE TO THE CITY OF LATHROP A NON-EXCLUSIVE EASEMENT FOR THE PURPOSES OF REPAIR AND MAINTENANCE OF THE SOUND WALL FOR THE AREAS DESIGNATED AS "WALL EASEMENT" (W.E.) AS SHOWN ON THIS FINAL MAP.

THE UNDERSIGNED DOES HEREBY DEDICATE TO THE CITY OF LATHROP A NON-EXCLUSIVE EASEMENT TOGETHER WITH THE RIGHT TO CONSTRUCT, RECONSTRUCT, REPAIR AND MAINTAIN SLOPES ACROSS THE STRIPS OF LAND AS SHOWN ON THIS FINAL MAP DESIGNATED AS "SLOPE EASEMENT" OR "S.E." (SLOPE EASEMENT).

THE UNDERSIGNED DOES HEREBY RESERVE PARCEL 1 THROUGH 5 FOR FUTURE DEVELOPMENT.

THE UNDERSIGNED DOES HEREBY DEDICATE TO THE CITY OF LATHROP, IN FEE, PARCEL A FOR THE PURPOSE OF OPEN SPACE, INCLUDING PUBLIC UTILITIES, STORM DRAIN FACILITIES, FENCE MAINTENANCE, AND APPURTENANCES THERETO, FOR THE BENEFIT OF THE PUBLIC, AS SHOWN ON THIS FINAL MAP.

OWNER: RIVER ISLANDS STAGE 2A, LLC, A DELAWARE LIMITED LIABILITY COMPANY.

BY: NAME: SUSAN DELL'OSSO DATE \_\_\_\_\_  
ITS: PRESIDENT

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

OLD REPUBLIC TITLE COMPANY, AS TRUSTEE, UNDER THE DEED OF TRUST RECORDED DECEMBER 22, 2016, AS DOCUMENT NUMBER 2D16-160886, AND AS AMENDED IN DOCUMENT RECORDED DECEMBER 26, 2017 AS DOCUMENT NUMBER 2017-15D771 OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.

BY: \_\_\_\_\_  
ITS: \_\_\_\_\_

### ACKNOWLEDGEMENT CERTIFICATE (OWNER)

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA  
COUNTY OF SAN JOAQUIN

ON \_\_\_\_\_, 2020 BEFORE ME, \_\_\_\_\_ WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(ES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND:

SIGNATURE: \_\_\_\_\_  
NAME (PRINT): \_\_\_\_\_  
PRINCIPAL COUNTY OF BUSINESS: \_\_\_\_\_  
MY COMMISSION NUMBER: \_\_\_\_\_  
MY COMMISSION EXPIRES: \_\_\_\_\_

### ACKNOWLEDGEMENT CERTIFICATE (TRUSTEE)

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA  
COUNTY OF SAN JOAQUIN

ON \_\_\_\_\_, 2020 BEFORE ME, \_\_\_\_\_ WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(ES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND:

SIGNATURE: \_\_\_\_\_  
NAME (PRINT): \_\_\_\_\_  
PRINCIPAL COUNTY OF BUSINESS: \_\_\_\_\_  
MY COMMISSION NUMBER: \_\_\_\_\_  
MY COMMISSION EXPIRES: \_\_\_\_\_

### CITY CLERK'S STATEMENT

I, TERESA VARGAS, CITY CLERK AND CLERK OF THE CITY COUNCIL OF THE CITY OF LATHROP, STATE OF CALIFORNIA, DO HEREBY STATE THAT THE HEREIN EMBODIED MAP ENTITLED "TRACT 4021, RIVER ISLANDS, STAGE 2A, VILLAGE S1", CITY OF LATHROP, CALIFORNIA, CONSISTING OF THIRTEEN (13) SHEETS, THIS STATEMENT WAS PRESENTED TO SAID CITY COUNCIL, AS PROVIDED BY LAW, AT A REGULAR MEETING THEREOF, HELD ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020, AND THAT SAID CITY COUNCIL DID THEREUPON BY RESOLUTION NO. \_\_\_\_\_ DULY PASSED AND ADOPTED AT SAID MEETING, APPROVE SAID MAP, AND AUTHORIZED ITS RECORDATION, AND ACCEPTED ON BEHALF OF THE CITY OF LATHROP, FOR PUBLIC USE, THE DEDICATION OF ALL PUBLIC UTILITY EASEMENTS, WALL EASEMENT, SLOPE EASEMENTS, PARCEL A, AND ACCEPTED THE OFFER OF DEDICATION OF ALL ROADWAYS AS SHOWN ON SAID MAP SUBJECT TO THE IMPROVEMENTS BEING COMPLETED IN ACCORDANCE WITH CHAPTER 16, TITLE 16.16 OF THE CITY OF LATHROP MUNICIPAL CODE.

I FURTHER STATE THAT ALL SECURITIES AS REQUIRED BY LAW TO ACCOMPANY THE WITHIN MAP HAVE BEEN APPROVED BY THE CITY COUNCIL OF LATHROP AND FILED IN MY OFFICE.

TERESA VARGAS  
CITY CLERK AND CLERK OF THE CITY COUNCIL OF THE CITY OF LATHROP, COUNTY OF SAN JOAQUIN, STATE OF CALIFORNIA

### SECRETARY OF THE PLANNING COMMISSION'S STATEMENT

THIS MAP CONFORMS TO VESTING TENTATIVE MAP NO. 3694 APPROVED BY THE PLANNING COMMISSION.  
DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

MARK MEISSNER, COMMUNITY DEVELOPMENT DIRECTOR  
CITY OF LATHROP

### RECORDER'S STATEMENT

FILED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020, AT \_\_\_\_\_ M.  
IN BOOK \_\_\_\_\_ OF MAPS AND PLATS, AT PAGE \_\_\_\_\_, AT THE REQUEST OF OLD REPUBLIC  
TITLE COMPANY.

FEE: \$ \_\_\_\_\_

By: \_\_\_\_\_ ASSISTANT/DEPUTY RECORDER  
STEVE J. BESTOLARIDES,  
ASSESSOR-RECORDER-COUNTY CLERK  
SAN JOAQUIN COUNTY, CALIFORNIA

**TRACT 4021  
RIVER ISLANDS - STAGE 2A  
VILLAGE S1**

A PORTION OF RANCHO EL PESCADERO, BEING  
A SUBDIVISION OF PARCEL 5 OF TRACT 390B (43 M&P 52)  
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA  
APRIL 2020



**NOTES**

- RIGHT TO FARM STATEMENT:  
PER CITY OF LATHROP MUNICIPAL CODE OF ORDINANCES, TITLE 15, CHAPTER 15.48.04, THE CITY OF LATHROP PERMITS OPERATION OF PROPERLY CONDUCTED AGRICULTURAL OPERATIONS WITHIN THE CITY LIMITS, INCLUDING THOSE THAT UTILIZE CHEMICAL FERTILIZERS AND PESTICIDES. YOU ARE HEREBY NOTIFIED THAT THE PROPERTY YOU ARE PURCHASING MAY BE LOCATED CLOSE TO AGRICULTURAL LANDS AND OPERATIONS. YOU MAY BE SUBJECT TO INCONVENIENCE OR DISCOMFORT ARISING FROM THE LAWFUL AND PROPER USE OF AGRICULTURAL CHEMICALS AND PESTICIDES AND FROM OTHER AGRICULTURAL ACTIVITIES, INCLUDING WITHOUT LIMITATIONS: CULTIVATION, PLOWING, SPRAYING, IRRIGATION, PRUNING, HARVESTING, BURNING OF AGRICULTURAL WASTE PRODUCTS, PROTECTION OF CROPS AND ANIMALS FROM DEPREDATION, AND OTHER ACTIVITIES WHICH MAY GENERATE DUST, SMOKE, NOISE, ODOR, RODENTS AND PESTS. BE AWARE ALSO, THAT THIS PROPERTY MAY BE LOCATED ADJACENT TO AGRICULTURAL OPERATIONS OUTSIDE THE CITY'S JURISDICTION. CONSEQUENTLY, DEPENDING ON THE LOCATION OF YOUR PROPERTY, IT MAY BE NECESSARY THAT YOU BE PREPARED TO ACCEPT SUCH INCONVENIENCES OR DISCOMFORT AS NORMAL AND NECESSARY ASPECT OF LIVING IN AN AGRICULTURALLY ACTIVE REGION.
- A SOILS REPORT ENTITLED "GEOTECHNICAL EXPLORATION, RIVER ISLANDS PHASE 1, LATHROP, CALIFORNIA", REFERENCED AS PROJECT NO. 5044.5.001.01 AND DATED JULY 29, 2005, HAS BEEN PREPARED FOR THIS PROJECT BY ENGeo, INCORPORATED, JOSEF J. TOOTLE, G.E. NO. 2677, AND IS ON FILE WITH THE CITY OF LATHROP.
- "TRACT 4021, RIVER ISLANDS, STAGE 2A, VILLAGE S1" CONTAINS 44 RESIDENTIAL LOTS, AND 6 NUMBERED PARCELS, CONTAINING 19.65 ACRES, MORE OR LESS, INCLUDING ROADWAYS THAT ARE BEING DEDICATED BY THIS FINAL MAP, AND PARCEL A CONTAINING 0.412 ACRES, MORE OR LESS. ALL AS SHOWN ON SAID MAP HEREIN. (PLEASE REFER TO THE AREA SUMMARY TABLE BELOW):

TRACT 4021 AREA SUMMARY	
LOTS 1 THROUGH 44	4.897 AC±
PARCELS 1 THROUGH 5	10.468 AC±
PARCEL A	0.412 AC±
STREET DEDICATIONS & MARINA DRIVE WIDENING	3.858 AC±
<b>TOTAL</b>	<b>19.65 AC±</b>

- THOSE AREAS DESIGNATED AS "A.E." OR PRIVATE NON-EXCLUSIVE ACCESS EASEMENT ARE SHOWN FOR ACCESS PURPOSES FOR THE USE OF THE ADJOINING LOT AS SHOWN AND SHALL BE MAINTAINED BY A MANDATORY HOMEOWNERS ASSOCIATION. SAID AREAS TO BE CREATED BY SEPARATE DOCUMENT SUBSEQUENT TO THE FILING OF THIS FINAL MAP.
- BASED ON INFORMATION CONTAINED IN THE PRELIMINARY TITLE REPORT ORDER NUMBER 1614022183-KB (VERSION 1), DATED JANUARY 14, 2020, PROVIDED BY OLD REPUBLIC TITLE COMPANY.

**REFERENCES**

- (R1) TRACT 3908, RIVER ISLANDS, STAGE 2A LARGE LOT FINAL MAP, FILED SEPTEMBER 20, 2018, IN BOOK 43 MAPS AND PLATS, PAGE 52, S.J.C.R. (43 M&P 52)
- (R2) TRACT 3989, RIVER ISLANDS, STAGE 2A VILLAGE U FINAL MAP, FILED NOVEMBER 2, 2018, IN BOOK 43 MAPS AND PLATS, PAGE 54, S.J.C.R. (43 M&P 54)
- (R3) TRACT 3992, RIVER ISLANDS, STAGE 2A VILLAGE V FINAL MAP, FILED NOVEMBER 8, 2019, IN BOOK 43 MAPS AND PLATS, PAGE 111, S.J.C.R. (43 M&P 111)
- (R4) TRACT 3994, RIVER ISLANDS, STAGE 2A VILLAGE T FINAL MAP, FILED DECEMBER 13, 2018, IN BOOK 43 MAPS AND PLATS, PAGE 60, S.J.C.R. (43 M&P 60)
- (R5) TRACT 3995, RIVER ISLANDS, STAGE 2A VILLAGE T FINAL MAP, FILED DECEMBER 17, 2019, IN BOOK 43 MAPS AND PLATS, PAGE 114, S.J.C.R. (43 M&P 114)
- (R6) TRACT 3895, RIVER ISLANDS, PHASE 1B VILLAGES J & K FINAL MAP, FILED JUNE 20, 2017, IN BOOK 42 MAPS AND PLATS, PAGE 69, S.J.C.R. (42 M&P 69)
- (R7) TRACT 3991, RIVER ISLANDS, STAGE 2A VILLAGE V FINAL MAP, FILED DECEMBER 21, 2018, IN BOOK 43 MAPS AND PLATS, PAGE 66, S.J.C.R. (43 M&P 66)

**SIGNATURE OMISSIONS**

PURSUANT TO SECTION 66436 OF THE CALIFORNIA SUBDIVISION MAP ACT, THE SIGNATURES OF THE FOLLOWING PARTIES HAVE BEEN OMITTED:  
1. RECLAIMED ISLANDS LAND COMPANY, RESERVATION FOR OIL, GAS, MINERALS, AND OTHER HYDROCARBON SUBSTANCES LYING BELOW A DEPTH OF 500 FEET, PER DOCUMENT NUMBER 2001-046177, S.J.C.R.

**CITY SURVEYOR'S STATEMENT**

I, LAWRENCE GOSSETT, HEREBY STATE THAT I HAVE EXAMINED THIS FINAL MAP OF "TRACT 4021, RIVER ISLANDS, STAGE 2A, VILLAGE S1", CITY OF LATHROP, CALIFORNIA, AND THAT THE SUBDIVISION SHOWN HEREON COMPLIES WITH ALL THE PROVISIONS OF CHAPTER 2 OF THE CALIFORNIA SUBDIVISION MAP ACT, AS AMENDED, AND THAT THIS FINAL MAP IS TECHNICALLY CORRECT.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

LAWRENCE GOSSETT, P.E. 31695



**SURVEYOR'S STATEMENT**

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF RIVER ISLANDS DEVELOPMENT, LLC, ON \_\_\_\_\_, 2020. I HEREBY STATE ALL THE MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED OR THAT THEY WILL BE SET IN THOSE POSITIONS BEFORE DECEMBER 31, 2023, AND THAT THE MONUMENTS ARE, OR THAT THEY WILL BE, SUFFICIENT TO ENABLE THIS SURVEY TO BE RETRACED, AND THAT THIS FINAL MAP SUBSTANTIALLY CONFORMS TO THE CONDITIONALLY APPROVED TENTATIVE MAP.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

DYLAN CRAWFORD, P.L.S. NO 7788



**CITY ENGINEER'S STATEMENT**

I, GLENN GEBHARDT, HEREBY STATE THAT I AM THE CITY ENGINEER OF THE CITY OF LATHROP, CALIFORNIA AND THAT I HAVE EXAMINED THIS FINAL MAP OF "TRACT 4021, RIVER ISLANDS, STAGE 2A, VILLAGE S1", CITY OF LATHROP, CALIFORNIA, AND THAT THE SUBDIVISION SHOWN HEREON IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE VESTING TENTATIVE MAP NO. 3694, AND ANY APPROVED ALTERATIONS THEREOF. I FURTHER STATE THAT THIS FINAL MAP COMPLIES WITH ALL APPLICABLE ORDINANCES OF THE CITY OF LATHROP, AND ANY AMENDMENTS THERE TO, APPLICABLE AT THE TIME OF APPROVAL OF THE VESTING TENTATIVE MAP.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

GLENN GEBHARDT, R.C.E. 34681  
CITY ENGINEER OF THE CITY OF LATHROP, CALIFORNIA

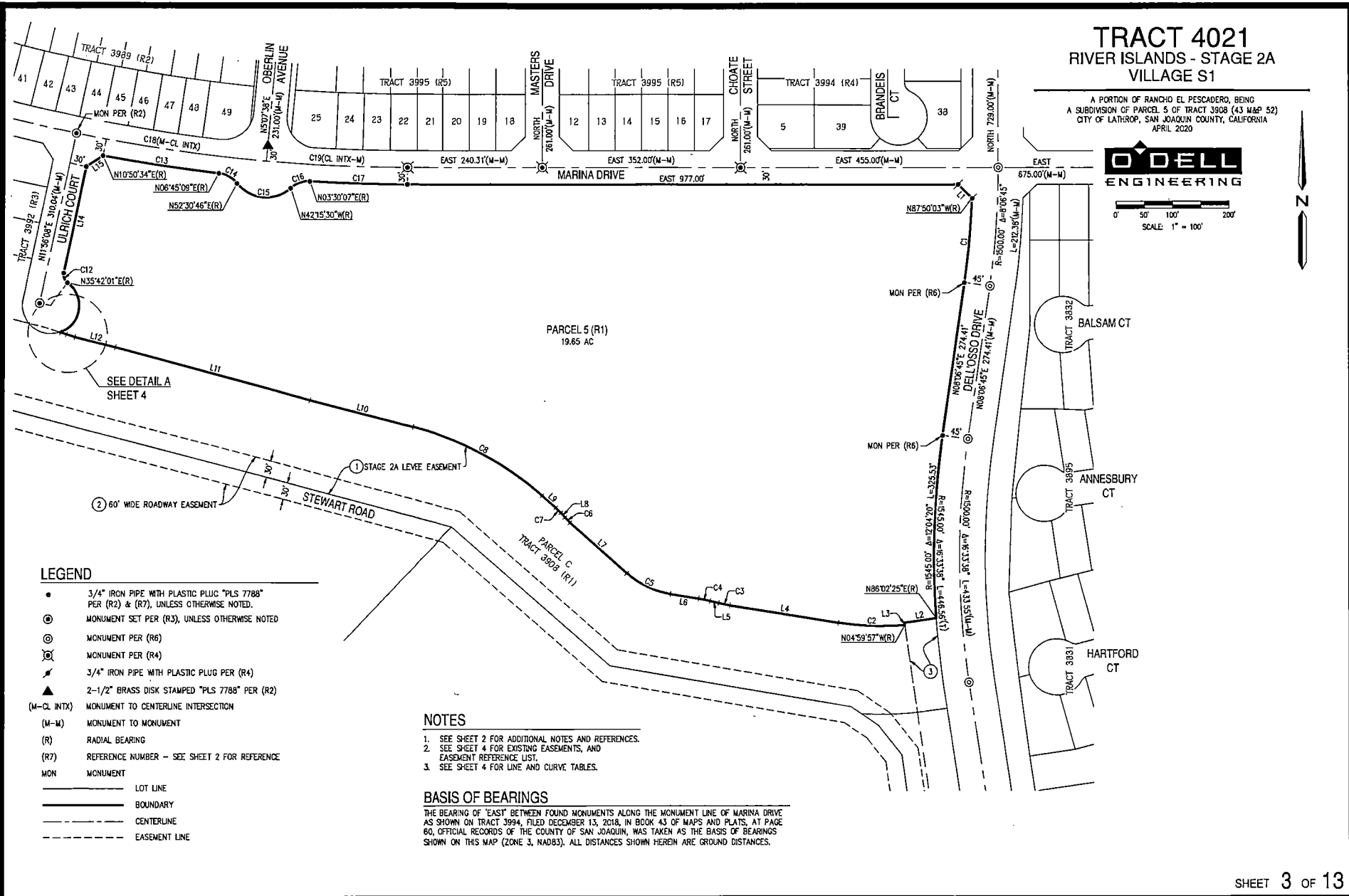
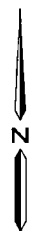


# TRACT 4021 RIVER ISLANDS - STAGE 2A VILLAGE S1

A PORTION OF RANCHO EL PESCADERO, BEING  
A SUBDIVISION OF PARCEL 5 OF TRACT 3908 (43 MAP 52)  
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA  
APRIL 2020

**ODELL**  
ENGINEERING

0 50' 100' 200'  
SCALE: 1" = 100'



### LEGEND

- 3/4" IRON PIPE WITH PLASTIC PLUG "PLS 7788" PER (R2) & (R7), UNLESS OTHERWISE NOTED.
- ⊙ MONUMENT SET PER (R3), UNLESS OTHERWISE NOTED
- ⊙ MONUMENT PER (R6)
- ⊙ MONUMENT PER (R4)
- ⚡ 3/4" IRON PIPE WITH PLASTIC PLUG PER (R4)
- ▲ 2-1/2" BRASS DISK STAMPED "PLS 7788" PER (R2)
- (M-CL INTX) MONUMENT TO CENTERLINE INTERSECTION
- (M-M) MONUMENT TO MONUMENT
- (R) RADIAL BEARING
- (R7) REFERENCE NUMBER - SEE SHEET 2 FOR REFERENCE
- MON MONUMENT
- LOT LINE
- BOUNDARY
- CENTERLINE
- - - EASEMENT LINE

### NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 4 FOR EXISTING EASEMENTS, AND EASEMENT REFERENCE LIST.
3. SEE SHEET 4 FOR LINE AND CURVE TABLES.

### BASIS OF BEARINGS

THE BEARING OF "EAST" BETWEEN FOUND MONUMENTS ALONG THE MONUMENT LINE OF MARINA DRIVE AS SHOWN ON TRACT 3994, FILED DECEMBER 13, 2018, IN BOOK 43 OF MAPS AND PLATS, AT PAGE 60, OFFICIAL RECORDS OF THE COUNTY OF SAN JOAQUIN, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN ON THIS MAP (ZONE 3, NAD83). ALL DISTANCES SHOWN HEREIN ARE GROUND DISTANCES.



**EASEMENTS**

- ① STAGE 2A LEVEE EASEMENT IN FAVOR OF ISLAND RECLAMATION DISTRICT 2062 PER DOCUMENT NUMBER 2018-060092, S.J.C.R.
- ② ROADWAY EASEMENT (STEWART ROAD) IN FAVOR OF SAN JOAQUIN COUNTY PER 199 O.R. 212, S.J.C.R.
- ③ LEVEE EASEMENT IN FAVOR OF ISLAND RECLAMATION DISTRICT 2062 PER DOCUMENT NUMBER 2016-044287, S.J.C.R.

**TRACT 4021  
RIVER ISLANDS - STAGE 2A  
VILLAGE S1**

A PORTION OF RANCHO EL PESCADERO, BEING  
A SUBDIVISION OF PARCEL 5 OF TRACT 3908 (43 MAP 52)  
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA  
APRIL 2020

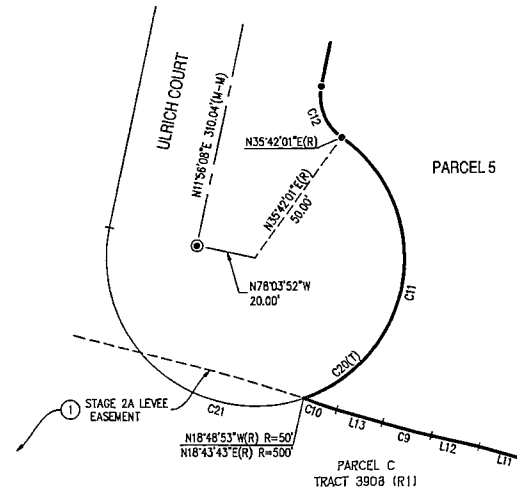


LINE TABLE FOR COURSES  
SHOWN ON SHEETS 3 & 4

LINE	DIRECTION	LENGTH
L1	N44°08'47"W	34.84'
L2	N81°54'07"E	56.61'
L3	N8°05'53"W	4.14'
L4	N80°49'45"W	193.66'
L5	N76°04'58"W	15.53'
L6	N80°49'45"W	50.24'
L7	N48°14'46"W	134.98'
L8	N40°57'38"W	10.92'
L9	N48°14'46"W	32.46'
L10	N75°37'40"W	190.37'
L11	N74°39'34"W	355.03'
L12	N75°37'40"W	73.27'
L13	N71°06'02"W	10.34'
L14	N11°56'08"E	194.24'
L15	N56°23'21"E	35.02'

CURVE TABLE FOR COURSES  
SHOWN ON SHEETS 3 & 4

CURVE	RADIUS	DELTA	LENGTH
C1	1455.00	5°55'48"	151.01'
C2	477.00	14°10'12"	117.97'
C3	250.00	4°44'47"	20.71'
C4	250.00	4°44'47"	20.71'
C5	153.00	32°34'59"	87.01'
C6	100.00	7°17'08"	12.72'
C7	100.00	7°17'08"	12.72'
C8	550.00	27°22'54"	262.85'
C9	200.00	4°31'38"	15.80'
C10	500.00	0°10'15"	1.49'
C11	50.00	125°29'06"	109.51'
C12	17.00	66°14'07"	19.65'
C13	2859.00	4°05'25"	204.10'
C14	47.00	45°45'37"	37.54'
C15	65.00	94°46'16"	107.51'
C16	47.00	45°45'37"	37.54'
C17	2859.00	3°30'07"	174.74'
C18	2829.00	6°48'30"	336.16'
C19	2829.00	5°07'38"	253.15'
C20	50.00	248°14'06"	214.88'
C21	50.00	120°45'00"	105.37'



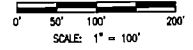
**DETAIL A**  
NOT TO SCALE  
(FROM SHEET 3)

# TRACT 4021

## RIVER ISLANDS - STAGE 2A

### VILLAGE S1

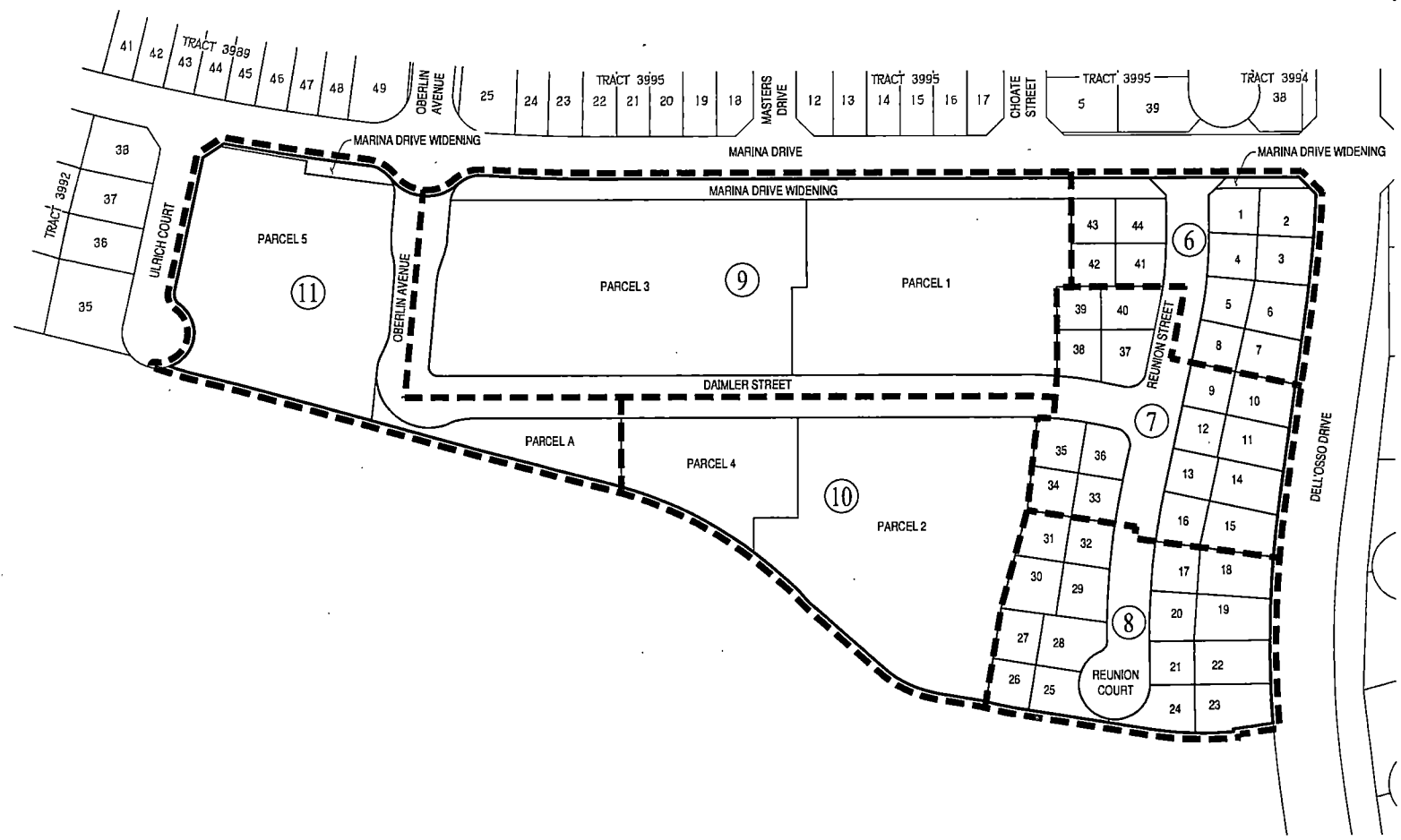
A PORTION OF RANCHO EL PESCADERO, BEING  
 A SUBDIVISION OF PARCEL 5 OF TRACT 3908 (43 M&P 52)  
 CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA  
 APRIL 2020



#### SHEET INDEX

#### LEGEND

- BOUNDARY
- LOT LINE
- SHEET NUMBER
- RESTRICTED ACCESS
- SHEET LIMIT LINE



# TRACT 4021 RIVER ISLANDS - STAGE 2A VILLAGE S1

A PORTION OF RANCHO EL PESCADERO, BEING  
A SUBDIVISION OF PARCEL 5 OF TRACT 3908 (43 M&P 52)  
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA  
APRIL 2020



0' 15' 30' 60'  
SCALE: 1" = 30'

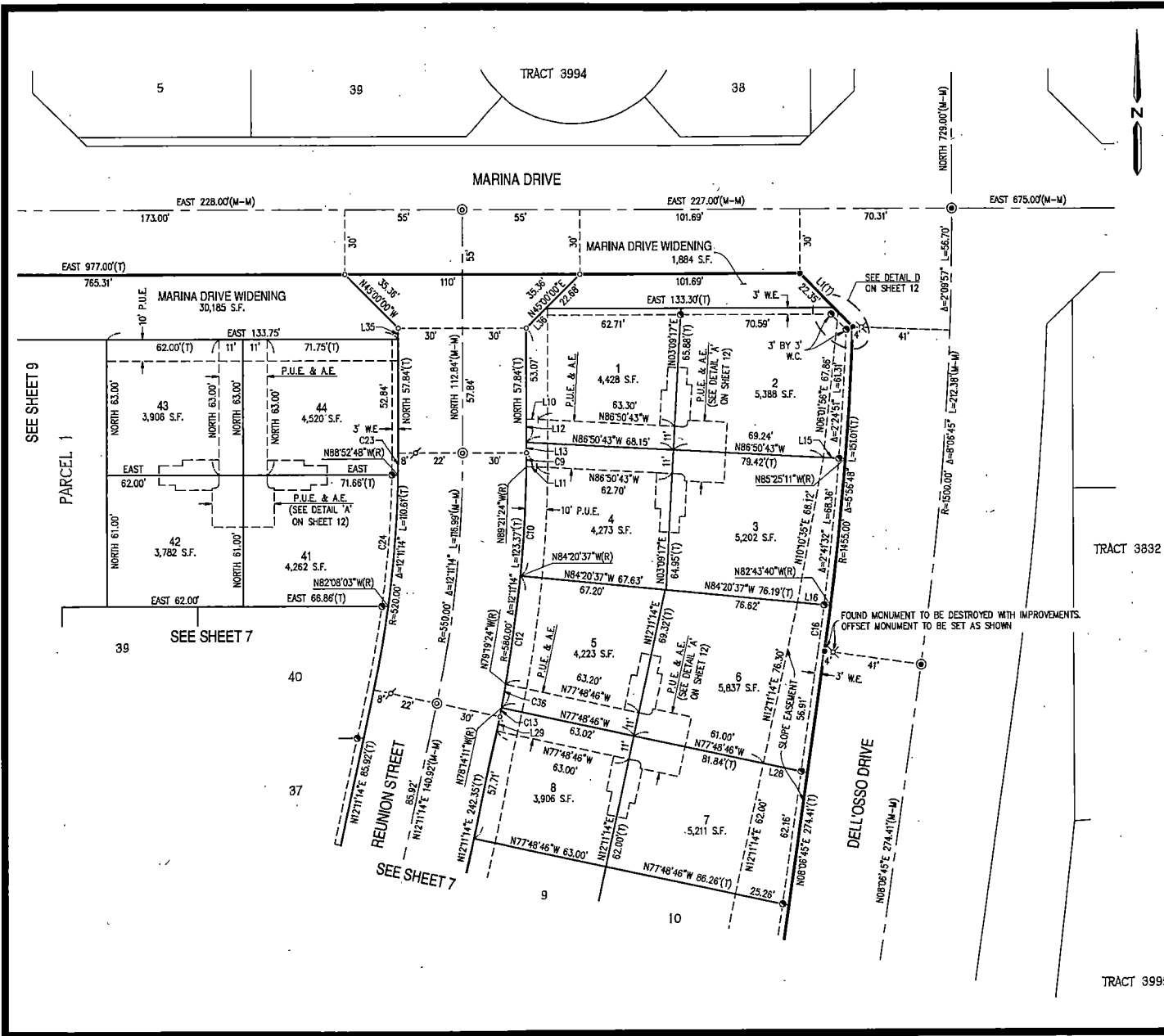
## LEGEND

- ⊙ SET STANDARD CITY OF LATHROP MONUMENT WELL STAMPED "PLS 7788"
- SET 3/4" IRON PIPE W/ PLASTIC PLUG "PLS 7788"
- ⊕ MONUMENT TO BE SET PER (R3)
- ⊗ MONUMENT TO BE SET PER (R9)
- ⊙ MONUMENT TO BE SET PER (R11)
- FOUND 3/4" IRON PIPE W/ PLASTIC PLUG "PLS 7788" PER (R1), UNLESS OTHERWISE NOTED
- ✕ SET 3/4" IRON PIPE W/ PLASTIC PLUG "PLS 7788" AS NOTED
- SET 3.00' WITNESS CORNER (W.C.), UNLESS OTHERWISE NOTED, MEASURED ALONG LOT LINE, RADIAL LINE OR PERPENDICULAR TO STREET CENTERLINE AS NOTED. 3/4" x 24" IRON PIPE W/ PLASTIC PLUG "PLS 7788"
- ⊙ SET 8.00" WITNESS CORNER (W.C.) RADIAL LINE OR PERPENDICULAR TO STREET CENTERLINE AS NOTED. 3/4" IRON PIPE W/ PLASTIC PLUG "PLS 7788"
- 200.00'(R1) MEASURED AND RECORD DATA PER REFERENCE (R1)
- (R1) DENOTES REFERENCE (R1)- SEE REFERENCE LIST ON SHEET 3
- (M-M) MONUMENT TO MONUMENT
- (M-B) MONUMENT TO BOUNDARY
- (T) TOTAL
- (B) BOUNDARY
- A.E. PRIVATE ACCESS EASEMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- S.S.E. SANITARY SEWER EASEMENT
- W.E. WALL EASEMENT
- LOT LINE
- RIGHT-OF-WAY LINE
- BOUNDARY
- EASEMENT LINE
- MONUMENT LINE
- CENTERLINE

## NOTES

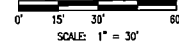
1. 1.17" BRASS DISK STAMPED "PLS 7788" TO BE SET ON CONCRETE SIDEWALK 1.00' INTO THE RIGHT-OF-WAY, ALONG PROLONGATION OF SIDE LOT LINES, OR AS NOTED.
2. 5/8" REBAR WITH CAP "PLS 7788" TO BE SET AT ALL REAR LOT CORNERS, UNLESS OTHERWISE NOTED.
3. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
4. SEE SHEET 4 FOR EXISTING EASEMENT.
5. SEE SHEET 13 FOR LINE AND CURVE TABLES.
6. SEE SHEET 3 FOR BASIS OF BEARINGS

SHEET 6 OF 13



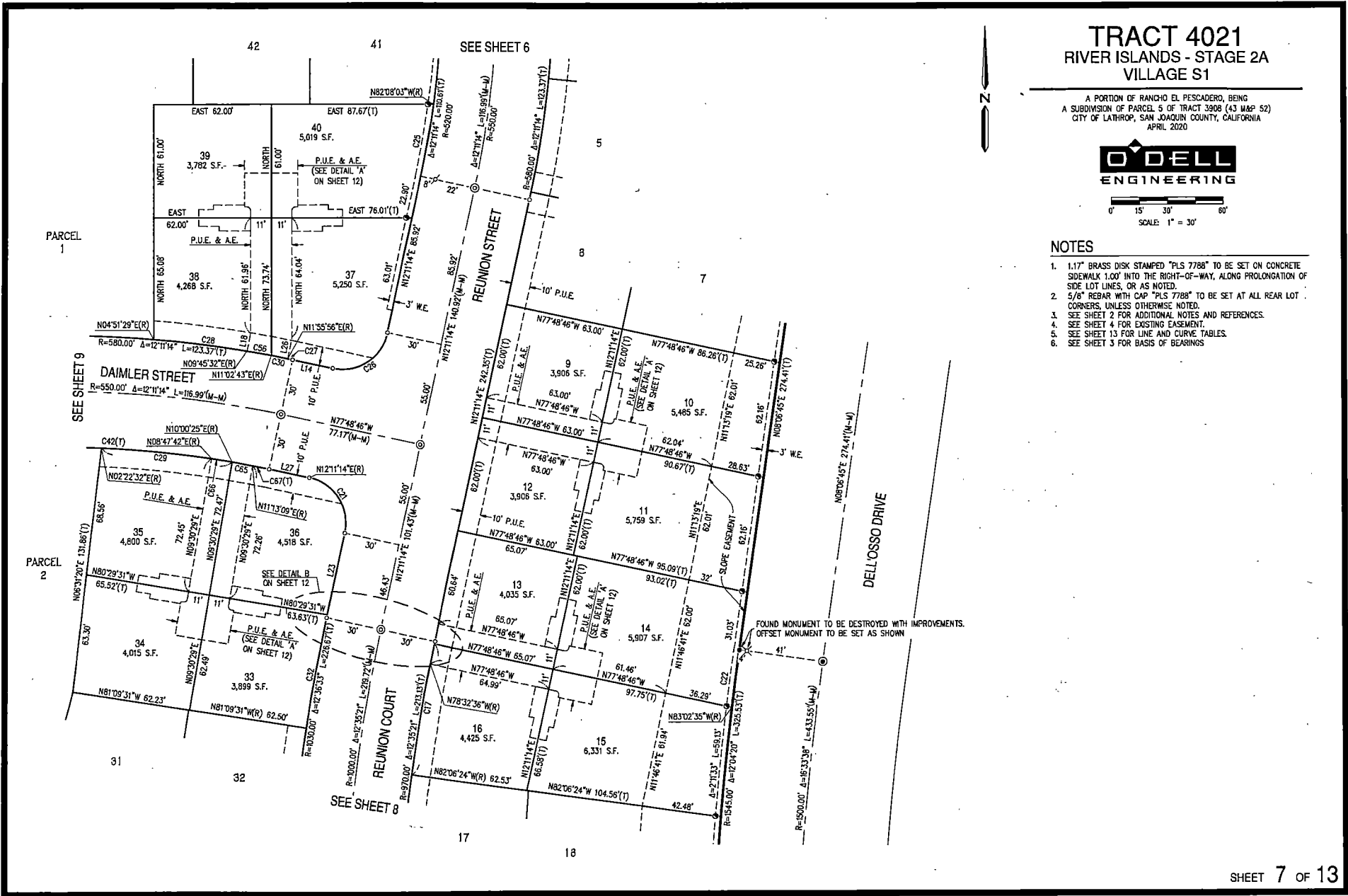
# TRACT 4021 RIVER ISLANDS - STAGE 2A VILLAGE S1

A PORTION OF RANCHO EL PESCADERO, BEING  
A SUBDIVISION OF PARCEL 5 OF TRACT 3908 (43 M&P 52)  
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA  
APRIL 2020



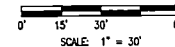
## NOTES

- 1.17" BRASS DISK STAMPED "PLS 7788" TO BE SET ON CONCRETE SIDEWALK 1.00' INTO THE RIGHT-OF-WAY, ALONG PROLONGATION OF SIDE LOT LINES, OR AS NOTED.
- 5/8" REBAR WITH CAP "PLS 7788" TO BE SET AT ALL REAR LOT CORNERS, UNLESS OTHERWISE NOTED.
- SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
- SEE SHEET 4 FOR EXISTING EASEMENTS.
- SEE SHEET 13 FOR LINE AND CURVE TABLES.
- SEE SHEET 3 FOR BASIS OF BEARINGS



# TRACT 4021 RIVER ISLANDS - STAGE 2A VILLAGE S1

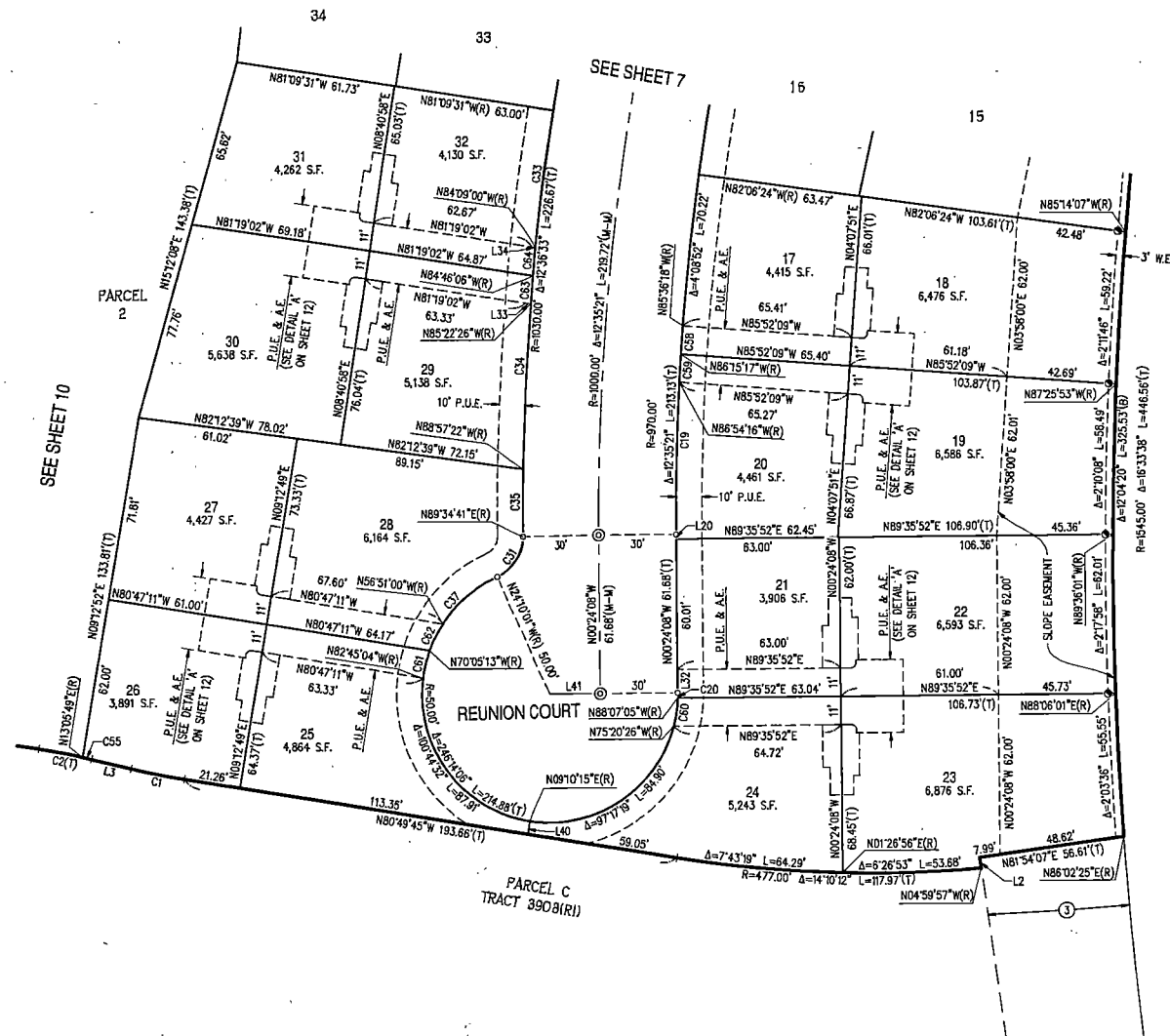
A PORTION OF RANCHO EL PESCADERO, BEING  
A SUBDIVISION OF PARCEL 5 OF TRACT 3908 (43 M&P 52)  
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA  
APRIL 2020



## NOTES

1. 1.17" BRASS DISK STAMPED "PLS 7788" TO BE SET ON CONCRETE SIDEWALK 1.00' INTO THE RIGHT-OF-WAY, ALONG PROLONGATION OF SIDE LOT LINES, OR AS NOTED.
2. 5/8" REBAR WITH CAP "PLS 7788" TO BE SET AT ALL REAR LOT CORNERS, UNLESS OTHERWISE NOTED.
3. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
4. SEE SHEET 4 FOR EXISTING EASEMENT.
5. SEE SHEET 13 FOR LINE AND CURVE TABLES.
6. SEE SHEET 3 FOR BASIS OF BEARINGS

DELLOSSO DRIVE

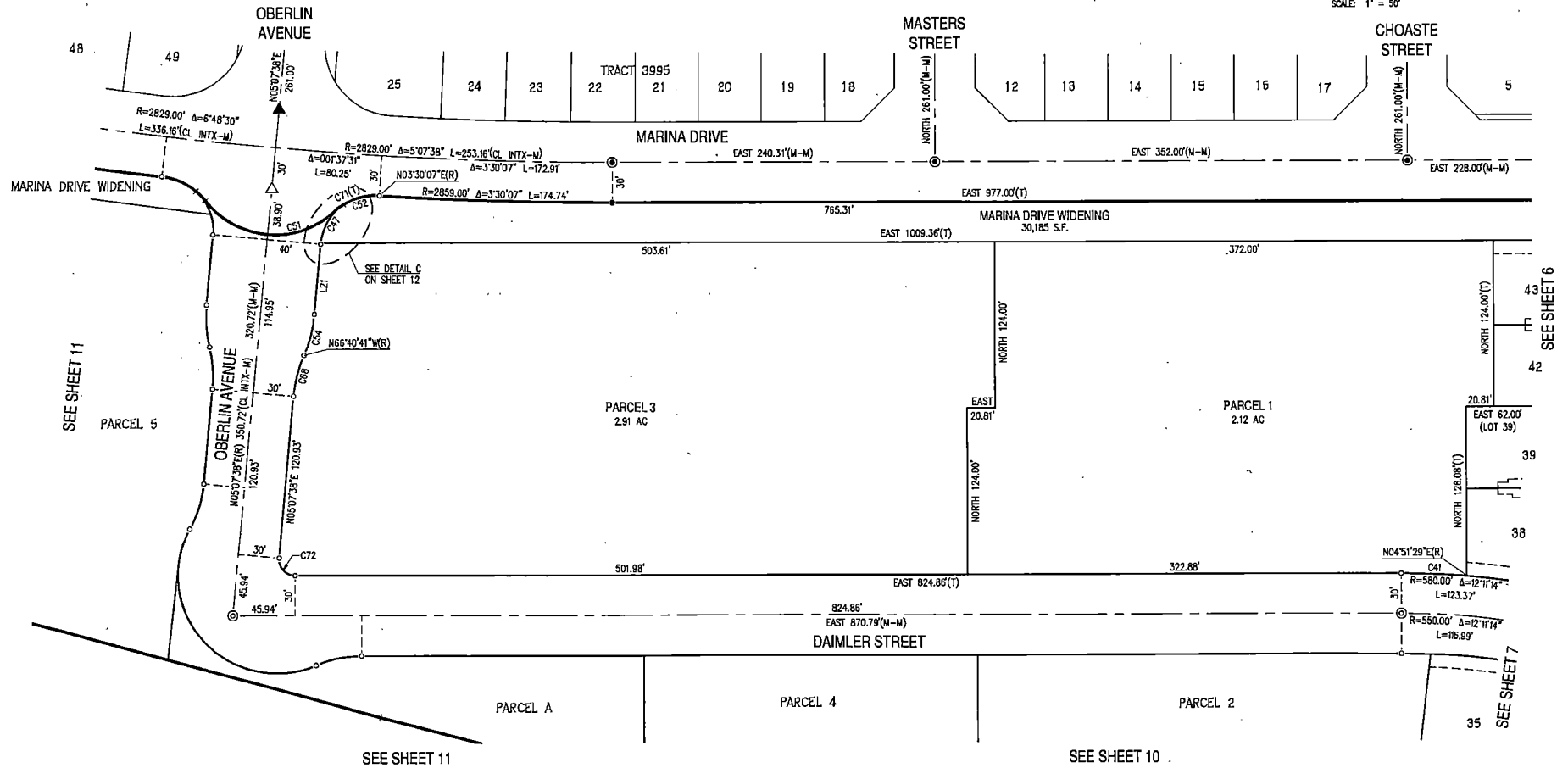


# TRACT 4021 RIVER ISLANDS - STAGE 2A VILLAGE S1.

A PORTION OF RANCHO EL PESCADERO, BEING  
A SUBDIVISION OF PARCEL 5 OF TRACT 3908 (43 M&P 52)  
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA  
APRIL 2020

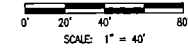


0' .25' 50' 100'  
SCALE: 1" = 50'



**TRACT 4021**  
**RIVER ISLANDS - STAGE 2A**  
**VILLAGE S1**

A PORTION OF RANCHO EL PESCADERO, BEING  
 A SUBDIVISION OF PARCEL 5 OF TRACT 3908 (43 M&P 52)  
 CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA  
 APRIL 2020



SEE SHEET 9

PARCEL 3

PARCEL 1

38

EAST 870.79'(M-M)  
 774.81'

DAIMLER STREET

$\Delta=12'11''14''$   
 $L=116.99'(M-M)$   
 $R=550.00'$

EAST 774.81'(T)

248.00'

315.40'

C42(T)  
 C33  
 $N02'22'32''E(R)$

SEE SHEET 11

PARCEL A

NORTH 96.75'

NORTH 140.88'

PARCEL 4  
 0.78 AC

$N15'44'01''E(R)$

EAST 82.00'

PARCEL 2  
 2.56 AC

NORTH 49.15'

$N37'32'32''E(R)$

$\Delta=21'48'32''$   $L=209.35'$   
 $R=550.00'$   $\Delta=27'22'54''$   $L=262.95'(T)$

PARCEL C  
 TRACT 3908(R)

C14

L6

C5

L5

C4

L4

C3

L3

C2

L2

C1

L1

C18

C2(T)

$N67'14'05''W$  134.98'

SEE SHEET 7

SEE SHEET 8

26

27

30

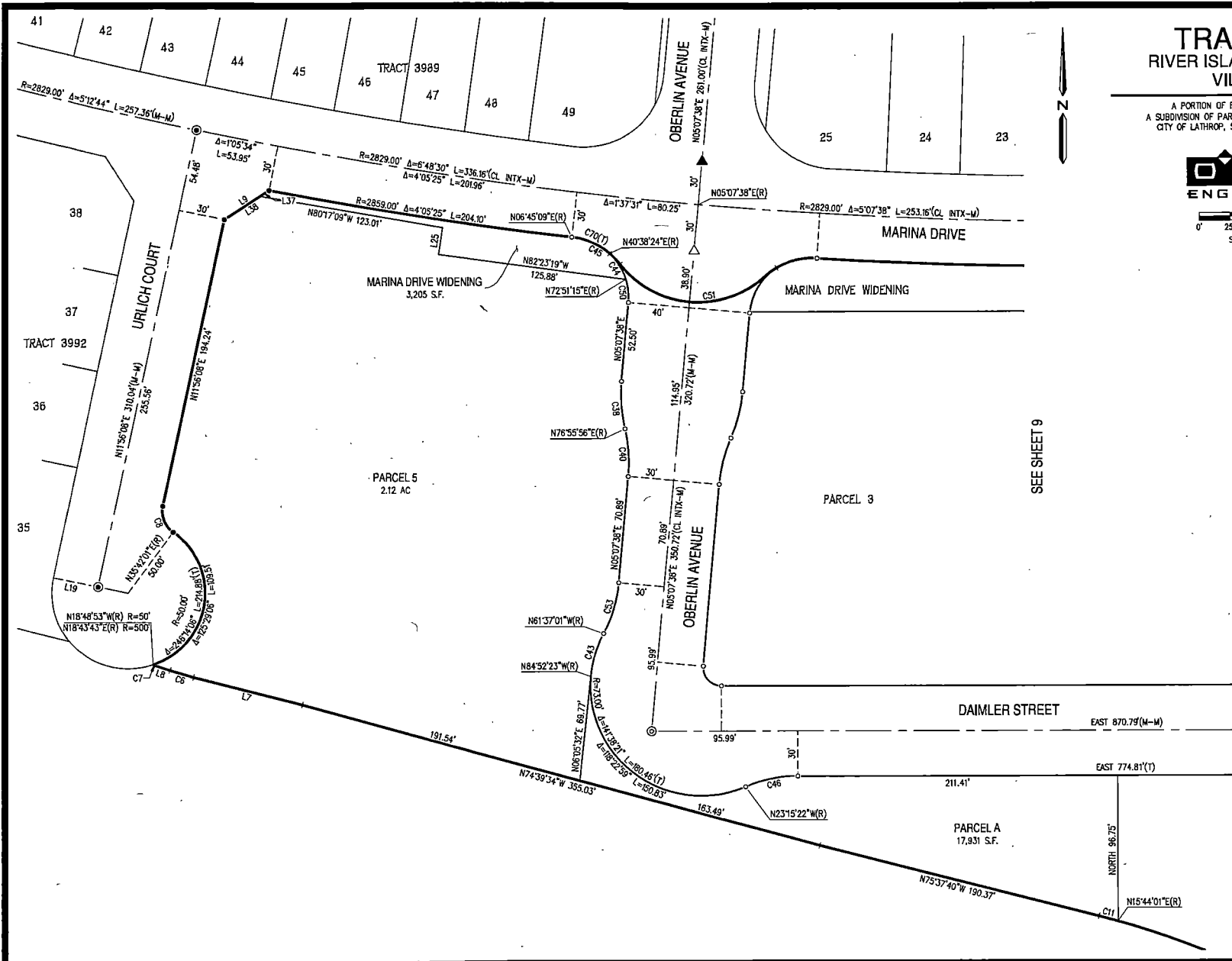
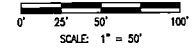
31

34

35

# TRACT 4021 RIVER ISLANDS - STAGE 2A VILLAGE S1

A PORTION OF RANCHO EL PESCADERO, BEING  
A SUBDIVISION OF PARCEL 5 OF TRACT 3908 (43 M&P 52)  
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA  
APRIL 2020



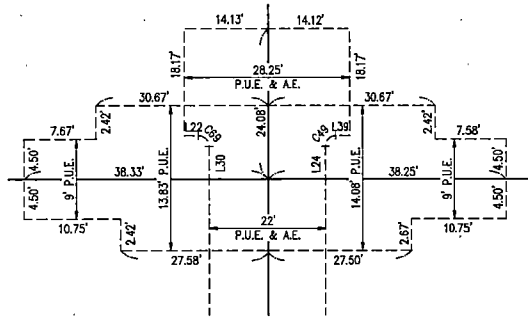
SEE SHEET 9

SEE SHEET 10

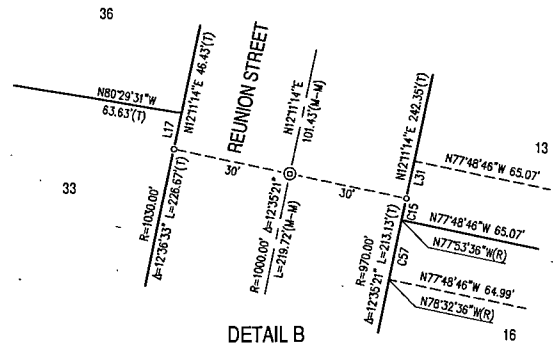


**TRACT 4021**  
**RIVER ISLANDS - STAGE 2A**  
**VILLAGE S1**

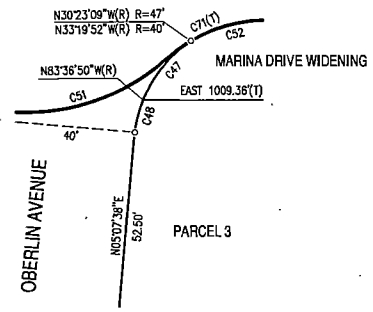
A PORTION OF RANCHO EL PESCADERO, BEING  
 A SUBDIVISION OF PARCEL 5 OF TRACT 3908 (43 M&P 52)  
 CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA  
 APRIL 2020



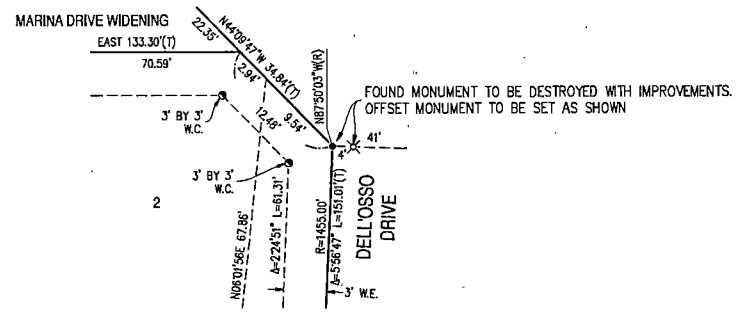
**DETAIL A**  
 NOT TO SCALE



**DETAIL B**  
 NOT TO SCALE  
 (SEE SHEET 7)



**DETAIL C**  
 NOT TO SCALE  
 (SEE SHEET 9)



**DETAIL D**  
 NOT TO SCALE  
 (SEE SHEET 6)

LINE AND CURVE TABLES FOR COURSES SHOWN ON SHEETS 6 THROUGH 12 ONLY

LINE TABLE			LINE TABLE		
LINE #	DIRECTION	LENGTH	LINE #	DIRECTION	LENGTH
L1	N44°09'47"W	34.84'	L31	N121°11'4"E	9.64'
L2	N08°05'53"W	4.14'	L32	N00°24'08"W	9.01'
L3	N78°04'58"W	15.53'	L33	N85°22'21"W	2.25'
L4	N80°49'45"W	50.24'	L34	N84°45'43"W	1.59'
L5	N40°57'38"W	10.92'	L35	NORTH	5.00'
L6	N48°14'46"W	32.46'	L36	N45°00'00"E	12.68'
L7	N75°37'40"W	73.27'	L37	N56°23'21"E	7.13'
L8	N71°06'02"W	10.34'	L38	N56°23'21"E	35.02'
L9	N56°23'21"E	35.02'	L39	N121°11'4"E	1.12'
L10	EAST	5.45'	L40	N09°10'15"E	5.00'
L11	EAST	4.88'	L41	N89°35'52"E	20.00'
L12	NORTH	10.72'			
L13	NORTH	4.77'			
L14	N77°48'46"W	22.17'			
L15	N85°50'43"W	10.19'			
L16	N84°20'37"W	15.22'			
L17	N121°11'4"E	1.63'			
L18	N10°50'44"E	9.61'			
L19	N78°03'52"W	30.00'			
L20	N00°24'08"W	1.67'			
L21	N05°07'38"E	52.50'			
L22	N121°11'4"E	1.13'			
L23	N121°11'4"E	44.80'			
L24	N77°48'46"W	3.92'			
L25	N08°29'01"E	18.22'			
L26	N10°50'44"E	11.70'			
L27	N77°48'46"W	22.17'			
L28	N77°48'46"W	20.84'			
L29	N121°11'4"E	6.71'			
L30	N77°48'46"W	3.92'			

CURVE TABLE			
CURVE #	RADIUS	DELTA	LENGTH
C1	250.00'	4°44'47"	20.71'
C2	250.00'	4°44'47"	20.71'
C3	153.00'	32°34'59"	87.01'
C4	100.00'	7°17'08"	12.72'
C5	100.00'	7°17'08"	12.72'
C6	200.00'	4°31'38"	15.80'
C7	500.00'	0°10'15"	1.49'
C8	17.00'	66°14'07"	19.65'
C9	580.00'	0°38'36"	6.51'
C10	580.00'	5°39'23"	57.26'
C11	550.00'	1°21'40"	13.07'
C12	580.00'	6°06'25"	61.82'
C13	580.00'	0°25'25"	4.29'
C14	550.00'	4°12'42"	40.43'
C15	970.00'	0°04'50"	1.36'
C16	1455.00'	0°50'25"	21.34'
C17	970.00'	4°12'48"	71.33'
C18	250.00'	3°55'34"	17.13'
C19	970.00'	4°08'51"	70.22'
C20	50.00'	2°17'03"	1.99'
C21	25.00'	90°00'00"	39.27'
C22	1545.00'	1°09'19"	31.15'
C23	520.00'	1°07'12"	10.16'
C24	520.00'	6°44'45"	61.22'
C25	520.00'	4°19'17"	39.22'
C26	25.00'	90°00'00"	39.27'
C27	580.00'	0°15'17"	2.58'
C28	580.00'	6°11'14"	62.63'
C29	520.00'	7°37'54"	69.26'
C30	580.00'	0°53'13"	8.98'

CURVE TABLE			
CURVE #	RADIUS	DELTA	LENGTH
C31	17.00'	66°15'18"	19.65'
C32	1030.00'	3°20'45"	60.15'
C33	1030.00'	3°36'35"	64.89'
C34	1030.00'	4°11'16"	75.28'
C35	1030.00'	1°27'58"	26.35'
C36	580.00'	1°05'13"	11.00'
C37	50.00'	45°55'12"	40.07'
C38	100.00'	18°11'42"	31.76'
C39	520.00'	2°22'32"	21.56'
C40	100.00'	18°11'42"	31.76'
C41	580.00'	4°51'29"	49.18'
C42	520.00'	12°11'14"	110.61'
C43	73.00'	23°15'22"	29.63'
C44	40.00'	29°16'07"	20.43'
C45	47.00'	33°53'15"	27.80'
C46	87.00'	23°15'22"	35.31'
C47	40.00'	50°16'58"	35.10'
C48	40.00'	1°15'37"	0.88'
C49	2.00'	90°00'00"	3.14'
C50	40.00'	22°16'23"	15.55'
C51	65.00'	94°46'16"	107.51'
C52	47.00'	33°53'15"	27.80'
C53	87.00'	23°15'22"	35.31'
C54	100.00'	18°11'42"	31.76'
C55	250.00'	0°49'14"	3.58'
C56	580.00'	11°7'11"	13.02'
C57	970.00'	0°38'59"	11.00'
C58	970.00'	0°38'59"	11.00'
C59	970.00'	0°38'59"	11.00'
C60	50.00'	12°46'38"	11.15'

CURVE TABLE			
CURVE #	RADIUS	DELTA	LENGTH
C61	50.00'	12°39'50"	11.05'
C62	50.00'	13°14'13"	11.55'
C63	1030.00'	0°36'20"	10.89'
C64	1030.00'	0°37'05"	11.11'
C65	520.00'	1°12'44"	11.00'
C66	520.00'	1°12'43"	11.00'
C67	520.00'	2°10'46"	19.78'
C68	100.00'	18°11'42"	31.76'
C69	2.00'	90°00'00"	3.14'
C70	47.00'	45°45'37"	37.54'
C71	47.00'	45°45'37"	37.54'
C72	12.00'	95°07'38"	19.92'

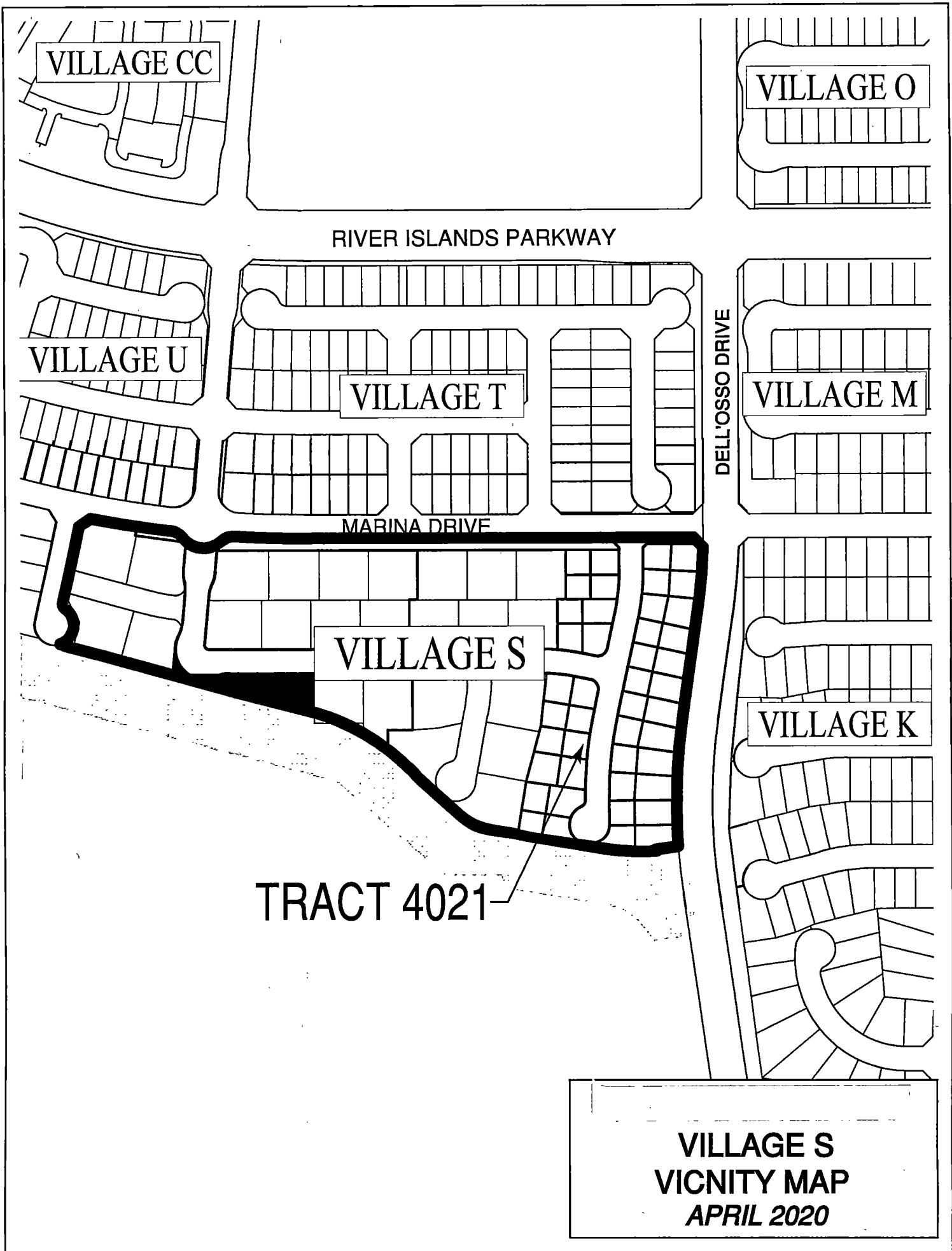
TRACT 4021  
RIVER ISLANDS - STAGE 2A  
VILLAGE S1

A PORTION OF RANCHO EL PESCADERO, BEING  
A SUBDIVISION OF PARCEL 5 OF TRACT 3908 (43 MAP 52)  
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA  
APRIL 2020



**EXHIBIT B**

**VILLAGE S VICINITY MAP**



VILLAGE CC

VILLAGE O

RIVER ISLANDS PARKWAY

VILLAGE U

VILLAGE T

DELL'OSSO DRIVE

VILLAGE M

MARINA DRIVE

VILLAGE S

VILLAGE K

TRACT 4021

**VILLAGE S  
VICINITY MAP  
APRIL 2020**

## EXHIBIT C

### CITY INSURANCE REQUIREMENTS

1. Subdivider shall obtain commercial general liability insurance companies licensed to do business in the State of California with an A.M. Best Company rating Insurance rating of no less than A:VII which provides coverage for bodily injury, personal injury and property damage liability in the amount of at least \$1,000,000 for each occurrence and \$2,000,000 in the aggregate.

Said insurance coverage shall be evidenced by a certificate of insurance with policy endorsements, executed by an authorized official of the insurers. All parties to the Subdivision Improvement Agreement must be named insured on the policy. The policy endorsements to be attached to the certificate must provide all the following:

a. Name the City of Lathrop, its officers, City Council, boards and commissions and members thereof, its employees and agents as additional insured as respects to any liability arising out of the activities of the named insured. A CG 2010 or CG 2026 endorsement form or the equivalent is the appropriate form.

b. State that "the insurance coverage afforded by this policy shall be primary insurance as respects to the City of Lathrop, its officers, employees and agents. Any insurance or self-insurance maintained by the City of Lathrop, its officers, employees, or agents shall be in excess of the insurance afforded to the named insured by this policy and shall not contribute to any loss."

c. Include a statement that, "the insurer will provide to the City of Lathrop at least thirty (30) days prior notice of cancellation or material change in coverage." The above language can be included on the additional insured endorsement form or on a separate endorsement form.

d. The policy must contain a cross liability or severability of interest clause.

e. Insurance must be maintained and evidence of insurance must be provided for at least five years after completion of the Agreement or the work, so long as commercially available at reasonable rates.



CERTIFICATE OF LIABILITY INSURANCE

Page 1 of 2
DATE (MM/DD/YYYY)
02/26/2020

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER: Willis Towers Watson Insurance Services West, Inc. fka Willis Insurance Services of California, Inc.
INSURED: River Islands Development, LLC
CONTACT NAME: Willis Towers Watson Certificate Center
PHONE: 1-877-945-7378
INSURER(S) AFFORDING COVERAGE: United Specialty Insurance Company, Starr Surplus Lines Insurance Company

COVERAGES CERTIFICATE NUMBER: W15509110 REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

Table with columns: INSR LTR, TYPE OF INSURANCE, ADDL INSD, SUBR WVD, POLICY NUMBER, POLICY EFF (MM/DD/YYYY), POLICY EXP (MM/DD/YYYY), LIMITS. Rows include Commercial General Liability, Automobile Liability, Umbrella and Excess Liability, and Workers Compensation.

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
This Voids and Replaces Previously Issued Certificate Dated 02/25/2020 WITH ID: W15505107.
RE: FM 4021 Village S
The City of Lathrop, its officers, City Council, boards and commissions and members thereof, its employees and agents are included as Additional Insureds as respects to General Liability. General Liability policy shall be Primary and

CERTIFICATE HOLDER: City of Lathrop for FM 4021 Village S
CANCELLATION: SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AGENCY CUSTOMER ID: \_\_\_\_\_

LOC #: \_\_\_\_\_



## ADDITIONAL REMARKS SCHEDULE

Page 2 of 2

AGENCY Willis Tower Watson Insurance Services West, Inc. fka Willis Insurance Services of California, Inc.		NAMED INSURED River Islands Development, LLC 73 W Stewart Rd Lathrop, CA 95330	
POLICY NUMBER See Page 1		EFFECTIVE DATE: See Page 1	
CARRIER See Page 1	NAIC CODE See Page 1		

### ADDITIONAL REMARKS

THIS ADDITIONAL REMARKS FORM IS A SCHEDULE TO ACORD FORM,  
FORM NUMBER: 25 FORM TITLE: Certificate of Liability Insurance

Non-contributory with any other insurance in force for or which may be purchased by the City of Lathrop, its officers, employees and agents.

THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.

### ADDITIONAL INSURED – STATE OR GOVERNMENTAL AGENCY OR SUBDIVISION OR POLITICAL SUBDIVISION – PERMITS OR AUTHORIZATIONS

This endorsement modifies Insurance provided under the following:

<p>State Or Governmental Agency Or Subdivision Or Political Subdivision:</p> <p>Per Written Contract</p>
<p>Information required to complete this Schedule, if not shown above, will be shown in the Declarations.</p>

#### COMMERCIAL GENERAL LIABILITY COVERAGE PART

#### SCHEDULE

Section II – Who Is An Insured is amended to include as an insured any state or governmental agency or subdivision or political subdivision shown in the Schedule, subject to the following provisions:

1. This insurance applies only with respect to operations performed by you or on your behalf for which the state or governmental agency or subdivision or political subdivision has issued a permit or authorization.
2. This insurance does not apply to:
  - a. "Bodily injury", "property damage" or "personal and advertising injury" arising out of operations performed for the federal government, state or municipality; or
  - b. "Bodily injury" or "property damage" included within the "products-completed operations hazard".



**THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.**

**ADDITIONAL INSURED – OWNERS, LESSEES OR  
CONTRACTORS – SCHEDULED PERSON OR  
ORGANIZATION**

This endorsement modifies insurance provided under the following:  
COMMERCIAL GENERAL LIABILITY COVERAGE PART

**SCHEDULE**

<b>Name Of Additional Insured Person(s) Or Organization(s):</b>	<b>Location(s) Of Covered Operations</b>
City of Lathrop its officers, City Council, boards and commissions and members thereof, its employees and agents 390 Towne Centre Drive Lathrop, CA 95330	As Required By Written Contract, Fully Executed Prior To The Named Insured's Work
Information required to complete this Schedule, if not shown above, will be shown in the Declarations.	

**A. Section II Who Is An Insured** is amended to include as an additional insured the person(s) or organization(s) shown in the Schedule, but only with respect to liability for "bodily injury", "property damage" or "personal and advertising injury" caused, in whole or in part, by:

- 1 Your acts or omissions; or
- 2 The acts or omissions of those acting on your behalf;

in the performance of your ongoing operations for the additional insured(s) at the location(s) designated above.

**B.** With respect to the insurance afforded to these additional insureds, the following additional exclusions apply:

This insurance does not apply to "bodily injury" or "property damage" occurring after:

- 1 All work, including materials, parts or equipment furnished in connection with such work, on the project (other than service, maintenance or repairs) to be performed by or on behalf of the additional insured(s) at the location of the covered operations has been completed; or
- 2 That portion of "your work" out of which the injury or damage arises has been put to its intended use by any person or organization other than another contractor or subcontractor engaged in performing operations for a principal as a part of the same project.

**UNITED SPECIALTY INSURANCE COMPANY**

**THIS ENDORSEMENT CHANGES THE POLICY – PLEASE READ IT CAREFULLY**

**USIC VEN 016 11 10 07**

**Named Insured: River Islands Development, LLC  
Policy Number: ATN-SF1811644P**

**PRIMARY AND NON-CONTRIBUTING INSURANCE  
(Third Party's Sole Negligence)**

This endorsement modifies insurance provided under the following:

**COMMERCIAL GENERAL LIABILITY COVERAGE PART  
PRODUCTS/COMPLETED OPERATIONS LIABILITY COVERAGE PART**

The following is added to Section IV – Commercial General Liability Conditions, Paragraph 4:

**Section IV: Commercial General Liability Conditions**

**4. Other Insurance:**

- d. Notwithstanding the provisions of sub-paragraphs a, b, and c of this paragraph 4, with respect to the Third Party shown below, it is understood and agreed that in the event of a claim or "suit" arising out of the Named Insured's sole negligence, this insurance shall be primary and any other insurance maintained by the additional insured named as the Third Party below shall be excess and non-contributory.

The Third Party to whom this endorsement applies is:

City of Lathrop, its officers, City Council,  
boards and commissions and members thereof,  
its employees and agents  
390 Towne Centre Drive  
Lathrop, CA 95330

Absence of a specifically named Third Party above means that the provisions of this endorsement apply "as required by written contractual agreement with any Third party for whom you are performing work."

All other terms, conditions and exclusions under this policy are applicable to this Endorsement and remain unchanged.

**UNITED SPECIALTY INSURANCE COMPANY**

**THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.**

**USIC VEN 078 03 11 07**

**Named Insured: River Islands Development, LLC  
Policy Number: ATN-SF1811644P**

**THIRD PARTY CANCELLATION NOTICE**

This endorsement shall not serve to increase our limits of insurance, as described in **SECTION III - LIMITS OF INSURANCE.**

This endorsement modifies Conditions provided under the following:

**COMMERCIAL GENERAL LIABILITY COVERAGE PART**

**If we cancel this policy for any reason other than nonpayment of premium, we will mail notification to the persons or organizations shown in the schedule below (according to the number of days listed below) once the Named Insured has been notified.**

**If we cancel this coverage for nonpayment of premium, we will mail a copy of such written notice of cancellation to the name and address below at least 10 days prior to the effective date of such cancellation.**

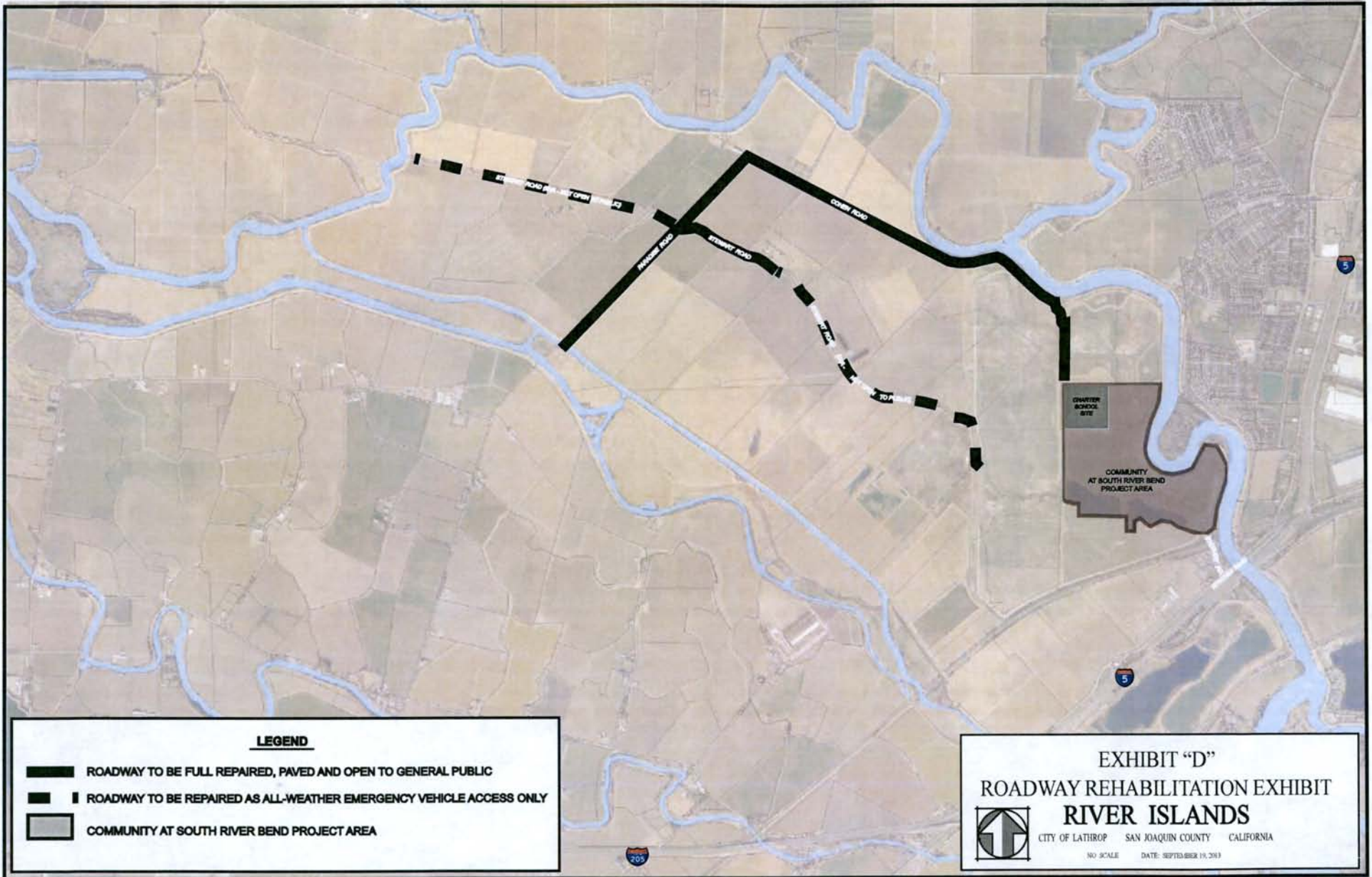
**Our failure to provide such advance notification will not extend the policy cancellation date nor negate cancellation of the policy.**

**SCHEDULE**




<b><u>Name and Address of Other Person/Organization</u></b>	<b><u>Number of Days Notice</u></b>
City of Lathrop, its officers, City Council, boards and commissions and members thereof, its employees and agents 390 Towne Centre Drive Lathrop, CA 95330	30 Days

All other terms, conditions and exclusions under this policy are applicable to this Endorsement and remain unchanged.

**EXHIBIT D**  
**COHEN/PARADISE/STEWART REHABILITATION MAP**



**LEGEND**

-  ROADWAY TO BE FULL REPAIRED, PAVED AND OPEN TO GENERAL PUBLIC
-  ROADWAY TO BE REPAIRED AS ALL-WEATHER EMERGENCY VEHICLE ACCESS ONLY
-  COMMUNITY AT SOUTH RIVER BEND PROJECT AREA

**EXHIBIT "D"**  
**ROADWAY REHABILITATION EXHIBIT**  
**RIVER ISLANDS**  
 CITY OF LATHROP    SAN JOAQUIN COUNTY    CALIFORNIA  
 NO SCALE    DATE: SEPTEMBER 18, 2013

**EXHIBIT E**

**UNFINISHED AND DEFERRED IMPROVEMENT COST ESTIMATE**

**VILLAGE S = FULL IMPROVEMENT COST**

ENGINEER'S BOND ESTIMATE  
**COST TO COMPLETE**  
**RIVER ISLANDS - STAGE 2A**  
**VILLAGE S PUBLIC IMPROVEMENTS**  
 CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA

March 19, 2020  
 Job No.: 25504-23

Item	Description	Quantity	Unit	Unit Price	Amount
1	Rough Grading & Pad Finish (90% Completion)	1	LS	\$ 22,132.00	\$ 22,132.00
2	Sanitary Sewer Main Line (40% Completion)	1	LS	\$ 253,585.00	\$ 253,585.00
3	Sanitary Sewer Courts (40% Completion)	1	LS	\$ 107,222.00	\$ 107,222.00
4	Storm Drain (40% Completion)	1	LS	\$ 317,798.00	\$ 317,798.00
5	Domestic Water (40% Completion)	1	LS	\$ 224,010.00	\$ 224,010.00
6	Joint Trench (0% Completion)	1	LS	\$ 1,065,559.00	\$ 1,065,559.00
7	Concrete (0% Completion)	1	LS	\$ 336,652.00	\$ 336,652.00
8	Finish Grade, AB & AC Paving (0% Completion)	1	LS	\$ 518,180.00	\$ 518,180.00
<b>TOTAL COST TO COMPLETE</b>					<b>\$ 2,845,138.00</b>

Notes:

- 1) Estimate for cost to complete based on cost to complete summary sheet and backup documents for Village S received on March 19, 2020.



**River Islands - Village "S" Park  
100% Improvement Plans**

**OPINION OF PROBABLE COST**

**Lathrop, CA  
3/18/2020**

ITEM DESCRIPTION	UNIT	QUANT.	UNIT COST	AMOUNT
<b>A. Site Preparation</b>				
1 Site Grading (Rough/Fine)	SF	43,869	\$ 0.25	\$ 10,967.25
2 Storm Drain Curb Inlet Tie-In	EA	1	\$ 1,000.00	\$ 1,000.00
3 Storm Drain Inlet	EA	4	\$ 3,500.00	\$ 14,000.00
4 8" Storm Drain Line	LF	152	\$ 40.00	\$ 6,080.00
4 12" Storm Drain Line	LF	93	\$ 40.00	\$ 3,720.00
				-----
			<b>SUB-TOTAL</b>	<b>\$ 35,767.25</b>
<b>B. Flatwork / Surfacing / Walls</b>				
1 Natural colored 6" Conc. Flatwork	SF	4,013	\$ 12.00	\$ 48,156.00
2 Concrete Ramp (Playground)	EA	1	\$ 3,000.00	\$ 3,000.00
3 Asphalt Trail	SF	1,196	\$ 10.00	\$ 11,960.00
4 Gravel Shoulder	SF	797	\$ 5.00	\$ 3,985.00
5 Fibar	SF	1,810	\$ 75.00	\$ 135,750.00
6 Flagstone Steppers	SF	213	\$ 16.00	\$ 3,408.00
7 12" Concrete Mow Curb	LF	773	\$ 23.58	\$ 18,227.34
8 Monolithic Sidewalk/Deepend Edge at Playground	LF	158	\$ 160.00	\$ 25,280.00
9 Deepend Edge at Playground	LF	32	\$ 160.00	\$ 5,120.00
10 4' Tubular Steel Fence	LF	195	\$ 45.00	\$ 8,775.00
				-----
			<b>SUB-TOTAL</b>	<b>\$ 263,661.34</b>
<b>C. Furnishings / Equipment / Structures</b>				
1 Benches	EA	9	\$ 2,905.00	\$ 26,145.00
2 Trash Receptacles	EA	2	\$ 3,025.00	\$ 6,050.00
3 Recycling Receptacles	EA	2	\$ 3,025.00	\$ 6,050.00
4 Picnic Table	EA	2	\$ 3,587.00	\$ 7,174.00
5 Shade Structure	EA	1	\$ 25,000.00	\$ 25,000.00
6 Playground Equipment	LS	1	\$ 100,000.00	\$ 100,000.00
7 Removable Bollards	EA	3	\$ 2,500.00	\$ 7,500.00
				-----
			<b>SUB-TOTAL</b>	<b>\$ 177,919.00</b>
<b>D. Planting</b>				
1 Soil Conditioning & Amendments	SF	36,849	\$ 0.53	\$ 19,529.97
2 Sod Lawn	SF	7,320	\$ 0.20	\$ 1,464.00
2 Hydroseeded Wildflower Mix	SF	18,725	\$ 0.20	\$ 3,745.00
3 1 Gallon Shrubs	EA	1,047	\$ 12.50	\$ 13,087.50
4 15 Gallon Trees	EA	53	\$ 243.00	\$ 12,879.00
5 Bark	SF	10,804	\$ 0.85	\$ 9,183.40
6 Root Barrier	LF	629	\$ 12.60	\$ 7,925.40
				-----
			<b>SUB-TOTAL</b>	<b>\$67,814.27</b>
<b>E. Irrigation Controls &amp; Distribution</b>				
1 Irrigation System	SF	36,849	\$ 2.25	\$ 82,910.25
				-----
			<b>SUB-TOTAL</b>	<b>\$82,910.25</b>
<b>F. Miscellaneous</b>				



1	Maintenance (60 Day)	SF	36,849	\$	0.07	\$	2,579.43
							-----
							SUB-TOTAL \$ 2,579.43

**SUB-TOTAL** \$630,651.54  
**20% Contingency** \$ 126,130.31  
**Construction Total** \$756,781.85

Items not included as a part of this estimate:

- |                            |  |
|----------------------------|--|
| A. Permits                 | F. Erosion control & siltation cost, SWPPP |
| B. Utility Fees            | G. Landscaping Fees                        |
| C. City fees, bond fees    | H. Joint trench                            |
| D. Engineering/design fees | I. Easement acquisitions                   |
| E. Soils engineering cost  | J. Power Pole Relocation                   |

This is a preliminary estimate only and not to be used as a bidding quantity sheet

**NOTES:**

1. Estimates are derived from most recent market conditions / bids in the region.
2. Estimates do not reflect changes in inflation/deflation of future costs



**OPINION OF PROBABLE COST**

**River Islands (Stage 2A) - Village S Marina Ave**

**Lathrop, CA**

**90% Submittal**

**3/19/2020**

ITEM DESCRIPTION	UNIT	QUANT.	UNIT COST	AMOUNT
<b>A. Site Preparation</b>				
1 Site Grading (Fine)	SF	43,362	\$0.50	\$21,681.00
SUB-TOTAL				\$21,681.00
<b>B. Flatwork / Surfacing / Walls</b>				
1 Cobbles Set in Concrete	SF	467	\$2.20	\$1,027.40
2 12" Concrete Mow Curb	LF	866	\$12.00	\$10,392.00
3 Wood Perimeter Fence	LF	723	\$32.00	\$11,520.00
4 Pilasters	LF	7	\$1,500.00	\$11,520.00
SUB-TOTAL				\$34,459.40
<b>C. Planting</b>				
1 1 Gallon Shrubs	EA	3,637	\$8.25	\$30,005.25
2 15 Gallon Trees	EA	103	\$120.00	\$12,360.00
3 Soil Conditioning & Amendments	SF	42,895	\$0.30	\$12,868.50
4 Bark	SF	42,895	\$0.25	\$10,723.75
5 Root Barrier	LF	588	\$6.00	\$3,528.00
SUB-TOTAL				\$69,485.50
<b>D. Irrigation Controls &amp; Distribution</b>				
1 18" o.c. In-line Drip Tubing Irrigation System	LF	38,076		
2 Flush cap & Valve Box	EA	78		
3 Operation Indicator	EA	78		
4 Tree RWS System	EA	206		
5 Sch 40 Ball Valve	EA	39		
6 QF Header (10-18/10-12)	LF	689		
7 3/4" Lateral Line	LF	3,371		
8 1" Lateral Line	LF	843		
9 1-1/4" Lateral Line	LF	1,405		
10 2-1/2" Main Line	LF	1,834		
11 1" conduit for control wires	LF	1,937		
12 14-2 Maxi-Cable	LF	2,087		
15 1" Valves, Boxes & Decoders	EA	4		
16 1" Valves/Filter, Boxes & Decoders	EA	21		
17 3/4" Quick Couplers	EA	10		
Irrigation Sub-Total	SF	42,895	\$2.02	\$86,647.90
SUB-TOTAL				\$86,647.90
<b>TOTAL</b>				<b>\$212,273.80</b>
<b>10% Contingency</b>				<b>\$21,227.38</b>
<b>Construction Total</b>				<b>\$233,501.18</b>

Original Budget (2018-06-20)	
\$241,160	
Red=over budget / Green=under budget	
Parcel A88	\$241,160.00
Total:	\$241,160.00
<b>\$7,659</b>	

**NOTES:**

1. \_\_\_\_\_

Items not included as a part of this estimate:

- A. Permits
- B. Utility Fees
- C. City fees, bond fees
- D. Engineering/design fees
- E. Soils engineering cost
- F. Erosion control & siltation cost, SWPPP
- G. Landscaping Fees
- H. Joint trench
- I. Easement acquisitions
- J. Power Pole Relocation

2.

This is a preliminary estimate only and not to be used as a bidding quantity sheet

**EXHIBIT F**

**Not Used**

**EXHIBIT G**

**RIPFA LETTER OF GUARANTEE - INTERIM PUBLIC ACCESS WITHIN THE  
STAGE 2A DEVELOPMENT AREA**

**RIVER ISLANDS PUBLIC FINANCING AUTHORITY**

**73 W. STEWART ROAD  
LATHROP, CALIFORNIA 95330**

**TEL: (209) 878-7900**

May 4, 2017

Glenn Gebhardt, City Engineer  
City of Lathrop  
390 Towne Centre Drive  
Lathrop, California 95330

**Subject: Letter of Guarantee - Construction of Interim Public Access within the River Islands at Lathrop Stage 2A Development Area**

This Letter of Guarantee is being made in lieu of a performance bond for the construction of an interim public access (public right of way) within the Stage 2A development area of the River Islands development project. River Islands Development, LLC ("RID") has requested the permanent closure of Cohen Road from Stage 1 to Paradise Road and Paradise Road from Stewart Road to the Stage 2A levee (see Exhibit "A" attached to this Letter of Guarantee). This closure would allow the construction of the Stage 2B levee system. The closure will not allow public traffic to utilize Paradise Road to access the River Islands development area while the construction of the Stage 2B levee is occurring, but still allow emergency vehicles access to the area via all-weather access roads.

RID plans to construct River Islands Parkway from its current terminus in Stage 1, through the Stage 2A development area and into Stage 2B and reconstruct Paradise Road within Stage 2B to restore public access to the project from the Tracy/Banta area. Until these roads are constructed and dedicated to the City for public use, the City is requiring security to restore public access to Paradise Road should RID fail to perform. We are providing you this Letter of Guarantee for this purpose.

The engineer's estimate as provided by O'Dell Engineering for a 28-foot-wide paved roadway, equivalent to existing Cohen Road, in the general alignment of proposed River Islands Parkway from Stage 1 to Paradise Road through Stage 2B is \$453,000 (See Exhibit "B"). The total length of this "guarantee roadway" is 6,150 linear feet. As a result, the Authority hereby agrees to set-aside funds in the amount of \$543,600, which amount is equal to 120% of the engineer's estimate, in-lieu of a performance bond. The funds are currently held, and will be set aside, in the Improvement Fund established under the Fiscal Agent Agreement, dated as of December 1, 2015, between the Authority and Wilmington Trust, National Association, as fiscal agent. The Joint Community Facilities Agreement, dated as of November 16, 2015, between the Authority and the City allows for funds in the Improvement Fund to be used to pay costs of infrastructure improvements for the River Islands development, including roadways.

Under the terms of this Letter of Guarantee, the Authority shall hold the funds as stated herein in the Improvement Fund until August 1, 2020, or until such time that permanent roadways are

Glenn Gebhardt, City Engineer  
City of Lathrop  
May 4, 2017  
Page 2 of 3

constructed and dedicated to the City to restore permanent public access to Paradise Road, whichever comes first. If the permanent roadways are not constructed, inspected and accepted by the City by August 1, 2020 and the deadline is not extended by the City in writing, no later than August 2, 2020, the Authority will cause one of the following to occur:

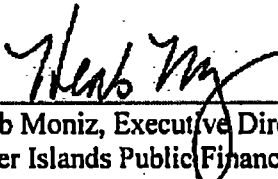
1. The Authority shall use the funds set aside in the Improvement Fund to construct a 28-foot-wide paved roadway in a new alignment, equivalent to the existing Cohen Road or, to reconstruct the existing 28-foot-wide paved Cohen and Paradise roadways in the original alignment at the City's direction. The Authority shall utilize a suitable contractor and bid the work under applicable law. The Authority and the City shall mutually agree to a timeline to which the roadways necessary to restore access are constructed, inspected and operational, not to exceed December 31, 2020-.
2. The Authority shall withdraw the funds from the set aside monies in the Improvement Fund and provide said monies to the City, to be held in a segregated account maintained by the City, to be used solely for construction or reconstruction of the applicable roadways. In such event, the City will use reasonable diligence to complete the construction of the roadways. Once permanent access has been constructed to the satisfaction of the City Engineer, and all costs related thereto have been paid, the City shall return any of the unspent funds and any investment earnings thereon to the Authority for redeposit to the Improvement Fund. Until the completion of the roadways and return of any excess funds to the Authority, the City will maintain records as to the reinvestment of the funds provided to it, and will provide the Authority with its records as to any such investment earnings upon written request of the Authority. Additionally, in the event that the City advises the Authority in writing that the funds provided to the City are not sufficient to pay all of the costs associated with the roadways necessary to restore public access, and advises the Authority as to the amount of the shortfall, the Authority will advance funds to the City from the Improvement Fund in the amount of the shortfall. In such event, and upon the written request of the Authority, the City will provide to the Authority a detailed breakdown of the costs of the construction of the remaining roadway work necessary to restore public access.
3. Since the construction of roadways within Stages 2A and 2B are phased and will continue to be constructed by RID, RD 2062 or the Authority over time, the Authority may request a reduction in the amount of funds necessary to be held from the Improvement Fund as segments of permanent public roadways are constructed and dedicated to the City. For instance, segments of River Islands Parkway through Stage 2A should be completed in late 2017/early 2018 and dedication of this segment would reduce the amount of security described herein. As a result, a reduction of \$88.40 per LF (\$543,600/6,150 LF) shall be granted for each linear foot permanently constructed and dedicated to the City.

The Authority shall retain the discretion to choose between the two options outlined above as the applicable security and to request reduction of the security as described in section 3 above. As confirmation of the acceptance of the terms and conditions of this Letter of Guarantee by the

Glenn Gebhardt, City Engineer  
City of Lathrop  
May 4, 2017  
Page 3 of 3

City, please sign and date this letter as shown on the next page. Should you have any questions regarding this Letter of Guarantee, please contact me at (209) 879-7900.

Sincerely,

By:   
Herb Moniz, Executive Director  
River Islands Public Financing Authority

Enclosures: Exhibit "A": Location of Applicable Roadways – Cohen/Paradise  
Exhibit "B": O'Dell Engineering – Engineer's Estimates

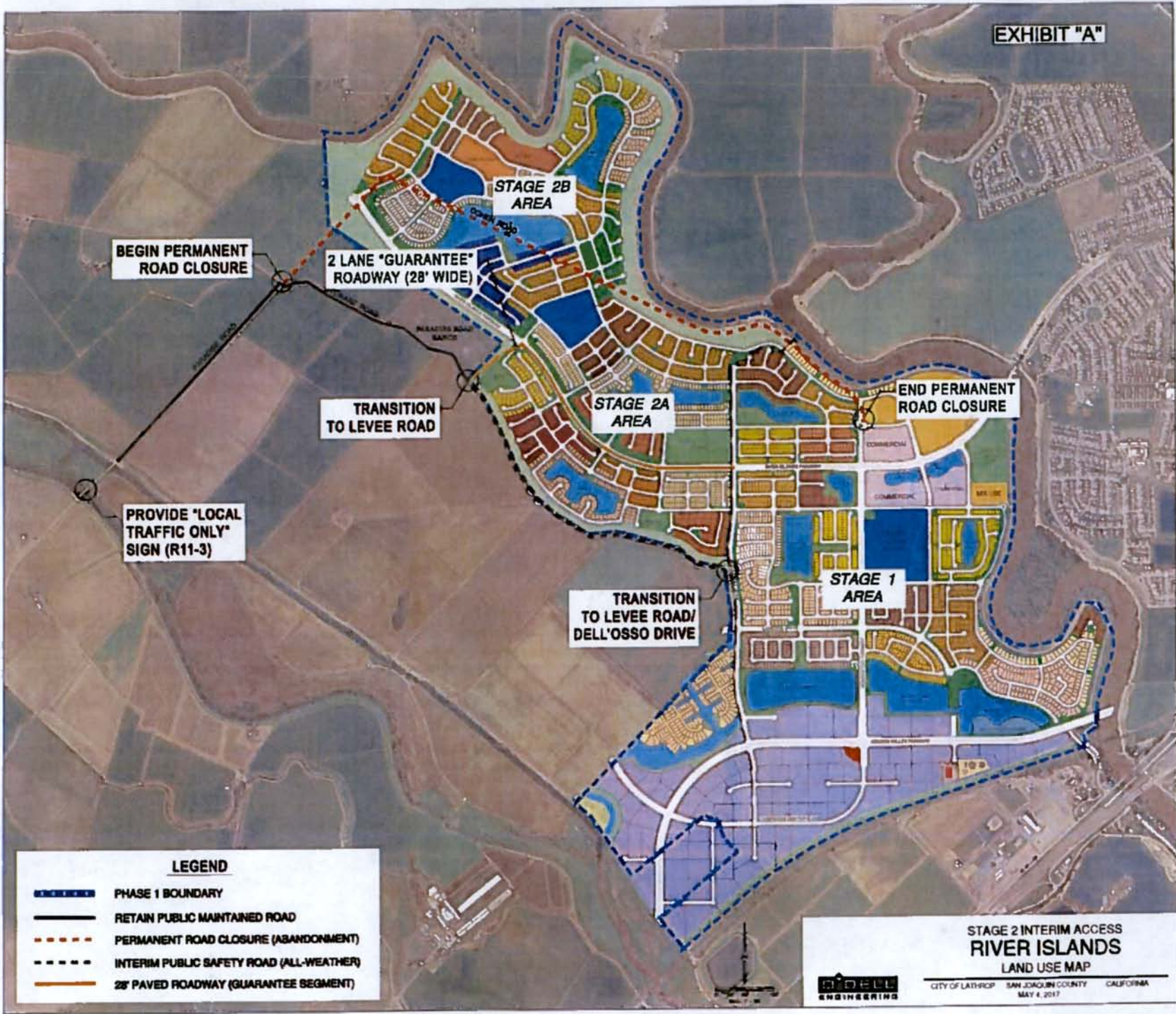
cc: Susan Dell'Osso, River Islands Development, LLC  
John Zhang, O'Dell Engineering, Inc.

I Accept on Behalf of the City of Lathrop the Terms and Conditions of the foregoing Letter of Guarantee.

By:   
Glenn R. Gebhardt, City Engineer

May 15, 2017  
Date





**LEGEND**

	PHASE 1 BOUNDARY
	RETAIN PUBLIC MAINTAINED ROAD
	PERMANENT ROAD CLOSURE (ABANDONMENT)
	INTERIM PUBLIC SAFETY ROAD (ALL-WEATHER)
	28' PAVED ROADWAY (GUARANTEE SEGMENT)

**STAGE 2 INTERIM ACCESS  
RIVER ISLANDS  
LAND USE MAP**

**RODELL  
ENGINEERING**

CITY OF LATHROP SAN JOAQUIN COUNTY CALIFORNIA  
MAY 4, 2017

# EXHIBIT "B"



ENGINEER'S OPINION OF PROBABLE COST  
 INTERIM ROAD CONNECTION - STAGE 2A  
 GUARANTEE  
 RIVER ISLANDS - PHASE 1  
 CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA

May 4, 2017

Item	Description	Quantity	Unit	Unit Price	Amount
<b><u>SITE PREPARATION</u></b>					
1	Mobilization <sup>1</sup>	1	LS	\$ 25,000.00	\$ 22,750.00
2	Erosion Control	1	LS	\$ 2,500.00	\$ 2,500.00
Subtotal Site Preparation					\$ 25,250.00
<b><u>GRADING</u></b>					
3	Earthwork <sup>2</sup>	1,600	CY	\$ 5.00	\$ 8,000.00
Subtotal Grading					\$ 8,000.00
<b><u>MISCELLANEOUS</u></b>					
4	3" AC (6150 LF)	172,200	SF	\$ 1.50	\$ 258,300.00
5	6" AB (6150 LF)	172,200	SF	\$ 0.90	\$ 154,980.00
6	Conform to Existing	2	LS	\$ 3,000.00	\$ 6,000.00
Subtotal Miscellaneous					\$ 419,280.00
<b>SUBTOTAL CONSTRUCTION COST</b>					<b>\$ 452,530.00</b>
<b>TOTAL CONSTRUCTION COST (nearest \$1,000)</b>					<b>\$ 453,000.00</b>

**Notes:**

- 1) Mobilization assumed to be 5% of total cost.
- 2) Earthwork quantity includes 35% shrinkage.

**EXHIBIT H**  
**RIPFA LETTER OF GUARANTEE – RIVER ISLANDS PARKWAY WITHIN THE**  
**STAGE 2A DEVELOPMENT AREA**

**RIVER ISLANDS PUBLIC FINANCING AUTHORITY**

**73 W. STEWART ROAD  
LATHROP, CALIFORNIA 95330**

**TEL: (209) 879-7900**

June 26, 2018

Glenn Gebhardt, City Engineer  
City of Lathrop  
390 Towne Centre Drive  
Lathrop, California 95330

**Subject: Letter of Guarantee - Construction of River Islands Parkway from Dell'Osso Drive to the Stage 2B Boundary (Lakeside East District) – Tract 3908**

This Letter of Guarantee is being made in lieu of a performance bond for the construction of unfinished portions of River Islands Parkway from Dell'Osso Drive to the Stage 2B boundary within the Stage 2A development area of the River Islands development project (also known as the Lakeside East District). River Islands Public Financing Authority (Authority) is providing the funding for public improvements in the Stage 2A development area, including improvements to River Islands Parkway (Improvements). It is our understanding that a guarantee for construction of the River Islands Parkway Improvements through Stage 2A is required as a condition precedent to City Council approval of the Tract 3908 large lot subdivision map proposed by River Islands Development, LLC. Since the Authority is already setting aside funds for the full construction of River Islands Parkway, we are providing you this Letter of Guarantee as the required subdivision guarantee necessary for the Tract 3908 large lot final map.

The engineer's estimates as provided by O'Dell Engineering for the full cost of the of River Islands Parkway Improvements from Dell'Osso Drive to the Stage 2B boundary is \$5,264,000, and for the unfinished portions (as of June 15, 2018) of River Islands Parkway from Dell'Osso Drive to the Stage 2B boundary is \$338,004 (attached as Exhibit "A"). The Authority hereby agrees to set-aside funds in the amount of \$450,000, which amount is equal to 180% of this engineer's estimate of the unfinished improvements, in-lieu of a 100% performance bond and 50% labor and materials bond. The funds are currently held, and will be set aside, in the Improvement Fund established under the Fiscal Agent Agreement, dated as of December 1, 2015, between the Authority and Wilmington Trust, National Association, as fiscal agent. The Joint Community Facilities Agreement, dated as of November 16, 2015, between the Authority and the City allows for funds in the Improvement Fund to be used to pay costs of infrastructure improvements for the River Islands development, including River Islands Parkway. Also attached to this Letter of Guarantee is an exhibit showing the portion of River Islands Parkway being guaranteed by this letter for your reference (Exhibit "B").

Glenn Gebhardt, City Engineer  
City of Lathrop – Letter of Guarantee for Tract 3908  
June 15, 2018  
Page 2 of 3

Under the terms of this Letter of Guarantee, the Authority shall hold the funds as stated herein in the Improvement Fund until July 8, 2019, or until such time River Islands Parkway through Stage 2A is fully constructed, inspected and accepted into service by the City, whichever comes first. If this portion of River Islands Parkway is not constructed, inspected and accepted into service by the City by July 8, 2019 and the deadline is not extended by the City in writing, no later than September 30, 2019, the Authority will cause one of the following to occur:

1. The Authority shall use the funds set aside in the Improvement Fund to construct the River Islands Parkway Improvements. The Authority shall utilize a suitable contractor and bid the work under applicable law. The Authority and the City shall mutually agree to a timeline to which the roadway will be constructed, inspected and operational, no later than one year from the deadline noted above.
2. The Authority shall withdraw the funds from the set aside monies in the Improvement Fund and provide said monies to the City, to be held in a segregated account maintained by the City, to be used solely for construction or reconstruction of the applicable portion of River Islands Parkway. In such event, the City will use reasonable diligence to complete the construction of the River Islands Parkway. Until the completion of the River Islands Parkway and return of any excess funds to the Authority, the City will maintain records as to the reinvestment of the funds provided to it and will provide the Authority with its records as to any such investment earnings upon written request of the Authority. Additionally, in the event that the City advises the Authority in writing that the funds provided to the City are not sufficient to pay all of the costs of the construction of the River Islands Parkway and advises the Authority as to the amount of the shortfall, the Authority will advance funds to the City from the Improvement Fund in the amount of the shortfall. In such event, and upon the written request of the Authority, the City will provide to the Authority a detailed breakdown of the costs of the construction of the unfinished portions of River Islands Parkway through Stage 2A.

The Authority shall retain the discretion to choose between the two options outlined above. However, if any River Islands Parkway improvements remain incomplete on September 30, 2020, the Authority shall immediately resort to Option 2, and shall provide set aside moneys in the Improvement Fund as requested by the City to allow the City to complete the uncompleted improvements.

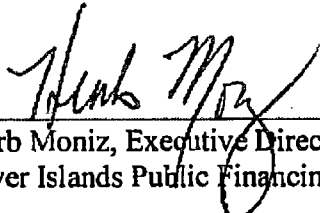
In addition, the commitment for the Authority to set aside these funds shall continue until the Improvements are constructed and accepted by the City Council, and the developer provides a one year maintenance bond in the amount of \$526,400 (10% of the full cost of the Improvements), or until the Authority provides an acceptable replacement letter of guarantee in that same amount of \$526,400 to guarantee the quality and condition of the full Improvements for one year from the date of acceptance by the City Council.



Glenn Gebhardt, City Engineer  
City of Lathrop – Letter of Guarantee for Tract 3908  
June 15, 2018  
Page 3 of 3

As confirmation of the acceptance of the terms and conditions of this Letter of Guarantee by the City, please sign and date this letter as shown on the next page. Should you have any questions regarding this Letter of Guarantee, please contact me at (209) 879-7900.

Sincerely,

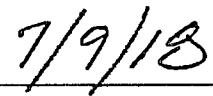
By:   
Herb Moniz, Executive Director  
River Islands Public Financing Authority

Enclosures: Exhibit "A": Engineer's Estimate of full improvements from O'Dell Engineering  
and Engineer's Estimate of unfinished improvements from O'Dell  
Engineering  
Exhibit "B": Location of guarantee on River Islands Parkway

cc: Susan Dell'Oso, River Islands Development, LLC

I Accept on Behalf of the City of Lathrop the Terms and Conditions  
of the foregoing Letter of Guarantee.

By:   
Glenn R. Gebhardt, City Engineer

  
Date

ENGINEER'S OPINION OF PROBABLE COST  
 RIVER ISLANDS - STAGE 2A  
 RIVER ISLANDS PARKWAY  
 CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA

March 6, 2018  
 Job No.: 25503-01

Item	Description	Quantity	Unit	Unit Price	Amount
<b><u>STREET WORK</u></b>					
1	Fine Grading	621,700	SF	\$ 0.45	\$ 279,765.00
2	7" AC Paving	316,800	SF	\$ 3.50	\$ 1,108,800.00
3	11" Aggregate Base	316,800	SF	\$ 1.65	\$ 522,720.00
4	12" Lime Treatment	316,800	SF	\$ 1.10	\$ 348,480.00
5	Vertical Curb and Gutter <i>(with AB cushion)</i>	9,600	LF	\$ 15.00	\$ 144,000.00
6	Type F Median Curb <i>(with AB cushion)</i>	9,100	LF	\$ 18.00	\$ 163,800.00
7	Roundabout Concrete	2,400	SF	\$ 5.00	\$ 12,000.00
8	Concrete Sidewalk	77,400	SF	\$ 5.00	\$ 387,000.00
9	Handicap Ramps	20	EA	\$ 2,500.00	\$ 50,000.00
10	Survey Monuments	7	EA	\$ 300.00	\$ 2,100.00
11	Barricades	1	EA	\$ 1,500.00	\$ 1,500.00
12	Traffic Signing & Striping	4,710	LF	\$ 5.00	\$ 23,550.00
13	Dewatering <i>(Budget)</i>	4,710	LF	\$ 75.00	\$ 353,250.00
<b>Subtotal Street Work</b>					<b>\$ 3,396,965.00</b>
<b><u>STORM DRAIN</u></b>					
14	Catch Basins <i>(type A Inlet)</i>	24	EA	\$ 2,400.00	\$ 57,600.00
15	15" Storm Drain Pipe	1,110	LF	\$ 34.00	\$ 37,740.00
16	18" Storm Drain Pipe	220	LF	\$ 46.00	\$ 10,120.00
17	24" Storm Drain Pipe	780	LF	\$ 65.00	\$ 50,700.00
18	Storm Drain Stub & Plug	9	EA	\$ 1,000.00	\$ 9,000.00
<b>Subtotal Storm Drain</b>					<b>\$ 165,160.00</b>
<b><u>SANITARY SEWER</u></b>					
19	24" Sanitary Sewer Pipe	50	LF	\$ 150.00	\$ 7,500.00
20	Manholes	24	LF	\$ 4,000.00	\$ 96,000.00
21	Connect to Existing Sanitary Sewer	2	EA	\$ 3,000.00	\$ 6,000.00
<b>Subtotal Sanitary Sewer</b>					<b>\$ 109,500.00</b>
<b><u>WATER SUPPLY</u></b>					
22	8" Water Line <i>(including all appurtenances)</i>	740	LF	\$ 32.00	\$ 23,680.00
23	10" Water Line <i>(including all appurtenances)</i>	280	LF	\$ 40.00	\$ 11,200.00
24	20" Water Line <i>(including all appurtenances)</i>	4,630	LF	\$ 100.00	\$ 463,000.00
25	Fire Hydrants	16	EA	\$ 4,000.00	\$ 64,000.00
26	Water Service	6	EA	\$ 2,000.00	\$ 12,000.00
27	Water Plug & Stub	9	EA	\$ 1,000.00	\$ 9,000.00
28	Connect to Existing Water	1	EA	\$ 4,000.00	\$ 4,000.00
<b>Subtotal Water Supply</b>					<b>\$ 586,880.00</b>

Item	Description	Quantity	Unit	Unit Price	Amount
<b>RECYCLED WATER</b>					
29	8" Recycled Water Flushing Line <i>(including all appurtenances)</i>	80	LF	\$ 45.00	\$ 3,600.00
30	12" Recycled Water Drain Line <i>(including all appurtenances)</i>	150	LF	\$ 55.00	\$ 8,250.00
31	16" Recycled Water Line <i>(including all appurtenances)</i>	4,650	LF	\$ 65.00	\$ 302,250.00
32	Recycled Water Plug & Stub	4	EA	\$ 1,000.00	\$ 4,000.00
33	Connect to Existing Recycled Water	1	EA	\$ 5,000.00	\$ 5,000.00
Subtotal Recycled Water					\$ 323,100.00
<b>NON-POTABLE WATER</b>					
34	8" Non-Potable Water Line <i>(including all appurtenances)</i>	650	LF	\$ 35.00	\$ 22,750.00
35	16" Non-Potable Water Line <i>(including all appurtenances)</i>	4,660	LF	\$ 80.00	\$ 372,800.00
36	Non-Potable Water Service	6	LF	\$ 2,000.00	\$ 12,000.00
37	Non-Potable Water Plug & Stub	7	EA	\$ 1,000.00	\$ 7,000.00
38	Connect to Existing Non-Potable Water	1	EA	\$ 3,000.00	\$ 3,000.00
Subtotal Irrigation Water					\$ 417,550.00
<b>LAKE FILL LINE</b>					
39	16" Lake Fill Line <i>(including all appurtenances)</i>	4,820	LF	\$ 50.00	\$ 241,000.00
40	3" Aeration Line <i>(including all appurtenances)</i>	4,820	LF	\$ 4.00	\$ 19,280.00
41	Lake Fill Stub & Plug	3	EA	\$ 1,000.00	\$ 3,000.00
42	Connect to Existing Lake Fill Line	1	EA	\$ 1,000.00	\$ 1,000.00
Subtotal Lake Fill Line					\$ 264,280.00
<b>SUBTOTAL CONSTRUCTION COST</b>					<b>\$ 5,263,435.00</b>
<b>TOTAL CONSTRUCTION COST (nearest \$1,000)</b>					<b>\$ 5,264,000.00</b>

Notes:

- 1) This estimate does not include surveying, engineering, clearing, grading, erosion control, joint trench, landscaping, irrigation, or street trees.
- 2) Unit prices are based on estimated current construction costs and no provision for inflation is included.





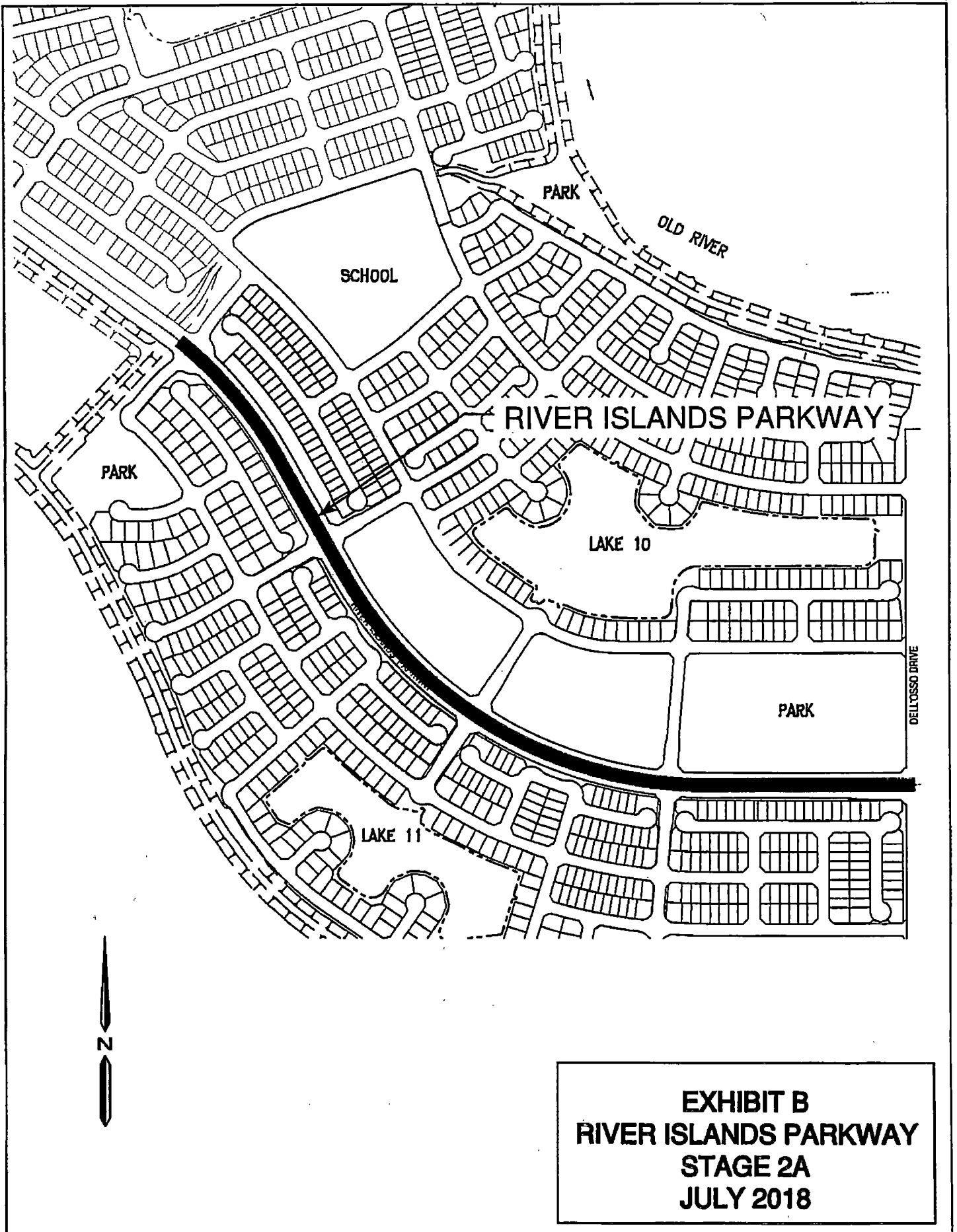
ENGINEER'S BOND ESTIMATE  
COST TO COMPLETE  
RIVER ISLANDS - STAGE 2A  
RIVER ISLANDS PARKWAY  
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA

June 13, 2018  
Job No. 25503-01

Item	Description	Quantity	Unit	Unit Price	Amount
1	Sanitary Sewer & Water Raising Iron (95% Completion)	1	LS	\$ 54,400.00	\$ 54,400.00
2	Final AC Lift (90% Completion)	1	LS	\$ 246,604.00	\$ 246,604.00
3	Final Signing, Striping & Monument (0% Completion)	1	LS	\$ 37,000.00	\$ 37,000.00
<b>TOTAL COST TO COMPLETE</b>					<b>\$ 338,004.00</b>

Notes

- 1) Estimate for cost to complete based on contractor's cost to complete summary sheet and backup documents for Stage 2A River Islands Parkway (Dell'Osso Drive to Stage 2A/2B Levee) dated June 12, 2018.



g. Severability. If a court of competent jurisdiction finds or rules that any provision of this Agreement is void or unenforceable, the provisions of this Agreement not so affected shall remain in full force and effect.

h. Successors and Assigns. Except as otherwise expressly provided herein, the provisions of this Agreement shall inure to the benefit of and shall apply to and bind the successors and assigns of the parties.

i. Time of the Essence. Time is of the essence of this Agreement and each of its provisions. In the calculation of time hereunder, the time in which an act is to be performed shall be computed by excluding the first day and including the last day. If the time in which an act is to be performed falls on a Saturday, Sunday or any day observed as a legal holiday by CITY, the time for performance shall be extended to the following business day.

J Venue. In the event either party brings suit hereunder, the parties agree that trial of such action shall be vested exclusively in the state courts of California in the County of San Joaquin.

ATTACHMENTS:

EXHIBIT A FINAL MAP - TRACT 4021 VILLAGE "S"

EXHIBIT B VILLAGE "S" VICINITY MAP

EXHIBIT C: CITY INSURANCE REQUIREMENTS

EXHIBIT D: COHEN/PARADISE/STEWART REHABILITATION MAP

EXHIBIT E: UNFINISHED AND DEFERRED IMPROVEMENT COST ESTIMATE –  
VILLAGE S

EXHIBIT F: TRACT 4021 IMPROVEMENTS COST ESTIMATE

EXHIBIT G: RIPFA LETTER OF GUARANTEE - INTERIM PUBLIC ACCESS WITHIN THE  
STAGE 2A DEVELOPMENT AREA

EXHIBIT H: RIPFA LETTER OF GUARANTEE – RIVER ISLANDS PARKWAY WITHIN  
THE STAGE 2A DEVELOPMENT AREA

**JOINT ESCROW INSTRUCTIONS  
RECORDATION OF FINAL MAPS  
(RIVER ISLANDS AT LATHROP)**

May 11, 2020

**Via Email and Hand Delivery**

Old Republic Title Company  
1215 W. Center Street, Suite 103  
Manteca, CA 95337  
Attn: Lori Richardson

**Re: Recordation of Final Map 4021; Escrow No. 1614022183**

Dear Lori:

This letter constitutes the joint escrow instructions ("**Escrow Instructions**") of River Islands Development, LLC, a California limited liability company ("**RID**") and the City of Lathrop ("**City**") in connection with the above-referenced escrow ("**Escrow**"). The Escrow was opened in connection with recordation of the above-referenced final map ("**Final Map**"). Recordation of the Final Map is subject to the conditions set forth below. The transactions described in these Escrow Instructions are referred to as the "**Transaction**." Old Republic Title Company is referred to as "you" or "**ORTC**."

**A. Date for Closings**

The Final Map will be recorded at the time designated by RID as set forth below. The Final Map can only be recorded after the City has approved the map in writing. The closing date for the Transaction is intended to occur by June 30, 2020, at the time designated in writing by RID, subject to satisfaction of the conditions set forth below (each a "**Closing**"). If the Final Map has not been recorded by December 31, 2020, ORTC will return the Final Map to the City.

**B. Documents to be Delivered and Recordation Documents**

In connection with the Transaction, you have in your possession or will receive the following documents from City for recordation in the Official Records of San Joaquin County, California ("**Official Records**").

B.1. One original Final Map for Tract 4021, executed and acknowledged by the City.

B.2. A fully executed and acknowledged Amendment to Notice of Special Tax Lien for the City of Lathrop Community Facilities District No. 2013-1 (River Islands Public Services and Facilities).

B.3. A fully executed and acknowledged Amendment to Notice of Special Tax Lien for Island Reclamation District 2062 Community Facilities District No. 2013-1 (Levee and Lake Maintenance Services).

B.4. A fully executed and acknowledged Amendment to Notice of Special Tax Lien for River Islands Public Financing Authority Community Facilities District No. 2013-1 (River Islands Public Services).

B.5. A fully executed and acknowledged Amendment to Notice of Special Tax Lien for the River Islands Public Financing Authority Community Facilities District No. 2016-1 (River Islands Supplemental).

## **JOINT ESCROW INSTRUCTIONS RECORDATION OF FINAL MAPS (RIVER ISLANDS AT LATHROP)**

The documents listed in Items B.1, B.2, B.3, B.4 and B.5 above are referred to as the "**Recordation Documents**." The Recordation Documents shall be recorded in the order referred to above. The date on which the Recordation Documents are recorded in the Official Records is the Recordation Date.

Prior to recording the Recordation Documents, please confirm that you have received copies or originals of the following documents: (i) Unanimous Approval of Annexation to a Community Facilities District and Related Matters, City of Lathrop Community Facilities District No. 2013-1 (River Islands Public Services and Facilities); (ii) Consent to, and Ballot in favor of, Annexation of Real Property to the River Islands Public Financing Authority Community Facilities District No. 2013-1 (River Islands Public Services); (iii) Consent to, and Ballot in favor of, Annexation of Real Property to Island Reclamation District No. 2062 Community Facilities District No. 2013-1 (Levee and Lake Maintenance); and (iv) Consent to, and Ballot in favor of, Annexation of Real Property to the River Islands Public Financing Authority Community Facilities District No. 2016-1 (River Islands Supplemental). The original City of Lathrop Unanimous Approval must be delivered to the City of Lathrop. The original Consents and Ballots for River Islands Public Financing Authority CFD Nos. 2013-1 and 2016-1 and Island Reclamation District No. 2013-1 must be delivered to Karna Harrigfeld at Herum\Crabtree\Suntag, 5757 Pacific Ave., Suite 222, Stockton, CA 95207. Copies should be sent via email to Cari James ([cjames@ci.lathrop.ca.us](mailto:cjames@ci.lathrop.ca.us)), Cindy Yan at Goodwin Consulting Group, [cindy@goodwinconsultinggroup.net](mailto:cindy@goodwinconsultinggroup.net), Susan Dell'Osso ([sdelloso@riverislands.com](mailto:sdelloso@riverislands.com)) and Debbie Belmar ([dbelmar@riverislands.com](mailto:dbelmar@riverislands.com)) together with conformed copies of the amendments to notices of special tax that are recorded as part of the Recordation Documents.

### **C. Funds and Settlement Statement**

You also have received, or will receive from RID, prior to the recordation of the Recordation Documents, in immediately available funds, the following amounts, in accordance with the settlement statement prepared by you and approved in writing by both RID and City ("**Settlement Statement**"): recordation costs, escrow fees and other amounts as set forth in the Settlement Statement. Such costs, fees and other amounts are the sole responsibility of RID.

- Funds to be wire transferred directly to the entity set forth below, immediately upon recordation of the Final Map, in accordance with the wire transfer instructions for each entity are as follows: The amount of **\$30,095.97**, payable to the City pursuant to that certain Agreement to Settle Litigation Regarding River Islands at Lathrop (as amended "**Sierra Club Agreement**"), constituting the amount of **\$3,277.00** multiplied by **9.184** acres (or portion thereof) included in the Final Map, is to be transferred to the City upon recordation of the Final Map. The City's wire instructions are set forth below.

The amounts set forth in Section C are referred to as the "**Closing Funds**."

### **D. Closing Requirements**

When the following has occurred, you are authorized to close the Escrow at the time(s) and in accordance with the process set forth below:

D.1. You have delivered copies of your Settlement Statement by email transmission to: (a) Susan Dell'Osso ([sdelloso@riverislands.com](mailto:sdelloso@riverislands.com)); (b) Debbie Belmar

## **JOINT ESCROW INSTRUCTIONS RECORDATION OF FINAL MAPS (RIVER ISLANDS AT LATHROP)**

([dbelmar@riverislands.com](mailto:dbelmar@riverislands.com)); (c) Stephen Salvatore ([ssalvatore@ci.lathrop.ca.us](mailto:ssalvatore@ci.lathrop.ca.us)); (d) Salvador Navarrete ([snavarrete@ci.lathrop.ca.us](mailto:snavarrete@ci.lathrop.ca.us)); (e) Cari James ([cjames@ci.lathrop.ca.us](mailto:cjames@ci.lathrop.ca.us)) and (f) Glenn Gebhardt ([ggebhardt@ci.lathrop.ca.us](mailto:ggebhardt@ci.lathrop.ca.us)), and have confirmation (by telephone or email) from Susan Dell'Osso and Stephen Salvatore or Glenn Gebhardt that the Settlement Statement is accurate and acceptable;

D.2. You have not received any instructions contrary to these Escrow Instructions;

D.3. The Recordation Documents and all other documents described herein as being held by you or delivered to you have been received by you and have been fully executed and, where applicable, acknowledged, and you have attached all legal descriptions or have confirmed that all exhibits and legal descriptions are attached;

D.4 You are prepared to record the Recordation Documents, as designated, release funds in accordance with the Settlement Statement and complete the Transaction in compliance with these Escrow Instructions;

D.5. You have delivered a copy of these instructions, executed by an authorized signatory of ORTC with authority to bind ORTC, and initialed all pages, by email transmission (with original hard copy to follow by U.S. Mail) to Debbie Belmar and Glenn Gebhardt at the email addresses set forth above; and

D.6. You have received confirmation (by email or other writing) from Susan Dell'Osso and Stephen Salvatore or Glenn Gebhardt to record the Recordation Documents and complete the Transaction.

### **E. Closing Process and Priorities**

When you have fully satisfied all of the closing requirements set forth in Section D, then you are authorized and instructed to do the following in the chronological order given:

E.1. Date the Recordation Documents to be recorded;

E.2. Record the Final Map and the Recordation Documents in the Official Records;

E.3. Pay the costs associated with the Transaction;

E.4. Refund any funds delivered to you by RID that are not disbursed at the time of the final Closing pursuant to these Escrow Instructions to the following entity and address:

River Islands Development, LLC  
73 W. Stewart Road  
Lathrop, CA 95330  
Attn: Susan Dell'Osso

E.5. Notify Susan Dell'Osso, Debbie Belmar, Stephen Salvatore, Glenn Gebhardt and Jose Molina ([JMolina@sjgov.org](mailto:JMolina@sjgov.org)) of the completion of the Transaction;

E.6. Within five (5) business days after each Recordation Date, deliver by overnight delivery via recognized, national, overnight delivery carrier to: (1) Susan Dell'Osso, River Islands Development, LLC, 73 W. Stewart Road, Lathrop, CA 95330; and (2) Mr. Salvador Navarrete, City Attorney, City of Lathrop, 390 Towne Centre Drive, Lathrop, CA 95330;

**JOINT ESCROW INSTRUCTIONS  
RECORDATION OF FINAL MAPS  
(RIVER ISLANDS AT LATHROP)**

(A) a certified copy of the Recordation Documents, showing all recording information of the Recordation Documents; and

(B) a certified copy of the final Settlement Statement.

**F. Additional Instructions**

When assembling the final documents, signature pages from all parties shall be inserted into each respective final document in creating fully executed counterparts.

Please acknowledge receipt of these instructions and your agreement to act as Escrow agent in connection with this Transaction in accordance with these Escrow Instructions, by executing and dating a copy of these Escrow Instructions where indicated below, initialing all pages and returning it to both of the undersigned.

The Escrow Instructions may be modified only in a writing signed by both of the undersigned.

Very truly yours,

\_\_\_\_\_  
Stephen J. Salvatore  
City Manager  
City of Lathrop

\_\_\_\_\_  
Susan Dell'Osso  
President  
River Islands Development, LLC

**ESCROW INSTRUCTIONS  
ACKNOWLEDGEMENT AND AGREEMENT:**

Receipt of the foregoing Escrow Instructions from RID and the City is hereby acknowledged. The undersigned agrees, for itself, and on behalf of ORTC, to proceed in strict accordance with these Escrow Instructions. The undersigned represents and warrants to RID and the City that the undersigned is authorized to execute this Acknowledgement and Agreement, for itself, and on behalf of ORTC.

Old Republic Title Company

By: \_\_\_\_\_  
Its: \_\_\_\_\_  
Date: \_\_\_\_\_

**RECORDING REQUESTED BY AND  
AFTER RECORDATION RETURN TO:**

City Clerk  
 City of Lathrop  
 390 Towne Centre Drive  
 Lathrop, CA 95330

Recorded for the benefit of the City of Lathrop  
 pursuant to Government Code Section 27383

**TWELFTH AMENDMENT TO NOTICE OF SPECIAL TAX LIEN**

City of Lathrop  
 Community Facilities District No. 2013-1  
 (River Islands Public Services and Facilities)  
 Annexation No. 12

Pursuant to the requirements of Section 3117.5 of the Streets and Highways Code of California and the Mello-Roos Community Facilities Act of 1982, as amended, Section 53311, *et. seq.*, of the California Government Code (the "Act"), the undersigned City Clerk of the City of Lathrop (the "City"), County of San Joaquin, State of California, hereby gives notice that a lien to secure payment of a special tax is hereby imposed by the City Council of the City on the property described in Exhibit A hereto. The special tax secured by this lien is authorized to be levied for the purpose of paying principal and interest on bonds, the proceeds of which are being used to finance the acquisition and construction of all or a portion of the public facilities authorized to be funded by the City of Lathrop Community Facilities District No. 2013-1 (River Islands Public Services and Facilities) (the "CFD"), and to pay costs of the public services and facilities authorized to be funded by the CFD, both as described in Exhibit A to the Notice of Special Tax Lien heretofore recorded in the Office of the County Recorder for the County of San Joaquin, State of California (the "County Recorder") on November 18, 2013 as Document No. 2013-143754 (the "Original Notice"), and said special tax is to be levied according to the Rate and Method of Apportionment of Special Tax set forth in Exhibit B to the Notice of Special Tax Lien, to which recorded Notice of Special Tax Lien reference is hereby made and the provisions of which are hereby incorporated herein in full by this reference. An Amended Notice of Special Tax Lien reflecting the Amended Rate and Method of Apportionment of Special Tax was subsequently recorded at the County Recorder on October 23, 2015 as Document No. 2015-127760 (the "Amended Notice").

This Twelfth Amendment to Notice of Special Tax Lien amends the Notice of Special Tax Lien to add to the territory within the City of Lathrop Community Facilities District No. 2013-1 (River Islands Public Services and Facilities) certain real property identified in Exhibit A hereto (the "Property") and shown within the future annexation area on the boundary map of the community facilities district recorded on June 1, 2013, in Book 6 of Maps of Assessment and Community Facilities Districts at Page 42 (Document No. 2013-136637), in the Office of the



County Recorder, which map is the final boundary map of the community facilities district. The Property is being annexed into Tax Zone 1 of the community facilities district, as described in the Amended and Restated Rate and Method of Apportionment of Special Tax attached as Exhibit A to the Amended Notice, with the maximum special tax rates identified in Exhibit B hereto.

The assessor's tax parcel(s) numbers of all parcels or any portion thereof which are included in this Twelfth Amendment to Notice of Special Tax Lien, together with the name(s) of the owner(s) thereof, as they appear on the latest secured assessment roll as of the date of recording hereof or as are otherwise known to the Authority are as set forth in Exhibit A hereto which is by this reference made a part hereof.

For further information concerning the current and estimated future tax liability of owners or purchasers of real property or interests therein subject to the special tax lien, interested persons should contact the Finance Director, City of Lathrop, 390 Towne Centre Drive, Lathrop, California 95330; Telephone: (209) 941-7327.

Dated: \_\_\_\_\_, 2020.

By: \_\_\_\_\_  
City Clerk,  
City of Lathrop

**EXHIBIT A**

CITY OF LATHROP  
COMMUNITY FACILITIES DISTRICT NO. 2013-1  
(RIVER ISLANDS PUBLIC SERVICES AND FACILITIES)  
ANNEXATION NO. 12  
ASSESSOR'S PARCEL NUMBER(S) AND OWNER(S) OF LAND  
WITHIN ANNEXATION NO. 12 TO CITY OF LATHROP  
COMMUNITY FACILITIES DISTRICT NO. 2013-1  
(RIVER ISLANDS PUBLIC SERVICES AND FACILITIES)

Name(s) of Property Owner(s)	San Joaquin County Assessor's Parcel No.
RIVER ISLANDS DEVELOPMENT, LLC 73 W. STEWART RD, LATHROP CA 95330	210-400-05

**EXHIBIT B**  
**CITY OF LATHROP**  
**COMMUNITY FACILITIES DISTRICT NO. 2013-1**  
**(RIVER ISLANDS PUBLIC SERVICES AND FACILITIES)**  
**ANNEXATION NO. 12**

**MAXIMUM SERVICES SPECIAL TAX FOR ZONE 1 OF THE CFD**

The table below identifies the Maximum Services Special Tax for Developed Property within Tax Zone 1, both before and after the Trigger Event:

<b>Type of Property</b>	<b>Lot Size</b>	<b>Maximum Services Special Tax in Tax Zone 1 Prior to the Trigger Event (Fiscal Year 2013-14)*</b>	<b>Maximum Services Special Tax in Tax Zone 1 After the Trigger Event (Fiscal Year 2013-14)*</b>
<b>Residential Property:</b>			
Single Family Detached Property	Greater than 7,000 SqFt	\$328.74 per SFD Lot	\$155.91 per SFD Lot
Single Family Detached Property	5,801 to 7,000 SqFt	\$265.42 per SFD Lot	\$125.88 per SFD Lot
Single Family Detached Property	4,801 to 5,800 SqFt	\$243.51 per SFD Lot	\$115.49 per SFD Lot
Single Family Detached Property	4,000 to 4,800 SqFt	\$206.98 per SFD Lot	\$98.16 per SFD Lot
Single Family Detached Property	Less Than 4,000 SqFt	\$192.37 per SFD Lot	\$91.23 per SFD Lot
Single Family Attached Property	Not Applicable	\$0.00 per Unit	\$0.00 per Unit
Multi-Family Property	Not Applicable	\$0.00 per Unit	\$0.00 per Unit
Non-Residential Property	Not Applicable	\$0.00 per Non-Residential Square Foot	\$0.00 per Non-Residential Square Foot

*\* On July 1, 2014, and on each July 1 thereafter, all figures shown in the table above shall be increased by the Escalation Factor.*

**MAXIMUM FACILITIES SPECIAL TAX FOR ZONE 1 OF THE CFD**

The table below identifies the Maximum Facilities Special Tax for Developed Property within Tax Zone 1, both before and after the Trigger Event:

<b>Type of Property</b>	<b>Lot Size</b>	<b>Maximum Facilities Special Tax in Tax Zone 1 Prior to the Trigger Event (Fiscal Year 2013-14)*</b>	<b>Maximum Facilities Special Tax in Tax Zone 1 After the Trigger Event (Fiscal Year 2013-14)*</b>
<b><u>Residential Property:</u></b>			
Single Family Detached Property	Greater than 7,000 SqFt	\$0.00 per SFD Lot	\$172.83 per SFD Lot
Single Family Detached Property	5,801 to 7,000 SqFt	\$0.00 per SFD Lot	\$139.54 per SFD Lot
Single Family Detached Property	4,801 to 5,800 SqFt	\$0.00 per SFD Lot	\$128.02 per SFD Lot
Single Family Detached Property	4,000 to 4,800 SqFt	\$0.00 per SFD Lot	\$108.82 per SFD Lot
Single Family Detached Property	Less Than 4,000 SqFt	\$0.00 per SFD Lot	\$101.14 per SFD Lot
Single Family Attached Property	Not Applicable	\$0.00 per Unit	\$0.00 per Unit
Multi-Family Property	Not Applicable	\$0.00 per Unit	\$0.00 per Unit
Non-Residential Property	Not Applicable	\$0.00 per Non-Residential Square Foot	\$0.00 per Non-Residential Square Foot

*\* On July 1, 2014, and on each July 1 thereafter until the first Fiscal Year after the Trigger Event, all figures shown in the table above shall be increased by the Escalation Factor. On July 1 of the first Fiscal Year after the Trigger Event, and on each July 1 thereafter, the Maximum Facilities Special Taxes shall increase by two percent (2%) of the amount in effect in the prior Fiscal Year.*

**UNANIMOUS APPROVAL  
of Annexation to a Community Facilities District  
and Related Matters**

**CITY OF LATHROP  
Community Facilities District No. 2013-1  
(River Islands Public Services and Facilities)**

To the Honorable City Council,  
City of Lathrop  
390 Towne Centre Drive  
Lathrop, CA 95330

Members of the City Council:

This constitutes the Unanimous Approval (the "Unanimous Approval") of River Islands Development, LLC, the record owner(s) (the "Property Owner") of the fee title to the real property identified below (the "Property") contemplated by Section 53339.3 et seq. of the Mello-Roos Community Facilities Act of 1982, as amended (the "Act") to annexation of the Property to the "City of Lathrop, Community Facilities District No. 2013-1 (River Islands Public Services and Facilities)" (the "CFD"), and it states as follows:

**1. Property Owner.** This Unanimous Approval is submitted by the Property Owner as the record owner(s) of fee title to the Property. The Property Owner has supplied to the City current evidence of its ownership of fee title to the Property.

**2. Approval of Annexation.** This Unanimous Approval constitutes the unanimous approval and unanimous vote by the Property Owner in favor of the annexation of the Property to the CFD. The CFD was formed to finance the municipal services and facilities (the "Services and Facilities") described in Exhibit A hereto and made a part hereof.

**3. Approval of Special Tax and the Facilities and Services.** This Unanimous Approval constitutes the unanimous approval and unanimous vote by the Property Owner in favor of the levy of special taxes (the "Special Taxes") on the Property to finance the Services and Facilities, according to the Amended Rate and Method of Apportionment of Special Taxes for the CFD attached hereto as Exhibit B and made a part hereof (the "Rate and Method"). Exhibit B includes the cost estimate for the Facilities and Services. The Property is being annexed into Tax Zone 1 of the CFD with the maximum special tax rates identified in Exhibit C hereto. The City will create a special account into which the Special Taxes will be deposited, when collected. The City will prepare the annual report required by Government Code Section 50075.3.

**4. Approval of the Appropriations Limit.** This Unanimous Approval constitutes the unanimous approval and unanimous vote by the Property Owner in favor of the appropriations limit established for the CFD.

**5. Waivers and Vote.** The Property Owner hereby confirms that this Unanimous Approval constitutes its approval and unanimous vote as described herein and as contemplated by Section 53339.3 et seq. of the Act and Article XIII A of the California Constitution. The Property Owner hereby waives all other rights with respect to the annexation of the Property, the levy of the Special Taxes on the Property and the other matters covered in this Unanimous Approval.

**6. Recordation of Amendment to Notice of Special Tax Lien.** The Notice of Special Tax Lien for the CFD was recorded in the Office of the County Recorder of the County of San Joaquin, State of California on November 18, 2013, as Document No. 2013-143754 in the Office of the County Recorder of the County of San Joaquin, and amended as referred to in the Amended Notice of Special Tax Lien recorded on October 23, 2015 as Document No. 2015-127760. The Property Owner hereby authorizes and directs the City Clerk to execute and cause to be recorded in the office of the County Recorder of the County of San Joaquin an amendment to the Notice of Special Tax Lien for the CFD as required by Section 3117.5 of the California Streets and Highways Code. The amendment to the Notice of Special Tax Lien shall include the Rate and Method as an exhibit thereto.

**7. Authority Warranted.** The Property Owner warrants to the City that the presentation of this Unanimous Approval, any votes, consents or waivers contained herein, and other actions mandated by the City for the annexation of the Property to the CFD shall not constitute or be construed as events of default or delinquencies under any existing or proposed financing documents entered into or to be entered into by the Property Owner for the Property, including any “due-on-encumbrance” clauses under any existing security instruments secured by the Property.

**8. Due Diligence and Disclosures.** The Property Owner agrees to cooperate with the City and its attorneys and consultants and to provide all information and disclosures required by the City about the Special Taxes to purchasers of the Property or any part of it.

**9. Agreements.** The Property Owner further agrees to execute such additional or supplemental agreements as may be required by the City to provide for any of the actions and conditions described in this Unanimous Approval, including any cash deposit required to pay for the City’s costs in annexing the Property to the CFD.

**10. The Property.** The Property is identified as follows:

Assessor’s Parcel No. 210-400-05

Property Address: N/A

By executing this Unanimous Approval, the Property Owner agrees to all of the above.

Tax Zone #: 1

Property Owner

RIVER ISLANDS DEVELOPMENT, LLC  
a California limited liability company

By: \_\_\_\_\_  
Name: Susan Dell'Oso  
Title: President

Notice Address:

River Islands Development, LLC  
73 Stewart Road  
Lathrop, CA 95330

(Attach acknowledgment)

**EXHIBIT A**

**CITY OF LATHROP  
Community Facilities District No. 2013-1  
(River Islands Public Services and Facilities)**

**DESCRIPTION OF AUTHORIZED SERVICES AND FACILITIES**

**Services**

The services to be funded, in whole or in part, by the community facilities district (CFD) include all direct and incidental costs related to providing public services and maintenance of public infrastructure within the River Islands area including the area initially included in the CFD, as well as any future annexation area of the CFD and areas adjacent to the foregoing. More specifically, the services shall include, but not be limited to: (i) police protection services, including City contracts with the San Joaquin Sheriff's Office or other police services providers, or costs of a City police department if and when one is established, (ii) maintenance of open space, including trails and habitat areas, with services to include, but not be limited to, irrigation and vegetation control; (iii) maintenance of roads and roadways, with services to include, but not be limited to, regularly scheduled street sweeping, repair of public streets, striping of streets and repair and repainting of sound walls and other appurtenances; (iv) storm protection services, including, but not limited to, the operation and maintenance of storm drainage systems, (v) landscaping in public areas and in the public right of way along public streets, including, but not limited to, irrigation, tree trimming and vegetation maintenance and control; and (vi) any other public services authorized to be funded under Section 53313 of the California Government Code that are not already funded by another community facilities district on the property within the CFD.

The CFD may fund any of the following related to the services described in the preceding paragraph: obtaining, constructing, furnishing, operating and maintaining equipment, apparatus or facilities related to providing the services and/or equipment, apparatus, facilities or fixtures in areas to be maintained, paying the salaries and benefits of personnel necessary or convenient to provide the services, payment of insurance costs and other related expenses and the provision of reserves for repairs and replacements and for the future provision of services. The services to be financed by the CFD are in addition to those provided in the territory of the CFD before the date of formation of the CFD and will not supplant services already available within that territory when the District is created.

**Facilities**

The CFD may also fund all or any portion of the costs of the following facilities to be located within or in the vicinity of the CFD:

Roadway and related improvements, including, but not limited to, construction of the roadways currently identified on Vesting Tentative Map No. 3694 as Stewart Road, Golden Valley Parkway, South River Islands Parkway, North River Islands Parkway, Broad Street, Commercial Street, J8 Street, B5 Street, B6 Street and C1 Street, as well as other backbone and



arterial streets, including, but not limited to, grading, fill, pavement section, curb gutter and sidewalk, joint trench, water, sewer, reclaimed water, storm drainage, and other utility improvements necessary for, or incidental to, road construction. Roadway improvements may also include landscaping, street lights and signage, and traffic signals and striping.

Bradshaw's Crossing Bridge improvements, including, but not limited to, design, construction, utility connections, mitigation payments, right-of-way acquisition, and other improvements required for, or incidental to, construction of the bridge.

Water infrastructure, including, but not limited to, tanks, pump stations, distribution lines, and other improvements necessary for, or incidental to, the delivery of potable or reclaimed water.

Sewer infrastructure, including, but not limited to, treatment facilities, sanitary sewer collection lines and force mains, effluent holding and storage, pump stations, lift stations, and other improvements necessary for, or incidental to, the delivery of sanitary sewer service.

Public landscaping and recreational features along rivers, lakes, within parks, and along and including pathways.

Offsite public infrastructure, including, but not limited to, the extension of sanitary sewer lines and payment of license fees (e.g., to Caltrans or UPRR) and any other incidental fees or exactions.

The facilities authorized to be funded by the CFD shall include the costs of design, engineering, surveys, reports, environmental mitigation, soils testing, permits, plan check, inspection fees, impact fees, insurance, construction management, and any other costs or appurtenances related to any of the foregoing.

### **Administrative Expenses**

The administrative expenses to be funded by the CFD include the direct and indirect expenses incurred by the City of Lathrop (City) in carrying out its duties with respect to the CFD including, but not limited to, the levy and collection of the special taxes, the fees and expenses of attorneys, any fees of the County of San Joaquin related to the CFD or the collection of special taxes, an allocable share of the salaries of any City staff directly related thereto and a proportionate amount of the City's general administrative overhead related thereto, any amounts paid by the City from its general fund with respect to the CFD or the services authorized to be financed by the CFD, and expenses incurred by the City in undertaking action to foreclose on properties for which the payment of special taxes is delinquent, and all other costs and expenses of the City in any way related to the CFD.

**Other**

The incidental expenses that may be funded by the CFD include, in addition to the administrative expenses identified above, the payment or reimbursement to the CFD of all costs associated with the establishment and ongoing administration of the CFD.

**EXHIBIT B**

**CITY OF LATHROP  
COMMUNITY FACILITIES DISTRICT NO. 2013-1  
(RIVER ISLANDS PUBLIC SERVICES AND FACILITIES)**

**AMENDED RATE AND METHOD OF APPORTIONMENT OF SPECIAL TAX**

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Special Taxes applicable to each Assessor's Parcel in the City of Lathrop Community Facilities District No. 2013-1 (River Islands Public Services and Facilities) shall be levied and collected according to the tax liability determined by the City or its designee, through the application of the appropriate amount or rate for Taxable Property, as described below. All of the property in the CFD, unless exempted by law or by the provisions of Section F below, shall be taxed for the purposes, to the extent, and in the manner herein provided, including property subsequently annexed to the CFD unless a separate rate and method of apportionment of Special Tax is adopted for the annexation area.

**A. DEFINITIONS**

The terms hereinafter set forth have the following meanings:

**"Accessory Unit"** means a second residential unit of limited size (e.g., granny cottage, second unit) that shares a Parcel with a single-family detached unit.

**"Act"** means the Mello-Roos Community Facilities Act of 1982, as amended, being Chapter 2.5, (commencing with Section 53311), Division 2 of Title 5 of the California Government Code.

**"Administrative Expenses"** means any or all of the following: expenses of the City in carrying out its duties with respect to the CFD, including, but not limited to, the levy and collection of Special Taxes, the fees and expenses of its legal counsel, costs related to annexing property into the CFD, charges levied by the County in connection with the levy and collection of Special Taxes, costs related to property owner inquiries regarding the Special Taxes, costs associated with appeals or requests for interpretation associated with the Special Taxes and this Amended RMA, costs associated with foreclosure and collection of delinquent Special Taxes and all other costs and expenses of the City and County in any way related to the establishment or administration of the CFD.

**"Administrator"** means the person or firm designated by the City to administer the Special Taxes according to this Amended RMA.

**"Amended RMA"** means this Amended Rate and Method of Apportionment of Special Tax.

**"Assessor's Parcel" or "Parcel"** means a lot or parcel shown on a County Assessor's Parcel map with an assigned County Assessor's Parcel number.

**“Authorized Facilities”** means the public facilities authorized to be financed, in whole or in part, by Facilities Special Taxes collected within the CFD, pursuant to the documents adopted by the City Council at CFD Formation.

**“Authorized Services”** means those services that are authorized to be funded by Services Special Taxes collected within the CFD, pursuant to the documents adopted by the City Council at CFD Formation.

**“CFD”** means the City of Lathrop Community Facilities District No. 2013-1 (River Islands Public Services and Facilities).

**“CFD Formation”** means the date on which the Resolution of Formation to form CFD No. 2013-1 was adopted by the City Council.

**“City”** means the City of Lathrop.

**“City Council”** means the City Council of the City of Lathrop.

**“County”** means the County of San Joaquin.

**“Developed Property”** means, in any Fiscal Year, the following:

- for Single Family Detached Property, all Parcels of Taxable Property for which a Final Map was recorded on or prior to June 30 of the preceding Fiscal Year
- for Multi-Family Property and Single Family Attached Property, all Parcels of Taxable Property for which a building permit for new construction of a residential structure was issued on or prior to June 30 of the preceding Fiscal Year
- for Non-Residential Property, all Parcels of Taxable Property for which a building permit for new construction of a structure was issued on or prior to June 30 of the preceding Fiscal Year.

**“Development Agreement”** means the 2003 Amended and Restated Development Agreement dated February 4, 2003 and recorded on March 31, 2003 in the San Joaquin County Recorder’s Office as Document No. 2003-069319, as has been amended and as may be amended in the future.

**“Escalation Factor”** means, in any Fiscal Year, the lesser of (i) the increase from the prior Fiscal Year, if any, in the Local Consumer Price Index (CPI) for the San Francisco-Oakland-San Jose Area for All Urban Consumers, or (ii) four percent (4%). The CPI used shall be as determined by the Bureau of Labor Statistics from April to April beginning with the period from April 2013 to April 2014.

**“Facilities Special Tax”** means a special tax levied in any Fiscal Year after the Trigger Event has taken place to pay the Facilities Special Tax Requirement.

**“Facilities Special Tax Requirement”** means the amount necessary in any Fiscal Year after the Trigger Event to pay the costs of Authorized Facilities to be funded directly from Facilities Special Tax proceeds.

**“Final Map”** means a final map, or portion thereof, approved by the City and recorded by the County pursuant to the Subdivision Map Act (California Government Code Section 66410 et seq) that creates SFD Lots. The term “Final Map” shall not include any large lot subdivision map, Assessor’s Parcel Map, or subdivision map or portion thereof, that does not create SFD Lots, including Assessor’s Parcels that are designated as remainder parcels.

**“Fiscal Review Process”** means the River Islands Annual Fiscal Review Process, which is required pursuant to the Development Agreement, and which process is described in detail in Exhibit B of the Development Agreement.

**“Fiscal Year”** means the period starting July 1 and ending on the following June 30.

**“Maximum Facilities Special Tax”** means the greatest amount of Facilities Special Tax that can be levied on a Parcel in any Fiscal Year after the Trigger Event, as determined in accordance with Section C.2 below.

**“Maximum Services Special Tax”** means the greatest amount of Services Special Tax that can be levied on a Parcel in any Fiscal Year, as determined in accordance with Section C.1 below.

**“Maximum Special Taxes”** means, collectively, the Maximum Facilities Special Tax and the Maximum Services Special Tax that can be levied on a Parcel in any Fiscal Year.

**“Multi-Family Property”** means, in any Fiscal Year, all Parcels of Taxable Property for which a building permit or use permit has been issued or is expected to be issued for construction of a residential structure with five or more Units that share a single Assessor’s Parcel number, are offered for rent to the general public, and cannot be purchased by individual homebuyers.

**“Non-Residential Property”** means all Assessor’s Parcels of Taxable Property for which a building permit was or is expected to be issued for an office, commercial, retail, industrial or mixed-use building, as determined by the City.

**“Non-Residential Square Footage”** means the net leasable square footage used by or designated for non-residential uses within a building as reflected on the condominium plan, site plan, building permit for new construction, or other such document. If a structure on a Parcel of Non-Residential Property includes Units, such Units shall be categorized and taxed as Residential Property, and the square footage of such Units shall not be counted as Non-Residential Square Footage for purposes of determining the Maximum Special Taxes pursuant to Section C below.

**“Proportionately”** means that the ratio of the actual Special Tax levied in any Fiscal Year to the Maximum Special Tax authorized to be levied in that Fiscal Year is equal for all Assessor’s Parcels of Developed Property.

**“Public Property”** means any property within the boundaries of the CFD that is owned by or irrevocably offered for dedication to the federal government, State of California, County, City, or other local governments or public agencies.

**“Residential Property”** means, collectively, Single Family Detached Property, Single Family Attached Property, and Multi-Family Property. If a building includes both Units and Non-Residential Square Footage, the Units within the building shall be categorized as Residential Property for purposes of this Amended RMA.

**“Services Special Tax”** means a special tax levied in any Fiscal Year to pay the Services Special Tax Requirement.

**“Services Special Tax Requirement”** means the amount of revenue needed in any Fiscal Year to pay for: (i) Authorized Services, (ii) Administrative Expenses, and (iii) amounts needed to cure any delinquencies in the payment of Services Special Taxes which have occurred or (based on delinquency rates in prior years) may be expected to occur in the Fiscal Year in which the tax will be collected. In any Fiscal Year, the Services Special Tax Requirement shall be reduced by surplus amounts available (as determined by the City) from the levy of the Services Special Tax in prior Fiscal Years, including revenues from the collection of delinquent Services Special Taxes and associated penalties and interest.

**“SFD Lot”** means an individual residential lot, identified and numbered on a recorded Final Map, on which a building permit was or is permitted to be issued for construction of a single family detached unit without further subdivision of the lot and for which no further subdivision of the lot is anticipated pursuant to an approved tentative map.

**“Single Family Attached Property”** means, in any Fiscal Year, all Parcels of Taxable Property for which a building permit was or is expected to be issued for construction of a residential structure consisting of two or more Units that share common walls, have separate Assessor’s Parcel numbers assigned to them (except for a duplex unit, which may share an Assessor’s Parcel with another duplex unit), and may be purchased by individual homebuyers (which shall still be the case even if the Units are purchased and subsequently offered for rent by the owner of the unit), including such residential structures that meet the statutory definition of a condominium contained in Civil Code Section 1351.

**“Single Family Detached Property”** means, in any Fiscal Year, all Parcels of Taxable Property for which a building permit was or is expected to be issued for construction of a Unit that does not share a common wall with another Unit. An Accessory Unit that shares a Parcel with a single-family detached unit shall not be considered a separate Unit for purposes of this Amended RMA.

**“Special Taxes”** means, collectively, the Facilities Special Tax and the Services Special Tax.

**“Taxable Property”** means all of the Assessor’s Parcels within the boundaries of the CFD which are not exempt from the Special Taxes pursuant to law or Section F below.

**“Tax Zone”** means a mutually exclusive geographic area within which Special Taxes may be levied pursuant to this Amended RMA. *All of the property within CFD No. 2013-1 at the time*

*of CFD Formation is within Tax Zone 1.* Additional Tax Zones may be created when property is annexed to the CFD, and separate Maximum Special Taxes shall be identified for property within the new Tax Zone at the time of such annexation. The Assessor's Parcels included within a new Tax Zone established when such Parcels are annexed to the CFD shall be identified by Assessor's Parcel number in the Unanimous Approval Form that is signed by the owner(s) of the Parcels at the time of annexation.

**“Unanimous Approval Form”** means that form executed by the record owner of fee title to a Parcel or Parcels annexed into the CFD that constitutes the property owner's approval and unanimous vote in favor of annexing into the CFD and the levy of Special Taxes against his/her Parcel or Parcels pursuant to this Amended RMA.

**“Trigger Event”** will be deemed to have occurred in any Fiscal Year if, on or before June 30 of the prior Fiscal Year, the City has made a finding that, for the third year in a row, the Fiscal Review Process has demonstrated that fiscal surpluses will be generated to the City's general fund from development within the River Islands Master Plan area, and, as part of the Fiscal Review Process in each of the prior three years, the Services Special Tax revenue factored into the fiscal analysis was based on the Services Special Tax being levied at only 47.43% of the Maximum Services Special Tax that could have been levied in each of those three years. Once the Trigger Event has occurred, the reduced Services Special Taxes and the Facilities Special Taxes determined pursuant to Sections C.1 and C.2 shall be the applicable Maximum Special Taxes in all future Fiscal Years regardless of the results of future Fiscal Review Processes.

**“Unit”** means a single family detached unit or an individual unit within a duplex, triplex, halfplex, fourplex, condominium, townhome, live/work, or apartment structure.

## **B. DATA FOR ADMINISTRATION OF SPECIAL TAXES**

On or about July 1 of each Fiscal Year, the Administrator shall identify the current Assessor's Parcel numbers for all Parcels of Developed Property within the CFD. The Administrator shall also determine: (i) within which Tax Zone each Parcel is located; (ii) which Parcels of Developed Property are Residential Property and Non-Residential Property; (iii) the Non-Residential Square Footage of buildings on each Parcel of Non-Residential Property; (iv) for Single Family Detached Property, the square footage of each SFD Lot, (v) by reference to the condominium plan, site plan, or other document, the number of Units on each Parcel of Single Family Attached Property and Multi-Family Property; (vi) whether the Trigger Event has occurred; and (vii) the Services Special Tax Requirement and, if the Trigger Event has occurred, the Facilities Special Tax Requirement for the Fiscal Year. To determine the square footage of each Parcel of Single Family Detached Property, the Administrator shall reference Assessor's Parcel Maps or, if the square footage is not yet designated on such maps, the small lot subdivision map recorded to create the individual lots.

In any Fiscal Year, if it is determined that: (i) a parcel map for property in the CFD was recorded after January 1 of the prior Fiscal Year (or any other date after which the Assessor will not incorporate the newly-created parcels into the then current tax roll), (ii) because of the date the parcel map was recorded, the Assessor does not yet recognize the new parcels created by the parcel map, and (iii) a building permit was issued on or prior to June 30 of the prior Fiscal Year

for development on one or more of the newly-created parcels, the Administrator shall calculate the Special Taxes for Units and/or Non-Residential Square Footage within the subdivided area and levy such Special Taxes on the master Parcel that was subdivided by recordation of the parcel map.

**C. MAXIMUM SPECIAL TAXES**

*1. Services Special Tax, Tax Zone 1*

Table 1 below identifies the Maximum Services Special Tax for Developed Property within Tax Zone 1, both before and after the Trigger Event; a different Maximum Services Special Tax may be identified for property that annexes into the CFD and is part of a separate Tax Zone.

**TABLE 1**  
**Maximum Services Special Tax**  
**Tax Zone 1**

<i>Type of Property</i>	<i>Lot Size</i>	<i>Maximum Services Special Tax in Tax Zone 1 Prior to the Trigger Event (Fiscal Year 2013-14)*</i>	<i>Maximum Services Special Tax in Tax Zone 1 After the Trigger Event (Fiscal Year 2013-14)*</i>
<u>Residential Property:</u>			
Single Family Detached Property	Greater than 7,000 SqFt	\$328.74 per SFD Lot	\$155.91 per SFD Lot
Single Family Detached Property	5,801 to 7,000 SqFt	\$265.42 per SFD Lot	\$125.88 per SFD Lot
Single Family Detached Property	4,801 to 5,800 SqFt	\$243.51 per SFD Lot	\$115.49 per SFD Lot
Single Family Detached Property	4,000 to 4,800 SqFt	\$206.98 per SFD Lot	\$ 98.16 per SFD Lot
Single Family Detached Property	Less than 4,000 SqFt	\$192.37 per SFD Lot	\$ 91.23 per SFD Lot
Single Family Attached Property	Not Applicable	\$ 0.00 per Unit	\$ 0.00 per Unit
Multi-Family Property	Not Applicable	\$ 0.00 per Unit	\$ 0.00 per Unit
Non-Residential Property	Not Applicable	\$0.00 per Non-Residential Square Foot	\$0.00 per Non-Residential Square Foot

*\* On July 1, 2014 and on each July 1 thereafter, all figures shown in Table 1 above shall be increased by the Escalation Factor.*



2. *Facilities Special Tax, Tax Zone 1*

Table 2 below identifies the Maximum Facilities Special Tax for Developed Property within Tax Zone 1 both before and after the Trigger Event; a different Maximum Facilities Special Tax may be identified for property that annexes into the CFD and is part of a separate Tax Zone.

**TABLE 2**  
**Maximum Facilities Special Tax**  
**Tax Zone 1**

<i>Type of Property</i>	<i>Lot Size</i>	<i>Maximum Facilities Special Tax in Tax Zone 1 Prior to the Trigger Event (Fiscal Year 2013-14)*</i>	<i>Maximum Facilities Special Tax in Tax Zone 1 After the Trigger Event (Fiscal Year 2013-14)*</i>
<u>Residential Property:</u>			
Single Family Detached Property	Greater than 7,000 SqFt	\$ 0.00 per SFD Lot	\$172.83 per SFD Lot
Single Family Detached Property	5,801 to 7,000 SqFt	\$ 0.00 per SFD Lot	\$139.54 per SFD Lot
Single Family Detached Property	4,801 to 5,800 SqFt	\$ 0.00 per SFD Lot	\$128.02 per SFD Lot
Single Family Detached Property	4,000 to 4,800 SqFt	\$ 0.00 per SFD Lot	\$108.82 per SFD Lot
Single Family Detached Property	Less than 4,000 SqFt	\$ 0.00 per SFD Lot	\$101.14 per SFD Lot
Single Family Attached Property	Not Applicable	\$ 0.00 per Unit	\$ 0.00 per Unit
Multi-Family Property	Not Applicable	\$ 0.00 per Unit	\$ 0.00 per Unit
Non-Residential Property	Not Applicable	\$0.00 per Non-Residential Square Foot	\$0.00 per Non-Residential Square Foot

**\* On July 1, 2014 and on each July 1 thereafter until the first Fiscal Year after the Trigger Event, all figures shown in Table 2 above shall be increased by the Escalation Factor. On July 1 of the first Fiscal Year after the Trigger Event, and on each July 1 thereafter, the Maximum Facilities Special Taxes shall increase by two percent (2%) of the amount in effect in the prior Fiscal Year.**

3. *Maximum Special Taxes for Mixed-Use Buildings*

If, in any Fiscal Year, the Administrator determines that a Parcel of Developed Property is built or proposed to be built with both Units and Non-Residential Square Footage, the Maximum Special Tax for the Parcel shall be the sum of (i) the aggregate Maximum Special Taxes for all Units on the Parcel, and (ii) the Maximum Special Taxes determined for all of the Non-Residential Square Footage on the Parcel.

**D. METHOD OF LEVY OF THE SPECIAL TAXES**

*1. Services Special Tax*

Each Fiscal Year, the Administrator shall determine the Services Special Tax Requirement for the Fiscal Year, and the Services Special Tax shall be levied on each Parcel of Developed Property within the CFD in the amount of either (i) the Maximum Services Special Tax, or (ii) the Proportionately determined percentage of the Maximum Services Special Tax required to generate the Services Special Tax Requirement, whichever is less.

*2. Facilities Special Tax*

Each Fiscal Year after the Trigger Event, the Administrator shall determine the Facilities Special Tax Requirement for the Fiscal Year, and the Facilities Special Tax shall be levied on each Parcel of Developed Property within the CFD in the amount of either (i) the Maximum Facilities Special Tax, or (ii) the Proportionately determined percentage of the Maximum Facilities Special Tax required to generate the Facilities Special Tax Requirement, whichever is less.

**E. MANNER OF COLLECTION OF SPECIAL TAXES**

The Special Taxes shall be collected in the same manner and at the same time as ordinary ad valorem property taxes, provided, however, that the City may directly bill, collect at a different time or in a different manner, and/or collect delinquent Special Taxes through foreclosure or other available methods.

The Facilities Special Tax shall be levied for thirty (30) Fiscal Years, beginning the first Fiscal Year after the Trigger Event has taken place. Under no circumstances may the Facilities Special Tax on a Parcel in residential use be increased in any Fiscal Year as a consequence of delinquency or default in payment of the Facilities Special Tax levied on another Parcel or Parcels by more than ten percent (10%) above the amount that would have been levied in that fiscal year had there never been any such delinquencies or defaults. The Services Special Tax may be levied and collected in perpetuity.

**F. EXEMPTIONS**

No Special Taxes shall be levied on Public Property or any other Parcels in the CFD that are not Residential Property or Non-Residential Property, as defined herein.

**G. INTERPRETATION OF SPECIAL TAX FORMULA**

The City may interpret, clarify, and/or revise this Amended RMA to correct any inconsistency, vagueness or ambiguity as it relates to the Special Tax rate, the method of apportionment, the classification of properties or any definition applicable to the CFD, by resolution or ordinance. The City, upon the request of an owner of land within the CFD which is not Developed Property, may also amend this Amended RMA in any manner acceptable to the City, by resolution or

ordinance following a public hearing, upon the affirmative vote of such owner to such amendment and without the vote of owners of any other land within the CFD, provided such amendment only affects such owner's land.

**EXHIBIT C**  
**CITY OF LATHROP**  
**COMMUNITY FACILITIES DISTRICT NO. 2013-1**  
**(RIVER ISLANDS PUBLIC SERVICES AND FACILITIES)**  
**ANNEXATION NO. 12**

**MAXIMUM SERVICES SPECIAL TAX FOR ZONE 1 OF THE CFD**

The table below identifies the Maximum Services Special Tax for Developed Property within Tax Zone 1, both before and after the Trigger Event:

<b>Type of Property</b>	<b>Lot Size</b>	<b>Maximum Services Special Tax in Tax Zone 1 Prior to the Trigger Event (Fiscal Year 2013-14)*</b>	<b>Maximum Services Special Tax in Tax Zone 1 After the Trigger Event (Fiscal Year 2013-14)*</b>
<u>Residential Property:</u>			
Single Family Detached Property	Greater than 7,000 SqFt	\$328.74 per SFD Lot	\$155.91 per SFD Lot
Single Family Detached Property	5,801 to 7,000 SqFt	\$265.42 per SFD Lot	\$125.88 per SFD Lot
Single Family Detached Property	4,801 to 5,800 SqFt	\$243.51 per SFD Lot	\$115.49 per SFD Lot
Single Family Detached Property	4,000 to 4,800 SqFt	\$206.98 per SFD Lot	\$98.16 per SFD Lot
Single Family Detached Property	Less Than 4,000 SqFt	\$192.37 per SFD Lot	\$91.23 per SFD Lot
Single Family Attached Property	Not Applicable	\$0.00 per Unit	\$0.00 per Unit
Multi-Family Property	Not Applicable	\$0.00 per Unit	\$0.00 per Unit
Non-Residential Property	Not Applicable	\$0.00 per Non-Residential Square Foot	\$0.00 per Non-Residential Square Foot

*\* On July 1, 2014, and on each July 1 thereafter, all figures shown in the table above shall be increased by the Escalation Factor.*

**MAXIMUM FACILITIES SPECIAL TAX FOR ZONE 1 OF THE CFD**

The table below identifies the Maximum Facilities Special Tax for Developed Property within Tax Zone 1, both before and after the Trigger Event:

<b>Type of Property</b>	<b>Lot Size</b>	<b>Maximum Facilities Special Tax in Tax Zone 1 Prior to the Trigger Event (Fiscal Year 2013-14)*</b>	<b>Maximum Facilities Special Tax in Tax Zone 1 After the Trigger Event (Fiscal Year 2013-14)*</b>
<b>Residential Property:</b>			
Single Family Detached Property	Greater than 7,000 SqFt	\$0.00 per SFD Lot	\$172.83 per SFD Lot
Single Family Detached Property	5,801 to 7,000 SqFt	\$0.00 per SFD Lot	\$139.54 per SFD Lot
Single Family Detached Property	4,801 to 5,800 SqFt	\$0.00 per SFD Lot	\$128.02 per SFD Lot
Single Family Detached Property	4,000 to 4,800 SqFt	\$0.00 per SFD Lot	\$108.82 per SFD Lot
Single Family Detached Property	Less Than 4,000 SqFt	\$0.00 per SFD Lot	\$101.14 per SFD Lot
Single Family Attached Property	Not Applicable	\$0.00 per Unit	\$0.00 per Unit
Multi-Family Property	Not Applicable	\$0.00 per Unit	\$0.00 per Unit
Non-Residential Property	Not Applicable	\$0.00 per Non-Residential Square Foot	\$0.00 per Non-Residential Square Foot

*\* On July 1, 2014, and on each July 1 thereafter until the first Fiscal Year after the Trigger Event, all figures shown in the table above shall be increased by the Escalation Factor. On July 1 of the first Fiscal Year after the Trigger Event, and on each July 1 thereafter, the Maximum Facilities Special Taxes shall increase by two percent (2%) of the amount in effect in the prior Fiscal Year.*

**RECORDING REQUESTED BY AND  
AFTER RECORDATION RETURN TO:**

Secretary  
 Island Reclamation District No. 2062  
 73 West Stewart Road  
 Lathrop, CA 95330

Recorded for the benefit of Island  
 Reclamation District No. 2062 pursuant  
 to Government Code Section 27383

**ELEVENTH AMENDMENT TO NOTICE OF SPECIAL TAX LIEN**

Island Reclamation District No. 2062  
 Community Facilities District No. 2013-1  
 (Levee and Lake Maintenance Services)  
 Annexation No. 11

Pursuant to the requirements of Section 3117.5 of the Streets and Highways Code of California and the Mello-Roos Community Facilities Act of 1982, as amended, Section 53311, *et. seq.*, of the California Government Code (the "Act"), the undersigned Secretary of Island Reclamation District No. 2062 (the "IRD 2062"), County of San Joaquin, State of California, hereby gives notice that a lien to secure payment of a special tax is hereby imposed by the Board of Trustees of IRD 2062 on the property described in Exhibit A hereto. The special tax secured by this lien is authorized to be levied for the purpose of paying the costs of services described in Exhibit A to the Notice of Special Tax Lien heretofore recorded in the Office of the County Recorder for the County of San Joaquin, State of California (the "County Recorder") on October 3, 2013 as Document No. 2013-126695 (the "Original Notice"), and said special tax is to be levied according to the Amended and Restated Rate and Method of Apportionment of Special Tax set forth in that certain First Amendment to Notice of Special Tax Lien heretofore recorded in the Office of the County Recorder on September 10, 2014 as Document No. 2014-089987 (the "First Amendment"), to which recorded Notice of Special Tax Lien and recorded First Amendment to Notice of Special Tax Lien reference is hereby made and the provisions of which are hereby incorporated herein in full by this reference.

This Eleventh Amendment to Notice of Special Tax Lien amends the Notice of Special Tax Lien to add to the territory within Island Reclamation District No. 2062 Community Facilities District No. 2013-1 (Levee and Lake Maintenance Services) certain real property identified in Exhibit A hereto (the "Property") and shown within the future annexation area on the boundary map of the community facilities district recorded on August 29, 2013, in Book 6 of Maps of Assessment and Community Facilities Districts at Page 41 (Document No. 2013-111318, in the Office of the County Recorder, which map is the final boundary map of the community facilities district. The Property is being annexed into Tax Zone 1 of the community facilities district, as described in the Amended and Restated Rate and Method of Apportionment of

Special Tax attached as Exhibit A to the First Amendment, with the maximum special tax rates identified in Exhibit B hereto.

The assessor's tax parcel(s) numbers of all parcels or any portion thereof which are included in this Eleventh Amendment to Notice of Special Tax Lien, together with the name(s) of the owner(s) thereof, as they appear on the latest secured assessment roll as of the date of recording hereof or as are otherwise known to IRD 2062 are as set forth in Exhibit A hereto which is by this reference made a part hereof.

For further information concerning the current and estimated future tax liability of owners or purchasers of real property or interests therein subject to the special tax lien, interested persons should contact the Treasurer of Island Reclamation District No. 2062, 73 West Stewart Road, Lathrop, California 95330, telephone number (209) 879-7900.

Dated: \_\_\_\_\_, 2020.

By: \_\_\_\_\_  
Susan Dell'Osso, President,  
Island Reclamation District No. 2062

**EXHIBIT A**

ISLAND RECLAMATION DISTRICT NO. 2062  
COMMUNITY FACILITIES DISTRICT NO. 2013-1  
(LEVEE AND LAKE MAINTENANCE SERVICES)  
ANNEXATION NO. 11

ASSESSOR'S PARCEL NUMBER(S) AND OWNER(S) OF LAND WITHIN  
ANNEXATION NO. 11 TO ISLAND RECLAMATION DISTRICT NO. 2062  
COMMUNITY FACILITIES DISTRICT NO. 2013-1  
(LEVEE AND LAKE MAINTENANCE SERVICES)

Name(s) of Property Owner(s)	San Joaquin County Assessor's Parcel No.
RIVER ISLANDS DEVELOPMENT LLC 73 W. STEWART RD, LATHROP CA 95330	210-400-05



**EXHIBIT B**

ISLAND RECLAMATION DISTRICT NO. 2062  
COMMUNITY FACILITIES DISTRICT NO. 2013-1  
(LEVEE AND LAKE MAINTENANCE SERVICES)  
ANNEXATION NO. 11

MAXIMUM SPECIAL TAXES FOR ZONE 1 OF THE CFD

The table below identifies the Maximum Special Tax for Taxable Property within Tax Zone 1 and all Parcels that annex into Tax Zone 1.

TAX ZONE 1  
MAXIMUM SPECIAL TAXES

<i>Type of Property</i>	<i>Maximum Special Tax Fiscal Year 2013-14 *</i>
Residential Property	\$81.00 per SFD Lot or Residential Unit
Non-Residential Property	\$640.00 per Acre
Mixed-Use Property	See Formula in RMA
Undeveloped Property	\$736.00 per Acre

*\* On July 1, 2014, and on each July 1 thereafter, the Maximum Special Taxes shown in Table 1 above shall be increased by the Escalation Factor.*

**CONSENT TO, AND BALLOT IN FAVOR OF, ANNEXATION OF REAL PROPERTY TO ISLAND RECLAMATION DISTRICT NO. 2062 COMMUNITY FACILITIES DISTRICT NO. 2013-1 (LEVEE AND LAKE MAINTENANCE SERVICES)**

To: Board of Trustees of Island Reclamation  
District No. 2062, in its capacity as the  
legislative body for Island Reclamation  
District No. 2062 Community Facilities  
District No. 2013-1 (Levee and Lake  
Maintenance Services)

The undersigned hereby states and certifies, under penalty of perjury, as follows:

1. The undersigned is the owner (the "Owner"), or the legally authorized representative of the Owner, of fee title to the real property identified by San Joaquin County Assessor's parcel number(s) listed below (the "Property"), and possesses all legal authority necessary to execute this consent to, and ballot in favor of (the "Consent and Ballot"), the annexation of the Property to Island Reclamation District No. 2062 Community Facilities District No. 2013-1 (Levee and Lake Maintenance Services) (the "CFD").

2. The Owner understands that the Board of Trustees of Island Reclamation District No. 2062 (the "Board") has conducted proceeding pursuant to the Mello-Roos Community Facilities Act of 1982, as amended (the "Law") to form the CFD to finance various services (the "Services") described in Exhibit A hereto. The Owner also understands that the proceedings for the formation of the CFD authorized the Board to levy an annual special tax (the "Special Tax") on property in the CFD as specified in the Amended and Restated Rate and Method of Apportionment of Special Taxes (the "Rate and Method") for the CFD, a copy of which is attached hereto as Exhibit B, and authorized the annexation of property to the CFD, without additional public hearings, upon approval of the fee title owner of the property to be annexed as permitted by Section 53339.7(a) of the Law.

The Owner has been advised that a Notice of Special Tax Lien was recorded against the real property initially included within the boundaries of the CFD in the Office of the San Joaquin County Recorder (the "County Recorder") on October 3, 2013 as Document No. 2013-126695; and a First Amendment to Notice of Special Tax Lien was recorded against the real property initially included within the boundaries of the CFD in the Office of the County Recorder on September 10, 2014 as Document No. 2014-089987 (collectively, the "Notice of Special Tax Lien").

3. The Owner hereby irrevocably consents to, approves, and votes (for purposes of Article XIII A of the California Constitution) in favor of the annexation of the Property to Tax Zone 1 of the CFD (as such Tax Zone is described in the Notice of Special Tax Lien, and as the Maximum Special Tax rates for such Tax Zone 1 are set forth in Exhibit C hereto), and irrevocably consents to, approves and votes in favor of the annual levy of the Special Tax on the

Property pursuant to the Rate and Method to finance the Services. The Owner acknowledges that the Secretary of Island Reclamation District No. 2062 will record, or cause to be recorded, against the Property in the Office of the County Recorder an amendment to the Notice of Special Tax Lien as required by Section 3117.5 of the California Streets and Highways Code, which will impose a continuing lien on the Property to secure each levy of the Special Tax, and that under the Law said lien (a) will be coequal with the lien for ad valorem real property taxes levied by the County of San Joaquin on the Property, and (b) will be senior to any lien of any mortgage on the Property whether such mortgage lien was recorded prior to or after the recordation of the amendment to the Notice of Special Tax Lien.

4. The Owner hereby irrevocably waives any right the Owner may otherwise have to protest or challenge the validity of the proceedings of the Board to form the CFD and to authorize the annexation of any property (including the Property) to the CFD, and any necessity, requirement or right for further public hearings or any election pertaining to the annexation of the Property to the CFD or the levy of the Special Tax on the Property.

5. The Owner hereby agrees to provide written notice of the annexation of the Property to the CFD, and of the authority of the Board to levy the Special Tax on the Property pursuant to the Rate and Method, to any subsequent purchaser of the Property to the extent required by applicable law.

The Property subject to this Consent and Ballot, and to be annexed to the CFD, consist of the following San Joaquin County Assessor's Parcel(s):

210-400-05

\_\_\_\_\_

The full legal name of the fee title Owner of the Property is:

River Islands Development, LLC

\_\_\_\_\_

The foregoing Consent and Ballot is hereby executed on \_\_\_\_\_, 2020, in Lathrop, California.

By: \_\_\_\_\_  
(signature)

Susan Dell'Osso  
(type name of person executing  
Consent and Ballot)

Its: President  
(insert legal capacity of person  
executing Consent and Ballot)

**NOTARY ACKNOWLEDGMENT**

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California }  
County of \_\_\_\_\_ } ss.

On \_\_\_\_\_, before me, \_\_\_\_\_  
Date Name and Title of Officer (e.g., "Jane Doe, Notary Public")

personally appeared \_\_\_\_\_  
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature \_\_\_\_\_ [Seal]  
Notary Public

## EXHIBIT A

### ISLAND RECLAMATION DISTRICT NO. 2062 COMMUNITY FACILITIES DISTRICT NO. 2013-1 (LEVEE AND LAKE MAINTENANCE SERVICES)

#### DESCRIPTION OF SERVICES ELIGIBLE TO BE FUNDED BY THE DISTRICT

##### Services:

The services to be funded, in whole or in part, by the community facilities district (the "District") include all direct and incidental costs related to providing for the maintenance of lakes and levees within the River Islands area including the area initially included in the District, as well as any future annexation area of the District and areas adjacent to the foregoing. More specifically, the services shall include, but not be limited to, the maintenance of: (i) levees in urban and rural areas, including but not limited to squirrel and rodent abatement, vegetation control and repairs and renovations; (ii) lakes and their storm drainage and recreational functions, including but not limited to maintenance of pumps, intake and outfall structures, aeration systems and vegetation along lake edge areas; and (iii) other public services authorized to be funded under Section 53313(e) of the California Government Code. The District may fund any of the following related to the services described in the preceding sentence: obtaining, constructing, furnishing, operating and maintaining equipment, apparatus or facilities related to providing the services and/or equipment, apparatus, facilities or fixtures in areas to be maintained, paying the salaries and benefits of personnel necessary or convenient to provide the services, payment of insurance costs and other related expenses and the provision of reserves for repairs and replacements and for the future provision of services.

The services to be financed by the District are in addition to those provided in the territory of the District before the date of creation of the District, and will not supplant services already available within that territory when the District is created.

##### Administrative Expenses:

The administrative expenses to be funded by the District include the direct and indirect expenses incurred by Island Reclamation District No. 2062 (the "RD") in carrying out its duties with respect to the District (including, but not limited to, the levy and collection of the special taxes) including the fees and expenses of attorneys, any fees of the County of San Joaquin related to the District or the collection of special taxes, an allocable share of the salaries of any RD staff directly related thereto and a proportionate amount of the RD's general administrative overhead related thereto, any amounts paid by the RD from its general fund with respect to the District or the services authorized to be financed by the District, and expenses incurred by the RD in undertaking action to foreclose on properties for which the payment of special taxes is delinquent, and all other costs and expenses of the RD in any way related to the District.

Other:

The incidental expenses that may be funded by the District include, in addition to the administrative expenses identified above, the payment or reimbursement to the RD of all costs associated with the establishment and administration of the District.

## EXHIBIT B

### ISLAND RECLAMATION DISTRICT 2062 COMMUNITY FACILITIES DISTRICT NO. 2013-1 (LEVEE AND LAKE MAINTENANCE SERVICES)

#### AMENDED RATE AND METHOD OF APPORTIONMENT OF SPECIAL TAX

A Special Tax applicable to each Assessor's Parcel in the Island Reclamation District 2062 Community Facilities District No. 2013-1 (Levee and Lake Maintenance Services) shall be levied and collected according to the tax liability determined by the Board of Trustees or its designee, through the application of the appropriate amount or rate for Taxable Property, as described below. All of the property in CFD No. 2013-1, unless exempted by law or by the provisions of Section E below, shall be taxed for the purposes, to the extent, and in the manner herein provided, including property subsequently annexed to the CFD unless a separate rate and method of apportion of Special Tax is adopted for the annexation area.

#### A. DEFINITIONS

The terms hereinafter set forth have the following meanings:

**"Accessory Unit"** means a second residential unit of limited size (e.g., granny cottage, second unit) that shares a Parcel with a single-family detached unit.

**"Acre" or "Acreage"** means the land area of an Assessor's Parcel as shown on an Assessor's Parcel Map, or if the land area is not shown on an Assessor's Parcel Map, the land area shown on the applicable Final Map or other parcel map recorded with the County.

**"Act"** means the Mello-Roos Community Facilities Act of 1982, as amended, being Chapter 2.5, (commencing with Section 53311), Division 2 of Title 5 of the California Government Code.

**"Administrative Expenses"** means any or all of the following: the expenses of RD 2062 in carrying out its duties with respect to CFD No. 2013-1 including, but not limited to, levying and collecting the Special Tax, fees and expenses of legal counsel, charges levied by the County Auditor's Office, Tax Collector's Office, and/or Treasurer's Office, costs related to annexing property into the CFD, costs related to property owner inquiries regarding the Special Tax, and all other costs and expenses of RD 2062, Lathrop Irrigation District, and the River Islands Public Financing Authority in any way related to the establishment or administration of the CFD.

**"Administrator"** means the person or firm designated by RD 2062 to administer the Special Tax according to the Amended RMA.

**"Amended RMA"** means this Amended Rate and Method of Apportionment of Special Tax.

**"Assessor's Parcel" or "Parcel"** means a lot or parcel shown on an Assessor's Parcel Map with an assigned Assessor's Parcel number.

**“Assessor’s Parcel Map”** means an official map of the County Assessor designating parcels by Assessor’s Parcel number.

**“Association Property”** means any property within the CFD that is owned by a homeowners association or property owners association, excluding Association Property under the pad or footprint of a Residential Unit.

**“Authorized Services”** means the public services authorized to be funded by the CFD as set forth in the documents adopted by the Board when the CFD was formed.

**“Board of Trustees”** or **“Board”** means the Board of Trustees of RD 2062.

**“CFD”** or **“CFD No. 2013-1”** means the Island Reclamation District 2062 Community Facilities District No. 2013-1 (Levee and Lake Maintenance Services).

**“CFD Formation”** means the date on which the Resolution of Formation to form CFD No. 2013-1 was adopted by the Board of Trustees.

**“City”** means the City of Lathrop.

**“City Council”** means the City Council of the City of Lathrop.

**“County”** means the County of San Joaquin.

**“Developed Property”** means, in any Fiscal Year, the following:

- for Single Family Detached Property, all Parcels of Taxable Property for which a Final Map was recorded on or prior to June 30 of the preceding Fiscal Year
- for Multi-Family Property and Single Family Attached Property, all Parcels of Taxable Property for which a building permit for new construction of a residential structure was issued on or prior to June 30 of the preceding Fiscal Year
- for Non-Residential Property, all Parcels of Taxable Property for which a building permit for new construction of a structure was issued on or prior to June 30 of the preceding Fiscal Year.

**“Escalation Factor”** means, in any Fiscal Year, the lesser of (i) the increase from the prior Fiscal Year, if any, in the Local Consumer Price Index (CPI) for the San Francisco-Oakland-San Jose Area for All Urban Consumers, or (ii) four percent (4%). The CPI used shall be as determined by the Bureau of Labor Statistics from April to April beginning with the period from April 2013 to April 2014.

**“Final Map”** means a final map, or portion thereof, recorded by the County pursuant to the Subdivision Map Act (California Government Code Section 66410 et seq.) that creates



individual lots on which building permits for new construction may be issued without further subdivision and for which no further subdivision is anticipated pursuant to a tentative map approved for the property or, if no tentative map has been approved, pursuant to a then current specific plan or other land use plan for the property.

**“Fiscal Year”** means the period starting July 1 and ending on the following June 30.

**“Maximum Special Tax”** means the greatest amount of Special Tax that can be levied in any Fiscal Year determined in accordance with Section C below.

**“Multi-Family Property”** means, in any Fiscal Year, all Parcels of Taxable Property for which a building permit or use permit has been issued for construction of a residential structure with five or more Units that share a single Assessor’s Parcel number, are offered for rent to the general public, and cannot be purchased by individual homebuyers.

**“Non-Residential Property”** means, in any Fiscal Year, all Parcels of Taxable Property for which a building permit was or is expected to be issued for construction of a structure that will be used for any non-residential purpose.

**“Proportionately”** means the following: (i) for Developed Property, the ratio of the actual Special Tax levied in any Fiscal Year to the Maximum Special Tax authorized to be levied in that Fiscal Year is equal for all Assessor’s Parcels of Developed Property; and (ii) for Undeveloped Property, the ratio of the actual Special Tax to the Maximum Special Tax is equal for all Assessor’s Parcels of Undeveloped Property.

**“Public Property”** means any property within the boundaries of CFD No. 2013-1 that is owned by or irrevocably offered for dedication to the federal government, State of California, County, City, or other local government or public agency.

**“RD 2062”** means Island Reclamation District 2062.

**“Residential Property”** means, in any Fiscal Year, collectively, Single Family Detached Property, Single Family Attached Property, and Multi-Family Property. Notwithstanding the foregoing, if a building permit is issued for a structure that includes both Residential Units and non-residential uses, the Residential Units within the building will be categorized as Residential Property, and a Special Tax shall be calculated separately for the Residential Units and Non-Residential Property on the Parcel, as set forth in Section C.1.c below.

**“Residential Unit”** means an individual single-family detached unit, an individual residential unit within a duplex, halfplex, triplex, fourplex, townhome, live/work or condominium structure, or an individual apartment unit.

**“SFD Lot”** means an individual residential lot, identified and numbered on a recorded Final Map, on which a building permit was or is permitted to be issued for construction of a single family detached unit without further subdivision of the lot and for which no further subdivision of the lot is anticipated pursuant to an approved tentative map.

**“Single Family Attached Property”** means, in any Fiscal Year, all Parcels of Taxable Property for which a building permit was or is expected to be issued for construction of a residential structure consisting of two or more Units that share common walls, have separate Assessor’s Parcel numbers assigned to them (except for a duplex unit, which may share an Assessor’s Parcel with another duplex unit), and may be purchased by individual homebuyers (which shall still be the case even if the Units are purchased and subsequently offered for rent by the owner of the unit), including such residential structures that meet the statutory definition of a condominium contained in Civil Code Section 1351.

**“Single Family Detached Property”** means, in any Fiscal Year, all Parcels of Taxable Property for which a building permit was or is expected to be issued for construction of a Unit that does not share a common wall with another Unit. An Accessory Unit that shares a Parcel with a single-family detached unit shall not be considered a separate Unit for purposes of this Amended RMA.

**“Special Tax”** means a Special Tax levied in any Fiscal Year to pay the Special Tax Requirement.

**“Special Tax Requirement”** means the amount of revenue needed in any Fiscal Year to pay for the following: (i) Authorized Services; (ii) Administrative Expenses; and (iii) amounts needed to cure any delinquencies in the payment of Special Taxes which have occurred or, based on delinquency rates in prior years, may be expected to occur in the Fiscal Year in which the Special Tax will be collected.

**“Taxable Property”** means all Assessor’s Parcels within the boundaries of CFD No. 2013-1 that are not exempt from the Special Tax pursuant to law or Section E below.

**“Tax Zone”** means a mutually exclusive geographic area within which the Special Tax may be levied pursuant to this Amended RMA. All of the property within CFD No. 2013-1 at the time of CFD Formation is within Tax Zone 1. Additional Tax Zones may be created when property is annexed to the CFD, and a separate Maximum Special Tax shall be identified for property within the new Tax Zone at the time of such annexation. The Assessor’s Parcels included within a new Tax Zone established when such Parcels are annexed to the CFD shall be identified by Assessor’s Parcel number in the Unanimous Approval Form that is signed by the owner(s) of the Parcels at the time of annexation.

**“Unanimous Approval Form”** means that form executed by the record owner of fee title to a Parcel or Parcels annexed into the CFD that constitutes the property owner’s approval and unanimous vote in favor of annexing into the CFD and the levy of the Special Tax against his/her Parcel or Parcels pursuant to this Amended RMA.

**“Undeveloped Property”** means, in any Fiscal Year, all Parcels of Taxable Property in CFD No. 2013-1 that are not Developed Property.

**B. DATA FOR ANNUAL TAX LEVY**

Each Fiscal Year, the Administrator shall identify the current Assessor's Parcel numbers for all Parcels of Taxable Property within the CFD. The Administrator shall also determine: (i) whether each Assessor's Parcel of Taxable Property is Developed Property or Undeveloped Property; (ii) in which Tax Zone each Assessor's Parcel is located; and (iii) the Special Tax Requirement for the then-current Fiscal Year.

In any Fiscal Year, if it is determined that (i) a Final Map for a portion of property in the CFD was recorded after the last date upon which the Assessor will incorporate the newly-created Parcels into the then current tax roll, and (ii) because of the date the Final Map was recorded, the Assessor does not yet recognize the new Parcels created by the Final Map, the Administrator shall calculate the Special Tax for the property affected by recordation of the Final Map by determining the Special Tax that applies separately to each newly-created Parcel, then applying the sum of the individual Special Taxes to the original Parcel that was subdivided by recordation of the Final Map.

**C. MAXIMUM SPECIAL TAXES**

**1. Developed Property**

*a. Residential Property*

The Maximum Special Tax for Fiscal Year 2013-14 for all Parcels of Residential Property within Tax Zone 1 shall be \$81 per SFD Lot or Residential Unit. All of the property within the CFD at the time of CFD Formation is within Tax Zone 1; a different Maximum Special Tax may be identified for property that annexes into the CFD and is part of a separate Tax Zone. Beginning July 1, 2014 and each July 1 thereafter, the Maximum Special Tax for Residential Property shall be increased by the Escalation Factor.

*b. Non-Residential Property*

The Maximum Special Tax for Fiscal Year 2013-14 for Non-Residential Property within Tax Zone 1 shall be \$640 per Acre. All of the property within the CFD at the time of CFD Formation is within Tax Zone 1 a different Maximum Special Tax may be identified for property that annexes into the CFD and is part of a separate Tax Zone. Beginning July 1, 2014 and each July 1 thereafter, the Maximum Special Tax for Non-Residential Property shall be increased by the Escalation Factor.

*c. Mixed-Use Property*

If, in any Fiscal Year, the Administrator determines that a Parcel of Developed Property is built or proposed to be built with both Residential Units and non-residential uses, the Maximum Special Tax for the Parcel shall be the sum of (i) the Maximum Special Tax for Residential Property multiplied by all Residential

Units on the Parcel, and (ii) the Maximum Special Tax for Non-Residential Property multiplied by the full Acreage of the Parcel. After the aggregate Maximum Special Tax has been determined for a Parcel, such Maximum Special Tax shall be escalated beginning the next Fiscal Year and each Fiscal Year thereafter by the Escalation Factor.

## **2. Undeveloped Property**

The Maximum Special Tax for Fiscal Year 2013-14 for all Parcels of Undeveloped Property within Tax Zone 1 shall be \$736 per Acre. Beginning July 1, 2014 and each July 1 thereafter, the Maximum Special Tax for Undeveloped Property shall be increased by the Escalation Factor.

### **D. METHOD OF LEVY AND COLLECTION OF SPECIAL TAXES**

Each Fiscal Year, the Administrator shall determine the Special Tax Requirement for that Fiscal Year and levy the Special Tax on all Parcels of Taxable Property as follows:

Step 1: The Special Tax shall be levied Proportionately on each Parcel of Developed Property up to 100% of the Maximum Special Tax for each Parcel for such Fiscal Year until the amount levied is equal to the Special Tax Requirement;

Step 2: If additional revenue is needed after Step 1, the Special Tax shall be levied Proportionately on each Parcel of Undeveloped Property up to 100% of the Maximum Special Tax for each Parcel for such Fiscal Year until the amount levied, when combined with the amount levied pursuant to Step 1, is equal to the Special Tax Requirement.

The Special Taxes for CFD No. 2013-1 shall be collected in the same manner and at the same time as ordinary ad valorem property taxes, provided, however, that RD 2062 may directly bill the Special Tax, may collect Special Taxes at a different time or in a different manner, and may collect delinquent Special Taxes through foreclosure or other available methods.

### **E. EXEMPTIONS**

Notwithstanding any other provision of this Amended RMA, no Special Tax shall be levied on Parcels of Association Property or Public Property, except as otherwise provided in the Act.

### **F. INTERPRETATION OF SPECIAL TAX FORMULA**

RD 2062 reserves the right to make minor administrative and technical changes to this document that do not materially affect the rate and method of apportioning Special Taxes. In addition, the interpretation and application of any section of this document shall be left to RD 2062's discretion. Interpretations may be made by RD 2062 by ordinance or resolution for purposes of clarifying any vagueness or ambiguity in this Amended RMA.

**G. APPEAL OF SPECIAL TAX LEVY**

Any property owner claiming that the amount or application of the Special Tax is not correct may file a written notice of appeal with the Administrator not later than one calendar year after having paid the Special Tax that is disputed. The Administrator shall promptly review the appeal and, if necessary, meet with the property owner, consider written and oral evidence regarding the amount of the Special Tax, and decide the appeal. If the property owner disagrees with the Administrator's decision relative to the appeal, the owner may then file a written appeal with the Board whose subsequent decision shall be binding. If the decision of the Administrator (if the appeal is not filed with the Board) or the Board (if the appeal is filed with the Board) requires the Special Tax to be modified or changed in favor of the property owner, no cash refund shall be made for prior years' Special Tax levies, but an adjustment shall be made to the next Special Tax levy(ies). This procedure shall be exclusive and its exhaustion by any property owner shall be a condition precedent to filing any legal action by such owner.

**EXHIBIT B**

ISLAND RECLAMATION DISTRICT NO. 2062  
COMMUNITY FACILITIES DISTRICT NO. 2013-1  
(LEVEE AND LAKE MAINTENANCE SERVICES)  
ANNEXATION NO. 11

MAXIMUM SPECIAL TAXES FOR ZONE 1 OF THE CFD

The table below identifies the Maximum Special Tax for Taxable Property within Tax Zone 1 and all Parcels that annex into Tax Zone 1.

TAX ZONE 1  
MAXIMUM SPECIAL TAXES

<i>Type of Property</i>	<i>Maximum Special Tax Fiscal Year 2013-14 *</i>
Residential Property	\$81.00 per SFD Lot or Residential Unit
Non-Residential Property	\$640.00 per Acre
Mixed-Use Property	See Formula in RMA
Undeveloped Property	\$736.00 per Acre

*\* On July 1, 2014, and on each July 1 thereafter, the Maximum Special Taxes shown in Table 1 above shall be increased by the Escalation Factor.*

**RECORDING REQUESTED BY AND  
AFTER RECORDATION RETURN TO:**

Secretary  
River Islands Public Financing Authority  
73 West Stewart Road  
Lathrop, CA 95330

Recorded for the benefit of the River Islands  
Public Financing Authority pursuant to  
Government Code Section 27383

**ELEVENTH AMENDMENT TO NOTICE OF SPECIAL TAX LIEN**

River Islands Public Financing Authority  
Community Facilities District No. 2013-1  
(River Islands Public Services)  
Annexation No. 11

Pursuant to the requirements of Section 3117.5 of the Streets and Highways Code of California and the Mello-Roos Community Facilities Act of 1982, as amended, Section 53311, *et. seq.*, of the California Government Code (the "Act"), the undersigned Secretary of the River Islands Public Financing Authority (the "Authority"), County of San Joaquin, State of California, hereby gives notice that a lien to secure payment of a special tax is hereby imposed by the Board of Directors of the Authority on the property described in Exhibit A hereto. The special tax secured by this lien is authorized to be levied for the purpose of paying the costs of services described in Exhibit A to the Notice of Special Tax Lien heretofore recorded in the Office of the County Recorder for the County of San Joaquin, State of California (the "County Recorder") on October 3, 2013 as Document No. 2013-126691 (the "Original Notice"), and said special tax is to be levied according to the Amended and Restated Rate and Method of Apportionment of Special Tax set forth in that certain First Amendment to Notice of Special Tax Lien heretofore recorded in the Office of the County Recorder on September 10, 2014 as Document No. 2014-089986 (the "First Amendment"), to which recorded Notice of Special Tax Lien and recorded First Amendment to Notice of Special Tax Lien reference is hereby made and the provisions of which are hereby incorporated herein in full by this reference.

This Eleventh Amendment to Notice of Special Tax Lien amends the Notice of Special Tax Lien to add to the territory within the River Islands Public Financing Authority Community Facilities District No. 2013-1 (River Islands Public Services) certain real property identified in Exhibit A hereto (the "Property") and shown within the future annexation area on the boundary map of the community facilities district recorded on August 29, 2013, in Book 6 of Maps of Assessment and Community Facilities Districts at Page 40 (Document No. 2013-111317, in the Office of the County Recorder, which map is the final boundary map of the community facilities district. The Property is being annexed into Tax Zone 2 of the community facilities district, as described in the Amended and Restated Rate and Method of Apportionment of Special Tax

attached as Exhibit A to the First Amendment, with the maximum special tax rates identified in Exhibit B hereto.

The assessor's tax parcel(s) numbers of all parcels or any portion thereof which are included in this Eleventh Amendment to Notice of Special Tax Lien, together with the name(s) of the owner(s) thereof, as they appear on the latest secured assessment roll as of the date of recording hereof or as are otherwise known to the Authority are as set forth in Exhibit A hereto which is by this reference made a part hereof.

For further information concerning the current and estimated future tax liability of owners or purchasers of real property or interests therein subject to the special tax lien, interested persons should contact the Treasurer of the River Islands Public Financing Authority, 73 West Stewart Road, Lathrop, California 95330, telephone number (209) 879-7900.

Dated: \_\_\_\_\_, 2020.

By: \_\_\_\_\_  
Karna E. Harrigfeld, Secretary,  
River Islands Public Financing Authority



**EXHIBIT B**

RIVER ISLANDS PUBLIC FINANCING AUTHORITY  
COMMUNITY FACILITIES DISTRICT NO. 2013-1  
(RIVER ISLANDS PUBLIC SERVICES)  
ANNEXATION NO. 11

MAXIMUM SPECIAL TAXES FOR ZONE 2 OF THE CFD

The table below identifies the Maximum Special Tax for Taxable Property within Tax Zone 2 and all Parcels that annex into Tax Zone 2.

TAX ZONE 2  
MAXIMUM SPECIAL TAXES

<i>Type of Property</i>	<i>Maximum Special Tax Fiscal Year 2013-14 *</i>
Residential Property	\$276.26 per SFD Lot or Residential Unit
Non-Residential Property	\$960.00 per Acre
Mixed-Use Property	See Formula in RMA
Undeveloped Property	\$1,191.00 per Acre

*\* On July 1, 2014, and on each July 1 thereafter, the Maximum Special Taxes shown in Table 1 above shall be increased by the Escalation Factor.*

**CONSENT TO, AND BALLOT IN FAVOR OF, ANNEXATION OF REAL PROPERTY TO THE RIVER ISLANDS PUBLIC FINANCING AUTHORITY COMMUNITY FACILITIES DISTRICT NO. 2013-1 (RIVER ISLANDS PUBLIC SERVICES)**

To: Board of Directors of the River Islands  
Public Financing Authority, in its capacity  
as the legislative body for the River Islands  
Public Financing Authority Community  
Facilities District No. 2013-1 (River Islands  
Public Services)

The undersigned hereby states and certifies, under penalty of perjury, as follows:

1. The undersigned is the owner (the "Owner"), or the legally authorized representative of the Owner, of fee title to the real property identified by San Joaquin County Assessor's parcel number(s) listed below (the "Property"), and possesses all legal authority necessary to execute this consent to, and ballot in favor of (the "Consent and Ballot"), the annexation of the Property to the River Islands Public Financing Authority Community Facilities District No. 2013-1 (River Islands Public Services) (the "CFD").

2. The Owner understands that the Board of Directors of the River Islands Public Financing Authority (the "Board") has conducted proceeding pursuant to the Mello-Roos Community Facilities Act of 1982, as amended (the "Law") to form the CFD to finance various services (the "Services") described in Exhibit A hereto. The Owner also understands that the proceedings for the formation of the CFD authorized the Board to levy an annual special tax (the "Special Tax") on property in the CFD as specified in the Amended and Restated Rate and Method of Apportionment of Special Taxes (the "Rate and Method") for the CFD, a copy of which is attached hereto as Exhibit B, and authorized the annexation of property to the CFD, without additional public hearings, upon approval of the fee title owner of the property to be annexed as permitted by Section 53339.7(a) of the Law.

The Owner has been advised that a Notice of Special Tax Lien was recorded against the real property initially included within the boundaries of the CFD in the Office of the San Joaquin County Recorder (the "County Recorder") on October 3, 2013 as Document No. 2013-126691, and a First Amendment to Notice of Special Tax Lien was recorded against the real property initially included within the boundaries of the CFD in the Office of the County Recorder on September 10, 2014 as Document No. 2014-089986 (collectively, the "Notice of Special Tax Lien").

3. The Owner hereby irrevocably consents to, approves, and votes (for purposes of Article XIII A of the California Constitution) in favor of the annexation of the Property to Tax Zone 2 of the CFD (as such Tax Zone is described in the Notice of Special Tax Lien, and as the Maximum Special Tax rates for such Tax Zone 2 are set forth in Exhibit C hereto), and irrevocably consents to, approves and votes in favor of the annual levy of the Special Tax on the

Property pursuant to the Rate and Method to finance the Services. The Owner acknowledges that the Secretary of the River Islands Public Financing Authority will record, or cause to be recorded, against the Property in the Office of the County Recorder an amendment to the Notice of Special Tax Lien as required by Section 3117.5 of the California Streets and Highways Code, which will impose a continuing lien on the Property to secure each levy of the Special Tax, and that under the Law said lien (a) will be coequal with the lien for ad valorem real property taxes levied by the County of San Joaquin on the Property, and (b) will be senior to any lien of any mortgage on the Property whether such mortgage lien was recorded prior to or after the recordation of the amendment to the Notice of Special Tax Lien.

4. The Owner hereby irrevocably waives any right the Owner may otherwise have to protest or challenge the validity of the proceedings of the Board to form the CFD and to authorize the annexation of any property (including the Property) to the CFD, and any necessity, requirement or right for further public hearings or any election pertaining to the annexation of the Property to the CFD or the levy of the Special Tax on the Property.

5. The Owner hereby agrees to provide written notice of the annexation of the Property to the CFD, and of the authority of the Board to levy the Special Tax on the Property pursuant to the Rate and Method, to any subsequent purchaser of the Property to the extent required by applicable law.

The Property subject to this Consent and Ballot, and to be annexed to the CFD, consist of the following San Joaquin County Assessor's Parcel(s):

210-400-05

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The full legal name of the fee title Owner of the Property is:

River Islands Development, LLC

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The foregoing Consent and Ballot is hereby executed on \_\_\_\_\_, 2020, in Lathrop, California.

By: \_\_\_\_\_  
(signature)

Susan Dell'Osso  
(type name of person executing  
Consent and Ballot)

Its: President  
(insert legal capacity of person  
executing Consent and Ballot)

**NOTARY ACKNOWLEDGMENT**

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California }  
County of \_\_\_\_\_ } ss.

On \_\_\_\_\_, before me, \_\_\_\_\_  
Date Name and Title of Officer (e.g., "Jane Doe, Notary Public")

personally appeared \_\_\_\_\_  
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature \_\_\_\_\_ [Seal]  
Notary Public

## EXHIBIT A

### RIVER ISLANDS PUBLIC FINANCING AUTHORITY COMMUNITY FACILITIES DISTRICT NO. 2013-1 (RIVER ISLANDS PUBLIC SERVICES)

#### DESCRIPTION OF SERVICES ELIGIBLE TO BE FUNDED BY THE DISTRICT

##### Services:

The services to be funded, in whole or in part, by the community facilities district (the "District") include all direct and incidental costs related to providing for the maintenance of public infrastructure within the River Islands area including the area initially included in the District, as well as any future annexation area of the District and areas adjacent to the foregoing. More specifically, the services shall include, but not be limited to, the maintenance of: (i) parks and open space, including trails and habitat areas, with services to include, but not be limited to, irrigation and vegetation control; (ii) roads and roadways, with services to include, but not be limited to, the maintenance and repair of public streets, striping of streets and repair and repainting of sound walls and other appurtenances; (iii) street lighting, including, but not limited to, repairs to and replacement of street lights along public streets; (iv) landscaping in public areas and in the public right of way along public streets, including, but not limited to, irrigation, tree trimming and vegetation maintenance and control; and (v) any other public services authorized to be funded under Section 53313(d) of the California Government Code. The District may fund any of the following related to the services described in the preceding sentence: obtaining, constructing, furnishing, operating and maintaining equipment, apparatus or facilities related to providing the services and/or equipment, apparatus, facilities or fixtures in areas to be maintained, paying the salaries and benefits of personnel necessary or convenient to provide the services, payment of insurance costs and other related expenses and the provision of reserves for repairs and replacements and for the future provision of services.

The services to be financed by the District are in addition to those provided in the territory of the District before the date of creation of the District, and will not supplant services already available within that territory when the District is created.

##### Administrative Expenses:

The administrative expenses to be funded by the District include the direct and indirect expenses incurred by the River Islands Public Financing Authority (the "Authority") in carrying out its duties with respect to the District (including, but not limited to, the levy and collection of the special taxes) including the fees and expenses of attorneys, any fees of the County of San Joaquin related to the District or the collection of special taxes, an allocable share of the salaries of any Authority staff directly related thereto and a proportionate amount of the Authority's general administrative overhead related thereto, any amounts paid by the Authority from its general fund with respect to the District or the services authorized to be financed by the District, and expenses incurred by the Authority in undertaking action to foreclose on properties for which the payment of special taxes is delinquent, and all other costs and expenses of the Authority in any way related to the District.

Other:

The incidental expenses that may be funded by the District include, in addition to the administrative expenses identified above, the payment or reimbursement to the Authority of all costs associated with the establishment and administration of the District.

## EXHIBIT B

### RIVER ISLANDS PUBLIC FINANCING AUTHORITY COMMUNITY FACILITIES DISTRICT NO. 2013-1 (RIVER ISLANDS PUBLIC SERVICES)

#### AMENDED AND RESTATED RATE AND METHOD OF APPORTIONMENT OF SPECIAL TAX

A Special Tax applicable to each Assessor's Parcel in the River Islands Public Financing Authority Community Facilities District No. 2013-1 (River Islands Public Services) shall be levied and collected according to the tax liability determined by the Board of Directors or its designee, through the application of the appropriate amount or rate for Taxable Property, as described below. All of the property in CFD No. 2013-1, unless exempted by law or by the provisions of Section E below, shall be taxed for the purposes, to the extent, and in the manner herein provided, including property subsequently annexed to the CFD unless a separate rate and method of apportion of Special Tax is adopted for the annexation area.

#### A. DEFINITIONS

The terms hereinafter set forth have the following meanings:

**"Accessory Unit"** means a second residential unit of limited size (e.g., granny cottage, second unit) that shares a Parcel with a single-family detached unit.

**"Acre" or "Acreage"** means the land area of an Assessor's Parcel as shown on an Assessor's Parcel Map, or if the land area is not shown on an Assessor's Parcel Map, the land area shown on the applicable Final Map or other parcel map recorded with the County.

**"Act"** means the Mello-Roos Community Facilities Act of 1982, as amended, being Chapter 2.5, (commencing with Section 53311), Division 2 of Title 5 of the California Government Code.

**"Administrative Expenses"** means any or all of the following: the expenses of the Authority in carrying out its duties with respect to CFD No. 2013-1 including, but not limited to, levying and collecting the Special Tax, fees and expenses of legal counsel, charges levied by the County Auditor's Office, Tax Collector's Office, and/or Treasurer's Office, costs related to annexing property into the CFD, costs related to property owner inquiries regarding the Special Tax, and all other costs and expenses of the Authority, Lathrop Irrigation District, and Island Reclamation District No. 2062 in any way related to the establishment or administration of the CFD.

**"Administrator"** means the person or firm designated by the Authority to administer the Special Tax according to the Amended RMA.

**"Amended RMA"** means this Amended Rate and Method of Apportionment of Special Tax.

**"Assessor's Parcel" or "Parcel"** means a lot or parcel shown on an Assessor's Parcel Map with an assigned Assessor's Parcel number.

**“Assessor’s Parcel Map”** means an official map of the County Assessor designating parcels by Assessor’s Parcel number.

**“Association Property”** means any property within the CFD that is owned by a homeowners association or property owners association, excluding Association Property under the pad or footprint of a Residential Unit.

**“Authority”** means the River Islands Public Financing Authority.

**“Authorized Services”** means the public services authorized to be funded by the CFD as set forth in the documents adopted by the Board when the CFD was formed.

**“Board of Directors”** or **“Board”** means the Board of Directors of the River Islands Public Financing Authority.

**“CFD”** or **“CFD No. 2013-1”** means the River Islands Public Financing Authority Community Facilities District No. 2013-1 (River Islands Public Services).

**“CFD Formation”** means the date on which the Resolution of Formation to form CFD No. 2013-1 was adopted by the Board of Directors.

**“City”** means the City of Lathrop.

**“City Council”** means the City Council of the City of Lathrop.

**“County”** means the County of San Joaquin.

**“Developed Property”** means, in any Fiscal Year, the following:

- for Single Family Detached Property, all Parcels of Taxable Property for which a Final Map was recorded on or prior to June 30 of the preceding Fiscal Year
- for Multi-Family Property and Single Family Attached Property, all Parcels of Taxable Property for which a building permit for new construction of a residential structure was issued on or prior to June 30 of the preceding Fiscal Year
- for Non-Residential Property, all Parcels of Taxable Property for which a building permit for new construction of a structure was issued on or prior to June 30 of the preceding Fiscal Year.

**“Escalation Factor”** means, in any Fiscal Year, the lesser of (i) the increase from the prior Fiscal Year, if any, in the Local Consumer Price Index (CPI) for the San Francisco-Oakland-San Jose Area for All Urban Consumers, or (ii) four percent (4%). The CPI used shall be as determined by the Bureau of Labor Statistics from April to April beginning with the period from April 2013 to April 2014.



**“Final Map”** means a final map, or portion thereof, recorded by the County pursuant to the Subdivision Map Act (California Government Code Section 66410 et seq.) that creates individual lots on which building permits for new construction may be issued without further subdivision and for which no further subdivision is anticipated pursuant to a tentative map approved for the property or, if no tentative map has been approved, pursuant to a then current specific plan or other land use plan for the property.

**“Fiscal Year”** means the period starting July 1 and ending on the following June 30.

**“Maximum Special Tax”** means the greatest amount of Special Tax that can be levied in any Fiscal Year determined in accordance with Section C below.

**“Multi-Family Property”** means, in any Fiscal Year, all Parcels of Taxable Property for which a building permit or use permit has been issued for construction of a residential structure with five or more Units that share a single Assessor’s Parcel number, are offered for rent to the general public, and cannot be purchased by individual homebuyers.

**“Non-Residential Property”** means, in any Fiscal Year, all Parcels of Taxable Property for which a building permit was or is expected to be issued for construction of a structure that will be used for any non-residential purpose.

**“Proportionately”** means the following: (i) for Developed Property, the ratio of the actual Special Tax levied in any Fiscal Year to the Maximum Special Tax authorized to be levied in that Fiscal Year is equal for all Assessor’s Parcels of Developed Property; and (ii) for Undeveloped Property, the ratio of the actual Special Tax to the Maximum Special Tax is equal for all Assessor’s Parcels of Undeveloped Property.

**“Public Property”** means any property within the boundaries of CFD No. 2013-1 that is owned by or irrevocably offered for dedication to the federal government, State of California, County, City, or other local government or public agency.

**“Residential Property”** means, collectively, Single Family Detached Property, Single Family Attached Property, and Multi-Family Property. Notwithstanding the foregoing, if a building permit is issued for a structure that includes both Residential Units and non-residential uses, the Residential Units within the building will be categorized as Residential Property, and a Special Tax shall be calculated separately for the Residential Units and Non-Residential Property on the Parcel, as set forth in Section C.1.c below.

**“Residential Unit”** means an individual single-family detached unit, an individual residential unit within a duplex, halfplex, triplex, fourplex, townhome, live/work or condominium structure, or an individual apartment unit.

**“SFD Lot”** means an individual residential lot, identified and numbered on a recorded Final Map, on which a building permit was or is permitted to be issued for construction of a single family detached unit without further subdivision of the lot and for which no further subdivision of the lot is anticipated pursuant to an approved tentative map.

**“Single Family Attached Property”** means, in any Fiscal Year, all Parcels of Taxable Property for which a building permit was or is expected to be issued for construction of a residential

structure consisting of two or more Units that share common walls, have separate Assessor's Parcel numbers assigned to them (except for a duplex unit, which may share an Assessor's Parcel with another duplex unit), and may be purchased by individual homebuyers (which shall still be the case even if the Units are purchased and subsequently offered for rent by the owner of the unit), including such residential structures that meet the statutory definition of a condominium contained in Civil Code Section 1351.

**"Single Family Detached Property"** means, in any Fiscal Year, all Parcels of Taxable Property for which a building permit was or is expected to be issued for construction of a Unit that does not share a common wall with another Unit. An Accessory Unit that shares a Parcel with a single-family detached unit shall not be considered a separate Unit for purposes of this Amended RMA.

**"Special Tax"** means a Special Tax levied in any Fiscal Year to pay the Special Tax Requirement.

**"Special Tax Requirement"** means the amount of revenue needed in any Fiscal Year to pay for the following: (i) Authorized Services; (ii) Administrative Expenses; and (iii) amounts needed to cure any delinquencies in the payment of Special Taxes which have occurred or, based on delinquency rates in prior years, may be expected to occur in the Fiscal Year in which the Special Tax will be collected.

**"Taxable Property"** means all Assessor's Parcels within the boundaries of CFD No. 2013-1 that are not exempt from the Special Tax pursuant to law or Section E below.

**"Tax Zone"** means a mutually exclusive geographic area within which the Special Tax may be levied pursuant to this Amended RMA. All of the property within CFD No. 2013-1 at the time of CFD Formation is within Tax Zone 1. Additional Tax Zones may be created when property is annexed to the CFD, and a separate Maximum Special Tax shall be identified for property within the new Tax Zone at the time of such annexation. The Assessor's Parcels included within a new Tax Zone established when such Parcels are annexed to the CFD shall be identified by Assessor's Parcel number in the Unanimous Approval Form that is signed by the owner(s) of the Parcels at the time of annexation.

**"Unanimous Approval Form"** means that form executed by the record owner of fee title to a Parcel or Parcels annexed into the CFD that constitutes the property owner's approval and unanimous vote in favor of annexing into the CFD and the levy of the Special Tax against his/her Parcel or Parcels pursuant to this Amended RMA.

**"Undeveloped Property"** means, in any Fiscal Year, all Parcels of Taxable Property in CFD No. 2013-1 that are not Developed Property.

## **B. DATA FOR ANNUAL TAX LEVY**

Each Fiscal Year, the Administrator shall identify the current Assessor's Parcel numbers for all Parcels of Taxable Property within the CFD. The Administrator shall also determine: (i) whether each Assessor's Parcel of Taxable Property is Developed Property or Undeveloped Property; (ii) in which Tax Zone each Assessor's Parcel is located; and (iii) the Special Tax Requirement for the then-current Fiscal Year.

In any Fiscal Year, if it is determined that (i) a Final Map for a portion of property in the CFD was recorded after the last date upon which the Assessor will incorporate the newly-created Parcels into the then current tax roll, and (ii) because of the date the Final Map was recorded, the Assessor does not yet recognize the new Parcels created by the Final Map, the Administrator shall calculate the Special Tax for the property affected by recordation of the Final Map by determining the Special Tax that applies separately to each newly-created Parcel, then applying the sum of the individual Special Taxes to the original Parcel that was subdivided by recordation of the Final Map.

## C. MAXIMUM SPECIAL TAXES

### 1. **Developed Property**

#### *a. Residential Property*

The Maximum Special Tax for Fiscal Year 2013-14 for all Parcels of Residential Property within Tax Zone 1 shall be \$146 per SFD Lot or Residential Unit. All of the property within the CFD at the time of CFD Formation is within Tax Zone 1; a different Maximum Special Tax may be identified for property that annexes into the CFD and is part of a separate Tax Zone. Beginning July 1, 2014 and each July 1 thereafter, the Maximum Special Tax for Residential Property shall be increased by the Escalation Factor.

#### *b. Non-Residential Property*

The Maximum Special Tax for Fiscal Year 2013-14 for Non-Residential Property within Tax Zone 1 shall be \$960 per Acre. All of the property within the CFD at the time of CFD Formation is within Tax Zone 1 a different Maximum Special Tax may be identified for property that annexes into the CFD and is part of a separate Tax Zone. Beginning July 1, 2014 and each July 1 thereafter, the Maximum Special Tax for Non-Residential Property shall be increased by the Escalation Factor.

#### *c. Mixed-Use Property*

If, in any Fiscal Year, the Administrator determines that a Parcel of Developed Property is built or proposed to be built with both Residential Units and non-residential uses, the Maximum Special Tax for the Parcel shall be the sum of (i) the Maximum Special Tax for Residential Property multiplied by all Residential Units on the Parcel, and (ii) the Maximum Special Tax for Non-Residential Property multiplied by the full Acreage of the Parcel. After the aggregate Maximum Special Tax has been determined for a Parcel, such Maximum Special Tax shall be escalated beginning the next Fiscal Year and each Fiscal Year thereafter by the Escalation Factor.

**2. Undeveloped Property**

The Maximum Special Tax for Fiscal Year 2013-14 for all Parcels of Undeveloped Property within Tax Zone 1 shall be \$1,191 per Acre. Beginning July 1, 2014 and each July 1 thereafter, the Maximum Special Tax for Undeveloped Property shall be increased by the Escalation Factor.

**D. METHOD OF LEVY AND COLLECTION OF SPECIAL TAXES**

Each Fiscal Year, the Administrator shall determine the Special Tax Requirement for that Fiscal Year and levy the Special Tax on all Parcels of Taxable Property as follows:

Step 1: The Special Tax shall be levied Proportionately on each Parcel of Developed Property up to 100% of the Maximum Special Tax for each Parcel for such Fiscal Year until the amount levied is equal to the Special Tax Requirement;

Step 2: If additional revenue is needed after Step 1, the Special Tax shall be levied Proportionately on each Parcel of Undeveloped Property up to 100% of the Maximum Special Tax for each Parcel for such Fiscal Year until the amount levied, when combined with the amount levied pursuant to Step 1, is equal to the Special Tax Requirement.

The Special Taxes for CFD No. 2013-1 shall be collected in the same manner and at the same time as ordinary ad valorem property taxes, provided, however, that the Authority may directly bill the Special Tax, may collect Special Taxes at a different time or in a different manner, and may collect delinquent Special Taxes through foreclosure or other available methods.

**E. EXEMPTIONS**

Notwithstanding any other provision of this Amended RMA, no Special Tax shall be levied on Parcels of Association Property or Public Property, except as otherwise provided in the Act.

**F. INTERPRETATION OF SPECIAL TAX FORMULA**

The Authority reserves the right to make minor administrative and technical changes to this document that do not materially affect the rate and method of apportioning Special Taxes. In addition, the interpretation and application of any section of this document shall be left to the Authority's discretion. Interpretations may be made by the Authority by ordinance or resolution for purposes of clarifying any vagueness or ambiguity in this Amended RMA.

**G. APPEAL OF SPECIAL TAX LEVY**

Any property owner claiming that the amount or application of the Special Tax is not correct may file a written notice of appeal with the Administrator not later than one calendar year after having paid the Special Tax that is disputed. The Administrator shall promptly review the appeal and, if necessary, meet with the property owner, consider written and oral evidence regarding the amount of the Special Tax, and decide the appeal. If the property owner disagrees with the Administrator's decision relative to the appeal, the owner may then file a written appeal with the Board whose subsequent decision shall be binding. If the decision of the Administrator (if the appeal is not filed with the Board) or the Board (if the appeal is filed

with the Board) requires the Special Tax to be modified or changed in favor of the property owner, no cash refund shall be made for prior years' Special Tax levies, but an adjustment shall be made to the next Special Tax levy(ies). This procedure shall be exclusive and its exhaustion by any property owner shall be a condition precedent to filing any legal action by such owner.

## EXHIBIT C

RIVER ISLANDS PUBLIC FINANCING AUTHORITY  
COMMUNITY FACILITIES DISTRICT NO. 2013-1  
(RIVER ISLANDS PUBLIC SERVICES)  
ANNEXATION NO. 11

### MAXIMUM SPECIAL TAXES FOR ZONE 2 OF THE CFD

The table below identifies the Maximum Special Tax for Taxable Property within Tax Zone 2 and all Parcels that annex into Tax Zone 2.

#### TAX ZONE 2 MAXIMUM SPECIAL TAXES

<i>Type of Property</i>	<i>Maximum Special Tax Fiscal Year 2013-14 *</i>
Residential Property	\$276.26 per SFD Lot or Residential Unit
Non-Residential Property	\$960.00 per Acre
Mixed-Use Property	See Formula in RMA
Undeveloped Property	\$1,191.00 per Acre

*\* On July 1, 2014, and on each July 1 thereafter, the Maximum Special Taxes shown in Table 1 above shall be increased by the Escalation Factor.*

**RECORDING REQUESTED BY AND  
AFTER RECORDATION RETURN TO:**

Secretary  
River Islands Public Financing Authority  
73 West Stewart Road  
Lathrop, CA 95330

Recorded for the benefit of the River Islands  
Public Financing Authority pursuant to  
Government Code Section 27383

**AMENDMENT NO. 9 TO NOTICE OF SPECIAL TAX LIEN**

River Islands Public Financing Authority  
Community Facilities District No. 2016-1  
(River Islands Supplemental)  
Annexation No. 7

Pursuant to the requirements of Section 3117.5 of the Streets and Highways Code of California and the Mello-Roos Community Facilities Act of 1982, as amended, Section 53311, *et. seq.*, of the California Government Code (the "Act"), the undersigned Secretary of the River Islands Public Financing Authority (the "Authority"), County of San Joaquin, State of California, hereby gives notice that a lien to secure payment of a special tax is hereby imposed by the Board of Directors of the Authority on the property described in Exhibit A hereto. The special tax secured by this lien is authorized to be levied for the purpose of paying the costs of facilities described in Exhibit A to the Notice of Special Tax Lien heretofore recorded in the Office of the County Recorder for the County of San Joaquin, State of California (the "County Recorder") on September 19, 2016 as Document No. 2016-112901 (the "Original Notice"), and said special tax is to be levied according to the Amended Rate and Method of Apportionment of Special Tax set forth in Exhibit B to the First Amendment to Notice of Special Tax Lien recorded in the Office of the County Recorder on February 16, 2017 as Document No. 2017-020077 (the "First Amendment"), to which recorded Original Notice and First Amendment reference is hereby made and the provisions of both of which are hereby incorporated herein in full by this reference.

This Amendment No. 9 to Notice of Special Tax Lien further amends the Original Notice to add to the territory within the River Islands Public Financing Authority Community Facilities District No. 2016-1 (River Islands Supplemental) certain real property identified in Exhibit A hereto (the "Property") and shown within the future annexation area on the boundary map of the community facilities district recorded on August 3, 2016, in Book 6 of Maps of Assessment and Community Facilities Districts at Page 88 (Document No. 2016-090572, in the Office of the County Recorder, which map is the final boundary map of the community facilities district. The Property is being annexed into Zone 3 of the community facilities district, as described in the Amended Rate and Method of Apportionment of Special Taxes for the community facilities district attached as Exhibit A to the First Amendment, with the maximum special tax rates identified in Exhibit B hereto.

The assessor's tax parcel(s) numbers of all parcels or any portion thereof which are included in this Amendment No. 9 to Notice of Special Tax Lien, together with the name(s) of the owner(s) thereof, as they appear on the latest secured assessment roll as of the date of recording hereof or as are otherwise known to the Authority are as set forth in Exhibit A hereto which is by this reference made a part hereof.

For further information concerning the current and estimated future tax liability of owners or purchasers of real property or interests therein subject to the special tax lien, interested persons should contact the Treasurer of the River Islands Public Financing Authority, 73 West Stewart Road, Lathrop, California 95330, telephone number (209) 879-7900.

Dated: \_\_\_\_\_, 2020.

By: \_\_\_\_\_  
Karna E. Harrigfeld, Secretary,  
River Islands Public Financing Authority



**EXHIBIT A**

**RIVER ISLANDS PUBLIC FINANCING AUTHORITY  
COMMUNITY FACILITIES DISTRICT NO. 2016-1  
(RIVER ISLANDS SUPPLEMENTAL)  
ANNEXATION NO. 7**

**ASSESSOR'S PARCEL NUMBER(S) AND OWNER(S) OF LAND WITHIN  
ANNEXATION NO. 7 TO RIVER ISLANDS PUBLIC FINANCING AUTHORITY  
COMMUNITY FACILITIES DISTRICT NO. 2016-1  
(RIVER ISLANDS SUPPLEMENTAL)**

Name(s) of Property Owner(s)	San Joaquin County Assessor's Parcel No.
River Islands Development, LLC	210-400-05

**EXHIBIT B**

**RIVER ISLANDS PUBLIC FINANCING AUTHORITY  
COMMUNITY FACILITIES DISTRICT NO. 2016-1  
(RIVER ISLANDS SUPPLEMENTAL)**

**MAXIMUM SPECIAL TAXES FOR ZONE 3 OF THE CFD**

The table below identifies the Maximum Special Tax for Taxable Property within Tax Zone 3 and all Parcels that annex into Tax Zone 3.

**TAX ZONE 3  
MAXIMUM SPECIAL TAXES**

<i>Type of Property</i>	<i>Maximum Special Tax Fiscal Year 2016-17 *</i>
Residential Property	\$5,000 per Unit
Other Property	\$0 per Acre
Undeveloped Property	\$0 per Acre

*\* On July 1, 2017, and on each July 1 thereafter, the Maximum Special Taxes shown in Table 1 above shall be increased by an amount equal to two percent (2%) of the amount in effect for the prior Fiscal Year.*

**ITEM 5.1**

**CITY MANAGER'S REPORT  
MAY 11, 2020 CITY COUNCIL REGULAR MEETING**

**ITEM:** **CONSIDER APPEAL OF THE PLANNING COMMISSION'S DECISION TO APPROVE THE CFT PHASE 2 PROJECT.**

**RECOMMENDATION:** **Council to Consider the Following:**

- 1. Consider All Written and Oral Information Presented in this Report and at the Meeting of May 11, 2020; and**
- 2. Adopt a Resolution to Affirm the Planning Commission's Decision to Approve Resolution No. 20-6 for a Site Plan Review for the Construction of a 1,608 sq. ft. Sonic Drive-In Restaurant on a 0.69 Acre Site and an 862 Sq. Ft. Dutch Brothers Coffee with Drive-Through on a 0.49 Acre Site, with Related Site Work Including Landscaping, Lighting, and Frontage Improvements.**

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**SUMMARY:**

Mr. Sunny Ghai of Ghai Management filed an appeal of the Planning Commission (PC) approval of Resolution No. 20-6 related to the CFT Phase 2 Project ("the Project"). PC Resolution No. 20-6 includes the approval of Site Plan Review No. SPR-20-6 for the construction of a 1,608 sq. ft. Sonic Drive-In Restaurant on a 0.69-acre site and an 862 sq. ft. Dutch Brothers Coffee with drive-through on a 0.49-acre site, with related site work including landscaping, lighting, and frontage improvements. Mr. Ghai appealed the PC's decision on the basis that he believes the project would create cut-through traffic across the O'Reilly-Burger King site for access to Harlan Road.

Lathrop Municipal Code 17.125.060 provides that the City Council may "confirm, modify, or reverse the action of the approving authority, in whole or in part, or add or amend such conditions as it deems necessary."

Staff recommends that the City Council affirm the decision of the Planning Commission to approve the CFT Phase 2 Project (SPR-20-6).

**BACKGROUND:**

On March 18, 2020, the Planning Commission approved the Site Plan Review for the CFT Phase 2 Project (see Attachment 2 for PC Staff Report).

**CITY MANAGERS REPORT  
MAY 11, 2020 CITY COUNCIL REGULAR MEETING  
APPEAL OF CFT PHASE 2 PROJECT**

**PAGE 2**

The project site is located at 15107 and 15135 Old Harlan Road and is bounded by the recently constructed Panda Express Restaurant and W. Lathrop Road to the north, Old Harlan Road and existing commercial development to the east, commercial development and Harlan Road to the south and Interstate 5 to the west.

The project is Phase 2 of the CFT Development. Phase 1 included the development of the recently opened Panda Express Restaurant. The Panda Express Site Plan Review No. SPR-18-92 was approved by the Planning Commission on January 16, 2019. The Planning Commission's approval of Phase 1 was conditioned, along with the standard development conditions, to fund the preparation of a traffic study for development of the remaining project area.

In compliance with this condition, a Traffic Study was prepared by Crane Transportation Group, dated December 9, 2019 for CFT Phase 2. The purpose of the Traffic Study was to determine the potential circulation impacts due to the proposed development including the existing Panda Express restaurant.

**ANALYSIS:**

**Planning Commission Summary**

As stated above, the Planning Commission approved Site Plan Review No. SPR-20-6 for the CFT Phase 2 Project on March 18, 2020 with a 3-1 vote (Commissioner Dresser Opposed and Commissioner Ralmilay Absent). During the Planning Commission meeting, the Commissioner's deliberated and raised concerns related to traffic and safety. These concerns are re-stated below including Staff's response:

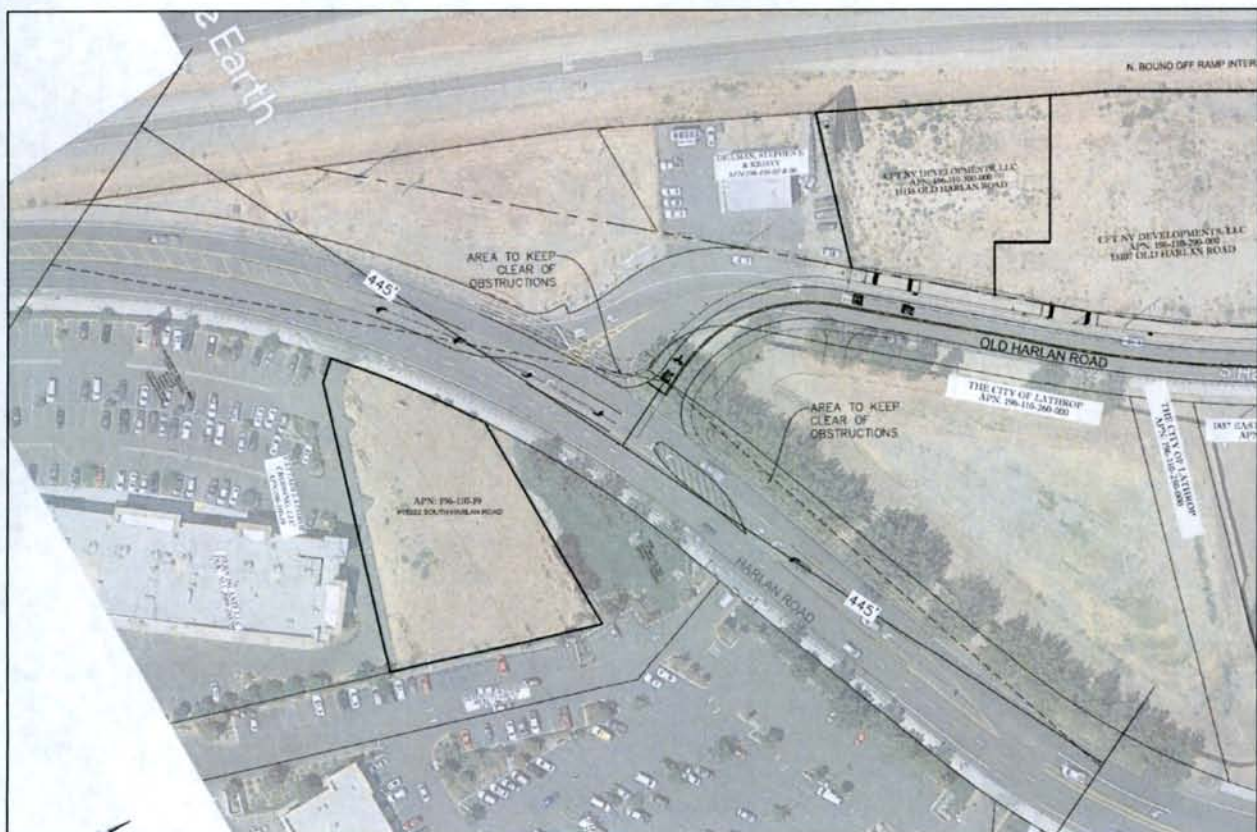
- *Commissioner Dresser raised safety concerns regarding speeding vehicles and potential sight distance obstruction along the re-alignment of Old Harlan Road and Harlan Road.*

As discussed in the Traffic Study, a recommended improvement to be implemented by the Developer is to relocate the Old Harlan Road and Harlan Road intersection to allow northbound left turns from Old Harlan Road to Harlan Road, which is currently limited to southbound right turns. This design requires relocation of the existing intersection about 100-feet to the north to establish a 90-degree point-of-connection. The new location also provides for dedicated north and south bound left turn pockets to Old Harlan Road, and the Lathrop Crossing shopping center.

It is important to note that the required 300-feet of stopping sight distance for the 40 mile per hour vehicle approach, as required by the Highway Design Manual (HDM) is maintained with the relocation.

In fact, the draft design exceeds this requirement by providing 445-feet of stopping distance, or what amounts to an additional 145-feet or 50% more than the minimum requirement per the HDM.

Below is a draft design of the Old Harlan Road and Harlan Road intersection. As illustrated, the new design provides a left turn lane from Old Harlan Road to Harlan Road in addition to restriping of Harlan Road allowing a back-to-back left turns on the Old Harlan Road and the Lathrop Crossing Shopping Center. The Final design and alignment is forthcoming and the alignment illustrated below and in the Traffic Study (Figure 25) is not final.



During the Planning Commission meeting, Mr. Ghai stated his concerns that are now noted in his appeal. The City Engineer explained details of the Traffic Study, and how the recommendation in that Traffic Study would both improve the existing condition for vehicles exiting his property to turn left onto Harlan Road, and would provide an alternative return to Interstate 5 that would be safer for new traffic than cutting through his site.

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APPEAL OF CFT PHASE 2 PROJECT**

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**Appeal:**

On March 27, 2020, Mr. Sunny Ghai of Ghai Management, submitted an application to appeal the Planning Commission's decision approving the CFT Phase 2 Project. The Appeal Application is Attachment 5 of the staff report.

Mr. Ghai's claim is reflected in *italics* and staff's response is provided below. The staff report containing the analysis and findings supporting the Commission's decision is provided in Attachment 2.

- Mr. Ghai's Claim:  
*We believe that the project as approved will be to the detriment of the business of our Burger King located across the street as the developers own traffic study states that if the exits are backed up customers from the new development will cross the Burger King driveway to exit onto new Harlan Road.*

The Traffic Study referenced by Mr. Ghai was a condition of approval for the Panda Express Project (Phase 1), triggered by the development of Phase 2. The condition to require a Traffic Study for the CFT Phase 2 was in part established to address Mr. Ghai's concerns during the Phase 1 review. Mr. Ghai's primary concerns at that time were 1) cut through traffic using the O'Reilly-Burger King driveway to gain access to Harlan Road, Lathrop Road and Interstate 5; and 2) the potential for the City to extend the raised median of the northbound left turn-pocket southward to limit the O'Reilly-Burger King driveway to right-in and right-out access only to Harlan Road due to the increase in vehicle movements.

Staff recognizes that businesses along Old Harlan Road are likely to draw customers from Interstate 5. These customers will then need to get back to Interstate 5 to continue their journey. Currently, left turns are not allowed from southbound Old Harlan Road to northbound Harlan Road. For that reason, the only practical ways to return from Old Harlan Road to Interstate 5 are either by 1) traveling north on Old Harlan Road, turning right onto Lathrop Road, and making a U-turn at Harlan Road, and continuing westbound on Lathrop Road to Interstate 5, or 2) entering the Old Harlan Road driveway to the O'Reilly-Burger King site, crossing the site and turning left onto Harlan Road, then left at Lathrop Road and continuing westbound on Lathrop Road to Interstate 5.

The Traffic Study analysis reviewed level of service and delay at each intersection, vehicle queuing on critical approaches to select intersections, and the possibility that some project traffic may use the O'Reilly-Burger King parking lot for access to Harlan Road.

The Traffic Study concluded that both in the existing plus project, and cumulative plus project scenarios, there will be additional queuing on the northbound Old Harlan Road approach to W. Lathrop Road and that diversion of some backed up drivers through the Chevron or O'Reilly-Burger King driveways could be possible.

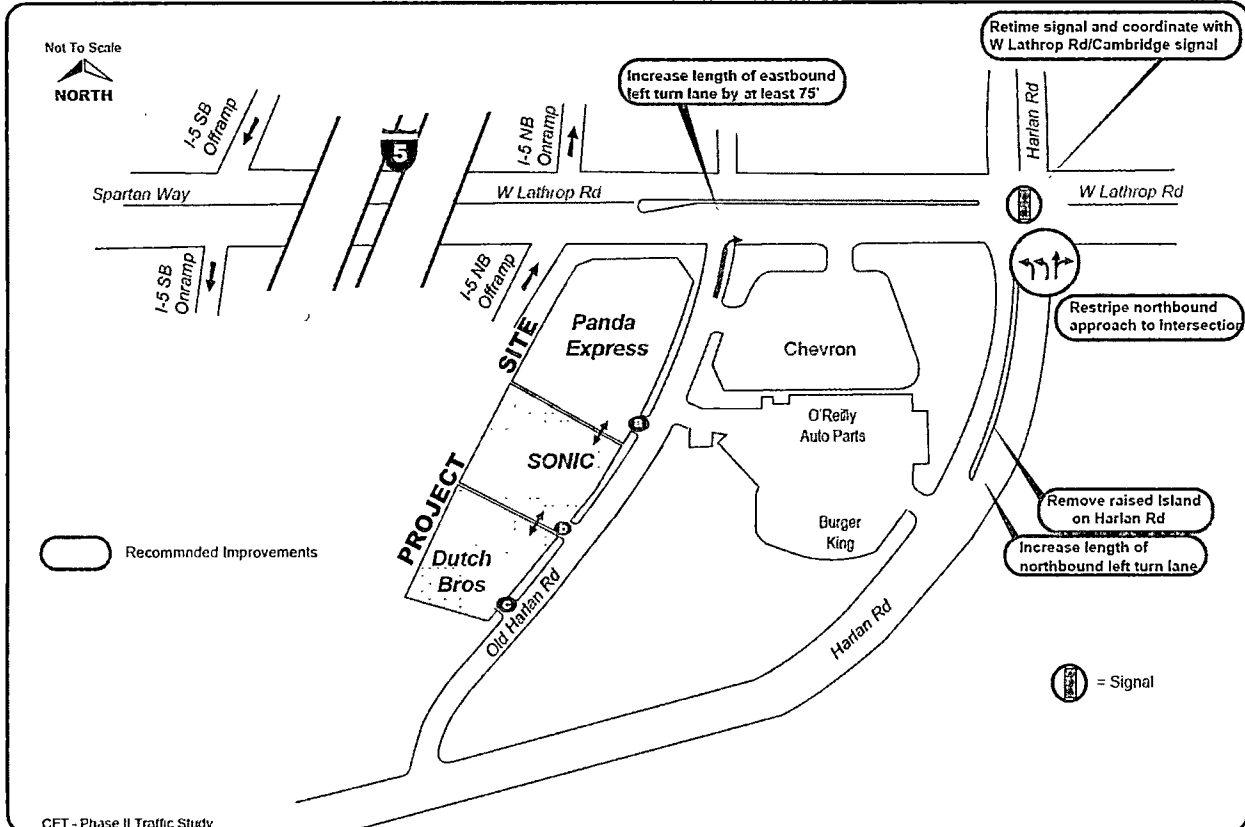
In order to address the existing and proposed vehicle queuing and delay identified by the Traffic Study, off-site improvements to improve traffic flow, reduce the potential for cut-through traffic, and improve safety for pedestrians accessing the area were recommended. One main recommendation was to provide a safer and easier route to Interstate 5 than the other two existing options described above. The improvements necessary to accommodate these goals and recommendation are identified as City Responsibility (existing without project) and Developer Responsibility (existing and cumulative). These improvements are summarized below.

City Responsibility – Existing without Project

The following improvements are identified as an existing need, and are therefore the responsibility of the City. These improvements will enhance the existing circulation conditions of the area.

- Reconfigure the northbound Harlan Road approach to W. Lathrop Road to provide two (2) exclusive left turn lanes and a combined through/right turn lane. Because of the high volume of traffic turning left at Lathrop Road, adding another left turn lane will reduce existing backups at this intersection.
- Remove the south end of the raised median island on Harlan Road south of W. Lathrop Road at the entrance to the existing northbound left turn lane. Continue this existing turn lane south to the Burger King-O'Reilly's driveway. Currently, vehicles turning left out of the Burger King-O'Reilly's driveway must first merge with traffic in the through lane, and then enter the left turn lane to return to Interstate 5. The modification to the island would allow vehicles turning left from the driveway to enter directly into the left turn lane without merging with through traffic on northbound Harlan Road. This would improve the existing condition.
- Extend the length of the left turn lane on the eastbound W. Lathrop Road approach to Harlan Road by at least seventy-five (75) feet. This would allow vehicles turning left at Lathrop Road to move out of the through lane, improving operation of the Harlan/Lathrop Road intersection, and allow added room for vehicles that choose to take this route back to Interstate 5.

- Retime the W. Lathrop Road/Harlan Road signal to coordinate timing with the W. Lathrop Road/Cambridge signal. This will improve traffic flow on Lathrop Road by providing a green at both intersections, reducing the likelihood of having to stop at both intersections.



CRANE TRANSPORTATION GROUP

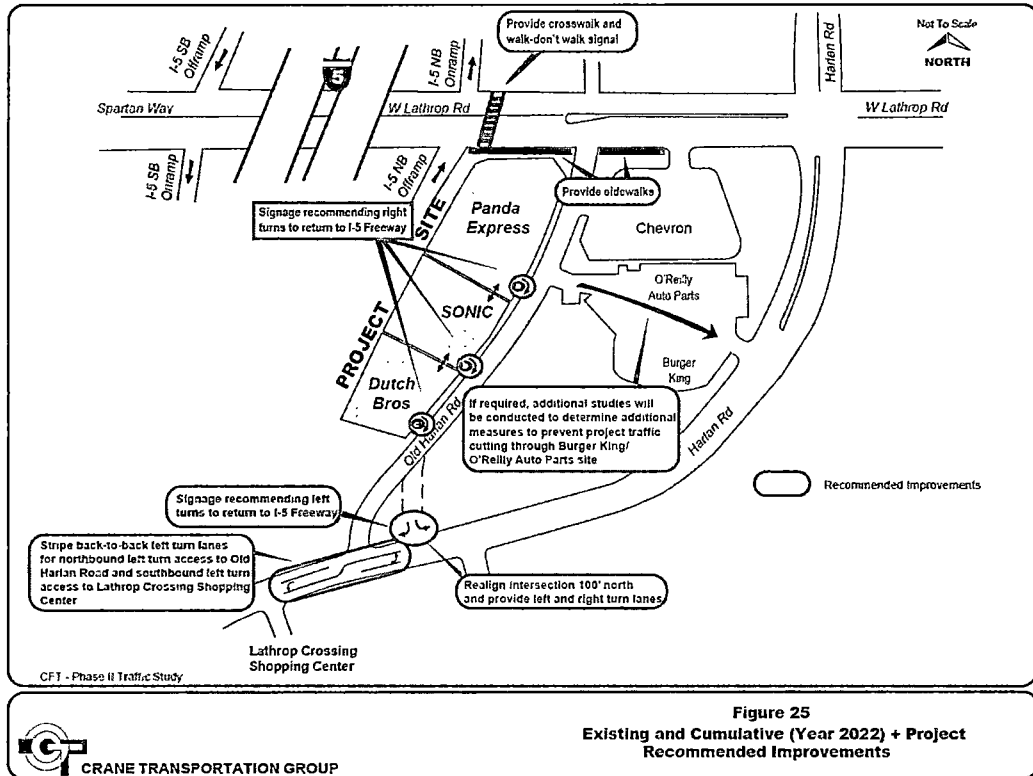
**Figure 24**  
**Existing and Cumulative (Year 2022)**  
**Recommended Improvements (without Project)**  
**City Responsibility**



Developer Responsibility – Existing and Cumulative

The following improvements are identified as the responsibility of the developer of the CFT Phase II Project. These improvements are required to alleviate the impacts identified in the Traffic Impact Study as a result of the construction of the project. These improvements are incorporated in the project Conditions of Approval.

- Relocate the Old Harlan Road connection to Harlan Road about 100 feet to the north and provide two (2) lanes on the Old Harlan Road approach: one (1) for left turns and one (1) for right turns. Restripe the median of Harlan Road just south of the new intersection to provide defined back-to-back left turns on to Old Harlan Road and into the driveway providing access into the Lathrop Crossing shopping center on the east side of Harlan Road. This will provide a new, safer and encouraged route to return to Interstate 5.
- Provide signs adjacent to the exit lanes at each of the three (3) project driveways showing an arrow pointing to the right (to southbound Old Harlan Road) and a message stating I-5 access turn right. Provide a sign on the southbound Old Harlan Road approach to Harlan Road with an arrow pointing left and a message stating I-5 access turn left.
- Provide sidewalks on the south side of W. Lathrop Road extending east and west of Old Harlan Road (from I-5 Ramps intersection to the Chevron driveway).
- Provide a crosswalk at the W. Lathrop Road/I-5 NB Ramps intersection crossing W. Lathrop Road just east of the intersection. Provide pedestrian walk/don't walk signals in conjunction with the crosswalk. This will provide access for high school students walking to and from Lathrop High School.
- In order to ensure that Dutch Brothers customers do not congest the Sonic driveway during peak activity times, it may be necessary for Dutch Brothers to provide moveable orange cones across the internal Dutch Brothers-Sonic parking lot connection.



As stated above, the Traffic Study included a list of recommended improvements, both to be implemented by the City and the Developer, to improve the traffic circulation in the area and reduce the possibility of drivers utilizing the O’Reilly-Burger King driveway to access Harlan Road. The traffic recommendations to be implemented by the Developer are included as Conditions of Approval of the project. More specifically, the Developer is required to provide signage recommending right turns out of the Panda Express, Sonic and Dutch Brothers properties to return to I-5 and relocate the Old Harlan Road and Harlan Road intersection to allow a left turn. These improvements will reduce the queue on the northbound Old Harlan Road approach to W. Lathrop Road and reduce the chance for backed up drivers to utilize the O’Reilly-Burger King driveway to access Harlan Road. It is important to note that the City does not have a mechanism to prevent customers from a nearby business driving through an adjacent commercial property.

Staff finds that the Traffic Study adequately analyzed the project, identified a concern, and recommended off-site improvements that will improve traffic flow, reduce the potential for cut-through traffic, and will improve safety for pedestrians accessing the area.

**CITY MANAGERS REPORT  
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On this basis, staff recommends that the City Council affirm the decision of the Planning Commission to approve this Project.

**RECOMMENDATION:**

Approve a Resolution, affirming the decision of the Planning Commission to approve Planning Commission Resolution No. 20-6.

**ALTERNATIVE TO RECOMMENDED ACTION:**

Traffic control measures, including stop signs and traffic signals, come at a cost. That cost is both financial for the cost to construct and maintain the improvement, and the cost of delay created by stop signs and traffic signals. They are typically installed when the traffic volumes on the cross street are high, and the resulting accident rate is also high, and the need for increased safety is therefore greater than the resulting delay to the public. The City Council has the option to modify the Planning Commission's decision and add a new condition to install a three (3) way stop sign at the intersection of Old Harlan Road and Harlan Road. If this alternative to modify the decision by the Planning Commission is chosen by the City Council, the Council needs to adopt the Alternative Resolution (Attachment 4).

**FISCAL IMPACT:**

The required Appeal of Planning Commission Action application fee of \$588 was paid by the applicant. The appeal request has no fiscal impact to the City.

**ATTACHMENT:**


1. City Council Resolution to affirm the decision of the Planning Commission approving the CFT Phase 2 Project, SPR-20-6 (PC Reso No. 20-6)
2. March 18, 2020 Planning Commission Staff Report with attachments
3. Draft Planning Commission Minutes for March 18, 2020 meeting
4. Alternative Resolution to modify the decision of the Planning Commission to add a condition to install a three (3) way stop at the intersection of Harlan Road and Old Harlan Road (Exhibit A).
5. Appeal Application Submitted by Mr. Sunny Ghai, dated March 27, 2020.

**CITY MANAGERS REPORT  
MAY 11, 2020 CITY COUNCIL REGULAR MEETING  
APPEAL OF CFT PHASE 2 PROJECT**

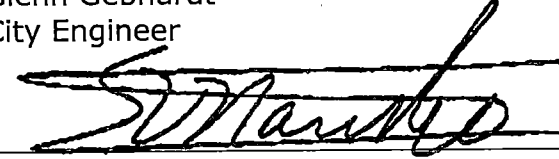
**APPROVALS:**

  
\_\_\_\_\_  
Mark Meissner  
Community Development Director

4/16/2020  
Date

 **MICHAEL KING FOR**  
\_\_\_\_\_  
Glenn Gebhardt **DIR. OF PW**  
City Engineer

4/20/2020  
Date

  
\_\_\_\_\_  
Salvador Navarrete  
City Attorney

4/20/2020  
Date

  
\_\_\_\_\_  
Stephen J. Salvatore  
City Manager

4.29.2020  
Date

**RESOLUTION NO. 20-**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP TO  
AFFIRM PLANNING COMMISSION APPROVAL OF RESOLUTION NO. 20-6  
RELATED TO THE CFT PHASE 2 PROJECT (SPR-20-6)**

**WHEREAS**, the City of Lathrop Planning Commission held a duly noticed public meeting on March 18, 2020 and adopted Resolution No. 20-6 approving the CFT Phase 2 Project with a 3-1 vote (Commissioner Dresser opposed and Commissioner Ralmilay absent); and

**WHEREAS**, on March 27, 2020, Mr. Sunny Ghai of Ghai Management submitted an application to appeal the Planning Commission's decision approving the CFT Phase 2 Project (PC Reso No. 20-6); and

**WHEREAS**, proper notice of this public meeting was given in all respects as required by law; and

**WHEREAS**, the City Council has reviewed all written evidence and oral testimony presented to date.

**NOW THEREFORE, BE IT RESOLVED** that the City Council of the City of Lathrop, based on substantial evidence in the administrative record of proceedings, its findings above, and pursuant to its independent review and consideration, does hereby affirm the decision by the Planning Commission to approve Planning Commission Resolution No. 20-6 related to the CFT Phase 2 Project and deny the appeal filed by Mr. Ghai.

**PASSED AND ADOPTED** by the City Council of the City of Lathrop at a regular meeting on the 11<sup>th</sup> day of May, 2020 by the following vote:

AYES:

NOES:

ABSTAIN:

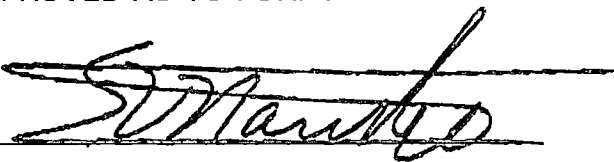
ABSENT:

\_\_\_\_\_  
SONNY DHALIWAL, MAYOR

ATTEST:

APPROVED AS TO FORM:

\_\_\_\_\_  
Teresa Vargas, City Clerk

\_\_\_\_\_  
  
Salvador Navarrete, City Attorney



PLANNING COMMISSION  
STAFF REPORT

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**DATE:** March 18, 2020

**APPLICATION NO:** CFT Phase 2 Site Plan Review No. SPR-20-6

**LOCATION:** 15107 and 15135 Old Harlan Road  
Lathrop, CA 95330  
APN: 196-110-29 and -30

**REQUEST:** Planning Commission to consider adoption of a Resolution approving the CFT Phase 2 Site Plan Review for the construction of a 1,608 sq. ft. Sonic Drive-In Restaurant on a 0.69 acre site and an 862 sq. ft. Dutch Brothers Coffee with drive-through on a 0.49 acre site, with related site work including landscaping, lighting, and frontage improvements.

**APPLICANT:** Gary Wang & Associates, Inc.  
Attn: Mr. Luis Guzman  
1000 Corporate Center Drive, Suite 550  
Monterey Park, CA 91754

**GENERAL PLAN:** CC, Community Commercial

**ZONING:** CC, Central Commercial

**CEQA STATUS:** Categorically Exempt according to the California Environmental Quality Act Article 19 §15332 Class 32 "In-Fill Development".

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**SUMMARY:**

The applicant, Mr. Luis Guzman, is requesting approval of a Site Plan Review for the construction of a 1,608 sq. ft. Sonic Drive-In Restaurant and an 862 sq. ft. Dutch Brothers, located south of the recently constructed Panda Express Restaurant (i.e. CFT Phase I). The proposed project is known as "CFT Phase II".

The Sonic Drive-In Restaurant is proposed on a 0.69 acre site and the Dutch Brothers is proposed on a 0.49 acre site. The Panda Express, Sonic Drive-In, and Dutch Brothers will be internally connected via a drive aisle to allow shared access and parking.

## ITEM 9.1

A Traffic Study was prepared by Crane Transportation Group, dated December 9, 2019 that identified various off-site improvements that improve pedestrian and vehicular safety, including but not limited to a signalized cross-walk at Lathrop Road, sidewalk along the Chevron frontage, and re-alignment of Old Harlan Road at Harlan Road to allow left turns north to Lathrop Road.

Associated site improvements include off-street parking (twenty-four (24) spaces for Sonic and six (6) spaces for Dutch Brothers), paving, landscaping, curb, gutter and sidewalk.

Staff recommends that the Planning Commission review and consider all information provided and submitted and, if determined appropriate, consider adoption of Resolution No. 20-6, approving Site Plan Review No. SPR-20-6 for the CFT Phase II Development.

### **SITE DESCRIPTION:**

The project is bounded by the recently constructed Panda Express Restaurant and W. Lathrop Road to the north, Old Harlan Road and existing commercial development to the east, commercial development and Harlan Road to the south and Interstate 5 to the west. The project area involves two (2) parcels that are 0.69 (Sonic) and 0.49 acres (Dutch Brothers) in size. As illustrated in the Vicinity Map (Attachment 3), the site is currently vacant and undeveloped. The property has a General Plan land use designation of CC, Community Commercial and is within the CC, Central Commercial Zoning District.

### **BACKGROUND:**

The proposed project is Phase II of the CFT Development. Phase I included the development of the recently opened Panda Express Restaurant, located north of the project sites. The Panda Express Site Plan Review No. SPR-18-92 was approved by the Planning Commission on January 16, 2019.

Sonic Drive-In is a drive-in fast food restaurant chain that serves prepared meals via drive-through, outdoor patio seating and drive-in parking spaces. Sonic Drive-In offers a variety of food such as hamburgers and fresh fries, onion rings, corn dogs, chili dogs, and breakfast toaster sandwiches. Drink options include soft drinks, slushes and milkshakes. Customers have the option to use the drive-through lane, use the outdoor patio, or drive-in parking stalls with integrated intercom system for ordering. Sonic Drive-In's intended hours of operation are Sunday through Saturday from 9:00 A.M. to 1:00 A.M. The restaurant is projected to have eight (8) employees per shift.

Dutch Brothers is a drive-through coffee shop that serves a variety of coffees, caffeinated beverages, and other drinks including tea, energy drinks, smoothies, hot cocoa, soft drinks, and lemonade. Most of the sales are provided via the drive-through service. However, walk-up order windows are provided. Dutch Brother's typical hours of operation are from 5:00 A.M. to 11:00 P.M every day. Dutch Brothers is projected to have five (5) employees per shift.



## ITEM 9.1

### ANALYSIS:

#### Site Plan & Onsite Circulation

As previously stated, the proposed project includes the construction of a 1,608 sq. ft. Sonic Drive-In Restaurant and an 862 sq. ft. drive-through Dutch Brothers, located south of the recently constructed Panda Express Restaurant. The Sonic Drive-In Restaurant is proposed on a 0.69 acre site and the Dutch Brothers is proposed on a 0.49 acre site. The Panda Express, Sonic Drive-In, and Dutch Brothers will be internally connected via a drive aisle to allow shared access and parking.

Access to each site (Sonic Drive-In and Dutch Brothers) is via a driveway to Old Harlan Road. According to the project plans (Attachment 4 – Sheet C4), Emergency Vehicle Access (EVA) is provided via the internal driveway aisles of the project sites which was found adequate by Lathrop Manteca Fire District (LMFD). Each site will include fire hydrants along the frontage of Old Harlan Road. The project is required to install curb, gutter and sidewalk on Old Harlan Road and as discussed in more detail below, also along W. Lathrop Road.

On-site pedestrian walkways will connect all three (3) sites in addition to the sidewalk constructed on Old Harlan Road. The pedestrian walkways are striped and marked to meet handicap accessible requirements.

Per Chapter 17.76: *Off-street parking and loading*, “Drive-In and Fast Food Restaurants” require one (1) space for each two (2) seats and one (1) space for each employee of the maximum working shift. According to the project plans, Sonic will include twenty-four (24) seats and ten (10) employees at maximum shift which equals a requirement of twenty-two (22) spaces. The Sonic site includes twenty-four (24) parking spaces. Ten (10) of the twenty-four (24) off-street parking spaces include canopies, for vehicle sit-in dining and ordering.

The Dutch Brothers will include six (6) seats and two (2) employees at maximum shift which equals a requirement of five (5) parking spaces. The Dutch Brothers site includes six (6) parking spaces. The proposed project meets the off-street parking requirement per the LMC.

The project includes a Condition of Approval that requires the applicant to record a Reciprocal Access and Parking Easement or similar mechanism that allows for and maintains vehicular and pedestrian access between the sites.

Bicycle parking will be located adjacent to the entrance of the Sonic and Dutch Brothers. The Sonic Drive-In trash enclosure is located in the north-western portion of the site and the Dutch Brothers trash enclosure is located in the eastern portion of the site. Review of the trash enclosure location is important to confirm that vehicular and pedestrian access is adequate and that the trash enclosures are consistent with the colors and material of the proposed buildings. Trash enclosures are required to be designed with three (3) solid walls, a gate and roof. Staff finds that the location and design of the trash enclosures are adequate and meet City Standards. The buildings meet the setbacks for the CC, Central Commercial Zoning District.

## ITEM 9.1

### Architecture and Elevation

Both Sonic Drive-In Restaurant and Dutch Brother Coffee are franchised restaurant and coffee chains. As a result, each brand has a distinct architectural style and colors that are consistent with each brand. As illustrated in the project color elevations (Attachment 4) for the Sonic Drive-In Restaurant, primary exterior colors include sand and bronze. The finish materials include stucco, stone veneer at the buildings corners and tower feature, brick veneer wainscoting, and aluminum canopies. The building also features a patio canopy at the north elevation to shade the outdoor seating area. The tower feature is thirty (30) feet to the top of the metal yellow dome. However, the majority of the building is eighteen in a half (18 1/2) feet in height. The height of the building is consistent with the development standards for the CC, Central Commercial Zoning District, and designed to screen roof-mounted mechanical equipment, such as air conditioning unit (HVAC) are required to be screened from view from the public right-of-way.

The primary exterior colors for Dutch Brothers are regal blue, grey, and pewter. The finish materials include metal siding, stone wainscoting around the building, and steel awnings. The metal awnings are located at the drive-through window and walk-up order window of the building. The building height is twenty-four (24) feet and is consistent with the CC, Central Commercial Zoning District. Roof-mounted mechanical equipment are required to be screened from the public right-of-way.

### Landscaping and Lighting

According to the Site Plan, landscaping will enhance approximately 5,649 sq. ft. of the Sonic Drive-In Restaurant site and 5,467 sq. ft. of the Dutch Brothers site, which represents approximately 18.7% and 25.6% of the sites.. This exceeds the LMC requirement of 15% landscaping for commercial projects. Large shade trees will be planted around customer parking areas and a variety of shade and accent trees will also be planted along the primary access driveways and the perimeter of the site. Landscaping along Old Harlan Road is at least ten (10) feet in width and perimeter landscaping is five (5) feet in width, meeting the requirements per the LMC. All landscaping elements would be installed according to the project's Landscape Plan and the City of Lathrop's Landscape Standards for Planting and Irrigation.

Lighting fixtures will be installed on the exterior of the buildings and light poles will be installed through the parking lots for both sites. The project is required to provide light exposure for all walkways, parking areas and driveways. In addition, the project is conditioned to prevent lights from reflecting to adjacent properties.

### Drive-Through Lanes

The Sonic Drive-In Restaurant and Dutch Brothers will each have a drive-through lane. The City has developed design standards per Chapter 17.77: *Drive-In and Drive-Through Facilities*.

## ITEM 9.1

These standards are summarized below:

1. Aisles shall have a minimum width of twelve (12) feet.
2. Aisles shall provide at least one hundred eighty (180) feet of stacking. Exceptions may be granted when an applicant demonstrates that the required stacking space is unnecessary.
3. Aisles shall be separated from the site's ingress and egress routes or access to a parking space.
4. Walkways shall have a clear visibility and shall be delineated by textured and colored paving and shall be clearly signed.
5. Drive-up windows and their order stations with amplified sound shall be one hundred (100) feet from residential structures measured from amplified sound source.

### Sonic Drive-In Restaurant

The Sonic Drive-In Restaurant drive-through lane meets the above standards for minimum width and stacking. According to the Site Plan, the drive-through lane width is ten (10) feet. However, the drive-through lane does not include a curb on the outer edge, allowing for some extension over the ten (10) feet. The drive-through lane is clearly identified with visible paint stripes and markings. The pedestrian walkway connecting the Sonic Drive-In Restaurant and Dutch Brothers sites is clearly identified and striped. No existing residential uses are located within one hundred (100) feet of the project site.

### Dutch Brothers

The Dutch Brothers drive-through includes a two (2) lane entrance that merges into one (1) as the vehicles approach the drive-through window. The drive-through lane also includes a third "escape" lane to allow for vehicles to exit the drive-through lane safely. According to the Site Plan, the drive-through lane allows for up to sixteen (16) vehicles to stack in the drive-through at one time and is twelve (12) feet in width. The pedestrian walkway connecting the Sonic Drive-In Restaurant and Dutch Brothers sites is clearly identified and striped. No existing residential uses are located within one hundred (100) feet of the project site.

### Utilities

The project proposes to connect to the City's water and sewer system through existing connections on Old Harlan Road. The project site has sufficient sewer capacity to process wastewater generated from the Sonic Drive-In Restaurant and Dutch Brothers. The project includes a series of bio-retention basins, located within the landscape areas of each project site, which are designed to channel, slowdown, absorb, scrub off dirt and oils from stormwater before draining to an underground detention system on each site. Each site (Sonic and Dutch Brothers) will have an independent underground detention system.

## ITEM 9.1

### Traffic Study

A Traffic Study has been prepared by Crane Transportation Group, dated December 9, 2019 for CFT Phase II. The purpose of the Traffic Study was to determine the potential circulation impacts due to the proposed development including the existing Panda Express restaurant.

The Traffic Study was required by Condition of Approval #3 (Planning) of File No. SPR-18-92 for Panda Express. The Condition of Approval was established due to concerns expressed by Mr. Sunny Ghai, property owner and franchisee of Burger King. Mr. Ghai's primary concerns were 1) cut through traffic using the O'Reilly-Burger King driveway to gain access to Harlan Road, Lathrop Road and Interstate Highway I-5; and 2) the potential for the City to extend the median of the northbound left turn-pocket to limit the O'Reilly-Burger King driveway to right-in and right-out access only on Harlan Road due to increase in vehicle movements.

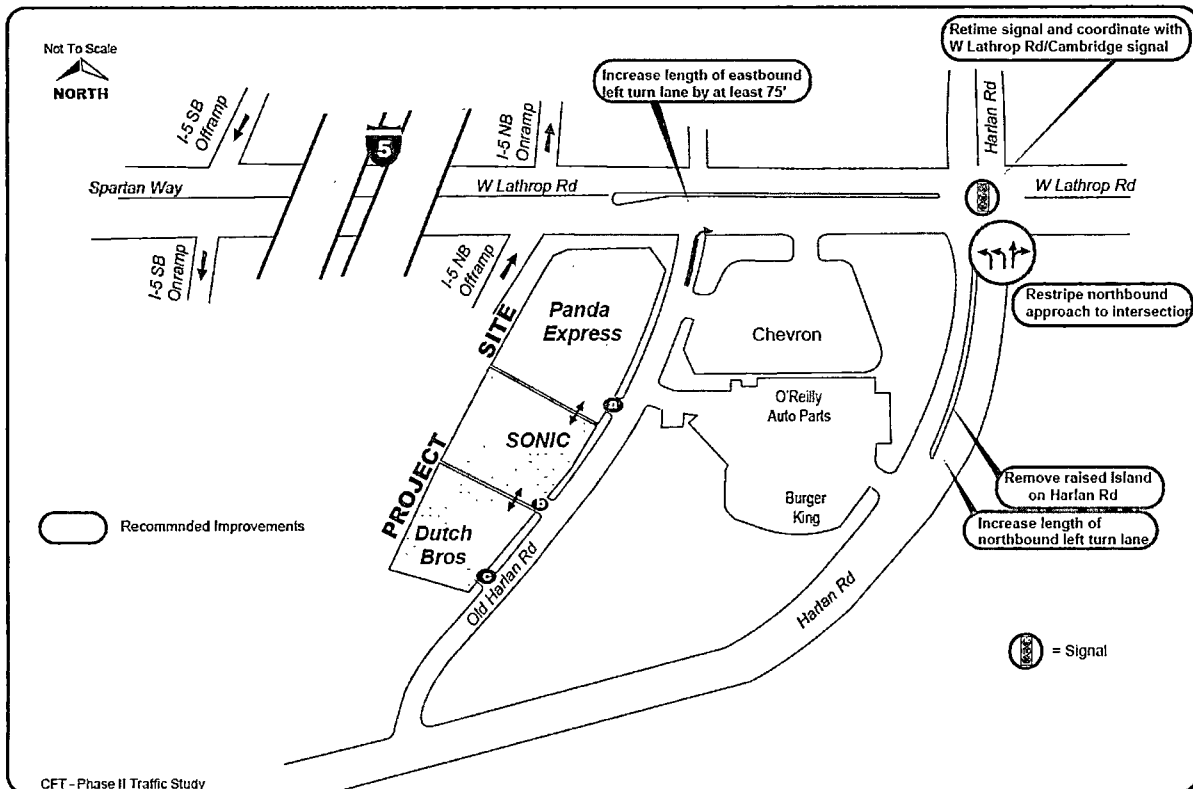
The analysis included level of service and delay at each intersection, vehicle queuing on critical approaches to select intersections and the possibility that some project traffic may use the Burger King-O'Reilly's Auto Parts parking lot for access to Harlan Road. In addition, each on-site circulation plan was evaluated in the context of City code criteria and adequacy of expected drive through operation.

As you will find in the following discussion the improvements to the traffic and circulation system will improve traffic flow, will reduce the potential for cut-through traffic, and will improve safety for pedestrians accessing the area. A number of improvements are recommended as a result of the Traffic Impact Study. The improvements are illustrated on Figure 24 and 25 of the Traffic Impact Study (Attachment 6). The improvements are summarized below:

### City Responsibility – Existing without Project

The following improvements are identified as the responsibility of the City. These improvements will enhance the existing circulation conditions of the area.

- Reconfigure the northbound Harlan Road approach to W. Lathrop Road to provide two (2) exclusive left turn lanes and a combined through/right turn lane.
- Remove the raised island median on Harlan Road south of W. Lathrop Road at the entrance to the existing northbound left turn lane. Continue this existing turn lane south to the Burger King-O'Reilly's driveway.
- Extend the length of the left turn lane on the eastbound W. Lathrop Road approach to Harlan Road by at least seventy-five (75) feet.
- Retime the W. Lathrop Road/Harlan Road signal and coordinate timing with the W. Lathrop Road/Cambridge signal.



**Figure 24**  
**Existing and Cumulative (Year 2022)**  
**Recommended Improvements (without Project)**  
**City Responsibility**

CRANE TRANSPORTATION GROUP

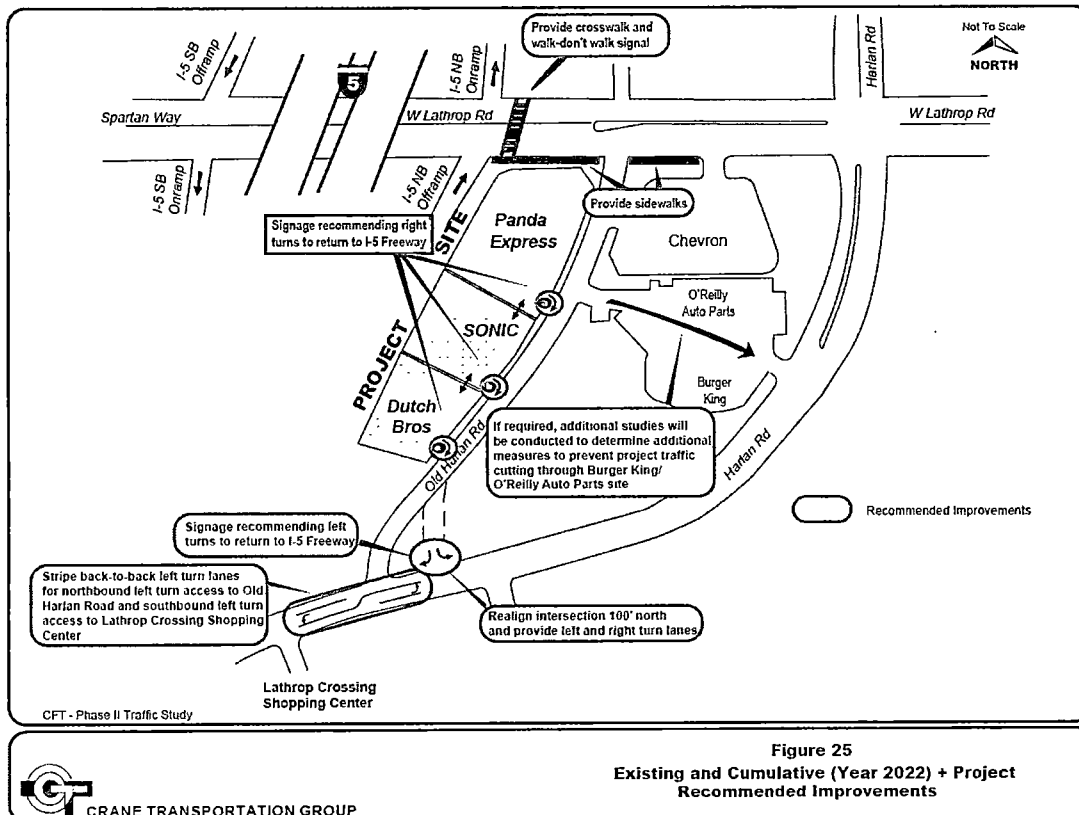
Developer Responsibility – Existing and Cumulative

The following improvements are identified as the responsibility of the developer of the CFT Phase II Project. These improvements are required to alleviate the impacts identified in the Traffic Impact Study as a result of the construction of the proposed project. These improvements have been incorporated in the project Conditions of Approval.

- Realign the Old Harlan Road connection to Harlan Road about 100 feet to the north and provide two (2) lanes on the Old Harlan Road approach: one (1) for left turns and one (1) for right turns. Restripe the median of Harlan Road just south of the new intersection to provide defined back-to-back left turns into the driveway providing access into the Lathrop Crossing shopping center on the east side of Harlan Road.
- Provide signs adjacent to the exit lanes at each of the three (3) project driveways showing an arrow pointing to the right and a message stating I-5 access turn right. Provide a sign on the southbound Old Harlan Road approach to Harlan Road with an arrow pointing left and a message stating I-5 access turn left.
- Provide sidewalks on the south side of W. Lathrop Road extending east and west of Old Harlan Road (from the I-5 Ramps intersection to the Chevron driveway).

## ITEM 9.1

- Provide a crosswalk at the W. Lathrop Road/I-5 NB Ramps intersection crossing W. Lathrop Road just east of the intersection. Provide pedestrian walk/don't walk signals in conjunction with the crosswalk.
- In order to ensure that Dutch Brothers customers do not congest the Sonic driveway during peak activity times, it may be necessary for Dutch Brothers to provide moveable orange cones across the internal Dutch Brothers-Sonic parking lots connection.



### Vehicle Queuing at Dutch Brothers

The Traffic Impact Study included a review of vehicle queuing at the Dutch Brothers facility. Surveys were conducted from 7:00 – 9:00 A.M. and 3:00 – 6:00 P.M. at three (3) Dutch Brothers operations of drive-through window queue lengths. Surveys were conducted for two (2) days each at locations in Stockton, Lodi, and Oakley. The maximum queues at all three (3) locations never exceeded thirteen (13) vehicles from 7:00 – 9:00 A.M., nor ten (10) vehicles from 3:00 – 6:00 P.M.

Based on the Site Plan for the proposed project, the Dutch Brothers will have room for sixteen (16) vehicles to queue in the drive-through lanes. The Traffic Impact Study concluded that the proposed project will provide acceptable stacking in the drive-through. The only issue identified in the Traffic Impact Study is the drive-through entrance for the Dutch Brothers facility is close to the Sonic Drive-In Restaurant driveway along Old Harlan Road. It may be likely that at least a third of the Dutch Brothers customers will use the Sonic Drive-In Restaurant driveway.

## ITEM 9.1

The Traffic Impact Study identified an improvement in which Dutch Brothers will provide movable orange cones across the internal Dutch Brothers-Sonic driveway connection to reduce congestion between the two (2) businesses.

Dutch Brothers also includes a “runner system” in which Dutch Brothers employee’s travel from vehicle to vehicle to greet and take orders from customers in the drive-through lane. These “runners” utilize a handheld device to transmit customer’s orders to the multiple drink stations inside the building. Additionally, runners are able to charge individuals while in the drive-through lane, so by the time they arrive at the service window, they may pick-up their order and be on their way. According to Dutch Brothers, this system was developed as a way to decrease the overall line times, while allowing runners to have a more personal face-to-face interaction with customers. As illustrated on the Site Plan, the Dutch Brothers layout includes runner paths and raised medians adjacent to the drive-through lane to keep runners safe.

### General Plan and Zoning Consistency

As currently designed and conditioned, the project is a reasonable request that is consistent with the goals and policies of the General Plan and will comply with the requirements of the Zoning Ordinance upon development.

### Findings

#### Site Plan Review

In consideration of the proposed project (SPR-20-6), the Planning Commission must make certain findings contained in Section 17.100.050 of the Lathrop Municipal Code (LMC). Staff has reviewed each of the findings below and suggest that the proposed CFT Phase II project has been designed so that the use is compatible with surrounding land uses and will not be detrimental to the health, safety or general welfare of the City.

The findings are re-stated below and include:

1. That the site plan complies with all applicable provisions of this chapter;
2. That the site improvements listed (a. through i.) are so arranged that the traffic congestion is avoided and that pedestrian and vehicular safety and welfare are protected, and there will not be adverse effect on surrounding property;
3. Proposed lighting is so arranged as to deflect the light away from adjoining properties;
4. Proposed signs will comply with all of the applicable provisions of Section 17.16.010 and Chapters 17.64 through 17.72, 17.80, and 17.84; and
5. That adequate provision is made to reduce adverse or potentially adverse environmental impacts to acceptable levels.

## ITEM 9.1

### Conditions of Approval

Planning staff routed the project plans on January 15, 2020 to the Building Division, Public Works, Lathrop-Manteca Fire District, Lathrop Police Services and various non-City agencies to ensure compliance with applicable codes and requirements. The City received two (2) comments from non-City agencies: San Joaquin Council of Governments (SJCOG) and Frontier Communications. SJCOG provided information regarding the project's participation in the San Joaquin County Multi-Species Habitat Conservation and Open Space Plan (SJMSCP) and Frontier Communications stated that the project site is outside of their facilities.

As a result, staff developed a consolidated list of conditions and finds that the proposed project has been properly conditioned to meet the City's standards and requirements.

### Public Notice

The Planning Commission agenda was posted at the Council Chambers bulletin board and three (3) other locations accessible to the public on Thursday, March 12, 2020. The City has received one (1) written comment on the proposed project. The City received a comment letter from Mr. Sunny Ghai of Ghai Management (Attachment 7), property owner and franchisee of the nearby Burger King. Mr. Ghai provided a peer review of the Traffic Impact Study prepared by K.D. Anderson & Associates, Inc. Mr. Ghai is primarily concerned with cut-through traffic from the customers of Sonic and Dutch Brothers using the O'Reilly-Burger King drive-aisle to gain access to Harlan Road. As discussed above, the Panda Express Project included a condition to prepare a Traffic Impact Study as part of Phase II due to the concerns expressed by Mr. Ghai. As a result of the Traffic Impact Study, the proposed project is conditioned to construct various off-site improvements to improve the traffic and circulation system in the vicinity, reduce the potential for cut-through traffic, and improve safety for pedestrians accessing the area. Staff evaluated Mr. Ghai's concerns and determined that as conditioned, the project will be in compliance with City standards and requirements. Furthermore, the various off-site improvements recommended by the Traffic Impact Study will improve traffic circulation and access to and from the project site. Staff incorporated the traffic impact study recommendations as required conditions for the project.

### **CEQA REVIEW:**

The City finds that the project is Categorically Exempt according to the California Environmental Quality Act Article 19 §15332 Class 32 "In-Fill Development". Class 32 consists of projects characterized as in-fill development meeting the following conditions:

- a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
- b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.
- c) The project site has no value as habitat for endangered, rare or threatened species.
- d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.



## ITEM 9.1

- e) The site can be adequately served by all required utilities and public services.

In this regard, the project site is consistent with the General Plan land use designation of CC, Community Commercial and the Zoning District of CC, Central Commercial.

Together, the project sites are 1.18 acres in size and as illustrated on the Vicinity Map (Attachment 2), is substantially surrounded by urban development and adjacent to Interstate Highway 5. The project site has no value as habitat for endangered, rare or threatened species and is identified as "Category A Exempt – No Pay Zone" by the San Joaquin Multi-Species Habitat Conservation and Open Space Plan. As demonstrated by the Traffic Study, dated December 9, 2019, the approval of the Site Plan Review will not result in a significant effect as it relates to traffic. In addition, the project is consistent with the City's standards and regulations for projects within the CC, Central Commercial Zoning District. As stated above, the project sites can be adequately served by utilities and public services.

### **RECOMMENDATION:**

Staff recommends the Planning Commission adopt Resolution No. 20-6, approving Site Plan Review No. SPR-20-6 for the construction of a 1,608 sq. ft. Sonic Drive-In Restaurant on a 0.69 acre site and a 862 sq. ft. Dutch Brothers on a 0.49 acre site, with related site work including landscaping, lighting, and frontage improvements, subject to the attached Consolidated Conditions of Approval.

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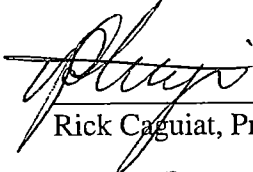
**Approvals:**



David Niskanen, Contract Planner

3/11/2020

Date



Rick Caguiat, Principal Planner

3/11/20

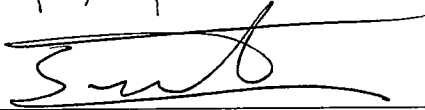
Date



Mark Meissner, Community Development Director

3/11/2020

Date



Salvador Navarrete, City Attorney

3-12-2020

Date

**Attachments:**

1. PC Resolution No. 20-6 for Site Plan Review
2. Conditions of Approval for CFT Phase II
3. Vicinity Map
4. Project Plans
5. Traffic Impact Report, prepared by Crane Transportation Group, dated December 9, 2019
6. Figure 24 and 25 of the Traffic Impact Report
7. Comment Letter from Mr. Sunny Ghai, Ghai Management, dated March 11, 2020

**CITY OF LATHROP  
PLANNING COMMISSION RESOLUTION NO. 20-6**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LATHROP  
APPROVING A SITE PLAN REVIEW FOR A SONIC DRIVE-IN RESTAURANT AND  
DUTCH BROTHERS (CFT PHASE II)  
(SPR-20-6)**

**WHEREAS**, the City of Lathrop Planning Commission held a duly noticed public meeting to consider the Site Plan Review request pursuant to the Lathrop Municipal Code; and

**WHEREAS**, the request is for a Site Plan Review to construct a 1,608 sq. ft. Sonic Drive-In Restaurant on a 0.69 acre site and a 862 sq. ft. Dutch Brothers on a 0.49 acre site, with related site work including landscaping, lighting, and frontage improvements.; and

**WHEREAS**, the properties are located at 15107 and 15135 Old Harlan Road (APNs: 196-110-29 and -30); and

**WHEREAS**, the subject parcels are located in a Community Commercial (CC) General Plan designation and Central Commercial (CC) Zoning District; and

**WHEREAS**, an independent Traffic Impact Study has been prepared to analyze the existing, existing plus project, cumulative and on-site circulation and vehicle queuing of the proposed project; and

**WHEREAS**, the proposed Site Plan Review is exempt according to the California Environmental Quality Act (CEQA) Article 19 §15332 Class 2 "In-Fill Development". This exemption is for a project that is consistent with the applicable General Plan designation and applicable Zoning designation and regulations, occurs within City limits on a project site of five (5) acres or less substantially surrounded by urban uses, has no value as habitat for endangered, rare, or threatened species, not result in any significant effects relating to traffic, noise, air and water quality and can be adequately served by all required utilities and public services.; and

**WHEREAS**, proper notice of this public meeting was given in all respects as required by law; and

**WHEREAS**, the Planning Commission has reviewed all written evidence and oral testimony presented to date.

**NOW, THEREFORE, BE IT RESOLVED** that the Planning Commission of the City of Lathrop does hereby make the following findings:

1. Site Plan Review Findings. Pursuant to Section 17.100.050 of the Lathrop Municipal Code (LMC), the Planning Commission finds as follows:
  - a. The proposed Site Plan Review complies with all applicable provisions of Chapter 17.100;
  - b. The proposed Site Plan Review is consistent with the site improvements listed in Chapter 17.100 (a. through i.) and improvements are such that traffic congestion is avoided and pedestrian and vehicular safety and welfare are protected and there will not be adverse effects on surrounding properties;
  - c. Proposed lighting for the project area is so arranged as to deflect away from adjoining properties; and
  - d. The proposed Site Plan Review is compatible with surrounding land uses and will not be detrimental to the health, safety and general welfare of the City.
  
2. Drive-In and Drive-Through Facilities. Pursuant to Section 17.77.040 of the Lathrop Municipal Code (LMC), the Planning Commission finds as follows:
  - a. The design and location of the drive-through facilities and lanes will not contribute to increased congestion;
  - b. The design and location of the facilities and lanes will not impede access to or exit from the parking lot serving the facility. The drive-through lanes are designed to provide the maximum number of vehicle stacking and the project has been adequately conditioned to limit congestion between the sites.
  - c. The design and location of the facility will not create a nuisance for adjoining properties.
  
3. The Planning Commission finds that the proposed Sonic Drive-In Restaurant and Dutch Brothers are consistent with the Community Commercial land use goals and policies in the City of Lathrop General Plan. The proposed project complies with all applicable provisions and standards for the Central Commercial Zoning designation as conditioned.
  
4. The Planning Commission finds that the requirements and conditions of this resolution are reasonable in preserving, protecting, providing for, and fostering the health, safety, and welfare of the citizenry in general, and the persons who work in or visit the development in particular
  
5. The Planning Commission finds that the proposed Site Plan Review is exempt according to the California Environmental Quality Act (CEQA) Article 19 §15332 Class 2 “In-Fill Development”. The project is consistent with the General Plan and Zoning and regulations of the parcel, and occurs within the City limits.

Together, the project sites are 1.18 acres in size and is substantially surrounded by urban development and adjacent to Interstate Highway 5. The project site has no value as habitat for endangered, rare or threatened species and is identified as “Category A Exempt – No Pay Zone” by the San Joaquin Multi-Species Habitat Conservation and Open Space Plan (SJMSCP). Further, the project is Conditioned to comply with the SJMSCP and San Joaquin Valley Air Pollution Control District (SJVAPCD) Rules and Regulations. As demonstrated by the Traffic Study, dated December 9, 2019, the approval of the Site Plan Review will not result in a significant effect as it relates to traffic. In addition, the project is consistent with the City’s standards and regulations for projects within the CC, Central Commercial Zoning District and can be adequately served by utilities and public services; and

**BE IT FURTHER RESOLVED** that the Planning Commission of the City of Lathrop based on substantial evidence in the administrative record of proceedings and pursuant to its independent review and consideration, does hereby Approve Site Plan Review No. SPR-20-6 subject to the Conditions of Approval dated March 18, 2020, attached and incorporated by reference herein.

**PASSED AND ADOPTED** by the Planning Commission of the City of Lathrop at a regular meeting on the 18<sup>th</sup> day of March, 2020 by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

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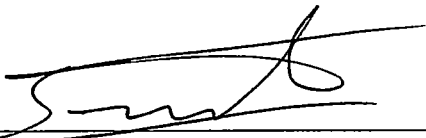
Bennie Gatto, Chair

ATTEST:

APPROVED AS TO FORM:

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Mark Meissner, Secretary



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Salvador Navarrete, City Attorney

Community Development Department – Planning Division

Consolidated Conditions of Approval

March 18, 2020

**Project Name:** CFT Phase II – Sonic Drive-In Restaurant and Dutch Brothers  
**File Number:** Site Plan Review No. SPR-20-6  
**Project Address:** 15107 and 15135 Old Harlan Road (APNs: 196-110-29 and -30)

*The following list of conditions shall be incorporated into the final construction plans and development phases of the project. The list of conditions are not intended to be all-inclusive or a comprehensive listing of all City or district regulations. Please note that additional comments and/or conditions may be added pending the response to the comments noted below and/or changes to the proposed project. The following comments and conditions of approval are based on the application and diagrams submitted on February 14, 2020 (received).*

Approval of this project authorizes the construction of a 1,608 sq. ft. Sonic Drive-In Restaurant on a 0.69 acre site and a 862 sq. ft. Dutch Brothers on a 0.49 acre site, with related site work including landscaping, lighting, and frontage improvements.

**PLANNING**

***CEQA Determination***

The City finds that the proposed Site Plan Review is exempt according to the California Environmental Quality Act (CEQA) Article 19 §15332 Class 2 “In-Fill Development”. The project is consistent with the General Plan and Zoning and regulations of the parcel, and occurs within the City limits. The project site is substantially surrounded by urban uses; has no value as habitat for endangered, rare, or threatened species; does not result in any significant effects relating to traffic, noise, air and water quality; and can be adequately served by all required utilities and public services. No significant impacts are anticipated and no mitigation measures have been required.

1. The applicant shall record a Reciprocal Access and Parking Easement or other mechanism between the following properties: 15107, 15135, and 15099 Old Harlan Road (APNs: 196-110-27, -28, -29, and -30).
2. Prior to any ground disturbance, the project shall consult with the San Joaquin County Multi-Species Habitat Conservation and Open Space Plan (SJMSCP) for biological coverage, mitigation and participation in the plan. Participation in the SJMSCP satisfies requirements of both the State and Federal endangered species acts, and ensures that the impacts are mitigated below a level of significance in compliance with the California Environmental Quality Act (CEQA).
3. The applicant shall coordinate with the San Joaquin Valley Air Pollution Control District to comply with District rules and regulations including but not limited to Rule 9510, Indirect Source Review. The applicant shall provide proof of compliance prior to permit issuance.
4. The project shall comply with all applicable site development provisions contained in the Lathrop Municipal Code including but not limited to parking, lighting, landscaping, etc.

5. The applicant shall submit appropriate plans to the Building Department for plan check and building permit. Final site plan, floor plan, elevation, landscaping and irrigation, exterior lighting and site improvement plans and details, etc. shall be reviewed and approved by the Planning Division. Any significant change or modification to the approved plan is subject to review and approval by the Community Development Director.
6. Landscaping and irrigation must be consistent with the City's Water Conservation Requirements (LMC 17.92.060) and the State Water Efficient Landscape Ordinance (AB 1881). Provide a water efficient landscape worksheet with water budget calculations identifying the water allowance and estimated water use.
7. The entire site including landscaping areas shall be maintained in a healthy, weed free condition.
8. At a minimum, the trash enclosures shall have three solid walls, a metal gate and covered roof. Details and/or alternative designs shall be subject to review and approval of the Planning, Building and Public Works Department. The trash enclosure design, material and color shall match or compliment the main building.
9. Any building or parking area illumination including security lighting, shall be arranged to reflect away from adjoining properties. Site lighting (light poles) shall be consistent with the existing site lighting for the Panda Express Restaurant.
10. A final site lighting photometric plan with detailed specifications of all lighting fixtures, poles, and wall packs as well as a manufacture's catalogue sheet containing photometric data, shall be submitted with Building Permits for City review and approval. Parking lots, driveways, trash enclosure/areas shall be illuminated during the hours of darkness with a minimum maintained one foot-candle of light and an average not to exceed four foot-candles of light. The illumination shall not exceed ten (10) foot-candles in any one location.
11. Sign Design Permit for any exterior signs shall be submitted to the Planning Division for review and approval prior to installation. All signage must be in accordance with the applicable standards of the Lathrop Municipal Code.
12. Bicycle parking shall be installed consistent with Chapter 17.76.120 of the LMC.
13. Roof-mounted mechanical equipment shall be screened and not visible from the public right-of-way. Screening materials shall be compatible with the architectural style, materials and color of the building upon which the equipment is located, subject to the approval of the Community Development Director.
14. Unless otherwise specified, all conditions of approval shall be reflected in project construction drawings / improvement plans prior to the issuance of any Building Permits.
15. The Site Plan shall expire thirty-six (36) months from the date of approval unless a time extension is granted consistent with the policies and procedure of the Lathrop Municipal Code. Prior to the expiration, a building permit must be issued and construction is commenced and diligently pursued toward completion of the site or structures.
16. The City of Lathrop may conduct annual and or spot inspections to ensure that required site improvements and conditions are being complied with and maintained.



**TRAFFIC IMPACT STUDY, DATED DECEMBER 9, 2019**

Based on the Traffic Impact Study, dated December 9, 2019, the following improvements are the responsibility of the Applicant. With the exception of Condition of Approval No. 5, which is an ongoing measure, all improvements shall be completed prior to the issuance of a Certificate of Occupancy for either the Sonic Drive-In Restaurant or Dutch Brothers, whichever is constructed first.

1. Realign the Old Harlan Road connection to Harlan Road (just south of the project) about 100 feet to the north and provide two lanes on the Old Harlan Road approach: one for left turns and one for right turns. In conjunction with this measure, restripe the median of Harlan Road just south of the new intersection to provide defined back-to-back left turn lanes – one for northbound left turns into Old Harlan Road, and one for southbound left turns into the driveway providing access into the Lathrop Crossing shopping center on the east side of Harlan Road.
2. Provide signs adjacent to the exit lanes at each of the three project driveways showing an arrow pointing to the right and a message stating I-5 access turn right. In conjunction with this measure, also provide a sign on the southbound Old Harlan Road approach to Harlan Road with an arrow pointing left and a message stating I-5 access turn left.
3. Provide sidewalks on the south side of W. Lathrop Road extending east and west of Old Harlan Road (from the I-5 Ramps intersection to the Chevron driveway).
4. Provide a crosswalk at the W. Lathrop Road/I-5 NB Ramps intersection crossing W. Lathrop Road just east of the intersection. Provide pedestrian walk/don't walk signals in conjunction with the crosswalk.
5. In order to ensure that Dutch Brothers customers do not congest the Sonic driveway during peak activity times, it may be necessary for Dutch Brothers to provide movable orange cones across the internal Dutch Brothers-Sonic parking lot connection.

**BUILDING**

1. All construction shall comply with the most recent adopted City and State building codes:
  - 2019 California Building Code
  - 2019 California Residential Code
  - 2019 California electrical Code
  - 2019 California Mechanical Code
  - 2019 California Plumbing Code
  - 2019 California Fire Code
  - 2019 California Green Code
2. Special Inspections – As indicated by California Building Code Section 1704, the owner shall employ one or more special inspectors who shall provide special inspections when required by CBC section 1704. Please contact the Building Division at time of plan submittal to obtain application for special inspections.
3. The Title Sheet of the plans shall include:

Occupancy Group	Height of Building
Occupant Load	Floor area of building(s) and/or
Description of use	occupancy group(s)
Type of Construction	

4. School impact fees shall be paid prior to permit issuance.
5. Dimensioned building setbacks and property lines, street centerlines and between buildings or other structures shall be designed on plot plan.
6. All property lines and easements must be shown on plot plan. A statement that such lines and easements are shown is required.
7. The project design will conform with energy conservation measures articulated in Title 24 of the California Code of Regulations and address measures to reduce energy consumption such as flow restrictors for toilets, low consumption light fixtures, and insulation and shall use to the extent feasible draught landscaping.
8. A design professional will be required at time of construction drawings, to prepare plans for proposed improvements per the Business and Professions' Code.
9. Public and private site improvements shall be designed in accordance with the Americans with Disabilities Act and Chapter 11B of the California Building Code. Site plan shall include a site accessibility plan identifying exterior routes of travel and detailing running slope, cross slope, width, pedestrian ramp, curb ramps, handrails, signage and truncated domes. Path of travel shall be provided from the public right of way and accessible parking to building. The design professional shall ensure that the site accessibility plan is compliance with the latest Federal and State regulations.

## **PUBLIC WORKS**

1. Applicant shall retain the services of a California licensed civil engineer to design the utility plans for sewer, water and storm drain lines and systems.
2. Applicant shall insure that all off-site and on-site improvements comply with City Standards.
3. Prior to the issuance of permits, the applicant shall insure that all offsite and onsite improvements comply with City Standards and with the Multi-Agency Post-Construction Stormwater Standards Manual. A Project Stormwater Plan (PSP) must be submitted and approved prior to the issuance of grading and/or building permits.
4. Applicant shall submit and execute a maintenance agreement and Operation & Maintenance (O&M) Plan for all onsite storm water quality treatment devices, swales and/or retention or detention basins. The Applicant and all future owners of the property will be required to submit to the City an annual self-certification for the inspections, up-keep, and maintenance of the treatment control measures specified in the maintenance agreement and O&M Plan.
5. Applicant shall pay all appropriate fees including but not limited to Capital Facilities Fees, Application, Notification, Environmental Review, Plan Check, Inspection, and NPDES Fees.
6. Applicant shall install, as part of their onsite improvement, all PSP-specified Best Management Practices (BMPs) and treatment controls for the development in accordance with City guidelines, standards, and conditions of use. The BMPs and treatment control measures must be sized and constructed per the approved PSP and be in place prior to final occupancy.
7. Applicant intends on separating scopes of work between the two projects, which results in an area of soil disturbance less than one acre and therefore a SWPPP is not required. Should the project be combined and the disturbed area exceed one acre, the applicant shall complete a SWPPP. Prior to

issuance of a grading or building permit, the applicant shall prepare and implement an Erosion and Sediment Control Plan (ESCP) and receive a pre-construction site inspection.

8. Prior to final occupancy, the Applicant will need to have stabilized all project-related areas of soil disturbance with the buildings, pavement, concrete, crushed rock, landscaping, or other effective soil cover. Bare soil may not be left in areas that had been disturbed due to construction activities. Prior to final occupancy, the project site will receive a post-construction site inspection and need to be approved for the satisfactory completion of the ESCP/SWPPP requirements.
9. All Storm water shall be retained onsite per City design and construction standards. Hydrology and hydraulic calculations and plans for on-site storm water system shall be submitted to the City for review and approval.
10. The applicant shall provide an erosion and sediment control plan with the building permit application.
11. Applicant shall be required to connect to sewer utility, obtain appropriate Interceptor Service Units (ISU's) and pay all applicable connection, reimbursement and Area of Benefit fees.
12. Applicant shall be required to connect to water utility and pay all applicable connection fees.
13. Applicant shall underground all overhead utilities in compliance with the Lathrop Municipal Code. Overhead power lines in excess of 34.5 KVA are not required to be undergrounded.
14. Applicant shall be required to install full street frontage improvements along Old Harlan Road to the extent of the Panda Express Restaurant property including but not limited to curb, gutter, sidewalk, street lights, landscaping, hydrants, storm drainage, paving, striping, and commercial driveways. The extent of paving shall include one half street width. In addition, Applicant shall slurry Old Harlan Road from Lathrop Road to Harlan Road as deferred during the previous CFT development (Panda Express). Applicant shall submit the off-site plans for approval along with the applicable plan check and inspection fees. The City Engineer shall have the authority to defer construction of street improvements with a Deferred Frontage Improvement Agreement.
15. The Applicant shall obtain an encroachment permit and bond for all offsite improvements and/or utility connections within City right-of-way or public utility easement.
16. The Applicant shall dedicate all right-of-way (ROW) necessary for the ultimate ROW width of Lathrop Road. A 10-foot public utility easement (PUE) shall also be dedicated along all ROW frontages.
17. A geotechnical report shall be submitted for the project which includes groundwater elevations, percolation rates for retention basins, soil compaction requirements, and recommendations for asphalt paving.
18. As part of the Building Permit application, all existing survey monuments and markers of record within the area of work shall be researched and identified on an existing conditions or demolition plan sheet. The project surveyor shall be required to submit a pre and post construction certification that all monuments have been preserved or reset with appropriate documentation. The City Surveyor may require a corner record or record of survey be prepared if any survey monuments have the potential to be disturbed.

## **LATHROP-MANTECA FIRE DISTRICT (LMFD)**

1. The project must conform to the appropriate edition of the California Fire Code (currently the 2019 edition) and all related standards.
2. Permits shall be obtained from the fire code official. Permit(s) and fees, if any, shall be paid prior to issuance of any and/or all permits. Issued permits shall be kept on the premises designated therein at all times and shall be readily available for inspection by the fire code official. (Permits are to be renewed on an annual basis)
3. Approved vehicle access for firefighting shall be provided to all construction or demolition sites. Vehicle access shall be provided to within 100 feet (30 480 mm) of temporary or permanent fire department connections. Vehicle access shall be provided by either temporary or permanent roads, capable of supporting vehicle loading under all weather conditions. Vehicle access shall be maintained until permanent fire apparatus access roads are available.
4. An approved water supply for fire protection, either temporary or permanent, shall be made available prior to commencing construction beyond the foundation stage, or as soon as combustible material arrives on the site.
5. Commercial cooking equipment that produce grease laden vapors shall be provided with a Type I Hood, in accordance with the California Mechanical Code, and an automatic fire extinguishing system that is listed and labeled for its intended use as follows:
  1. Wet chemical extinguishing system, complying with UL 300
  2. Carbon dioxide extinguishing systems
  3. Automatic fire sprinkler systemsCommercial cooking equipment extinguishing system plans shall be modified under separate fire permit and shall be submitted by a licensed fire contractor, to the (AHJ) Fire District for review and approval prior to installation/modification. Deferred submittal accepted.
6. Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be of an approved type and shall contain keys to gain necessary access as required by the fire code official.
7. The Fire Department Fire Access Roads shall meet the requirements established by the San Joaquin County Fire Chief's Association.
8. Fire Department Development Fees for all new buildings must be paid in accordance with the City of Lathrop's Ordinance and Resolutions adopting the fee schedule.
9. Other fire & life safety requirements may be required at time of building plan review.
10. Final approval is subject to field inspections. Minimum 48 hour notice required prior to any life-safety fire inspections. Other conditions may apply at time of inspections and are subject to correction.

**LATHROP POLICE SERVICES (LPS)**

1. All conditions are subject to approval by both the Police Chief and Fire Chief collaboratively.
2. Prior to occupancy, the applicant shall install roof top address, subject to review and approval by LPS. The numbers shall be at least 3’ tall, 2’ wide, 9” apart, with 6” brush stroke with a color that contrasts the color of the roof top. Roof top address visible 2000’ from fixed wing airplane (top of numbers/letters should point north)
3. Applicant shall install recording security camera system inside and outside that is maintained and accessible to LPS.
4. EVA may be required to allow adequate space for emergency vehicles.
5. All landscaping shall comply with standard Crime Prevention Through Environmental Design (CPTED) recommendations:
  - a. Maintain natural visible surveillance to building from parking lot and street.
  - b. Plants taller than 8 feet in height shall be trimmed up 4 feet from ground.
  - c. Plants lower than 8 feet in height shall be trimmed to allow ground level surveillance.

**ADMINISTRATIVE SERVICES**

1. By exercising this approval, the applicant hereby agrees to indemnify, hold harmless and defend the City, its officers, agents, elected and appointed officials, and employees, from any and all liability or claims that may be brought against the City arising out of its approval of this Site Plan Review, to the fullest extent permitted by law.

**SAN JOAQUIN COUNTY ENVIRONMENTAL HEALTH DEPARTMENT**

See attached memo dated February 11, 2020.

**SAN JOAQUIN COUNTY MULTI-SPECIES HABITAT CONSERVATION & OPEN SPACE PLAN**

See attached memo dated January 23, 2020



PROGRAM COORDINATORS

Robert McClellon, REHS  
Jeff Carruesco, REHS, RDI  
Willy Ng, REHS  
Muniappa Naidu, REHS  
Michael Kith, REHS  
Melissa Nissim, REHS

02/11/2020

To: City of Lathrop Community Development Department  
Attention: David Niskanen, Contract Planner

From: Aaron Gooderham; (209) 468-3442  
Environmental Health Specialist

RE: **CTF Phase II Site Plan Review (SPR-20-06)**  
**15107 & 15135 Old Harlan Road, Lathrop**

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The San Joaquin County Environmental Health Department (EHD) recommends the following conditions as a part of developing this project:

1. Any geotechnical drilling shall be conducted under permit and inspection by The Environmental Health Department (San Joaquin County Development Title, Section 9-1115.3 and 9-1115.6).
2. Submit two (2) hardcopy sets, or one (1) electronic version, of food facility plans to the Environmental Health Department for review and approval prior to issuance of building permit(s) (California Retail Food Code, Article 1, 114380). The fee will be based on the current schedule at the time of payment.
3. A valid permit from EHD is required prior to operating food facility (California Retail Food Code, Chapter 13, Article 1, Section 14381).
4. Before any hazardous materials/waste can be stored or used onsite, the owner/operator must report the use or storage of these hazardous materials to the California Environmental Reporting System (CERS) at [cers.calepa.ca.gov/](http://cers.calepa.ca.gov/) and comply with the laws and regulations for the programs listed below (based on quantity of hazardous material in some cases). The applicant may contact the Program Coordinator of the CUPA program, Muniappa Naidu (209) 468-3439, with any questions.
  - a. Any amount but not limited to the following hazardous waste; hazardous material spills, used oil, used oil filters, used oil-contaminated absorbent/debris, waste antifreeze, used batteries or other universal waste, etc. – Hazardous Waste Program (Health & Safety Code (HSC) Sections 25404 & 25180 et sec.)
  - b. Onsite treatment of hazardous waste – Hazardous Waste Treatment Tiered Permitting Program (HSC Sections 25404 & 25200 et sec. & California Code of Regulations (CCR), Title 22, Section 67450.1 et sec.)
  - c. Reportable quantities of hazardous materials-reportable quantities are 55 gallons or more of liquids, 500 pounds for solids, or 200 cubic feet for compressed gases, with some exceptions. Carbon dioxide is a regulated substance and is required to be

- reported as a hazardous material if storing 1,200 cubic feet (137 pounds) or more onsite in San Joaquin County – Hazardous Materials Business Plan Program (HSC Sections 25508 & 25500 et sec.)
- d. Any amount of hazardous material stored in an Underground Storage Tank – Underground Storage Tank Program (HSC Sections 25286 & 25280 et sec.)
    - i. If an underground storage tank (UST) system will be installed, a permit is required to be submitted to, and approved by, the San Joaquin County Environmental Health Department (EHD) before any UST installation work can begin.
    - ii. Additionally, an EHD UST permit to operate is required once the approved UST system is installed.
  - e. Storage of at least 1,320 gallons of petroleum aboveground or any amount of petroleum stored below grade in a vault – Aboveground Petroleum Storage Program (HSC Sections 25270.6 & 25270 et sec.)
  - f. Threshold quantities of regulated substances stored onsite - California Accidental Release Prevention (CalARP) Program (Title 19, Section 2735.4 & HSC Section 25531 et sec.)
    - i. Risk Management Plan requirement for covered processes



## S J C O G, Inc.

555 East Weber Avenue • Stockton, CA 95202 • (209) 235-0600 • FAX (209) 235-0438

*San Joaquin County Multi-Species Habitat Conservation & Open Space Plan (SJMSCP)*

### **SJMSCP RESPONSE TO LOCAL JURISDICTION (RTLJ) ADVISORY AGENCY NOTICE TO SJCOG, Inc.**

**To:** David Niskanen, City of Lathrop, Community Development Department

**From:** Laurel Boyd, SJCOG, Inc.

**Date:** January 23, 2020

**-Local Jurisdiction Project Title:** CFT Phase II Site Plan Review (SPR-20-06)

**Assessor Parcel Number(s):** 196-110-29, -30

**Local Jurisdiction Project Number:** SPR-20-06

**Total Acres to be converted from Open Space Use:** Unknown

**Habitat Types to be Disturbed:** Urban Habitat Land

**Species Impact Findings:** Findings to be determined by SJMSCP biologist.

Dear Mr. Niskanen:

SJCOG, Inc. has reviewed the project referral for the CFT Phase II Site Plan Review (SPR-20-06). This project consists of a Site Plan Review for the construction of a 1,608 square foot Sonic Drive-In Restaurant and 862 square foot Dutch Brothers, located south of the recently constructed Panda Express Restaurant. The Proposed Project is known as CFT Phase II. The Sonic Drive-In Restaurant will be constructed on a 0.69 acre site and the Dutch Brothers Coffee will be constructed on a 0.49 acre site. All three (3) sites (Panda Express, Sonic Drive-In and Dutch Brothers), will be internally connected via a drive aisle. Associated site improvements include off-street parking, paving, landscaping and curb, gutter and sidewalk. The project site is located south of Lathrop Road and east of Interstate 5, Lathrop (APN: 196-110-29, -30).

The City of Lathrop is a signatory to San Joaquin County Multi-Species Habitat Conservation and Open Space Plan (SJMSCP). Participation in the SJMSCP satisfies requirements of both the state and federal endangered species acts, and ensures that the impacts are mitigated below a level of significance in compliance with the California Environmental Quality Act (CEQA). The LOCAL JURISDICTION retains responsibility for ensuring that the appropriate Incidental Take Minimization Measure are properly implemented and monitored and that appropriate fees are paid in compliance with the SJMSCP. Although participation in the SJMSCP is voluntary, Local Jurisdiction/Lead Agencies should be aware that if project applicants choose against participating in the SJMSCP, they will be required to provide alternative mitigation in an amount and kind equal to that provided in the SJMSCP.

***This Project is subject to the SJMSCP.*** This can be up to a 30 day process and it is recommended that the project applicant contact SJMSCP staff as early as possible. It is also recommended that the project applicant obtain an information package. <http://www.sjco.org>

Please contact SJMSCP staff regarding completing the following steps to satisfy SJMSCP requirements:

- Schedule a SJMSCP Biologist to perform a pre-construction survey ***prior to any ground disturbance***
- SJMSCP Incidental take Minimization Measures and mitigation requirement:
  1. Incidental Take Minimization Measures (ITMMs) will be issued to the project and must be signed by the project applicant prior to any ground disturbance but no later than six (6) months from receipt of the ITMMs. If ITMMs are not signed within six months, the applicant must reapply for SJMSCP Coverage. Upon receipt of signed ITMMs from project applicant, SJCOG, Inc. staff will sign the ITMMs. This is the effective date of the ITMMs.
  2. Under no circumstance shall ground disturbance occur without compliance and satisfaction of the ITMMs.
  3. Upon issuance of fully executed ITMMs and prior to any ground disturbance, the project applicant must:
    - a. Post a bond for payment of the applicable SJMSCP fee covering the entirety of the project acreage being covered (the bond should be valid for no longer than a 6 month period); or
    - b. Pay the appropriate SJMSCP fee for the entirety of the project acreage being covered; or
    - c. Dedicate land in-lieu of fees, either as conservation easements or fee title; or
    - d. Purchase approved mitigation bank credits.
  4. Within 6 months from the effective date of the ITMMs or issuance of a building permit, whichever occurs first, the project applicant must:



- a. Pay the appropriate SJMSCP for the entirety of the project acreage being covered; or
- b. Dedicate land in-lieu of fees, either as conservation easements or fee title; or
- c. Purchase approved mitigation bank credits.

Failure to satisfy the obligations of the mitigation fee shall subject the bond to be called.

- Receive your Certificate of Payment and release the required permit

*It should be noted that if this project has any potential impacts to waters of the United States [pursuant to Section 404 Clean Water Act], it would require the project to seek voluntary coverage through the unmapped process under the SJMSCP which could take up to 90 days. It may be prudent to obtain a preliminary wetlands map from a qualified consultant. If waters of the United States are confirmed on the project site, the Corps and the Regional Water Quality Control Board (RWQCB) would have regulatory authority over those mapped areas [pursuant to Section 404 and 401 of the Clean Water Act respectively] and permits would be required from each of these resource agencies prior to grading the project site.*

If you have any questions, please call (209) 235-0600.



**S J C O G , I n c .**

*San Joaquin County Multi-Species Habitat Conservation & Open Space Plan*

555 East Weber Avenue • Stockton, CA 95202 • (209) 235-0600 • FAX (209) 235-0438

**SJMSCP HOLD**

**TO:** Local Jurisdiction: Community Development Department, Planning Department, Building Department, Engineering Department, Survey Department, Transportation Department, Other: \_\_\_\_\_

**FROM:** Laurel Boyd, S J C O G , I n c .

**DO NOT AUTHORIZE SITE DISTURBANCE  
DO NOT ISSUE A BUILDING PERMIT  
DO NOT ISSUE \_\_\_\_\_ FOR THIS PROJECT**

The landowner/developer for this site has requested coverage pursuant to the San Joaquin County Multi-Species Habitat Conservation and Open Space Plan (SJMSCP). In accordance with that agreement, the Applicant has agreed to:

- 1) SJMSCP Incidental Take Minimization Measures and mitigation requirement:
    - 1. Incidental Take Minimization Measures (ITMMs) will be issued to the project and must be signed by the project applicant prior to any ground disturbance but no later than six (6) months from receipt of the ITMMs. If ITMMs are not signed within six months, the applicant must reapply for SJMSCP Coverage. Upon receipt of signed ITMMs from project applicant, S J C O G , I n c . staff will sign the ITMMs. This is the effective date of the ITMMs.
    - 2. Under no circumstance shall ground disturbance occur without compliance and satisfaction of the ITMMs.
    - 3. Upon issuance of fully executed ITMMs and prior to any ground disturbance, the project applicant must:
      - a. Post a bond for payment of the applicable SJMSCP fee covering the entirety of the project acreage being covered (the bond should be valid for no longer than a 6 month period); or
      - b. Pay the appropriate SJMSCP fee for the entirety of the project acreage being covered; or
      - c. Dedicate land in-lieu of fees, either as conservation easements or fee title; or
      - d. Purchase approved mitigation bank credits.
    - 4. Within 6 months from the effective date of the ITMMs or issuance of a building permit, whichever occurs first, the project applicant must:
      - a. Pay the appropriate SJMSCP for the entirety of the project acreage being covered; or
      - b. Dedicate land in-lieu of fees, either as conservation easements or fee title; or
      - c. Purchase approved mitigation bank credits.
- Failure to satisfy the obligations of the mitigation fee shall subject the bond to be called.

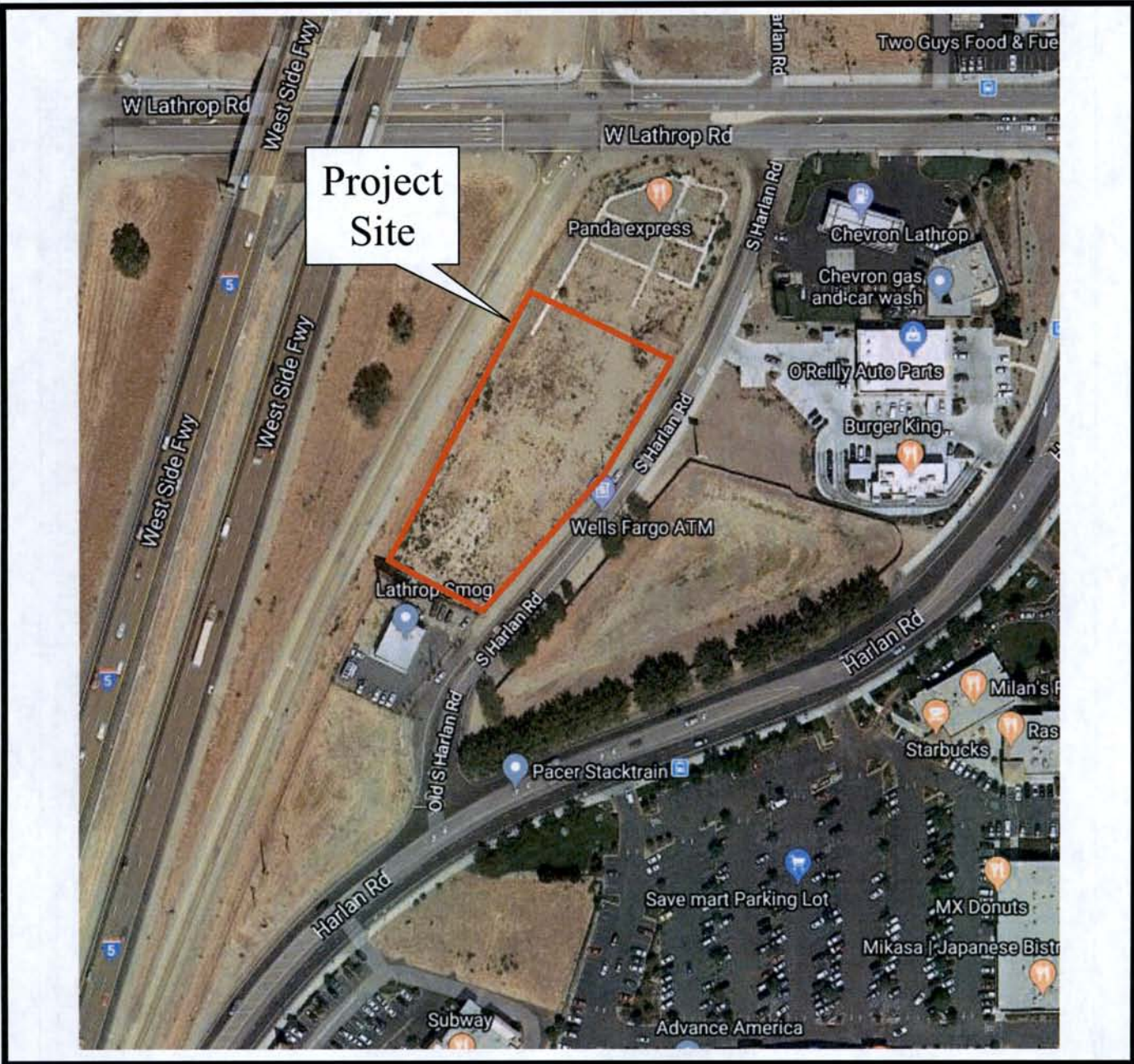
**Project Title:** CTF Phase II Site Plan Review (SPR-20-06)

**Assessor Parcel #s:** 196-110-29, -30

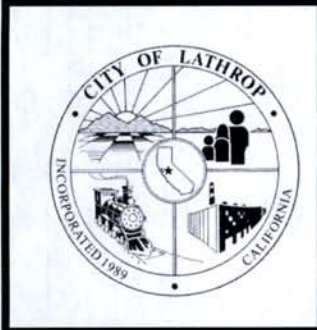
**T \_\_\_\_\_, R \_\_\_\_\_, Section(s): \_\_\_\_\_**

**Local Jurisdiction Contact:** David Niskanen

**The LOCAL JURISDICTION retains responsibility for ensuring that the appropriate Incidental Take Minimization Measures are properly implemented and monitored and that appropriate fees are paid in compliance with the SJMSCP.**



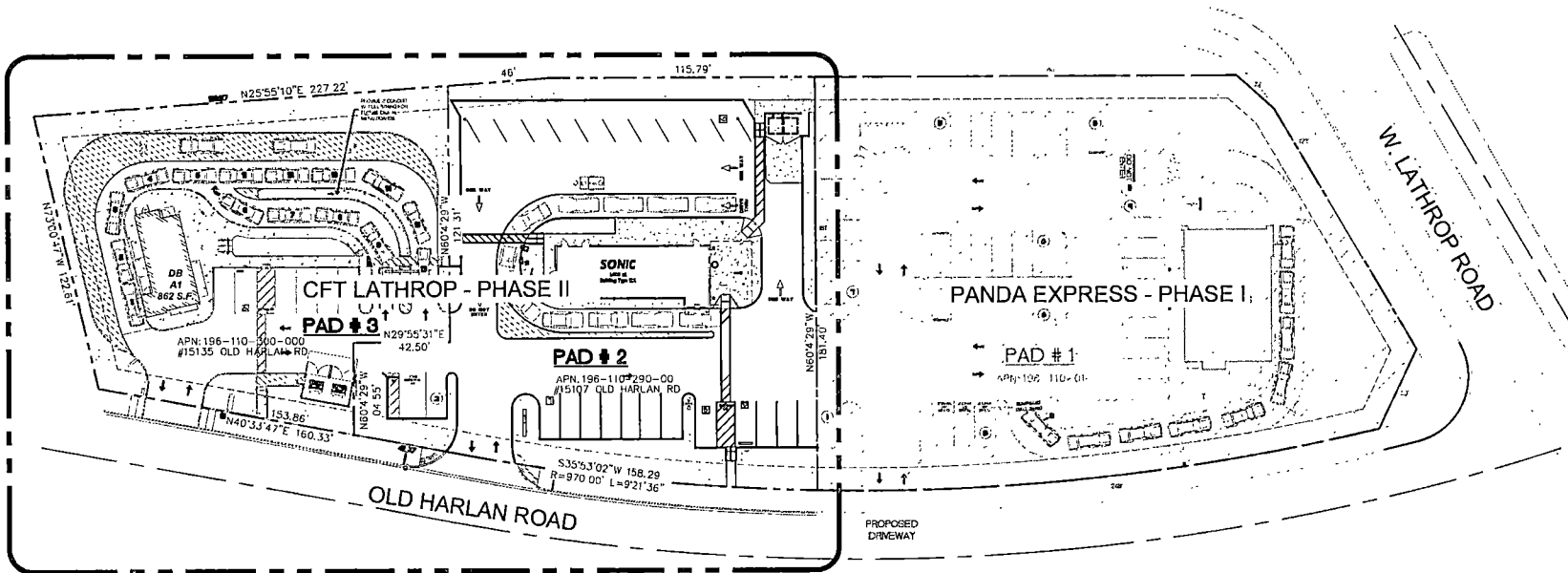
**PLANNING DIVISION  
Vicinity Map**



**SPR-20-06  
Site Plan Review  
CFT Phase II  
15107 and 15135 Old Harlan Road  
APNs: 196-110-29 and -30**



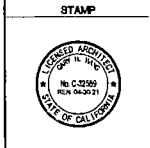
# CFT DEVELOPMENT LATHROP - PHASE II



OVERALL SITE PLAN 1  
Scale: 1/2"=1'-0" A-100



**CONSULTANT**  
 **GARY WANG & ASSOCIATES, INC.**  
 1000 Corporate Center Dr., Suite 300  
 Beaverton, OR 97005  
 Tel: 503.251-1000 Fax: 503.251-1001  
 www.garywang.com



**PROJECT NAME/ADDRESS**  
**CFT DEVELOPMENT**  
 15107 & 15115 OLD HARLAN RD  
 LATHROP, CALIFORNIA 95330

**REVISIONS:**

NO.	DESCRIPTION	DATE

**ISSUE DATE:**

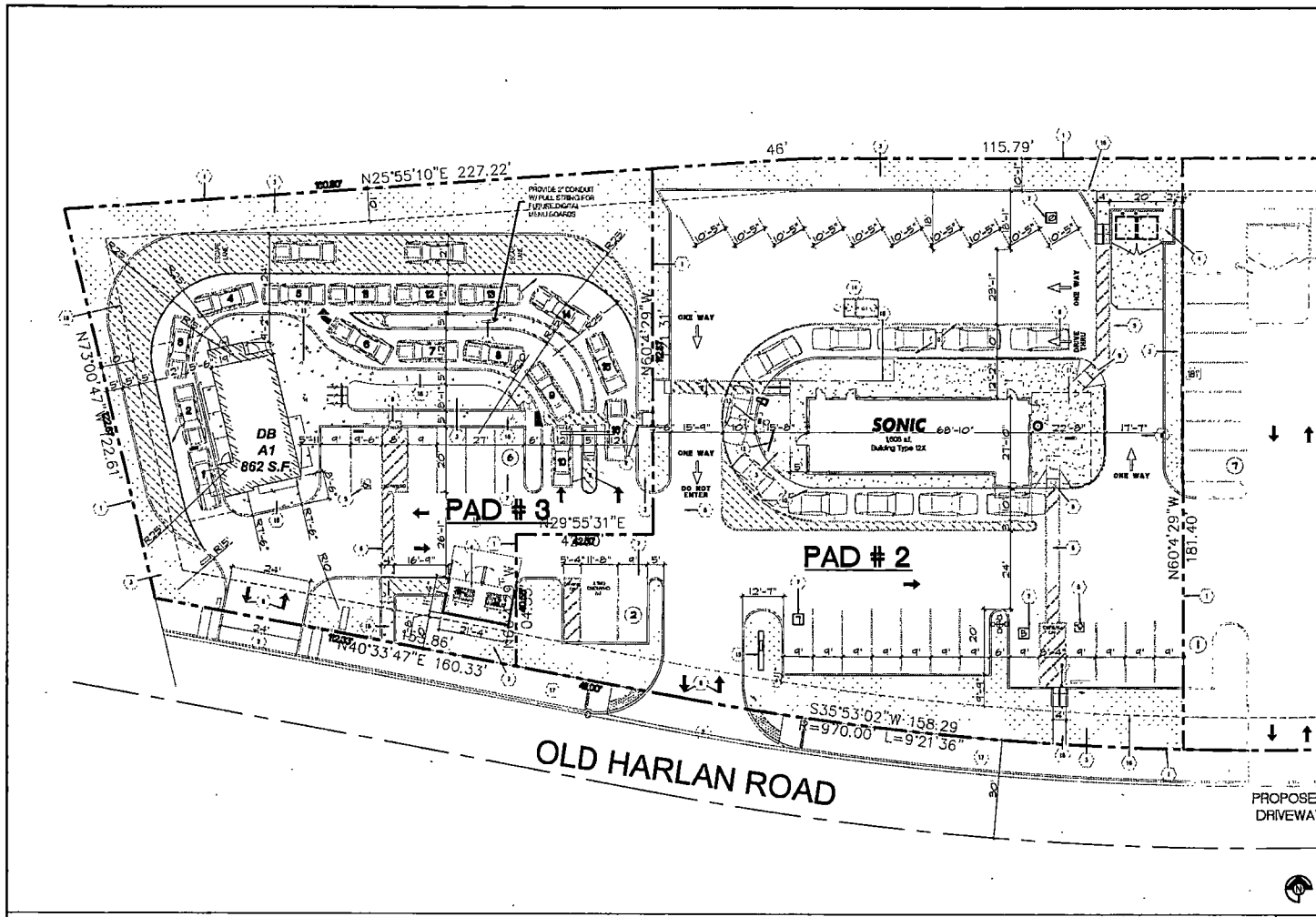
NO.	ISSUE DATE
01	11/16/2010

**JOB NUMBER**

**DRAWN BY**  
LG/JP

**SHEET CONTENT**  
OVERALL SITE PLAN

**SHEET NO**  
**A-000**



OWNER  
 CFT DEVELOPMENT, LLC  
 1100A TOWN CENTER DR.,  
 LAS VEGAS, NV 89144  
 T: 629.792.8918

APPLICANT  
 ELIAS GUZMAN, PROJECT MANAGER  
 GARY WANG, AIA  
 GARY WANG & ASSOCIATES  
 1030 CORPORATE CENTER DR., SUITE # 504  
 MONTEVIELO PARK, CA 94704  
 T: 650.788.6278  
 F: 650.788.7101

**TEAM DIRECTORY A**  
 Scale: NTS A-100

**BUILDING CODE ANALYSIS**

<b>PAD #2</b>	
OCCUPANCY CLASSIFICATION (GROUP - B RESTAURANT)	1.8
TYPE OF CONSTRUCTION	NON-SPRINKLERED
PIPE SPRINKLER	NON-SPRINKLERED
RESTAURANT AREA	11,883 S.F.
AREA	126,110-200,000
HEIGHT	32'-0"
FLOOR	1
<b>PAD #3</b>	
OCCUPANCY CLASSIFICATION (GROUP - B RESTAURANT)	1.8
TYPE OF CONSTRUCTION	NON-SPRINKLERED
PIPE SPRINKLER	NON-SPRINKLERED
RESTAURANT AREA	512 S.F.
AREA	126,110-200,000
HEIGHT	32'-0"
FLOOR	1

**SITE INFORMATION**

<b>PAD #2</b>	
SECTION	20,100 SQ. FT. (2.36 ACRES)
LOT COVERAGE FLOOR AREA RATIO	80%
LANDSCAPE PROVIDED	LANDSCAPE PROVIDED
PROPERTY TYPE / LAND USE	COMMERCIAL (GENERAL COMMERCIAL)
PROPERTY TYPE / LAND USE CHARACTERISTICS	NEW CONSTRUCTION (EXISTING/NEW) BUILDING WITH DRIVE DRIVEWAY

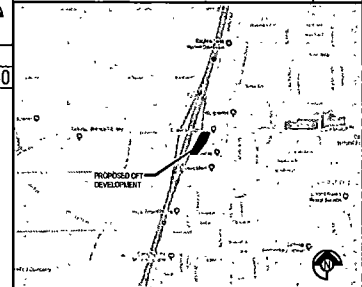
**SITE INFORMATION**

<b>PAD #3</b>	
SECTION	21,500 SQ. FT. (2.48 ACRES)
LOT COVERAGE FLOOR AREA RATIO	80%
LANDSCAPE PROVIDED	LANDSCAPE PROVIDED
PROPERTY TYPE / LAND USE	COMMERCIAL (GENERAL COMMERCIAL)
PROPERTY TYPE / LAND USE CHARACTERISTICS	NEW CONSTRUCTION (EXISTING/NEW) BUILDING WITH DRIVE DRIVEWAY

**PARKING REQUIREMENTS**

<b>PAD #2</b>			
SQ. FT.	REQUIRED	PROVIDED	DEFICIT
PAD #1	108 SQ. FT. (1 SEAT/2-1/2 SPACES) (IF EMPTY/2-1/2 SPACES)	0	108
ADA	1 (EVERY 20 STALLS)	0	1
TOTAL		0	109
<b>PAD #3</b>			
SQ. FT.	REQUIRED	PROVIDED	DEFICIT
PAD #1	64 SQ. FT. (1 SEAT/2-1/2 SPACES) (IF EMPTY/2-1/2 SPACES)	0	64
ADA	1 (FOR EVERY 20 STALLS)	0	1
TOTAL		0	65

**PROJECT INFORMATION B**  
 Scale: NTS A-100



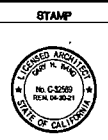
**ENLARGED SITE PLAN 1**  
 Scale: 1/16" = 1'-0" A-100

- |                                       |                             |                        |
|---------------------------------------|-----------------------------|------------------------|
| 1 FENCE LINE                          | 8 DIRECTIONAL ARROW, TYP    | 15 POLE SIGN           |
| 2 PROPOSED CURB CUT                   | 9 ACCESSIBLE RAMP & WALKWAY | 16 LANDSCAPE DETRACK   |
| 3 LANDSCAPE AREA                      | 10 DRIVE-THRU LANE          | 17 NEW PUBLIC SIDEWALK |
| 4 TRASH ENCLOSURE                     | 11 OUTDOOR SEATING AREA     | 18 WALKWAY             |
| 5 DESIGNATED ACCESSIBLE PARKING SPACE | 12 DRIVE-THRU MENU BOARD    | 19 NOT USED            |
| 6 ACCESSIBLE STRIPPED PATH OF TRAVEL  | 13 DRIVE-THRU SPEAKER BOX   | 20 NOT USED            |
| 7 NUMBER OF STALLS                    | 14 AIR PARKING              | 21 NOT USED            |

**KEY NOTES D**  
 Scale: NTS A-100



**CONSULTANT**  
**GARY WANG & ASSOCIATES, INC.**  
 1030 CORPORATE CENTER DR., SUITE 504  
 MONTEVIELO PARK, CA 94704  
 T: 650.788.6278  
 F: 650.788.7101



**PROJECT NAME/ADDRESS**  
**CFT DEVELOPMENT**  
 15107 & 15105 OLD HARLAN RD  
 LATHROP, CALIFORNIA 95330

**REVISIONS:**

NO.	DESCRIPTION	DATE

**ISSUE DATE:**  
 12/16/2010

**JOB NUMBER:**

**DRAWN BY:**  
 LG/JJP

**SHEET CONTENT:**  
 ENLARGED SITE PLAN  
 ARCHITECTURAL

**SHEET NO:**

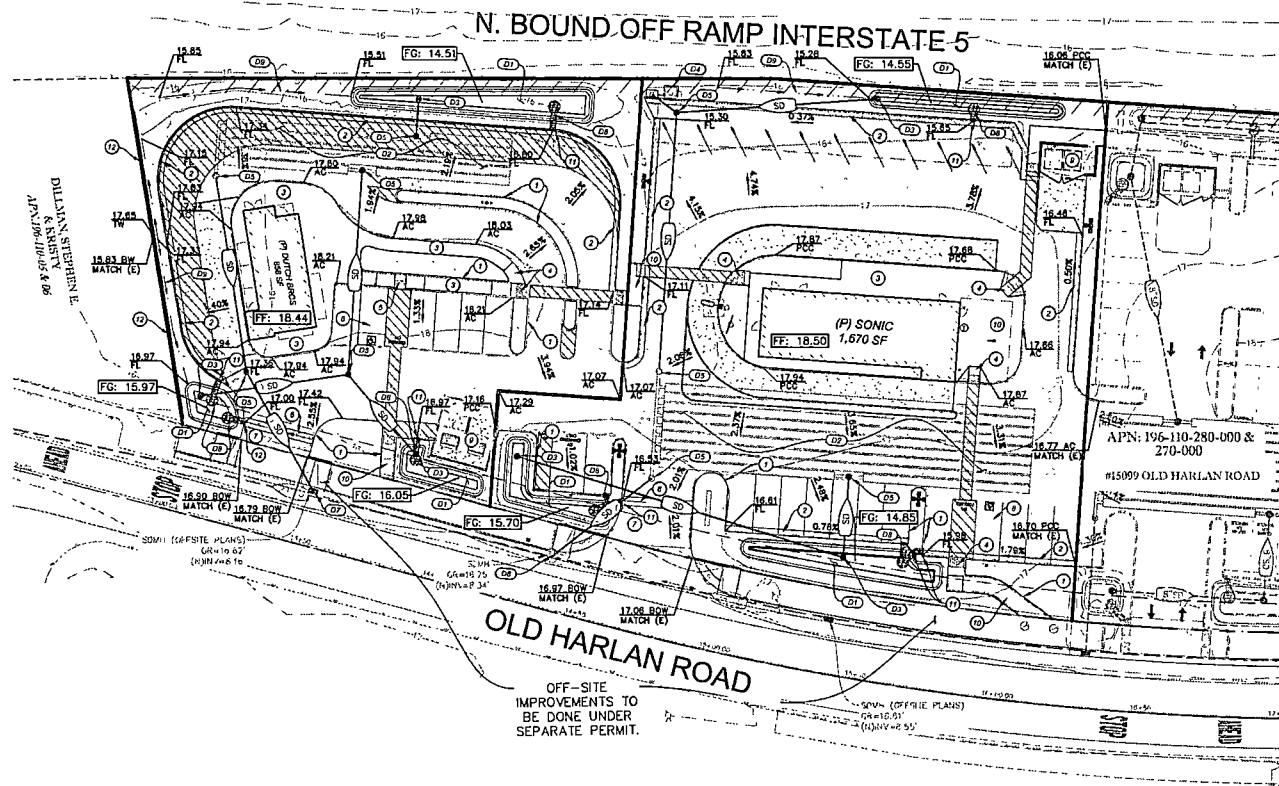
**A-100**





# PRELIMINARY GRADING, DRAINAGE, AND PAVING PLAN FOR SONIC DRIVE-IN & DUTCH BROS

15135 & 15107 OLD HARLAN ROAD  
CITY OF LATHROP, STATE OF CALIFORNIA, 95330  
APNs: 196-110-300-000 & 196-110-290-000



DILLIAN STEPHEN E.  
K. RAJESH K. BE  
APN: 196-110-300-000

OFF-SITE  
IMPROVEMENTS TO  
BE DONE UNDER  
SEPARATE PERMIT.

### LEGEND:

- LIGHT DUTY PCC (SIDEWALKS & PATIOS)
- HEAVY DUTY PCC (DRIVEWAYS SONIC, DUMPSTER PADS)
- LIGHT DUTY AC (TH-4.0) (PARKING)
- HEAVY DUTY AC (TH-4.0) (DRIVE AISLES)
- LANDSCAPING
- OVERLAND RELEASE PATH
- DRAINAGE SURFACE FLOW

### CONSTRUCTION KEYNOTES:

- (1) 4" BARRIER CURB
- (2) CONCRETE CURB AND GUTTER
- (3) MONOLITHIC CURB AND SIDEWALK
- (4) ACCESSIBLE CURB RAMP
- (5) ACCESSIBLE FLUSH PAH CURB RAMP
- (6) 7" WIDE CONCRETE VALLEY GUTTER
- (7) DRIVEWAY PER CITY OF LATHROP STANDARDS
- (8) ACCESSIBLE PARKING SPACE
- (9) TRASH ENCLOSURE
- (10) CONCRETE WALK
- (11) 7" CURB OPENING
- (12) RETAINING WALL

### DRAINAGE KEYNOTES:

- (D1) BIORETENTION BASIN
- (D2) STORMTECH UNDERGROUND DETENTION FACILITY
- (D3) NYLOPLAST DRAINAGE BASIN WITH DOME GRATE
- (D4) CONTECH FILTERFA FLOW THROUGH PLANTER WITH BYPASS CURB INLET
- (D5) NYLOPLAST DRAIN BASIN WITH SOLID PDM
- (D6) CONNECT TO (E) PUBLIC STORM DRAIN MANHOLE
- (D7) CONNECT TO PUBLIC SADDLE MANHOLE PROPOSED ON OFFSITE PLANS
- (D8) RIP RAP FOR SLOPE PROTECTION
- (D9) DRAINAGE SWALE

TOTAL AREA DISTURBED: 1.183 ACRES

### PRELIMINARY RAW EARTHWORK SUMMARY

CUT: 355 CY  
FILL: 1353 CY  
NET: 998 CY (IMPORT)  
NOTE:  
EARTHWORK QUANTITIES ARE ESTIMATED TO SUBGRADE AND DO NOT TAKE INTO ACCOUNT SHRINKAGE, EXCESS MATERIALS FROM TRENCHING AND BASIC UNKNOWN STRUCTURAL SECTIONS. CONTRACTOR SHOULD VERIFY EARTHWORK QUANTITIES.

**811**  
Know what's below.  
Call before you dig.  
or (800) 227-2600

REVISION	NO.	DATE	BY	APPROVED

**RIFE ENGINEERING, INC.**  
 Civil/Structural Engineering - Mechanical  
 1000 NE 115th Ave. Suite 100  
 Vancouver, WA 98686  
 (509) 535-9010

**GAUCH ARCHITECTURAL STUDIO**  
 1001 SE SANDY BLVD. SUITE 100  
 PORTLAND, OR 97202  
 PH: (503) 255-9010  
**SANDY SINGH**  
 274 MARKET PL. #117  
 SAN JOSE, CALIFORNIA 95128

**SONIC DRIVE-IN & DUTCH BROS**  
 15135 & 15107 OLD HARLAN ROAD  
 LATHROP, CA 95330  
**PRELIMINARY GRADING, DRAINAGE, AND PAVING PLAN**

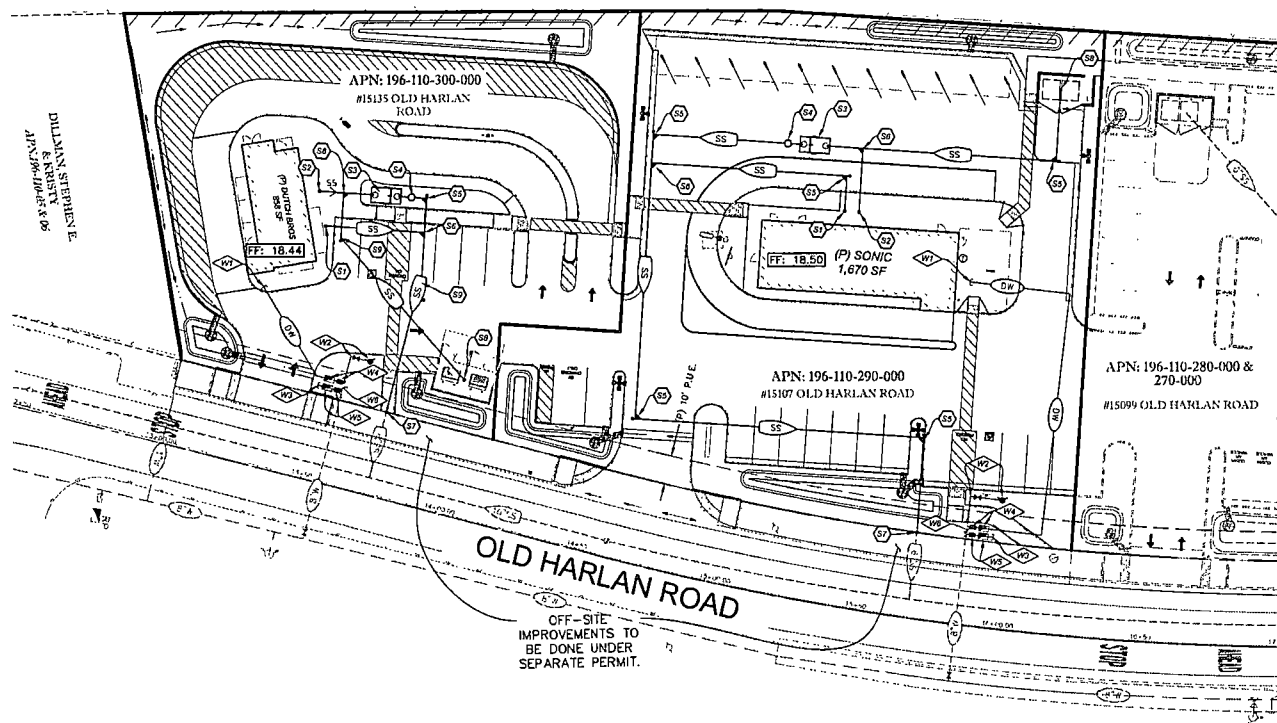
Drawing	Sheet
2	C2
of	of
3	4

02/07/2020

# PRELIMINARY UTILITY PLAN FOR SONIC DRIVE-IN & DUTCH BROS

15135 & 15107 OLD HARLAN ROAD  
CITY OF LATHROP, STATE OF CALIFORNIA, 95330  
APNs: 196-110-300-000 & 196-110-290-000

N. BOUND OFF RAMP INTERSTATE 5



### SANITARY SEWER CONSTRUCTION KEYNOTES:

- (S1) SANITARY SEWER POINT OF CONNECTION TO BUILDING WITH CLEANOUT TO GRADE
- (S2) GREASE INTERCEPTOR LINE POINT OF CONNECTION TO BUILDING WITH CLEANOUT TO GRADE
- (S3) GREASE INTERCEPTOR
- (S4) GREASE INTERCEPTOR SAMPLE BOX
- (S5) COMBINATION WYE & 45 DEGREE BEND WITH CLEANOUT TO GRADE
- (S6) COMBINATION WYE & 90 DEGREE BEND
- (S7) CONNECT TO (E) SANITARY SEWER BEHIND (E) CLEANOUT AT R.O.W.
- (S8) TRASH ENCLOSURE DRAIN TO SANITARY SEWER SYSTEM
- (S9) COMBINATION WYE & 45 DEGREE BEND

### WATER CONSTRUCTION KEYNOTES:

- (W1) DOMESTIC WATER POINT OF CONNECTION TO BUILDING
- (W2) FIRE HYDRANT ASSEMBLY
- (W3) IRRIGATION LINE POINT OF CONNECTION SEE LANDSCAPE PLANS FOR CONTINUATION
- (W4) DOMESTIC WATER METER AND REDUCED PRESSURE PRINCIPLE BACKFLOW ASSEMBLY WITHIN PROPOSED 10' P.U.E.
- (W5) IRRIGATION WATER METER AND REDUCED PRESSURE PRINCIPLE BACKFLOW ASSEMBLY WITHIN PROPOSED 10' P.U.E.
- (W6) PROPOSED WATER MAINFOLD TO CONNECT TO (E) 8" WATER STUB TO PROPERTY.

DESIGN	DRAWN	CHECK	DATE	BY	APPROV



**PRELIMINARY UTILITY PLAN**  
**NOT FOR CONSTRUCTION**  
**DATE: 02/07/2020**

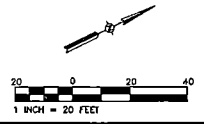
**ENGINEER**  
**SANDY SUNCH**  
 231 MARKET STREET  
 SAN FRANCISCO, CALIFORNIA 94102  
 415.398.9200  
 www.sandyengineering.com

**GNICH ARCHITECTURAL STUDIO**  
 1001 SE SANDY BLVD, SUITE 100  
 PORTLAND, OREGON 97214  
 PH: (503) 255-2074  
 WWW.GNICH.COM

**SONIC DRIVE-IN & DUTCH BROS**  
 15135 & 15107 OLD HARLAN ROAD  
 LATHROP, CA 95330  
**ON-SITE PRELIMINARY PLANS**  
**PRELIMINARY UTILITY PLAN**



Know what's below.  
Call before you dig.  
or (800) 227-2600

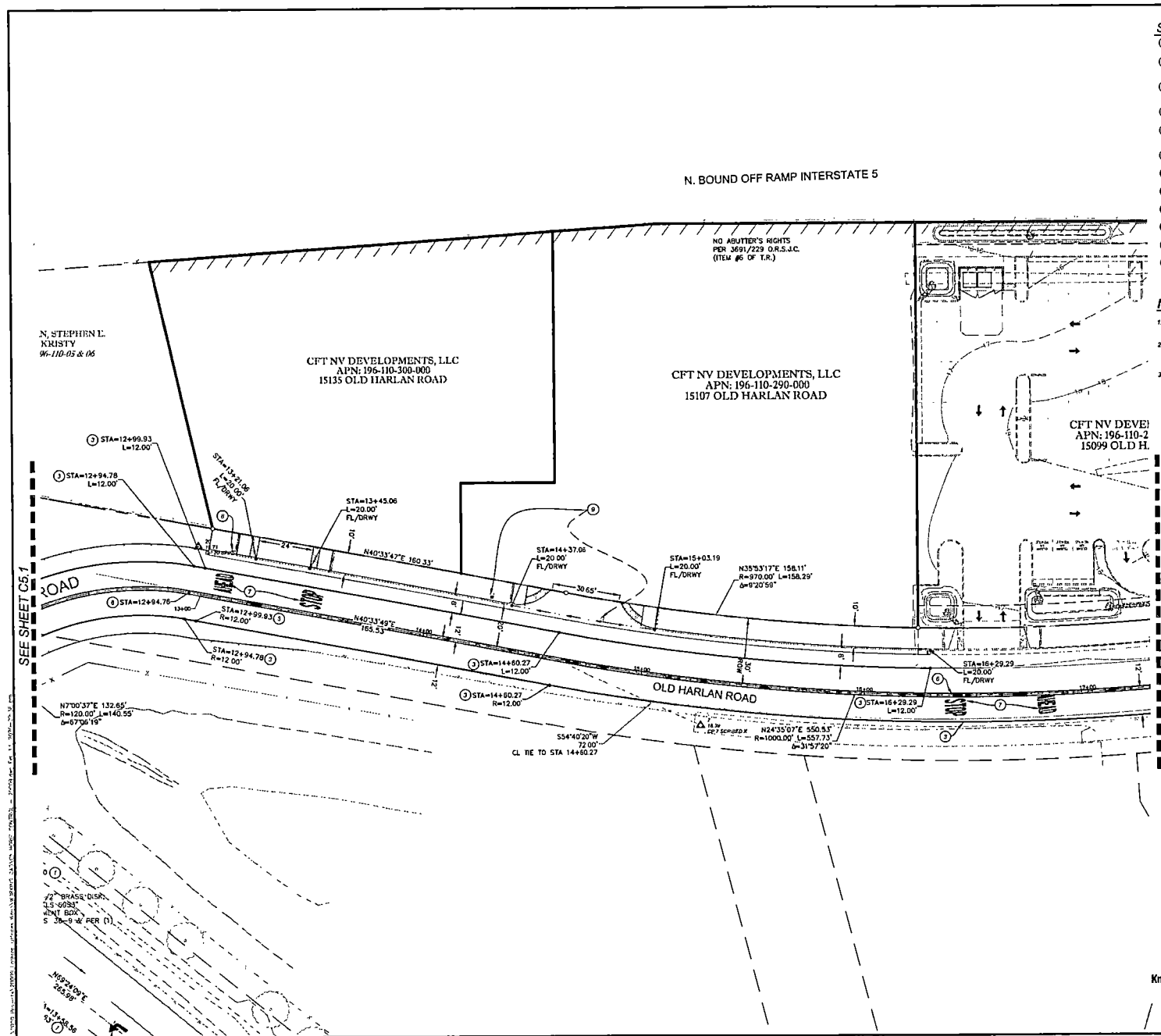


Drawing	Sheet
3	3
3	4
Total	
4	

02/07/2020







N. BOUND OFF RAMP INTERSTATE 5

N. STEPHEN L. KRISTY  
APN: 196-110-03 & 06

CFT NV DEVELOPMENTS, LLC  
APN: 196-110-300-000  
15135 OLD HARLAN ROAD

CFT NV DEVELOPMENTS, LLC  
APN: 196-110-290-000  
15107 OLD HARLAN ROAD

CFT NV DEVELOPMENTS, LLC  
APN: 196-110-2  
15099 OLD H.

- SIGNING AND STRIPING KEYNOTES**
- ① PAINT MEDIAN ISLAND STRIPING AND INSTALL TYPE D RETROREFLECTIVE MARKERS PER CALTRANS STANDARD DETAIL 29 (A200).
  - ② PAINT "STOP" STENCILING AND STOP BAR PER DETAIL 1, SHEET C5.1
  - ③ PAINT RIGHT EDGE LINE PER CALTRANS STANDARD DETAIL 27B (A200)
  - ④ PAINT TYPE IV LEFT TURN ARROW PER CALTRANS STANDARD PLAN A24A.
  - ⑤ PAINT TYPE III (B) ARROW PER CALTRANS STANDARD PLAN A24B.
  - ⑥ PAINT CENTERLINE AND PLACE RETROREFLECTIVE MARKERS PER CALTRANS STANDARD DETAIL 22.
  - ⑦ PAINT "STOP" AND "AHEAD" STRIPING PER CALTRANS STANDARD PLAN A24D.
  - ⑧ INSTALL W-1 STOP SIGN AHEAD SIGN. RELOCATE EXISTING SIGN IF POSSIBLE.
  - ⑨ RELOCATE 15 MPH LEFT TURN SIGN.
  - ⑩ PAINT TYPE IV RIGHT TURN ARROW PER CALTRANS STANDARD PLAN A24A.
  - ⑪ PAINT 12" WIDE WHITE THERMOPLASTIC STRIPING PER CALTRANS SPECIFICATIONS.
  - ⑫ PAINT 6" WIDE YELLOW STRIPING AT 30' ON CENTER.

- NOTES:**
1. ALL STRIPING SHOWN HEREON REFERENCES CALTRANS PAVEMENT MARKERS AND TRAFFIC LINES TYPICAL DETAILS OF 2019 STANDARD PLANS.
  2. ALL STATIONING SHOWN HEREON IS BASED OFF THE CONSTRUCTION CENTERLINE OF THE ROADWAY, NOT THE STRIPED CENTERLINE. SEE PLAN FOR CENTERLINE TIES, BEARINGS AND DISTANCES.
  3. ALL PAINTED PAVEMENT SHALL RECEIVE TWO COATS OF PAINT, MINIMUM.

APPROVED	DATE	REVISION	CHECK	BY	DATE	BY	DATE	BY	DATE

**SEE SHEET C5.1**

**SEE SHEET C5.3**

**811**  
Know what's below.  
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or (800) 227-2600

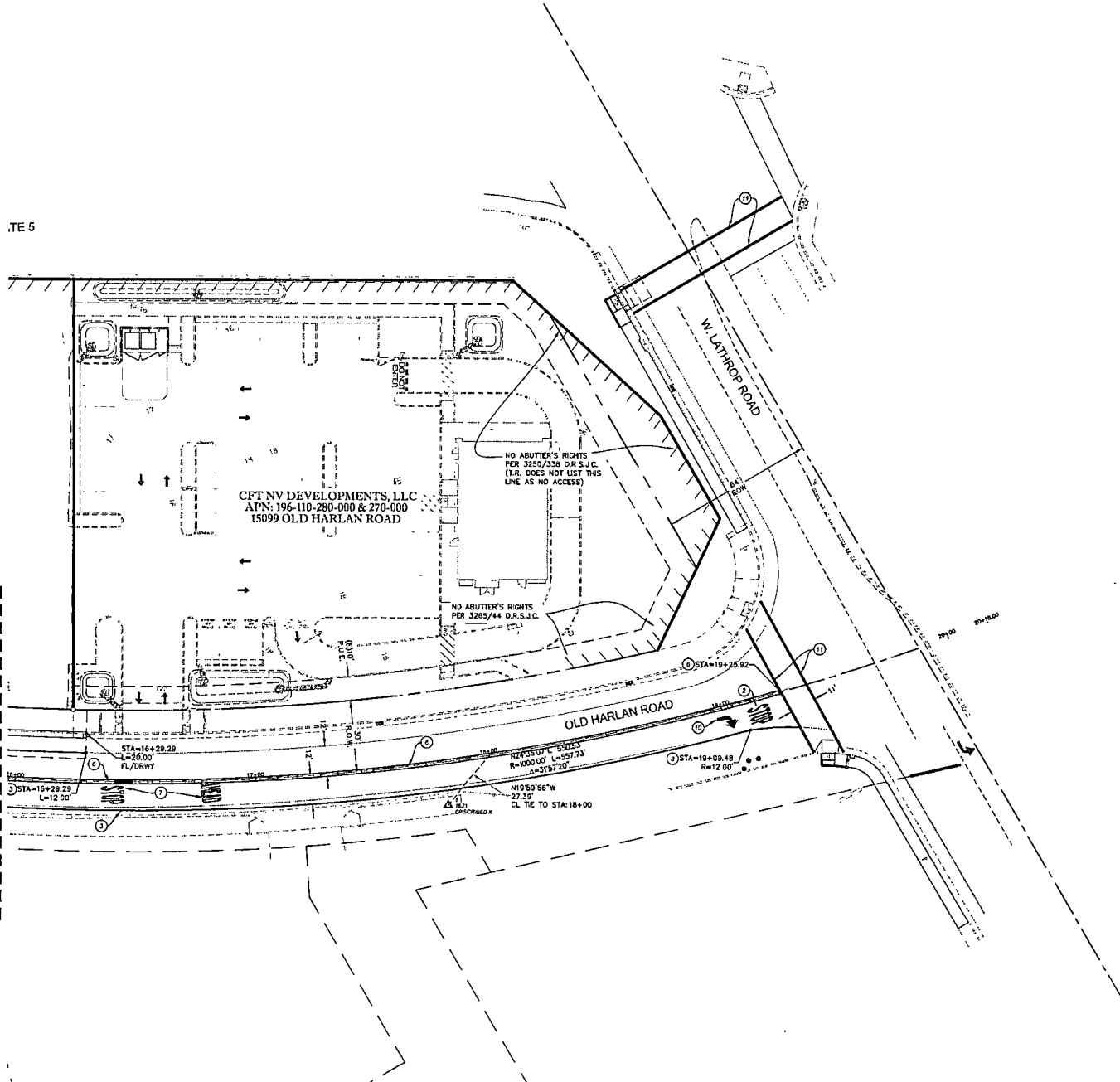
1 INCH = 20 FEET

**CFT NV DEVELOPMENTS, LLC**  
1120 N. TOWN CENTER DRIVE,  
LAS VEGAS, NV 89144  
PHONE: (888) 722-8122

**OLD HARLAN ROAD / WEST LATHROP ROAD OFF-SITE OFF-SITE IMPROVEMENT PLANS AND SIGNING AND STRIPING PLAN 2**

Sheet **C5.2**  
9 of 16  
02/13/2020

.TE 5



**SIGNING AND STRIPING KEYNOTES**

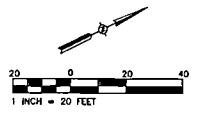
- ① PAINT MEDIAN ISLAND STRIPING AND INSTALL TYPE D RETROREFLECTIVE MARKERS PER CALTRANS STANDARD DETAIL 29 (A20X).
- ② PAINT "STOP" STENCILING AND STOP BAR PER DETAIL 1, SHEET C5.1
- ③ PAINT RIGHT EDGE LINE PER CALTRANS STANDARD DETAIL 27B (A20X)
- ④ PAINT TYPE IV LEFT TURN ARROW PER CALTRANS STANDARD PLAN A24A.
- ⑤ PAINT TYPE III (B) ARROW PER CALTRANS STANDARD PLAN A24B.
- ⑥ PAINT CENTERLINE AND PLACE RETROREFLECTIVE MARKERS PER CALTRANS STANDARD DETAIL 22.
- ⑦ PAINT "STOP" AND "AHEAD" STRIPING PER CALTRANS STANDARD PLAN A24D.
- ⑧ INSTALL W-1 STOP SIGN AHEAD SIGN. RELOCATE EXISTING SIGN IF POSSIBLE.
- ⑨ RELOCATE 15 MPH LEFT TURN SIGN.
- ⑩ PAINT TYPE IV RIGHT TURN ARROW PER CALTRANS STANDARD PLAN A24A.
- ⑪ PAINT 12" WIDE WHITE THERMOPLASTIC STRIPING PER CALTRANS SPECIFICATIONS.
- ⑫ PAINT 6" WIDE YELLOW STRIPING AT 30' ON CENTER.

**NOTES:**

1. ALL STRIPING SHOWN HEREON REFERENCE CALTRANS PAVEMENT MARKERS AND TRAFFIC LINES TYPICAL DETAILS OF 2018 STANDARD PLANS.
2. ALL STATIONING SHOWN HEREON IS BASED OFF THE CONSTRUCTION CENTERLINE OF THE ROADWAY, NOT THE STRIPED CENTERLINE. SEE PLAN FOR CENTERLINE TIES, BEARINGS AND DISTANCES.
3. ALL PAINTED PAVEMENT SHALL RECEIVE TWO COATS OF PAINT, MINIMUM.



Know what's below.  
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or (800) 227-2600



NO.	REVISION	DATE	BY	APPROV'D



**RFE ENGINEERING, INC.**  
 2500 E. FLORISSA AVENUE, SUITE 150  
 LAS VEGAS, NV 89144  
 PHONE: (620) 372-8122  
 WWW.RFEENGINEERING.COM

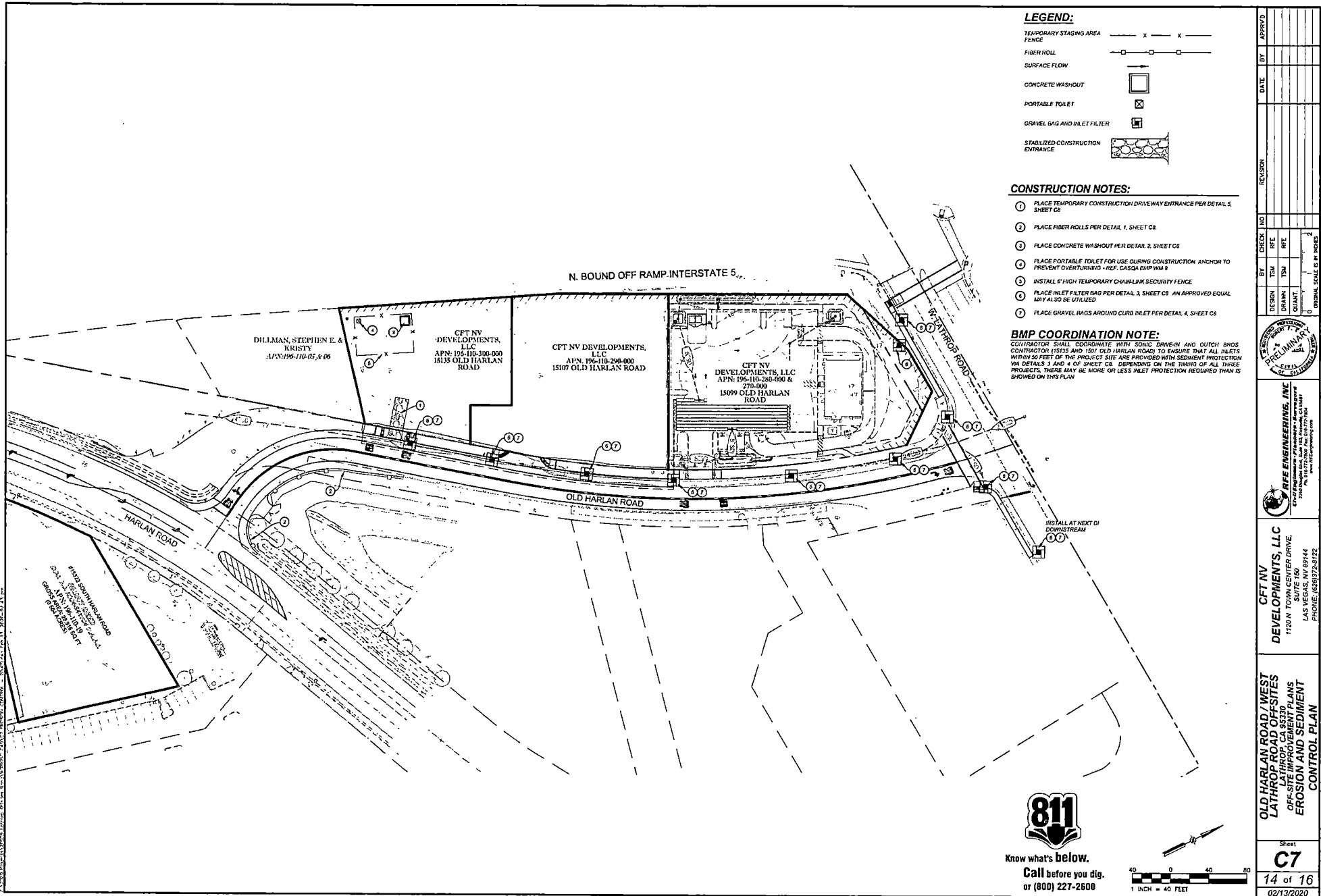
**CFT NV DEVELOPMENTS, LLC**  
 1120 N. TOWN CENTER DRIVE,  
 SUITE 150  
 LAS VEGAS, NV 89144  
 PHONE: (620) 372-8122

**OLD HARLAN ROAD / WEST LATHROP ROAD OFFSITES**  
 LATHROP, CA 95330  
 OFF-SITE IMPROVEMENT PLANS  
 OLD-SHALE DEVELOPMENT CONTROL AND ROAD HORIZONTAL CONTROL AND SIGNING AND STRIPING PLAN 3

Sheet  
**C5.3**  
 10 of 16  
 02/13/2020

RFE PROJECT #700066 - LATHROP OFFSITES WANC, LATHROP CA





**LEGEND:**

- TEMPORARY STAGING AREA FENCE: — x — x —
- FIBER ROLL: — □ — □ — □ —
- SURFACE FLOW: —>—
- CONCRETE WASHOUT: □
- PORTABLE TOILET: ⊗
- GRAVEL BAG AND INLET FILTER: ⊞
- STABILIZED CONSTRUCTION ENTRANCE: [hatched box]

**CONSTRUCTION NOTES:**

- 1 PLACE TEMPORARY CONSTRUCTION DRIVEWAY ENTRANCE PER DETAIL 5, SHEET C6
- 2 PLACE FIBER ROLLS PER DETAIL 1, SHEET C6
- 3 PLACE CONCRETE WASHOUT PER DETAIL 2, SHEET C6
- 4 PLACE PORTABLE TOILET FOR USE DURING CONSTRUCTION ANCHOR TO PREVENT OVERTURNING - REF. CASCO EQUIPMENT 8
- 5 INSTALL 6' HIGH TEMPORARY CHAINLINK SECURITY FENCE
- 6 PLACE INLET FILTER BAG PER DETAIL 3, SHEET C6. AN APPROVED EQUAL MAY ALSO BE UTILIZED
- 7 PLACE GRAVEL BAGS AROUND CURB INLET PER DETAIL 4, SHEET C6

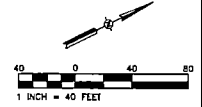
**BMP COORDINATION NOTE:**

CONTRACTOR SHALL COORDINATE WITH SOND DRIVE-IN AND OUTCH BROS CONTRACTOR (15115 AND 1501 OLD HARLAN ROAD) TO ENSURE THAT ALL INLETS WITHIN 50 FEET OF THE PROJECT SITE ARE PROVIDED WITH SEDIMENT PROTECTION VIA DETAILS 3 AND 4 OF SHEET C6. DEPENDING ON THE TIMING OF ALL THESE PROJECTS, THERE MAY BE MORE OR LESS INLET PROTECTION REQUIRED THAN IS SHOWN ON THIS PLAN.

APPROVED	DATE	REVISION
BY	DATE	REVISION
DESIGN	TSM	REF
DRAWN	TSM	REF
QUANT		
ORIGINAL SCALE IS 1" = 40'		
<b>FREE ENGINEERING, INC.</b> CIVIL ENGINEERING / ARCHITECTURE / SURVEYING 1120 N. TULSA DRIVE SUITE 100 LAS VEGAS, NV 89144 PHONE: (659) 727-2000 FAX: (659) 727-2020 WWW.FREEENGINEERING.COM		
<b>CFT NV DEVELOPMENTS, LLC</b> 1120 N. TULSA DRIVE SUITE 100 LAS VEGAS, NV 89144 PHONE: (659) 727-2020		
<b>OLD HARLAN ROAD / WEST LATHROP ROAD OFFSITES</b> LATHROP, CA 95330 OFF-SITE IMPROVEMENT PLANS EROSION AND SEDIMENT CONTROL PLAN		
Sheet <b>C7</b> 14 of 16 02/13/2020		



Know what's below.  
 Call before you dig.  
 or (800) 227-2600



# CFT DEVELOPMENT

## SONIC DRIVE IN - PAD II

### 15107 OLD HARLAN RD



*Developments, LLC*  
 CFC# 1945 3001, INC.  
 110 & Jean Carter Dr.  
 Los Angeles, CA 90015  
 Telephone: 424.79.9554  
 Fax: 424.79.2754



CONSULTANT

**GARY WANG**  
 & ASSOCIATES, INC.  
 1800 Corporate Center Dr., Suite 150  
 Hawthorne, CA 91742  
 Tel: (310) 348-1888 Fax: (310) 348-7191  
 gary@cw-engineering.com

STAMP



PROJECT NAME/ADDRESS  
**CFT**  
 DEVELOPMENT  
 15107 & 15185 OLD HARLAN RD  
 LATHROP, CALIFORNIA 95330

REVISIONS:

NO.	DATE	DESCRIPTION

ISSUE DATE

BY	ISSUE DATE

JOB NUMBER

DRAWN BY

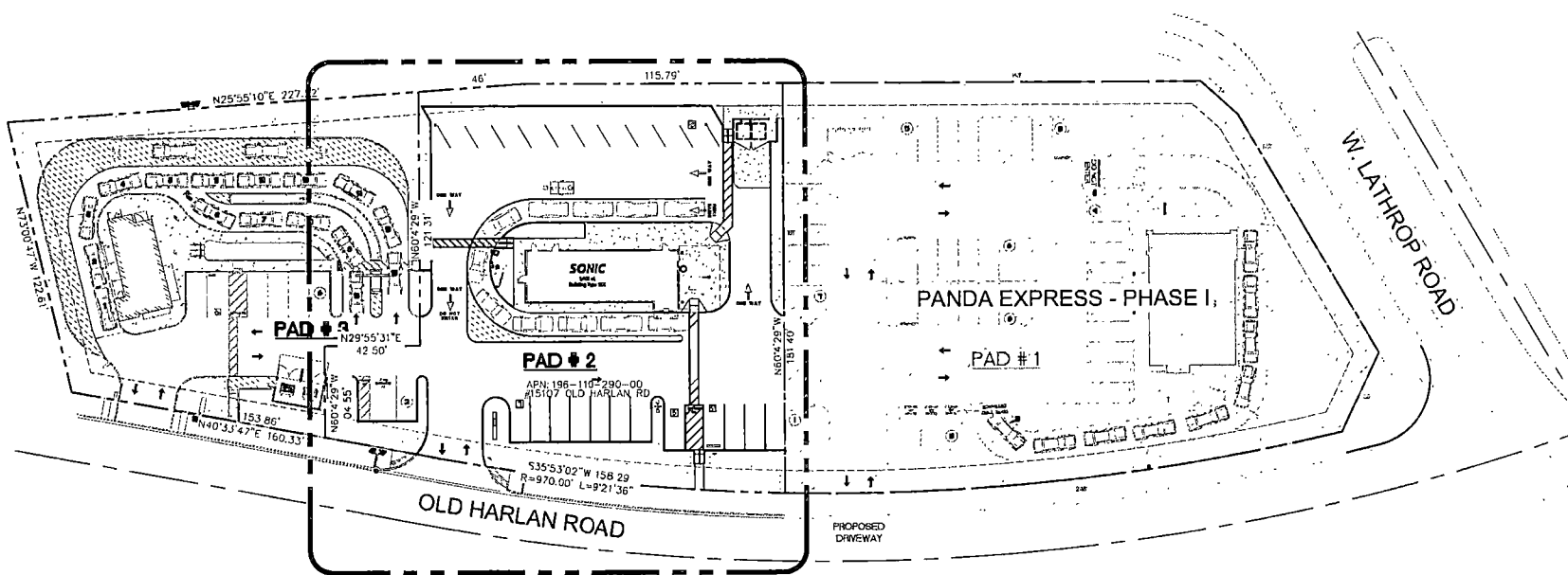
LG/JJP

SHEET CONTENT

SONIC OVERALL SITE PLAN

SHEET NO

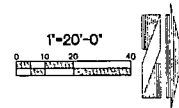
**A-200**



OVERALL SITE PLAN 1  
 Scale= 1/24"=1'-0" A-200



SONIC DRIVE-IN  
LANDSCAPE and IRRIGATION SET



I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

NAME: **JW** DATE: 12.10.2019

LANDSCAPE PLAN  
15107 OLD HARLAN ROAD  
LATHROP, CA 95330



Scale: Horizontal 1/4" = 1'-0" Vertical 1/8" = 1'-0"

Designed by: **JW**  
Drawn by: **JW**  
Checked by: **JW**  
Approved by: **JW**  
Date: 12/10/19

**Barghausen Consulting Engineers, Inc.**  
18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222 barghausen.com

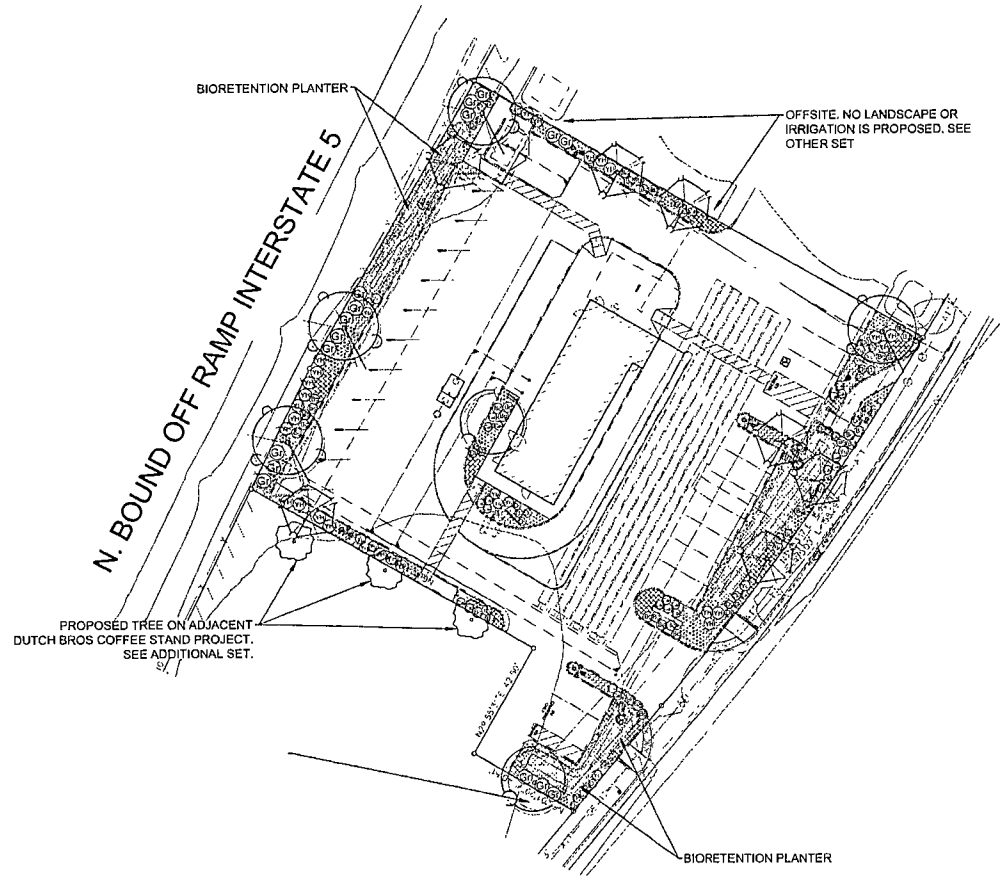


Job Number: 21102  
Sheet: L-1 of 5

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	SIZE	CONDITION	SPACING	QTY.	WUCOLS REGION 2	REMARKS
<b>TREES:</b>							
	LAURUS NOBILIS 'SARATOGA' / SWEET BAY	15 GAL	AS SHOWN			LOW	STAKE & GUY ONE GROWING SEASON; NURSERY GROWN, BRANCHED AT 5'
	LAGERSTROEMIA INDICA 'RED ROCKET' / CRAPE MYRTLE	15 GAL	AS SHOWN			LOW	STAKE & GUY ONE GROWING SEASON; NURSERY GROWN, BRANCHED AT 5'
	ACER FREEMANI 'AUTUMN FANTASY' / FREEMAN MAPLE	15 GAL	AS SHOWN			W.D.	STAKE & GUY ONE GROWING SEASON; NURSERY GROWN, BRANCHED AT 5'
<b>SHRUBS and ORNAMENTAL GRASSES:</b>							
	HELICTOTRICHON SEMP. / BLUE DAT GRASS	1 GALLON	AS SHOWN			LOW	FULL & BUSHY
	DIETES X 'ORANGE DROP' / FORNIGHT LILY	1 GALLON	AS SHOWN			LOW	FULL & BUSHY
	CALLISTEMON VIMINALIS 'BETTER JOHN' / CALLISTEMON	5 GALLON	AS SHOWN			LOW	FULL & BUSHY
	GRIVELLEA X 'NOELLE' / GRIVELLEA	5 GALLON	AS SHOWN			LOW	FULL & BUSHY
	RHAPHOLEPIS UMBELLATA / 'ELEANOR TABOR' YEEDOO HAWTHORNE	5 GALLON	AS SHOWN			LOW	FULL & BUSHY
	YUCCA X 'BRIGHT STAR' / VARIEGATED SPANISH DAGGER	5 GALLON	AS SHOWN			LOW	FULL & BUSHY
<b>GROUND COVER:</b>							
	FESTUCA GLAUCA OVINA 'ELIJAH BLUE' / BLUE FESCUE	1 GALLON	24" O.C.	AS REQ'D		LOW	HOLD BACK 16" FROM BORDERS, TREES, AND SHRUBS; TRIANGULAR SPACING
	MYOPORUM PARVIFOLIUM / TRAILING MYOPORUM	1 GALLON	42" O.C.	AS REQ'D		LOW	HOLD BACK 16" FROM BORDERS, TREES, AND SHRUBS; TRIANGULAR SPACING
<b>BIORETENTION PLANTERS:</b>							
	FESTUCA RUBRA 'MOLATE' / MOLATE FESCUE	SEED	COVER	AS		LOW	HOLD BACK 16" FROM BORDERS, TREES, AND SHRUBS; TRIANGULAR SPACING
<b>MULCH:</b>							
	2"-3" DEPTH 1"-2" ROUNDED ROCK (WASHED) OVER WEED BARRIER FABRIC						

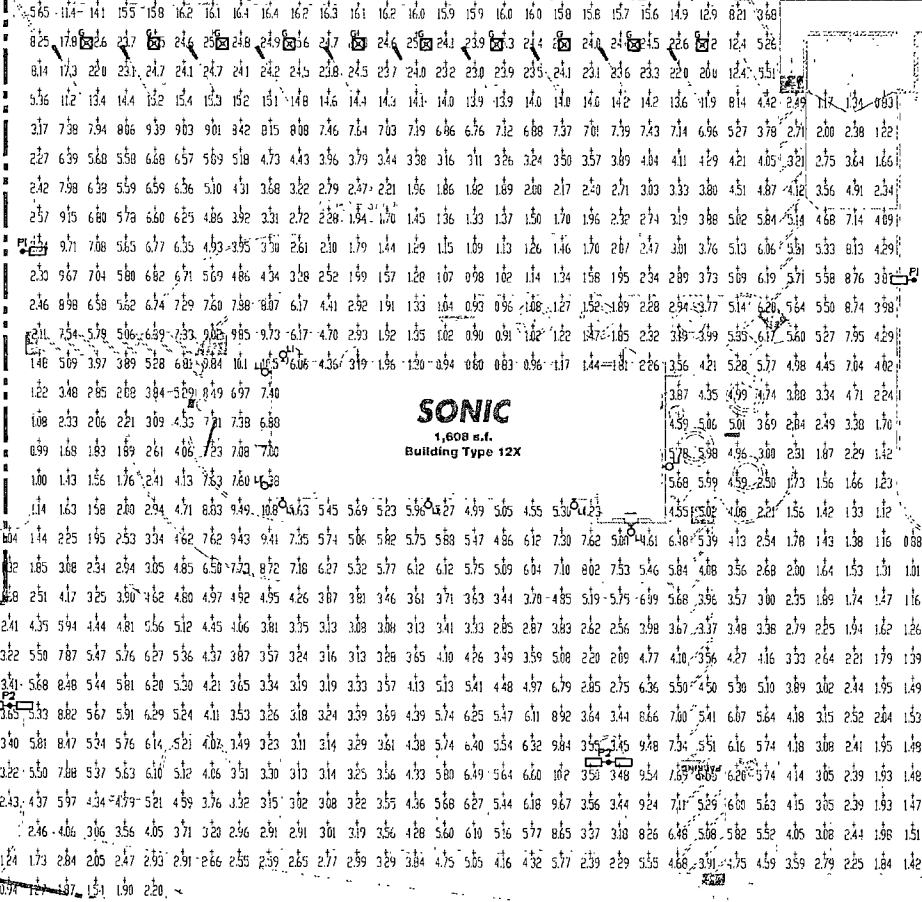
ALL TREES WITHIN 10' OF PAVEMENT SHALL HAVE ROOT BARRIER



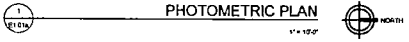


NO.	DESCRIPTION	AREA	PERCENT	TOTAL	PERCENT	TOTAL
1	ROOF	10,000	100	10,000	100	10,000
2	WALLS	1,000	10	1,000	10	1,000
3	FLOORS	1,000	10	1,000	10	1,000
4	GLASS	1,000	10	1,000	10	1,000
5	MECHANICAL	1,000	10	1,000	10	1,000
6	ELECTRICAL	1,000	10	1,000	10	1,000
7	MECHANICAL	1,000	10	1,000	10	1,000
8	ELECTRICAL	1,000	10	1,000	10	1,000
9	MECHANICAL	1,000	10	1,000	10	1,000
10	ELECTRICAL	1,000	10	1,000	10	1,000
11	MECHANICAL	1,000	10	1,000	10	1,000
12	ELECTRICAL	1,000	10	1,000	10	1,000
13	MECHANICAL	1,000	10	1,000	10	1,000
14	ELECTRICAL	1,000	10	1,000	10	1,000
15	MECHANICAL	1,000	10	1,000	10	1,000
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17	MECHANICAL	1,000	10	1,000	10	1,000
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27	MECHANICAL	1,000	10	1,000	10	1,000
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41	MECHANICAL	1,000	10	1,000	10	1,000
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43	MECHANICAL	1,000	10	1,000	10	1,000
44	ELECTRICAL	1,000	10	1,000	10	1,000
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49	MECHANICAL	1,000	10	1,000	10	1,000
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51	MECHANICAL	1,000	10	1,000	10	1,000
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64	ELECTRICAL	1,000	10	1,000	10	1,000
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85	MECHANICAL	1,000	10	1,000	10	1,000
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98	ELECTRICAL	1,000	10	1,000	10	1,000
99	MECHANICAL	1,000	10	1,000	10	1,000
100	ELECTRICAL	1,000	10	1,000	10	1,000

**SONIC**  
1,608 s.f.  
Building Type 12X



PHOTOMETRIC PLAN



**SONIC**  
Architect's Office

15107 OLD HARLAN RD  
LATHROP CA

REGISTERED PROFESSIONAL ENGINEER  
ELECTRICAL CONSULTING ENGINEER AND  
ARCHITECT

NO. 014587  
EXP. 9/30/20

**C&G ENGINEERING, INC.**

13213 10<sup>th</sup>

PLANNING SUBMITTAL 11.15.19

CONTRACT DATE 11/14/19  
BUILDING TYPE 11/14/19  
PLAN NUMBER 11/14/19  
DESIGNER 11/14/19  
SITE NUMBER 11/14/19  
STORE NUMBER 11/14/19

TACO BELL

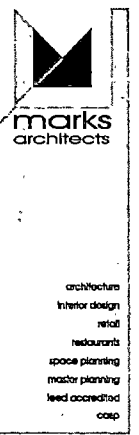
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E1.01a  
PHOTOMETRIC PLAN







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PLANNING SUBMITTAL 11.15.19

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BUILDING TYPE:  PROTOTYPE  
PLAN VERSION: NOV 2019  
CONSULTANT: Jann Treacher  
SITE NUMBER:  
STORE NUMBER:



15107 OLD HARLAN RD  
LATHROP CA

A3.0  
EXTERIOR ELEVATIONS

### DRAWING LEGEND

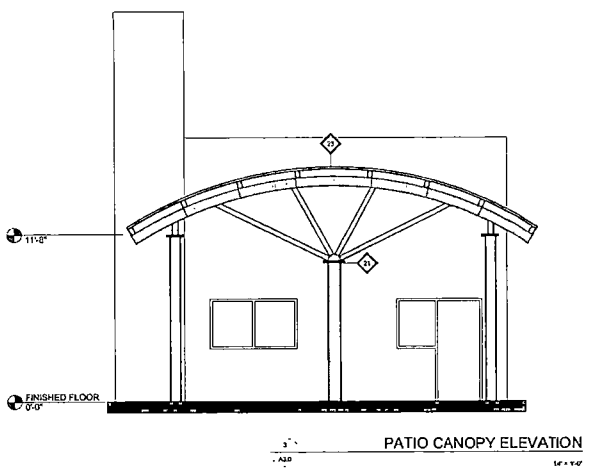
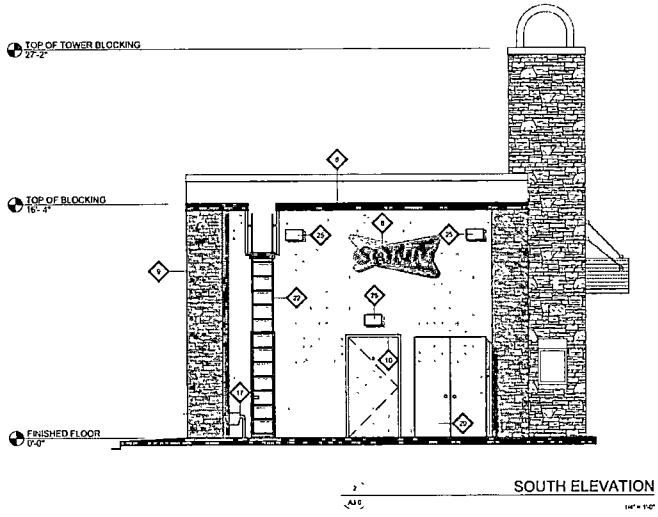
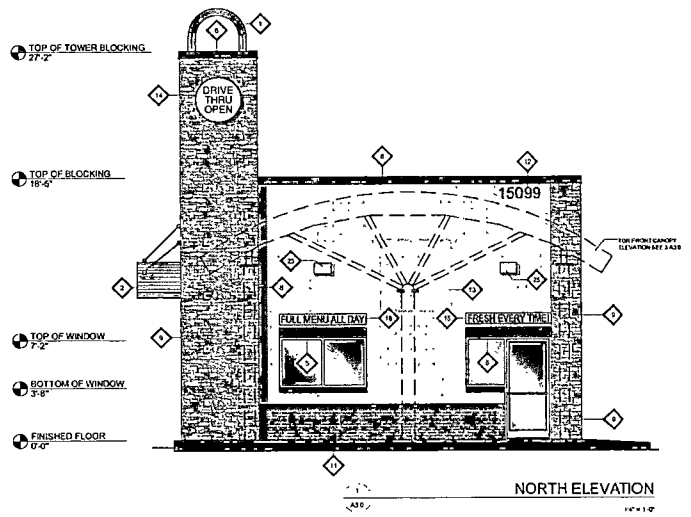
**GENERAL NOTES**  
 - DIMENSIONS IN PARENTHESIS TO CENTERLINE  
 - VERIFY GRADE PRIOR TO CONSTRUCTION  
 - DO NOT SCALE DRAWINGS  
 - CONTACT ARCHITECT FOR ANY FABRICATORS AND FINISHES  
 - REFER TO GENERAL SPECIFICATIONS FOR ADDITIONAL INFORMATION

### KEYED NOTES

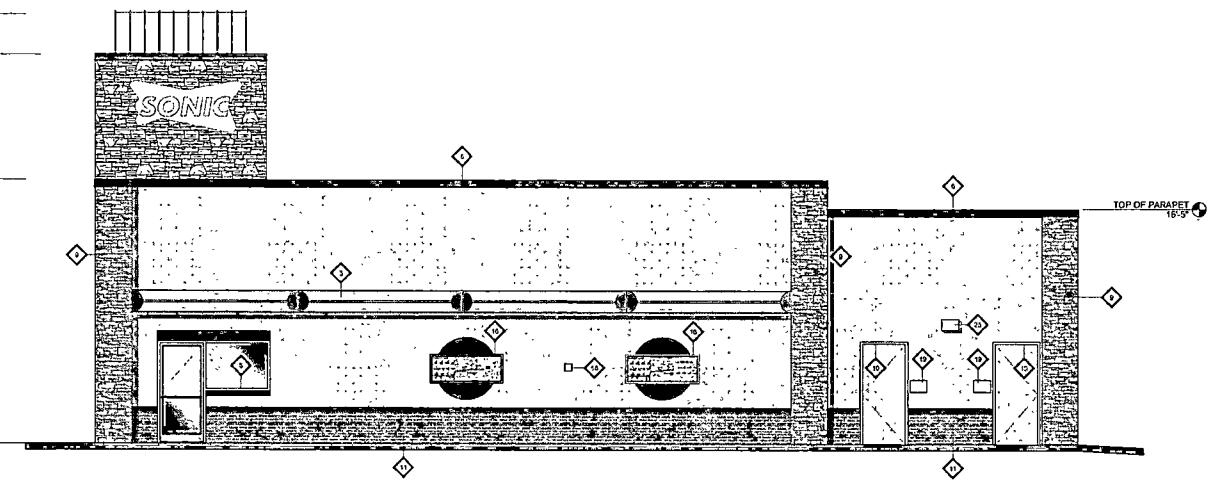
1. PREMANUFACTURED METAL YELLOW ROOF PANEL WITH BEAMS & LIGHT STRIP (A3.0) - PROVIDED BY CANOPY SYSTEM
2. PREMANUFACTURED YELLOW METAL DRIVE THRU WINDOW WITH BEAMS & LIGHT STRIP (A3.0) - PROVIDED BY CANOPY SYSTEM
3. PREMANUFACTURED METAL DRIVE THRU WINDOW WITH BEAMS & LIGHT STRIP (A3.0) - PROVIDED BY CANOPY SYSTEM
4. CANOPY ACCESS PANELS 4' X 8' TO CENTER
5. STONE FRONT DOORS AND WINDOW FRAMES - COLOR #1
6. PREPAVED METAL - COLOR #2
7. ADDITIONAL PANELS LAST VERTICAL LOCATION WITH CORNER METAL TO CENTERLINE
8. BRICK/PAVEMENT JOINT
9. CONCRETE STONE VENEER, SEE COLOR #1
10. YELLOW METAL DOOR AND FRAME - COLOR #4
11. BRICK VENEER - COLOR #1
12. FORMS AND BRICKS FOR CONCRETE DETAILMENT AUTHORITY. PROVIDED AND INSTALLED BY GENERAL CONTRACTOR
13. ALUMINUM GLAZING PANEL - MOUNTED 11" UP LEFT TO CENTER. PROVIDED BY GENERAL CONTRACTOR AND INSTALLED BY GENERAL CONTRACTOR
14. MOUNTED OVER WINDOW WITH BEAMS & LIGHT STRIP (A3.0) - PROVIDED BY CANOPY SYSTEM
15. LED SIGN OVER WINDOW "FULL MENU ALL DAY" AND "FRESH EVERY TIME" SIGN SUPPLIED BY CANOPY SYSTEM AND INSTALLED BY GENERAL CONTRACTOR. REFER TO ELECTRICAL DRAWINGS FOR WIRING AND CONNECTIONS.
16. VENTS IN CEILING BEHIND WALLS SEE ELECTRICAL CONTRACTOR TO PROVIDE ELECTRICAL CONNECTION.
17. GAS SERVICE - PAINT TO MATCH COLOR #2
18. GENERAL EXHAUSTION SYSTEM CONNECTION 11" UP REFER TO MECHANICAL CONTRACTOR
19. MECHANICAL SERVICE - REFER TO MECHANICAL CONTRACTOR TO PROVIDE ELECTRICAL CONNECTION
20. ELECTRICAL SERVICE
21. ROUND USE OPEN SIGN SUPPLIED BY CANOPY AND MOUNTED TO FRONT OF PATIO CANOPY. ELECTRICAL CONTRACTOR TO PROVIDE ELECTRICAL CONNECTION
22. ROOF LADDERS - REFER TO SAS #2
23. PATIO CANOPY WITH METAL BRACKET BRANDING SIGN REFER TO SAS #2111 FOR DETAILS AND EST FOR ADDITIONAL INFORMATION
24. AVAILABLE SIGN HEIGHTS AS DETERMINED BY LOCAL JURISDICTION. LIGHTS BY SIGN COMPANY. GENERAL CONTRACTOR TO PROVIDE ELECTRICAL
25. DOWNSPOUT SYSTEMS - REFER TO ELECTRICAL DRAWINGS FOR DETAILS AND CONNECTIONS AND VERIFY SIZES. PROVIDE BRACKET AS NECESSARY. REFER TO DETAIL FOR MOUNTING HEIGHT

### COLOR SCHEDULE

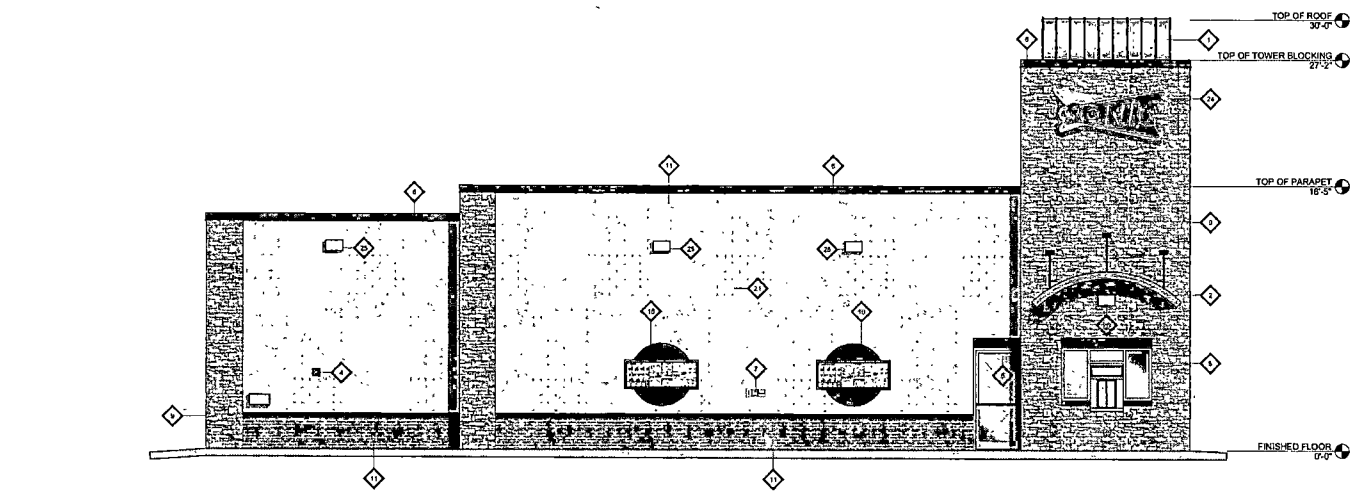
- COLOR #1**  
 WINDOW AND STOREFRONT BRICK FINISHES  
 COLOR: BURNED BRICK (A3.0)  
 MOUNT: US ALUMINUM COPPER
- COLOR #2**  
 PREPAVED METAL NEIGAR FINISHES  
 COLOR: BRASS BRONZE (A3.0)
- COLOR #3**  
 BRICK (A3.0) - REFER TO THE 15107 BRICK SPECIFICATION STACK  
 COLOR: CARROLL MOUNTAIN
- COLOR #4**  
 METAL - ZINC BRICK  
 COLOR: BURNED BRICK (A3.0)  
 MOUNT: GRAY



TOP OF ROOF  
30'-0"  
 TOP OF TOWER BLOCKING  
27'-2"  
 TOP OF PARAPET  
18'-5"  
 FINISHED FLOOR  
0'-0"



WEST ELEVATION  
SCALE 1/8" = 1'-0"



EAST ELEVATION  
SCALE 1/8" = 1'-0"

**DRAWING LEGEND**

**GENERAL NOTES**  
 -CONSISTENT OF DETAILS ARE TO FOLLOW LINE  
 -VERIFY GRADE PRIOR TO CONSTRUCTION  
 -DO NOT SCALE DRAWINGS  
 -CONTACT ARCHITECT FOR ANY DISCREPANCIES AND  
 REVISIONS  
 -REFER TO CANNOPY DRAWINGS FOR ADDITIONAL  
 INFORMATION AND FINISH SCHEDULE INFORMATION

**KEYED NOTES**

1. PREMANUFACTURED METAL YELLOW ROOF COME WITH VALUE L.E.D LIGHT STRIP WITH 1% PROVIDED BY CANOPY CONTRACTOR
2. PREMANUFACTURED YELLOW METAL DRIVE THRU CANOPY WITH YELLOW L.E.D LIGHT STRIP SUPPLIED BY CANOPY CONTRACTOR
3. PREMANUFACTURED METAL ALUMINUM CANOPY FRAMES WITH YELLOW AND RED L.E.D RETAIL STRIPS SUPPLIED AND INSTALLED BY CANOPY CONTRACTOR
4. 1" X 4" ACCESS PANELS 4" A.F.F. TO CENTER
5. STOREFRONT DOORS AND WINDOW FRAMES - COLOR #1
6. PREP ANODIZED METAL - COLOR #2
7. ADDITIONAL PAINTS LAST YEAR'S LOCATION WITH CORNER PAINT IS TO BE ELECTRICAL
8. UNICA EXPANDED JOINT
9. CORNWOOD STONE VENEER, SEE COLOR #3
10. YELLOW METAL DOOR AND FRAME - COLOR #2
11. BRUSH FINISH COLOUR #1
12. ACCESSIBLE RAMPED FOR LOCAL FIRE DEPARTMENT AUTHORITY - PROPOSED AND BE SUBJECT TO LOCAL CODES
13. ALUMINUM GRAPHIC PANEL - MOUNTED 11'-0" A.F.F. TO CENTER - PROVIDED BY CONTRACTOR AND INSTALLED BY GENERAL CONTRACTOR
14. PROVIDE LED LIGHTING WITH SUPPLIES BY OWNER. ELECTRICAL CONTRACTOR TO PROVIDE ELECTRICAL CONNECTION
15. LED SIGN OVER WINDOW "FULL BEHIND ALL DAY" AND "OPEN HERE FROM 8AM-10PM" SUPPLIED BY OWNER AND INSTALLED BY GENERAL CONTRACTOR. VERIFY ELECTRICAL CONNECTION WITH OWNER. MAIN CONDUIT FACE MUST BE 3" FROM WALL TO SIGN. ELECTRICAL CONTRACTOR
16. POSTER DISPLAY BOARD WITH BLUE EDGE SUPPLIED BY OWNER. ELECTRICAL CONTRACTOR TO PROVIDE ELECTRICAL
17. GAS SERVICE - PAINT TO MATCH COLOR #2
18. GAS EXHAUSTION SYSTEM CONNECTION 8" UP TO EXTERIOR
19. MAIN ELECTRICAL SERVICE SHALL BE 2" BIFURCATED ELECTRICAL INFORMATION
20. ELECTRICAL SERVICE - PAINT TO MATCH COLOR #2
21. ROUNDED LED SIGN SUPPLIED BY OWNER AND INSTALLED TO EXTERIOR OF BUILDING BY ELECTRICAL CONTRACTOR
22. ROOF LAUNDER - REFER TO 304-02
23. PAINT CANOPY WITH METAL SILLER STANDING SEAM ROOF - REFER TO 304-02 AND 304-03 AND SEE ALL FOR ADDITIONAL INFORMATION
24. PROVIDE LED LIGHTING WITH SUPPLIES BY OWNER FOR LOCAL SIGN OR SIGNAGE IS SUPPLIED BY OWNER. ELECTRICAL CONTRACTOR TO PROVIDE ELECTRICAL
25. SIGN LIGHT FIXTURES  
 -REFER TO ELECTRICAL DRAWINGS  
 -MATCHED TO VENEER AND LIGHTING FIXTURES  
 -PROVIDE BACKING AS NECESSARY  
 -REFER TO DRAWING FOR MOUNTING HEIGHT

**COLOR SCHEDULE**  
 COLOR #1  
 WINDOW AND STOREFRONT DOOR FRAMES  
 CORNER PAINT AND SIGNAGE  
 UNICA EXPANDED JOINT  
 COLOR #2  
 PREMANUFACTURED METAL ALUMINUM CANOPY FRAMES  
 WINDOW AND STOREFRONT DOOR FRAMES  
 CORNER PAINT AND SIGNAGE  
 COLOR #3  
 VENEER  
 BRUSH FINISH COLOUR #1  
 BRUSH FINISH COLOUR #2  
 BRUSH FINISH COLOUR #3

architecture  
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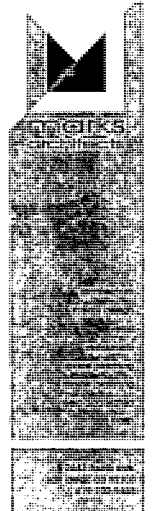
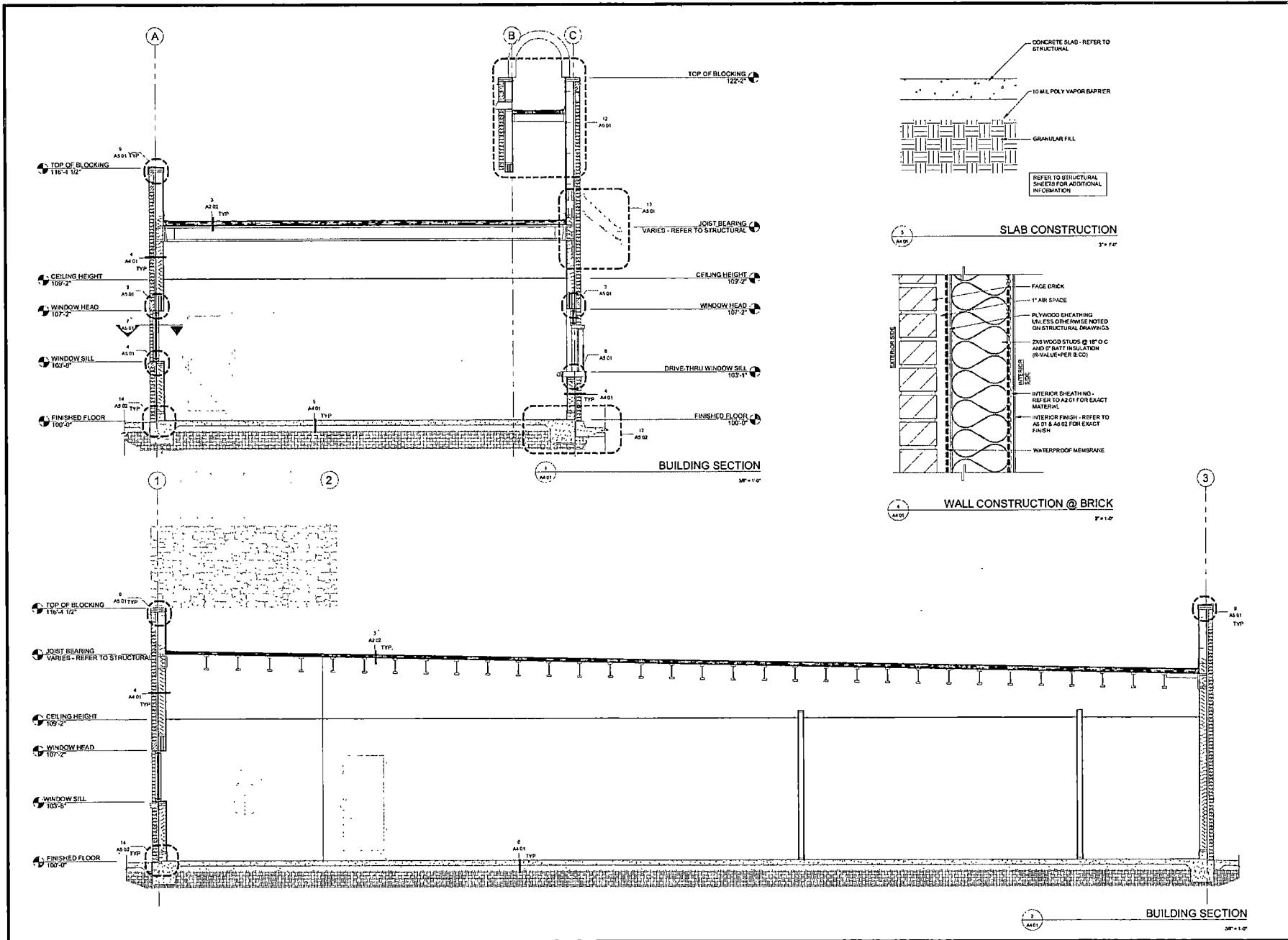
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PLANNING SUBMITAL	11.15.19
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BUILDING TYPE: FOR PROTOTYPE  
 PLAN VERSION: NOV 2019  
 CONSULTANT: John Truett  
 SITE NUMBER:  
 STORE NUMBER:

15107 OLD HARLAN RD  
 LATHROP CA

**A3.1**  
 EXTERIOR ELEVATIONS



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PLANNING SUBMITTAL	DATE
1	11.15.19
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	

CONTRACT DATE: 7/4/20  
 BUILDING TYPE: RESTAURANT  
 PLAN VERSION: NOV 2019  
 GRAPHIC DESIGNER: [Name]  
 SITE NUMBER: 20708  
 STORE NUMBER: [Number]

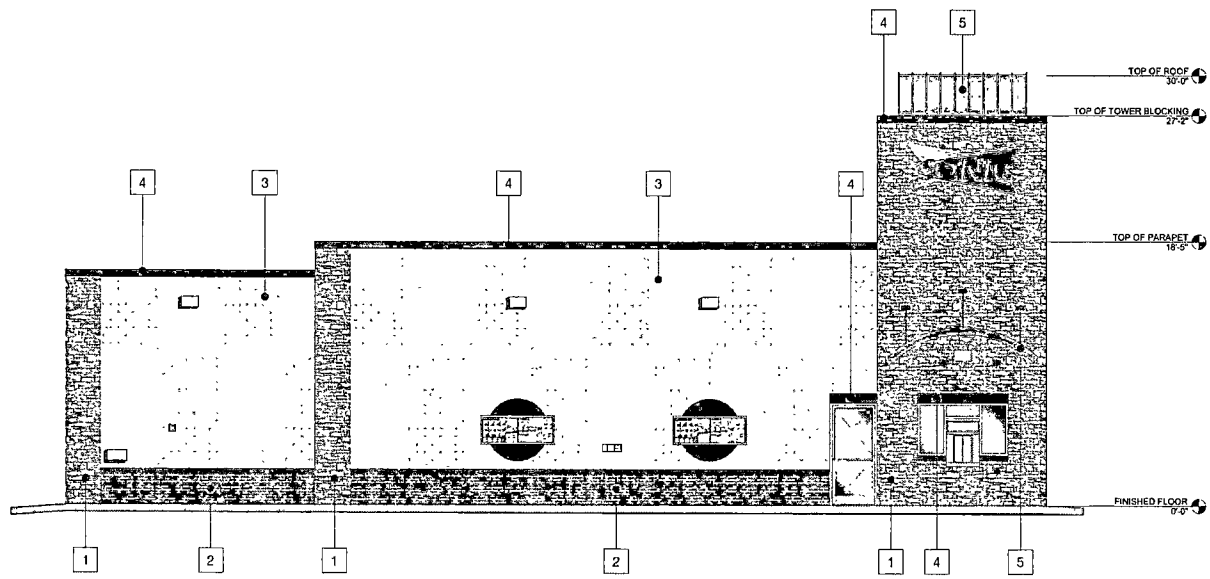
**TACO BELL**  
 19022 BEACH BLVD  
 HUNTINGTON BEACH, CA



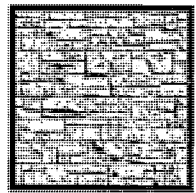
15017 OLD HARLAN RD  
 LATHROP, CA

**A4.01**  
 BUILDING SECTIONS

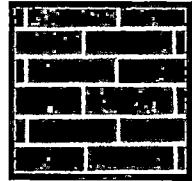
NOTE: SIGN AND CANOPY UNDER  
A SEPARATE PERMIT BY VENDOR



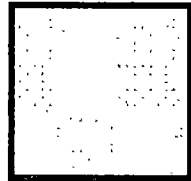
**EAST ELEVATION (DRIVE THRU)**



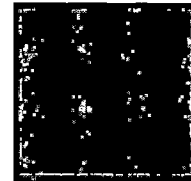
1 CORONADO STONE VENEER  
IDAHO DRYSTACK  
CARMEL MOUNTAIN



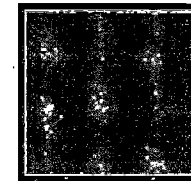
2 ACME BRICK  
COLOR: SUMMER VINEYARD  
MORTAR: GRAY



3 SHERWIN WILLIAMS  
SAND  
# SW 7529



4 SHERWIN WILLIAMS  
ENDURING BRONZE  
# SW 7055



5 SHERWIN WILLIAMS  
BUTTERFIELD  
# SW 6676

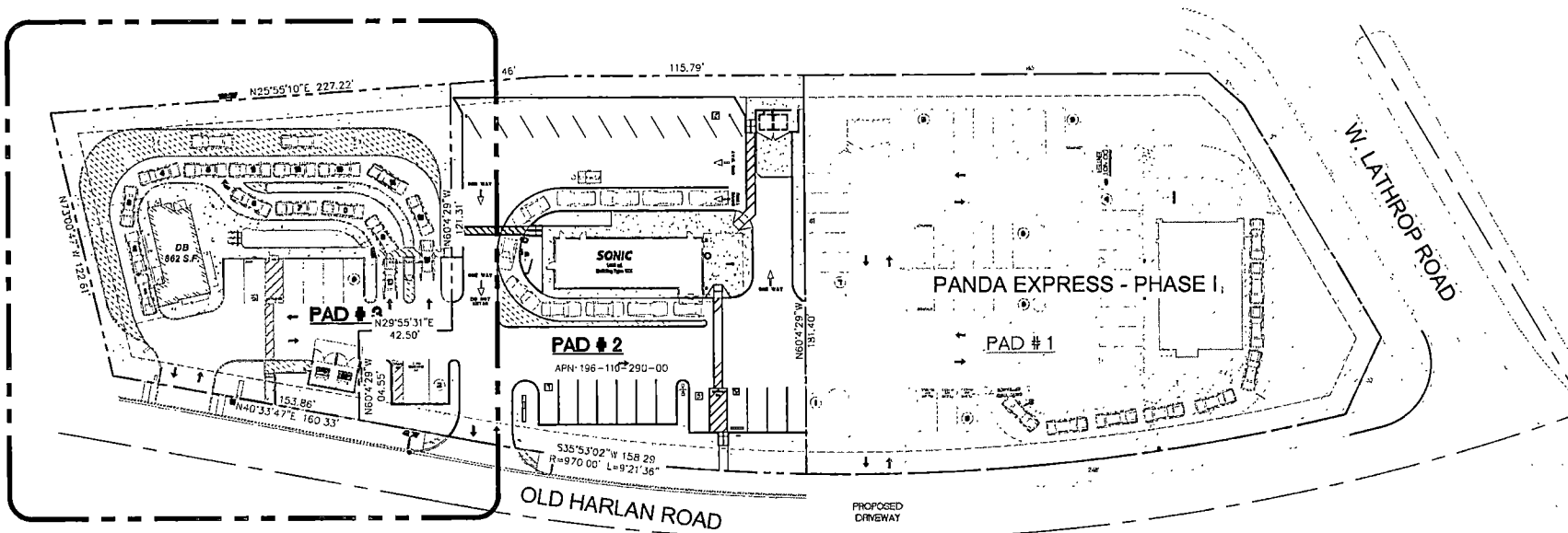
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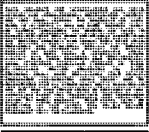
SONIC LATHROP  
MATERIAL BOARD



# CFT DEVELOPMENT DUTCH BROTHERS - PAD III 15135 OLD HARLAN RD



**ft**  
Developments, LLC  
C/O CHIC PART 1 TRUST, INC.  
1102 S. JEFFERSON ST.  
LOS ANGELES, CA 90015  
Tel: (310) 552-2266  
Fax: (310) 552-2266



**CONSULTANT**  
**GARY WANG & ASSOCIATES, INC.**  
1900 Corporate Center Dr., Suite 150  
Irvine, CA 92614  
Tel: (949) 261-0888 Fax: (949) 261-7107  
http://www.garywang.com



**PROJECT NAME/ADDRESS**  
**CFT DEVELOPMENT**  
15107 & 15135 OLD HARLAN RD  
LATHROP, CALIFORNIA 95130

**REVISIONS**

NO.	DESCRIPTION	DATE

**ISSUE DATE**  
JUL PLANNING SUBMITTAL 03-06-2012

**JOB NUMBER**

**DRAWN BY**  
LQ/JP

**SHEET CONTENT**  
DB OVERALL SITE PLAN

**SHEET NO**

**A-300**

OVERALL SITE PLAN 1  
Scale = 1/2" = 1'-0" A-300

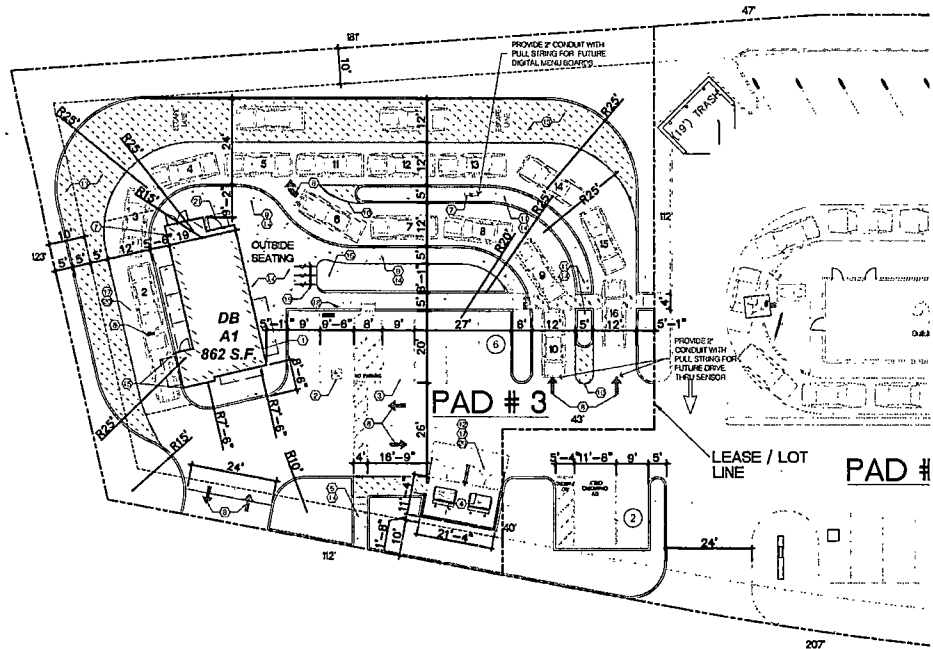


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- AOR NOTES:**
- THESE DRAWINGS ARE NOT FOR CONSTRUCTION. THIS PROGRAM DRAWING SET IN CONJUNCTION WITH THE SPECIFICATIONS IS INTENDED AS A GUIDE FOR THE DEVELOPMENT OF CONSTRUCTION DOCUMENTS FOR INDIVIDUAL NEW FREESTANDING DUTCH BROS BUILDINGS
  - THIS PLAN IS INTENDED TO PROVIDE STANDARD INCLUSIONS AND DESIGN PARAMETERS ONLY. LOCAL SITE PLANS AND STORE ORIENTATION WILL DIFFER.
  - SIGNAGE:**  
-DRIVE-THRU SIGNS ARE TO BE DOUBLE SIDED WITH "THANK YOU"
  - TRASH ENCLOSURE:**  
-ROTATE TRASH ENCLOSURE PER CITY REQUIREMENTS. VERIFY SIDE APPROACH REQUIREMENTS WITH LOCAL TRASH COMPANY
  - PARKING LOT:**  
-LIGHTING, NUMBER OF HEADS PER POLE, QUANTITY IS DEPENDANT ON PHOTOMETRIC  
-GREASE INTERCEPTOR SHALL BE PLACED IN LANDSCAPE AREAS WHERE POSSIBLE
  - DRIVE THRU:**  
- PROVIDE ORDER MENUS WITH WEATHERPROOF DUPLEX RECEPTACLE AT CAR STACKING POSITIONS 4 AND 9, CONDUITS FOR MENUS TO COME UP IN THE CENTER OF THE POST.  
- EVERY SITE TO HAVE A SECONDARY "ESCAPE" LANE  
- DRIVE THRU SHALL HAVE A MIN. OF 300 LINEAL FEET OF QUEUE.
  - LIGHTING REQUIREMENTS:**  
- 5 F.T.C. AT BUILDING  
- 3 F.T.C. AT SITE  
- 5 F.T.C. AT TRASH ENCLOSURE
  - REQUIRED 5 F.T.C. LIGHTING AT TRASH ENCLOSURES BY EITHER PARKING LIGHTS OR SEPARATE LIGHT FIXTURES
  - PROVIDE DETAILS FOR STANDARD MONUMENT SIGN OR DB CUP SIGN MATCHING BUILDING ARCHITECTURE. CITY REQUIREMENTS WILL DICTATE CHANGES.
  - 4'-0" WIDE RAMP FROM THE PARKING AREA TO THE REAR OF THE BUILDING
  - THE REAR PATIO/CONCRETE DECK SHALL BE 10'-0" WIDE
  - THE SIDE PATIO/ CONCRETE DECK SHALL BE 15'-0" WIDE
  - PROVIDE FIRE LINE MARKINGS/ IDENTIFICATION PER CITY REQUIREMENTS

**GENEAL LANDSCAPE NOTES:**

- AVOID FLOWERING PLANTS
- USE DROUGHT TOLERANT VEGETATION
- AVOID TREES THAT WILL GROW TO COVER SIGNAGE & BUILDING.



1 SITE PLAN SCALE: 1/16" = 1'-0"

**SITE PLAN PARAMETERS KEYNOTES**

- SITE PLAN SHOWN WITH STORE MODEL. SOME SPECIFIC STORE DESIGNS MAY VARY, INCLUDING PROGRAM AND CUSTOM DESIGNS
- SINGLE SIDED DRIVE-THRU IS PREFERRED, BUT DOUBLE SIDED IS AN OPTION. REVIEW DOUBLE SIDED OPTION WITH DUTCH BROS. FOR PLANNING DESIGN & CONSTRUCTION
- BUILDING SIGNAGE PER LOCAL CODES  
PROVIDE 4" MIN. OF PROTECTED SPACES QUEUING FROM DRIVE THRU WINDOW. THIS DOES NOT INCLUDE QUEUING IN PARKING LOTS & DRIVE THRU AREAS
- TURN RADIUS = 25 MIN
- DRIVE ISLE WITH A 12'-0" MIN TO INSIDE FACE OF CURB 24'-0" MIN FOR TWO WAY DRIVE ARCS
- PARKING REQUIREMENTS PER LOCAL JURISDICTION. 13 SPACES MIN
- EXT. QUEUING MAINTAIN 4' QUEUING BUFFER BETWEEN SERVICE WINDOW AND EXIT DRIVEWAY
- TWO VEHICLES CAN STACK WHEN EXITS AND SITE BEFORELINE TYPICALLY STALLS
- MAINTAIN 12' CLEAR BUFFER FROM REAR DOOR FOR STOCK LOADING
- SITE TO BE ACCESSIBLE PER ADA GUIDELINES
- LANDSCAPING PER LOCAL REQUIREMENTS
- ACCESSIBLE DRIVEWAYS WITHIN 60' SERVICE WINDOW. ITD (LIMIT SEE ACTIVITY) VERIFY WITH LOCAL JURISDICTIONS FOR SPECIFIC PLANT SPECIES PRIOR TO LANDSCAPING AREA

**SITE PLAN PARAMETERS KEYNOTES**

- WALKUP SERVICE WINDOW
- ADA VAN PARKING STALL
- PARKING STALL TYPICAL (11' X 18') OR AS REQUIRED BY LOCAL JURISDICTION
- TRASH ENCLOSURE FACE 2' MINIMUM OR PER LOCAL JURISDICTION WITH LOCAL LIGHTING AND SITE LIGHT REFER TO SHEET C101 FOR DETAILS. COORDINATE W/ LOCAL TRASH COMPANY FOR MIN. REQUIREMENTS AND CLEANANCES
- PEDESTRIAN ACCESS FROM DRIVEWAY
- MONUMENT / POLE SIGN FACING MAIN STREET. REFER TO DR-11 FOR REFERENCE
- STATIC BACKLIT LED SIGNAGE. POLE MOUNTED FLUORESCENT SIGNAGE AND WATER PROOF LIGHTS FOR POWER
- DIAGONAL FAULT - TYP
- SEPARATE FORM SIGNAGE DRIVERS SIDE OF ISLE, 8' WIDE MIN.
- PAINT STRIPES, 12" BEFORE AND AFTER CONCRETE DIVIDER. PAINT STRIPS 4" WIDE, 12" O.C. SAFETY YELLOW
- MIN 8' WIDE DRIVEWAY MEDIAN
- TRASH LOADING ZONE, COORDINATE APPROACH AND ORIENTATION OF ENCLOSURE WITH SERVICE PROVIDER
- SAFETY PULL OUT - PAINTED STRIPS 4" WIDE, 12" O.C. 84" EFT WHITE
- CONCRETE
- 6" REINFORCED W/ DB REINFORCED CONCRETE. SOLE AND LOCATIONS VARY ON INDIVIDUAL STORE DESIGNS. SEE LOCAL PLAN.
- PREFERRED GREASE INTERCEPTOR LOCATION - # REQUIRED BY LOCAL JURISDICTION
- CONCRETE PAD
- ADA PARKING ONLY SIGN
- SIDE WALKUP REQUIRED BY CITY
- TYPICAL BLACK CONCRETE STAIN AT DRIVE THRU AND TRASH ENCLOSURE
- ADA COMPLIANT HARDWARE AND CLEARANCES REQUIRED.



1001 SE SANDY BLVD, SUITE 100  
PORTLAND, OR 97214  
V. 503.252.9079  
F. 503.241.9056  
WWW.GNICHARCH.COM

Project No: 19290062  
Dutch Bros Coffee - New Freestanding Store  
15135 OLD HARLAN Road  
Lathrop, CA 95330  
for: Cheng Family Trust  
1120 N. Town Center Drive, Suite 150  
Las Vegas, Nevada 89144

ISSUED FOR PRE-APP  
REVIEW: 09.10.19

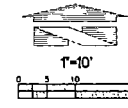
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SHEET NAME:

SITE PLAN

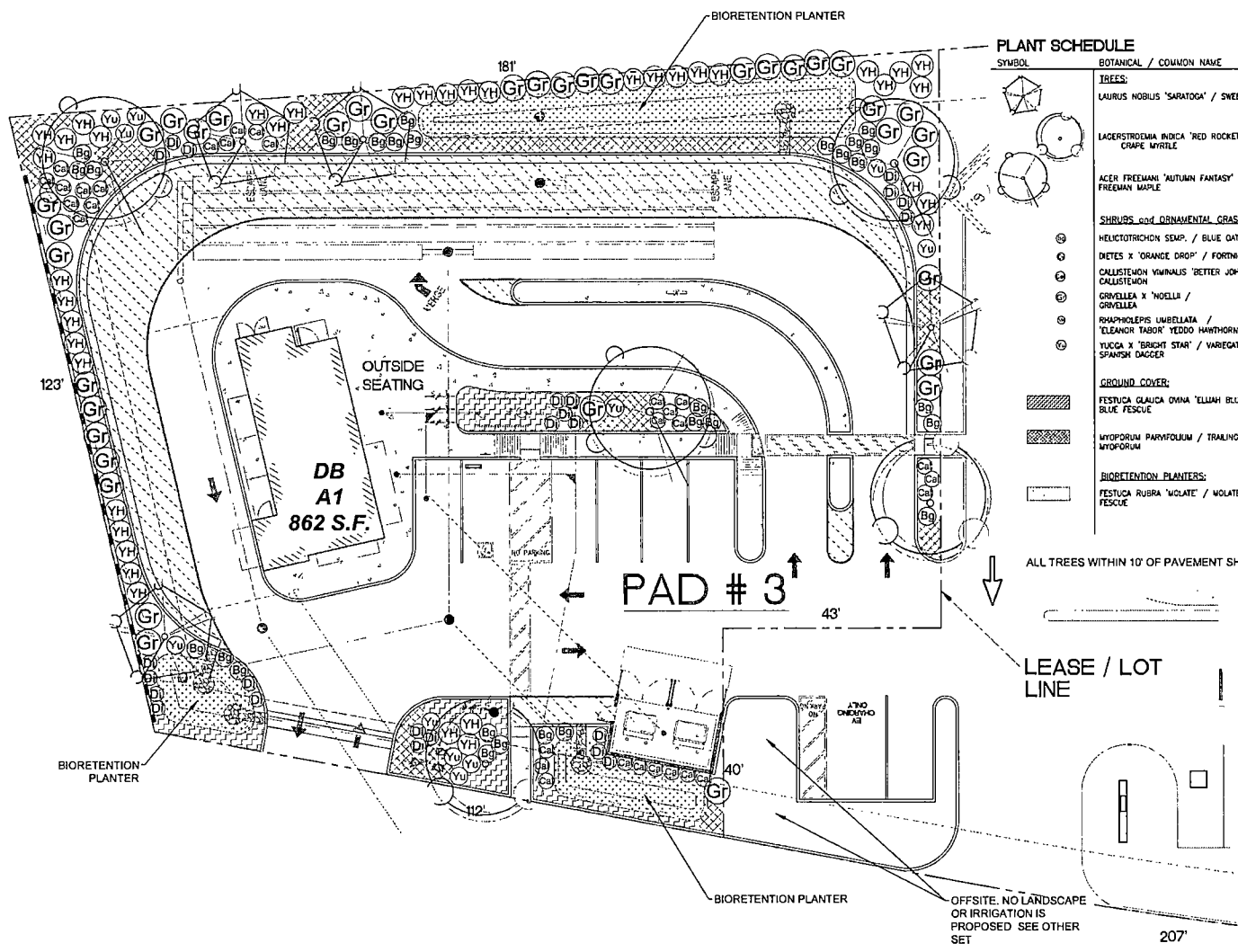
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DUTCH BROS COFFEE - 15135 OLD HARLAN ROAD, LATHROP, CA, 95330  
 LANDSCAPE and IRRIGATION SET  
 LANDSCAPE and IRRIGATION SET



I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

**JW** 10.17.2019  
 NAME DATE



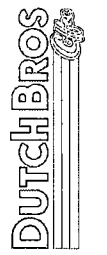
**PLANT SCHEDULE**

SYMBOL	BOTANICAL / COMMON NAME	SIZE CONDITION	SPACING	QTY.	MUCOLS REGION 2	REMARKS
<b>TREES:</b>						
	LAURUS NOBILIS 'SARATODA' / SWEET BAY	15 GAL	AS SHOWN		LOW	STAKE & GUY ONE GROWING SEASON; NURSERY GROWN, BRANCHED AT 5'
	LAGERSTROEMIA INDICA 'RED ROCKET' / CRAPE MYRTLE	15 GAL	AS SHOWN		LOW	STAKE & GUY ONE GROWING SEASON; NURSERY GROWN, BRANCHED AT 5'
	ACER FREEMANII 'AUTUMN FANTASY' / FREEMAN MAPLE	15 GAL	AS SHOWN		MOD.	STAKE & GUY ONE GROWING SEASON; NURSERY GROWN, BRANCHED AT 5'
<b>SHRUBS and ORNAMENTAL GRASSES:</b>						
	HELICTOTRICHON SEMP. / BLUE OAT GRASS	1 GALLON	AS SHOWN		LOW	FULL & BUSHY
	DIETES X 'ORANGE DROP' / FORTNIGHT LILY	1 GALLON	AS SHOWN		LOW	FULL & BUSHY
	CALLISTEMON VIMINALIS 'BETTER JOHN' / CALLISTEMON	5 GALLON	AS SHOWN		LOW	FULL & BUSHY
	GRAVELLEA X 'NOELLA' / ORVELLEA	5 GALLON	AS SHOWN		LOW	FULL & BUSHY
	RHAMPHOLEPIS UMBELLATA / 'ELEANOR TABOR' YEDDO HAWTHORNE	5 GALLON	AS SHOWN		LOW	FULL & BUSHY
	YUCCA X 'BRIGHT STAR' / VAREGATED SPANISH DAGGER	5 GALLON	AS SHOWN		LOW	FULL & BUSHY
<b>GROUND COVER:</b>						
	FESTUCA GLAUCA OVINA 'ELLIAM BLUE' / BLUE FESCUE	1 GALLON	24" O.C.	AS REQ'D	LOW	HOLD BACK 16" FROM BORDERS, TREES, AND SHRUBS, TRIANGULAR SPACING
	MYOPORUM PARVIFOLIUM / TRAILING MYOPORUM	1 GALLON	42" O.C.	AS REQ'D	LOW	HOLD BACK 16" FROM BORDERS, TREES, AND SHRUBS, TRIANGULAR SPACING
<b>BIORETENTION PLANTERS:</b>						
	FESTUCA RUBRA 'WOLATE' / WOLATE FESCUE	SEED	COVER	AS	LOW	HOLD BACK 16" FROM BORDERS, TREES, AND SHRUBS, TRIANGULAR SPACING

ALL TREES WITHIN 10' OF PAVEMENT SHALL HAVE ROOT BARRIER

OFFSITE. NO LANDSCAPE OR IRRIGATION IS PROPOSED SEE OTHER SET

LANDSCAPE PLAN  
 15135 OLD HARLAN ROAD  
 LATHROP, CA 95330



Scale:  
 As Shown  
 1/4" = 1'-0"

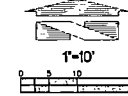
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 Check: [Signature]  
 Date: 10/17/19

Barghausen Consulting Engineers, Inc.  
 18215 72nd Avenue South  
 Kent, WA 98032  
 252.251.6222  
 barghausen.com

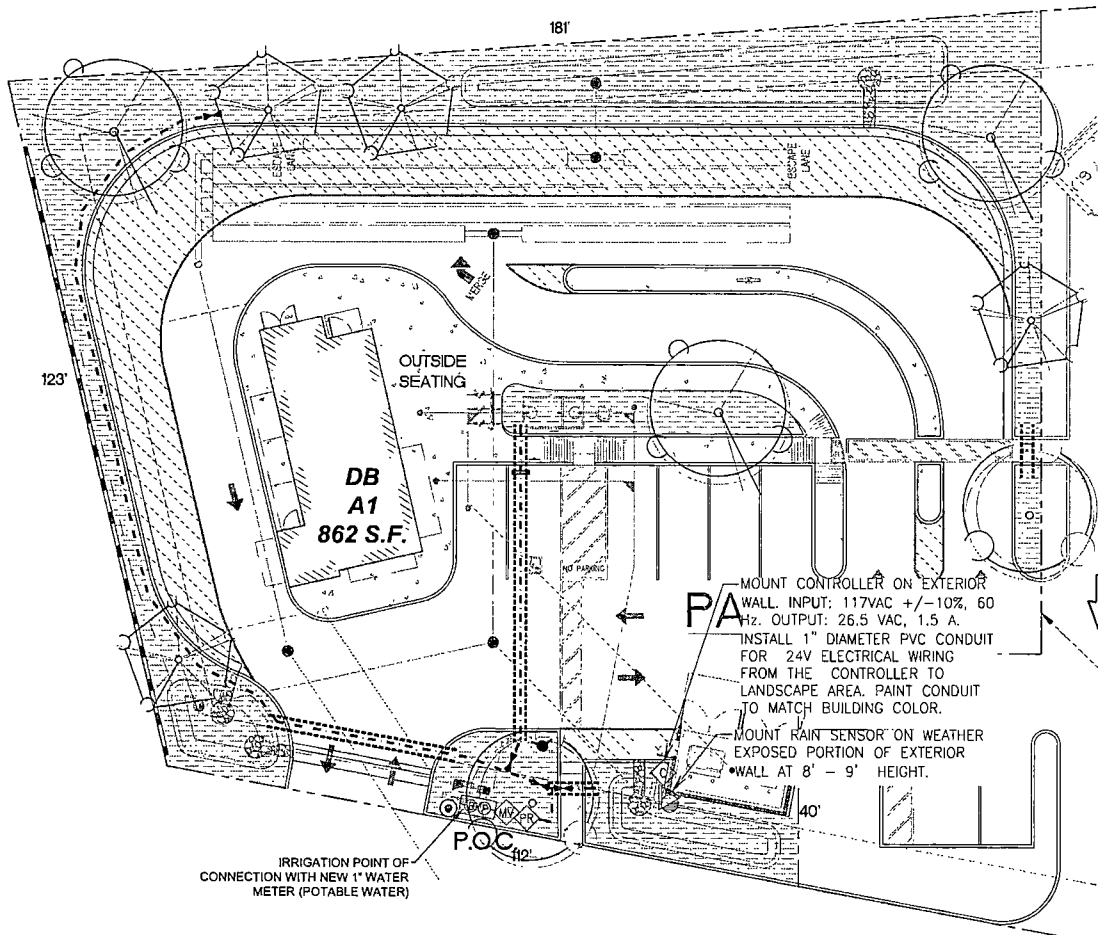


Job Number: 21041  
 Sheet: L-1 of 5

DUTCH BROS COFFEE - 15135 OLD HARLAN ROAD, LATHROP, CA, 95330  
 LANDSCAPE and IRRIGATION SET  
 LANDSCAPE and IRRIGATION SET



I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.  
 NAME \_\_\_\_\_ DATE 10.17.2019



**IRRIGATED LANDSCAPE WATER EFFICIENCY TABLE**

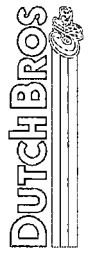
WATER BUDGET CALCULATIONS						
MAXIMUM APPLIED WATER ALLOWANCE						
(ETo) (0.62)	[(0.45 x LA) + (0.3 x SLA)]	LOCAL ETo	LA =	SLA =	MAWA TOTAL	
51.2	0	5,030	0		71,853 GAL	
ESTIMATED TOTAL WATER USE						
(ETo) (0.62)	(EFF/E) x (CA)	LOCAL ETo	FF =	LA =	SLA =	ETHW TOTAL =
51.2	0.3	5,030	0			NET TOTAL 32,079 GAL

- IRRIGATION SCHEDULE**
- | SYMBOL      | DESCRIPTION   | MIN. PSI   | EMITTER SPACING  | EMITTER GPM | EMITTER MAXIMUM LENGTH FT |
|-------------|---|--|------------------|-------------|---------------------------|
| ■           | RANBRO RWS-B-D-140Z 15" ROOT ZONE WATERING SYSTEM<br>2 EMITTERS PER TRIZ. SEE DETAIL THIS SET   | 20   | AS SHOWN ON PLAN | .50         | N/A                       |
| ■           | RANBRO RFS-CV-06-9 SUB-SURFACE DIAPHRAGM COMPONENED TO BE USED WITH RANBRO XT DRIPLINE INSERT FITTINGS OR TIGHT LOCK FITTINGS<br>RFS-CV OF SUB-SURFACE DRIP IRRIGATION FOR PLANTING AREAS WITH GROUND COVER, SPRINGS AND TREES ABOVE NOTED DRIPLINE IS EQUIPPED WITH 40 GPM EMITTERS SPACED AT 12 INCHES APART AND A ROW SPACING OF 12" INCHES<br>NOTE: RFS-CV HAS A CHECK VALVE INTEGRATED | 20   | 12"              | 40          |                           |
| NO SYMBOL   | RANBRO "OPENING"  | DRIP SYSTEM OPERATION/PRESSURE INDICATOR STAPLES, PROVIDE FOR EACH ZONE  |                  |             |                           |
| NO SYMBOL   | RANBRO  | SOIL STAPLES, AT 5 FEET ON CENTER  |                  |             |                           |
| NO SYMBOL   | RANBRO  | DIAPHRAGM FLUSH VALVE 1 PER IRRIGATION ZONE. LOCATE AT LOWEST ELEVATION WITHIN EACH ZONE. INSTALL IN 10" VALVE BOX |                  |             |                           |
| ⊕           | VALVE FOR TREE BUZZER IRRIGATION, RANBRO KCZ-100-PRF 1" MEDIUM FLOW ELECTRIC REMOTE CONTROL VALVE. INSTALL IN CARSON TRUST BLACK COLORED FOR TREE, SPRING, AND GROUND COVER VALVES  |  |                  |             |                           |
| ⊕           | VALVES FOR DRIP IRRIGATION<br>RANBRO KCZ-100-LES 1.5" MEDIUM FLOW ELECTRIC REMOTE CONTROL VALVE (15-62 GPM), RANBRO KCZ-100-PRF 1" MEDIUM FLOW ELECTRIC REMOTE CONTROL VALVE (3-15 GPM) INSTALL THE KCZ-100-PRF ON HORIZONTAL PE AND B+4. ALL OTHERS TO BE KCZ-100-LES INSTALL IN CARSON TRUST BLACK COLORED FOR TREE, SPRING, AND GROUND COVER VALVES                                      |  |                  |             |                           |
| ⊕           | 1A<br>1-15.5<br>VALVE STATION NUMBER<br>VALVE GPM<br>VALVE SIZE   |  |                  |             |                           |
| ⊕           | RANBRO ESP-14HEF IRRIGATION CONTROLLER (HARDWARE CONNECTION); PROVIDE GROUND AND BATTERIES PER MFR. SPECS. COORDINATE WITH UNDER AND GENERAL CONTRACTOR FOR BEST LOCATION OF IRRIGATION CONTROLLER. MOUNT IRRIGATION CONTROLLER TO EXTERIOR BUILDING WALL   |  |                  |             |                           |
| ⊕           | RANBRO WR2-RFC-4E WIRELESS RAIN FREEZE SENSOR CONTROL, MOUNT WHERE TREES OR BUILDINGS WILL NOT OBSTRUCT RAIN, WIND OR FROST FROM SENSOR.  |  |                  |             |                           |
| ⊕           | RANBRO RFE-CP 1" MASTER VALVE (NORMALLY CLOSED) AND FSI1008 1" FLOW SENSOR SEE DETAIL THIS SET. WIRE FLOW SENSOR BACK TO CONTROLLER WITH PE-39 DATA CABLE (ON CONTROLLER, SET UP MASTER VALVE WATER-WINDOW DURING OFF-HOURS SO MAINLINE IS PRESSURIZED FOR USE OF QUICK COUPLERS)   |  |                  |             |                           |
| ⊕           | BURN 34-800AL PRESSURE REDUCING VALVE. SIZE TO MATCH PIPE. INSTALL PER DETAIL THIS SET  |  |                  |             |                           |
| ⊕           | RANBRO 44-LRC 1" QUICK COUPLER, WITH LOCKING RUBBER COVER, 2-PIECE BODY. PROVIDE KEYS TO OWNER  |  |                  |             |                           |
| ⊕           | BALL VALVE, NIICO T-PP-6050 FULL PORT BRASS OR KIB SCH 80 OVC TRUE UNION TYPE   |  |                  |             |                           |
| P.O.C. 3020 | IRRIGATION POINT OF CONNECTION WITH NEW 1" WATER METER AND 1" BACKFLOW PREVENTION DEVICE. SEE DETAILS THIS SET. SEE CIVIL SET FOR WATER METER DETAIL  |  |                  |             |                           |
| ---         | MAINLINE - 5CM 40 PVC (18" COVER), 1-1/2" SIZE UPRIGM   |  |                  |             |                           |
| ---         | LATERAL - 5CM 40 PVC (12" COVER), SIDE PER TABLE, 3/4" SIZE MINIMUM   |  |                  |             |                           |
| ---         | NEW IRRIGATION SLEEVE - CLASS 200 PVC, 24" MINIMUM COVER AT VEHICLE CROSSINGS, TWICE THE SIZE OF INSERT PIPE AND/OR HOLES, 4" SIZE MINIMUM. COORDINATE WITH GENERAL AND PAVING CONTRACTORS COORDINATE ASPHALT AND CONCRETE CUTTING WITH GENERAL CONTRACTOR  |  |                  |             |                           |

**PIPE SIZING SCHEDULE**

TYPE OF PIPE	3/4"	1"	1 1/4"	1 1/2"	2"	2 1/2"	FLOW GPM
SCHEDULE 40 PVC; MAINLINE AND LATERALS	8	12	22	30	50	75	

IRRIGATION PLAN  
 15135 OLD HARLAN ROAD  
 LATHROP, CA 95330



Scale:  
 As Shown  
 Noted  
 N/A

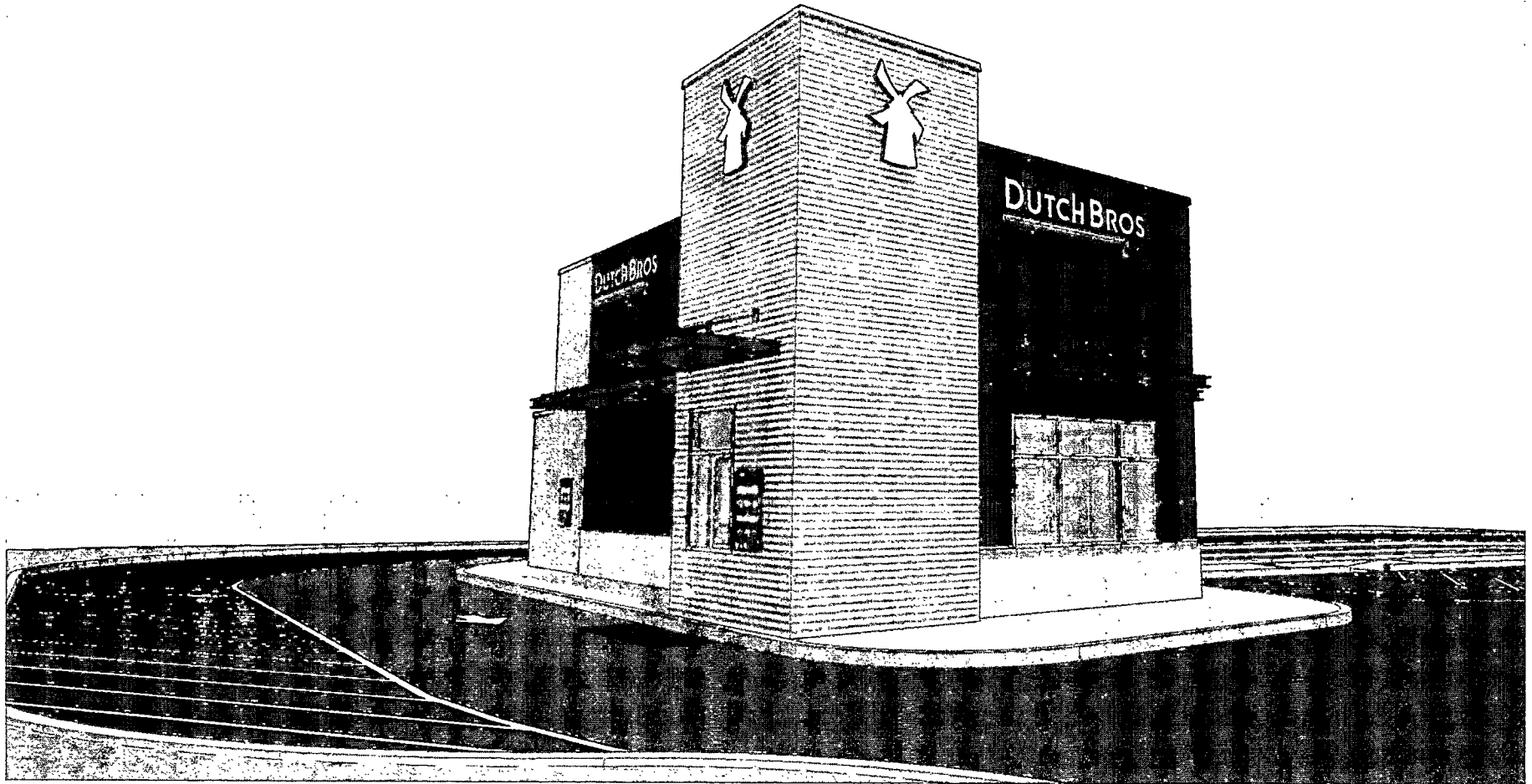
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 Drawn: JAV  
 Checked: JAV  
 Approved: JAV  
 Date: 10/17/19

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 18215 72nd Avenue South  
 Kent, WA 98032  
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Job Number: 21041  
 Sheet: L-3 of 5

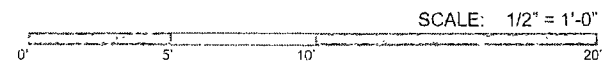
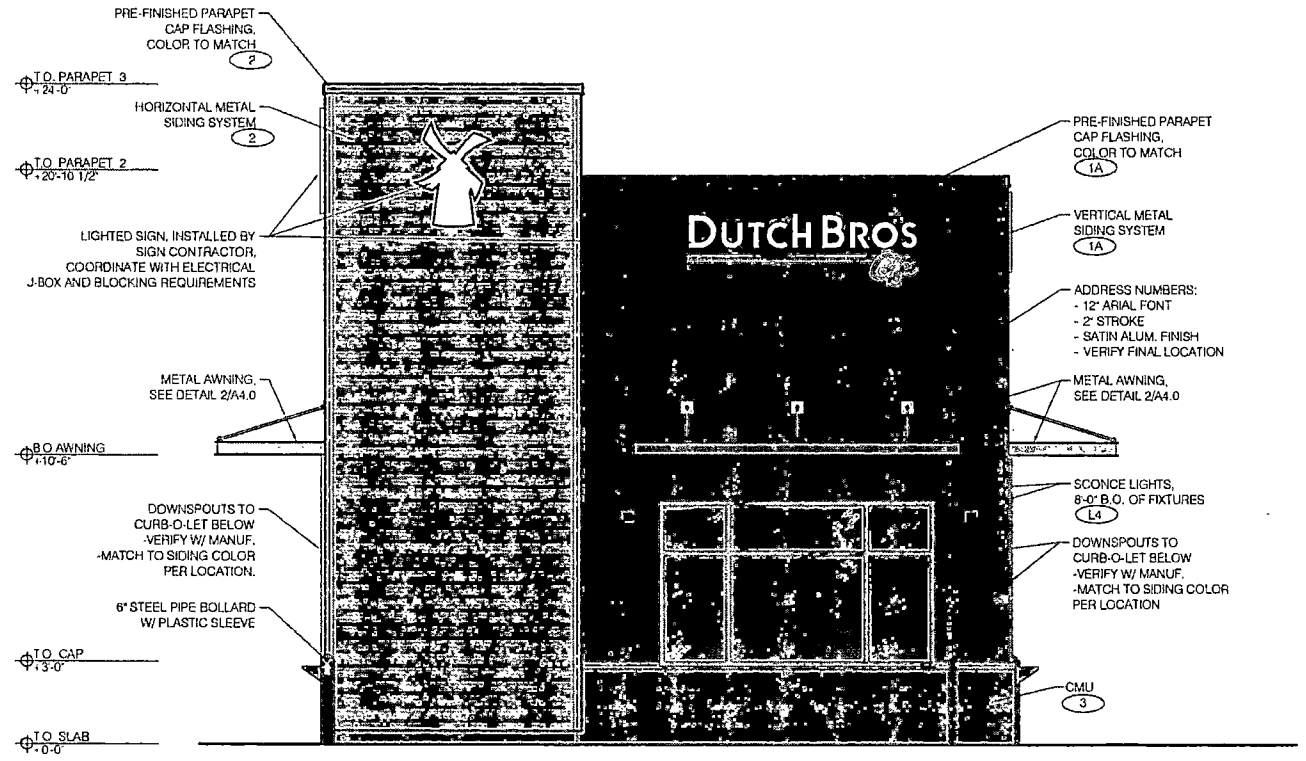






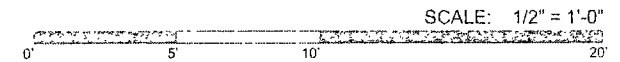
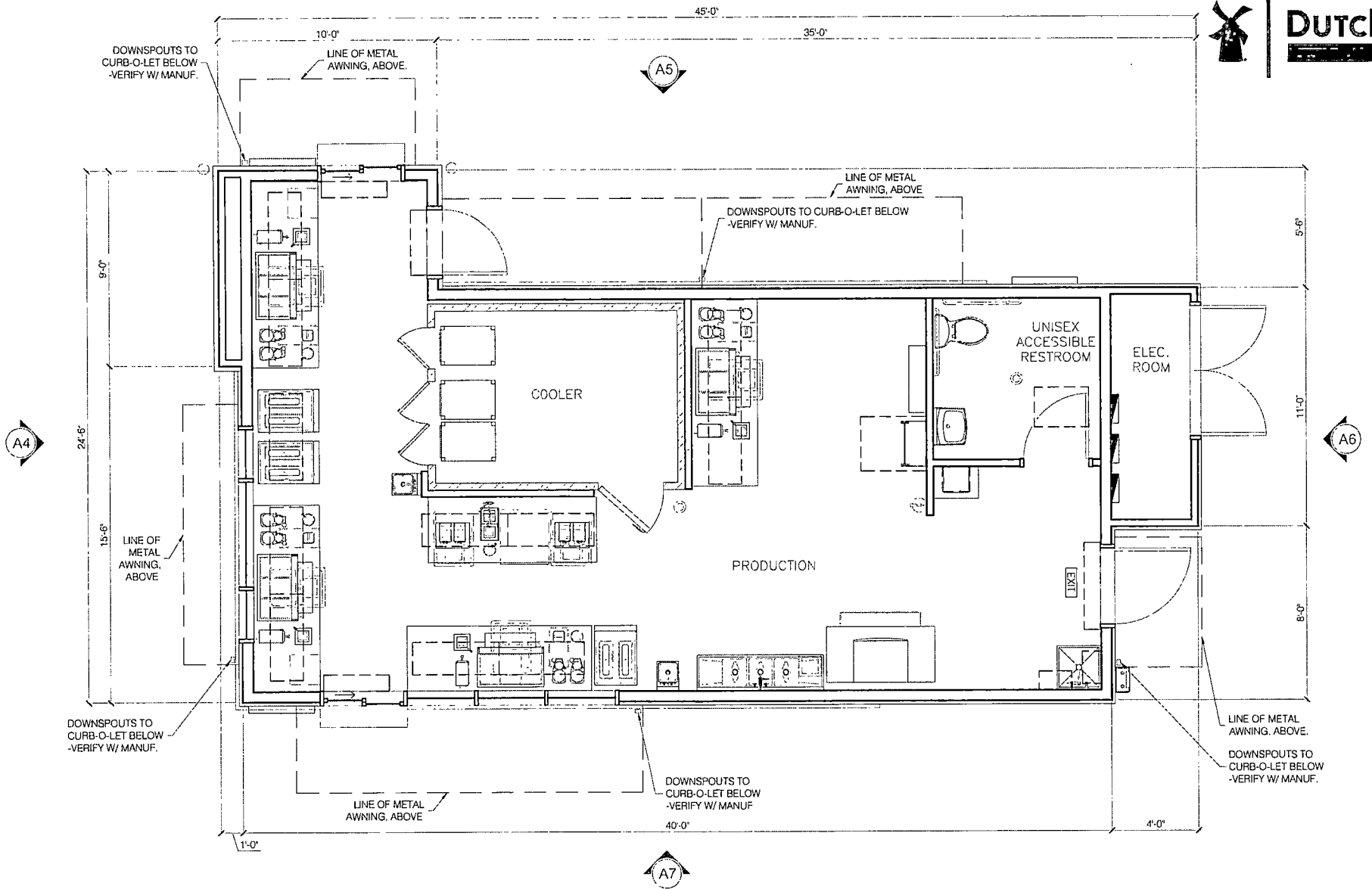


SIDING SCHEDULE				
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1A	METAL PANEL	ADP SPAN	PROFILE: 60P RB	ORIENTATION: VERTICAL. COLOR: COOL SEASIDE BLUE (OR BLUE AS AVAILABLE)
1B	METAL PANEL	ADP SPAN	PROFILE: 60P RB	ORIENTATION: VERTICAL. COLOR: OLD TOWN GRAY (OR GRAY AS AVAILABLE)
ZONE 2 (TOWER)				
2	METAL PANEL	ADP SPAN	PROFILE: 60P RB	ORIENTATION: HORIZONTAL. COLOR: OLD TOWN GRAY (OR GRAY AS AVAILABLE)
ZONE 3 (BASE)				
3	CMU VENEER	WILLAMETTE GRAYSTONE	4-8-16	COLOR: PEWTER - REHAB/FINAL COLOR SELECTION WITH LS



DUTCH BROS COFFEE | CA-0805 | 15135 OLD HARLAN ROAD | LATHROP, CA 95330  
 1001 SE SANDY BLVD, SUITE 100 | PORTLAND, OR 97214 | www.GnichArch.com | v. 503.552.9079 | f. 503.241.7055 | OCTOBER 25, 2019

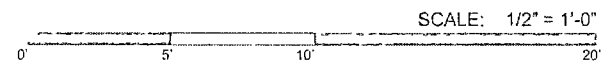
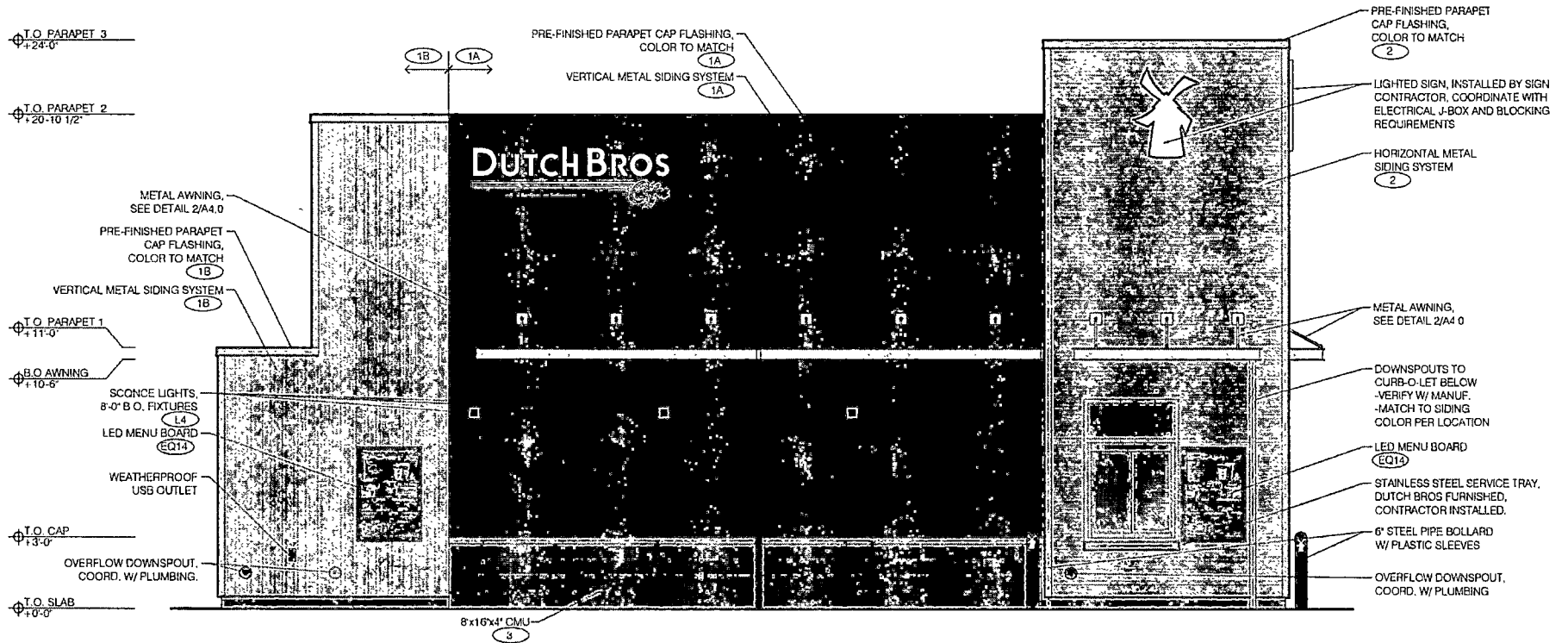
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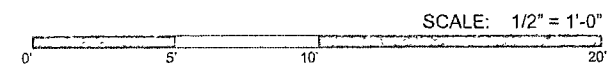
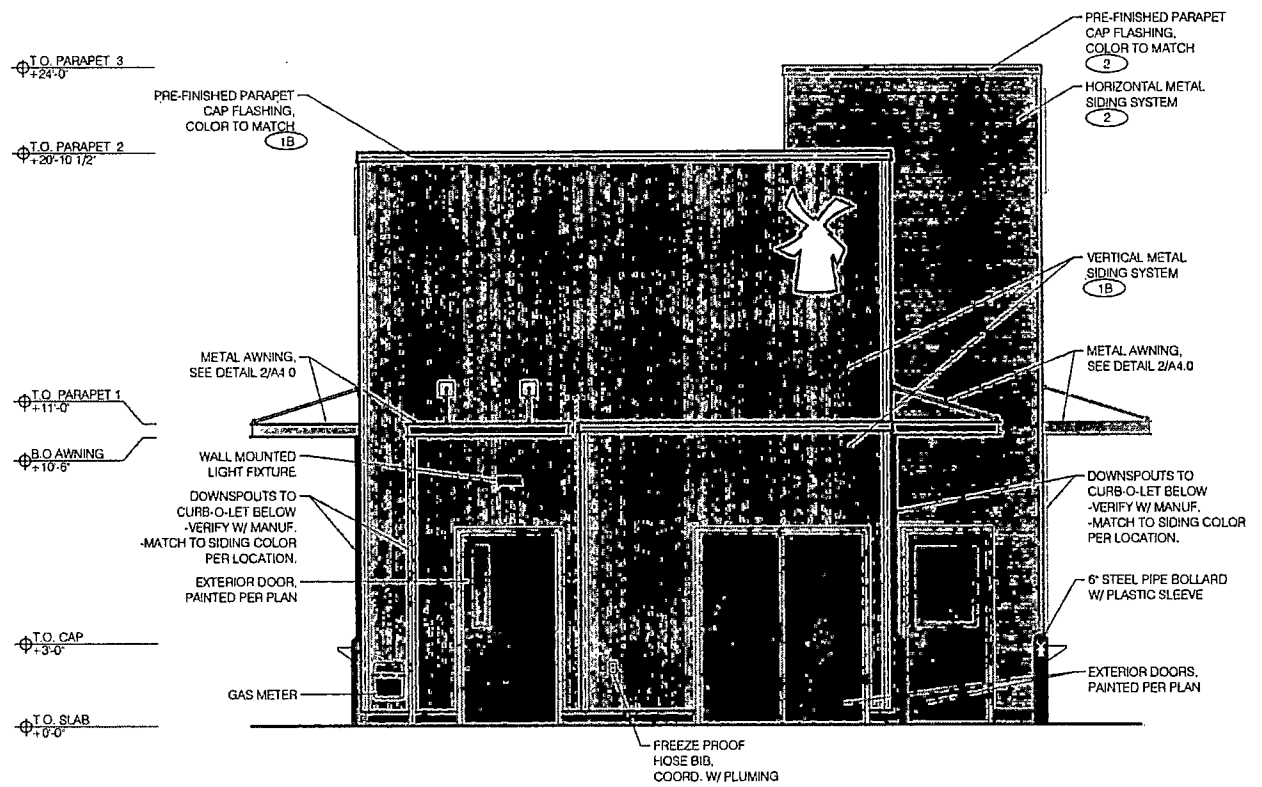


SIDING SCHEDULE				
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (ROOF)				
1A	METAL PANEL	AEP SPAN	PROFILE BOX RIB	ORIENTATION VERTICAL. COLOR: COOL RIGID BLUE (OR TAUPE AS AVAILABLE)
1B	METAL PANEL	AEP SPAN	PROFILE BOX RIB	ORIENTATION VERTICAL. COLOR: SLEETON GRAY (OR GRAY AS AVAILABLE)
ZONE 2 (COVER)				
2	METAL PANEL	AEP SPAN	PROFILE BOX RIB	ORIENTATION HORIZONTAL. COLOR: COOL TONED GRAY (OR GRAY AS AVAILABLE)
ZONE 3 (BASE)				
3	CMU VENEER	WILLAMETTE GRAYSTONE	#6-15 SPLIT FACE	COLOR: PEWTER - REFINISH COLOR: ELECTRA WHITE





SIDING SCHEDULE				
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1A	METAL PANEL	AEP SPAN	PROFILE 50X RB	ORIENTATION: VERTICAL. COLOR: COOL REGAL BLUE. (DB BLUE AS AVAILABLE)
1B	METAL PANEL	AEP SPAN	PROFILE 60X RB	ORIENTATION: VERTICAL. COLOR: OLD TOWN GRAY. (DB GRAY AS AVAILABLE)
ZONE 2 (TOYER)				
2	METAL PANEL	AEP SPAN	PROFILE 50X RB	ORIENTATION: HORIZONTAL. COLOR: OLD TOWN GRAY. (DB GRAY AS AVAILABLE)
ZONE 3 (BASE)				
3	CHUNKY MEER	WILLAMETTE GRAYSTONE	4-2-16, SPLIT FACE	COLOR: PEWEEK - REVIEW FINAL COLOR SELECTION WITH DB

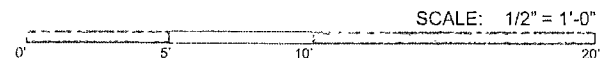
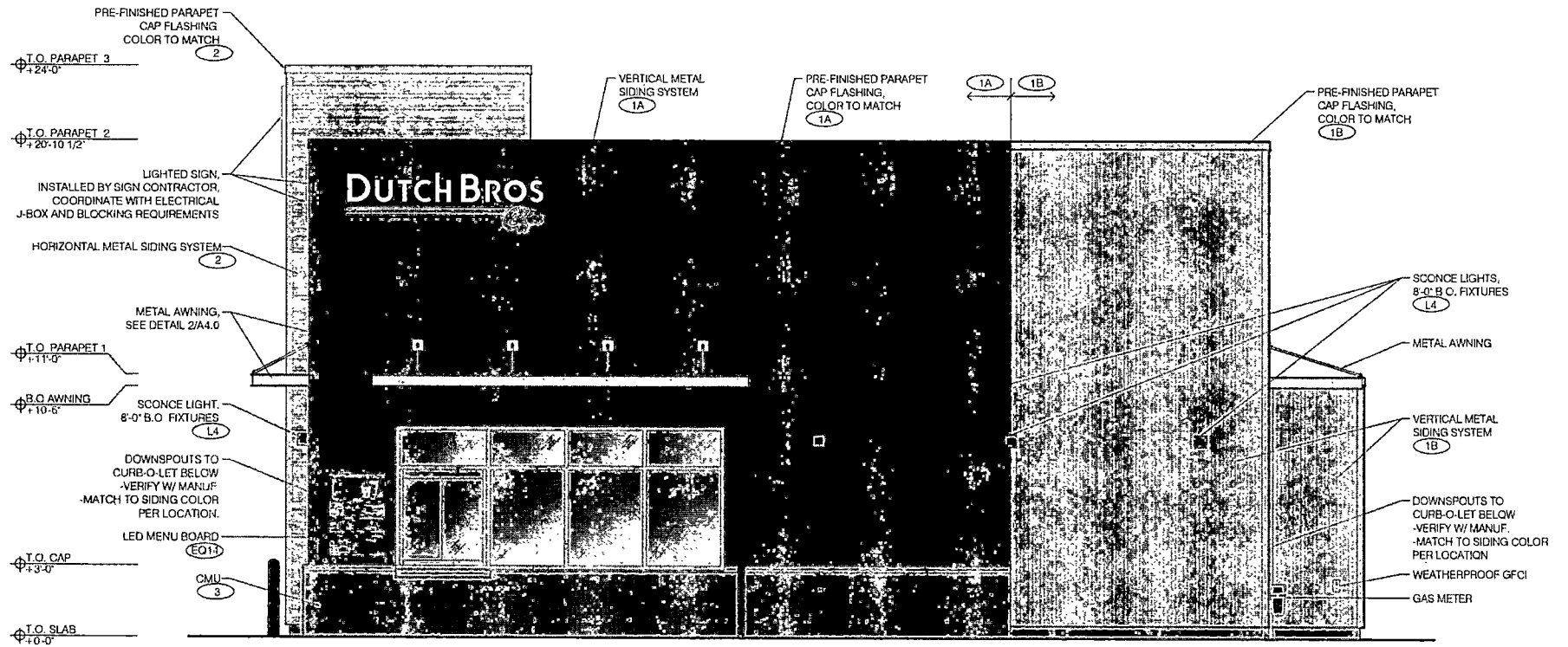


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REAR ELEVATION  
 PAGE A6

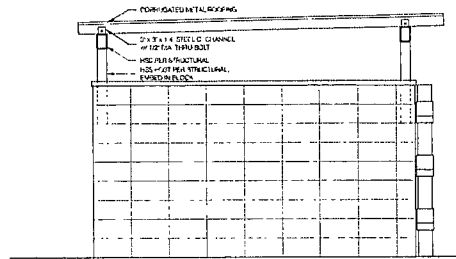


SIDING SCHEDULE				
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1A	METAL PANEL	AEP SPAN	PROFILE BOX RIB	ORIENTATION: VERTICAL. COLOR: COOL, REGAL, NUDE, OR BLUE AS AVAILABLE.
1B	METAL PANEL	AEP SPAN	PROFILE BOX RIB	ORIENTATION: VERTICAL. COLOR: COOL, TRAVEL, GREY, OR GRAY AS AVAILABLE.
ZONE 2 (COVER)				
2	METAL PANEL	AEP SPAN	PROFILE BOX RIB	ORIENTATION: HORIZONTAL. COLOR: COOL, TRAVEL, GREY, OR GRAY AS AVAILABLE.
ZONE 3 (BASE)				
3	CMU VENEER	WILLAMETTE GRAYSTONE	4-8 1/8 SPLIT FACE	COLOR: PEWTER - REVEAL FINAL COLOR SELECTION WITH DB

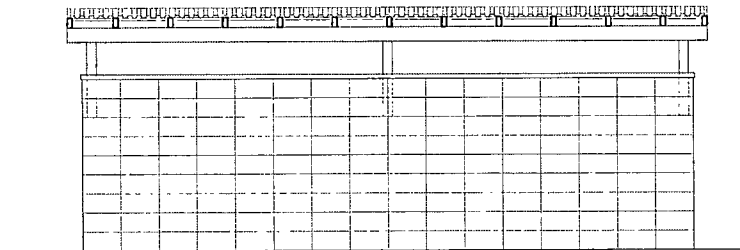


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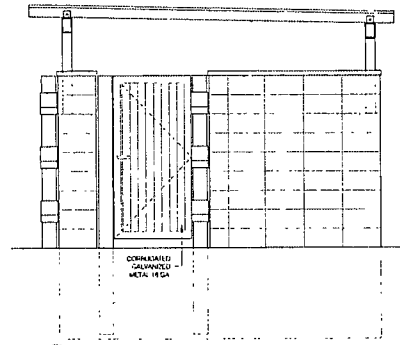
RIGHT ELEVATION - WALK-UP WINDOW  
 PAGE A7



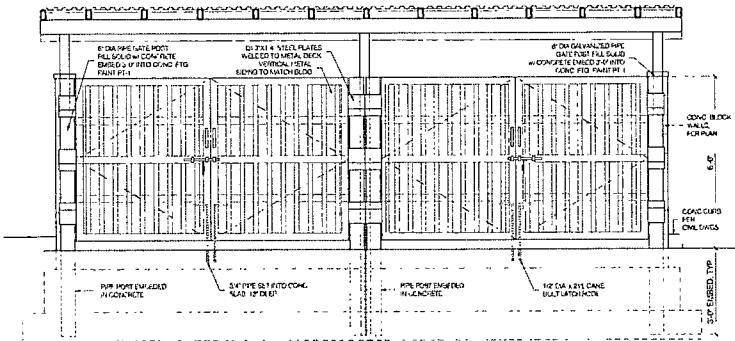
5 TRASH ENCLOSURE SIDE ELEVATION  
SCALE: 1/2" = 1'-0"



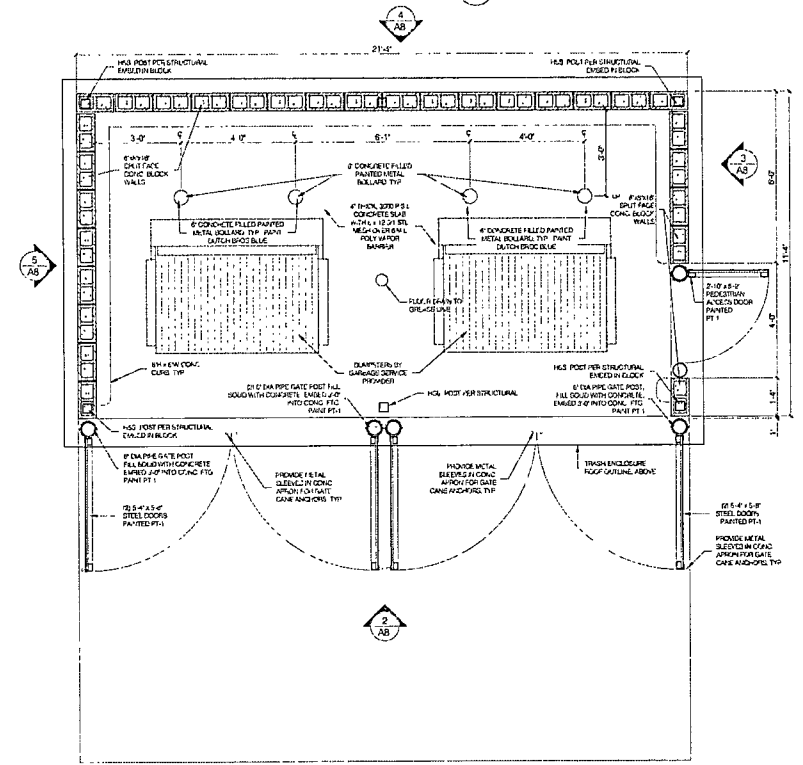
4 TRASH ENCLOSURE REAR ELEVATION  
SCALE: 1/2" = 1'-0"



3 TRASH ENCLOSURE SIDE ELEVATION  
SCALE: 1/2" = 1'-0"



2 TRASH ENCLOSURE FRONT ELEVATION  
SCALE: 1/2" = 1'-0"



1 TRASH ENCLOSURE PLAN  
SCALE: 1/2" = 1'-0"



**TRAFFIC IMPACT REPORT**

**CFT – PHASE 2**  
**(Panda Express-Sonic-Dutch**  
**Brothers) PROJECT**  
**IN**  
**THE CITY OF LATHROP, CA**

**December 9, 2019**

**Prepared for: THE CITY OF LATHROP**

**Prepared by: Mark D. Crane, P.E.**  
**California Registered Traffic Engineer (#1381)**  
**CRANE TRANSPORTATION GROUP**  
**2621 E. Windrim Court**  
**Elk Grove, CA 95758**  
**(916) 647-3406**  
**cranetransgroup@gmail.com**

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## I. INTRODUCTION

This report has been prepared at the request of the City of Lathrop to determine the potential circulation impacts due to development of a Panda Express restaurant (with drive through window), a Sonic fast food restaurant (with drive through window) and a Dutch Brothers coffee facility (with drive through window) on adjacent parcels just south of W. Lathrop Road and between Old Harlan Road and the I-5 freeway (see **Figures 1 and 2**). Impacts have been determined for existing and year 2022 horizons (the cumulative year in the City's TMP circulation system improvement program) at West Lathrop Road intersections between the I-5 interchange and New Harlan Road as well as at Harlan Road/Old Harlan Road just south of the project area. Analysis has included level of service and delay at each intersection, vehicle queuing on critical approaches to select intersections and the possibility that some project traffic may use the Burger King-O'Reilly's Auto Parts parking lot (just east of Old Harlan Road and the project) for access to Harlan Road. In addition, each on-site circulation plan has been evaluated in the context of city code criteria and adequacy of expected drive through operation. Finally, recommendations have been made to improve all existing deficiencies or as well as all potential impacts due to the project.

## II. SUMMARY OF FINDINGS

### A. WITHOUT PROJECT CONDITIONS

#### 1. EXISTING

- All analysis intersections are operating at acceptable levels of service and delay during the AM and PM peak traffic hours.
- There is unacceptable vehicle storage at the W. Lathrop Road/Harlan Road intersection for left turn queues on the eastbound W. Lathrop Road and northbound Harlan Road approaches, primarily during the PM peak traffic period. In addition, traffic on the eastbound Harlan Road approach to W. Lathrop Road frequently backs up to and through the Old Harlan Road intersection, primarily during the PM peak period.
- The unsignalized Harlan Road/Old Harlan Road intersection just south of the project site does not have AM or PM peak hour volumes meeting Caltrans peak hour signal Warrant #3 volume criteria.

## **2. CUMULATIVE (YEAR 2022)**

- All analysis intersections would be operating at acceptable levels of service and delay during the AM and PM peak hours.
- Unacceptable vehicle queues would lengthen at the W. Lathrop Road/Harlan Road intersection for left turns on the eastbound W. Lathrop Road approach and on the northbound Harlan Road approach, primarily during the PM peak period. Eastbound W. Lathrop Road backups from Harlan Road would also increase in length intermittently to the I-5 NB Ramps intersection.
- There would only be minor queues (3 cars or less) on the northbound Old Harlan Road approach to W. Lathrop Road.
- The unsignalized Harlan Road/Old Harlan Road intersection just south of the project would not have AM or PM peak hour volumes meeting Caltrans peak hour signal Warrant #3 volume criteria.

## **B. PROJECT IMPACTS**

### **1. TRIP GENERATION**

All three of the proposed facilities would be expected to capture a significant amount of traffic from the adjacent I-5 Freeway as well as W. Lathrop Road, Harlan Road and Old Harlan Road. While the total two-way traffic on the three project driveways combined is projected to be about 200 vehicles during the AM commute period peak traffic hour and about 210 vehicles during the PM commute period peak traffic hour, about 140 to 150 of these trips would be captured from existing traffic flow. While customers captured from I-5 would add new traffic flow to the local street system, those captured from the adjacent or nearby surface streets would just reroute their trips to/from Old Harlan Road south of W. Lathrop Road.

### **2. EXISTING + PROJECT OFF-SITE TRAFFIC IMPACTS**

- All analysis intersections would maintain acceptable levels of service and delay with the addition of project traffic during the AM and PM peak hours.
- Existing unacceptable queuing on the approaches to the W. Lathrop Road/Harlan Road intersection would not be increased significantly due to project traffic. However, the project would result in extremely long 95<sup>th</sup> percentile queues on the NB Old Harlan Road approach to W. Lathrop Road (up to 200 feet - or 8 vehicles) during the PM peak traffic hour. This backup would result in some drivers cutting through both the Chevron Gas station and

Burger King-O'Reilly's Auto Parts properties in order to find alternate routes to bypass the congestion.

- Internal circulation for both the Panda Express and Sonic restaurants meets City code criteria and should operate acceptably.
- The Dutch Brothers drive through lane(s) should have acceptable storage to accommodate anticipated queues based upon survey results at 3 other Dutch Brothers facilities in the region (Stockton, Lodi and Oakley). The only potential issue of conflict will be due to the Dutch Brothers drive through lane entrance being much closer to the Sonic driveway connection to Old Harlan Road than to the Dutch Brothers driveway connection. It is likely that the Sonic driveway will accommodate a third or more of the inbound Dutch Brothers traffic.

### **3. CUMULATIVE (YEAR 2022) + PROJECT OFF-SITE TRAFFIC IMPACTS**

- There will be no new impacts due to project traffic in 2022 compared to existing conditions.
- All intersections will continue to operate acceptably with the addition of project traffic during the AM and PM peak hours.
- There will be no significant extensions of queuing on intersection approaches already experiencing unacceptable queuing. The lengthy 95<sup>th</sup> percentile queue on the NB Old Harlan Road approach to W. Lathrop Road will extend back to 425 feet, further encouraging some drivers in the queue to use the Chevron and Burger King-O'Reilly's Auto properties as alternative travel routes.

### **4. PEDESTRIAN AND TRANSIT IMPACTS**

- The three project facilities will likely attract some customers from the local neighborhood, some pedestrians (many high school students) now walking on the sidewalk on the north side of W. Lathrop Road, and some employees using the two regional transit routes that have stops at the W. Lathrop Road/Harlan Road intersection. However, while a sidewalk will be provided along the project's Old Harlan Road frontage, none will be provided on the south side of W. Lathrop Road east or west of Old Harlan Road. This will force pedestrians to walk in the street or through the Chevron and Burger King properties to access the three facilities. Also, it is likely that pedestrians on the north side of W. Lathrop Road will cross the street at a variety of locations (none with crosswalks) to access the facilities.

## **C. RECOMMENDATIONS**

### **1. EXISTING WITHOUT PROJECT (CITY RESPONSIBILITY)**

- Reconfigure the northbound Harlan Road approach to W. Lathrop Road to provide two exclusive left turn lanes and a combined through/right turn lane.
- Remove the raised island median on Harlan road south of W. Lathrop Road at the entrance to the existing northbound left turn lane. Continue this existing turn lane south to the Burger King-O'Reilly's driveway.
- Extend the length of the left turn lane on the eastbound W. Lathrop Road approach to Harlan Road by at least 75 feet.
- Retime the W. Lathrop Road/Harlan Road signal and coordinate timing with the W. Lathrop Road/Cambridge Drive signal.

### **2. PROJECT (EXISTING AND CUMULATIVE)**

- Realign the Old Harlan Road connection to Harlan Road (just south of the project) about 100 feet to the north and provide two lanes on the Old Harlan Road approach: one for left turns and one for right turns. In conjunction with this measure, restripe the median of Harlan Road just south of the new intersection to provide defined back-to-back left turn lanes - one for northbound left turns into Old Harlan Road, and one for southbound left turns into the driveway providing access into the Lathrop Crossing shopping center on the east side of Harlan Road.
- Provide signs adjacent to the exit lanes at each of the three project driveways showing an arrow pointing to the right and a message stating I-5 access turn right. In conjunction with this measure, also provide a sign on the southbound Old Harlan Road approach to Harlan Road with an arrow pointing left and a message stating I-5 access turn left.
- Provide sidewalks on the south side of W. Lathrop Road extending east and west of Old Harlan Road (from the I-5 Ramps intersection to the Chevron driveway).
- Provide a crosswalk at the W. Lathrop Road/I-5 NB Ramps intersection crossing W. Lathrop Road just east of the intersection. Provide pedestrian walk/don't walk signals in conjunction with the crosswalk.
- In order to ensure that Dutch Brothers customers do not congest the Sonic driveway during peak activity times, it may be necessary for Dutch Brothers to provide moveable orange cones across the internal Dutch Brothers-Sonic parking lots connection.

- Based upon input from Chevron, Burger King or O'Reilly's Auto, if there is a perceived use of either property by cut-through traffic from the project:
  - a. The City shall conduct an independent survey to see the extent of the issue.
  - b. If there is a problem, the City shall work with one or both property owners to develop measures to further reduce or eliminate cut-through traffic.
  - c. This survey shall be funded by the project applicant

### **III. PROJECT DESCRIPTION AND LOCATION**

The proposed project is comprised of two restaurants with drive through lanes and a coffee service facility with a drive through lane and limited inside seating and service. Facilities are (listed north to south):

- Panda Express (2200 square feet) with a drive through lane
- Sonic drive in (1608 square feet) with a drive through lane
- Dutch Brothers coffee service (862 square feet) with a drive through lane

Locations are schematically shown on **Figure 2**, while the site plan is presented in **Figure 3**. Each facility will have single driveway connection to the west side of Old Harlan Road and there will also be single internal driveway connections between Panda Express and Sonic and between Sonic and Dutch Brothers. There are no changes proposed to the local circulation system by this project.

## **IV. SCOPE OF SERVICES (Approved by City staff)**

### **A. BASE ASSUMPTION**

All three developments (Panda Express, Sonic & Dutch Brothers) are considered as one project for off site evaluation purposes.

### **B. ANALYSIS LOCATIONS**

#### **Intersection Level of Service & Queuing**

- W. Lathrop Road/I-5 Southbound Ramps
- W. Lathrop Road/I-5 Northbound Ramps
- W. Lathrop Road/Old Harlan Road
- W. Lathrop Road/New Harlan Road
- Old Harlan Road/New Harlan Road

### **C. TIME PERIODS TO BE STUDIED**

- Weekday AM and PM commute peak traffic hours

### **D. TRAFFIC COUNT LOCATIONS – WEEKDAY 7:00-9:00 AM & 3:00-6:00 PM (ALL VEHICLES, TRUCKS, PEDS, BIKES).**

Counts will be conducted when all schools are open.

- W. Lathrop Road/I-5 Southbound Ramps
- W. Lathrop Road/I-5 Northbound Ramps
- W. Lathrop Road/Old Harlan Road
- W. Lathrop Road/New Harlan Road
- Old Harlan Road/New Harlan Road
- Old Harlan Road/Driveways serving Burger King & Chevron gas station
- W. Lathrop Road/Chevron gas station driveway
- New Harlan Road/Burger King driveway
- Drive-thru lanes at three Dutch Brothers operations (Lodi, Stockton, Oakley) - trip generation and queuing, two days each

Counts will include observations of vehicle queuing on the northbound Old and New Harlan Road approaches to W. Lathrop Road, the eastbound W. Lathrop Road approach to New Harlan

Road and the W. Lathrop Road westbound left turn lane approach to the I-5 Southbound On Ramp.

## **E. HORIZON YEARS & ANALYSIS SCENARIOS**

- Existing
- Existing + Project
- Year 2022
- Year 2022 + Project

## **F. CUMULATIVE (YEAR 2022) VOLUMES**

Year 2022 AM & PM peak hour volumes will be obtained from the 2019 TMP study for the following locations.

- W. Lathrop Road/I-5 Southbound Ramps
- W. Lathrop Road/I-5 Northbound Ramps
- W. Lathrop Road/New Harlan Road

Year 2022 projections at all other analysis locations will be developed based upon existing volume interrelationships. In addition, a determination will be made how much development on the project site was included in the 2022 TMP projections. Adjustments will be made to provide true 2022 Without Project and 2022 + Project projections.

## **G. PROJECT TRIP GENERATION & DISTRIBUTION**

Project trip generation for the Panda Express & Sonic drive-in will be based upon trip rates from the Institute of Transportation Engineers, Trip Generation Manual, 10th Edition, by the Institute of Transportation Engineers, 2017, while trip generation for the Dutch Brothers operation will be based upon three surveys of AM & PM peak period trip generation and order line queuing conducted by Crane Transportation Group. Dutch Brothers surveys will be conducted for two days each at facilities in Stockton, Lodi and Oakley. The percentage of passby and diverted link capture of existing traffic associated with the three Lathrop restaurants will be discussed with and approved by City staff.

Project traffic will be distributed based upon local traffic flow patterns, in particular to/from the Burger King restaurant's driveways along New & Old Harlan Road.



## **H. INTERSECTION EVALUATION**

### **Signalized**

- Level of service and 95<sup>th</sup> percentile queuing using Synchro-SIM traffic analysis software program. Queuing projections for 2022 and “with project” conditions will be based upon the calibrated relationship of surveyed 95<sup>th</sup> percentile queuing at analysis intersections compared to Synchro theoretical projections.

### **Unsignalized**

- Level of Service – stop sign controlled approach
- Peak hour signal warrant (Caltrans volume Warrant #3)

## **I. INTERNAL CIRCULATION**

Internal circulation plans for each of the three developments will be reviewed in the context of City Code criteria and good traffic engineering practice. Of particular concern will be vehicle queuing on the approach to the drive-thru lane at Dutch Brothers Coffee. Surveys at the Stockton, Lodi and Oakley Dutch Brothers operations will tabulate order line queuing for the 7:00-9:00 AM and 3:00-6:00 PM hours for the two survey days at each location.

## **J. PROJECT VEHICLE DIVERSION THROUGH BURGER KING SITE**

Concern has been raised by the Burger King restaurant on the east side of Old Harlan Road about project traffic passing through their site to access New Harlan Road, particularly if there is extensive queuing on the northbound Old Harlan Road approach to W. Lathrop Road. This potential impact will be evaluated.

## V. ENVIRONMENTAL SETTING

### A. EXISTING CONDITIONS

#### 1. ROADWAYS & FREEWAYS

*Interstate 5 (I-5)* is a six-lane freeway located just west of the project site. It extends northerly to Stockton, Sacramento and to the Oregon border; and southerly to a connection with I-205 (the most direct freeway connection to the San Francisco Bay Area) as well as Los Angeles and other southern California cities. I-5 has a tight diamond interchange with Louise Avenue, with both ramp intersections being signal controlled.

*West Lathrop Road* is a four-lane arterial street in the project area. The posted speed limit is 35 miles per hour. It extends easterly into the City of Manteca and an interchange with the SR 99 freeway and westerly to an interchange with the I-5 freeway (just west of the project site).

W. Lathrop Road changes name to Spartan Way just west of I-5. In the project area there are signalized intersections with the I-5 North and South bound ramps, Harlan Road and Cambridge Drive. Old Harlan Road intersects the north and south sides of W. Lathrop Road about halfway between the I-5 Northbound ramps and Harlan Road signalized intersections. A raised median along W. Lathrop Road in this area limits movements to right turns in/out only between W. Lathrop Road and Old Harlan Road.

*Harlan Road* is a 2- to 4-lane arterial running along the east side of the I-5 freeway. The posted speed limit is 40 miles per hour. Just south of W. Lathrop Road there are two northbound lanes and two southbound lanes that merge to a single lane north of Old Harlan Road. There is also a median continuous two-way left turn lane.

*Old Harlan Road* is a two-lane street extending one block between W. Lathrop Road and Harlan Road (both north and south of W. Lathrop Road). There is no posted speed limit. The section south of W. Lathrop Road adjacent to the project site is stop sign controlled on its northbound approach to W. Lathrop Road (where right turns only to/from W. Lathrop Road are allowed) and on its southbound approach to Harlan Road (where all turn movements are allowed except left turns from Old Harlan Road to northbound Harlan Road).

**Figure 4** presents existing intersection geometrics and control at all analysis locales.

## 2. EXISTING (WITHOUT PROJECT) PEAK HOUR VOLUMES

Weekday AM and PM commute period (7:00-9:00 AM and 3:00-6:00 PM) traffic counts were conducted at all analysis intersections on Thursday, October 3, 2019. It was determined that the specific peak hours at the vast majority of intersections were between 7:00 and 8:00 AM and between 5:00 and 6:00 PM. Resultant AM and PM peak hour volumes are presented in **Figures 5 and 6**.

## 3. INTERSECTION LEVEL OF SERVICE & DELAY

### a. Analysis Methodology

Transportation engineers and planners commonly use a grading system called level of service (LOS) to measure and describe the operational status of the local roadway network. LOS is a description of the quality of a roadway facility's operation, ranging from LOS A (indicating free flow traffic conditions with little or no delay) to LOS F (representing oversaturated conditions where traffic flows exceed design capacity, resulting in long queues and delays). Intersections, rather than roadway segments between intersections, are almost always the capacity controlling locations for any circulation system.

**Signalized Intersections.** For signalized intersections, the Year 2017 6<sup>th</sup> Edition *Highway Capacity Manual* (Transportation Research Board, National Research Council) methodology was utilized. With this methodology, operations are defined by the level of service and average control delay per vehicle (measured in seconds) for the entire intersection. For a signalized intersection, control delay is the portion of the total delay attributed to traffic signal operation. This includes delay associated with deceleration, acceleration, stopping, and moving up in the queue. **Table 1** summarizes the relationship between delay and LOS for signalized intersections.

**Unsignalized Intersections.** For unsignalized (all-way stop-controlled and side-street stop-controlled) intersections, the Year 2017 6<sup>th</sup> Edition *Highway Capacity Manual* (Transportation Research Board, National Research Council) methodology for unsignalized intersections was utilized. For side-street stop-controlled intersections, operations are defined by the level of service and average control delay per vehicle (measured in seconds), with delay reported for the stop sign controlled approaches or turn movements. For all-way stop-controlled intersections, operations are defined by the average control delay for the entire intersection (measured in seconds per vehicle). The delay at an unsignalized intersection incorporates delay associated with deceleration, acceleration, stopping, and moving up in the queue. **Table 2** summarizes the relationship between delay and LOS for unsignalized intersections.

## b. Minimum Acceptable Operation – City of Lathrop

**Signalized & All Way Stop Intersections:** Level of Service D is the poorest acceptable overall intersection operation.

**Unsignalized Intersections (side street stop sign controlled):** Level of Service E is the poorest acceptable side street stop sign controlled approach operation.

## c. Existing Without Project Intersection Level of Service Operation

**Table 3** shows that all analysis intersections are currently operating at acceptable levels of service during the weekday AM and PM commute peak hours. The W. Lathrop Road/Harlan Road signalized intersection has a LOS C operation during both the AM and PM peak hours. At the I-5 interchange the W. Lathrop Road/Southbound Ramps intersection is also operating acceptably at LOS C during both peak hours, while the W. Lathrop Road/I-5 Northbound Ramps intersection is operating at an acceptable LOS C during the AM peak hour and LOS B during the PM peak hour. At the unsignalized Harlan Road/Old Harlan Road intersection south of the site, the stop sign controlled Old Harlan Road approach is operating at an acceptable LOS B during both peak hours. Intersection level of service worksheets are presented in **Appendix A**.

## 4. EXISTING (WITHOUT PROJECT) 95TH PERCENTILE VEHICLE QUEUING

### a. Analysis Methodology

Field surveys were conducted during AM and PM peak periods (under direction of Crane Transportation Group) of maximum queues every signal cycle at the following locations:

- W. Lathrop Road/Harlan Road
  - W. Lathrop Road
    - Eastbound left turn
    - Eastbound through and right turn movements
  - Harlan Road
    - Northbound left turn
    - Northbound through and right turn movements
- W. Lathrop Road/Old Harlan Road
  - Old Harlan Road stop sign controlled northbound right turn
- W. Lathrop Road/I-5 Southbound Ramps
  - W. Lathrop Road westbound left turn (to Southbound On Ramp)

Maximum queues for each 15-minute time period are presented in **Appendix B**.

## b. Queuing Results

### Acceptable Queuing

As shown, maximum queues were always well within available storage in the left turn lane on the westbound W. Lathrop Road approach to the I-5 Southbound On Ramp. Also, queues on the northbound Old Harlan Road approach to W. Lathrop Road were limited, ranging from 1 to 2 vehicles during any 15-minute period.

### Unacceptable Queuing

**Table 4** shows that at the W. Lathrop Road/Harlan Road intersection the left turn lane on the northbound Harlan Road approach to W. Lathrop Road had a maximum queue demand exceeding the available 235 foot left turn lane storage length during all 15-minute periods from 3:00 to 6:00 PM, and all but one 15-minute period from 7:00 to 9:00 AM. On the eastbound W. Lathrop Road approach to Harlan Road the maximum queue demand for the 320 foot left turn lane exceeded or met available storage for all but two 15-minute time periods between 3:00 and 6:00 PM, while there was only one 15-minute period from 7:00 to 9:00 PM where demand met or exceeded storage. The W. Lathrop Road through and through/right turn lane queues on the eastbound approach to Harlan Road backed up to and through the Old Harlan Road intersection about half the time during the 3:00 to 6:00 PM period, but not at all from 7:00 to 9:00 AM. (See **Figure 7**) It should be noted that the “Maximum” queues described above were usually longer than the “95<sup>th</sup> percentile” queues used for evaluation purposes.

## 5. INTERSECTION SIGNAL WARRANT EVALUATION

### a. Analysis Methodology

Traffic signals are used to provide an orderly flow of traffic through an intersection. Many times they are needed to offer side street traffic an opportunity to access a major road where high volumes and/or high vehicle speeds block crossing or turn movements. They do not, however, increase the capacity of an intersection (i.e., increase the overall intersection's ability to accommodate additional vehicles) and, in fact, often slightly reduce the number of total vehicles that can pass through an intersection in a given period of time. Signals can also cause an increase in traffic accidents if installed at inappropriate locations.

There are 10 possible tests for determining whether a traffic signal should be considered for installation. These tests, called "warrants", consider criteria such as actual traffic volume, pedestrian volume, presence of school children, and accident history. The intersection volume data together with the available collision histories were compared to warrants contained in the *Manual on Uniform Traffic Control Devices* (MUTCD), Federal Highway Administration,

2012, and the *Manual on Unified Traffic Control Devices* Federal Highway Administration, 2003 California Supplement (2014) Revision 3, which has been adopted by the State of California as a replacement for *Caltrans Traffic Manual*. Section 4C of the MUTCD provides guidelines, or warrants, which may indicate need for a traffic signal at an unsignalized intersection. As indicated in the MUTCD, satisfaction of one or more warrants does not necessarily require immediate installation of a traffic signal. It is merely an indication that the local jurisdiction should begin monitoring conditions at that location and that a signal may ultimately be required.

Warrant 3, the peak hour volume warrant, is often used as an initial check of signalization needs since peak hour volume data is typically available and this warrant is usually the first one to be met. Warrant 3 is based on a logarithmic curve and takes only the hour with the highest volume of the day into account. Please see **Appendix C** for the warrant chart.

#### **b. Existing Warrant Evaluation**

- **Table 5** shows that existing AM and PM peak hour volumes at the unsignalized Harlan Road/Old Harlan Road intersection do not meet Caltrans Signal Warrant #3 volume criteria levels.

### **6. TRANSIT SERVICE**

There are two San Joaquin Regional Transit Routes serving the project area: Route 90 running along W. Lathrop Road and Route 97 running along Harlan Road. (See **Figure 8**.) Each route is briefly detailed below.

#### **Route 90** – Runs between Stockton and Tracy

Monday to Friday

Bus stops - Eastbound: east of Harlan Road at Cambridge Drive

- Westbound: just west of Harlan Road

#### **Route 97** – Runs between Stockton and Tracy

Monday to Friday

Bus stops - Northbound: just north of W. Lathrop Road

- Southbound: just south of W. Lathrop Road

There are sidewalks at each transit stop, but no shelters. Also, there is no existing sidewalk system in place along the south side of W. Lathrop Road connecting the bus stops to Old Harlan Road.

## 7. PEDESTRIAN & BICYCLE FACILITIES

### a. Pedestrian

Sidewalks are in place in the project area along the following streets (see **Figure 9**):

- Old Harlan Road west side – adjacent to the project site
- Old Harlan Road east side – adjacent to the Burger King – O’Reilly Auto Property
- Harlan Road (south of W. Lathrop Road) west side - adjacent to the Burger King – O’Reilly Auto Property north to W. Lathrop Road
- Harlan Road (south of W. Lathrop Road) east side – continuous
- W. Lathrop Road north side – continuous from Harlan Road west through the I-5 interchange to Lathrop High School
- W. Lathrop Road south side – from Harlan Road west to the Chevron gas station driveway

**Figure 10** shows that the largest number of pedestrians in the project area during both the AM and PM peak hours was along the north side of W. Lathrop Road: up to 20 pedestrians walking westbound during the AM commute peak hour and 16 pedestrians (some westbound and some eastbound) during the PM commute peak hour. There were only 3 pedestrians along the south side of the street - during the PM peak hour. Along Old Harlan Road there were no pedestrians during the AM peak hour and only 2 during the PM peak hour.

### b. Bicycles

There are Class II striped and signed bicycle lanes along both sides of Harlan Road just north and south of W. Lathrop Road. The southbound bicycle lane along the west side of the street ends several hundred feet south of W. Lathrop Road. There are no bicycle lanes along either W. Lathrop Road or Old Harlan Road (see **Figure 9**).

**Figure 11** shows that along W. Lathrop Road at Old Harlan Road the number of bike riders was 8 during the AM peak hour and 2 during the PM peak hour, while along Harlan Road at Old Harlan Road the number of bike riders was 0 during the AM peak hour and 5 during the PM peak hour. There were no bike riders along Old Harlan Road during the AM peak hour and 5 during the PM peak hour.

## **B. CUMULATIVE (WITHOUT PROJECT) CONDITIONS**

### **1. HORIZON YEAR**

The cumulative horizon year for project analysis in this study as directed by City staff was 2022.

### **2. CUMULATIVE (WITHOUT PROJECT) PEAK HOUR VOLUMES**

The source of cumulative weekday AM and PM peak hour (without project) volumes was the 2018 TMP study for the City of Lathrop by Crane Transportation Group, which developed volume projections for the years 2020 and 2022. At City direction year 2022 projections were used as the cumulative horizon for this study. **Figures 12 and 13** present resultant cumulative (without project) weekday AM and PM peak hour volumes.

### **3. CUMULATIVE (WITHOUT PROJECT) YEAR 2022 ROADWAY NETWORK**

No circulation system improvements are programmed in the project area by 2022\*

### **4. CUMULATIVE (WITHOUT PROJECT) YEAR 2022 INTERSECTION LEVEL OF SERVICE & DELAY**

**Table 3** shows that by 2022 all analysis intersections will be operating at acceptable levels of service during both the AM and PM peak traffic hours. The W. Lathrop Road/Harlan Road and W. Lathrop Road/I-5 Northbound Ramps signalized intersections will be operating at an acceptable LOS C during both peak hours, while the I-5 Southbound Ramps signalized intersection will be operating at an acceptable LOS D during the AM peak hour and LOS C during the PM peak hour. At the unsignalized Harlan Road/Old Harlan Road intersection the Old Harlan Road stop sign controlled approach will be operating at an acceptable LOS B during both peak hours.

### **5. CUMULATIVE (WITHOUT PROJECT) 95TH PERCENTILE VEHICLE QUEUING AT THE W. LATHROP ROAD/I-5 INTERCHANGE**

**Table 6** shows that by 2022, 95th percentile unacceptable queuing at the W. Lathrop Road/Harlan Road intersection in the eastbound approach and northbound approach left turn

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*\*Mr. Glenn Gebhardt – City Engineer, October 2019.*



lanes will be further lengthened. In addition, the frequency of the eastbound W. Lathrop Road through and through/right turn lanes backing up to and past Old Harlan Road will be increased during the PM peak hour. Along W. Lathrop Road at the I-5 interchange the 95<sup>th</sup> percentile queuing in the left turn lane on the westbound approach to the southbound on ramp should be within available storage during both commute peak hours. Also, 95<sup>th</sup> percentile queues on the northbound Old Harlan Road approach to W. Lathrop Road will increase by 1 vehicle during both peak hours (up to 2 vehicles during the AM peak hour and 3 vehicles during the PM peak hour). See **Figure 14**.

## **6. CUMULATIVE (WITHOUT PROJECT) SIGNAL WARRANT EVALUATION**

**Table 5** shows that the unsignalized Harlan Road/Old Harlan Road intersection will not have AM or PM peak hour volumes meeting Caltrans Peak Hour Warrant #3 volume criteria levels by 2022.

## **VI. PROJECT IMPACTS**

### **A. EVALUATION CRITERIA (as approved by the City Engineer)**

The addition of project traffic would result in unacceptable operation if:

#### **1. SIGNALIZED OR ALL-WAY-STOP INTERSECTIONS**

- Without Project acceptable LOS A, B, C or D operation is degraded to LOS E or F.  
**or**
- Without Project unacceptable LOS E or F operation has vehicle control delay increased by 5 seconds or greater.

#### **2. UNSIGNALIZED SIDE STREET STOP SIGN CONTROLLED INTERSECTIONS**

- Without Project acceptable LOS A, B, C, D or E operation of the stop sign controlled intersection approach is degraded to LOS F operation and the intersection meets peak hour signal Warrant #3 volume criteria levels (with the project).  
**or**
- Without Project unacceptable LOS F operation of the stop sign controlled approach has vehicle control delay increased by 5 seconds or greater and the intersection meets peak hour signal Warrant #3 volume criteria levels (with the project).

#### **3. SIGNAL WARRANTS**

- Without Project volumes at an unsignalized intersection do not meet Caltrans peak hour Warrant #3 volume criteria and the addition of project traffic increases volumes to meet Warrant #3 volume criteria levels.  
**or**
- Without Project volumes at an unsignalized intersection already meet Caltrans peak hour Warrant #3 volume criteria and the addition of project traffic increases total volumes passing through the intersection by 2 percent or greater.  
**or**
- Without Project peak hour 95<sup>th</sup> percentile queuing in the lane approaching a stop sign controlled intersection will be increased by 100 feet or more and will likely result in traffic diversion to alternate routes.

#### **4. 95TH PERCENTILE VEHICLE QUEUING (BASED UPON SYNCHRO SIMTRAFFIC SOFTWARE)**

- Without Project peak hour 95th percentile queuing in the lanes approaching a signalized intersection is less than available storage and the addition of project traffic increases the 95th percentile queue to exceed available storage in one or more of the approach lanes.

**or**

- Without Project peak hour 95th percentile queuing in one or more of the lanes approaching a signalized intersection is already greater than available storage and the addition of project traffic to the entire intersection increases the 95th percentile queuing in any of the lanes operating unacceptably by greater than 20 feet.

#### **5. PEDESTRIAN & BICYCLE RIDERS**

- The addition of project traffic will result in significant safety impacts to local pedestrian and/or bicycle circulation, or will not provide acceptable on- or off-site pedestrian or bicycle facilities for employees or customers.

#### **6. SAFETY**

- If, in the opinion of the registered traffic engineer conducting the study, the addition of project traffic or a design feature of the project will result in a significant circulation system safety impact.

## **B. PROJECT TRIP GENERATION**

### **1. METHODOLOGY**

Trip generation projections were developed individually for the three restaurant facilities. Trip rates for the Panda Express and Sonic restaurants with drive through windows were obtained from the traffic engineering professions standard source of trip rate data, Trip Generation Manual 10<sup>th</sup> Edition by the Institute of Transportation Engineers (ITE), 2017. Trip rates for Dutch Brothers were obtained based upon trip generation surveys at three existing Dutch Brothers operations in the region: Stockton, Lodi and Oakley. Dutch Brothers trip rate survey results were tabulated and then compared to ITE trip rates for coffee/donut shops with drive through windows (with and without indoor seating). Please see **Appendix D** for a comparison of trip rates. After review of the findings it was determined in consultation with City staff that the trip rates from the Stockton facility would provide a conservative projection of the trips expected from the

proposed Lathrop facility. It should be noted that the Panda Express restaurant will not be open during the 7-8 AM commute peak traffic hour.

## 2. GROSS TRIP GENERATION VERSUS NET NEW AREA TRAFFIC

**Table 7** presents the gross AM and PM peak hour trip generation that would be expected from the Panda Express, Sonic and Dutch Brothers operations. These projections reflect the traffic expected on each facility's driveway. However, they do not reflect existing traffic that each restaurant will attract from the I-5 freeway or from the ambient traffic already traveling along W. Lathrop Road, Harlan Road and Old Harlan Road (passby or diverted link trip capture).

**Table 8** presents the percentage of traffic each operation would be expected to capture from the I-5 freeway versus the local streets. Results were worked out in consultation with City staff. As shown, freeway capture was projected to range from 45% for Dutch Brothers down to 25% for Panda Express, while local street system capture was projected to be 30 to 35% for all three operations. Resultant net new local area traffic then ranged from 20% for Dutch Brothers up to 45% for Panda Express.

## 3. VOLUMES

**Table 9** presents the sum of gross, captured and net new area traffic from the three restaurants. Results are summarized as follows.

Project Trip Generation Scenario	TWO WAY TRIPS	
	AM PEAK HOUR	PM PEAK HOUR
Gross Trip Generation	201	210
Trips Captured from I-5 freeway or nearby streets	152	142
Net new trips attracted from remainder of Lathrop or north Manteca	49	68

## C. PROJECT TRIP DISTRIBUTION

AM and PM peak hour traffic from each of the three facilities was distributed to the local roadway network as shown in **Appendix D**, while the total project peak hour traffic increments are presented in **Figures 15 and 16** for AM and PM peak hour conditions, respectively. Net new traffic was distributed primarily to/from nearby residential areas, while diverted link trip capture from Harlan Road and W. Lathrop Road favored vehicle flow with ease of access to Old Harlan Road adjacent to the site. Passby capture was just from Old Harlan Road. Distribution of all outbound traffic back to the I-5 freeway or to west of I-5 was assumed via northbound Old Harlan Road to W. Lathrop Road – right turn to the eastbound W. Lathrop Road left turn lane at Harlan Road and then a U turn to westbound W. Lathrop Road. This would be the most direct route back to the I-5 interchange and for evaluation purposes would result in the most potentially significant operational impacts.

**Figures 17 and 18** present resultant Existing + Project AM and PM peak hour volumes, while **Figures 19 and 20** present resultant year 2022 AM and PM peak hour volumes.

## D. EXISTING + PROJECT OFF-SITE TRAFFIC IMPACTS

### IMPACT 1: Intersection Level of Service

**Table 3** shows that all analysis intersections would maintain acceptable AM and PM peak hour levels of service with the addition of project traffic. *No improvements required.*

### IMPACT 2: 95th Percentile Vehicle Queuing

**Table 4** shows that the addition of project traffic would result in one queuing impact (see **Figure 21**):

- The PM peak hour 95<sup>th</sup> percentile queue on the northbound Old Harlan Road approach to W. Lathrop Road would be increased by more than 100 feet (up to 120 feet - or 5 vehicles). Minor diversion of some backed up drivers through the Chevron or Burger King-O'Reilly Auto parcels could be possible. *Improvements recommended.*

### **IMPACT 3: Intersection Signal Warrant**

**Table 5** shows that the addition of project traffic to the Harlan Road/Old Harlan Road intersection would not increase AM or PM peak hour volumes to meet or exceed Caltrans Peak Hour Warrant #3 volume criteria levels. *No improvements required.*

## **E. CUMULATIVE + PROJECT OFF-SITE TRAFFIC IMPACTS**

### **IMPACT 4: Intersection Level of Service**

**Table 3** shows that all analysis intersections would maintain acceptable AM and PM peak hour levels of service with the addition of project traffic. *No improvements required.*

### **IMPACT 5: 95th Percentile Vehicle Queuing**

**Table 6** shows that the addition of project traffic would result in one queuing impact (see **Figure 22**):

- The PM peak hour 95<sup>th</sup> percentile queue on the northbound Old Harlan Road approach to W. Lathrop Road would be increased by more than 100 feet (360 feet - or 18 vehicles). Major diversion of backed up drivers through the Chevron and Burger King-O'Reilly's Auto parcels would be expected. In addition, some project drivers would travel south on Old Harlan Road and make an illegal left turn to proceed north on Harlan Road to the W. Lathrop Road intersection. *Improvements recommended.*

### **IMPACT 6: Intersection Signal Warrants**

**Table 5** shows that the addition of project traffic to the Harlan Road/Old Harlan Road intersection would not increase AM or PM peak hour volumes to meet or exceed Caltrans Peak Hour Warrant #3 volume criteria levels. *No improvements required.*

## F. NON-TRAFFIC IMPACTS

### IMPACT 7: Transit Impacts

Transit stops for San Joaquin Regional Transit Routes 90 and 97 are located in close proximity to the W. Lathrop Road/Harlan Road intersection. However, while there will be a sidewalk along the project's Old Harlan Road frontage there is no sidewalk extending to the east along the south side of W. Lathrop Road along the Chevron gas station frontage to Old Harlan Road, or a crosswalk across the south leg of Old Harlan Road at its connection to W. Lathrop Road. Therefore, all project transit users would be required to cross Old Harlan Road at a variety of locations and walk through either the Chevron service area or the Burger King parking lot as part of their trip between the project facilities and any of the bus stops. *Improvements recommended.*

### IMPACT 8: Pedestrian Impacts

A sidewalk will be provided along the project's Old Harlan Road frontage. However, no sidewalk is being provided along the project's W. Lathrop Road frontage. Based upon discussion with City staff it is likely that Lathrop High School students walking along the north side of W. Lathrop Road (where a sidewalk is provided) will patronize one or more of the project facilities, particularly Dutch Brothers and Sonic. Since a crosswalk of W. Lathrop Road nearest the project is at the Harlan Road signal, it is likely that some students will cross W. Lathrop Road at the I-5 Northbound Ramps signalized intersection to the west (where there is no crosswalk) or at Old Harlan Road, where there is also no crosswalk, but a raised median. Crossings at both locations without crosswalks presents safety issues. Also, if a crosswalk is provided at the I-5 Northbound Ramps intersection there will be no sidewalk along the south side of W. Lathrop Road between the Northbound Ramps intersection and Old Harlan Road. In addition, the lack of a sidewalk on the south side of W. Lathrop Road just east of Old Harlan Road (see Transit Impacts above) will force all residents of the neighborhood east of Harlan Road who want to walk to any of the project facilities to use the Chevron service area or Burger King parking lot as travel routes. *Improvements recommended.*

### IMPACT 9: Bicycle Impacts

Bicycle racks will be provided at each of the three facilities (based upon City code criteria requirements). Bike riders will have access to the partial set of Class II bicycle lanes along Harlan Road via Old Harlan Road (or via the Burger King parking lot). *No improvements required.*

### **IMPACT 10: Dutch Brothers Drive Through Window Queues**

Surveys were conducted from 7:00-9:00 AM and 3:00-6:00 PM at three Dutch Brothers operations of drive through window queue lengths. Surveys were conducted for two days each at locations in Stockton, Lodi and Oakley. **Appendix E** presents detailed survey results. Maximum queues at all three locations never exceeded 13 vehicles from 7:00-9:00 AM, nor 10 vehicles from 3:00-6:00 PM. Based upon the Dutch Brothers site plan for Lathrop (see **Figure 23**), they will have room for 16 vehicles to queue in their drive through lanes. Therefore, proposed storage should be acceptable. The only minor issue with the Dutch Brothers drive through lanes entrance is that it is much closer to the Sonic driveway along Old Harlan Road than to the Dutch Brothers driveway. It is likely that at least a third of Dutch Brothers customers will use the Sonic driveway for inbound access. There could be intermittent periods from 7:00-9:00 AM when minor congestion could result at the Sonic-Dutch Brothers internal parking lot connection.

***Improvements recommended.***

### **IMPACT 11: Project Internal Circulation**

Circulation flow through all three properties meets City code criteria and appears acceptable, with the one exception listed in IMPACT 10 regarding use of the Sonic driveway by many inbound customers to Dutch Brothers. ***No additional improvements required.***



## **VII. RECOMMENDED IMPROVEMENTS**

### **1. EXISTING WITHOUT PROJECT (City Responsibility) - See Figure 24**

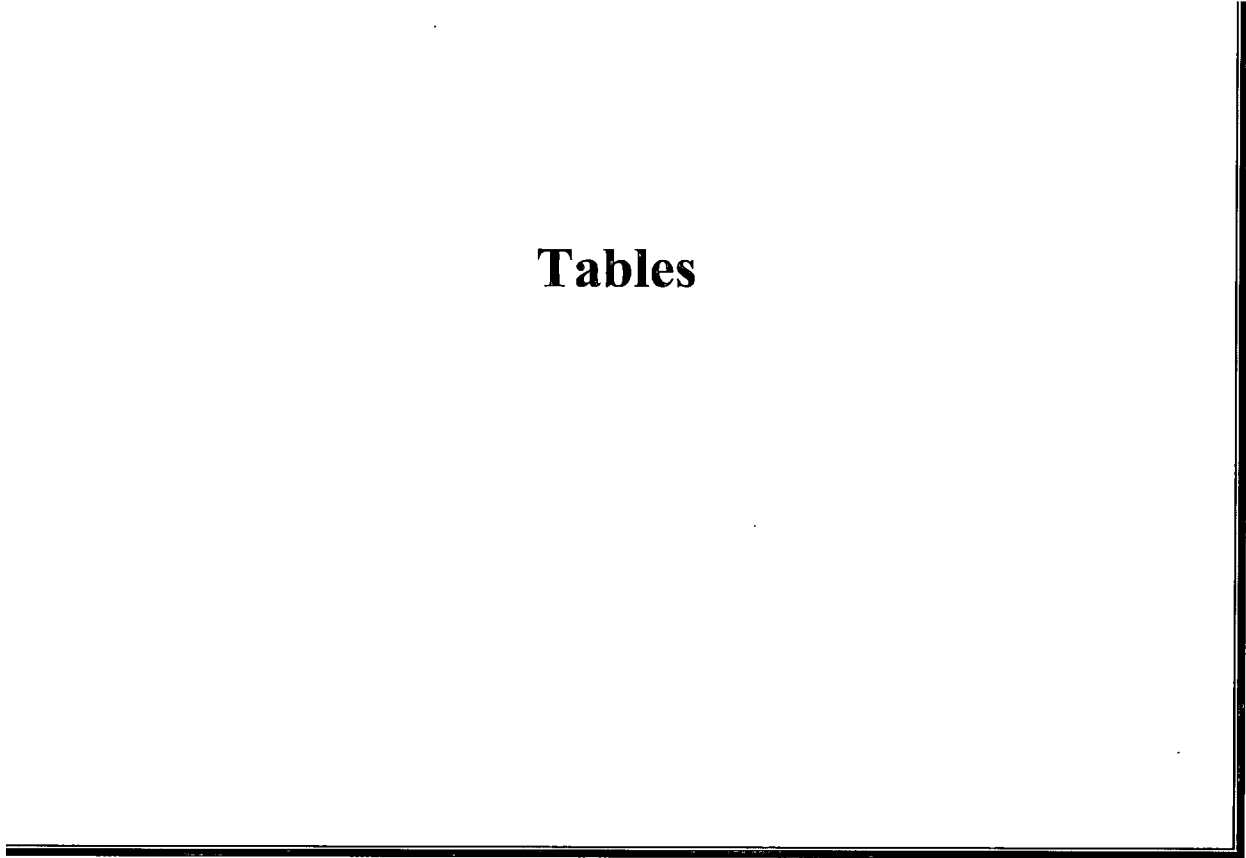
- Reconfigure the northbound Harlan Road approach to W. Lathrop Road to provide two exclusive left turn lanes and a combined through/right turn lane.
- Remove the raised island median on Harlan road south of W. Lathrop Road at the entrance to the existing northbound left turn lane. Continue this existing turn lane south to the Burger King-O'Reilly's driveway.
- Extend the length of the left turn lane on the eastbound W. Lathrop Road approach to Harlan Road by at least 75 feet.
- Retime the W. Lathrop Road/Harlan Road signal and coordinate timing with the W. Lathrop Road/Cambridge signal.

### **2. PROJECT (EXISTING AND CUMULATIVE) - See Figure 25**

- Realign the Old Harlan Road connection to Harlan Road (just south of the project) about 100 feet to the north and provide two lanes on the Old Harlan Road approach: one for left turns and one for right turns. In conjunction with this measure, restripe the median of Harlan Road just south of the new intersection to provide defined back-to-back left turn lanes - one for northbound left turns into Old Harlan Road, and one for southbound left turns into the driveway providing access into the Lathrop Crossing shopping center on the east side of Harlan Road.
- Provide signs adjacent to the exit lanes at each of the three project driveways showing an arrow pointing to the right and a message stating I-5 access turn right. In conjunction with this measure, also provide a sign on the southbound Old Harlan Road approach to Harlan Road with an arrow pointing left and a message stating I-5 access turn left.
- Provide sidewalks on the south side of W. Lathrop Road extending east and west of Old Harlan Road (from the I-5 Ramps intersection to the Chevron driveway).
- Provide a crosswalk at the W. Lathrop Road/I-5 NB Ramps intersection crossing W. Lathrop Road just east of the intersection. Provide pedestrian walk/don't walk signals in conjunction with the crosswalk.
- In order to ensure that Dutch Brothers customers do not congest the Sonic driveway during peak activity times, it may be necessary for Dutch Brothers to provide moveable orange cones across the internal Dutch Brothers-Sonic parking lots connection.

- Based upon input from Chevron, Burger King or O'Reilly's Auto if there is a perceived use of either property by cut-through traffic from the project:
  - a. The City shall conduct an independent survey to see the extent of the issue.
  - b. If there is a problem, the City shall work with one or both property owners to develop measures to further reduce or eliminate cut-through traffic.
  - c. This survey shall be funded by the project applicant.

# Tables



**TABLE 1**  
**SIGNALIZED INTERSECTION LOS CRITERIA**

Level of Service	Description	Average Control Delay (Seconds Per Vehicle)
A	Operations with very low delay occurring with favorable progression and/or short cycle lengths.	≤ 10.0
B	Operations with low delay occurring with good progression and/or short cycle lengths.	10.0 to 20.0
C	Operations with average delays resulting from fair progression and/or longer cycle lengths. Individual cycle failures begin to appear.	20.0 to 35.0
D	Operations with longer delays due to a combination of unfavorable progression, long cycle lengths, and/or high volume-to-capacity (V/C) ratios. Many vehicles stop and individual cycle failures are noticeable.	35.0 to 55.0
E	Operations with high delay values indicating poor progression, long cycle lengths, and high V/C ratios. Individual cycle failures are frequent occurrences. This is considered to be the limit of acceptable delay.	55.0 to 80.0
F	Operation with delays unacceptable to most drivers occurring due to oversaturation, poor progression, or very long cycle lengths.	> 80.0

*Source: Year 2017 6th Edition Highway Capacity Manual (Transportation Research Board).*

**TABLE 2**  
**UNSIGNALIZED INTERSECTION LOS CRITERIA**

Level of Service	DESCRIPTION	Average Control Delay (Seconds Per Vehicle)
A	Little or no delays	≤ 10.0
B	Short traffic delays	10.0 to 15.0
C	Average traffic delays	15.0 to 25.0
D	Long traffic delays	25.0 to 35.0
E	Very long traffic delays	35.0 to 50.0
F	Extreme traffic delays with intersection capacity exceeded (for an all-way stop), or with approach/turn movement capacity exceeded (for a side street stop controlled intersection)	> 50.0

*Source: Year 2017 6th Edition Highway Capacity Manual (Transportation Research Board).*

**TABLE 3**  
**INTERSECTION LEVEL OF SERVICE**  
**WITH AND WITHOUT PROJECT**

**EXISTING (YEAR 2019)**

INTERSECTION	AM PEAK HOUR		PM PEAK HOUR	
	W/O PROJECT	WITH PROJECT	W/O PROJECT	WITH PROJECT
W. LATHROP RD/SB I-5 RAMPS	C-34.3 <sup>(1)</sup>	D-37.3	C-32.3	C-32.8
W. LATHROP RD/NB I-5 RAMPS	C-25.7 <sup>(1)</sup>	C-28.0	B-16.2	B-18.8
W. LATHROP RD/HARLAN RD	C-23.3 <sup>(1)</sup>	C-23.6	C-25.5	C-26.1
HARLAN RD/OLD HARLAN RD	B-10.0 <sup>(2)</sup>	B-10.3	B-11.3	B-11.6

**CUMULATIVE (YEAR 2022)**

INTERSECTION	AM PEAK HOUR		PM PEAK HOUR	
	W/O PROJECT	WITH PROJECT	W/O PROJECT	WITH PROJECT
W. LATHROP RD/SB I-5 RAMPS	D-38.9 <sup>(1)</sup>	D-41.3	C-34.4	D-37.3
W. LATHROP RD/NB I-5 RAMPS	C-30.7 <sup>(1)</sup>	C-33.4	C-31.8	C-34.7
W. LATHROP RD/HARLAN RD	C-25.2 <sup>(1)</sup>	C-25.5	C-29.3	C-30.3
HARLAN RD/OLD HARLAN RD	B-10.3 <sup>(2)</sup>	B-10.5	B-11.9	B-12.3

Signalized level of service – control delay in seconds.

Side street stop sign control - NB right turn level of service/delay in seconds.

- Year 2017 6th Edition Highway Capacity Manual (Transportation Research Board) Methodology
- Synchro Level of Service software

Source: Crane Transportation Group

**TABLE 4**

**EXISTING 95<sup>TH</sup> PERCENTILE TURN LANE QUEUING\*  
WITH & WITHOUT PROJECT**

LOCATION	QUEUE (in Feet)			
	AM PEAK HOUR		PM PEAK HOUR	
	W/O PROJECT (Field Surveyed)	WITH PROJECT	W/O PROJECT (Field Surveyed)	WITH PROJECT
<b>W. LATHROP RD/HARLAN RD</b>				
EBL	260 (320) <sup>(1)</sup>	280	340 (320) <sup>(1)</sup>	360
EBT	160 (330-530) <sup>(2)</sup>	180	480 (330-530) <sup>(2)</sup>	500
NBL	320 (235) <sup>(1)</sup>	320	340 (235) <sup>(1)</sup>	340
NBT	160	160	200	200
<b>W.LATHROP/OLD HARLAN RD</b>				
NBR	20	60	40	160**
<b>W.LATHROP RD/I-5 SB RAMPS</b>				
WBL	180 (420) <sup>(1)</sup>	200	240 (420) <sup>(1)</sup>	260

\* Queuing results broken down into 20-foot segments.

\*\* Theoretical result only. Assumes all NB vehicles on Old Harlan Rd wait to turn right at W. Lathrop Rd. It is likely some vehicles in this queue will use the Chevron and Burger King parking service aisles to access Harlan Rd and W. Lathrop Rd.

<sup>(1)</sup> = (320) = Storage distance (feet).

<sup>(2)</sup> = (330-530) = Storage length to Old Harlan Rd/I-5 NB Ramps.

Synchro software queuing results for +project conditions.

Source: Field Surveys under direction of Crane Transportation Group Wednesday October 3, 2019.

Compiled by Crane Transportation Group

**TABLE 5**

**INTERSECTION SIGNAL WARRANT EVALUATION**  
**(Do Volumes Meet Caltrans Warrant #3 Volume Criteria Levels?)**

**Harlan Road/Old Harlan Road**

(South of W. Lathrop Road)

**EXISTING (2019)**

AM PEAK HOUR		PM PEAK HOUR	
WITHOUT PROJECT	WITH PROJECT	WITHOUT PROJECT	WITH PROJECT
NO	NO	NO	NO

**CUMULATIVE (2022)**

AM PEAK HOUR		PM PEAK HOUR	
WITHOUT PROJECT	WITH PROJECT	WITHOUT PROJECT	WITH PROJECT
NO	NO	NO	NO

*Source: Crane Transportation Group*

**TABLE 6**

**CUMULATIVE YEAR 2022 95<sup>TH</sup> PERCENTILE TURN LANE QUEUING WITH & WITHOUT PROJECT**

LOCATION	QUEUE (in Feet)			
	AM PEAK HOUR		PM PEAK HOUR	
	W/O PROJECT (Field Surveyed)	WITH PROJECT	W/O PROJECT (Field Surveyed)	WITH PROJECT
<b>W. LATHROP RD/HARLAN RD</b>				
EBL	280 (320) <sup>(1)</sup>	300	400 (320) <sup>(1)</sup>	400
EBT	220 (330-530) <sup>(2)</sup>	240	580 (330-530) <sup>(2)</sup>	580
NBL	340 (235) <sup>(1)</sup>	340	340 (235) <sup>(1)</sup>	340
NBT	180	180	240	240
<b>W.LATHROP/OLD HARLAN RD</b>				
NBR	40	80	60	60
<b>W.LATHROP RD/I-5 SB RAMPS</b>				
WBL	180 (420) <sup>(1)</sup>	200	240 (420) <sup>(1)</sup>	240

\* Queuing results broken down into 20-foot segments.

\*\* Theoretical result only. Assumes all NB vehicles on Old Harlan Rd wait to turn right at W. Lathrop Rd. It is likely some vehicles in this queue will use the Chevron and Burger King parking service aisles to access Harlan Rd and W. Lathrop Rd.

<sup>(1)</sup> = (320) = Storage distance (feet).

<sup>(2)</sup> = (330-530) = Storage length to Old Harlan Rd/I-5 NB Ramps.

Synchro software queuing results for +project conditions.

Source: Field Surveys under direction of Crane Transportation Group Wednesday October 3, 2019.

Compiled by Crane Transportation Group



**TABLE 7**

**Project Gross Trip Generation**

**DUTCH BROTHERS**  
(With Drive Through)

SIZE (Square Ft)	AM PEAK HOUR TRIPS				PM PEAK HOUR TRIPS			
	IN		OUT		IN		OUT	
	Rate/ Sq Ft	Vol	Rate/ Sq Ft	Vol	Rate/ Sq Ft	Vol	Rate/ Sq Ft	Vol
862	77.8	67	77.8	67	48.2	42	48.2	42

**PANDA EXPRESS**  
(With Drive Through)

SIZE (Square Ft)	AM PEAK HOUR TRIPS				PM PEAK HOUR TRIPS			
	IN		OUT		IN		OUT	
	Rate/ Sq Ft	Vol	Rate/ Sq Ft	Vol	Rate/ Sq Ft	Vol	Rate/ Sq Ft	Vol
2200	N/A*	2	N/A*	0	17.0	38	15.67	35

\*Not open for breakfast

**SONIC**  
(With Drive Through)

SIZE (Square Ft)	AM PEAK HOUR TRIPS				PM PEAK HOUR TRIPS			
	IN		OUT		IN		OUT	
	Rate/ Sq Ft	Vol	Rate/ Sq Ft	Vol	Rate/ Sq Ft	Vol	Rate/ Sq Ft	Vol
1608	20.5	33	19.7	32	17.0	28	15.67	25

Trip Rate Source for Dutch Brothers: Surveys of Existing Dutch Brothers operations in Stockton and Lodi, California. - See Appendix E.

Trip Rate Source for Panda Express and Sonic: Trip Generation Manual 10th Edition by the Institute of Transportation Engineers, 2017.

Compiled by: Crane Transportation Group

**TABLE 8**

**Project Passby and Diverted Link Trip Capture**

	<b>I-5 Freeway Diverted Trips</b>	<b>Local Street System Passby Capture &amp; Diverted Link Trips</b>	<b>Primary Trips</b>
<b>Dutch Brothers</b>	45%	35%	20%
<b>Panda Express</b>	25%	30%	45%
<b>Sonic</b>	35%	30%	35%

*Sources: Trip Generation Handbook by the Institute of Transportation Engineers 2017*

*Lathrop City Staff*

*Crane Transportation Group*

**TABLE 9**

**(3 Facilities)**

**Total Project Gross Trip Generation**

**Total of Inbound and Outbound Trips  
on 3 Project Driveways**

AM PEAK HOUR TRIPS			PM PEAK HOUR TRIPS		
IN	OUT	Total 2 way	IN	OUT	Total 2 way
102	99	201	108	102	210

**Total Project Trips Attracted from Freeway  
or Ambient Traffic on nearby streets**

AM PEAK HOUR TRIPS			PM PEAK HOUR TRIPS		
IN	OUT	Total 2 way	IN	OUT	Total 2 way
77	75	150	73	69	142

**Net new Project Trips being Attracted to Development Area  
from other section of Lathrop or Manteca**

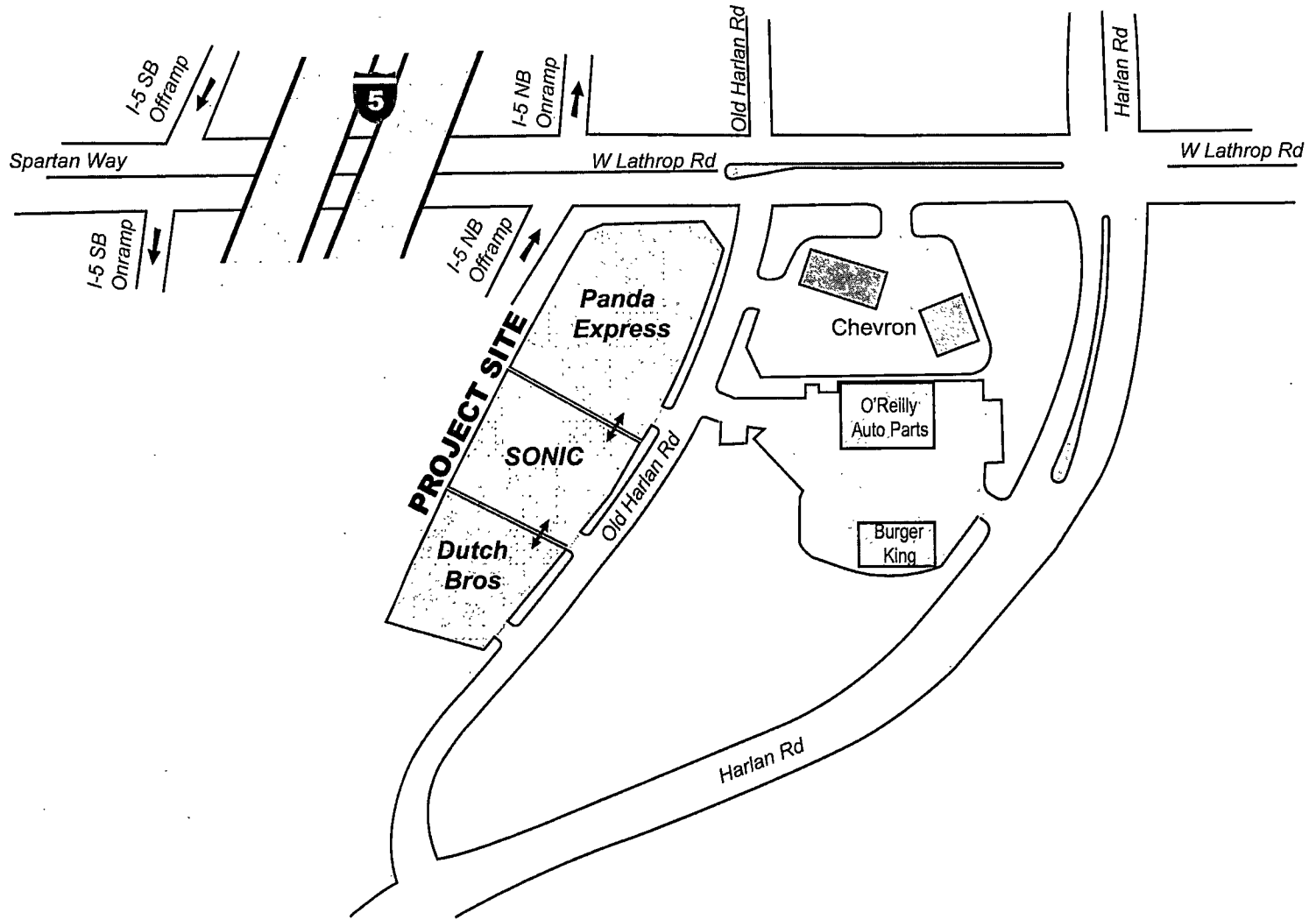
AM PEAK HOUR TRIPS			PM PEAK HOUR TRIPS		
IN	OUT	Total 2 way	IN	OUT	Total 2 way
25	24	49	35	33	68

*Compiled by: Crane Transportation Group.*

# Figures



Not To Scale  
**NORTH**



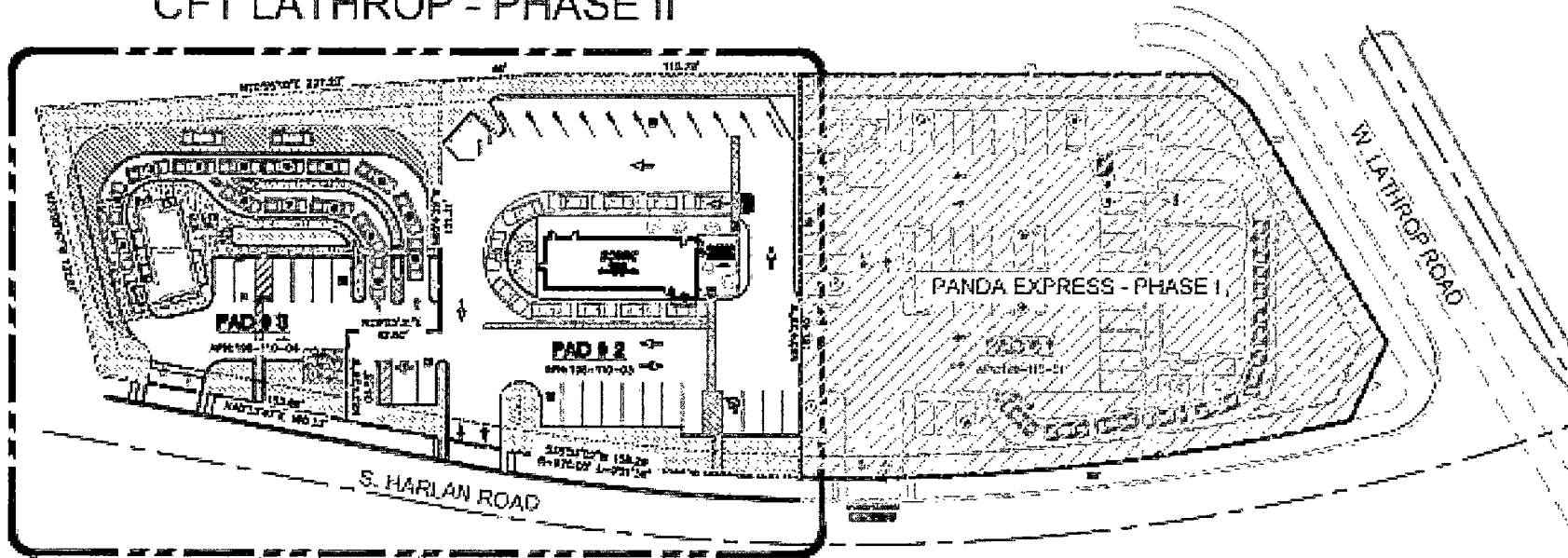
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**Figure 2**  
**Site Plan - Schematic**



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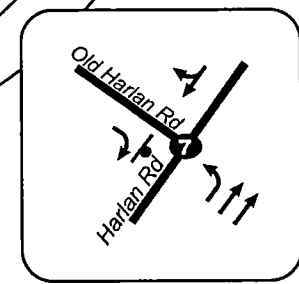
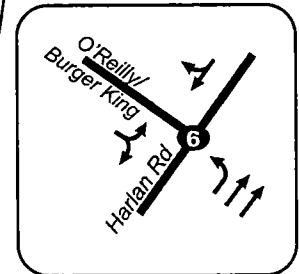
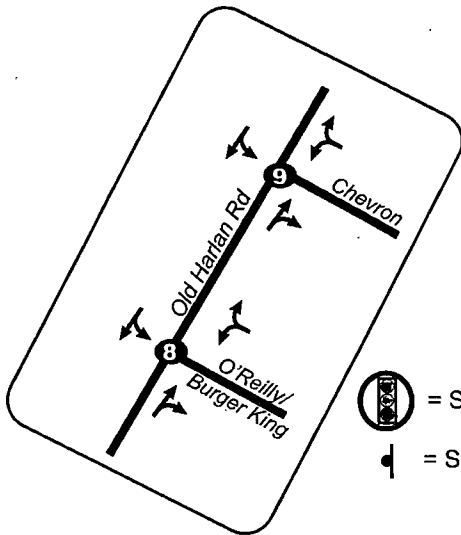
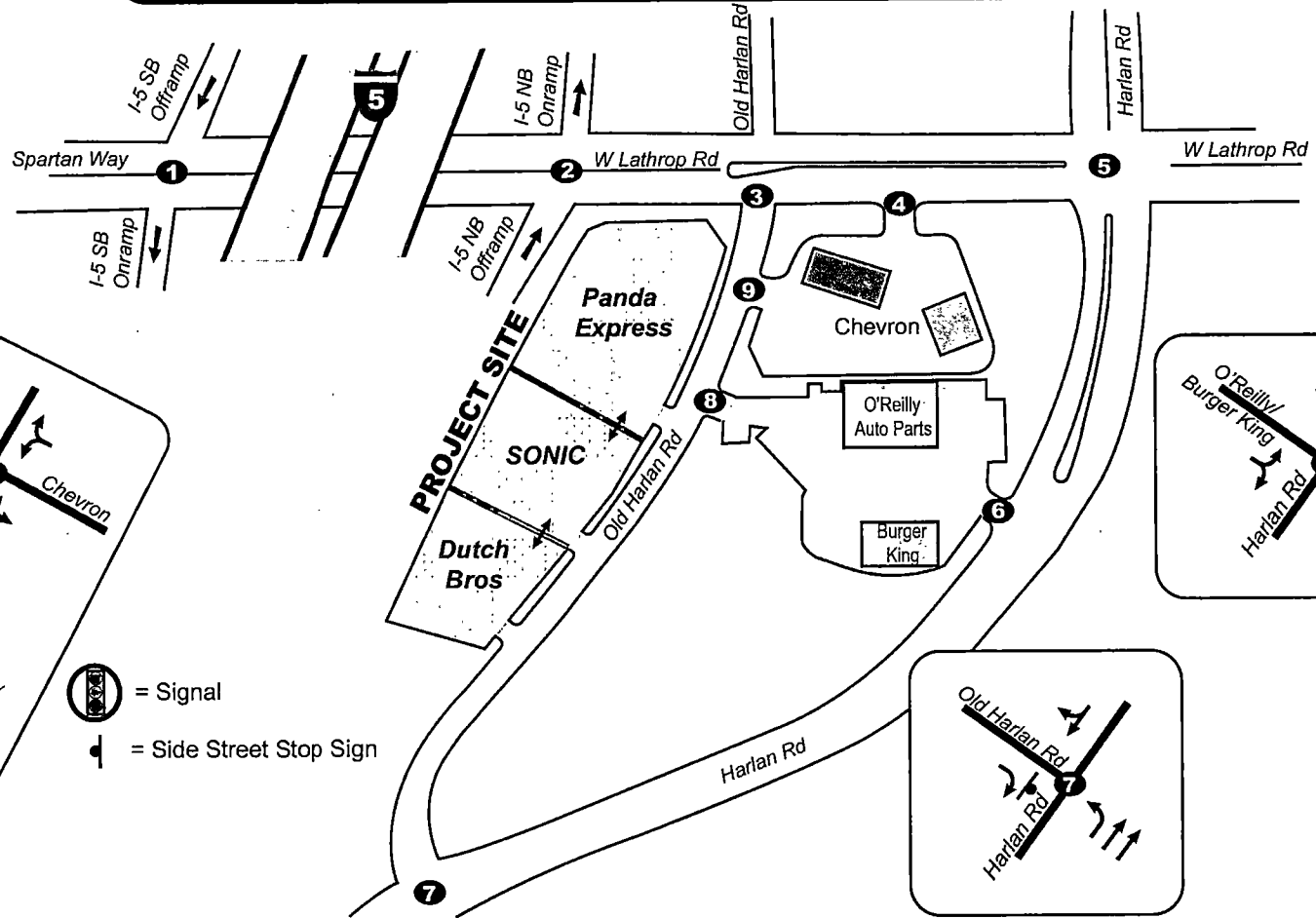
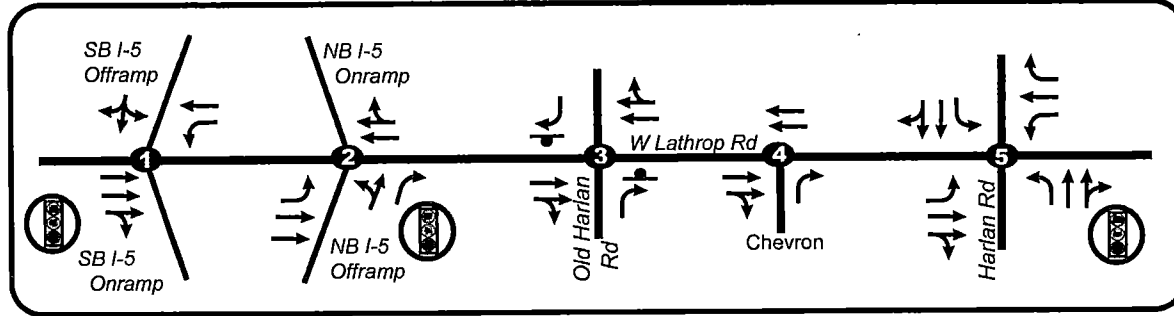
# CFT LATHROP - PHASE II





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**Figure 3**  
**Site Plan - Architectural Version**

Not To Scale



 = Signal  
 = Side Street Stop Sign

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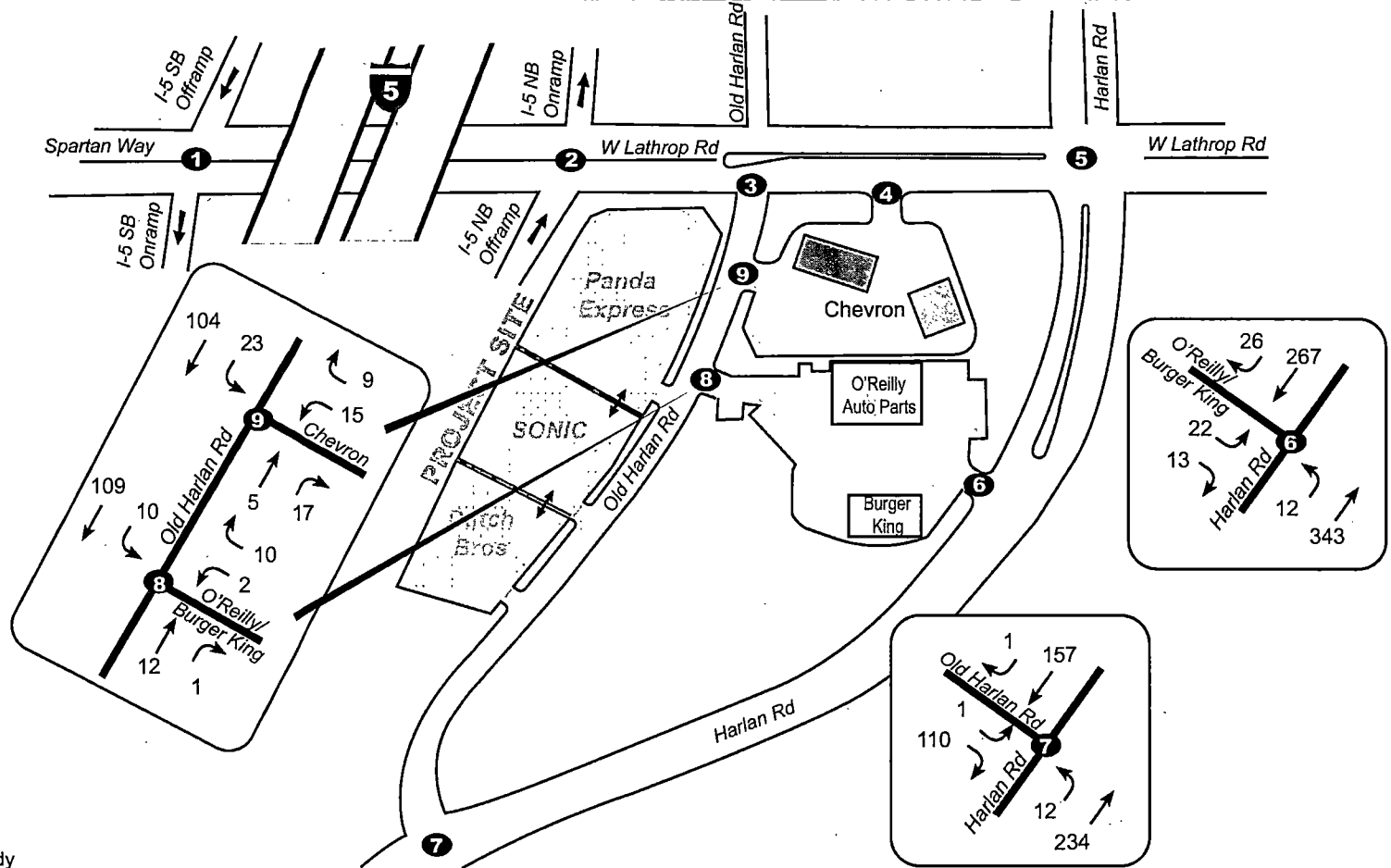
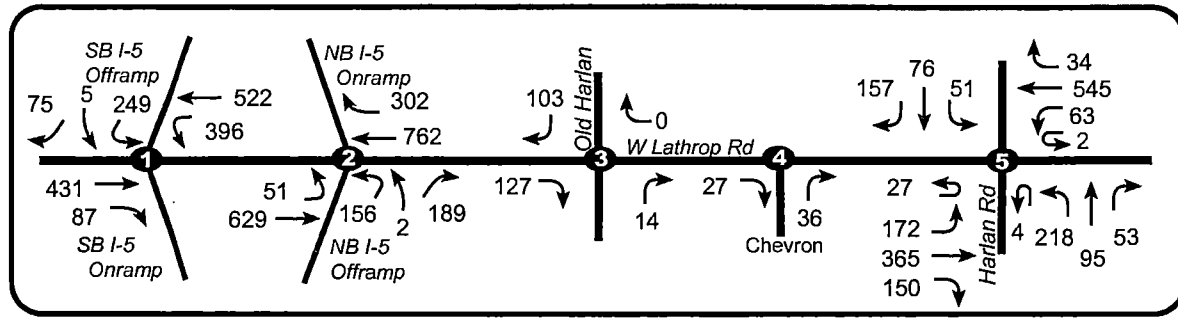
**Figure 4**  
**Existing Intersection Approach Lane**  
**Geometrics and Control**



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Figure 5

Existing AM Peak Hour Volumes (without Project)  
Thursday October 3, 2019 - 7:00-8:00 AM

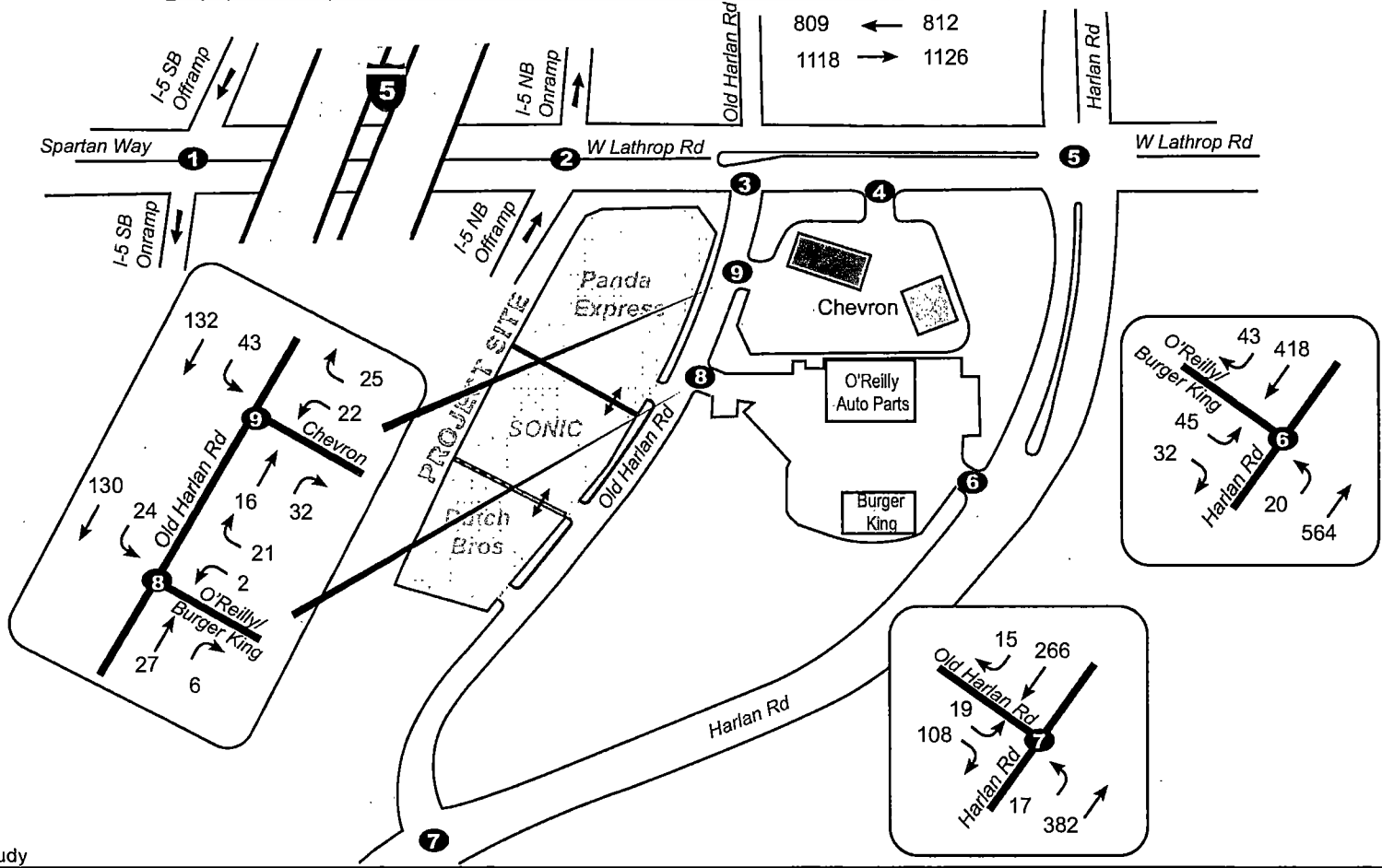
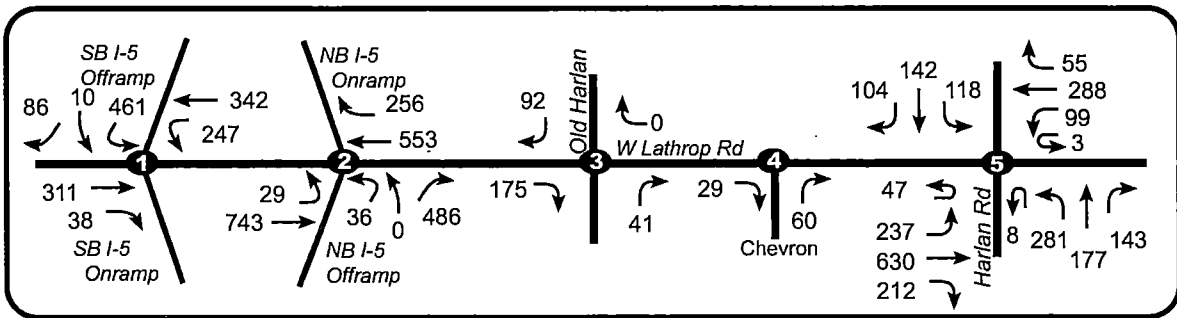


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Not To Scale



NORTH



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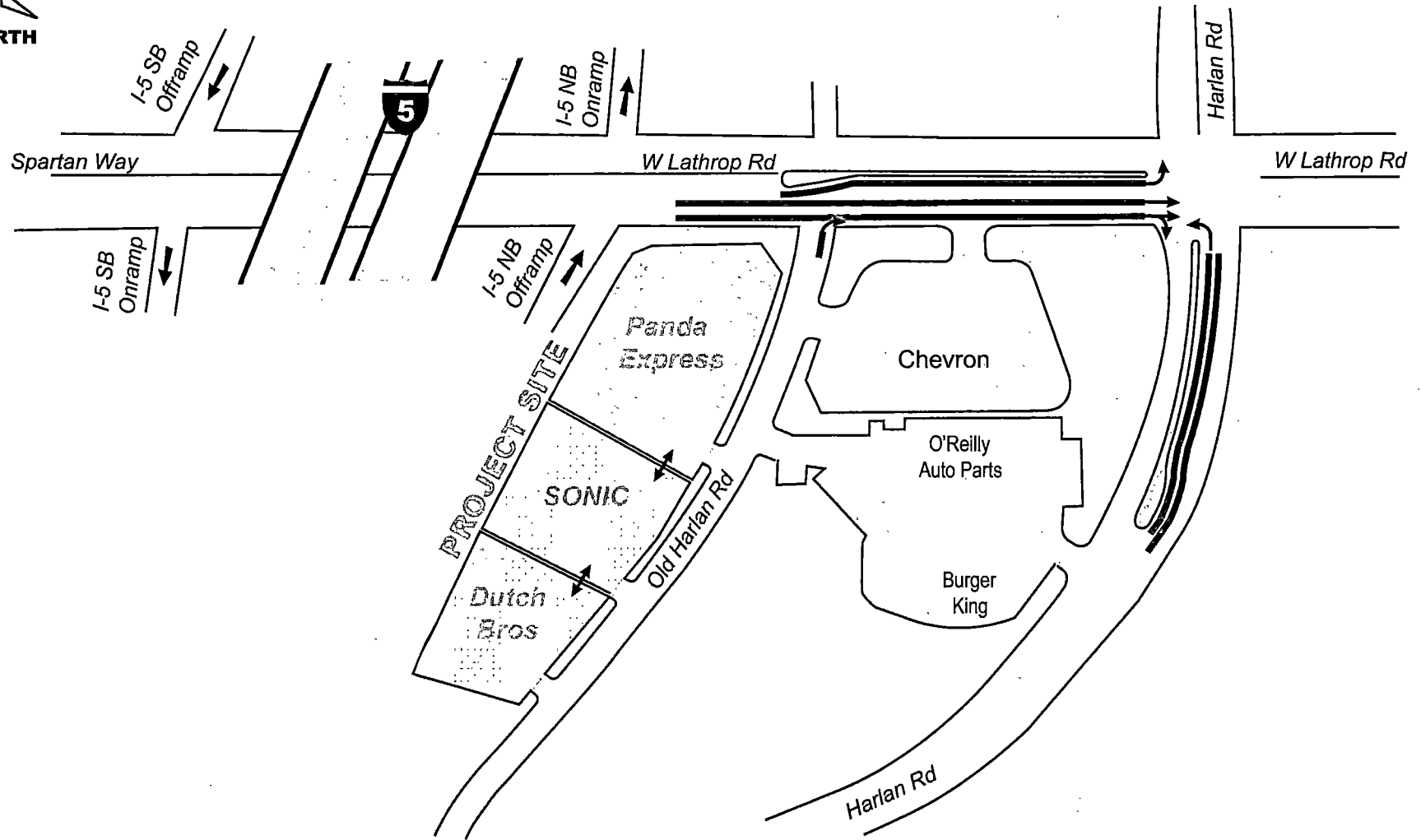
Figure 6

Existing PM Peak Hour Volumes (without Project)  
Thursday October 3, 2019 - 5:00-6:00 PM



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- AM Peak Hour 95th% Queues Exceeding Left Turn Lane Storage
- PM Peak Hour 95th% Queues Exceeding Left Turn Lane Storage
- PM Peak Hour 95th% Queues Extending past Old Harlan Road Intersection
- PM Peak Hour 95th% Queues for informational purposes

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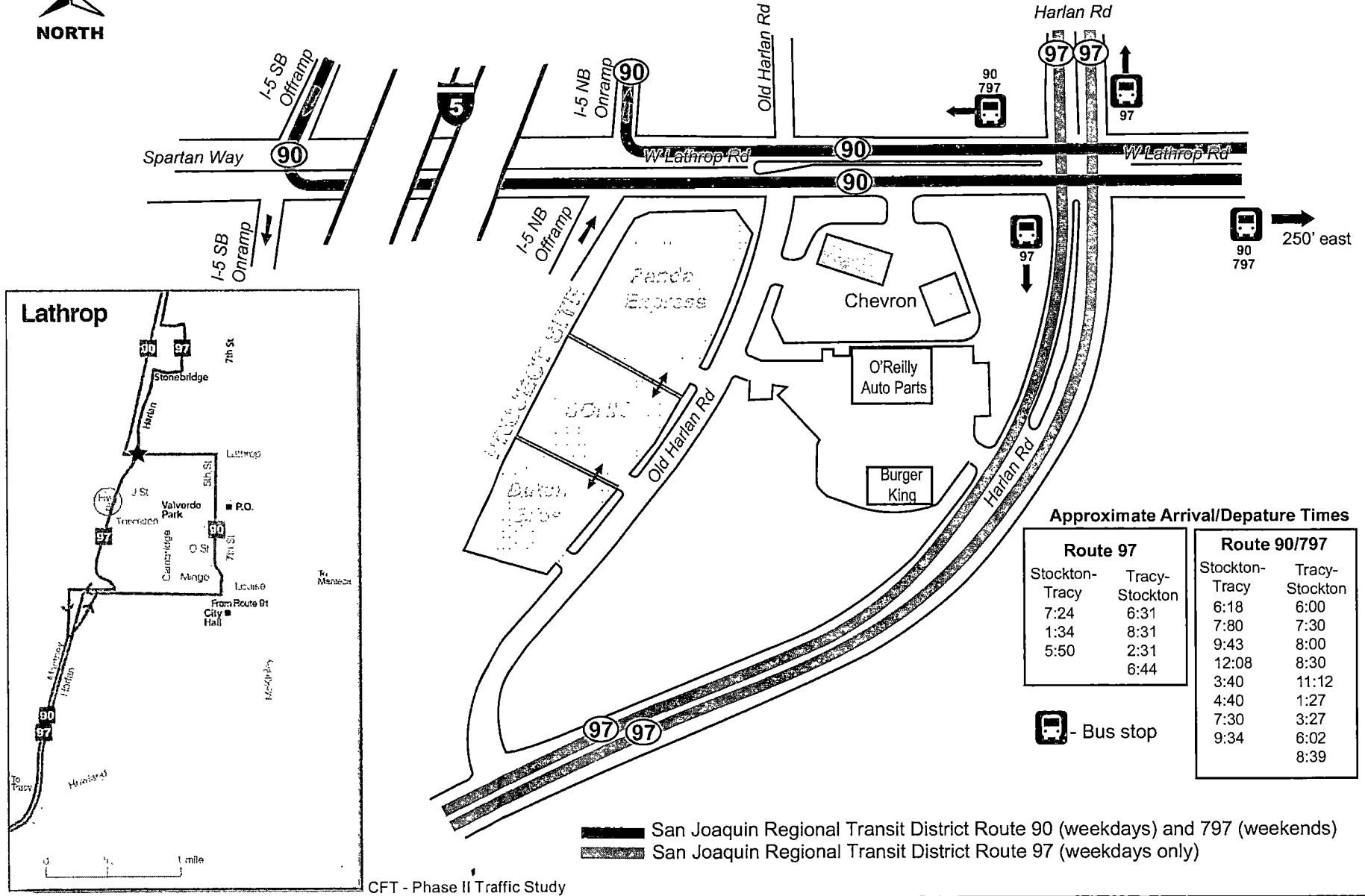


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**Figure 7**

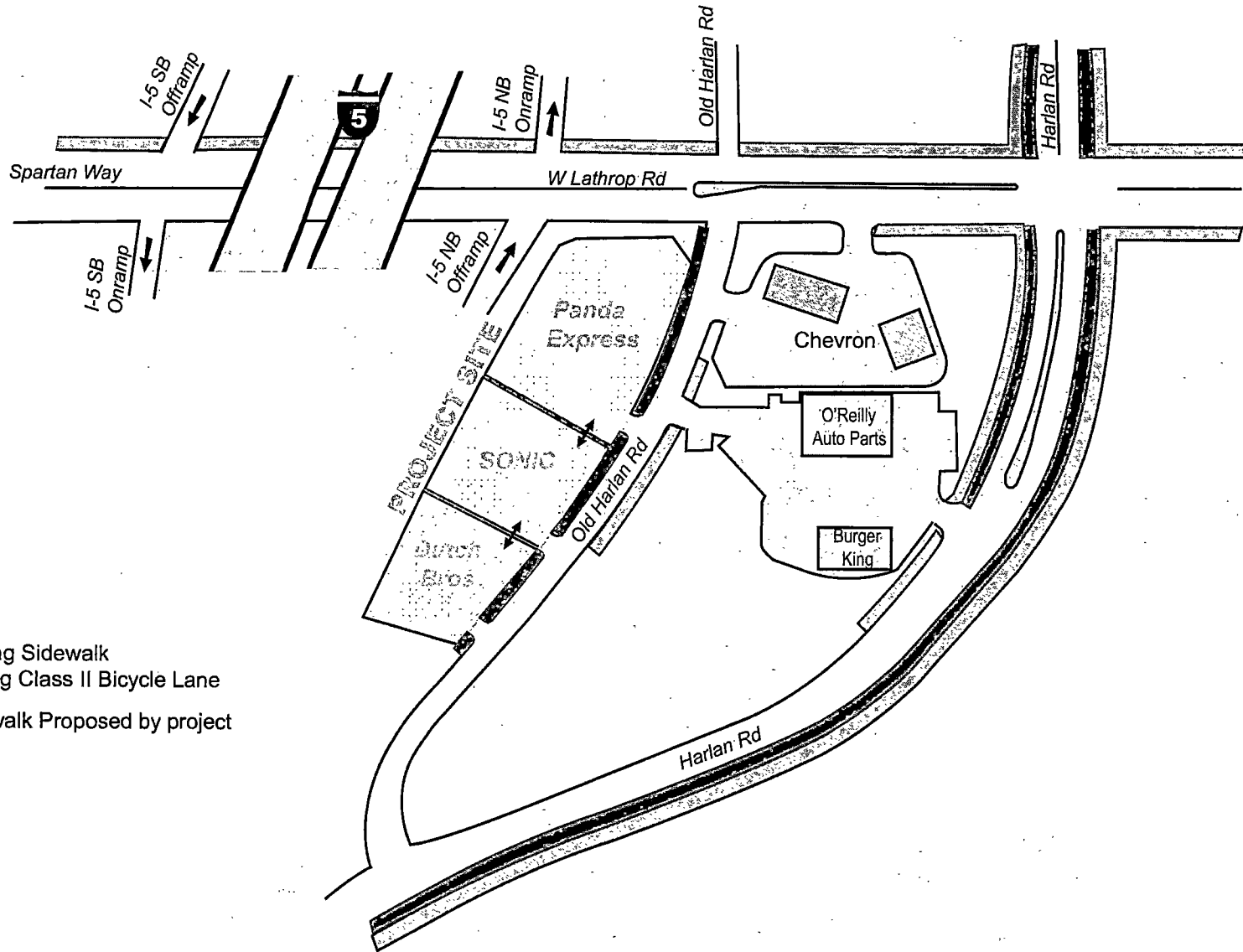
**Existing (without Project)  
95th% Queues Exceeding Storage**

Not To Scale



**Figure 8**  
**Transit Routes in Vicinity of Project Site**

Not To Scale



- Existing Sidewalk
- Existing Class II Bicycle Lane
- = Sidewalk Proposed by project

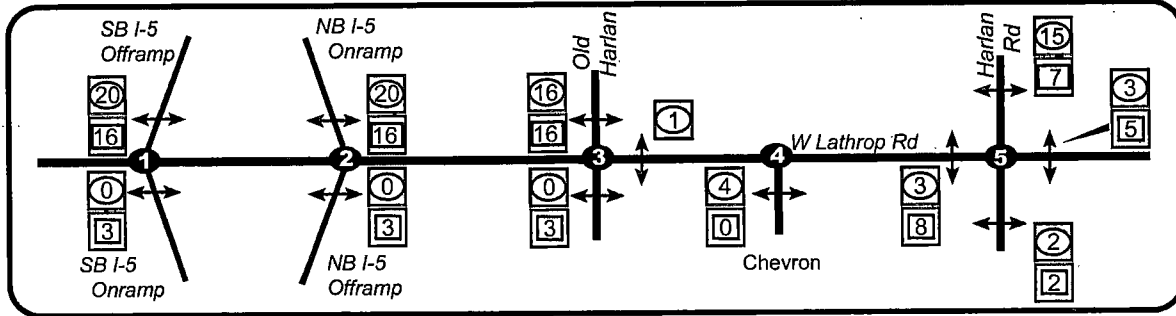
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**Figure 9**  
**Existing Sidewalks and Bicycle Lanes**  
**and Those Proposed by Project**

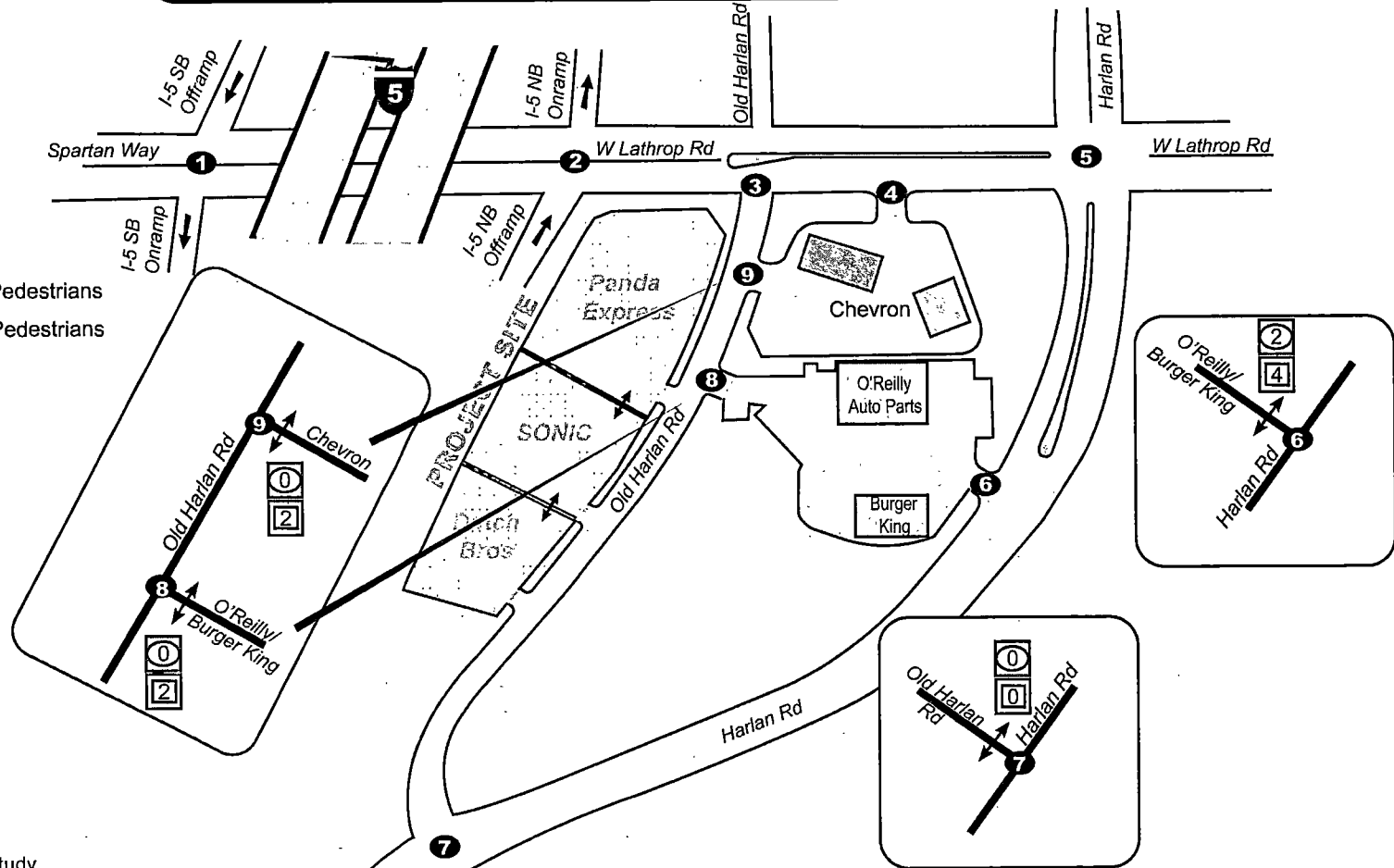


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- 5 - AM Peak Hour Pedestrians
- 5 - PM Peak Hour Pedestrians



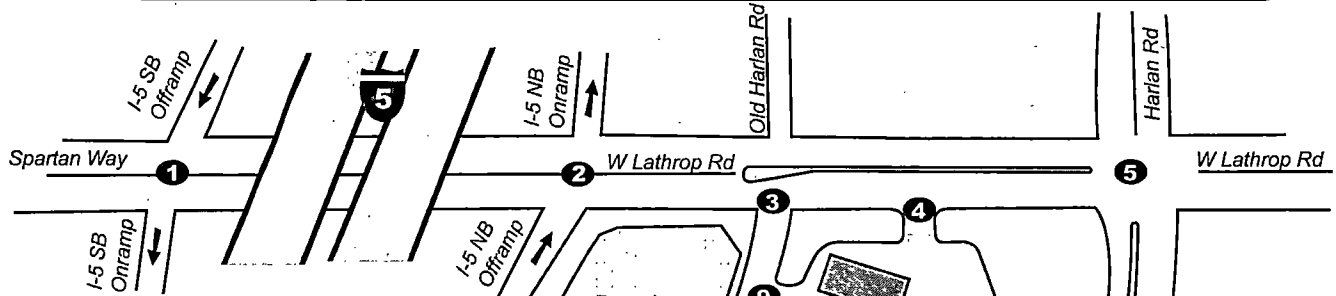
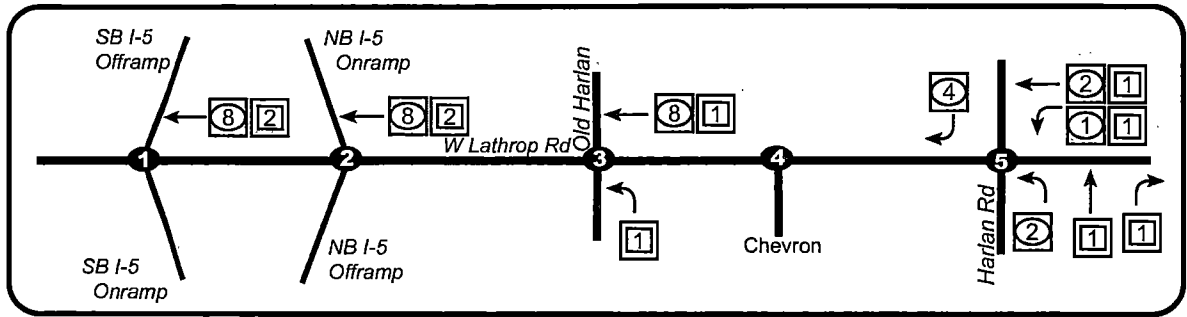
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**Figure 10**  
**Existing AM and PM Peak Hour**  
**Pedestrian Volumes**

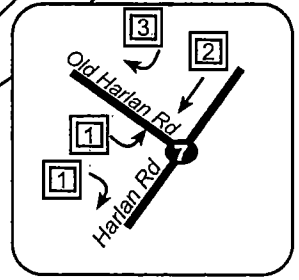
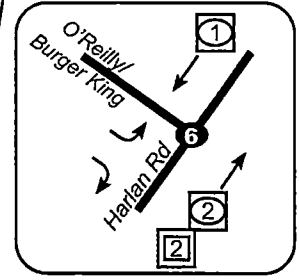
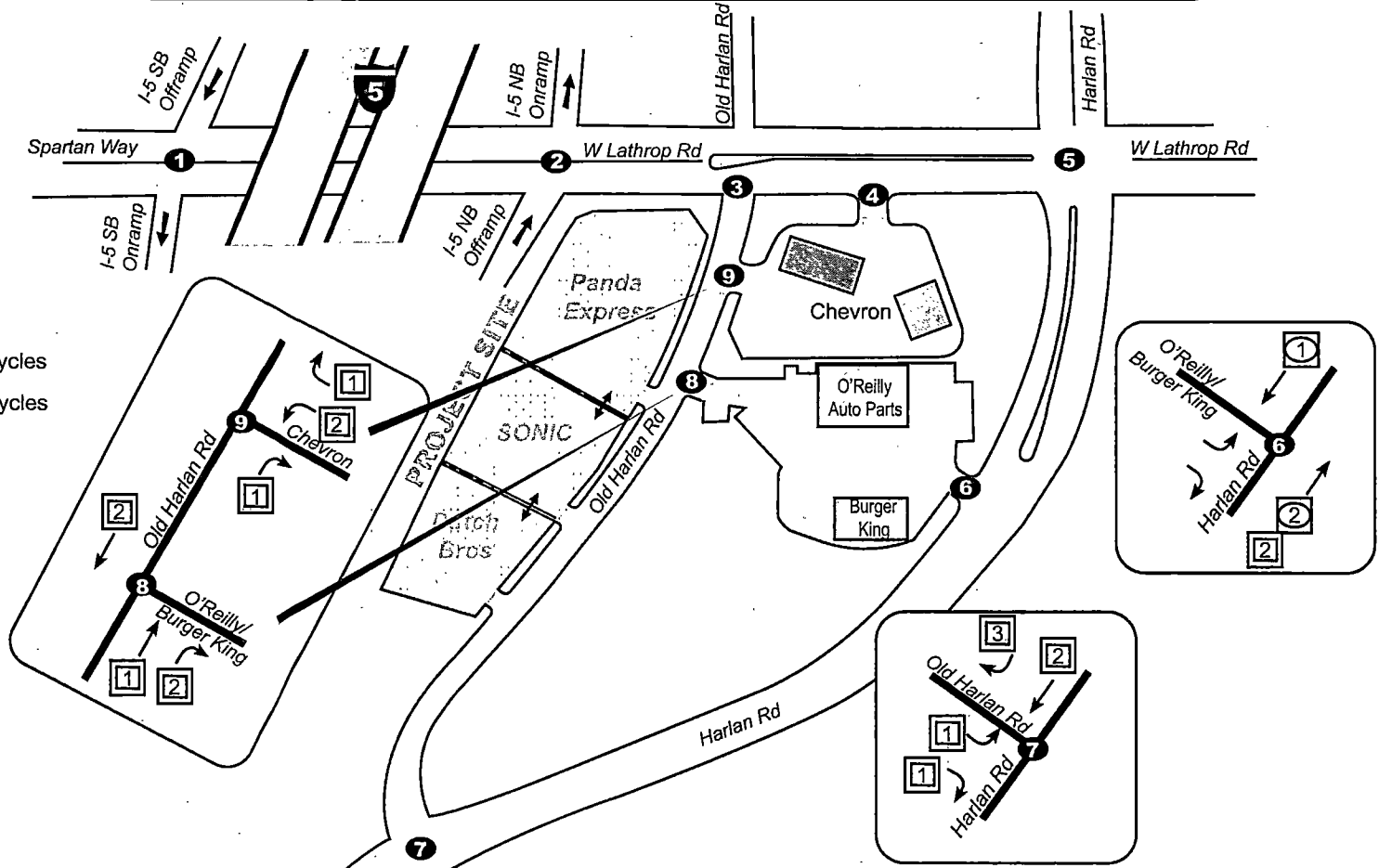


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- ⑤ - AM Peak Hour Bicycles
- ⑥ - PM Peak Hour Bicycles



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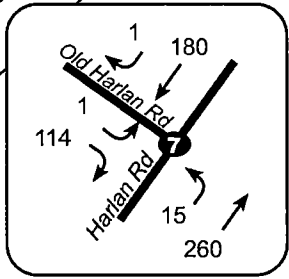
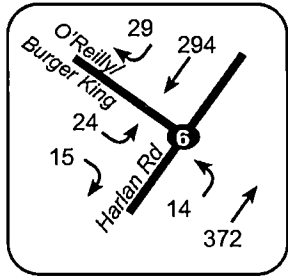
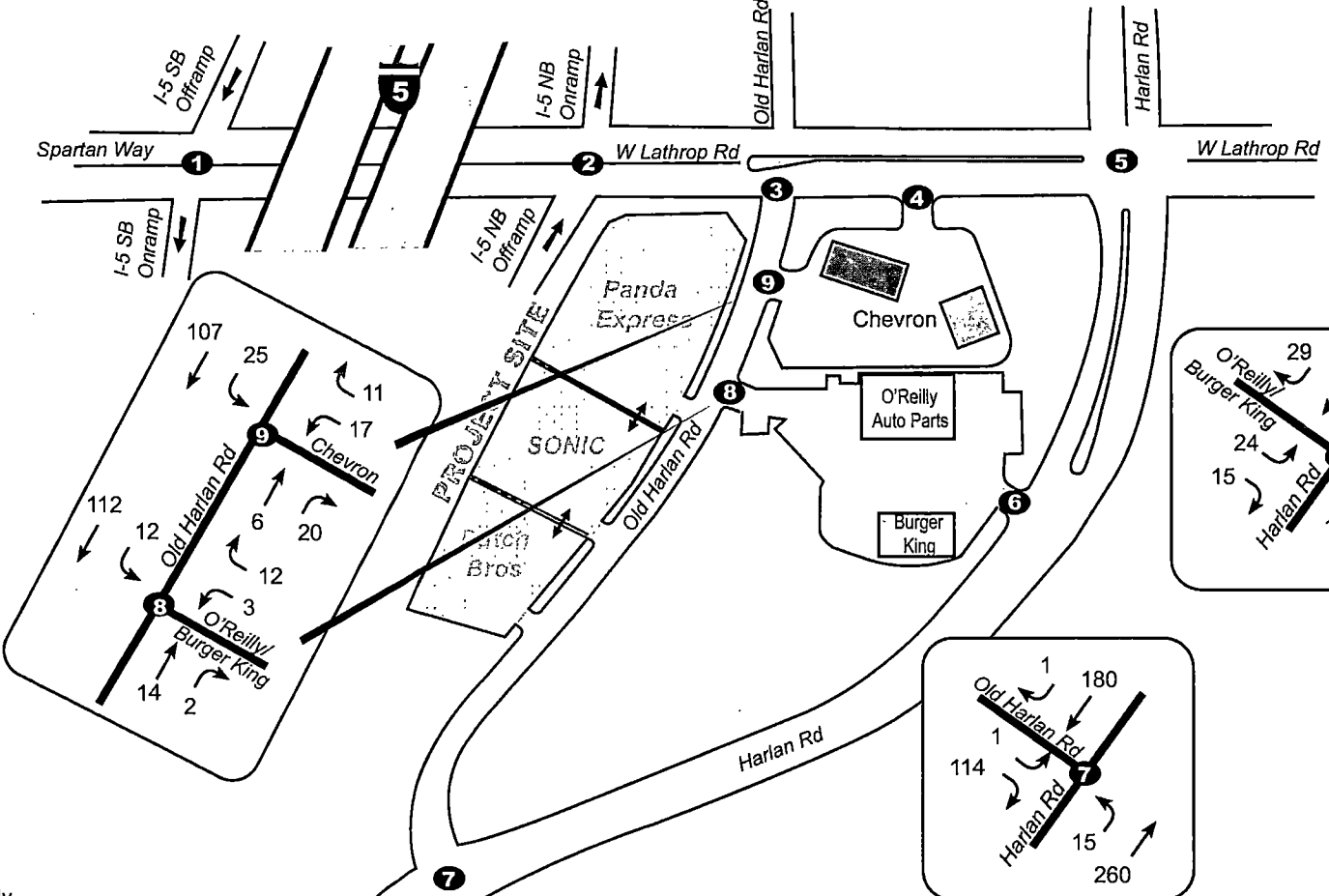
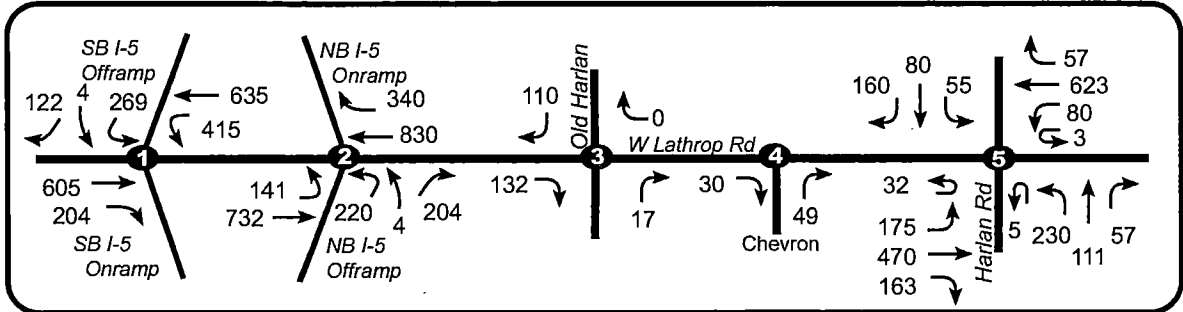
Figure 11

Existing AM and PM Peak Hour Bicycle Volumes



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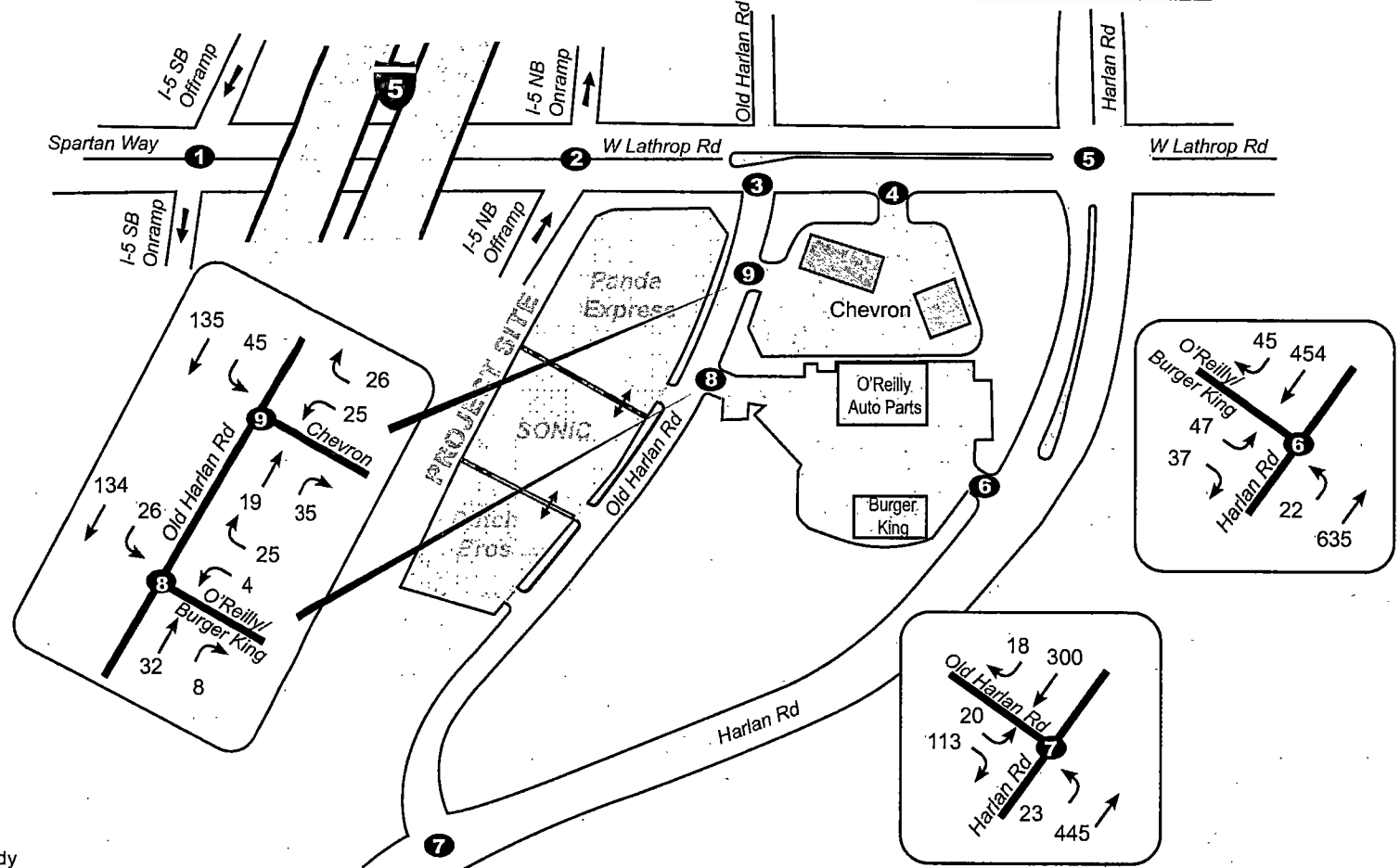
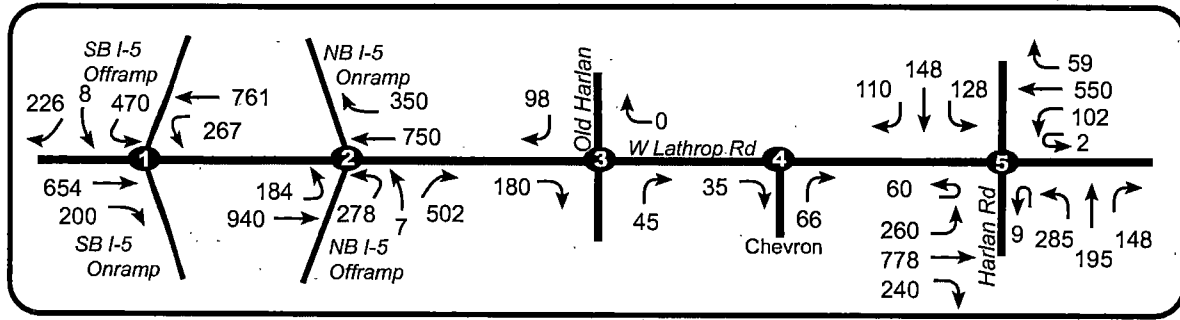
**Figure 12**  
**Cumulative (Year 2022)**  
**Weekday AM Peak Hour Volumes (without Project)**



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Not To Scale



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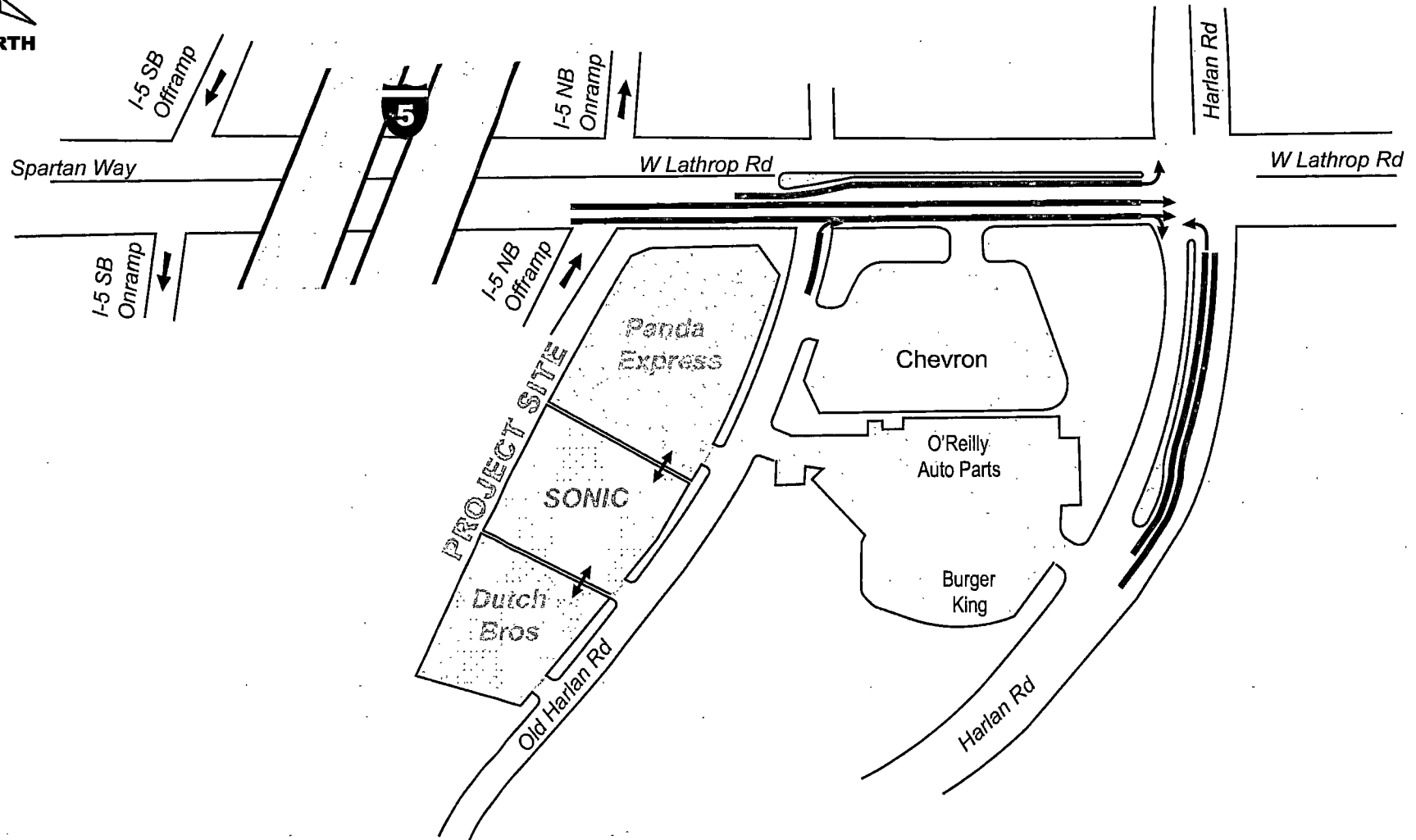
Figure 13





Cumulative (Year 2022)  
Weekday PM Peak Hour Volumes (without Project)



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Not To Scale



-  AM Peak Hour 95th% Queues Exceeding Left Turn Lane Storage
-  PM Peak Hour 95th% Queues Exceeding Left Turn Lane Storage
-  PM Peak Hour 95th% Queues Extending past Old Harlan Road Intersection
-  PM Peak Hour 95th% Queues for informational purposes

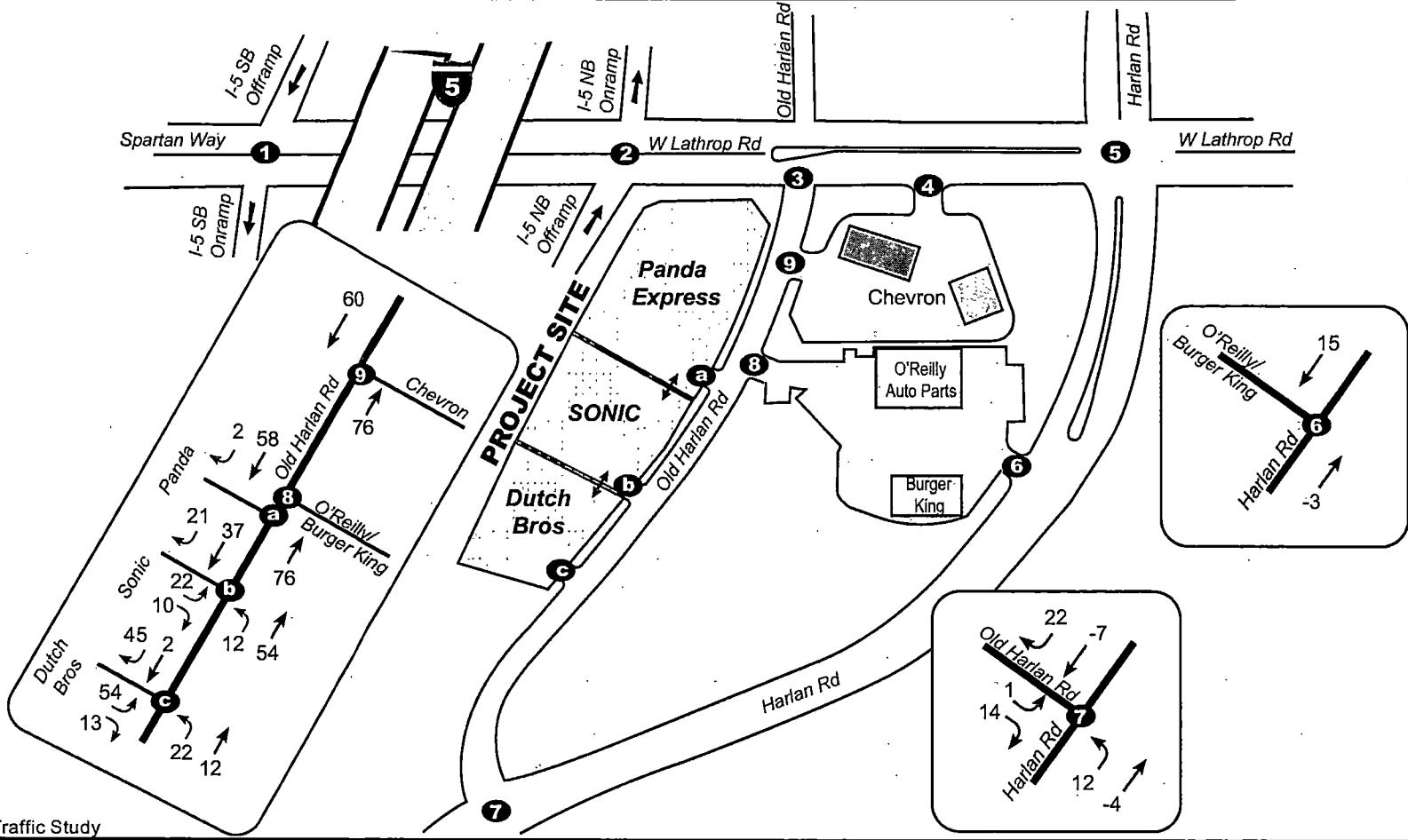
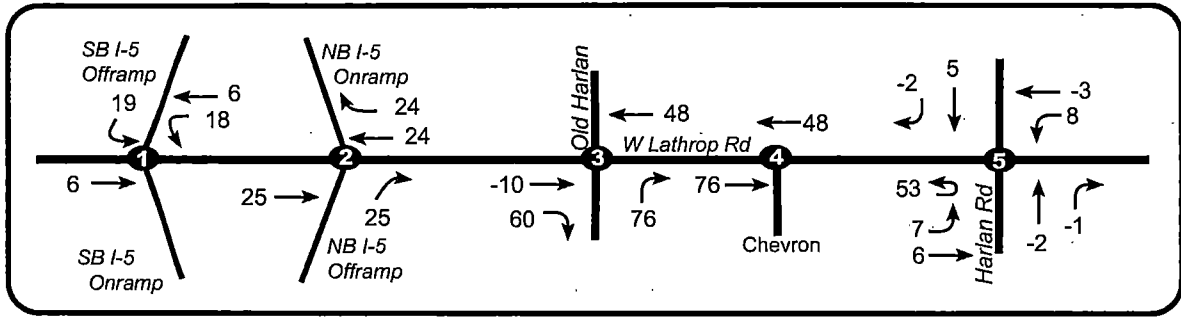
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**Figure 14**  
**Cumulative (Year 2022) without Project**  
**95th% Queues Exceeding Storage**

Not To Scale



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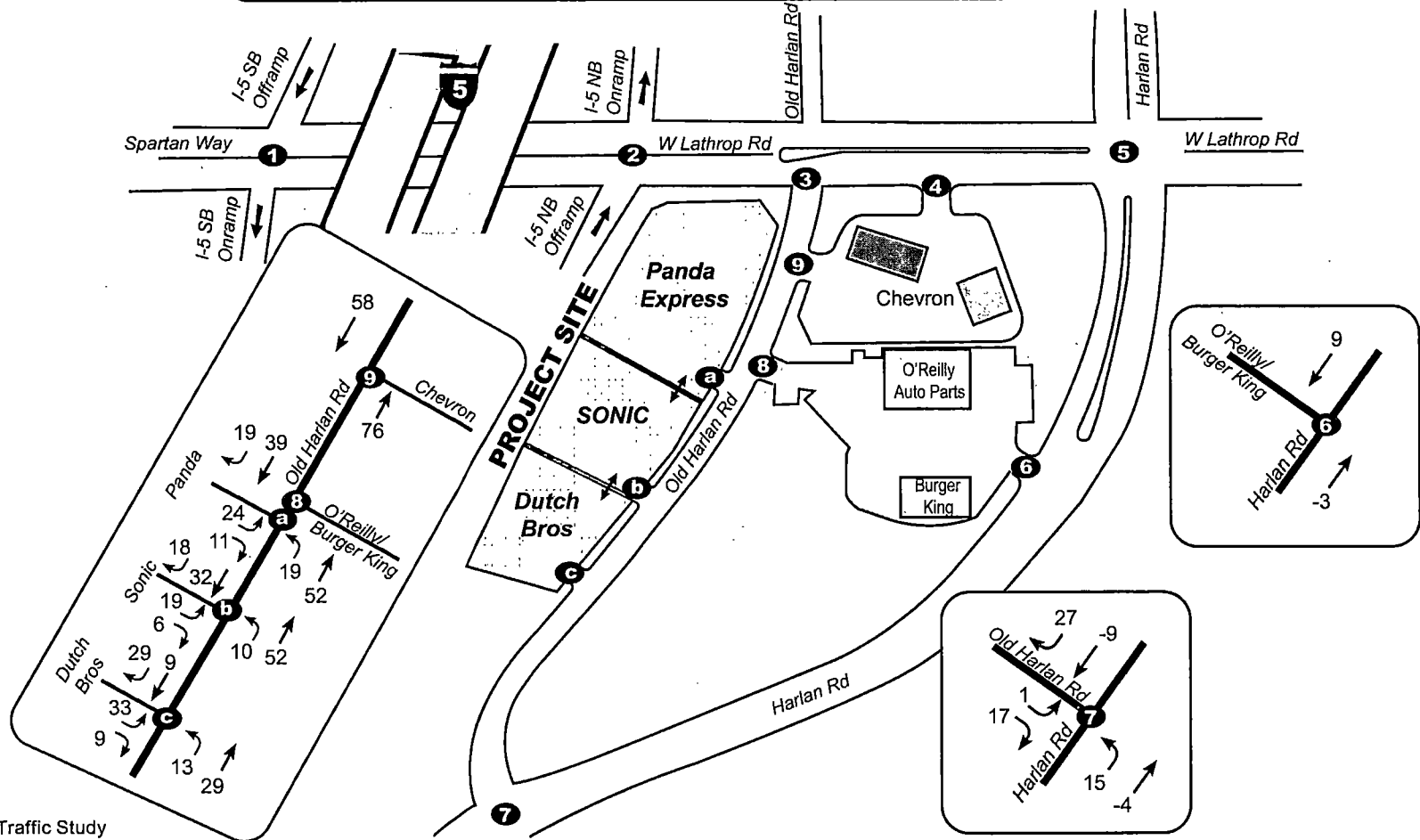
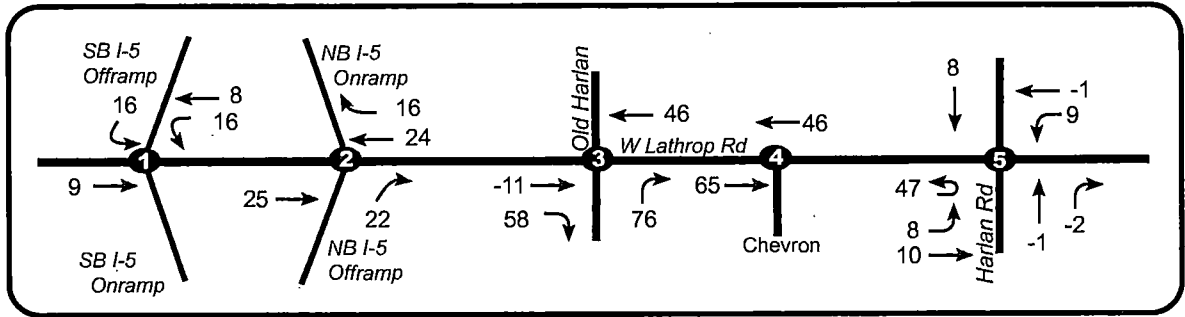
Figure 15

Project Traffic Increment (AM Peak Hour)



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Not To Scale



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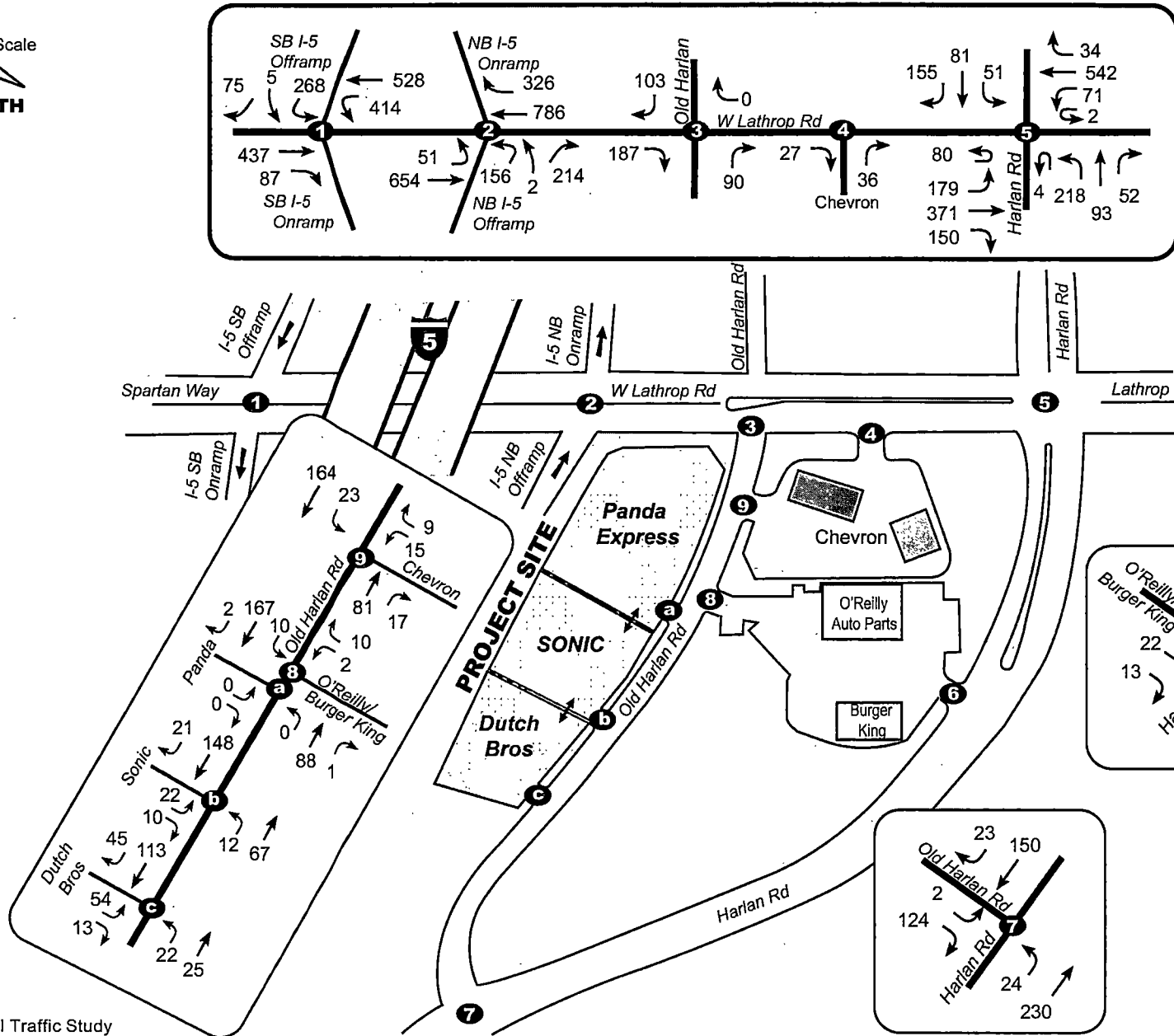
Figure 16

Project Traffic Increment (PM Peak Hour)



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Not To Scale



CFT - Phase II Traffic Study

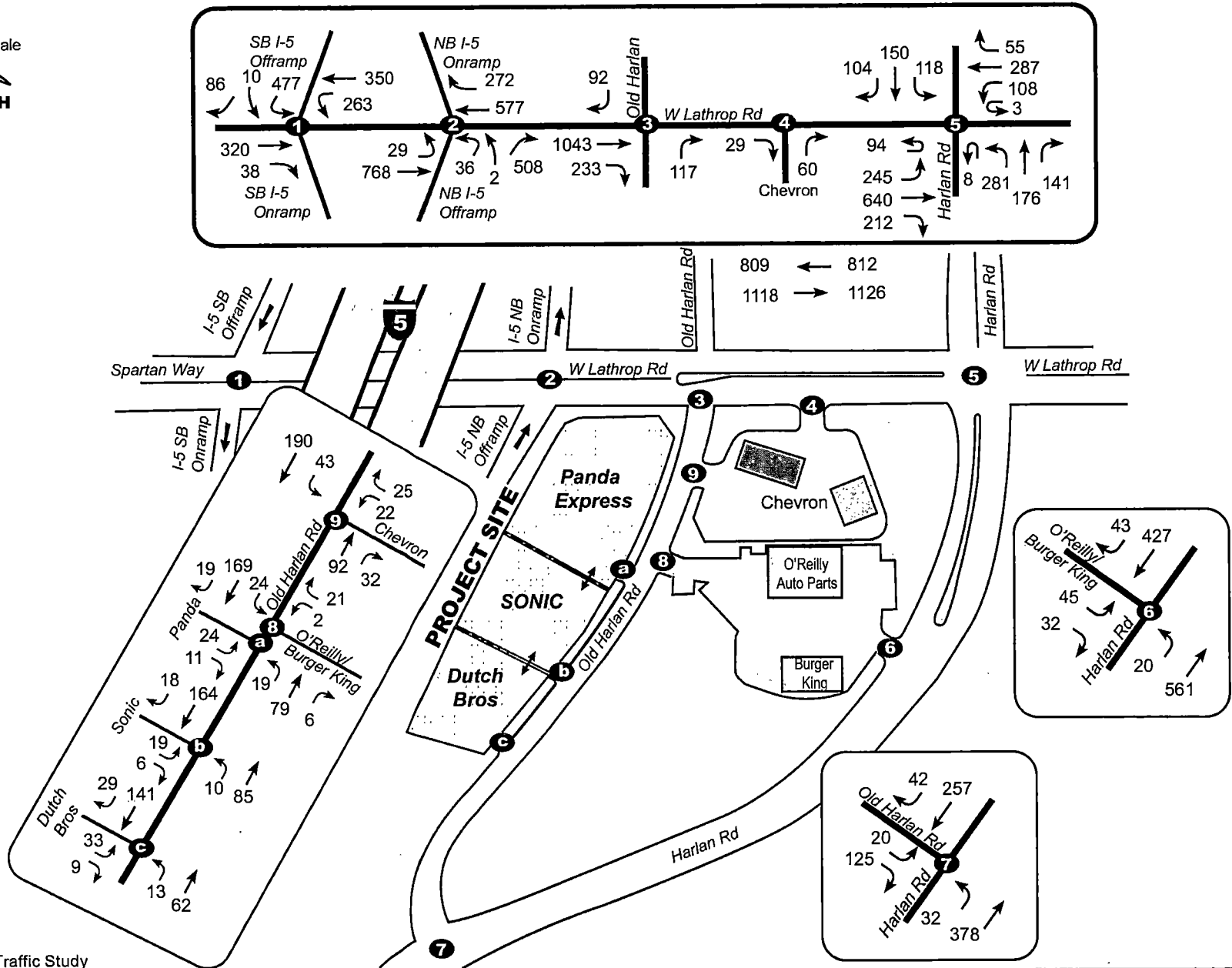
Figure 17

Existing + Project AM Peak Hour Volumes



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Not To Scale



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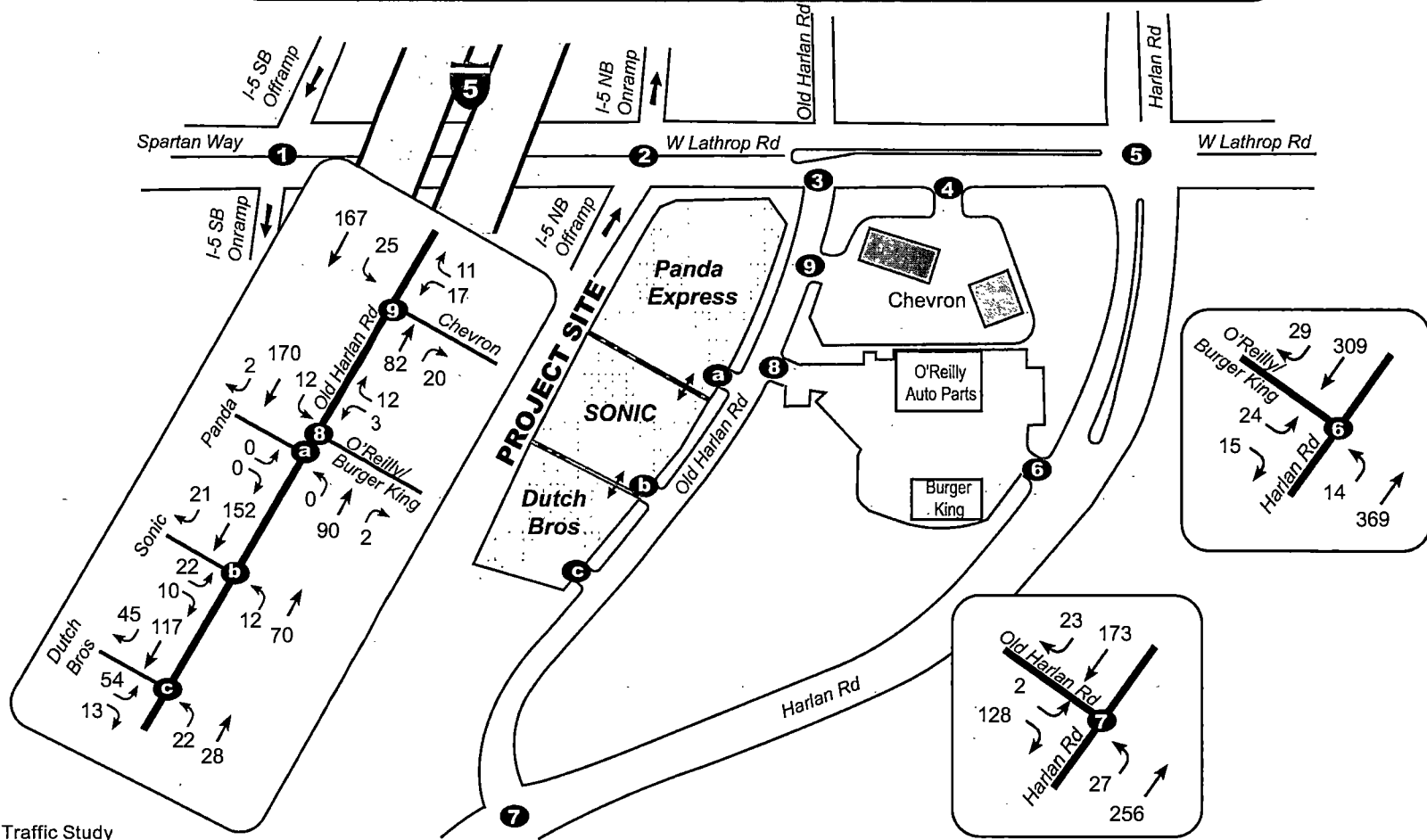
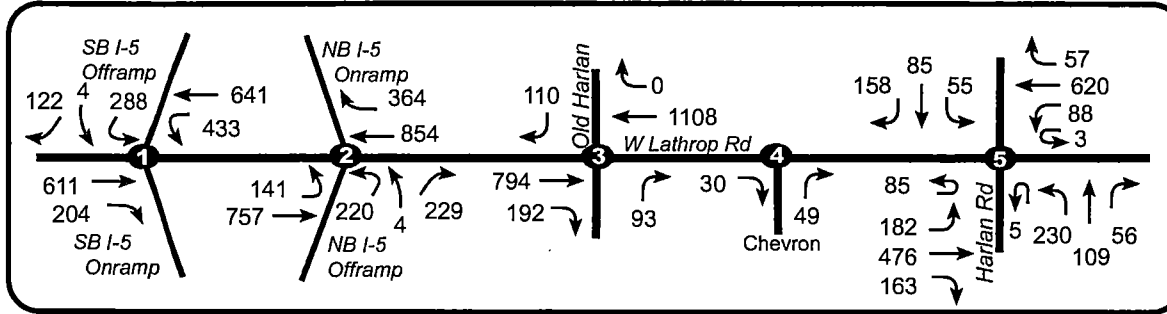
Figure 18

Existing + Project PM Peak Hour Volumes



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Not To Scale  
  
**NORTH**



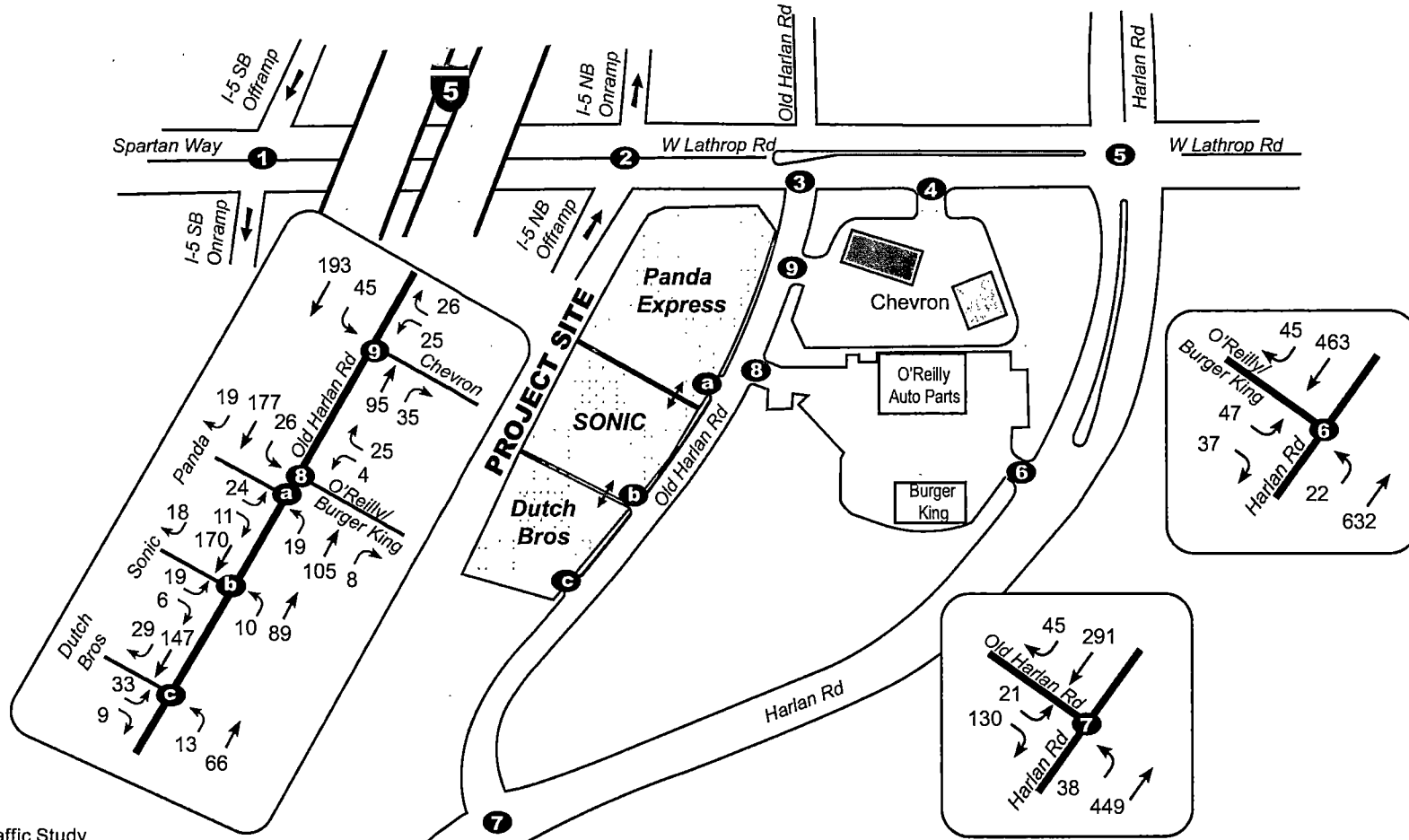
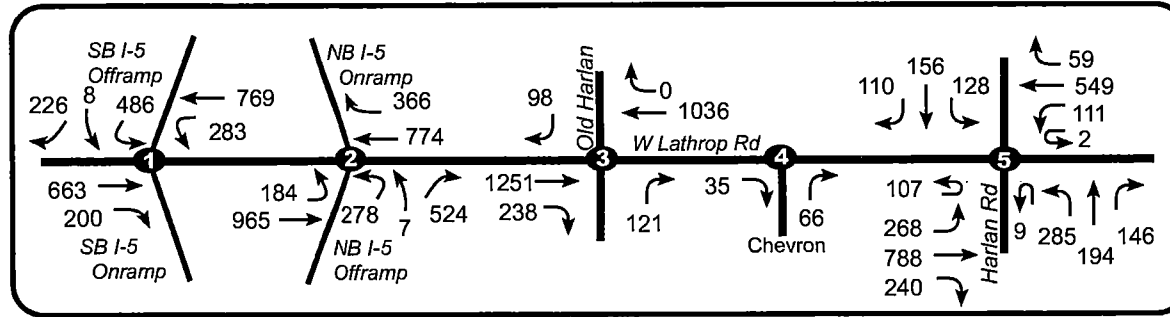
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**Figure 19**  
**Cumulative (Year 2022)**  
**Weekday AM Peak Hour Volumes (with Project)**

Not To Scale



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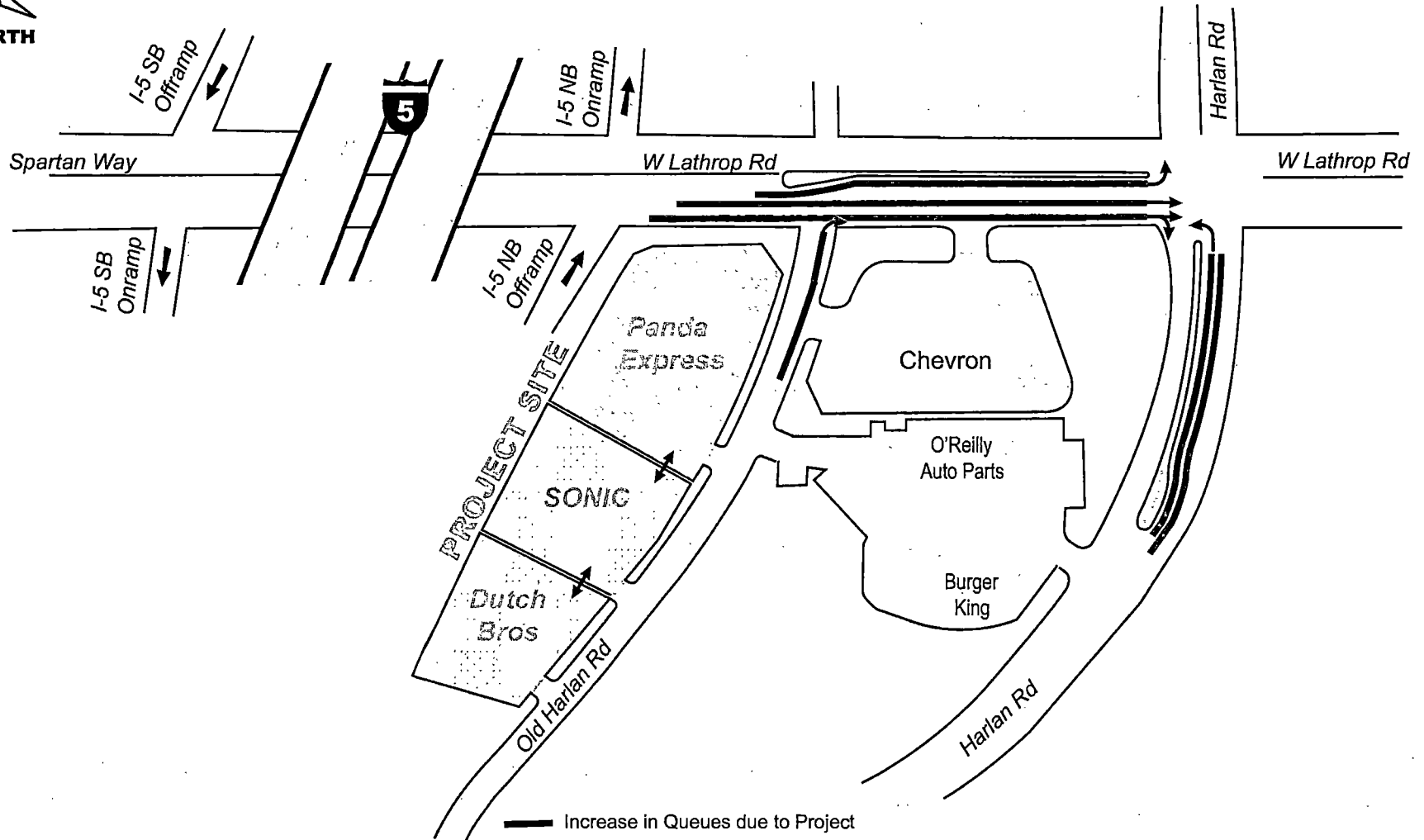
**Figure 20**  
**Cumulative (Year 2022)**  
**Weekday PM Peak Hour Volumes (with Project)**



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Not To Scale



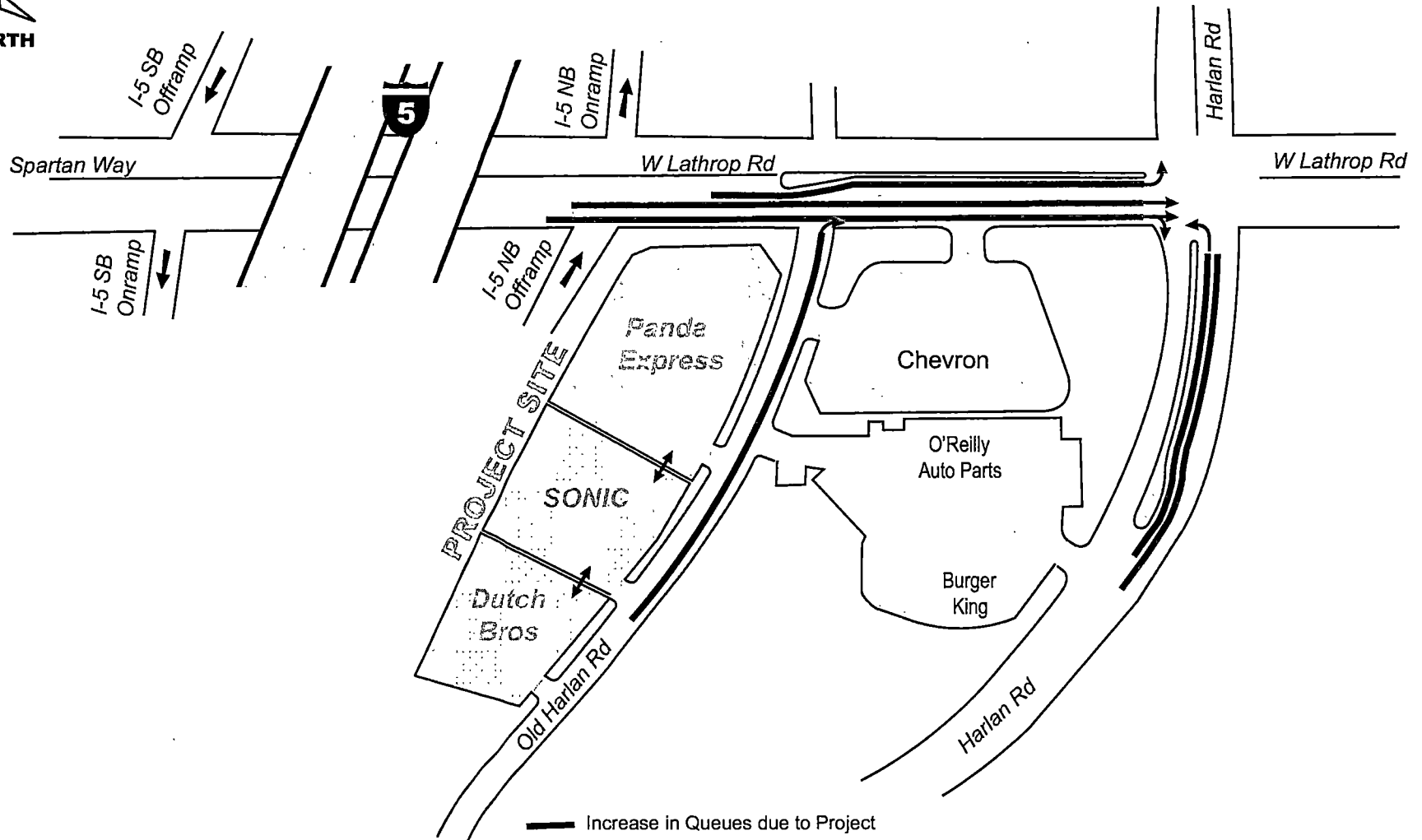
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**Figure 21**  
**Existing + Project**  
**95th% Queues Exceeding Storage**

Not To Scale



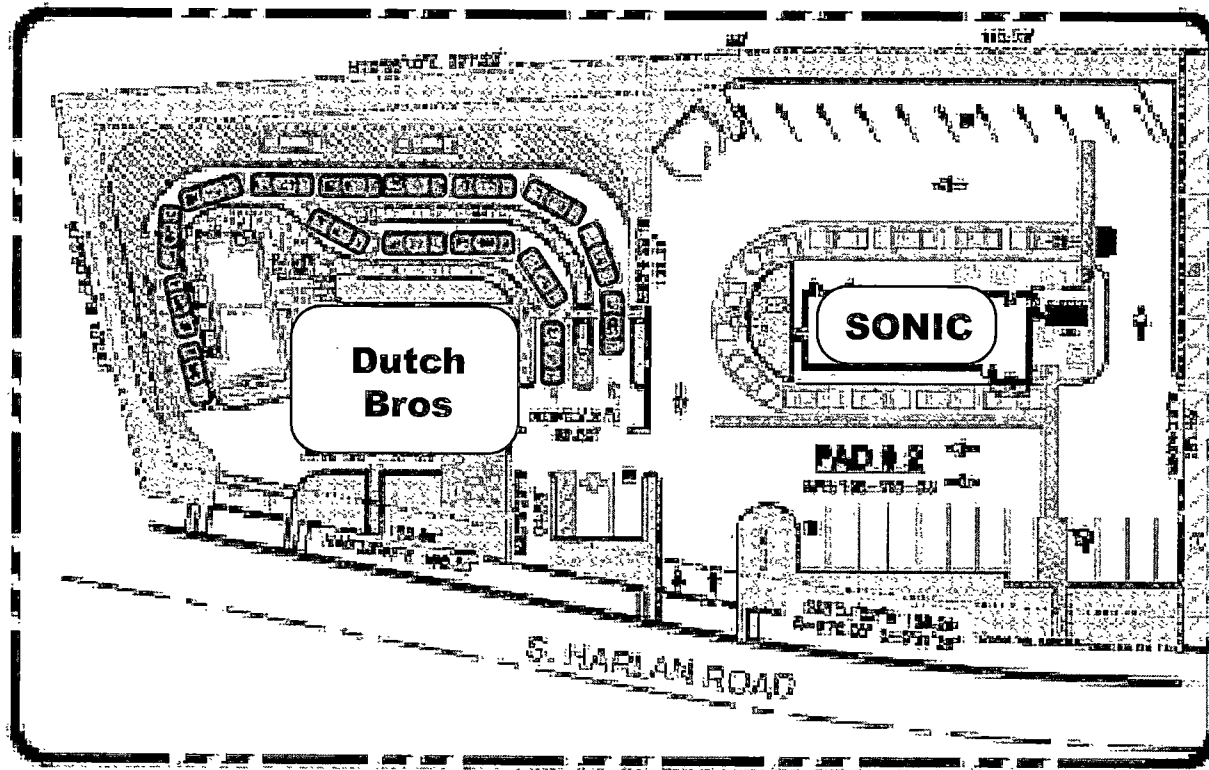
- Increase in Queues due to Project
- AM Peak Hour 95th% Queues Exceeding Left Turn Lane Storage
- - - PM Peak Hour 95th% Queues Exceeding Left Turn Lane Storage
- · · PM Peak Hour 95th% Queues Extending past Old Harlan Road Intersection
- PM Peak Hour 95th% Queues for informational purposes

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**Figure 22**  
**Cumulative (Year 2022) + Project**  
**95th% Queues Exceeding Storage**



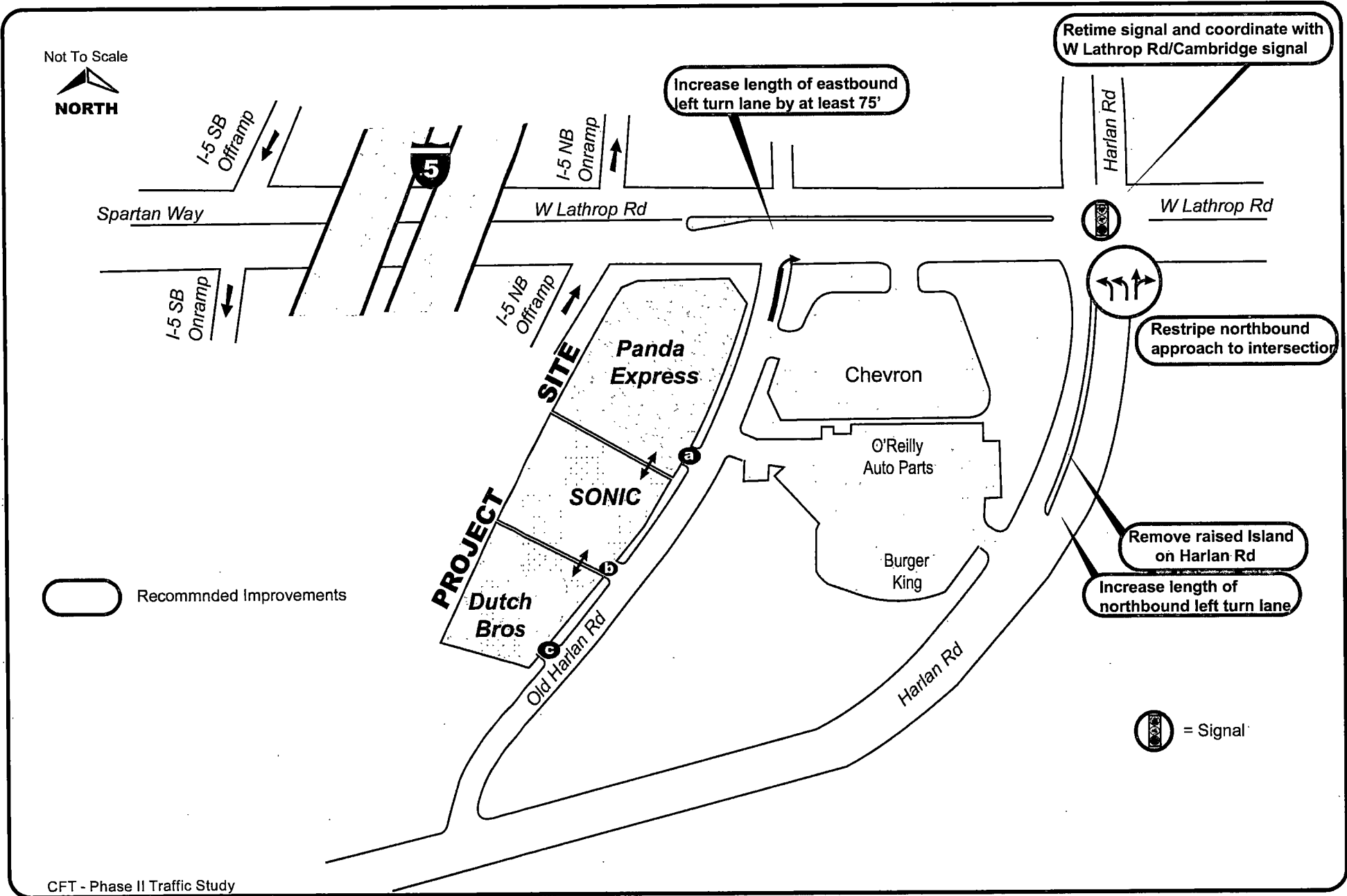
 - Vehicles in Dutch Bros Queue

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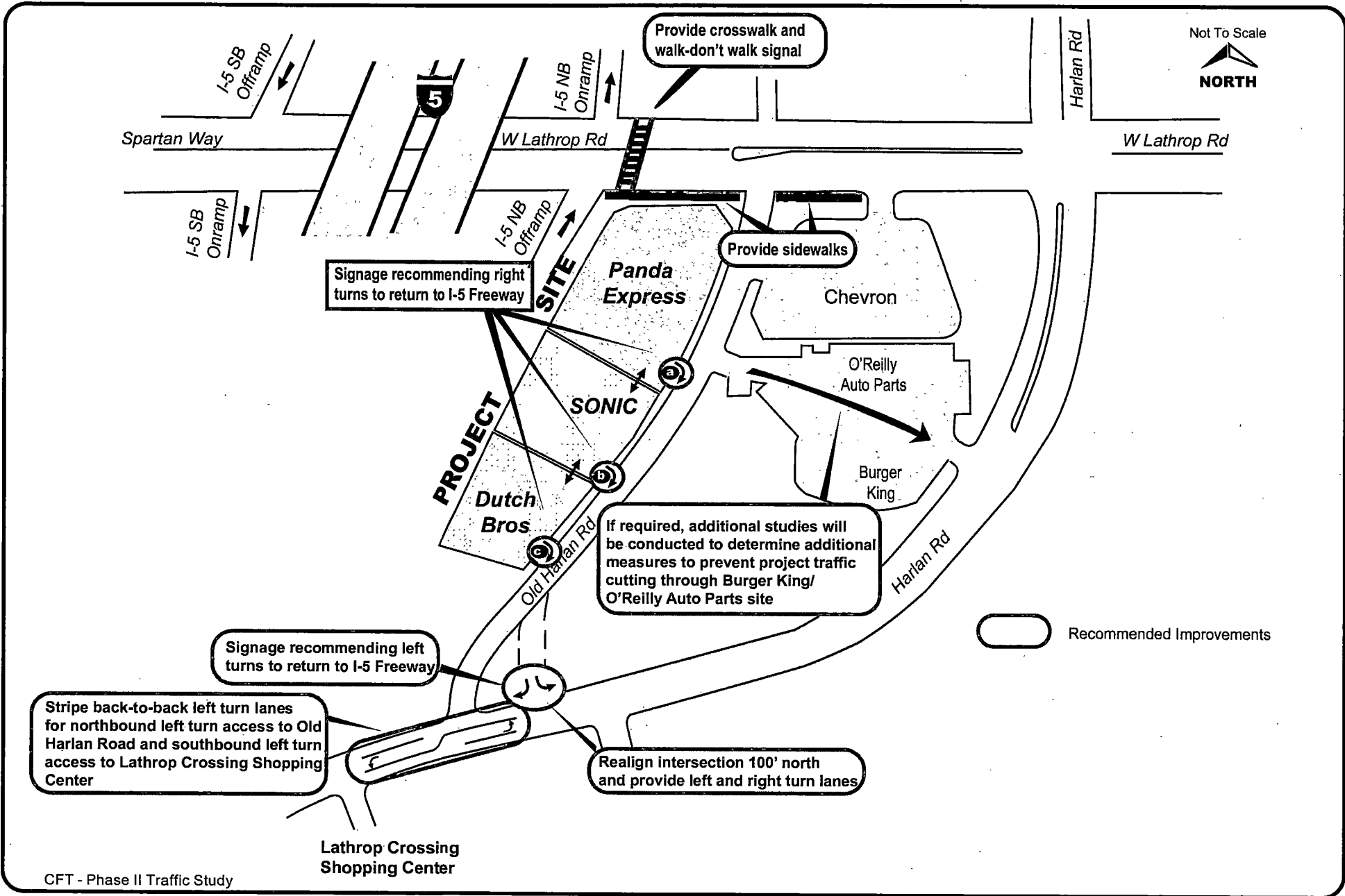
**Figure 23**  
**Dutch Brothers Drive Thru Queueing**



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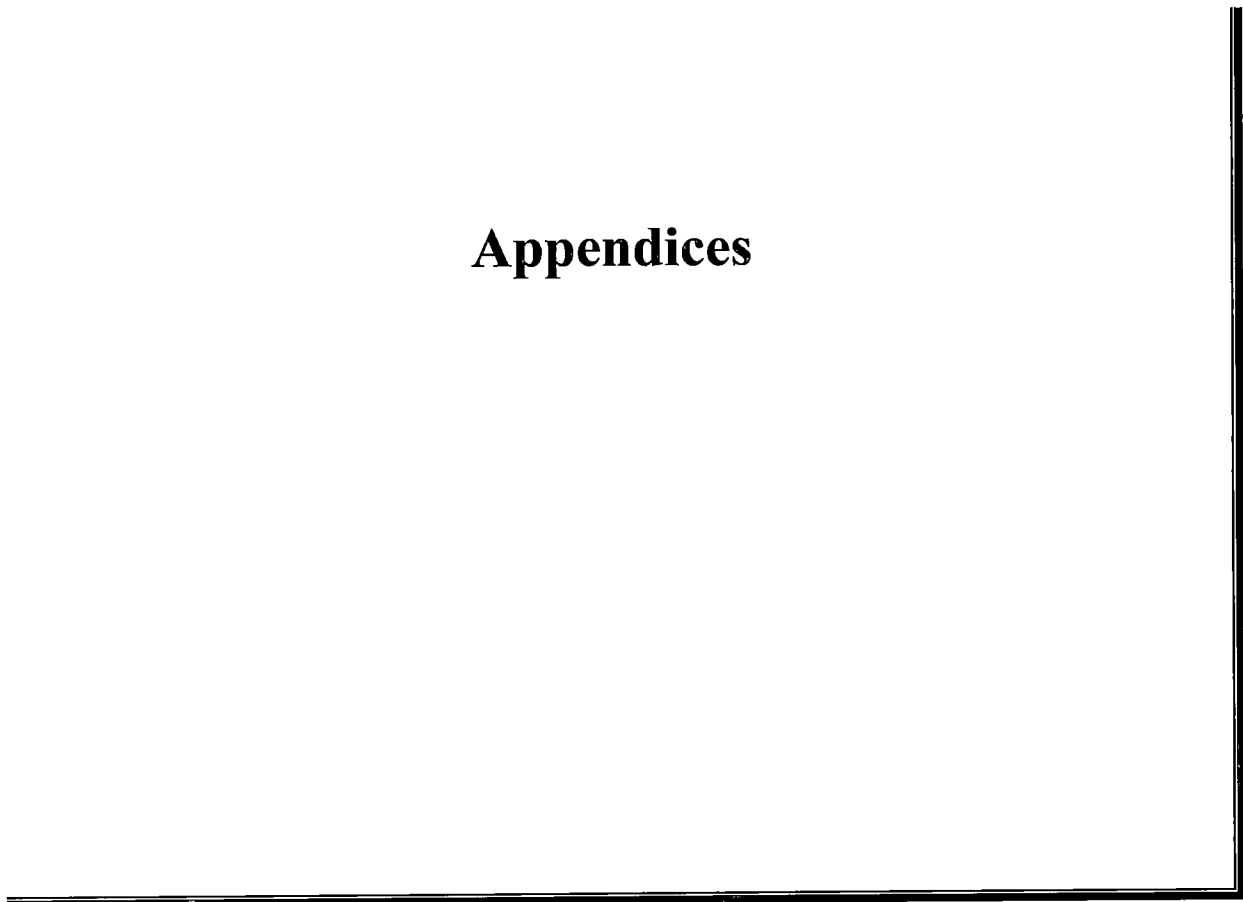
**Figure 24**  
**Existing and Cumulative (Year 2022)**  
**Recommended Improvements (without Project)**  
**City Responsibility**



**Figure 25**  
**Existing and Cumulative (Year 2022) + Project**  
**Recommended Improvements**



# Appendices



# **Appendix A**

## **Intersection Level of Service Worksheets**

HCM 6th TWSC  
7: Harlan Rd & Old Harlan Rd

11-13-2019

Intersection						
Int Delay, s/veh	2.2					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	Y		Y	↑↑	↑	
Traffic Vol, veh/h	1	106	9	234	157	1
Future Vol, veh/h	1	106	9	234	157	1
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	75	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	84	84	84	84	84	84
Heavy Vehicles, %	0	5	0	4	6	2
Mvmt Flow	1	126	11	279	187	1

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	350	188	188	0	-	0
Stage 1	188	-	-	-	-	-
Stage 2	162	-	-	-	-	-
Critical Hdwy	6.6	6.275	4.1	-	-	-
Critical Hdwy Stg 1	5.4	-	-	-	-	-
Critical Hdwy Stg 2	5.8	-	-	-	-	-
Follow-up Hdwy	3.53	3.475	2.2	-	-	-
Pot Cap-1 Maneuver	639	845	1398	-	-	-
Stage 1	849	-	-	-	-	-
Stage 2	856	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	634	845	1398	-	-	-
Mov Cap-2 Maneuver	634	-	-	-	-	-
Stage 1	842	-	-	-	-	-
Stage 2	856	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	10	0.3	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1398	-	842	-	-
HCM Lane V/C Ratio	0.008	-	0.151	-	-
HCM Control Delay (s)	7.6	-	10	-	-
HCM Lane LOS	A	-	B	-	-
HCM 95th %tile Q(veh)	0	-	0.5	-	-



HCM 6th Signalized Intersection Summary  
 11: Spartan Way/Lathrop Rd & SB Offramp

11-13-2019



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↑↑↑		↖	↑						↕	
Traffic Volume (veh/h)	0	431	87	396	522	0	0	0	0	249	5	75
Future Volume (veh/h)	0	431	87	396	522	0	0	0	0	249	5	75
Initial Q (Qb), veh	0	0	0	0	0	0				0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00				1.00		0.92
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00				1.00	1.00	1.00
Work Zone On Approach		No			No						No	
Adj Sat Flow, veh/h/ln	0	1900	1900	1826	1885	0				1900	1900	1900
Adj Flow Rate, veh/h	0	553	112	508	669	0				319	6	38
Peak Hour Factor	0.78	0.78	0.78	0.78	0.78	0.75				0.78	0.78	0.78
Percent Heavy Veh, %	0	0	0	5	1	0				0	0	0
Cap, veh/h	0	1371	272	544	1269	0				349	7	42
Arrive On Green	0.00	0.32	0.32	0.10	0.22	0.00				0.22	0.22	0.22
Sat Flow, veh/h	0	4512	862	1739	1885	0				1556	29	185
Grp Volume(v), veh/h	0	438	227	508	669	0				363	0	0
Grp Sat Flow(s),veh/h/ln	0	1729	1745	1739	1885	0				1771	0	0
Q Serve(g_s), s	0.0	8.9	9.2	26.1	28.1	0.0				18.0	0.0	0.0
Cycle Q Clear(g_c), s	0.0	8.9	9.2	26.1	28.1	0.0				18.0	0.0	0.0
Prop In Lane	0.00		0.49	1.00		0.00				0.88		0.10
Lane Grp Cap(c), veh/h	0	1093	551	544	1269	0				398	0	0
V/C Ratio(X)	0.00	0.40	0.41	0.93	0.53	0.00				0.91	0.00	0.00
Avail Cap(c_a), veh/h	0	1093	551	580	1269	0				657	0	0
HCM Platoon Ratio	1.00	1.00	1.00	0.33	0.33	1.00				1.00	1.00	1.00
Upstream Filter(l)	0.00	1.00	1.00	0.66	0.66	0.00				1.00	0.00	0.00
Uniform Delay (d), s/veh	0.0	24.1	24.2	39.4	22.4	0.0				34.0	0.0	0.0
Incr Delay (d2), s/veh	0.0	1.1	2.3	15.6	1.0	0.0				7.1	0.0	0.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0				0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln	0.0	6.7	7.3	19.5	19.5	0.0				13.0	0.0	0.0
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	0.0	25.2	26.5	55.1	23.4	0.0				41.1	0.0	0.0
LnGrp LOS	A	C	C	E	C	A				D	A	A
Approach Vol, veh/h		665			1177						363	
Approach Delay, s/veh		25.6			37.1						41.1	
Approach LOS		C			D						D	
Timer - Assigned Phs	1	2		4		6						
Phs Duration (G+Y+Rc), s	32.2	33.0		24.8		65.2						
Change Period (Y+Rc), s	4.0	4.6		4.6		4.6						
Max Green Setting (Gmax), s	30.0	13.4		33.4		47.4						
Max Q Clear Time (g_c+I1), s	28.1	11.2		20.0		30.1						
Green Ext Time (p_c), s	0.1	0.6		0.2		2.2						

Intersection Summary

HCM 6th Ctrl Delay 34.3

HCM 6th LOS C

Notes

User approved pedestrian interval to be less than phase max green.

HCM 6th Signalized Intersection Summary  
 12: NB Offramp & Lathrop Rd

11-13-2019



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↖	↗			↖	↗		↕				
Traffic Volume (veh/h)	51	629	0	0	762	302	156	2	189	0	0	0
Future Volume (veh/h)	51	629	0	0	762	302	156	2	189	0	0	0
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0			
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		0.97	1.00		0.95			
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00			
Work Zone On Approach		No			No			No				
Adj Sat Flow, veh/h/ln	1841	1870	0	0	1856	1856	1900	1900	1900			
Adj Flow Rate, veh/h	61	758	0	0	918	364	188	2	77			
Peak Hour Factor	0.83	0.83	0.83	0.83	0.83	0.83	0.83	0.83	0.83			
Percent Heavy Veh, %	4	2	0	0	3	3	0	0	0			
Cap, veh/h	351	2567	0	0	1154	454	212	2	87			
Arrive On Green	0.07	0.24	0.00	0.00	0.47	0.47	0.18	0.18	0.18			
Sat Flow, veh/h	1753	3647	0	0	2543	964	1211	13	496			
Grp Volume(v), veh/h	61	758	0	0	658	624	267	0	0			
Grp Sat Flow(s),veh/h/ln	1753	1777	0	0	1763	1651	1719	0	0			
Q Serve(g_s), s	3.0	15.7	0.0	0.0	28.4	28.9	13.6	0.0	0.0			
Cycle Q Clear(g_c), s	3.0	15.7	0.0	0.0	28.4	28.9	13.6	0.0	0.0			
Prop In Lane	1.00		0.00	0.00		0.58	0.70		0.29			
Lane Grp Cap(c), veh/h	351	2567	0	0	830	778	302	0	0			
V/C Ratio(X)	0.17	0.30	0.00	0.00	0.79	0.80	0.89	0.00	0.00			
Avail Cap(c_a), veh/h	351	2567	0	0	830	778	543	0	0			
HCM Platoon Ratio	0.33	0.33	1.00	1.00	1.00	1.00	1.00	1.00	1.00			
Upstream Filter(I)	0.82	0.82	0.00	0.00	1.00	1.00	1.00	0.00	0.00			
Uniform Delay (d), s/veh	35.0	15.5	0.0	0.0	20.1	20.2	36.2	0.0	0.0			
Incr Delay (d2), s/veh	0.1	0.2	0.0	0.0	7.7	8.5	3.5	0.0	0.0			
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0			
%ile BackOfQ(95%),veh/ln	2.3	11.5	0.0	0.0	18.4	17.8	9.9	0.0	0.0			
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	35.1	15.7	0.0	0.0	27.8	28.8	39.7	0.0	0.0			
LnGrp LOS	D	B	A	A	C	C	D	A	A			
Approach Vol, veh/h		819			1282			267				
Approach Delay, s/veh		17.2			28.2			39.7				
Approach LOS		B			C			D				
Timer Assigned Phs		2			5	6		8				
Phs Duration (G+Y+Rc), s		69.6			22.6	47.0		20.4				
Change Period (Y+Rc), s		4.6			4.6	* 4.6		4.6				
Max Green Setting (Gmax), s		52.4			6.0	* 42		28.4				
Max Q Clear Time (g_c+I1), s		17.7			5.0	30.9		15.6				
Green Ext Time (p_c), s		3.0			0.0	4.0		0.2				

Intersection Summary

HCM 6th Ctrl Delay 25.7

HCM 6th LOS C

Notes

User approved pedestrian interval to be less than phase max green.

\* HCM 6th computational engine requires equal clearance times for the phases crossing the barrier.

HCM 6th Signalized Intersection Summary  
 13: Harlan Rd & Lathrop Rd

11-13-2019



Movement	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR
Lane Configurations		↔	↕			↕	↕			↔	↕	
Traffic Volume (veh/h)	27	172	365	150	2	63	545	34	4	218	95	53
Future Volume (veh/h)	27	172	365	150	2	63	545	34	4	218	95	53
Initial Q (Qb), veh		0	0	0		0	0	0		0	0	0
Ped-Bike Adj(A_pbT)		1.00		0.97		1.00		0.97		1.00		0.97
Parking Bus, Adj		1.00	1.00	1.00		1.00	1.00	1.00		1.00	1.00	1.00
Work Zone On Approach		No				No				No		
Adj Sat Flow, veh/h/ln		1841	1870	1870		1885	1870	1870		1841	1885	1885
Adj Flow Rate, veh/h		185	392	161		68	586	37		234	102	57
Peak Hour Factor		0.93	0.93	0.93		0.93	0.93	0.93		0.93	0.93	0.93
Percent Heavy Veh, %		4	2	2		1	2	2		4	1	1
Cap, veh/h		242	835	338		100	877	55		290	643	332
Arrive On Green		0.14	0.34	0.34		0.06	0.26	0.26		0.17	0.29	0.29
Sat Flow, veh/h		1753	2446	989		1795	3387	213		1753	2256	1166
Grp Volume(v), veh/h		185	283	270		68	307	316		234	79	80
Grp Sat Flow(s),veh/h/ln		1753	1777	1659		1795	1777	1823		1753	1791	1631
Q Serve(g_s), s		6.3	7.7	7.9		2.3	9.5	9.6		7.9	2.0	2.3
Cycle Q Clear(g_c), s		6.3	7.7	7.9		2.3	9.5	9.6		7.9	2.0	2.3
Prop In Lane		1.00		0.60		1.00		0.12		1.00		0.71
Lane Grp Cap(c), veh/h		242	606	566		100	460	472		290	511	465
V/C Ratio(X)		0.76	0.47	0.48		0.68	0.67	0.67		0.81	0.16	0.17
Avail Cap(c_a), veh/h		1197	1560	1456		321	664	682		613	801	729
HCM Platoon Ratio		1.00	1.00	1.00		1.00	1.00	1.00		1.00	1.00	1.00
Upstream Filter(l)		1.00	1.00	1.00		1.00	1.00	1.00		1.00	1.00	1.00
Uniform Delay (d), s/veh		25.5	15.9	15.9		28.5	20.4	20.4		24.7	16.4	16.5
Incr Delay (d2), s/veh		5.9	0.7	0.8		9.3	2.0	2.0		5.3	0.1	0.2
Initial Q Delay(d3),s/veh		0.0	0.0	0.0		0.0	0.0	0.0		0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln		5.1	5.2	5.0		2.1	7.0	7.2		6.3	1.4	1.4
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh		31.5	16.6	16.7		37.8	22.4	22.4		30.0	16.6	16.7
LnGrp LOS		C	B	B		D	C	C		C	B	B
Approach Vol, veh/h		738				691				393		
Approach Delay, s/veh		20.3				23.9				24.6		
Approach LOS		C				C				C		
Timer Assigned Phs		1	2	3	4	5	6	7	8			
Phs Duration (G+Y+Rc), s		7.0	22.0	7.4	25.0	14.7	14.4	12.5	19.9			
Change Period (Y+Rc), s		4.0	4.5	4.0	4.0	4.5	4.5	4.0	4.0			
Max Green Setting (Gmax), s		11.0	27.5	11.0	54.0	21.5	16.5	42.0	23.0			
Max Q Clear Time (g_c+I1), s		3.9	4.3	4.3	9.9	9.9	7.4	8.3	11.6			
Green Ext Time (p_c), s		0.1	0.5	0.1	2.8	0.4	0.5	0.6	2.2			

Intersection Summary												
HCM 6th Ctrl Delay	23.3											
HCM 6th LOS	C											
Notes												
User approved pedestrian interval to be less than phase max green.												
User approved ignoring U-Turning movement.												

HCM 6th Signalized Intersection Summary  
 13: Harlan Rd & Lathrop Rd

11-13-2019



Movement	SBL	SBT	SBR
Lane Configurations	↖	↕	↗
Traffic Volume (veh/h)	51	76	157
Future Volume (veh/h)	51	76	157
Initial Q (Qb), veh	0	0	0
Ped-Bike Adj(A_pbT)	1.00		0.95
Parking Bus, Adj	1.00	1.00	1.00
Work Zone On Approach	No		
Adj Sat Flow, veh/h/ln	1841	1841	1841
Adj Flow Rate, veh/h	55	82	142
Peak Hour Factor	0.93	0.93	0.93
Percent Heavy Veh, %	4	4	4
Cap, veh/h	87	282	240
Arrive On Green	0.05	0.16	0.16
Sat Flow, veh/h	1753	1749	1488
Grp Volume(v), veh/h	55	82	142
Grp Sat Flow(s),veh/h/ln	1753	1749	1488
Q Serve(g_s), s	1.9	2.5	5.4
Cycle Q Clear(g_c), s	1.9	2.5	5.4
Prop In Lane	1.00		1.00
Lane Grp Cap(c), veh/h	87	282	240
V/C Ratio(X)	0.63	0.29	0.59
Avail Cap(c_a), veh/h	314	469	399
HCM Platoon Ratio	1.00	1.00	1.00
Upstream Filter(l)	1.00	1.00	1.00
Uniform Delay (d), s/veh	28.7	22.7	23.9
Incr Delay (d2), s/veh	8.9	0.6	2.3
Initial Q Delay(d3),s/veh	0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln	1.7	1.8	3.5
Unsig. Movement Delay, s/veh			
LnGrp Delay(d),s/veh	37.5	23.3	26.2
LnGrp LOS	D	C	C
Approach Vol, veh/h	279		
Approach Delay, s/veh	27.6		
Approach LOS	C		
Timer- Assigned Phs			

Intersection						
Int Delay, s/veh	1.9					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	Y		Y	↑↑	↑	
Traffic Vol, veh/h	19	108	17	382	266	15
Future Vol, veh/h	19	108	17	382	266	15
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	75	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	97	97	97	97	97	97
Heavy Vehicles, %	2	2	2	4	4	2
Mvmt Flow	20	111	18	394	274	15

Major/Minor	Minor2	Major1	Major2		
Conflicting Flow All	515	282	289	0	- 0
Stage 1	282	-	-	-	-
Stage 2	233	-	-	-	-
Critical Hdwy	6.63	6.23	4.13	-	-
Critical Hdwy Stg 1	5.43	-	-	-	-
Critical Hdwy Stg 2	5.83	-	-	-	-
Follow-up Hdwy	3.519	3.319	2.219	-	-
Pot Cap-1 Maneuver	504	756	1271	-	-
Stage 1	765	-	-	-	-
Stage 2	784	-	-	-	-
Platoon blocked, %				-	-
Mov Cap-1 Maneuver	497	756	1271	-	-
Mov Cap-2 Maneuver	497	-	-	-	-
Stage 1	754	-	-	-	-
Stage 2	784	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	11.3	0.3	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1271	-	701	-	-
HCM Lane V/C Ratio	0.014	-	0.187	-	-
HCM Control Delay (s)	7.9	-	11.3	-	-
HCM Lane LOS	A	-	B	-	-
HCM 95th %tile Q(veh)	0	-	0.7	-	-

HCM 6th Signalized Intersection Summary  
 11: Spartan Way/Lathrop Rd & SB Offramp

11-13-2019



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↑↑↑		↙	↑						↕	
Traffic Volume (veh/h)	0	311	38	247	342	0	0	0	0	461	10	86
Future Volume (veh/h)	0	311	38	247	342	0	0	0	0	461	10	86
Initial Q (Q <sub>b</sub> ), veh	0	0	0	0	0	0				0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00				1.00		0.95
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00				1.00	1.00	1.00
Work Zone On Approach		No			No						No	
Adj Sat Flow, veh/h/ln	0	1900	1900	1781	1870	0				1900	1900	1900
Adj Flow Rate, veh/h	0	349	43	278	384	0				518	11	46
Peak Hour Factor	0.89	0.89	0.89	0.89	0.89	0.75				0.89	0.89	0.89
Percent Heavy Veh, %	0	0	0	8	2	0				0	0	0
Cap, veh/h	0	594	72	645	1043	0				547	12	49
Arrive On Green	0.00	0.13	0.13	0.38	0.56	0.00				0.34	0.34	0.34
Sat Flow, veh/h	0	4861	566	1697	1870	0				1608	34	143
Grp Volume(v), veh/h	0	255	137	278	384	0				575	0	0
Grp Sat Flow(s), veh/h/ln	0	1729	1798	1697	1870	0				1785	0	0
Q Serve(g_s), s	0.0	6.3	6.5	10.9	10.3	0.0				28.2	0.0	0.0
Cycle Q Clear(g_c), s	0.0	6.3	6.5	10.9	10.3	0.0				28.2	0.0	0.0
Prop In Lane	0.00		0.31	1.00		0.00				0.90		0.08
Lane Grp Cap(c), veh/h	0	438	228	645	1043	0				607	0	0
V/C Ratio(X)	0.00	0.58	0.60	0.43	0.37	0.00				0.95	0.00	0.00
Avail Cap(c_a), veh/h	0	438	228	645	1043	0				841	0	0
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00				1.00	1.00	1.00
Upstream Filter(I)	0.00	1.00	1.00	0.83	0.83	0.00				1.00	0.00	0.00
Uniform Delay (d), s/veh	0.0	37.1	37.1	20.7	11.1	0.0				28.9	0.0	0.0
Incr Delay (d2), s/veh	0.0	5.6	11.2	0.1	0.8	0.0				14.1	0.0	0.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0				0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln	0.0	5.3	6.3	7.3	7.2	0.0				20.0	0.0	0.0
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	0.0	42.6	48.3	20.8	11.9	0.0				43.0	0.0	0.0
LnGrp LOS	A	D	D	C	B	A				D	A	A
Approach Vol, veh/h		392			662						575	
Approach Delay, s/veh		44.6			15.6						43.0	
Approach LOS		D			B						D	
Timer - Assigned Phs	1	2		4		6						
Phs Duration (G+Y+Rc), s	38.8	16.0		35.2		54.8						
Change Period (Y+Rc), s	4.6	* 4.6		4.6		4.6						
Max Green Setting (Gmax), s	23.0	* 11		42.4		38.4						
Max Q Clear Time (g_c+l1), s	12.9	8.5		30.2		12.3						
Green Ext Time (p_c), s	0.1	0.4		0.4		1.2						

Intersection Summary

HCM 6th Ctrl Delay	32.3
HCM 6th LOS	C

Notes

- User approved pedestrian interval to be less than phase max green.
- \* HCM 6th computational engine requires equal clearance times for the phases crossing the barrier.

HCM 6th Signalized Intersection Summary  
 12: NB Offramp & Lathrop Rd

11-13-2019



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↘	↑↑			↑↑			↑				
Traffic Volume (veh/h)	29	743	0	0	553	256	36	2	486	0	0	0
Future Volume (veh/h)	29	743	0	0	553	256	36	2	486	0	0	0
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0			
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		0.98	1.00		0.98			
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00			
Work Zone On Approach		No			No			No				
Adj Sat Flow, veh/h/ln	1856	1885	0	0	1885	1885	1900	1900	1900			
Adj Flow Rate, veh/h	31	790	0	0	588	272	38	2	384			
Peak Hour Factor	0.94	0.94	0.94	0.83	0.94	0.94	0.94	0.94	0.94			
Percent Heavy Veh, %	3	1	0	0	1	1	0	0	0			
Cap, veh/h	106	2193	0	0	1199	554	41	2	412			
Arrive On Green	0.12	1.00	0.00	0.00	0.51	0.51	0.29	0.29	0.29			
Sat Flow, veh/h	1767	3676	0	0	2455	1091	143	8	1442			
Grp Volume(v), veh/h	31	790	0	0	446	414	424	0	0			
Grp Sat Flow(s),veh/h/ln	1767	1791	0	0	1791	1661	1592	0	0			
Q Serve(g_s), s	1.4	0.0	0.0	0.0	14.7	14.7	23.3	0.0	0.0			
Cycle Q Clear(g_c), s	1.4	0.0	0.0	0.0	14.7	14.7	23.3	0.0	0.0			
Prop In Lane	1.00		0.00	0.00		0.66	0.09		0.91			
Lane Grp Cap(c), veh/h	106	2193	0	0	910	843	454	0	0			
V/C Ratio(X)	0.29	0.36	0.00	0.00	0.49	0.49	0.93	0.00	0.00			
Avail Cap(c_a), veh/h	208	2193	0	0	910	843	679	0	0			
HCM Platoon Ratio	2.00	2.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00			
Upstream Filter(l)	0.93	0.93	0.00	0.00	1.00	1.00	1.00	0.00	0.00			
Uniform Delay (d), s/veh	37.9	0.0	0.0	0.0	14.5	14.5	31.3	0.0	0.0			
Incr Delay (d2), s/veh	0.5	0.4	0.0	0.0	1.9	2.0	12.1	0.0	0.0			
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0			
%ile BackOfQ(95%),veh/ln	1.1	0.2	0.0	0.0	10.1	9.5	15.4	0.0	0.0			
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	38.4	0.4	0.0	0.0	16.4	16.6	43.5	0.0	0.0			
LnGrp LOS	D	A	A	A	B	B	D	A	A			
Approach Vol, veh/h		821			860			424				
Approach Delay, s/veh		1.9			16.5			43.5				
Approach LOS		A			B			D				
Timer Assigned Phs		2			5	6		8				
Phs Duration (G+Y+Rc), s		59.7			9.4	50.3		30.3				
Change Period (Y+Rc), s		4.6			4.0	4.6		4.6				
Max Green Setting (Gmax), s		42.4			10.6	27.8		38.4				
Max Q Clear Time (g_c+I1), s		2.0			3.4	16.7		25.3				
Green Ext Time (p_c), s		3.2			0.0	2.4		0.3				

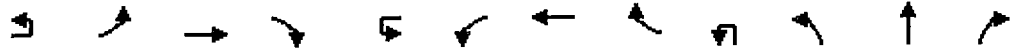
Intersection Summary		
HCM 6th Ctrl Delay		16.2
HCM 6th LOS		B

Notes:

User approved pedestrian interval to be less than phase max green.

HCM 6th Signalized Intersection Summary  
 13: Harlan & Lathrop Rd

11-13-2019



Movement	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR
Lane Configurations		↔	↕			↔	↕			↔	↕	
Traffic Volume (veh/h)	47	237	630	212	3	99	288	55	8	281	177	143
Future Volume (veh/h)	47	237	630	212	3	99	288	55	8	281	177	143
Initial Q (Qb), veh		0	0	0		0	0	0		0	0	0
Ped-Bike Adj(A_pbT)		1.00		0.99		1.00		0.97		1.00		0.99
Parking Bus, Adj		1.00	1.00	1.00		1.00	1.00	1.00		1.00	1.00	1.00
Work Zone On Approach			No				No				No	
Adj Sat Flow, veh/h/ln		1885	1885	1885		1900	1900	1900		1870	1870	1870
Adj Flow Rate, veh/h		244	649	219		102	297	47		290	182	147
Peak Hour Factor		0.97	0.97	0.97		0.97	0.97	0.97		0.97	0.97	0.97
Percent Heavy Veh, %		1	1	1		0	0	0		2	2	2
Cap, veh/h		415	876	295		134	552	86		350	477	361
Arrive On Green		0.23	0.33	0.33		0.07	0.18	0.18		0.20	0.25	0.25
Sat Flow, veh/h		1795	2622	884		1810	3112	486		1781	1913	1450
Grp Volume(v), veh/h		244	443	425		102	171	173		290	168	161
Grp Sat Flow(s), veh/h/ln		1795	1791	1716		1810	1805	1793		1781	1777	1586
Q Serve(g_s), s		7.9	14.3	14.4		3.6	5.6	5.8		10.2	5.1	5.6
Cycle Q Clear(g_c), s		7.9	14.3	14.4		3.6	5.6	5.8		10.2	5.1	5.6
Prop In Lane		1.00		0.52		1.00		0.27		1.00		0.91
Lane Grp Cap(c), veh/h		415	598	573		134	320	318		350	443	395
V/C Ratio(X)		0.59	0.74	0.74		0.76	0.53	0.55		0.83	0.38	0.41
Avail Cap(c_a), veh/h		822	1066	1021		386	633	629		859	935	835
HCM Platoon Ratio		1.00	1.00	1.00		1.00	1.00	1.00		1.00	1.00	1.00
Upstream Filter(I)		1.00	1.00	1.00		1.00	1.00	1.00		1.00	1.00	1.00
Uniform Delay (d), s/veh		22.4	19.3	19.3		29.8	24.5	24.6		25.3	20.4	20.6
Incr Delay (d2), s/veh		1.6	2.2	2.3		10.0	1.7	1.8		5.1	0.5	0.7
Initial Q Delay(d3),s/veh		0.0	0.0	0.0		0.0	0.0	0.0		0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln		6.0	9.7	9.4		3.4	4.3	4.4		8.0	3.7	3.6
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh		24.0	21.5	21.6		39.8	26.1	26.3		30.3	20.9	21.2
LnGrp LOS		C	C	C		D	C	C		C	C	C
Approach Vol, veh/h			1112				446				619	
Approach Delay, s/veh			22.1				29.3				25.4	
Approach LOS			C				C				C	
Timer Assigned Phs	1	2	3	4	5	6	7	8				
Phs Duration (G+Y+Rc), s	9.9	20.8	8.9	25.9	17.4	13.4	19.1	15.6				
Change Period (Y+Rc), s	4.0	4.5	4.0	4.0	4.5	4.5	4.0	4.0				
Max Green Setting (Gmax), s	16.0	34.5	14.0	39.0	31.6	18.4	30.0	23.0				
Max Q Clear Time (g_c+I1), s	6.5	7.6	5.6	16.4	12.2	6.3	9.9	7.8				
Green Ext Time (p_c), s	0.2	1.1	0.1	4.4	0.7	0.6	0.8	1.3				

Intersection Summary												
HCM 6th Ctrl Delay			25.5									
HCM 6th LOS			C									

Notes

User approved pedestrian interval to be less than phase max green.

User approved ignoring U-Turning movement.



HCM 6th Signalized Intersection Summary  
 13: Harlan & Lathrop Rd

11-13-2019



Movement	SBL	SBT	SBR
Lane Configurations	↘	↑↑	
Traffic Volume (veh/h)	118	142	104
Future Volume (veh/h)	118	142	104
Initial Q (Qb), veh	0	0	0
Ped-Bike Adj(A_pbT)	1.00		0.96
Parking Bus, Adj	1.00	1.00	1.00
Work Zone On Approach		No	
Adj Sat Flow, veh/h/ln	1841	1870	1870
Adj Flow Rate, veh/h	122	146	81
Peak Hour Factor	0.97	0.97	0.97
Percent Heavy Veh, %	4	2	2
Cap, veh/h	159	303	157
Arrive On Green	0.09	0.14	0.14
Sat Flow, veh/h	1753	2229	1155
Grp Volume(v), veh/h	122	114	113
Grp Sat Flow(s),veh/h/ln	1753	1777	1607
Q Serve(g_s), s	4.5	3.9	4.3
Cycle Q Clear(g_c), s	4.5	3.9	4.3
Prop In Lane	1.00		0.72
Lane Grp Cap(c), veh/h	159	241	218
V/C Ratio(X)	0.77	0.47	0.52
Avail Cap(c_a), veh/h	428	499	451
HCM Platoon Ratio	1.00	1.00	1.00
Upstream Filter(l)	1.00	1.00	1.00
Uniform Delay (d), s/veh	29.1	26.2	26.3
Incr Delay (d2), s/veh	8.9	1.4	1.9
Initial Q Delay(d3),s/veh	0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln	3.9	3.0	3.0
Unsig. Movement Delay, s/veh			
LnGrp Delay(d),s/veh	38.1	27.6	28.2
LnGrp LOS	D	C	C
Approach Vol, veh/h		349	
Approach Delay, s/veh		31.5	
Approach LOS		C	
Timer-Assigned Phs			

Intersection						
Int Delay, s/veh	2.3					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	Y		Y	↑↑	↑	
Traffic Vol, veh/h	1	114	15	260	180	1
Future Vol, veh/h	1	114	15	260	180	1
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	75	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	84	84	84	84	84	84
Heavy Vehicles, %	0	5	0	4	6	2
Mvmt Flow	1	136	18	310	214	1

Major/Minor	Minor2	Major1	Major2		
Conflicting Flow All	406	215	215	0	0
Stage 1	215	-	-	-	-
Stage 2	191	-	-	-	-
Critical Hdwy	6.6	6.275	4.1	-	-
Critical Hdwy Stg 1	5.4	-	-	-	-
Critical Hdwy Stg 2	5.8	-	-	-	-
Follow-up Hdwy	3.53	3.475	2.2	-	-
Pot Cap-1 Maneuver	591	816	1367	-	-
Stage 1	826	-	-	-	-
Stage 2	828	-	-	-	-
Platoon blocked, %				-	-
Mov Cap-1 Maneuver	583	816	1367	-	-
Mov Cap-2 Maneuver	583	-	-	-	-
Stage 1	815	-	-	-	-
Stage 2	828	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	10.3	0.4	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1367	-	813	-	-
HCM Lane V/C Ratio	0.013	-	0.168	-	-
HCM Control Delay (s)	7.7	-	10.3	-	-
HCM Lane LOS	A	-	B	-	-
HCM 95th %tile Q(veh)	0	-	0.6	-	-

HCM 6th Signalized Intersection Summary  
 11: Spartan Way/Lathrop Rd & SB Offramp

11-13-2019



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↑↑↑		↖	↑						↕	
Traffic Volume (veh/h)	0	605	204	415	635	0	0	0	0	269	4	122
Future Volume (veh/h)	0	605	204	415	635	0	0	0	0	269	4	122
Initial Q (Qb), veh	0	0	0	0	0	0				0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00				1.00		0.93
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00				1.00	1.00	1.00
Work Zone On Approach		No			No						No	
Adj Sat Flow, veh/h/ln	0	1900	1900	1826	1885	0				1900	1900	1900
Adj Flow Rate, veh/h	0	747	252	512	784	0				332	5	95
Peak Hour Factor	0.81	0.81	0.81	0.81	0.81	0.81				0.81	0.81	0.81
Percent Heavy Veh, %	0	0	0	5	1	0				0	0	0
Cap, veh/h	0	1040	347	548	1188	0				357	5	102
Arrive On Green	0.00	0.27	0.27	0.10	0.21	0.00				0.27	0.27	0.27
Sat Flow, veh/h	0	4015	1283	1739	1885	0				1331	20	381
Grp Volume(v), veh/h	0	671	328	512	784	0				432	0	0
Grp Sat Flow(s),veh/h/ln	0	1729	1669	1739	1885	0				1732	0	0
Q Serve(g_s), s	0.0	15.8	16.1	26.3	34.4	0.0				21.9	0.0	0.0
Cycle Q Clear(g_c), s	0.0	15.8	16.1	26.3	34.4	0.0				21.9	0.0	0.0
Prop In Lane	0.00		0.77	1.00		0.00				0.77		0.22
Lane Grp Cap(c), veh/h	0	935	452	548	1188	0				464	0	0
V/C Ratio(X)	0.00	0.72	0.73	0.93	0.66	0.00				0.93	0.00	0.00
Avail Cap(c_a), veh/h	0	935	452	580	1188	0				566	0	0
HCM Platoon Ratio	1.00	1.00	1.00	0.33	0.33	1.00				1.00	1.00	1.00
Upstream Filter(I)	0.00	1.00	1.00	0.43	0.43	0.00				1.00	0.00	0.00
Uniform Delay (d), s/veh	0.0	29.7	29.8	39.4	26.8	0.0				32.1	0.0	0.0
Incr Delay (d2), s/veh	0.0	4.7	9.8	11.4	1.3	0.0				18.6	0.0	0.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0				0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln	0.0	11.3	11.9	17.9	22.0	0.0				16.7	0.0	0.0
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	0.0	34.4	39.6	50.8	28.1	0.0				50.7	0.0	0.0
LnGrp LOS	A	C	D	D	C	A				D	A	A
Approach Vol, veh/h		999			1296						432	
Approach Delay, s/veh		36.1			37.0						50.7	
Approach LOS		D			D						D	
Timer Assigned Phs	1	2		4		6						
Phs Duration (G+Y+Rc), s	32.4	28.9		28.7		61.3						
Change Period (Y+Rc), s	4.0	4.6		4.6		4.6						
Max Green Setting (Gmax), s	30.0	17.4		29.4		51.4						
Max Q Clear Time (g_c+I1), s	28.3	18.1		23.9		36.4						
Green Ext Time (p_c), s	0.1	0.0		0.2		2.6						

Intersection Summary

HCM 6th Ctrl Delay 38.9

HCM 6th LOS D

Notes

User approved pedestrian interval to be less than phase max green.

HCM 6th Signalized Intersection Summary  
 12: NB Offramp & Lathrop Rd

11-13-2019



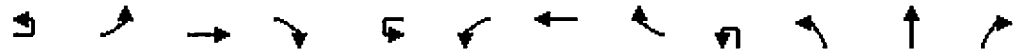
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↖	↗		↖	↗		↖	↗		↖	↗	
Traffic Volume (veh/h)	141	732	0	0	830	340	220	4	204	0	0	0
Future Volume (veh/h)	141	732	0	0	830	340	220	4	204	0	0	0
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0			
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		0.97	1.00		0.96			
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00			
Work Zone On Approach		No			No			No				
Adj Sat Flow, veh/h/ln	1841	1870	0	0	1856	1856	1900	1900	1900			
Adj Flow Rate, veh/h	166	861	0	0	976	400	259	5	93			
Peak Hour Factor	0.85	0.85	0.83	0.83	0.85	0.85	0.85	0.85	0.85			
Percent Heavy Veh, %	4	2	0	0	3	3	0	0	0			
Cap, veh/h	263	2389	0	0	1144	462	283	5	102			
Arrive On Green	0.05	0.22	0.00	0.00	0.47	0.47	0.23	0.23	0.23			
Sat Flow, veh/h	1753	3647	0	0	2522	982	1257	24	451			
Grp Volume(v), veh/h	166	861	0	0	705	671	357	0	0			
Grp Sat Flow(s),veh/h/ln	1753	1777	0	0	1763	1648	1733	0	0			
Q Serve(g_s), s	8.4	18.4	0.0	0.0	31.7	32.7	18.1	0.0	0.0			
Cycle Q Clear(g_c), s	8.4	18.4	0.0	0.0	31.7	32.7	18.1	0.0	0.0			
Prop In Lane	1.00		0.00	0.00		0.60	0.73		0.26			
Lane Grp Cap(c), veh/h	263	2389	0	0	830	776	391	0	0			
V/C Ratio(X)	0.63	0.36	0.00	0.00	0.85	0.87	0.91	0.00	0.00			
Avail Cap(c_a), veh/h	263	2389	0	0	830	776	547	0	0			
HCM Platoon Ratio	0.33	0.33	1.00	1.00	1.00	1.00	1.00	1.00	1.00			
Upstream Filter(l)	0.44	0.44	0.00	0.00	1.00	1.00	1.00	0.00	0.00			
Uniform Delay (d), s/veh	40.3	18.6	0.0	0.0	21.0	21.2	34.0	0.0	0.0			
Incr Delay (d2), s/veh	1.6	0.2	0.0	0.0	10.5	12.4	13.2	0.0	0.0			
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0			
%ile BackOfQ(95%),veh/ln	6.1	11.9	0.0	0.0	20.7	20.5	13.7	0.0	0.0			
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	41.9	18.8	0.0	0.0	31.5	33.6	47.2	0.0	0.0			
LnGrp LOS	D	B	A	A	C	C	D	A	A			
Approach Vol, veh/h		1027			1376			357				
Approach Delay, s/veh		22.6			32.5			47.2				
Approach LOS		C			C			D				
Timer Assigned Phs		2			5	6		8				
Phs Duration (G+Y+Rc), s		65.1			18.1	47.0		24.9				
Change Period (Y+Rc), s		4.6			4.6	* 4.6		4.6				
Max Green Setting (Gmax), s		52.4			6.0	* 42		28.4				
Max Q Clear Time (g_c+l1), s		20.4			10.4	34.7		20.1				
Green Ext Time (p_c), s		3.5			0.0	3.5		0.2				

Intersection Summary		
HCM 6th Ctrl Delay		30.7
HCM 6th LOS		C

Notes  
 User approved pedestrian interval to be less than phase max green.  
 \* HCM 6th computational engine requires equal clearance times for the phases crossing the barrier.

HCM 6th Signalized Intersection Summary  
 13: Harlan Rd & Lathrop Rd

11-13-2019



Movement	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR
Lane Configurations		↔	↔			↔	↔			↔	↔	
Traffic Volume (veh/h)	32	175	470	163	3	80	623	57	5	230	111	57
Future Volume (veh/h)	32	175	470	163	3	80	623	57	5	230	111	57
Initial Q (Qb), veh		0	0	0		0	0	0		0	0	0
Ped-Bike Adj(A_pbT)		1.00		0.97		1.00		0.97		1.00		0.97
Parking Bus, Adj		1.00	1.00	1.00		1.00	1.00	1.00		1.00	1.00	1.00
Work Zone On Approach			No				No				No	
Adj Sat Flow, veh/h/ln		1841	1870	1870		1885	1870	1870		1841	1885	1885
Adj Flow Rate, veh/h		186	500	173		85	663	61		245	118	61
Peak Hour Factor		0.94	0.94	0.94		0.94	0.94	0.94		0.94	0.94	0.94
Percent Heavy Veh, %		4	2	2		1	2	2		4	1	1
Cap, veh/h		241	903	310		111	902	83		298	661	319
Arrive On Green		0.14	0.35	0.35		0.06	0.27	0.27		0.17	0.29	0.29
Sat Flow, veh/h		1753	2574	885		1795	3280	301		1753	2315	1117
Grp Volume(v), veh/h		186	344	329		85	359	365		245	89	90
Grp Sat Flow(s),veh/h/ln		1753	1777	1681		1795	1777	1804		1753	1791	1642
Q Serve(g_s), s		6.7	10.2	10.3		3.1	12.0	12.1		8.8	2.5	2.7
Cycle Q Clear(g_c), s		6.7	10.2	10.3		3.1	12.0	12.1		8.8	2.5	2.7
Prop In Lane		1.00		0.53		1.00		0.17		1.00		0.68
Lane Grp Cap(c), veh/h		241	623	590		111	488	496		298	511	469
V/C Ratio(X)		0.77	0.55	0.56		0.77	0.73	0.74		0.82	0.17	0.19
Avail Cap(c_a), veh/h		1123	1464	1385		301	623	633		575	751	689
HCM Platoon Ratio		1.00	1.00	1.00		1.00	1.00	1.00		1.00	1.00	1.00
Upstream Filter(I)		1.00	1.00	1.00		1.00	1.00	1.00		1.00	1.00	1.00
Uniform Delay (d), s/veh		27.3	17.1	17.2		30.3	21.6	21.6		26.2	17.6	17.7
Incr Delay (d2), s/veh		6.2	0.9	1.0		12.4	3.7	3.7		5.6	0.2	0.2
Initial Q Delay(d3),s/veh		0.0	0.0	0.0		0.0	0.0	0.0		0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln		5.5	7.1	6.8		3.0	8.8	8.9		7.1	1.7	1.8
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh		33.4	18.1	18.2		42.7	25.3	25.3		31.8	17.8	17.9
LnGrp LOS		C	B	B		D	C	C		C	B	B
Approach Vol, veh/h			859				809				424	
Approach Delay, s/veh			21.4				27.1				25.9	
Approach LOS			C				C				C	
Timer Assigned Phs	1	2	3	4	5	6	7	8				
Phs Duration (G+Y+Rc), s	7.3	23.2	8.0	27.0	15.7	14.9	13.0	22.0				
Change Period (Y+Rc), s	4.0	4.5	4.0	4.0	4.5	4.5	4.0	4.0				
Max Green Setting (Gmax), s	11.0	27.5	11.0	54.0	21.5	16.5	42.0	23.0				
Max Q Clear Time (g_c+I1), s	4.2	4.7	5.1	12.3	10.8	7.9	8.7	14.1				
Green Ext Time (p_c), s	0.1	0.5	0.1	3.5	0.5	0.5	0.6	2.4				

Intersection Summary												
HCM 6th Ctrl Delay	25.2											
HCM 6th LOS	C											
Notes												
User approved pedestrian interval to be less than phase max green.												
User approved ignoring U-Turning movement.												

HCM 6th Signalized Intersection Summary  
 13: Harlan Rd & Lathrop Rd

11-13-2019



Movement	SBL	SBT	SBR
Lane Configurations	↙	↑↑	
Traffic Volume (veh/h)	55	80	160
Future Volume (veh/h)	55	80	160
Initial Q (Qb), veh	0	0	0
Ped-Bike Adj(A_pbT)	1.00		0.95
Parking Bus, Adj	1.00	1.00	1.00
Work Zone On Approach		No	
Adj Sat Flow, veh/h/ln	1841	1841	1841
Adj Flow Rate, veh/h	59	85	143
Peak Hour Factor	0.94	0.94	0.94
Percent Heavy Veh, %	4	4	4
Cap, veh/h	88	276	235
Arrive On Green	0.05	0.16	0.16
Sat Flow, veh/h	1753	1749	1487
Grp Volume(v), veh/h	59	85	143
Grp Sat Flow(s),veh/h/ln	1753	1749	1487
Q Serve(g_s), s	2.2	2.8	5.9
Cycle Q Clear(g_c), s	2.2	2.8	5.9
Prop In Lane	1.00		1.00
Lane Grp Cap(c), veh/h	88	276	235
V/C Ratio(X)	0.67	0.31	0.61
Avail Cap(c_a), veh/h	294	440	374
HCM Platoon Ratio	1.00	1.00	1.00
Upstream Filter(l)	1.00	1.00	1.00
Uniform Delay (d), s/veh	30.6	24.4	25.7
Incr Delay (d2), s/veh	10.1	0.6	2.5
Initial Q Delay(d3),s/veh	0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln	2.0	2.1	3.8
Unsig. Movement Delay, s/veh			
LnGrp Delay(d),s/veh	40.7	25.1	28.3
LnGrp LOS	D	C	C
Approach Vol, veh/h		287	
Approach Delay, s/veh		29.9	
Approach LOS		C	
Timer, Assigned Phs			

HCM 6th TWSC  
7: Harlan & Old Harlan

11-13-2019

Intersection						
Int Delay, s/veh	1.9					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	↙		↘	↑↑	↑	
Traffic Vol, veh/h	20	113	23	445	300	18
Future Vol, veh/h	20	113	23	445	300	18
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	75	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	97	97	97	97	97	97
Heavy Vehicles, %	2	2	2	4	4	2
Mvmt Flow	21	116	24	459	309	19

Major/Minor	Minor2	Major1	Major2		
Conflicting Flow All	597	319	328	0	0
Stage 1	319	-	-	-	-
Stage 2	278	-	-	-	-
Critical Hdwy	6.63	6.23	4.13	-	-
Critical Hdwy Stg 1	5.43	-	-	-	-
Critical Hdwy Stg 2	5.83	-	-	-	-
Follow-up Hdwy	3.519	3.319	2.219	-	-
Pot Cap-1 Maneuver	450	721	1230	-	-
Stage 1	736	-	-	-	-
Stage 2	745	-	-	-	-
Platoon blocked, %				-	-
Mov Cap-1 Maneuver	441	721	1230	-	-
Mov Cap-2 Maneuver	441	-	-	-	-
Stage 1	721	-	-	-	-
Stage 2	745	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	11.9	0.4	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1230	-	658	-	-
HCM Lane V/C Ratio	0.019	-	0.208	-	-
HCM Control Delay (s)	8	-	11.9	-	-
HCM Lane LOS	A	-	B	-	-
HCM 95th %tile Q(veh)	0.1	-	0.8	-	-

HCM 6th Signalized Intersection Summary  
 11: Spartan Way/Lathrop Rd & SB Offramp

11-13-2019



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↑↑↑		↖	↑						↔	
Traffic Volume (veh/h)	0	654	200	267	761	0	0	0	0	470	8	226
Future Volume (veh/h)	0	654	200	267	761	0	0	0	0	470	8	226
Initial Q (Qb), veh	0	0	0	0	0	0				0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00				1.00		0.96
Parking Bus; Adj	1.00	1.00	1.00	1.00	1.00	1.00				1.00	1.00	1.00
Work Zone On Approach		No			No						No	
Adj Sat Flow, veh/h/ln	0	1900	1900	1781	1870	0				1900	1900	1900
Adj Flow Rate, veh/h	0	719	220	293	836	0				516	9	199
Peak Hour Factor	0.91	0.91	0.91	0.91	0.91	0.91				0.91	0.91	0.91
Percent Heavy Veh, %	0	0	0	8	2	0				0	0	0
Cap, veh/h	0	983	297	486	1097	0				525	9	203
Arrive On Green	0.00	0.25	0.25	0.29	0.59	0.00				0.43	0.43	0.43
Sat Flow, veh/h	0	4121	1193	1697	1870	0				1231	21	475
Grp Volume(v), veh/h	0	628	311	293	836	0				724	0	0
Grp Sat Flow(s), veh/h/ln	0	1729	1685	1697	1870	0				1727	0	0
Q Serve(g_s), s	0.0	15.0	15.3	13.4	30.1	0.0				37.2	0.0	0.0
Cycle Q Clear(g_c), s	0.0	15.0	15.3	13.4	30.1	0.0				37.2	0.0	0.0
Prop In Lane	0.00		0.71	1.00		0.00				0.71		0.27
Lane Grp Cap(c), veh/h	0	861	419	486	1097	0				737	0	0
V/C Ratio(X)	0.00	0.73	0.74	0.60	0.76	0.00				0.98	0.00	0.00
Avail Cap(c_a), veh/h	0	861	419	486	1097	0				737	0	0
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00				1.00	1.00	1.00
Upstream Filter(I)	0.00	1.00	1.00	0.26	0.26	0.00				1.00	0.00	0.00
Uniform Delay (d), s/veh	0.0	31.0	31.1	27.7	13.9	0.0				25.5	0.0	0.0
Incr Delay (d2), s/veh	0.0	5.4	11.2	0.4	1.3	0.0				28.6	0.0	0.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0				0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln	0.0	11.0	11.8	7.3	14.5	0.0				27.4	0.0	0.0
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	0.0	36.4	42.3	28.1	15.3	0.0				54.1	0.0	0.0
LnGrp LOS	A	D	D	C	B	A				D	A	A
Approach Vol, veh/h		939			1129						724	
Approach Delay, s/veh		38.4			18.6						54.1	
Approach LOS		D			B						D	
Timer - Assigned Phs	1	2		4		6						
Phs Duration (G+Y+Rc), s	30.4	27.0		43.0		57.4						
Change Period (Y+Rc), s	4.6	* 4.6		4.6		4.6						
Max Green Setting (Gmax), s	16.0	* 22		38.4		42.4						
Max Q Clear Time (g_c+I1), s	15.4	17.3		39.2		32.1						
Green Ext Time (p_c), s	0.0	1.8		0.0		2.5						
Intersection Summary												
HCM 6th Ctrl Delay				34.4								
HCM 6th LOS				C								
Notes												
User approved pedestrian interval to be less than phase max green.												
* HCM 6th computational engine requires equal clearance times for the phases crossing the barrier.												



HCM 6th Signalized Intersection Summary  
 12: NB Offramp & Lathrop Rd

11-13-2019



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↙	↑↑			↑↑			↑				
Traffic Volume (veh/h)	184	940	0	0	750	340	278	7	502	0	0	0
Future Volume (veh/h)	184	940	0	0	750	340	278	7	502	0	0	0
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0			
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		0.98	1.00		0.98			
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00			
Work Zone On Approach		No			No			No				
Adj Sat Flow, veh/h/ln	1856	1885	0	0	1885	1885	1900	1900	1900			
Adj Flow Rate, veh/h	194	989	0	0	789	358	293	7	396			
Peak Hour Factor	0.95	0.95	0.95	0.83	0.95	0.95	0.95	0.95	0.95			
Percent Heavy Veh, %	3	1	0	0	1	1	0	0	0			
Cap, veh/h	202	2488	0	0	1277	578	278	7	376			
Arrive On Green	0.11	0.69	0.00	0.00	0.54	0.54	0.40	0.40	0.40			
Sat Flow, veh/h	1767	3676	0	0	2473	1076	703	17	950			
Grp Volume(v), veh/h	194	989	0	0	594	553	696	0	0			
Grp Sat Flow(s),veh/h/ln	1767	1791	0	0	1791	1664	1670	0	0			
Q Serve(g_s), s	10.1	10.7	0.0	0.0	21.1	21.2	36.4	0.0	0.0			
Cycle Q Clear(g_c), s	10.1	10.7	0.0	0.0	21.1	21.2	36.4	0.0	0.0			
Prop In Lane	1.00		0.00	0.00		0.65	0.42		0.57			
Lane Grp Cap(c), veh/h	202	2488	0	0	962	893	661	0	0			
V/C Ratio(X)	0.96	0.40	0.00	0.00	0.62	0.62	1.05	0.00	0.00			
Avail Cap(c_a), veh/h	202	2488	0	0	962	893	661	0	0			
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00			
Upstream Filter(I)	0.61	0.61	0.00	0.00	1.00	1.00	1.00	0.00	0.00			
Uniform Delay (d), s/veh	40.6	5.9	0.0	0.0	14.8	14.8	27.8	0.0	0.0			
Incr Delay (d2), s/veh	39.0	0.3	0.0	0.0	3.0	3.2	49.8	0.0	0.0			
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0			
%ile BackOfQ(95%),veh/ln	9.7	5.8	0.0	0.0	13.5	12.8	31.8	0.0	0.0			
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	79.6	6.2	0.0	0.0	17.7	18.0	77.6	0.0	0.0			
LnGrp LOS	E	A	A	A	B	B	F	A	A			
Approach Vol, veh/h		1183			1147			696				
Approach Delay, s/veh		18.2			17.9			77.6				
Approach LOS		B			B			E				
Timer Assigned Phs		2			5	6		8				
Phs Duration (G+Y+Rc), s		69.0			14.5	54.5		41.0				
Change Period (Y+Rc), s		4.6			4.0	4.6		4.6				
Max Green Setting (Gmax), s		44.4			10.5	32.4		36.4				
Max Q Clear Time (g_c+l1), s		12.7			12.1	23.2		38.4				
Green Ext Time (p_c), s		4.2			0.0	3.1		0.0				

Intersection Summary

HCM 6th Ctrl Delay 31.8

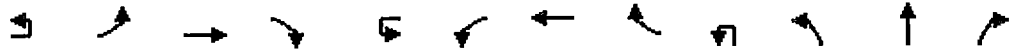
HCM 6th LOS C

Notes:

User approved pedestrian interval to be less than phase max green.

HCM 6th Signalized Intersection Summary  
 13: Harlan & Lathrop Rd

11-13-2019



Movement	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR
Lane Configurations		↔	↕			↔	↕			↔	↕	
Traffic Volume (veh/h)	60	260	778	240	2	102	550	59	9	285	195	148
Future Volume (veh/h)	60	260	778	240	2	102	550	59	9	285	195	148
Initial Q (Qb), veh		0	0	0		0	0	0		0	0	0
Ped-Bike Adj(A_pbT)		1.00		0.99		1.00		0.97		1.00		0.99
Parking Bus, Adj		1.00	1.00	1.00		1.00	1.00	1.00		1.00	1.00	1.00
Work Zone On Approach			No				No				No	
Adj Sat Flow, veh/h/ln		1885	1885	1885		1900	1900	1900		1870	1870	1870
Adj Flow Rate, veh/h		268	802	247		105	567	51		294	201	153
Peak Hour Factor		0.97	0.97	0.97		0.97	0.97	0.97		0.97	0.97	0.97
Percent Heavy Veh, %		1	1	1		0	0	0		2	2	2
Cap, veh/h		376	983	303		138	776	70		348	467	336
Arrive On Green		0.21	0.37	0.37		0.08	0.23	0.23		0.20	0.24	0.24
Sat Flow, veh/h		1795	2690	828		1810	3341	300		1781	1960	1410
Grp Volume(v), veh/h		268	534	515		105	306	312		294	181	173
Grp Sat Flow(s),veh/h/ln		1795	1791	1727		1810	1805	1836		1781	1777	1593
Q Serve(g_s), s		10.2	19.9	19.9		4.2	11.6	11.6		11.7	6.4	6.8
Cycle Q Clear(g_c), s		10.2	19.9	19.9		4.2	11.6	11.6		11.7	6.4	6.8
Prop In Lane		1.00		0.48		1.00		0.16		1.00		0.89
Lane Grp Cap(c), veh/h		376	655	631		138	419	426		348	423	380
V/C Ratio(X)		0.71	0.82	0.82		0.76	0.73	0.73		0.85	0.43	0.46
Avail Cap(c_a), veh/h		729	946	912		343	562	572		762	830	744
HCM Platoon Ratio		1.00	1.00	1.00		1.00	1.00	1.00		1.00	1.00	1.00
Upstream Filter(I)		1.00	1.00	1.00		1.00	1.00	1.00		1.00	1.00	1.00
Uniform Delay (d), s/veh		27.1	21.2	21.2		33.5	26.2	26.2		28.6	23.9	24.0
Incr Delay (d2), s/veh		3.0	4.1	4.3		10.1	3.7	3.7		5.7	0.7	0.9
Initial Q Delay(d3),s/veh		0.0	0.0	0.0		0.0	0.0	0.0		0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln		8.0	13.2	12.8		3.9	8.9	9.0		9.1	4.7	4.6
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh		30.2	25.3	25.5		43.5	29.9	29.9		34.3	24.5	24.9
LnGrp LOS		C	C	C		D	C	C		C	C	C
Approach Vol, veh/h			1317				723				648	
Approach Delay, s/veh			26.4				31.9				29.1	
Approach LOS			C				C				C	
Timer - Assigned Phs	1	2	3	4	5	6	7	8				
Phs Duration (G+Y+Rc), s	11.1	22.1	9.6	31.0	18.9	14.3	19.5	21.1				
Change Period (Y+Rc), s	4.0	4.5	4.0	4.0	4.5	4.5	4.0	4.0				
Max Green Setting (Gmax), s	16.0	34.5	14.0	39.0	31.6	18.4	30.0	23.0				
Max Q Clear Time (g_c+l1), s	7.4	8.8	6.2	21.9	13.7	7.1	12.2	13.6				
Green Ext Time (p_c), s	0.2	1.2	0.1	5.1	0.7	0.6	0.8	2.0				

Intersection Summary		
HCM 6th Ctrl Delay		29.3
HCM 6th LOS		C

Notes  
 User approved pedestrian interval to be less than phase max green.  
 User approved ignoring U-Turning movement.

HCM 6th Signalized Intersection Summary  
 13: Harlan & Lathrop Rd

11-13-2019



Movement	SBL	SBT	SBR
Lane Configurations			
Traffic Volume (veh/h)	128	148	110
Future Volume (veh/h)	128	148	110
Initial Q (Qb), veh	0	0	0
Ped-Bike Adj(A_pbT)	1.00		0.96
Parking Bus, Adj	1.00	1.00	1.00
Work Zone On Approach		No	
Adj Sat Flow, veh/h/ln	1841	1870	1870
Adj Flow Rate, veh/h	132	153	87
Peak Hour Factor	0.97	0.97	0.97
Percent Heavy Veh, %	4	2	2
Cap, veh/h	170	294	156
Arrive On Green	0.10	0.13	0.13
Sat Flow, veh/h	1753	2207	1173
Grp Volume(v), veh/h	132	121	119
Grp Sat Flow(s),veh/h/ln	1753	1777	1602
Q Serve(g_s), s	5.4	4.7	5.1
Cycle Q Clear(g_c), s	5.4	4.7	5.1
Prop In Lane	1.00		0.73
Lane-Grp Cap(c), veh/h	170	237	213
V/C Ratio(X)	0.78	0.51	0.56
Avail Cap(c_a), veh/h	380	443	399
HCM Platoon Ratio	1.00	1.00	1.00
Upstream Filter(l)	1.00	1.00	1.00
Uniform Delay (d), s/veh	32.6	29.8	30.0
Incr Delay (d2), s/veh	8.9	1.7	2.3
Initial Q Delay(d3),s/veh	0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln	4.8	3.7	3.7
Unsig. Movement Delay, s/veh			
LnGrp Delay(d),s/veh	41.5	31.5	32.2
LnGrp LOS	D	C	C
Approach Vol, veh/h		372	
Approach Delay, s/veh		35.3	
Approach LOS		D	
Timer - Assigned Phs			

Intersection						
Int Delay, s/veh	2.7					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	Y		T	↑↑	↑	
Traffic Vol, veh/h	2	124	24	230	150	23
Future Vol, veh/h	2	124	24	230	150	23
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	75	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	84	84	84	84	84	84
Heavy Vehicles, %	0	5	0	4	6	2
Mvmt Flow	2	148	29	274	179	27

Major/Minor	Minor2	Major1	Major2		
Conflicting Flow All	388	193	206	0	0
Stage 1	193	-	-	-	-
Stage 2	195	-	-	-	-
Critical Hdwy	6.6	6.275	4.1	-	-
Critical Hdwy Stg 1	5.4	-	-	-	-
Critical Hdwy Stg 2	5.8	-	-	-	-
Follow-up Hdwy	3.53	3.475	2.2	-	-
Pot Cap-1 Maneuver	606	839	1377	-	-
Stage 1	845	-	-	-	-
Stage 2	825	-	-	-	-
Platoon blocked, %				-	-
Mov Cap-1 Maneuver	593	839	1377	-	-
Mov Cap-2 Maneuver	593	-	-	-	-
Stage 1	827	-	-	-	-
Stage 2	825	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	10.3	0.7	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1377	-	834	-	-
HCM Lane V/C Ratio	0.021	-	0.18	-	-
HCM Control Delay (s)	7.7	-	10.3	-	-
HCM Lane LOS	A	-	B	-	-
HCM 95th %tile Q(veh)	0.1	-	0.7	-	-

HCM 6th Signalized Intersection Summary  
 11: Spartan Way/Lathrop Rd & SB Offramp

11-13-2019



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↑↑↑		↙	↑						↕	
Traffic Volume (veh/h)	0	437	87	414	528	0	0	0	0	268	5	75
Future Volume (veh/h)	0	437	87	414	528	0	0	0	0	268	5	75
Initial Q (Qb), veh	0	0	0	0	0	0				0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00				1.00		0.93
Parking Bus Adj	1.00	1.00	1.00	1.00	1.00	1.00				1.00	1.00	1.00
Work Zone On Approach		No			No						No	
Adj Sat Flow, veh/h/ln	0	1900	1900	1826	1885	0				1900	1900	1900
Adj Flow Rate, veh/h	0	560	112	531	677	0				344	6	38
Peak Hour Factor	0.78	0.78	0.78	0.78	0.78	0.75				0.78	0.78	0.78
Percent Heavy Veh, %	0	0	0	5	1	0				0	0	0
Cap, veh/h	0	1263	248	566	1245	0				373	7	41
Arrive On Green	0.00	0.29	0.29	0.11	0.22	0.00				0.24	0.24	0.24
Sat Flow, veh/h	0	4521	854	1739	1885	0				1573	27	174
Grp Volume(v), veh/h	0	443	229	531	677	0				388	0	0
Grp Sat Flow(s),veh/h/ln	0	1729	1746	1739	1885	0				1774	0	0
Q Serve(g_s), s	0.0	9.4	9.6	27.3	28.7	0.0				19.2	0.0	0.0
Cycle Q Clear(g_c), s	0.0	9.4	9.6	27.3	28.7	0.0				19.2	0.0	0.0
Prop In Lane	0.00		0.49	1.00		0.00				0.89		0.10
Lane Grp Cap(c), veh/h	0	1004	507	566	1245	0				421	0	0
V/C Ratio(X)	0.00	0.44	0.45	0.94	0.54	0.00				0.92	0.00	0.00
Avail Cap(c_a), veh/h	0	1004	507	580	1245	0				501	0	0
HCM Platoon Ratio	1.00	1.00	1.00	0.33	0.33	1.00				1.00	1.00	1.00
Upstream Filter(I)	0.00	1.00	1.00	0.59	0.59	0.00				1.00	0.00	0.00
Uniform Delay (d), s/veh	0.0	26.0	26.1	39.3	23.2	0.0				33.5	0.0	0.0
Incr Delay (d2), s/veh	0.0	1.4	2.9	15.4	1.0	0.0				19.1	0.0	0.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0				0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln	0.0	7.1	7.7	19.9	19.4	0.0				15.5	0.0	0.0
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	0.0	27.4	29.0	54.7	24.2	0.0				52.6	0.0	0.0
LnGrp LOS	A	C	C	D	C	A				D	A	A
Approach Vol, veh/h		672			1208						388	
Approach Delay, s/veh		27.9			37.6						52.6	
Approach LOS		C			D						D	
Timer - Assigned Phs	1	2		4		6						
Phs Duration (G+Y+Rc), s	33.3	30.7		26.0		64.0						
Change Period (Y+Rc), s	4.0	4.6		4.6		4.6						
Max Green Setting (Gmax), s	30.0	21.4		25.4		55.4						
Max Q Clear Time (g_c+1), s	29.3	11.6		21.2		30.7						
Green Ext Time (p_c), s	0.0	1.8		0.1		2.4						

Intersection Summary

HCM 6th Ctrl Delay	37.3
HCM 6th LOS	D

Notes:

User approved pedestrian interval to be less than phase max green.

HCM 6th Signalized Intersection Summary  
 12: NB Offramp & Lathrop Rd

11-13-2019



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↖	↕		↖	↕			↕				
Traffic Volume (veh/h)	51	629	0	0	786	326	156	2	214	0	0	0
Future Volume (veh/h)	51	629	0	0	786	326	156	2	214	0	0	0
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0			
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		0.97	1.00		0.95			
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00			
Work Zone On Approach		No			No			No				
Adj Sat Flow, veh/h/ln	1841	1870	0	0	1856	1856	1900	1900	1900			
Adj Flow Rate, veh/h	61	758	0	0	947	393	188	2	107			
Peak Hour Factor	0.83	0.83	0.83	0.83	0.83	0.83	0.83	0.83	0.83			
Percent Heavy Veh, %	4	2	0	0	3	3	0	0	0			
Cap, veh/h	317	2499	0	0	1139	467	209	2	119			
Arrive On Green	0.06	0.23	0.00	0.00	0.47	0.47	0.19	0.19	0.19			
Sat Flow, veh/h	1753	3647	0	0	2510	991	1077	11	613			
Grp Volume(v), veh/h	61	758	0	0	688	652	297	0	0			
Grp Sat Flow(s), veh/h/ln	1753	1777	0	0	1763	1646	1701	0	0			
Q Serve(g_s), s	3.0	15.9	0.0	0.0	30.4	31.3	15.3	0.0	0.0			
Cycle Q Clear(g_c), s	3.0	15.9	0.0	0.0	30.4	31.3	15.3	0.0	0.0			
Prop In Lane	1.00		0.00	0.00		0.60	0.63		0.36			
Lane Grp Cap(c), veh/h	317	2499	0	0	830	775	331	0	0			
V/C Ratio(X)	0.19	0.30	0.00	0.00	0.83	0.84	0.90	0.00	0.00			
Avail Cap(c_a), veh/h	317	2499	0	0	830	775	537	0	0			
HCM Platoon Ratio	0.33	0.33	1.00	1.00	1.00	1.00	1.00	1.00	1.00			
Upstream Filter(I)	0.85	0.85	0.00	0.00	1.00	1.00	1.00	0.00	0.00			
Uniform Delay (d), s/veh	36.1	16.3	0.0	0.0	20.6	20.9	35.4	0.0	0.0			
Incr Delay (d2), s/veh	0.1	0.3	0.0	0.0	9.3	10.7	7.3	0.0	0.0			
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0			
%ile BackOfQ(95%),veh/ln	2.3	11.7	0.0	0.0	19.8	19.4	11.1	0.0	0.0			
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	36.1	16.6	0.0	0.0	30.0	31.6	42.7	0.0	0.0			
LnGrp LOS	D	B	A	A	C	C	D	A	A			
Approach Vol, veh/h		819			1340			297				
Approach Delay, s/veh		18.1			30.7			42.7				
Approach LOS		B			C			D				
Timer - Assigned Phs		2			5	6		8				
Phs Duration (G+Y+Rc), s		67.9			20.9	47.0		22.1				
Change Period (Y+Rc), s		4.6			4.6	* 4.6		4.6				
Max Green Setting (Gmax), s		52.4			6.0	* 42		28.4				
Max Q Clear Time (g_c+I1), s		17.9			5.0	33.3		17.3				
Green Ext Time (p_c), s		3.0			0.0	3.7		0.2				

Intersection Summary		
HCM 6th Ctrl Delay		28.0
HCM 6th LOS		C

Notes

User approved pedestrian interval to be less than phase max green.

\* HCM 6th computational engine requires equal clearance times for the phases crossing the barrier.

HCM 6th Signalized Intersection Summary  
 13: Harlan Rd & Lathrop Rd

11-13-2019



Movement	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR
Lane Configurations												
Traffic Volume (veh/h)	80	179	371	150	2	71	542	34	4	218	93	52
Future Volume (veh/h)	80	179	371	150	2	71	542	34	4	218	93	52
Initial Q (Qb), veh		0	0	0		0	0	0		0	0	0
Ped-Bike Adj(A_pbT)		1.00		0.97		1.00		0.97		1.00		0.97
Parking Bus, Adj		1.00	1.00	1.00		1.00	1.00	1.00		1.00	1.00	1.00
Work Zone On Approach		No				No				No		
Adj Sat Flow, veh/h/ln		1841	1870	1870		1885	1870	1870		1841	1885	1885
Adj Flow Rate, veh/h		192	399	161		76	583	37		234	100	56
Peak Hour Factor		0.93	0.93	0.93		0.93	0.93	0.93		0.93	0.93	0.93
Percent Heavy Veh, %		4	2	2		1	2	2		4	1	1
Cap, veh/h		250	840	334		106	872	55		289	640	331
Arrive On Green		0.14	0.34	0.34		0.06	0.26	0.26		0.17	0.28	0.28
Sat Flow, veh/h		1753	2460	978		1795	3385	214		1753	2254	1167
Grp Volume(v), veh/h		192	287	273		76	306	314		234	78	78
Grp Sat Flow(s),veh/h/ln		1753	1777	1661		1795	1777	1823		1753	1791	1631
Q Serve(g_s), s		6.5	7.8	8.0		2.6	9.5	9.6		8.0	2.0	2.2
Cycle Q Clear(g_c), s		6.5	7.8	8.0		2.6	9.5	9.6		8.0	2.0	2.2
Prop In Lane		1.00		0.59		1.00		0.12		1.00		0.72
Lane Grp Cap(c), veh/h		250	607	567		106	458	469		289	508	463
V/C Ratio(X)		0.77	0.47	0.48		0.72	0.67	0.67		0.81	0.15	0.17
Avail Cap(c_a), veh/h		1189	1550	1449		319	660	677		609	796	724
HCM Platoon Ratio		1.00	1.00	1.00		1.00	1.00	1.00		1.00	1.00	1.00
Upstream Filter(I)		1.00	1.00	1.00		1.00	1.00	1.00		1.00	1.00	1.00
Uniform Delay (d), s/veh		25.5	16.0	16.1		28.6	20.6	20.6		24.9	16.6	16.7
Incr Delay (d2), s/veh		5.8	0.7	0.8		10.5	2.0	2.0		5.3	0.1	0.2
Initial Q Delay(d3),s/veh		0.0	0.0	0.0		0.0	0.0	0.0		0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln		5.3	5.4	5.2		2.4	7.0	7.2		6.3	1.4	1.4
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh		31.4	16.7	16.8		39.1	22.6	22.6		30.2	16.7	16.9
LnGrp LOS		C	B	B		D	C	C		C	B	B
Approach Vol, veh/h		752				696				390		
Approach Delay, s/veh		20.5				24.4				24.9		
Approach LOS		C				C				C		
Timer - Assigned Phs		1	2	3	4	5	6	7	8			
Phs Duration (G+Y+Rc), s		7.1	22.1	7.6	25.1	14.7	14.4	12.8	19.9			
Change Period (Y+Rc), s		4.0	4.5	4.0	4.0	4.5	4.5	4.0	4.0			
Max Green Setting (Gmax), s		11.0	27.5	11.0	54.0	21.5	16.5	42.0	23.0			
Max Q Clear Time (g_c+l1), s		3.9	4.2	4.6	10.0	10.0	7.4	8.5	11.6			
Green Ext Time (p_c), s		0.1	0.5	0.1	2.8	0.4	0.5	0.7	2.2			

Intersection Summary												
HCM 6th Ctrl Delay	23.6											
HCM 6th LOS	C											

Notes

User approved pedestrian interval to be less than phase max green.

User approved ignoring U-Turning movement.

HCM 6th Signalized Intersection Summary  
 13: Harlan Rd & Lathrop Rd

11-13-2019



Movement	SBL	SBT	SBR
Lane Configurations	↑	↑↑	
Traffic Volume (veh/h)	51	81	155
Future Volume (veh/h)	51	81	155
Initial Q (Qb), veh	0	0	0
Ped-Bike Adj(A_pbT)	1.00		0.95
Parking Bus, Adj	1.00	1.00	1.00
Work Zone On Approach		No	
Adj Sat Flow, veh/h/ln	1841	1841	1841
Adj Flow Rate, veh/h	55	87	140
Peak Hour Factor	0.93	0.93	0.93
Percent Heavy Veh, %	4	4	4
Cap, veh/h	87	280	238
Arrive On Green	0.05	0.16	0.16
Sat Flow, veh/h	1753	1749	1488
Grp Volume(v), veh/h	55	87	140
Grp Sat Flow(s),veh/h/ln	1753	1749	1488
Q Serve(g_s), s	1.9	2.7	5.4
Cycle Q Clear(g_c), s	1.9	2.7	5.4
Prop In Lane	1.00		1.00
Lane Grp Cap(c), veh/h	87	280	238
V/C Ratio(X)	0.64	0.31	0.59
Avail Cap(c_a), veh/h	311	466	397
HCM Platoon Ratio	1.00	1.00	1.00
Upstream Filter(l)	1.00	1.00	1.00
Uniform Delay (d), s/veh	28.9	23.0	24.1
Incr Delay (d2), s/veh	8.9	0.6	2.3
Initial Q Delay(d3),s/veh	0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln	1.8	2.0	3.5
Unsig. Movement Delay, s/veh			
LnGrp Delay(d),s/veh	37.8	23.6	26.4
LnGrp LOS	D	C	C
Approach Vol, veh/h		282	
Approach Delay, s/veh		27.8	
Approach LOS		C	
Timer - Assigned Phs			



Intersection						
Int Delay, s/veh	2.3					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	Y		Y	↑↑	↑	
Traffic Vol, veh/h	20	125	32	378	257	42
Future Vol, veh/h	20	125	32	378	257	42
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	75	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	97	97	97	97	97	97
Heavy Vehicles, %	2	2	2	4	4	2
Mvmt Flow	21	129	33	390	265	43

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	548	287	308	0	-	0
Stage 1	287	-	-	-	-	-
Stage 2	261	-	-	-	-	-
Critical Hdwy	6.63	6.23	4.13	-	-	-
Critical Hdwy Stg 1	5.43	-	-	-	-	-
Critical Hdwy Stg 2	5.83	-	-	-	-	-
Follow-up Hdwy	3.519	3.319	2.219	-	-	-
Pot Cap-1 Maneuver	482	751	1251	-	-	-
Stage 1	761	-	-	-	-	-
Stage 2	760	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	469	751	1251	-	-	-
Mov Cap-2 Maneuver	469	-	-	-	-	-
Stage 1	741	-	-	-	-	-
Stage 2	760	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	11.6	0.6	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1251	-	693	-	-
HCM Lane V/C Ratio	0.026	-	0.216	-	-
HCM Control Delay (s)	8	-	11.6	-	-
HCM Lane LOS	A	-	B	-	-
HCM 95th %tile Q(veh)	0.1	-	0.8	-	-

HCM 6th Signalized Intersection Summary  
 11: Spartan Way/Lathrop Rd & SB Offramp

11-13-2019



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↑↑↑		↖	↑						↕	
Traffic Volume (veh/h)	0	320	38	263	350	0	0	0	0	477	10	86
Future Volume (veh/h)	0	320	38	263	350	0	0	0	0	477	10	86
Initial Q (Qb), veh	0	0	0	0	0	0				0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00				1.00		0.95
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00				1.00	1.00	1.00
Work Zone On Approach		No			No						No	
Adj Sat Flow, veh/h/ln	0	1900	1900	1781	1870	0				1900	1900	1900
Adj Flow Rate, veh/h	0	360	43	296	393	0				536	11	46
Peak Hour Factor	0.89	0.89	0.89	0.89	0.89	0.75				0.89	0.89	0.89
Percent Heavy Veh, %	0	0	0	8	2	0				0	0	0
Cap, veh/h	0	596	70	628	1025	0				564	12	48
Arrive On Green	0.00	0.13	0.13	0.37	0.55	0.00				0.35	0.35	0.35
Sat Flow, veh/h	0	4879	551	1697	1870	0				1614	33	139
Grp Volume(v), veh/h	0	262	141	296	393	0				593	0	0
Grp Sat Flow(s), veh/h/ln	0	1729	1801	1697	1870	0				1786	0	0
Q Serve(g_s), s	0.0	6.5	6.7	12.0	10.8	0.0				29.1	0.0	0.0
Cycle Q Clear(g_c), s	0.0	6.5	6.7	12.0	10.8	0.0				29.1	0.0	0.0
Prop In Lane	0.00		0.31	1.00		0.00				0.90		0.08
Lane Grp Cap(c), veh/h	0	438	228	628	1025	0				624	0	0
V/C Ratio(X)	0.00	0.60	0.62	0.47	0.38	0.00				0.95	0.00	0.00
Avail Cap(c_a), veh/h	0	438	228	628	1025	0				841	0	0
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00				1.00	1.00	1.00
Upstream Filter(I)	0.00	1.00	1.00	0.79	0.79	0.00				1.00	0.00	0.00
Uniform Delay (d), s/veh	0.0	37.1	37.2	21.6	11.6	0.0				28.5	0.0	0.0
Incr Delay (d2), s/veh	0.0	5.9	11.9	0.2	0.9	0.0				15.0	0.0	0.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0				0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln	0.0	5.5	6.5	7.7	7.5	0.0				20.7	0.0	0.0
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	0.0	43.1	49.1	21.8	12.5	0.0				43.5	0.0	0.0
LnGrp LOS	A	D	D	C	B	A				D	A	A
Approach Vol, veh/h		403			689						593	
Approach Delay, s/veh		45.2			16.5						43.5	
Approach LOS		D			B						D	
Timer - Assigned Phs	1	2		4		6						
Phs Duration (G+Y+Rc), s	37.9	16.0		36.1		53.9						
Change Period (Y+Rc), s	4.6	* 4.6		4.6		4.6						
Max Green Setting (Gmax), s	23.0	* 11		42.4		38.4						
Max Q Clear Time (g_c+I1), s	14.0	8.7		31.1		12.8						
Green Ext Time (p_c), s	0.1	0.4		0.4		1.2						

Intersection Summary

HCM 6th Ctrl Delay	32.8
HCM 6th LOS	C

Notes

- User approved pedestrian interval to be less than phase max green.
- \* HCM 6th computational engine requires equal clearance times for the phases crossing the barrier.

# HCM 6th Signalized Intersection Summary

## 12: NB Offramp & Lathrop Rd

11-13-2019



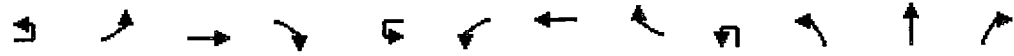
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↖	↕			↕			↕				
Traffic Volume (veh/h)	29	768	0	0	571	272	36	2	508	0	0	0
Future Volume (veh/h)	29	768	0	0	571	272	36	2	508	0	0	0
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		0.98	1.00		0.98			
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00			
Work Zone On Approach	No			No			No					
Adj Sat Flow, veh/h/ln	1856	1885	0	0	1885	1885	1900	1900	1900			
Adj Flow Rate, veh/h	31	817	0	0	607	289	38	2	407			
Peak Hour Factor	0.94	0.94	0.94	0.83	0.94	0.94	0.94	0.94	0.94			
Percent Heavy Veh, %	3	1	0	0	1	1	0	0	0			
Cap, veh/h	106	2142	0	0	1153	549	41	2	434			
Arrive On Green	0.08	0.80	0.00	0.00	0.49	0.49	0.30	0.30	0.30			
Sat Flow, veh/h	1767	3676	0	0	2430	1111	135	7	1449			
Grp Volume(v), veh/h	31	817	0	0	465	431	447	0	0			
Grp Sat Flow(s), veh/h/ln	1767	1791	0	0	1791	1656	1592	0	0			
Q Serve(g_s), s	1.5	6.0	0.0	0.0	16.0	16.0	24.6	0.0	0.0			
Cycle Q Clear(g_c), s	1.5	6.0	0.0	0.0	16.0	16.0	24.6	0.0	0.0			
Prop In Lane	1.00		0.00	0.00		0.67	0.09		0.91			
Lane Grp Cap(c), veh/h	106	2142	0	0	884	818	477	0	0			
V/C Ratio(X)	0.29	0.38	0.00	0.00	0.53	0.53	0.94	0.00	0.00			
Avail Cap(c_a), veh/h	208	2142	0	0	884	818	679	0	0			
HCM Platoon Ratio	1.33	1.33	1.00	1.00	1.00	1.00	1.00	1.00	1.00			
Upstream Filter(I)	0.91	0.91	0.00	0.00	1.00	1.00	1.00	0.00	0.00			
Uniform Delay (d), s/veh	39.6	4.3	0.0	0.0	15.6	15.6	30.7	0.0	0.0			
Incr Delay (d2), s/veh	0.5	0.5	0.0	0.0	2.2	2.4	14.0	0.0	0.0			
Initial Q Delay(d3), s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0			
%ile BackOfQ(95%), veh/ln	1.2	3.3	0.0	0.0	10.9	10.3	16.3	0.0	0.0			
Unsig. Movement Delay, s/veh												
LnGrp Delay(d), s/veh	40.1	4.8	0.0	0.0	17.8	18.0	44.6	0.0	0.0			
LnGrp LOS	D	A	A	A	B	B	D	A	A			
Approach Vol, veh/h		848			896			447				
Approach Delay, s/veh		6.1			17.9			44.6				
Approach LOS		A			B			D				
Timer Assigned Phs		2			5	6		8				
Phs Duration (G+Y+Rc), s		58.4			9.4	49.0		31.6				
Change Period (Y+Rc), s		4.6			4.0	4.6		4.6				
Max Green Setting (Gmax), s		42.4			10.6	27.8		38.4				
Max Q Clear Time (g_c+I1), s		8.0			3.5	18.0		26.6				
Green Ext Time (p_c), s		3.3			0.0	2.4		0.4				

Intersection Summary		
HCM 6th Ctrl Delay		18.8
HCM 6th LOS		B

Notes:  
User approved pedestrian interval to be less than phase max green.

HCM 6th Signalized Intersection Summary  
 13: Harlan & Lathrop Rd

11-13-2019



Movement	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR
Lane Configurations												
Traffic Volume (veh/h)	94	245	640	212	3	108	287	55	8	281	176	141
Future Volume (veh/h)	94	245	640	212	3	108	287	55	8	281	176	141
Initial Q (Qb), veh		0	0	0		0	0	0		0	0	0
Ped-Bike Adj(A_pbT)		1.00		0.99		1.00		0.97		1.00		0.99
Parking Bus Adj		1.00	1.00	1.00		1.00	1.00	1.00		1.00	1.00	1.00
Work Zone On Approach			No				No				No	
Adj Sat Flow, veh/h/ln		1885	1885	1885		1900	1900	1900		1870	1870	1870
Adj Flow Rate, veh/h		253	660	219		111	296	47		290	181	145
Peak Hour Factor		0.97	0.97	0.97		0.97	0.97	0.97		0.97	0.97	0.97
Percent Heavy Veh, %		1	1	1		0	0	0		2	2	2
Cap, veh/h		429	880	292		146	546	86		349	479	360
Arrive On Green		0.24	0.33	0.33		0.08	0.18	0.18		0.20	0.25	0.25
Sat Flow, veh/h		1795	2635	874		1810	3111	487		1781	1921	1444
Grp Volume(v), veh/h		253	449	430		111	170	173		290	167	159
Grp Sat Flow(s), veh/h/ln		1795	1791	1718		1810	1805	1793		1781	1777	1588
Q Serve(g_s), s		8.4	14.9	15.0		4.0	5.8	5.9		10.5	5.2	5.6
Cycle Q Clear(g_c), s		8.4	14.9	15.0		4.0	5.8	5.9		10.5	5.2	5.6
Prop In Lane		1.00		0.51		1.00		0.27		1.00		0.91
Lane Grp Cap(c), veh/h		429	598	574		146	317	315		349	443	396
V/C Ratio(X)		0.59	0.75	0.75		0.76	0.54	0.55		0.83	0.38	0.40
Avail Cap(c_a), veh/h		802	1040	997		377	618	614		838	913	815
HCM Platoon Ratio		1.00	1.00	1.00		1.00	1.00	1.00		1.00	1.00	1.00
Upstream Filter(I)		1.00	1.00	1.00		1.00	1.00	1.00		1.00	1.00	1.00
Uniform Delay (d), s/veh		22.6	19.9	19.9		30.2	25.2	25.3		26.0	20.9	21.1
Incr Delay (d2), s/veh		1.6	2.3	2.4		9.4	1.7	1.8		5.2	0.5	0.7
Initial Q Delay(d3),s/veh		0.0	0.0	0.0		0.0	0.0	0.0		0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln		6.3	10.1	9.8		3.7	4.5	4.6		8.2	3.8	3.7
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh		24.2	22.2	22.3		39.7	26.9	27.1		31.1	21.4	21.7
LnGrp LOS		C	C	C		D	C	C		C	C	C
Approach Vol, veh/h			1132				454				616	
Approach Delay, s/veh			22.7				30.1				26.1	
Approach LOS			C				C				C	
Timer - Assigned Phs	1	2	3	4	5	6	7	8				
Phs Duration (G+Y+Rc), s	10.1	21.2	9.4	26.4	17.6	13.7	20.1	15.8				
Change Period (Y+Rc), s	4.0	4.5	4.0	4.0	4.5	4.5	4.0	4.0				
Max Green Setting (Gmax), s	16.0	34.5	14.0	39.0	31.6	18.4	30.0	23.0				
Max Q Clear Time (g_c+I1), s	6.6	7.6	6.0	17.0	12.5	6.5	10.4	7.9				
Green Ext Time (p_c), s	0.2	1.1	0.2	4.4	0.7	0.6	0.8	1.3				
Intersection Summary												
HCM 6th Ctrl Delay			26.1									
HCM 6th LOS			C									
Notes												
User approved pedestrian interval to be less than phase max green.												
User approved ignoring U-Turning movement.												

Existing PM Peak hour  
with Project

Synchro 10 Report  
Page 3

HCM 6th Signalized Intersection Summary  
 13: Harlan & Lathrop Rd

11-13-2019



Movement	SBL	SBT	SBR
Lane Configurations	↙	↑↓	↘
Traffic Volume (veh/h)	118	150	104
Future Volume (veh/h)	118	150	104
Initial Q (Qb), veh	0	0	0
Ped-Bike Adj(A_pbT)	1.00		0.96
Parking Bus, Adj	1.00	1.00	1.00
Work Zone On Approach		No	
Adj Sat Flow, veh/h/ln	1841	1870	1870
Adj Flow Rate, veh/h	122	155	81
Peak Hour Factor	0.97	0.97	0.97
Percent Heavy Veh, %	4	2	2
Cap, veh/h	159	311	153
Arrive On Green	0.09	0.14	0.14
Sat Flow, veh/h	1753	2276	1117
Grp Volume(v), veh/h	122	119	117
Grp Sat Flow(s), veh/h/ln	1753	1777	1616
Q Serve(g_s), s	4.6	4.2	4.5
Cycle Q Clear(g_c), s	4.6	4.2	4.5
Prop In Lane	1.00		0.69
Lane Grp Cap(c), veh/h	159	243	221
V/C Ratio(X)	0.77	0.49	0.53
Avail Cap(c_a), veh/h	418	487	443
HCM Platoon Ratio	1.00	1.00	1.00
Upstream Filter(l)	1.00	1.00	1.00
Uniform Delay (d), s/veh	29.9	26.8	27.0
Incr Delay (d2), s/veh	9.0	1.5	2.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln	4.0	3.2	3.2
Unsig. Movement Delay, s/veh			
LnGrp Delay(d),s/veh	38.9	28.4	29.0
LnGrp LOS	D	C	C
Approach Vol, veh/h		358	
Approach Delay, s/veh		32.1	
Approach LOS		C	
Timer Assigned Phst			

Intersection						
Int Delay, s/veh	2.6					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	↔		↔	↑↑	↔	
Traffic Vol, veh/h	2	128	27	256	173	23
Future Vol, veh/h	2	128	27	256	173	23
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	75	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	84	84	84	84	84	84
Heavy Vehicles, %	0	5	0	4	6	2
Mvmt Flow	2	152	32	305	206	27

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	437	220	233	0	-	0
Stage 1	220	-	-	-	-	-
Stage 2	217	-	-	-	-	-
Critical Hdwy	6.6	6.275	4.1	-	-	-
Critical Hdwy Stg 1	5.4	-	-	-	-	-
Critical Hdwy Stg 2	5.8	-	-	-	-	-
Follow-up Hdwy	3.53	3.3475	2.2	-	-	-
Pot Cap-1 Maneuver	567	810	1346	-	-	-
Stage 1	821	-	-	-	-	-
Stage 2	804	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	553	810	1346	-	-	-
Mov Cap-2 Maneuver	553	-	-	-	-	-
Stage 1	801	-	-	-	-	-
Stage 2	804	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	10.5	0.7	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1346	-	804	-	-
HCM Lane V/C Ratio	0.024	-	0.192	-	-
HCM Control Delay (s)	7.7	-	10.5	-	-
HCM Lane LOS	A	-	B	-	-
HCM 95th %tile Q(veh)	0.1	-	0.7	-	-

HCM 6th Signalized Intersection Summary  
 11: Spartan Way/Lathrop Rd & SB Offramp

11-13-2019



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↑↑↑		↑	↑						↕	
Traffic Volume (veh/h)	0	611	204	433	641	0	0	0	0	288	4	122
Future Volume (veh/h)	0	611	204	433	641	0	0	0	0	288	4	122
Initial Q (Qb), veh	0	0	0	0	0	0				0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00				1.00		0.93
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00				1.00	1.00	1.00
Work Zone On Approach		No			No						No	
Adj Sat Flow, veh/h/ln	0	1900	1900	1826	1885	0				1900	1900	1900
Adj Flow Rate, veh/h	0	754	252	535	791	0				356	5	95
Peak Hour Factor	0.81	0.81	0.81	0.81	0.81	0.81				0.81	0.81	0.81
Percent Heavy Veh, %	0	0	0	5	1	0				0	0	0
Cap, veh/h	0	944	312	570	1164	0				380	5	102
Arrive On Green	0.00	0.25	0.25	0.11	0.20	0.00				0.28	0.28	0.28
Sat Flow, veh/h	0	4025	1275	1739	1885	0				1356	19	362
Grp Volume(v), veh/h	0	676	330	535	791	0				456	0	0
Grp Sat Flow(s),veh/h/ln	0	1729	1671	1739	1885	0				1737	0	0
Q Serve(g_s), s	0.0	16.5	16.7	27.5	34.9	0.0				23.0	0.0	0.0
Cycle Q Clear(g_c), s	0.0	16.5	16.7	27.5	34.9	0.0				23.0	0.0	0.0
Prop In Lane	0.00		0.76	1.00		0.00				0.78		0.21
Lane Grp Cap(c), veh/h	0	847	409	570	1164	0				487	0	0
V/C Ratio(X)	0.00	0.80	0.81	0.94	0.68	0.00				0.94	0.00	0.00
Avail Cap(c_a), veh/h	0	847	409	580	1164	0				568	0	0
HCM Platoon Ratio	1.00	1.00	1.00	0.33	0.33	1.00				1.00	1.00	1.00
Upstream Filter(I)	0.00	1.00	1.00	0.33	0.33	0.00				1.00	0.00	0.00
Uniform Delay (d), s/veh	0.0	31.9	32.0	39.2	27.6	0.0				31.6	0.0	0.0
Incr Delay (d2), s/veh	0.0	7.7	15.6	10.0	1.1	0.0				20.2	0.0	0.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0				0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln	0.0	12.1	13.1	17.8	21.7	0.0				17.7	0.0	0.0
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	0.0	39.6	47.5	49.2	28.7	0.0				51.8	0.0	0.0
LnGrp LOS	A	D	D	D	C	A				D	A	A
Approach Vol, veh/h		1006			1326						456	
Approach Delay, s/veh		42.2			37.0						51.8	
Approach LOS		D			D						D	
Timer Assigned Phs	1	2		4		6						
Phs Duration (G+Y+Rc), s	33.5	26.7		29.8		60.2						
Change Period (Y+Rc), s	4.0	4.6		4.6		4.6						
Max Green Setting (Gmax), s	30.0	17.4		29.4		51.4						
Max Q Clear Time (g_c+I1), s	29.5	18.7		25.0		36.9						
Green Ext Time (p_c), s	0.0	0.0		0.2		2.6						

Intersection Summary

HCM 6th Ctrl Delay 41.3

HCM 6th LOS D

Notes

User approved pedestrian interval to be less than phase max green.

HCM 6th Signalized Intersection Summary  
 12: NB Offramp & Lathrop Rd

11-13-2019



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↖	↗		↖	↗			↕				
Traffic Volume (veh/h)	141	757	0	0	854	364	220	4	229	0	0	0
Future Volume (veh/h)	141	757	0	0	854	364	220	4	229	0	0	0
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0			
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		0.97	1.00		0.96			
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00			
Work Zone On Approach	No				No				No			
Adj Sat Flow, veh/h/ln	1841	1870	0	0	1856	1856	1900	1900	1900			
Adj Flow Rate, veh/h	166	891	0	0	1005	428	259	5	122			
Peak Hour Factor	0.85	0.85	0.83	0.83	0.85	0.85	0.85	0.85	0.85			
Percent Heavy Veh, %	4	2	0	0	3	3	0	0	0			
Cap, veh/h	231	2325	0	0	1132	473	281	5	132			
Arrive On Green	0.04	0.22	0.00	0.00	0.47	0.47	0.24	0.24	0.24			
Sat Flow, veh/h	1753	3647	0	0	2495	1004	1153	22	543			
Grp Volume(v), veh/h	166	891	0	0	732	701	386	0	0			
Grp Sat Flow(s),veh/h/ln	1753	1777	0	0	1763	1643	1718	0	0			
Q Serve(g_s), s	8.4	19.3	0.0	0.0	33.8	35.4	19.7	0.0	0.0			
Cycle Q Clear(g_c), s	8.4	19.3	0.0	0.0	33.8	35.4	19.7	0.0	0.0			
Prop In Lane	1.00		0.00	0.00		0.61	0.67		0.32			
Lane Grp Cap(c), veh/h	231	2325	0	0	830	774	419	0	0			
V/C Ratio(X)	0.72	0.38	0.00	0.00	0.88	0.91	0.92	0.00	0.00			
Avail Cap(c_a), veh/h	231	2325	0	0	830	774	542	0	0			
HCM Platoon Ratio	0.33	0.33	1.00	1.00	1.00	1.00	1.00	1.00	1.00			
Upstream Filter(I)	0.30	0.30	0.00	0.00	1.00	1.00	1.00	0.00	0.00			
Uniform Delay (d), s/veh	41.4	19.8	0.0	0.0	21.5	21.9	33.2	0.0	0.0			
Incr Delay (d2), s/veh	2.8	0.1	0.0	0.0	13.0	16.1	16.3	0.0	0.0			
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0			
%ile BackOfQ(95%),veh/ln	5.8	11.8	0.0	0.0	22.4	22.6	15.0	0.0	0.0			
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	44.2	19.9	0.0	0.0	34.5	38.1	49.5	0.0	0.0			
LnGrp LOS	D	B	A	A	C	D	D	A	A			
Approach Vol, veh/h	1057				1433				386			
Approach Delay, s/veh	23.7				36.3				49.5			
Approach LOS	C				D				D			
Timer - Assigned Phs	2				5		6		8			
Phs Duration (G+Y+Rc), s	63.5				16.5		47.0		26.5			
Change Period (Y+Rc), s	4.6				4.6		* 4.6		4.6			
Max Green Setting (Gmax), s	52.4				6.0		* 42		28.4			
Max Q Clear Time (g_c+I1), s	21.3				10.4		37.4		21.7			
Green Ext Time (p_c), s	3.7				0.0		2.7		0.2			

Intersection Summary

HCM 6th Ctrl Delay 33.4  
 HCM 6th LOS C

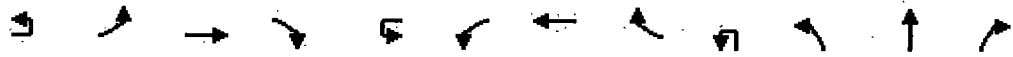
Notes

- User approved pedestrian interval to be less than phase max green.
- \* HCM 6th computational engine requires equal clearance times for the phases crossing the barrier.



HCM 6th Signalized Intersection Summary  
 13: Harlan Rd & Lathrop Rd

11-13-2019



Movement	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR
Lane Configurations		↔	↕			↕	↕			↔	↕	
Traffic Volume (veh/h)	85	182	476	163	3	88	620	57	5	230	109	56
Future Volume (veh/h)	85	182	476	163	3	88	620	57	5	230	109	56
Initial Q (Qb), veh		0	0	0		0	0	0		0	0	0
Ped-Bike Adj(A_pbT)		1.00		0.97		1.00		0.97		1.00		0.97
Parking Bus, Adj		1.00	1.00	1.00		1.00	1.00	1.00		1.00	1.00	1.00
Work Zone On Approach		No				No				No		
Adj Sat Flow, veh/h/ln		1841	1870	1870		1885	1870	1870		1841	1885	1885
Adj Flow Rate, veh/h		194	506	173		94	660	61		245	116	60
Peak Hour Factor		0.94	0.94	0.94		0.94	0.94	0.94		0.94	0.94	0.94
Percent Heavy Veh, %		4	2	2		1	2	2		4	1	1
Cap, veh/h		250	898	305		123	896	83		298	658	317
Arrive On Green		0.14	0.35	0.35		0.07	0.27	0.27		0.17	0.28	0.28
Sat Flow, veh/h		1753	2582	877		1795	3278	303		1753	2315	1117
Grp Volume(v), veh/h		194	347	332		94	357	364		245	88	88
Grp Sat Flow(s), veh/h/ln		1753	1777	1683		1795	1777	1804		1753	1791	1641
Q Serve(g_s), s		7.0	10.5	10.6		3.4	12.1	12.1		8.9	2.4	2.7
Cycle Q Clear(g_c), s		7.0	10.5	10.6		3.4	12.1	12.1		8.9	2.4	2.7
Prop In Lane		1.00		0.52		1.00		0.17		1.00		0.68
Lane Grp Cap(c), veh/h		250	618	585		123	486	493		298	509	466
V/C Ratio(X)		0.78	0.56	0.57		0.77	0.74	0.74		0.82	0.17	0.19
Avail Cap(c_a), veh/h		1114	1452	1375		299	619	628		570	745	683
HCM Platoon Ratio		1.00	1.00	1.00		1.00	1.00	1.00		1.00	1.00	1.00
Upstream Filter(I)		1.00	1.00	1.00		1.00	1.00	1.00		1.00	1.00	1.00
Uniform Delay (d), s/veh		27.3	17.5	17.5		30.3	21.8	21.8		26.5	17.8	17.9
Incr Delay (d2), s/veh		6.1	1.0	1.0		11.3	3.8	3.8		5.6	0.2	0.2
Initial Q Delay(d3),s/veh		0.0	0.0	0.0		0.0	0.0	0.0		0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln		5.8	7.3	7.0		3.2	8.9	9.0		7.1	1.7	1.8
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh		33.4	18.4	18.6		41.5	25.6	25.6		32.1	18.0	18.1
LnGrp LOS		C	B	B		D	C	C		C	B	B
Approach Vol, veh/h			873				815				421	
Approach Delay, s/veh			21.8				27.4				26.2	
Approach LOS			C				C				C	

Timing Parameters	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR
Phase Duration (G+Y+Rc), s	7.3	23.3	8.5	27.0	15.7	14.8	13.4	22.1				
Change Period (Y+Rc), s	4.0	4.5	4.0	4.0	4.5	4.5	4.0	4.0				
Max Green Setting (Gmax), s	11.0	27.5	11.0	54.0	21.5	16.5	42.0	23.0				
Max Q Clear Time (g_c+1), s	4.2	4.7	5.4	12.6	10.9	7.8	9.0	14.1				
Green Ext Time (p_c), s	0.1	0.5	0.1	3.5	0.5	0.5	0.7	2.3				

Intersection Summary												
HCM 6th Ctrl Delay	25.5											
HCM 6th LOS	C											

Notes:  
 User approved pedestrian interval to be less than phase max green.  
 User approved ignoring U-Turning movement.

HCM 6th Signalized Intersection Summary  
 13: Harlan Rd & Lathrop Rd

11-13-2019



Movement	SBL	SBT	SBR
Lane Configurations	↖	↕	↗
Traffic Volume (veh/h)	55	85	158
Future Volume (veh/h)	55	85	158
Initial Q (Qb), veh	0	0	0
Ped-Bike Adj(A_pbT)	1.00		0.95
Parking Bus, Adj	1.00	1.00	1.00
Work Zone On Approach		No	
Adj Sat Flow, veh/h/ln	1841	1841	1841
Adj Flow Rate, veh/h	59	90	141
Peak Hour Factor	0.94	0.94	0.94
Percent Heavy Veh, %	4	4	4
Cap, veh/h	88	274	233
Arrive On Green	0.05	0.16	0.16
Sat Flow, veh/h	1753	1749	1487
Grp Volume(v), veh/h	59	90	141
Grp Sat Flow(s), veh/h/ln	1753	1749	1487
Q Serve(g_s), s	2.2	3.0	5.8
Cycle Q Clear(g_c), s	2.2	3.0	5.8
Prop In Lane	1.00		1.00
Lane Grp Cap(c), veh/h	88	274	233
V/C Ratio(X)	0.67	0.33	0.61
Avail Cap(c_a), veh/h	292	437	371
HCM Platoon Ratio	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00
Uniform Delay (d), s/veh	30.9	24.8	26.0
Incr Delay (d2), s/veh	10.3	0.7	2.5
Initial Q Delay(d3),s/veh	0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln	2.0	2.2	3.8
Unsig. Movement Delay, s/veh			
LnGrp Delay(d),s/veh	41.1	25.5	28.5
LnGrp LOS	D	C	C
Approach Vol, veh/h		290	
Approach Delay, s/veh		30.1	
Approach LOS		C	
Timer: Assigned Phs			

HCM 6th TWSC  
7: Harlan & Old Harlan

11-13-2019

Intersection

Int Delay, s/veh 2.2

Movement EBL EBR NBL NBT SBT SBR

Lane Configurations

Traffic Vol, veh/h 21 130 38 449 291 45

Future Vol, veh/h 21 130 38 449 291 45

Conflicting Peds, #/hr 0 0 0 0 0 0

Sign Control Stop Stop Free Free Free Free

RT Channelized - None - None - None

Storage Length 0 - 75 - - -

Veh in Median Storage, # 0 - - 0 0 -

Grade, % 0 - - 0 0 -

Peak Hour Factor 97 97 97 97 97 97

Heavy Vehicles, % 2 2 2 4 4 2

Mvmt Flow 22 134 39 463 300 46

Major/Minor Minor2 Major1 Major2

Conflicting Flow All 633 323 346 0 - 0

Stage 1 323 - - - - -

Stage 2 310 - - - - -

Critical Hdwy 6.63 6.23 4.13 - - -

Critical Hdwy Stg 1 5.43 - - - - -

Critical Hdwy Stg 2 5.83 - - - - -

Follow-up Hdwy 3.519 3.319 2.219 - - -

Pot Cap-1 Maneuver 428 717 1211 - - -

Stage 1 733 - - - - -

Stage 2 718 - - - - -

Platoon blocked, % - - -

Mov Cap-1 Maneuver 414 717 1211 - - -

Mov Cap-2 Maneuver 414 - - - - -

Stage 1 710 - - - - -

Stage 2 718 - - - - -

Approach EB NB SB

HCM Control Delay, s 12.3 0.6 0

HCM LOS B

Minor Lane/Major Mvmt NBL NBT EBL1 SBT SBR

Capacity (veh/h) 1211 - 651 - -

HCM Lane V/C Ratio 0.032 - 0.239 - -

HCM Control Delay (s) 8.1 - 12.3 - -

HCM Lane LOS A - B - -

HCM 95th %tile Q(veh) 0.1 - 0.9 - -

HCM 6th Signalized Intersection Summary  
 11: Spartan Way/Lathrop Rd & SB Offramp

11-13-2019



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↑↑↑		↙	↑						↕	
Traffic Volume (veh/h)	0	663	200	283	769	0	0	0	0	486	8	226
Future Volume (veh/h)	0	663	200	283	769	0	0	0	0	486	8	226
Initial Q (Qb), veh	0	0	0	0	0	0				0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00				1.00		0.96
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00				1.00	1.00	1.00
Work Zone On Approach		No			No						No	
Adj Sat Flow, veh/h/ln	0	1900	1900	1781	1870	0				1900	1900	1900
Adj Flow Rate, veh/h	0	729	220	311	845	0				534	9	199
Peak Hour Factor	0.91	0.91	0.91	0.91	0.91	0.91				0.91	0.91	0.91
Percent Heavy Veh, %	0	0	0	8	2	0				0	0	0
Cap, veh/h	0	942	281	487	1078	0				531	9	198
Arrive On Green	0.00	0.24	0.24	0.29	0.58	0.00				0.43	0.43	0.43
Sat Flow, veh/h	0	4134	1182	1697	1870	0				1244	21	464
Grp Volume(v), veh/h	0	635	314	311	845	0				742	0	0
Grp Sat Flow(s),veh/h/ln	0	1729	1687	1697	1870	0				1729	0	0
Q Serve(g_s), s	0.0	15.4	15.7	14.4	31.4	0.0				38.4	0.0	0.0
Cycle Q Clear(g_c), s	0.0	15.4	15.7	14.4	31.4	0.0				38.4	0.0	0.0
Prop In Lane	0.00		0.70	1.00		0.00				0.72		0.27
Lane Grp Cap(c), veh/h	0	822	401	487	1078	0				738	0	0
V/C Ratio(X)	0.00	0.77	0.78	0.64	0.78	0.00				1.01	0.00	0.00
Avail Cap(c_a), veh/h	0	822	401	487	1078	0				738	0	0
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00				1.00	1.00	1.00
Upstream Filter(I)	0.00	1.00	1.00	0.17	0.17	0.00				1.00	0.00	0.00
Uniform Delay (d), s/veh	0.0	32.0	32.1	28.0	14.7	0.0				25.8	0.0	0.0
Incr Delay (d2), s/veh	0.0	6.9	14.1	0.4	1.0	0.0				34.5	0.0	0.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0				0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln	0.0	11.4	12.4	7.3	14.5	0.0				29.5	0.0	0.0
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	0.0	39.0	46.3	28.4	15.8	0.0				60.3	0.0	0.0
LnGrp LOS	A	D	D	C	B	A				F	A	A
Approach Vol, veh/h		949			1156						742	
Approach Delay, s/veh		41.4			19.2						60.3	
Approach LOS		D			B						E	
Timer - Assigned Phs	1	2		4		6						
Phs Duration (G+Y+Rc), s	30.5	26.0		43.0		56.5						
Change Period (Y+Rc), s	4.6	*4.6		4.6		4.6						
Max Green Setting (Gmax), s	17.0	*21		38.4		42.4						
Max Q Clear Time (g_c+I1), s	16.4	17.7		40.4		33.4						
Green Ext Time (p_c), s	0.0	1.4		0.0		2.4						

Intersection Summary		
HCM 6th Ctrl Delay		37.3
HCM 6th LOS		D

Notes  
 User approved pedestrian interval to be less than phase max green.  
 \* HCM 6th computational engine requires equal clearance times for the phases crossing the barrier.

HCM 6th Signalized Intersection Summary  
 12: NB Offramp & Lathrop Rd

11-13-2019



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↖	↗			↖	↗		↖	↗			
Traffic Volume (veh/h)	184	965	0	0	774	366	278	7	524	0	0	0
Future Volume (veh/h)	184	965	0	0	774	366	278	7	524	0	0	0
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0			
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		0.98	1.00		0.98			
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00			
Work Zone On Approach		No			No			No				
Adj Sat Flow, veh/h/ln	1856	1885	0	0	1885	1885	1900	1900	1900			
Adj Flow Rate, veh/h	194	1016	0	0	815	385	293	7	420			
Peak Hour Factor	0.95	0.95	0.95	0.83	0.95	0.95	0.95	0.95	0.95			
Percent Heavy Veh, %	3	1	0	0	1	1	0	0	0			
Cap, veh/h	202	2488	0	0	1260	592	268	6	385			
Arrive On Green	0.11	0.69	0.00	0.00	0.54	0.54	0.40	0.40	0.40			
Sat Flow, veh/h	1767	3676	0	0	2441	1103	678	16	972			
Grp Volume(v), veh/h	194	1016	0	0	621	579	720	0	0			
Grp Sat Flow(s),veh/h/ln	1767	1791	0	0	1791	1658	1667	0	0			
Q Serve(g_s), s	10.1	11.1	0.0	0.0	22.6	22.8	36.4	0.0	0.0			
Cycle Q Clear(g_c), s	10.1	11.1	0.0	0.0	22.6	22.8	36.4	0.0	0.0			
Prop In Lane	1.00		0.00	0.00		0.67	0.41		0.58			
Lane Grp Cap(c), veh/h	202	2488	0	0	962	890	660	0	0			
V/C Ratio(X)	0.96	0.41	0.00	0.00	0.65	0.65	1.09	0.00	0.00			
Avail Cap(c_a), veh/h	202	2488	0	0	962	890	660	0	0			
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00			
Upstream Filter(l)	0.54	0.54	0.00	0.00	1.00	1.00	1.00	0.00	0.00			
Uniform Delay (d), s/veh	40.6	6.0	0.0	0.0	15.1	15.2	27.8	0.0	0.0			
Incr Delay (d2), s/veh	36.3	0.3	0.0	0.0	3.3	3.7	62.6	0.0	0.0			
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0			
%ile BackOfQ(95%),veh/ln	9.4	5.8	0.0	0.0	14.3	13.7	35.4	0.0	0.0			
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	76.8	6.3	0.0	0.0	18.4	18.8	90.4	0.0	0.0			
LnGrp LOS	E	A	A	A	B	B	F	A	A			
Approach Vol, veh/h		1210			1200			720				
Approach Delay, s/veh		17.6			18.6			90.4				
Approach LOS		B			B			F				
Timer- Assigned Phs		2			5	6		8				
Phs Duration (G+Y+Rc), s		69.0			14.5	54.5		41.0				
Change Period (Y+Rc), s		4.6			4.0	4.6		4.6				
Max Green Setting (Gmax), s		44.4			10.5	32.4		36.4				
Max Q Clear Time (g_c+I1), s		13.1			12.1	24.8		38.4				
Green Ext Time (p_c), s		4.3			0.0	2.9		0.0				

Intersection Summary

HCM 6th Ctrl Delay 34.7

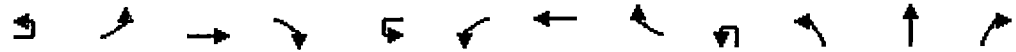
HCM 6th LOS C

Notes

User approved pedestrian interval to be less than phase max green.

HCM 6th Signalized Intersection Summary  
 13: Harlan & Lathrop Rd

11-13-2019



Movement	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR
Lane Configurations												
Traffic Volume (veh/h)	107	268	788	240	2	111	549	59	9	285	194	146
Future Volume (veh/h)	107	268	788	240	2	111	549	59	9	285	194	146
Initial Q (Qb), veh		0	0	0		0	0	0		0	0	0
Ped-Bike Adj(A_pbT)		1.00		0.99		1.00		0.97		1.00		0.99
Parking Bus, Adj		1.00	1.00	1.00		1.00	1.00	1.00		1.00	1.00	1.00
Work Zone On Approach			No				No				No	
Adj Sat Flow, veh/h/ln		1885	1885	1885		1900	1900	1900		1870	1870	1870
Adj Flow Rate, veh/h		276	812	247		114	566	51		294	200	151
Peak Hour Factor		0.97	0.97	0.97		0.97	0.97	0.97		0.97	0.97	0.97
Percent Heavy Veh, %		1	1	1		0	0	0		2	2	2
Cap, veh/h		392	988	300		148	767	69		346	468	334
Arrive On Green		0.22	0.37	0.37		0.08	0.23	0.23		0.19	0.24	0.24
Sat Flow, veh/h		1795	2699	821		1810	3340	300		1781	1967	1404
Grp Volume(v), veh/h		276	539	520		114	305	312		294	180	171
Grp Sat Flow(s),veh/h/ln		1795	1791	1729		1810	1805	1836		1781	1777	1594
Q Serve(g_s), s		10.8	20.7	20.7		4.7	11.9	12.0		12.1	6.5	7.0
Cycle Q Clear(g_c), s		10.8	20.7	20.7		4.7	11.9	12.0		12.1	6.5	7.0
Prop In Lane		1.00		0.47		1.00		0.16		1.00		0.88
Lane Grp Cap(c), veh/h		392	655	632		148	414	421		346	423	380
V/C Ratio(X)		0.70	0.82	0.82		0.77	0.74	0.74		0.85	0.42	0.45
Avail Cap(c_a), veh/h		710	921	889		334	547	557		742	808	725
HCM Platoon Ratio		1.00	1.00	1.00		1.00	1.00	1.00		1.00	1.00	1.00
Upstream Filter(I)		1.00	1.00	1.00		1.00	1.00	1.00		1.00	1.00	1.00
Uniform Delay (d), s/veh		27.4	21.8	21.8		34.1	27.1	27.1		29.5	24.5	24.7
Incr Delay (d2), s/veh		2.8	4.6	4.8		9.6	4.1	4.1		5.8	0.7	0.8
Initial Q Delay(d3),s/veh		0.0	0.0	0.0		0.0	0.0	0.0		0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln		8.3	13.7	13.4		4.3	9.1	9.3		9.3	4.9	4.7
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh		30.2	26.4	26.6		43.7	31.1	31.2		35.3	25.2	25.5
LnGrp LOS		C	C	C		D	C	C		D	C	C
Approach Vol, veh/h			1335				731				645	
Approach Delay, s/veh			27.3				33.1				29.9	
Approach LOS			C				C				C	
Timer - Assigned Phs	1	2	3	4	5	6	7	8				
Phs Duration (G+Y+Rc), s	11.3	22.6	10.2	31.7	19.2	14.6	20.6	21.4				
Change Period (Y+Rc), s	4.0	4.5	4.0	4.0	4.5	4.5	4.0	4.0				
Max Green Setting (Gmax), s	16.0	34.5	14.0	39.0	31.6	18.4	30.0	23.0				
Max Q Clear Time (g_c+I1), s	7.6	9.0	6.7	22.7	14.1	7.4	12.8	14.0				
Green Ext Time (p_c), s	0.2	1.2	0.2	5.0	0.7	0.6	0.8	2.0				

Intersection Summary

HCM 6th Ctrl Delay	30.3
HCM 6th LOS	C

Notes

- User approved pedestrian interval to be less than phase max green.
- User approved ignoring U-Turning movement.

HCM 6th Signalized Intersection Summary  
 13: Harlan & Lathrop Rd

11-13-2019



Movement	SBL	SBT	SBR
Lane Configurations	↔	↑↓	
Traffic Volume (veh/h)	128	156	110
Future Volume (veh/h)	128	156	110
Initial Q (Qb), veh	0	0	0
Ped-Bike Adj(A_pbT)	1.00		0.96
Parking Bus, Adj	1.00	1.00	1.00
Work Zone On Approach		No	
Adj Sat Flow, veh/h/ln	1841	1870	1870
Adj Flow Rate, veh/h	132	161	87
Peak Hour Factor	0.97	0.97	0.97
Percent Heavy Veh, %	4	2	2
Cap, veh/h	169	300	152
Arrive On Green	0.10	0.13	0.13
Sat Flow, veh/h	1753	2247	1140
Grp Volume(v), veh/h	132	125	123
Grp Sat Flow(s),veh/h/ln	1753	1777	1610
Q Serve(g_s), s	5.6	5.0	5.4
Cycle Q Clear(g_c), s	5.6	5.0	5.4
Prop In Lane	1.00		0.71
Lane Grp Cap(c), veh/h	169	237	215
V/C Ratio(X)	0.78	0.53	0.57
Avail Cap(c_a), veh/h	370	431	391
HCM Platoon Ratio	1.00	1.00	1.00
Upstream Filter(l)	1.00	1.00	1.00
Uniform Delay (d), s/veh	33.5	30.6	30.8
Incr Delay (d2), s/veh	9.0	1.8	2.4
Initial Q Delay(d3),s/veh	0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln	4.9	3.9	3.9
Unsig. Movement Delay, s/veh			
LnGrp Delay(d),s/veh	42.5	32.4	33.2
LnGrp LOS	D	C	C
Approach Vol, veh/h		380	
Approach Delay, s/veh		36.2	
Approach LOS		D	
Timer Assigned Phs			

## Appendix B

TABLE B1

**MAXIMUM QUEUE DEMAND on the WESTBOUND APPROACH  
to the I-5 SOUTHBOUND ONRAMP**

**Intersection: Lathrop Rd/Southbound I-5 Off and On Ramps**

**Approach Lane: Westbound Lathrop Rd Left Turn Lane**

**Intersection Control: Signal**

**Date: 03/10/2019**

**Day: Thursday**

Westbound Left Turn		
7:00-9:00 AM	Storage (in Feet)	Queue (in feet)
07:00 AM -07:15 AM	420'	120
07:15 AM-07:30 AM	420'	140
07:30 AM-07:45 AM	420'	160
07:45 AM-08:00 AM	420'	120
08:00 AM-08:15 AM	420'	160
08:15 AM-08:30 AM	420'	120
08:30 AM-08:45 AM	420'	180
08:45 AM-09:00 AM	420'	240

Westbound Left Turn		
3:00-6:00 PM	Storage (in Feet)	Queue (in feet)
03:00 PM -03:15 PM	420'	80
03:15 PM-03:30 PM	420'	260
03:30 PM-03:45 PM	420'	100
03:45 PM-04:00 PM	420'	140
04:00 PM-04:15 PM	420'	160
04:15 PM-04:30 PM	420'	160
04:30 PM-04:45 PM	420'	80
04:45 PM-05:00 PM	420'	120
05:00 PM-05:15 PM	420'	220
05:15 PM-05:30 PM	420'	220
05:30 PM-05:45 PM	420'	240
05:45 PM-06:00 PM	420'	120

	= AM Peak Hour
	= PM Peak Hour
	= Demand exceeds storage

Source: Crane Transportation Group



## Appendix B

**TABLE B2  
MAXIMUM QUEUE DEMAND on the NORTHBOUND OLD HARLAN RD  
APPROACH to LATHROP RD**

**Intersection: Old Harlan Rd/Lathrop Rd**  
**Approach Lane: Northbound Old Harlan Rd**  
**Intersection Control: Stop Sign**  
**Date: 03/10/2019**  
**Day: Thursday**

Westbound Left Turn		
7:00-9:00 AM	Storage (in Feet)	Queue (in feet)
07:00 AM -07:15 AM	NA	20
07:15 AM-07:30 AM		40
07:30 AM-07:45 AM		20
07:45 AM-08:00 AM		20
08:00 AM-08:15 AM		20
08:15 AM-08:30 AM		20
08:30 AM-08:45 AM		20
08:45 AM-09:00 AM		20

Westbound Left Turn		
3:00-6:00 PM	Storage (in Feet)	Queue (in feet)
03:00 PM-03:15 PM	NA	20
03:15 PM-03:30 PM		20
03:30 PM-03:45 PM		20
03:45 PM-04:00 PM		40
04:00 PM-04:15 PM		60
04:15 PM-04:30 PM		40
04:30 PM-04:45 PM		40
04:45 PM-05:00 PM		40
05:00 PM-05:15 PM		20
05:15 PM-05:30 PM		40
05:30 PM-05:45 PM		40
05:45 PM-06:00 PM		20

	= AM Peak Hour
	= PM Peak Hour
	= Demand exceeds storage

Source: Crane Transportation Group

## Appendix B

TABLE B3

### MAXIMUM QUEUE DEMAND on the NORTHBOUND HARLAN RD APPROACH to LATHROP RD

**Intersection:** Harlan Rd/Lathrop Rd  
**Approach Lanes:** Left, through and combined through/right  
**Intersection Control:** Signal  
**Date:** 03/10/2019  
**Day:** Thursday

7:00-9:00 AM	Northbound Left		Northbound Through		Northbound Thru/Right	
	Storage (in feet)	Queue (in feet)	Storage (in feet)	Queue (in feet)	Storage (in feet)	Queue (in feet)
07:00 AM -07:15 AM	235	260	NA	60	NA	40
07:15 AM-07:30 AM		320		320		180
07:30 AM-07:45 AM		300		80		80
07:45 AM-08:00 AM		160		60		20
08:00 AM-08:15 AM		300		60		40
08:15 AM-08:30 AM		260		40		20
08:30 AM-08:45 AM		300		40		120
08:45 AM-09:00 AM		280		60		140

3:00-6:00 PM	Northbound Left		Northbound Through		Northbound Thru/Right	
	Storage (in feet)	Queue (in feet)	Storage (in feet)	Queue (in feet)	Storage (in feet)	Queue (in feet)
03:00 PM -03:15 PM	235	300	NA	200	NA	80
03:15 PM-03:30 PM		340		80		180
03:30 PM-03:45 PM		360		180		260
03:45 PM-04:00 PM		320		260		260
04:00 PM-04:15 PM		340		180		100
04:15 PM-04:30 PM		320		180		160
04:30 PM-04:45 PM		320		160		100
04:45 PM-05:00 PM		300		220		200
05:00 PM-05:15 PM		260		140		200
05:15 PM-05:30 PM		300		240		180
05:30 PM-05:45 PM		300		220		180
05:45 PM-06:00 PM		300		100		80

	= AM Peak Hour
	= PM Peak Hour
	= Demand exceeds storage

Source: Crane Transportation Group

## Appendix B

TABLE B4

### MAXIMUM QUEUE DEMAND on the EASTBOUND LATHROP RD APPROACH to HARLAN RD

**Intersection:** Harlan Rd/Lathrop Rd  
**Approach Lanes:** Left, through and combined through/right  
**Intersection Control:** Signal  
**Date:** 03/10/2019  
**Day:** Thursday

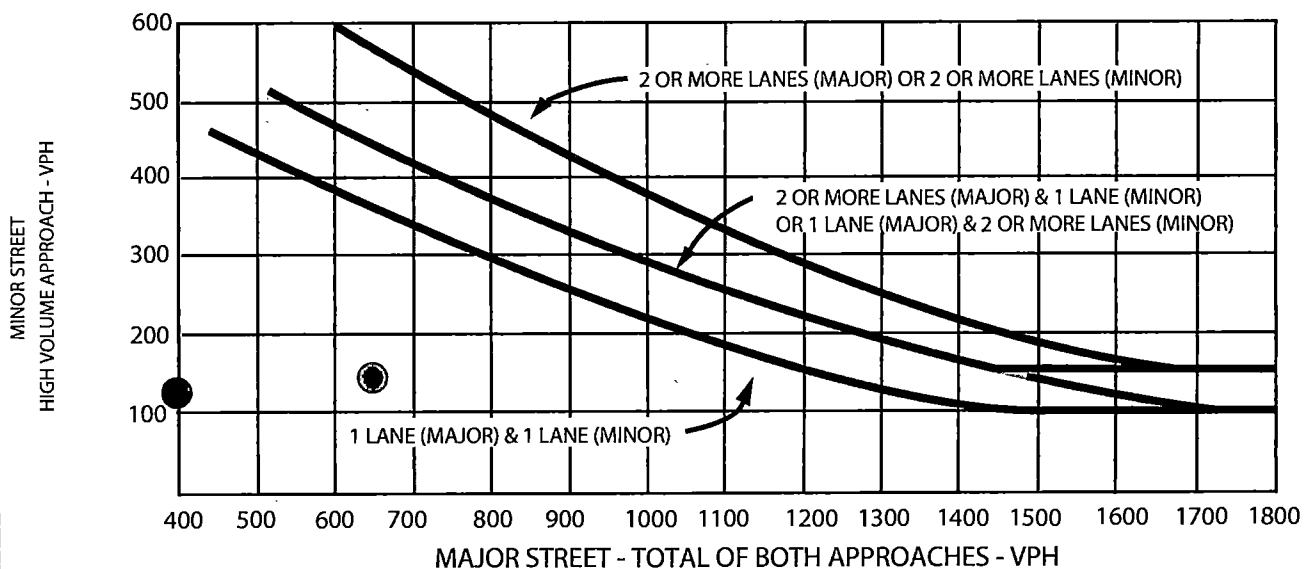
7:00-9:00 AM	Eastbound Left & U-turns		Eastbound Through		Eastbound Thru/Right	
	Storage (in feet)	Queue (in feet)	Storage (in feet)	Queue (in feet)	Storage (in feet)	Queue (in feet)
07:00 AM -07:15 AM	320	220	530	340	200	40
07:15 AM-07:30 AM	320	320	530	180	200	160
07:30 AM-07:45 AM	320	260	530	160	200	140
07:45 AM-08:00 AM	320	220	530	100	200	160
08:00 AM-08:15 AM	320	180	530	140	200	200
08:15 AM-08:30 AM	320	120	530	120	200	140
08:30 AM-08:45 AM	320	220	530	160	200	180
08:45 AM-09:00 AM	320	180	530	140	200	200

3:00-6:00 PM	Eastbound Left & U-turns		Eastbound Through		Eastbound Thru/Right	
	Storage (in feet)	Queue (in feet)	Storage (in feet)	Queue (in feet)	Storage (in feet)	Queue (in feet)
03:00 PM -03:15 PM	320	320	530	360	530	480
03:15 PM-03:30 PM	320	320	530	160	530	260
03:30 PM-03:45 PM	320	320	530	180	530	480
03:45 PM-04:00 PM	320	320	530	360	530	280
04:00 PM-04:15 PM	320	320	530	240	530	260
04:15 PM-04:30 PM	320	340	530	260	530	160
04:30 PM-04:45 PM	320	360	530	360	530	300
04:45 PM-05:00 PM	320	260	530	480	530	400
05:00 PM-05:15 PM	320	320	530	280	530	260
05:15 PM-05:30 PM	320	340	530	420	530	280
05:30 PM-05:45 PM	320	360	530	380	530	320
05:45 PM-06:00 PM	320	220	530	480	530	480

	= AM Peak Hour
	= PM Peak Hour
	= Demand exceeds storage

Source: Crane Transportation Group

**PEAK HOUR VOLUME WARRANT #3  
(Urban Area)**



- Existing AM Peak hour
- Existing PM Peak hour

\* NOTE

150 VPH APPLIES AS THE LOWER THRESHOLD VOLUME FOR A MINOR STREET APPROACH WITH TWO OR MORE LANES AND 100 VPH APPLIES AS THE LOWER THRESHOLD VOLUME FOR A MINOR STREET APPROACHING WITH ONE LANE

Source: Year 2014 Manual on Uniform Traffic Control Devices, Federal Highway Administration



CRANE TRANSPORTATION GROUP

**Appendix C  
PEAK HOUR VOLUME WARRANT #3  
(Urban Area)  
Old Harlan Rd/Harlan Rd**

## **Appendix D**

# **Dutch Brothers Trip Rates**

## Appendix D

### Trip Rates

#### Dutch Brothers Survey Locations near Lathrop versus Institute of Transportation Engineers Trip Generation Manual

Survey Locations	Size of Facility (Square Ft)	AM PEAK HOUR TRIPS				PM PEAK HOUR TRIPS			
		IN		OUT		IN		OUT	
		Trips	Rate/1000 Sq Ft	Trips	Rate/1000 Sq Ft	Trips	Rate/1000 Sq Ft	Trips	Rate/1000 Sq Ft
<b>Stockton</b>	810	63	77.8	57	70.4	31	38.3	39	48.2
<b>Lodi</b>	1500	48	32	51	34	29	19.3	36	24.0
<b>Oakley</b>	295	38	128.8	32	108.5	49	166.1	43	145.8
<b>Average of 3 Survey Locations</b>			79.5		71.0		74.6		72.7
<b>ITE RATE (1) Coffee/Donut Shop + Drive through window <i>with</i> indoor seating</b>	N/A	N/A	45.4	N/A	43.6	N/A	21.7	N/A	21.7
<b>ITE RATE (1) Coffee/Donut Shop + Drive through window <i>without</i> indoor seating</b>	N/A	N/A	168.5	N/A	168.5	N/A	41.7	N/A	41.7

Trip Rates: Dutch Brothers Surveys - Crane Transportation Group  
I.T.E. - Trip Generation Manual 10<sup>th</sup> Edition by the Institute of Transportation Engineers, 2017

Compiled by: Crane Transportation Group

## **Appendix E**

### **Dutch Brothers Drive Through Lane Queue**

#### **Count Summaries**

**(Stockton, Lodi & Oakley)**

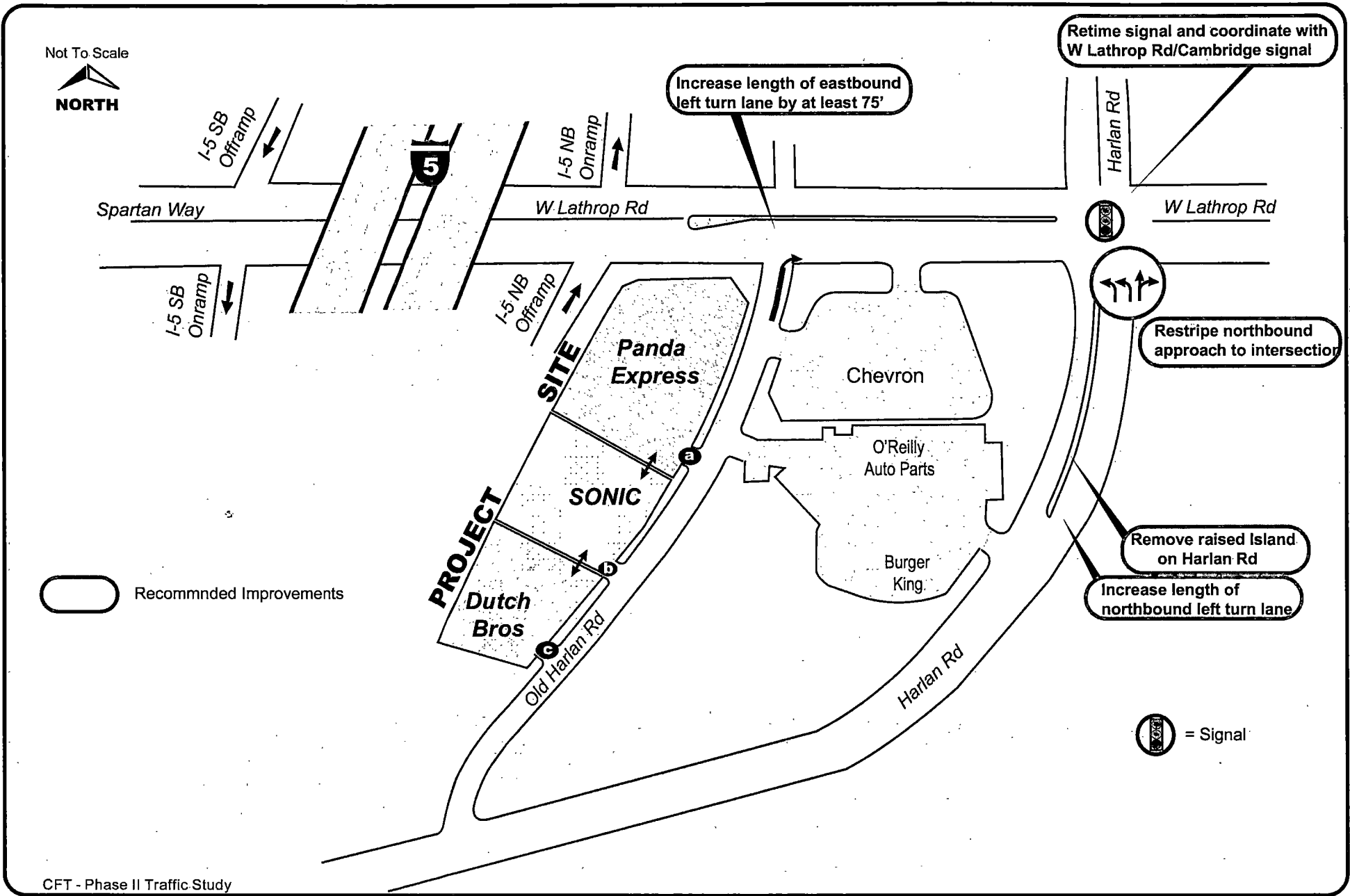
**Appendix E**

**Table E1**  
**Dutch Brothers Queue Comparison**  
**Lodi, Oakley and Stockton AM and PM Peak Periods**  
**Thursday Oct 3, 2019**

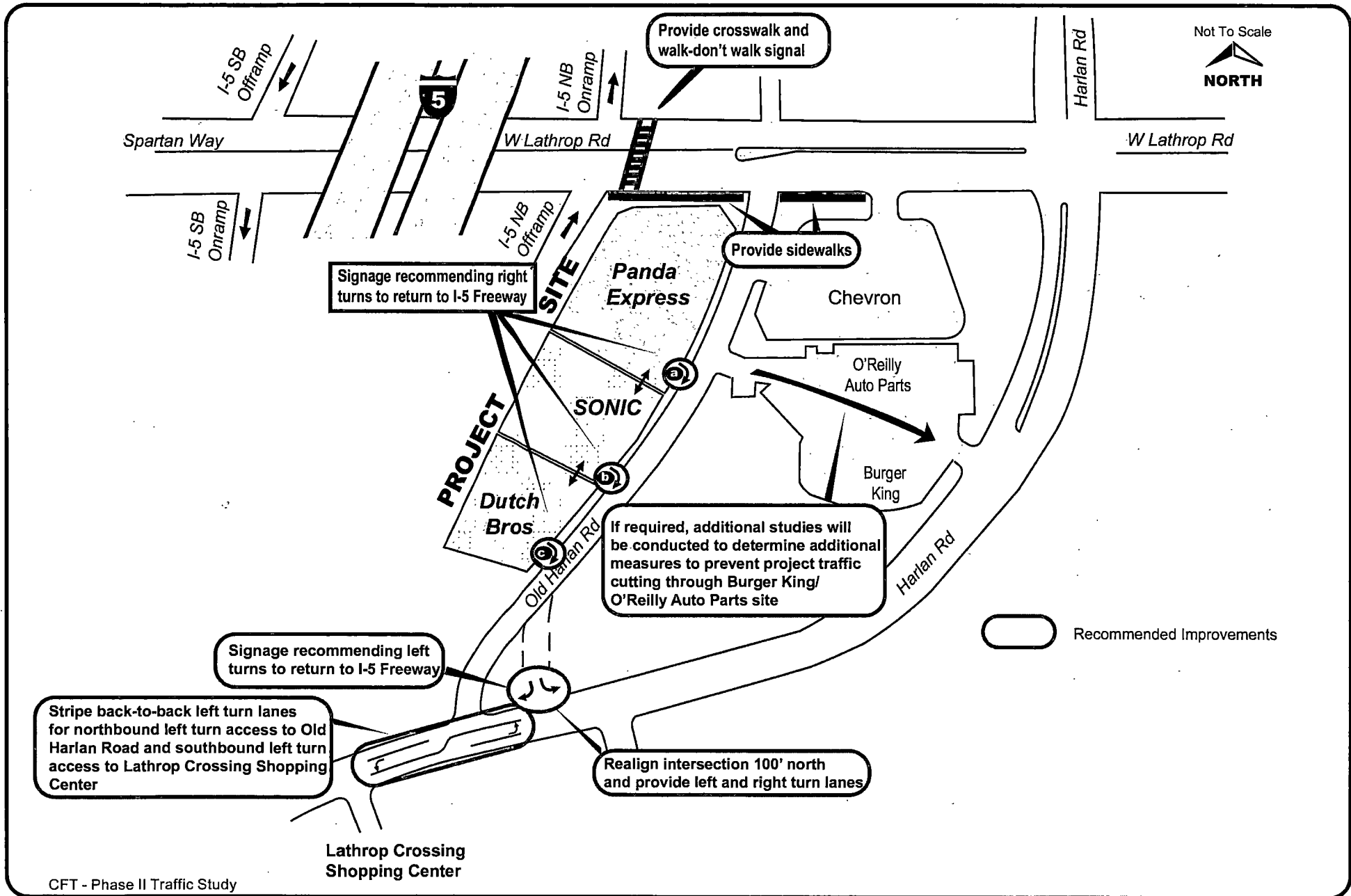
Lodi, CA		Oakley, CA	Stockton, CA		Lodi, CA		Oakley, CA	Stockton, CA	
Time:	Max Queue	Max Queue	1- N/O Side Max Queue	2- S/O Side Max Queue	Time:	Max Queue	Max Queue	1- N/O Side Max Queue	2- S/O Side Max Queue
7:05 AM	2	3	0	3	3:05 PM	2	6	2	2
7:10 AM	3	4	1	2	3:10 PM	2	9	0	3
7:15 AM	2	9	1	3	3:15 PM	1	7	0	3
7:20 AM	1	9	1	2	3:20 PM	2	8	3	2
7:25 AM	1	9	0	1	3:25 PM	3	7	1	2
7:30 AM	3	8	1	3	3:30 PM	2	8	7	3
7:35 AM	2	8	0	4	3:35 PM	3	8	3	3
7:40 AM	2	6	1	4	3:40 PM	5	6	1	2
7:45 AM	1	7	5	8	3:45 PM	4	7	0	2
7:50 AM	2	11	5	8	3:50 PM	4	7	0	6
7:55 AM	2	9	4	9	3:55 PM	2	10	2	4
8:00 AM	1	8	3	6	4:00 PM	2	9	3	1
8:05 AM	1	11	3	9	4:05 PM	3	8	2	6
8:10 AM	1	9	6	7	4:10 PM	1	6	0	3
8:15 AM	1	6	4	8	4:15 PM	2	4	0	0
8:20 AM	0	5	3	9	4:20 PM	1	4	2	0
8:25 AM	0	11	3	9	4:25 PM	3	4	0	0
8:30 AM	2	13	2	7	4:30 PM	2	4	0	3
8:35 AM	2	9	0	6	4:35 PM	2	3	0	2
8:40 AM	1	9	2	8	4:40 PM	3	5	0	3
8:45 AM	1	11	2	8	4:45 PM	2	5	0	2
8:50 AM	2	9	3	8	4:50 PM	2	5	0	2
8:55 AM	3	10	5	7	4:55 PM	2	3	0	2
9:00 AM	1	8	4	6	5:00 PM	6	4	0	0
					5:05 PM	3	2	0	1
					5:10 PM	2	4	0	1
					5:15 PM	3	5	0	2
					5:20 PM	2	7	0	1
					5:25 PM	3	8	3	0
					5:30 PM	2	9	0	1
					5:35 PM	2	7	0	0
					5:40 PM	1	6	0	3
					5:45 PM	2	5	0	1
					5:50 PM	2	7	0	1
					5:55 PM	0	7	0	2
					6:00 PM	0	4	0	1

Source: Crane Transportation Group





**Figure 24**  
**Existing and Cumulative (Year 2022)**  
**Recommended Improvements (without Project)**  
**City Responsibility**



**Figure 25**  
**Existing and Cumulative (Year 2022) + Project**  
**Recommended Improvements**

**Ricardo Caguiat**

---

**From:** sunny@ghaimanagement.com  
**Sent:** Wednesday, March 11, 2020 12:25 PM  
**To:** Ricardo Caguiat; Shelley Burcham  
**Cc:** Mark Meissner; harsh@ghaimanagement.com; David Niskanen; Brad Taylor  
**Subject:** RE: Lathrop - SPR-20-6 - CFT Phase II  
**Attachments:** Ghai Lathrop Review 3 11 20 ltr.pdf; Dunnigan CA Fire Hydrant Access Agmt20160621141909.pdf; 08 07 15 Letter to Jeff Anderson - Comments re Dunnigan Commercial Cente....pdf; Dunnigan- Pilot Travel Plaza - Traffic Comments memo 08112015.pdf; DD1-062615-02.pdf

Ricardo,

Attached is the report from my Traffic engineers study of the traffic study provided by the developer.

I am quite surprised that City officials failed to see portions of the study that actually confirm my worst fears that motorists will actually cut across my parcel.

Please see the highlighted portions of the letter which has the excerpt from the developers study

And what happens when my remnant parcel gets developed?

It is obvious that Developer is kicking the can further down by suggesting surveys to handle the issue post construction and opening of the two QSR's.

That does not make sense to me because at that point what can the City do?

Please circulate this and we will be strongly objecting to this a development as it is now and will go beyond that if required to protect our business and property from being used as a thoroughfare to benefit other developers.

We are open to discussions with the developers if they want to consider watering down their project.

Both the proposed concepts are "100% DRIVE THRU ONLY" so compared to other QSR's and even Panda Express their traffic is much higher than the regular QSR;s with Dine In options.

This is a bad mix of Three Drive Thru concepts. They should maybe consider a sit down restaurant

As an FYI we had to do something similar at Dunnigan CA where Pilot objected to us developing two QSR's along with a Denny's adjoining them and finally had to give an undertaking that we would never build QSR's on the parcel to let the Denny's project go through. (PLEASE SEE ATTACHMENTS AS RELATED TO THAT PROJECT.)

I am available for further discussions.

Sunny Ghai, President  
Ghai Management Services, Inc  
(A Franchisee of Burger King & Taco Bell) (Dealers for Chevron, Phillips 66 & ARCO/BP)

23 E. Airway Blvd,  
Livermore CA 94551  
Office Tel: (510) 573 5905  
Cell Phone: (510) 333 7802  
Fax: (510) 490 5001

From: Ricardo Caguiat <rcaguiat@ci.lathrop.ca.us>  
Sent: Friday, February 21, 2020 9:49 AM  
To: 'sunny@ghaimanagement.com' <sunny@ghaimanagement.com>  
Cc: Mark Meissner <mmeissner@ci.lathrop.ca.us>; harsh@ghaimanagement.com; David Niskanen <planningconsultant@ci.lathrop.ca.us>; Brad Taylor <btaylor@ci.lathrop.ca.us>  
Subject: RE: Lathrop - SPR-20-6 - CFT Phase II

Hi Sunny,

It's been a while, hope you're well. I was the planner that worked with you on the Burger King project here in Lathrop.

To answer your question, the Traffic Study identified improvements in two categories: City Responsibility & Developer Responsibility. Page 4 of the Traffic Study identified those improvements. For your convenience, I have extracted the required improvements and the associated exhibits, attached for your reference.

As David mentioned, we welcome a meeting with you to discuss this project to answer any questions you may have.

Thanks,

Rick Caguiat  
Principal Planner | City of Lathrop  
Community Development Department | Planning Division  
390 Towne Centre Drive Lathrop, CA 95330  
P: (209) 941-7296 | F: (209) 941-7339  
mailto:rcaguiat@ci.lathrop.ca.us

From: mailto:sunny@ghaimanagement.com [mailto:sunny@ghaimanagement.com]  
Sent: Thursday, February 20, 2020 8:14 PM  
To: David Niskanen <mailto:planningconsultant@ci.lathrop.ca.us>  
Cc: Ricardo Caguiat <mailto:rcaguiat@ci.lathrop.ca.us>; Mark Meissner <mailto:mmeissner@ci.lathrop.ca.us>;  
mailto:harsh@ghaimanagement.com  
Subject: RE: Lathrop - SPR-20-6 - CFT Phase II

Thanks David,

I am awaiting a review by my Traffic Engineer Ken Andersen and then I will contact you.

The one question I had is if City is paying for all the improvements and mitigation measures mentioned in the developers Traffic report or the developer is paying?

If it's both then can you tell me what City is spending on and what Developer is spending on?

Sunny Ghai, President

Ghai Management Services, Inc  
(A Franchisee of Burger King & Taco Bell) (Dealers for Chevron, Phillips 66 & ARCO/BP)  
23 E. Airway Blvd,  
Livermore CA 94551  
Office Tel: (510) 573 5905  
Cell Phone: (510) 333 7802  
Fax: (510) 490 5001

From: David Niskanen <mailto:planningconsultant@ci.lathrop.ca.us>  
Sent: Thursday, February 20, 2020 6:40 PM  
To: Sunny Ghai <mailto:sunny@ghaimanagement.com>  
Cc: Ricardo Caguiat <mailto:rcaguiat@ci.lathrop.ca.us>; Mark Meissner <mailto:mmeissner@ci.lathrop.ca.us>;  
'harsh@ghaimanagement.com'  
<mailto:harsh@ghaimanagement.com>  
Subject: RE: Lathrop - SPR-20-6 - CFT Phase II

Sunny:

The meeting will be open to the public and the agenda will be available at least 72 hours prior to the meeting date. If you would like, you can express concerns in writing prior to or at the meeting, up to you. As stated below, we could also meet with you to discuss your concerns and to discuss the project.

Your follow-up email included a question regarding flood plain requirements. I've restated your question below:

David,

I remember you mentioning something about a 2020/21 deadline to finish development in that area before some flood plain requirements or some such thing kicks into place which would put a hold on development until a resolution was reached.

Can you remind me what that exactly was?

The flood plain requirements you are referring to are related to Senate Bill 5, also known as 200-year floodplain legislation. In summary, the City is required to provide 200-year flood protection (200-year levees) by the year 2025. The City is continuing to make "Adequate Progress" each year to provide 200-year flood protection levees and continuing to issue permits for residential, commercial and industrial developments. We recommend moving forward with developing the remaining balance of your property sooner than later, as the deadline for 200-year floodplain protection is 2025.

If you would like to discuss further, please do not hesitate to contact us or we can schedule an meeting.

Thank you,

David Niskanen  
JB Anderson Planning, Contract Planner | City of Lathrop Community Development Department  
390 Towne Centre Drive Lathrop, CA 95330  
P: (209) 941-7297

From: mailto:sunny@ghaimanagement.com [mailto:sunny@ghaimanagement.com]  
Sent: Tuesday, February 11, 2020 6:46 PM  
To: David Niskanen <mailto:planningconsultant@ci.lathrop.ca.us>

Cc: Ricardo Caguiat <mailto:rcaguiat@ci.lathrop.ca.us>; Mark Meissner <mailto:mmeissner@ci.lathrop.ca.us>; 'Harshraj Ghai' <mailto:harsh@ghaimanagement.com>  
Subject: RE: Lathrop - SPR-20-6 - CFT Phase II

David,  
Thanks for the update.  
I will have my Traffic Engineer review it and comment on it.  
The biggest question is did the traffic study take into account that I will also have a restaurant on my excess land?  
  
Will this be a hearing open to the public or I need to express any concerns in writing prior to the hearing?

Sunny Ghai, President  
Ghai Management Services, Inc  
(A Franchisee of Burger King & Taco Bell) (Dealers for Chevron, Phillips 66 & ARCO/BP)  
23 E. Airway Blvd,  
Livermore CA 94551  
Office Tel: (510) 573 5905  
Cell Phone: (510) 333 7802  
Fax: (510) 490 5001

From: David Niskanen <mailto:planningconsultant@ci.lathrop.ca.us>  
Sent: Tuesday, February 11, 2020 6:19 PM  
To: Sunny Ghai <mailto:sunny@ghaimanagement.com>  
Cc: Ricardo Caguiat <mailto:rcaguiat@ci.lathrop.ca.us>; Mark Meissner <mailto:mmeissner@ci.lathrop.ca.us>  
Subject: Lathrop - SPR-20-6 - CFT Phase II

Sunny:

Hope all is well with you. Rick and I are working on the CFT Phase II project that includes a Site Plan Review (SPR-20-6) for the construction of a Sonic Drive-In Restaurant and a Dutch Brothers Coffee, located on Old Harlan Road south of the recently constructed Panda Express Restaurant. As you know, the Panda Express Restaurant included a Condition of Approval that stated that additional development beyond the Panda Express Restaurant (Phase II) requires the preparation of a Traffic Impact Study. As we understand, during the January 16, 2019 Planning Commission meeting, you raised concerns regarding the potential impacts to your site, including pass-through traffic and the potential for the pass through traffic to cause the City to eliminate the left-turn movement from your site onto Harlan Road. As you will find, the traffic study avoids this scenario and actually improves circulation in the area.

The purpose of this email is to inform you that 1) a Traffic Study has been prepared for Phase II; and 2) that the Site Plan Review request is being presented to the Planning Commission on March 18, 2020. We wanted to give you an opportunity to review the Traffic Study prior to the Planning Commission date and to summarize the off-site improvements required as a result of the Traffic Study.

As stated on Page 4 and Figure 24 and Figure 25 of the Traffic Impact Study, there are a number of off-site improvement CFT will be responsible for, including:

- Realign Old Harlan Road connection to Harlan Road to allow for a left turn lane onto Harlan Road.
- Provide signs adjacent to exit lanes at each of the three (3) project driveways showing an arrow pointing to the right and a message stating I-5 access turn right.
- Provide sidewalks on the south side of W. Lathrop Road extending east and west of Old Harlan Road (from the I-5 intersection to the Chevron driveway).
- Provide a crosswalk at the W. Lathrop Road/I-5 NB Ramps intersection crossing W. Lathrop Road just east of the intersection.
- It may be necessary for Dutch Brothers to provide moveable orange cones across the internal Dutch Brothers-Sonic parking lots to reduce congestion to Sonic.

In addition, the City will be responsible for the following:

- Reconfigure the northbound Harlan Road approach to W. Lathrop Road to provide two (2) exclusive turn lanes and a combined through/right turn lane.
- Remove the raised island median on Harlan Road south of W. Lathrop Road at the entrance to the existing northbound left turn lane. Continue existing turn lane south to the Burger King-O'Reilly's driveway.
- Extend the length of the left turn lane on the eastbound W. Lathrop Road approach to Harlan Road by at least 75 feet.
- Retime the W. Lathrop Road/Harlan Road signal and coordinate timing with the W. Lathrop Road/Cambridge Drive signal.

As stated above, the concern you raised during the January PC meeting were expressed to the Traffic Consultant and we hope that they have been addressed by the Traffic Impact Study. For instance, the left turn movement from your site to Harlan Road will not be eliminated but actually improved because the left turn from Harlan Road to W. Lathrop Road will be expanded and the "bulb" will be removed. We also understand your concerns regarding pass-through traffic. In this regard, the project will result in a realignment of Old Harlan Road at Harlan Road (south of Burger King) to allow for left turn movements and signage to direct traffic south to Harlan Road, instead of north and through the Burger King parking lot.

According to the Traffic Impact Study, it was determined that no significant traffic impacts are anticipated. However, the above recommendations will be incorporated into the project Conditions of Approval to improve traffic circulation/efficiency in the immediate vicinity.

Please let us know if you have any questions. If you would like to meet to discuss the proposed CFT Phase 2 or any other project-related matters, please let us know - we are happy to meet with you to discuss further.

Thanks,

David Niskanen  
 JB Anderson Planning, Contract Planner | City of Lathrop Community Development Department  
 390 Towne Centre Drive Lathrop, CA 95330  
 P: (209) 941-7297

March 11, 2020

Mr. Sunny Ghai  
**QUICK SERVE**  
25 East Airway Blvd.  
Livermore, CA 94551

**RE: REVIEW OF TRAFFIC IMPACT REPORT CFT – PHASE 2 PROJECT IN THE CITY OF LATHROP, CALIFORNIA.**

Dear Mr. Ghai:

As requested, I have reviewed the Traffic Impact Report prepared for the CFT Phase 2 project in Lathrop<sup>1</sup>. The proposed project combines a 862 sf Dutch Brothers Coffee, a 2,200 sf Panda Express Restaurant and a 1,608 sf Sonic Restaurant on a side along the west side of Old Harlan Road near the I-5 / Lathrop Road interchange.

As we have discussed, you operate the adjoining Burger King Restaurant on a site shared with O'Reilly's Auto located on the east side of Old Harlan Road opposite the proposed project. Your restaurant and the proposed project will both have access via the Lathrop Road / Old Harlan Road intersection, but because the Burger King-O'Reilly's Auto site also has access to Harlan Road you are concerned that project trips will cut through your site in order to avoid congestion on Lathrop Road. We understand that the City commissioned this traffic study in part to respond to your concerns.

**Approach to Our Review.** Our review was intended to identify the traffic study's conclusions regarding the effects of cut-through traffic at the Burger King-O'Reilly's Auto site and to assess the validity of those conclusions with regards to underlying assumptions and methodologies.

**Analysis Methods.** The traffic study makes use of typical analysis methods employed for CEQA traffic impact studies to identify intersection Levels of Service and 95<sup>th</sup> percentile queues at signalized intersections. *Synchro* software was employed to implement the methods contained in Highway Capacity Manual (HCM) for estimating intersection delay, associated Levels of Service and queue lengths.

Typically, Caltrans District 10 would ask that *SimTraffic* simulation be employed to better assess the effects of closely spaced intersections to estimate 95<sup>th</sup> percentile queue lengths. Specifically, Synchro analysis does not account for the overall effects of traffic signal flow between closely spaced traffic signals and thus the length of delays reported for traffic waiting at the unsignalized Lathrop Road / Old Harlan Road intersection do not account for the effects of queue of eastbound traffic extending from the Harlan Road signal that is reported to reach the driveway.

**Trip Generation.** The peak hour trip generation assumptions made for the project appear acceptable, in particular the effort made to estimate Dutch Brothers trip generation based on new observations of a

---

<sup>1</sup> Traffic Impact Report CFT – Phase 2 (Panda Express-Sonic-Dutch Brothers) project in the City of Lathrop, CA, Crane Transportation Group, 12/9/2019.



similar sized restaurant in Stockton. This work resolves the shortcomings of previous ITE data based on much smaller coffee kiosks.

**Trip Distribution.** The study's assumptions regarding the orientation of trips diverted to the site from I-5, pass-by trips taken from local streets and new primary trips appear to be reasonable.

**Trip Assignment.** The project trip assignment assumptions are not helpful in quantifying the amount of cut-through traffic across the Burger King site. The traffic study simply assumes that the Old Harlan Road / Lathrop Road will be the primary access for the site based on the supposition that this is the "most direct" route to Interstate 5 and Lathrop Road and that this assumption yields the most conservative assessment of impacts to locations on Lathrop Road.

**Traffic Conditions at the Lathrop Road / Old Harlan Road intersection.** The length of delays occurring for northbound traffic at the Lathrop Road / Old Harlan Road intersection would be the best indication of whether project traffic might search for alternative routes. However, the traffic study does not speak to the length of delays at this location. The analysis (figure 6) indicates that the current p.m. peak hour volume on that approach is 41 vehicles per hour (vph) and that in Year 2022 that volume will reach 90 vph without the proposed project (figure 13). The project will add 76 vph to those totals (figure 16).

The traffic study does discuss the length of 95<sup>th</sup> percentile queues occurring on the northbound Old Harlan Road approach to Lathrop Road, and this information can be used to suggest project effects. As noted on page 20 (Impact 2), and summarized in Table 4,

*The PM Peak hour 95<sup>th</sup> percentile queue on the northbound Old Harland Road approach to W. Lathrop Road would be increased by more than 100 feet (up to 120 feet or 5 vehicles). Minor diversion of some backed up drivers through the Chevron or Burger King-O'Reilly Auto parcels could be possible. Improvements recommended.*

This issue is more pronounced under Year 2022 conditions. As noted on page 21 (Impact 5) and in Table 6,

*The PM peak hour 95<sup>th</sup> percentile queue on the northbound Old Harlan Road approach to W. Lathrop Road would be increased by more than 100 feet (360 feet total or 16 vehicles). Major diversion of backed up drivers through the Chevron and Burger King-O'Reilly Auto parcels would be expected. In addition, some project drivers would travel south on Old Harland Road and make an illegal left turn to proceed north on Harland Road to the W. Lathrop Road intersection. Improvements recommended.*

Based on this information it is clear that the traffic study anticipates that customers of the proposed project will cut through the Burger King parking lot to get to Harland Road, although the number of vehicles that may attempt to take that route is not indicated.

**Recommended improvements.** The traffic study recommends some improvements to address traffic impacts.

For **Existing Conditions without the Project** the study recommends that the City reconfigure the three lane northbound Harland Road approach to the Lathrop Road intersection to create dual left turn lanes and a single combined thru+right turn lane. In addition, the median on Harland Road just north of the Burger

KSDA



King driveway should be removed and the northbound left turn lane should be extended southerly to the Burger King-O'Reilly's Auto driveway where it would align with the existing TWLT lane.

For **Plus Project Conditions** the traffic study recommends:

- Realigning the Old Harland Road approach to Harland Road to create a legal left turn onto northbound Harland Road.
- Signing the project driveways to convince exiting customer to turn right on Old Harland Road and go to the Harland Road intersection.
- **Based on input from Chevron, Burger King or O'Reilly's Auto if there is perceived use of either property by cut-through traffic from the project:**
  - **The City shall conduct an independent survey to see the extent of the issue.**
  - **If there is a problem, the City shall work with one or both property owners to develop measures to reduce or eliminate cut-through traffic.**
  - **This survey shall be funded by the project applicant.**

**Opinion.** These recommendations leave open the question as to whether signing and realigning Old Harland Road will be effective in minimizing cut-through traffic. Unfortunately, the recommendations simply "kick the can down the road" for further review. There is no suggestion as to what other improvements might be made to alleviate cut-through traffic, and other than paying for the survey, the project proponents have no responsibility towards the cost of implementing any subsequent improvements. The recommendations leave the projects neighbors to deal with the residual problem of cut-through traffic.

Please feel free to contact me if you have any questions.

Sincerely Yours,

**KD Anderson & Associates, Inc.**



Kenneth D. Anderson, P.E.  
President



Thomas H. Terpstra  
tterpstra@thtlaw.com

August 7, 2015

**VIA ELECTRONIC MAIL and U.S. MAIL**

Jeffery Anderson, Associate Planner  
Planning, Public Works and Environmental Services  
County of Yolo  
292 West Beamer Street  
Woodland, California 95695  
E-mail: Jeff.Anderson@yolocounty.org

*Re: Dunnigan Commercial Center 3 Restaurants/Project Number: ZF2015-0025*

Dear Mr. Anderson:

This office represents Pilot-Flying J (“Pilot”), an adjoining business owner concerned with traffic and operational issues associated with the project referenced above. Please accept these comments for your consideration concerning the need for Planning Commission review and a focused traffic study within the context of either a mitigated Negative Declaration (“MND”) or an Environmental Impact Report (“EIR”) in order to comply with the California Environmental Quality Act (“CEQA”).

As staff is no doubt aware, Pilot has operated a travel plaza on adjoining property for many years. Pilot’s facility serves thousands of trucks, as well as the traveling public, and has generated millions of dollars in sales tax and property tax for the County and the region. Indeed, Pilot and its supporting land uses serve as a vital economic engine for the community. Pilot’s ability to serve its customers depends on a well-maintained and properly functioning roadway network, which we believe will be significantly compromised under the current proposal. Stated more directly, this project’s impacts may well be visited upon Pilot and other businesses and property owners in the area.

While staff has correctly noted that fast food restaurants are permitted in the C-H zone subject to Site Plan approval, Section 8-2.215 of the Yolo County Code provides for the referral of such applications to the County Planning Commission. Given the significant concerns cited in correspondence from two public agencies (Caltrans and the Dunnigan Fire Protection District), along with the access, congestion and traffic operations concerns cited by Deanna Kirkland of the Dunnigan Advisory Committee, referral to the Planning Commission is appropriate.

Pilot has carefully reviewed the revised project, and while two restaurants is better than three, we note the following:

Jeffery Anderson  
August 7, 2015  
Page 2

1. This is a landlocked parcel, which will need access using Pilot's driveway. Pilot has not, and will not, permit ingress, egress or any other form of permanent or temporary access for the use of its property to the project proponent.
2. Pilot has engaged the services of Parsons Brinckerhoff to evaluate the proposed Site Plan, particularly focusing on site access, internal circulation, capacity and safety. Parsons Brinckerhoff plans to have its technical memorandum ready by Monday, August 10, 2015, and will submit it at that time. Preliminarily, Parsons Brinckerhoff advises that there are serious capacity, circulation and operational issues presented by the current Site Plan, and recommends a focused traffic study prior to consideration by the County.
3. Unfortunately, the applicant has not reached out to Pilot Travel Centers to discuss and hopefully resolve Pilot's concerns. Pilot would welcome such an opportunity.
4. The California Environmental Quality Act provides that where there is significant public controversy concerning a project's environmental impacts (including traffic), more detailed environmental review is warranted. Such review is clearly warranted in this instance.

Thank you for the opportunity to provide these comments.

Very truly yours,



Thomas H. Terpstra  
Attorney at Law

THT:ca

cc: Client

## ACCESS AGREEMENT

**THIS ACCESS AGREEMENT (“Agreement”)** is made and entered into as of June 21<sup>st</sup>, 2016 by and between Pilot Travel Centers LLC, a Delaware limited liability company (“Grantor”), and Dunnigan Co-Brands, Inc., a California corporation (“Grantee”); the parties shall individually be referred to in this Agreement as a “party” and collectively as “the parties.”

### RECITALS

A. Grantor is the owner of that certain real property situated in the City of Dunnigan, County of Yolo, State of California, Yolo County Assessor’s parcel number 052-050-080 (“Parcel 1”) which is occupied by a Pilot Truck Stop.

B. Grantee is the owner of that certain real property, located adjacent to Parcel 1, situated in the City of Dunnigan, County of Yolo, State of California, Yolo County Assessor’s Number 052-050-026 (“Parcel 2”) which is currently developed with a vacant diner.

C. Grantee desires to access and connect to a fire water main located on Parcel 1, at no cost or expense to Grantor (collectively, “Work”).

### AGREEMENT

In consideration of the mutual covenants, agreements, representations and warranties contained in this Agreement and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties, intending to be legally bound, hereby agree as follows:

1.1 Grantor hereby grants Grantee, or his representatives, permission to enter onto Parcel 1 for the purpose of performing the Work authorized by this Agreement at times and intervals to be determined by Grantor, in Grantor’s sole discretion. The Work shall be completed at no cost or expense to Grantor. The Work shall conform to all applicable laws and shall be completed in a good, workmanlike and lien free manner and in substantial conformance with plans and specifications prepared by Grantee and approved by Grantor and any applicable governmental authorities having jurisdiction. In addition, in the event Grantee’s intended or actual use of the fire water main requires upgrades in equipment, improvements, capacity or facilities, the cost of such upgrades shall be payable by Grantee, at Grantee’s sole cost and expense.

1.2 Grantee shall not permit any liens to stand against Parcel 1 for the Work done or materials furnished to Grantee, and Grantee shall indemnify, defend and save Grantor harmless from any such liens for the Work performed under this Agreement including all costs, liabilities, suits, penalties, claims, demands, costs and expenses resulting therefrom, including reasonable fees of Grantor’s attorneys. In the event that a mechanic’s lien or other lien should be filed against Parcel 1 as a result of the Work, Grantee shall, at its own cost and expense, cause the same to be discharged of record or bonded within thirty (30) calendar days after the filing thereof.

1.3 If the surface of Parcel 1 or any improvements thereon shall be disturbed by the Work, then, upon completion of Work, the surface or improvements shall be promptly restored by Grantee to its condition just prior to such disturbance, at no cost or expense to Grantor.

1.4 Grantee shall indemnify, defend, and save Grantor harmless from all liability, damage, expense, causes of action, suits, claims or judgments, including reasonable attorneys' fees, resulting from injuries to persons or damage or property on Parcel 1 which arise out of, are caused by, or in any way related to, the Work.

1.5 Grantee shall conduct the Work so as to not unreasonably interfere with Grantor's use and occupation of Parcel 1. Grantee shall not block or prevent customer access to Parcel 1. Grantor, its employees, invitees, and authorized representatives shall not unreasonably interfere or tamper with the fire water main and potable water main and Grantee's performance of the Work, and furthermore, shall exercise reasonable care with regard to the fire and potable water mains and Grantee's performance of the Work. The Work shall be coordinated through Grantor's designee and shall be done in a manner consistent with said designee's direction.

1.6 Grantee will continue to be responsible for operation and maintenance of the components of the Grantor's connection to the fire water main on Parcel 1. In addition, Grantee shall be responsible for the operation and maintenance of their fire water line, and all components thereof, necessary to provide service to Parcel 2 from its point of connection to the fire water main.

1.7 This Agreement shall only be assigned upon the prior written consent of both parties hereto. Furthermore, this Agreement shall bind and inure to the benefit of successors and assigns of the parties hereto.


**1.8 Notwithstanding anything herein to the contrary contained herein, if Parcel 2 is ever used as, or occupied by, a Quick Service Restaurant such as Burger King / Taco Bell or any fast food restaurant, Grantor shall have the right to revoke the access granted herein and may terminate this Agreement upon thirty (30) days' notice to Grantee.**

1.9 ~~EACH PARTY HERETO HEREBY IRREVOCABLY WAIVES, TO THE FULLEST EXTENT PERMITTED BY APPLICABLE LAW, ANY RIGHT IT MAY HAVE TO A TRIAL BY JURY IN ANY LEGAL PROCEEDING DIRECTLY OR INDIRECTLY ARISING OUT OF OR RELATING TO THIS AGREEMENT (WHETHER BASED ON CONTRACT, TORT OR ANY OTHER THEORY).~~


1.10 This Agreement may be executed in several counterparts, each of which shall be deemed to be an original, and all of which together shall be deemed to be one and the same instrument. Signed counterparts of this Agreement may be delivered by facsimile and by scanned .pdf image, each of which shall have the same force and effect as an original signed counterpart; provided, after a request by any party hereto for such original signed counterpart, each party hereto uses commercially reasonable efforts to deliver to each other party hereto original signed counterparts as soon as possible thereafter.

IN WITNESS WHEREOF, Grantor and Grantee have entered into this Agreement as of the date first above written.

GRANTOR

  
\_\_\_\_\_  
David A. Clathien  
\_\_\_\_\_  
Authorized Representative

GRANTEE

  
\_\_\_\_\_  
Charanjit Ghai  
\_\_\_\_\_  
President

TO: Terpstra-Henderson, Inc.

FROM: Ravi Narayanan, P.E., T.E.

**Draft**

DATE: August 11, 2015

SUBJECT: **Dunnigan Commercial Center, Yolo County  
Site Development Application Review**

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This memorandum was prepared to summarize a transportation/traffic review of a proposed development project application for a project called "Dunnigan Commercial Center" ("the project") proposed by Dunnigan Co-Brands, Inc. on a site adjacent to Pilot Travel Plaza's existing facility in Dunnigan. The proposed project is located on/adjacent to an existing Pilot Travel Plaza site on the southeast quadrant of the Interstate 5/Road 8 interchange in Dunnigan, Yolo County. The following is a summary of review comments:

1. The proposed project envisions at least two restaurants, adding up to over 7,000 sq. ft of fast-food/sit-down restaurant floor space. A preliminary ballpark estimate of trip generation for the proposed uses indicates that the proposed restaurant floor space could attract approximately 1,800 daily trips (including approximately 180 PM peak hour trips) to/from those uses. A majority of these trips will be "new" trips impacting the site driveway access intersections with Road 8, while a smaller portion of the trips will be internally captured trips already visiting the existing Pilot Travel Plaza. Typically, impacted public agencies would require traffic studies to be completed when more than 50 new peak hour trips are generated that could impact their facilities. Based on the anticipated volume of incremental trip generation impacting off-site driveway intersections, preparation of a Traffic Impact Study is necessary and recommended for the proposed Dunnigan Commercial Center project. Such study should include detailed estimates and descriptions of the proposed project's trip generation and trip distribution and assignment patterns as impacting on-site circulation, access driveway intersections, off-site public roadways, as well as freeway mainline, ramps and ramp intersections.
2. Based on a review of preliminary project site plans, it appears that the proposed project is planned to obtain primary access to/from off-site locations via a single existing access driveway intersecting with Road 8, which is a shared driveway with the existing Pilot facility. A secondary cross-access driveway through the existing Pilot site is also proposed, but this access driveway will likely only be used by patrons visiting the proposed restaurants project site from the existing Pilot site, and for emergency access purposes. A detailed on-site circulation study is necessary that quantifies project site driveway access operational delays, and levels of service. On-site circulation/interaction between the proposed uses and the existing Pilot facility must be described.
3. Driveway queue lengths that impact on-site circulation must also be evaluated. The proposed project will increase queuing at the main access driveway intersection with Road 8, that will potentially impede on-site automobile and truck circulation, given the lack of adequate "throat depth" at this existing driveway. Project impacts on existing on-site parking spaces must also be evaluated.
4. It is not clear if the proposed project is proposing demolition of the existing building (Oasis Grill restaurant) where the proposed Denny's restaurant is shown in the plan drawings. If so,



proper accounting of on-site floor area spaces, and parking spaces etc. must be completed, and net incremental trip generation increase from the overall site computed. Existing traffic counts must be obtained at the site access driveways with Road 8 and Road 99W, and at Road 8/Road 99W intersection, and the proposed project's incremental trip addition and level of service impacts to these intersections described.

5. The need and scope for geometric improvements (turn lanes, or deceleration lanes) and control improvements (signalization or roundabouts) at the Road 8/Pilot Site Access Driveway intersection with the development of the proposed project, must be identified. Note that the existing main Pilot site access driveway intersection on Road 8, that the proposed project will add a significant volume of traffic to, is located within very close proximity to (approximately 100 feet east of) the Road 8/Interstate 5 northbound off-ramp intersection. The required improvements identified for the Road 8/Pilot Site Access Driveway intersection could impact the adjacent Caltrans ramp intersection, and Caltrans coordination may be needed to implement such improvements. Therefore, depending on the scope and findings resulting from a traffic impact study focused on driveway access and on-site circulation, there could be a potential need for an expanded traffic impact study to evaluate additional facilities, including impacts to Interstate 5 mainline and ramp intersections with Road 8.



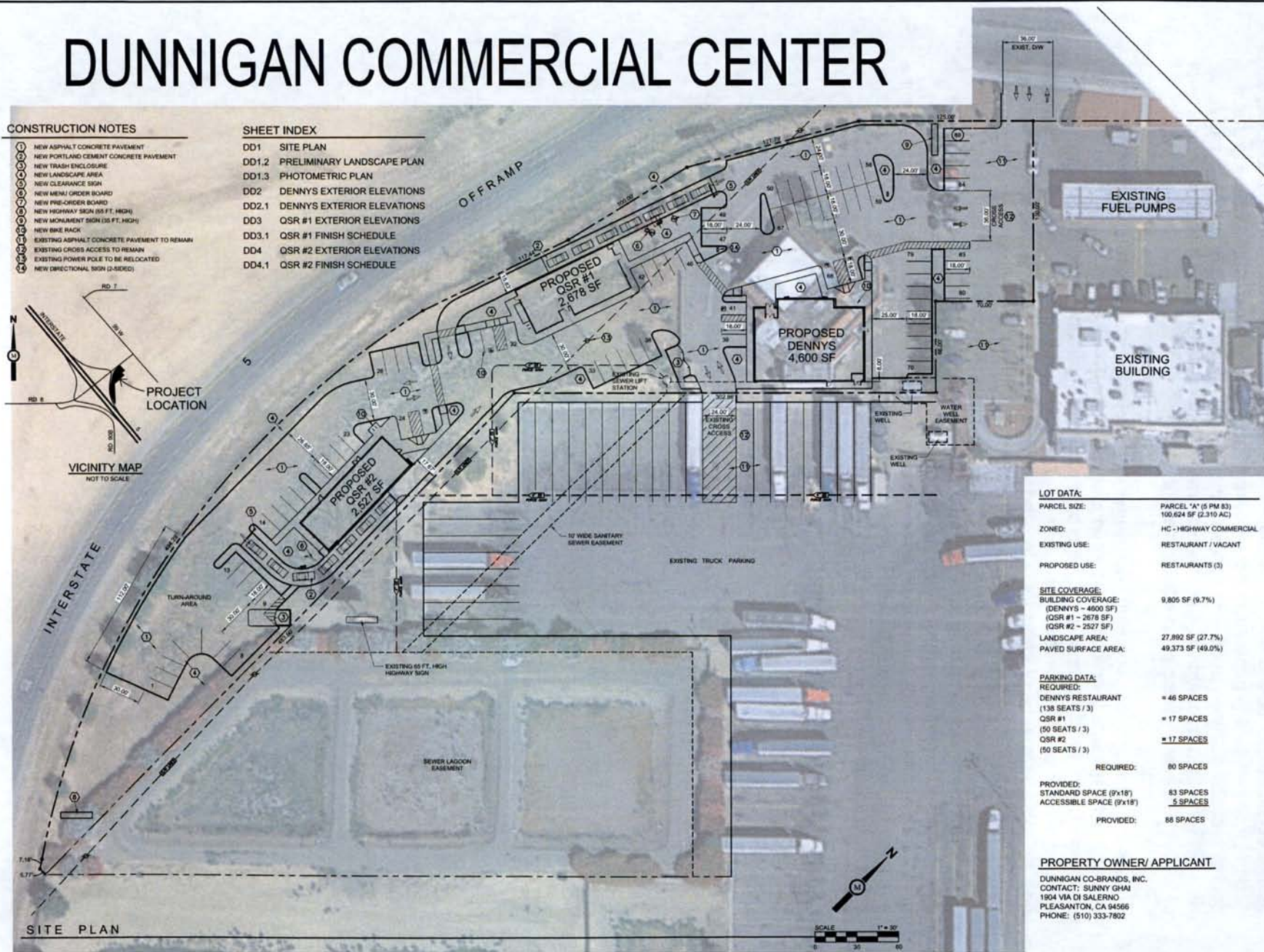
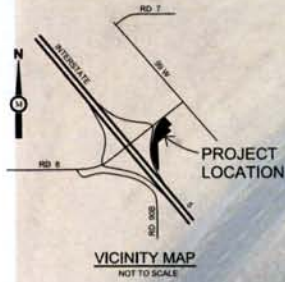
# DUNNIGAN COMMERCIAL CENTER

## CONSTRUCTION NOTES

- 1 NEW ASPHALT CONCRETE PAVEMENT
- 2 NEW PORTLAND CEMENT CONCRETE PAVEMENT
- 3 NEW TRASH ENCLOSURE
- 4 NEW LANDSCAPE AREA
- 5 NEW CLEARANCE SIGN
- 6 NEW MENU ORDER BOARD
- 7 NEW PRE-ORDER BOARD
- 8 NEW HIGHWAY SIGN (55 FT. HIGH)
- 9 NEW MONUMENT SIGN (35 FT. HIGH)
- 10 NEW BIKE RACK
- 11 EXISTING ASPHALT CONCRETE PAVEMENT TO REMAIN
- 12 EXISTING CROSS ACCESS TO REMAIN
- 13 EXISTING POWER POLE TO BE RELOCATED
- 14 NEW DIRECTIONAL SIGN (2-SIDED)

## SHEET INDEX

- DD1 SITE PLAN
- DD1.2 PRELIMINARY LANDSCAPE PLAN
- DD1.3 PHOTOMETRIC PLAN
- DD2 DENNY'S EXTERIOR ELEVATIONS
- DD2.1 DENNY'S EXTERIOR ELEVATIONS
- DD3 QSR #1 EXTERIOR ELEVATIONS
- DD3.1 QSR #1 FINISH SCHEDULE
- DD4 QSR #2 EXTERIOR ELEVATIONS
- DD4.1 QSR #2 FINISH SCHEDULE



**LOT DATA:**

PARCEL SIZE: PARCEL "A" (5 PM 83)  
100,624 SF (2.310 AC)

ZONED: HC - HIGHWAY COMMERCIAL

EXISTING USE: RESTAURANT / VACANT

PROPOSED USE: RESTAURANTS (3)

**SITE COVERAGE:**

BUILDING COVERAGE: 9,805 SF (9.7%)  
(DENNY'S - 4600 SF)  
(QSR #1 - 2678 SF)  
(QSR #2 - 2527 SF)

LANDSCAPE AREA: 27,892 SF (27.7%)

PAVED SURFACE AREA: 49,373 SF (49.0%)

**PARKING DATA:**

REQUIRED:

DENNY'S RESTAURANT = 46 SPACES  
(138 SEATS / 3)

QSR #1 = 17 SPACES  
(50 SEATS / 3)

QSR #2 = 17 SPACES  
(50 SEATS / 3)

REQUIRED: 80 SPACES

PROVIDED:

STANDARD SPACE (9'x18') 83 SPACES  
ACCESSIBLE SPACE (9'x18') 5 SPACES

PROVIDED: 88 SPACES

**PROPERTY OWNER/ APPLICANT**  
DUNNIGAN CO-BRANDS, INC.  
CONTACT: SUNNY GHAI  
1904 VIA DI SALERNO  
PLEASANTON, CA 94566  
PHONE: (510) 333-7802



1000 LINCOLN ROAD, SUITE 1002  
FISH CITY, CALIFORNIA 95931  
TEL: 530-755-4700  
FAX: 530-755-4547

JALJO J. THAJERO  
PROJECT MANAGER

**SUBMITTAL DATE**  
PLANNING DEPT: 05-11-15  
BUILDING DEPT: . . . . .  
PUBLIC WORKS: . . . . .  
SURVEY: . . . . .

REVISIONS		
No.	Description	Date

**SITE PLAN**  
DUNNIGAN COMMERCIAL CENTER  
DUNNIGAN CO-BRANDS, INC.  
30003 COUNTY ROAD 8  
DUNNIGAN, CA 95737  
A.P.N. 052-060-028

DATE: 05-11-15  
SCALE: 1" = 80'  
DRAFTED: STAFF  
JOB NUMBER: 15-007  
SHEET:

**DD1**

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**CITY OF LATHROP  
PLANNING COMMISSION  
REGULAR MEETING  
MARCH 18, 2020**

**DRAFT MINUTES**

*In Light of Governor Newsome's Executive Order of March 12, 2020 proclaiming a State of Emergency as a result of the threat of COVID-19, attendance at the City of Lathrop Planning Commission meeting of March 18 was made available by live stream and teleconference.*

**1. CALL TO ORDER**

Meeting was called to order by Ms. Vargas for the March 18, 2020 Regular Planning Commission meeting at 6:01 P.M.

**2. ROLL CALL**

PRESENT BY TELECONFERENCE: Gatto, Rhodes, Dresser  
PRESENT IN-PERSON: Ishihara  
ABSENT: Ralmilay

STAFF PRESENT IN PERSON: Stephen Salvatore, City Manager; Teresa Vargas, City Clerk; Salvador Navarrete, City Attorney; Mark Meissner, Community Development Director; David Niskanen, Contract Planner and Maria Hermosilla, Senior Administrative Assistant. STAFF PRESENT BY TELECONFERENCE: Glenn Gebhardt, City Engineer and Rick Caguiat, Principal Planner.

**3. PLEDGE OF ALLEGIANCE**

**4. DECLARATION OF CONFLICT OF INTEREST**

None

**5. PUBLIC COMMENT**

None

**6. AGENDA MODIFICATIONS**

None

**7. APPROVAL OF MINUTES**

7.1 February 19, 2020 – Regular Meeting

(M) Rhodes (S) Ishihara to approve the February 19, 2020 minutes.

Ayes: Gatto, Rhodes, Ishihara

Noes: None

Absent: Ramilay

Abstain: Dresser

Motion Carries: 3-0-1-1

**8. PUBLIC HEARING ITEMS**

None

**9. SCHEDULED ITEMS**

9.1 CFT Phase 2 Site Plan Review No. SPR-20-6

Mr. Niskanen made the staff report presentation describing the project details including the location, site layouts, architecture, and overall design of the project. Mr. Niskanen also provided an overview of the traffic study prepared for the project which addressed site circulation, pedestrian safety, and cut-through traffic. The traffic study recommended improvements were incorporated in the conditions of approval for the project.

Commissioners Rhodes, Gatto and Dresser voiced their concern that the traffic study doesn't truly reflect the human element in the situation. The Commissioners are worried that the area generates a lot of traffic movement and that vehicles are speeding on Harlan Road.

Chair Gatto opened the item for public comments.

Sunny Ghai, owner of Burger King, (via teleconference) spoke about his opposition to the project due to traffic concerns and disputed the results of the project's traffic study. He thinks that there are too many developments being proposed on a small area that can significantly impact traffic. Mr. Ghai is concerned that the increased traffic will flow over to his property. He blames the City for not recognizing the traffic problem and implied that the City's delay can cause post construction problems that might be too late to fix. He thinks that three drive-thru concepts will not work and suggested to opt for a sit-down restaurant instead.

Charlie Shen of CFT, project applicant, (via teleconference) pointed out that the project traffic mitigation measures will help improve the traffic situation in the area.

Dustin Henion, Architect for Dutch Bros., (via teleconference) is confident that the project traffic plans will be effectively implemented at the site. He also gave assurance that there will be no outside sitting options for Dutch Bros customers.

Chair Gatto closed the item to public comment and brought the item back to the commission.

A discussion on traffic flow and proposed improvements to the intersection of Old and new Harlan Road ensued. Mr. Gebhardt fielded questions throughout the discussion, including responding to Mr. Ghai's concerns, and how the proposed mitigations would improve the current situation and would provide a safe alternative for vehicles from the proposed project to return to Interstate 5.

On the proposed relocation of the intersection to the north, Commissioner Dresser is not convinced that the new location will provide adequate line of sight to safely make a left turn out of the property. He expressed his reluctance to approve the project until further studies support this.

Mr. Ghai asked if the developer will agree to pay for the traffic lights if it becomes necessary. Mr. Meissner replied that it isn't currently a part of staff's recommendation. However, the City will address the question once the signals become necessary in the future.

MOTION

Moved by Commissioner Rhodes, Second by Commissioner Ishihara to adopt a resolution approving the CFT Phase 2 Site Plan Review for the construction of a 1,608 sq. ft. Sonic Drive-In Restaurant on a 0.69-acre site and an 862 sq. ft. Dutch Brothers on a 0.49-acre site, with related site work including landscaping, lighting, and frontage improvements.

Ayes: Gatto, Rhodes, Ishihara

Noes: Dresser

Absent: Ralmilay

Abstain: None

Motion Carries: 3-1-1-0

**10. STAFF COMMENTS**

Mr. Meissner provided an update on current projects throughout the City.

**11. PLANNING COMMISSION COMMENTS**

The Commissioners thanked staff for making the Planning Commission available via livestream and teleconference.

**12. ADJOURNMENT**

Chair Gatto adjourned the meeting at 7:30 PM.

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**RESOLUTION NO. 20-**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP APPROVING THE CFT PHASE 2 PROJECT WITH AMENDED CONDITIONS OF APPROVAL (SPR-20-6)**

**WHEREAS**, the City of Lathrop City Council held a duly noticed public meeting on May 11, 2020 to consider the CFT Phase 2 Project; and

**WHEREAS**, the request is for a Site Plan Review to construct a 1,608 sq. ft. Sonic Drive-In Restaurant on a 0.69-acre site and an 862 sq. ft. Dutch Brothers on a 0.49-acre site, with related site work including landscaping, lighting, and frontage improvements; and

**WHEREAS**, the properties are located at 15107 and 15135 Old Harlan Road (APNs: 196-110-29 and -30); and

**WHEREAS**, the subject parcels are located in a Community Commercial (CC) General Plan designation and Central Commercial (CC) Zoning District; and

**WHEREAS**, an independent Traffic Impact Study has been prepared to analyze the existing, existing plus project, cumulative and on-site circulation and vehicle queuing of the proposed project; and

**WHEREAS**, the City of Lathrop Planning Commission held a duly noticed public meeting on March 18, 2020 and adopted Resolution No. 20-6 approving the CFT Phase 2 Project with a 3-1 vote (Commissioner Dresser opposed and Commissioner Ralmilay absent); and

**WHEREAS**, on March 27, 2020, Mr. Sunny Ghai of Ghai Management submitted an application to appeal the Planning Commission's decision approving the CFT Phase 2 Project (PC Reso No. 20-6); and

**WHEREAS**, the City Council proposes to modify the decision of the Planning Commission by adding a condition to install a three (3) way stop at the intersection of Harlan Road and Old Harlan Road; and

**WHEREAS**, per Lathrop Municipal Code 17.125.060 the City Council may "...confirm, modify, or reverse the action of the approving authority, in whole or in part, or add or amend such conditions as it deems necessary."; and

**WHEREAS**, proper notice of this public meeting was given in all respects as required by law; and

**WHEREAS**, the City Council has reviewed all written evidence and oral testimony presented to date.

**NOW, THEREFORE, BE IT RESOLVED** that the City Council of the City of Lathrop does hereby make the following findings:

1. Site Plan Review Findings. Pursuant to Section 17.100.050 of the Lathrop Municipal Code (LMC), the City Council finds as follows:
  - a. The proposed Site Plan Review complies with all applicable provisions of Chapter 17.100.
  - b. The proposed Site Plan Review is consistent with the site improvements listed in Chapter 17.100 (a. through i.) and improvements are such that traffic congestion is avoided and pedestrian and vehicular safety and welfare are protected and there will not be adverse effects on surrounding properties.
  - c. Proposed lighting for the project area is so arranged as to deflect away from adjoining properties.
  - d. The proposed Site Plan Review is compatible with surrounding land uses and will not be detrimental to the health, safety and general welfare of the City.
2. The City Council finds that the proposed Sonic Drive-In Restaurant and Dutch Brothers are consistent with the Community Commercial land use goals and policies in the City of Lathrop General Plan. The proposed project complies with all applicable provisions and standards for the Central Commercial Zoning designation as conditioned.
3. The City Council finds that the requirements and conditions of this resolution are reasonable in preserving, protecting, providing for, and fostering the health, safety, and welfare of the citizenry in general, and the persons who work in or visit the development in particular.
4. The City Council finds that the proposed Site Plan Review is exempt according to the California Environmental Quality Act (CEQA) Article 19 §15332 Class 2 "In-Fill Development". The project is consistent with the General Plan and Zoning and regulations of the parcel, and occurs within the City limits. Together, the project sites are 1.18 acres in size and is substantially surrounded by urban development and adjacent to Interstate Highway 5. The project site has no value as habitat for endangered, rare or threatened species and is identified as "Category A Exempt - No Pay Zone" by the San Joaquin Multi-Species Habitat Conservation and Open Space Plan (SJMSCP). Further, the project is Conditioned to comply with the SJMSCP and San Joaquin Valley Air Pollution Control District (SJVAPCD) Rules and Regulations. As demonstrated by the Traffic Study, dated December 9, 2019, the approval of the Site Plan Review will not result in a significant effect as it relates to traffic. In addition, the project is consistent with the City's standards and regulations for projects within the CC, Central Commercial Zoning District and can be adequately served by utilities and public services.



5. Drive-In and Drive-Through Facilities. Pursuant to Section 17.77.040 of the Lathrop Municipal Code (LMC), the City Council finds as follows:

- a. The design and location of the drive-through facilities and lanes will not contribute to increased congestion.
- b. The design and location of the facilities and lanes will not impede access to or exit from the parking lot serving the facility. The drive-through lanes are designed to provide the maximum number of vehicle stacking and the project has been adequately conditioned to limit congestion between the sites.
- c. The design and location of the facility will not create a nuisance for adjoining properties.

**BE IT FURTHER RESOLVED** that the City Council of the City of Lathrop, based on substantial evidence in the administrative record of proceedings, its findings above, and pursuant to its independent review and consideration, does hereby approve the CFT Phase 2 Project, Site Plan Review No. SPR-20-6, subject to the Conditions of Approval dated March 18, 2020 with added condition as listed in Exhibit A, attached hereto.

**PASSED AND ADOPTED** by the City Council of the City of Lathrop at a regular meeting on the 11<sup>th</sup> day of May, 2020 by the following vote:

AYES:

NOES:

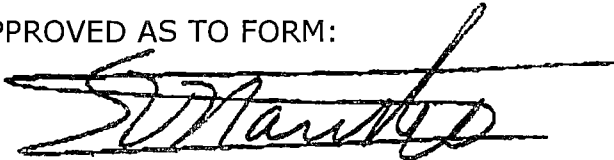
ABSTAIN:

ABSENT:

\_\_\_\_\_  
SONNY DHALIWAL, MAYOR

ATTEST:

APPROVED AS TO FORM:

A handwritten signature in black ink, appearing to read "S. Navarrete", is written over a horizontal line. The signature is fluid and cursive.

\_\_\_\_\_  
Teresa Vargas, City Clerk

\_\_\_\_\_  
Salvador Navarrete, City Attorney

Attachment: Exhibit A – Additional Condition

## EXHIBIT A

"The applicant shall install a three (3) way stop sign at the intersection of Old Harlan Road and Harlan Road. The ultimate alignment and design shall be reviewed and approved by the Public Works Department. Installation of the three (3) way stop sign shall be completed prior to the issuance of the Certificate of Occupancy for either the Sonic Drive-In Restaurant or Dutch Brothers, whichever is constructed first".



Community Development Department  
Planning Division

390 Towne Centre Drive- Lathrop, CA 95330  
Phone (209) 941-7290 - Fax (209) 941-7268  
[www.ci.lathrop.ca.us](http://www.ci.lathrop.ca.us)

# APPEAL OF PLANNING COMMISSION

LOCATION: 15107& 15135 OLD HARLAN RD, LATHROP

PROPERTY OWNER: \_\_\_\_\_

APPLICANT (IF OTHER THAN OWNER): SUNNY GHAI

<u>25 E. AIRWAY BLVD, LIVERMORE CA 94551</u>	<u>510 333 7802</u>
<b>Address</b>	<b>Phone Number</b>

DATE OF ORIGINAL APPROVAL: MARCH 18 2020

EXPIRATION DATE: \_\_\_\_\_

**BASIS FOR REQUEST:** WE BELIEVE THAT THE PROJECT AS APPROVED WILL BE TO THE DETRIMENT OF TEH BUSIENSS OF OUR BURGER KING LOCATED ACROSS THE STREET AS THE DEVELOPERS OWN TRAFFIC STUDY STATES THAT IF THE EXITS ARE BACKED UP CUSTOMERS FROM THE NEW DEVELOPMENT WILL CROSS THE BURGER KING DRIVEWAY TO EXIT ON TO NEW HARLAN ROAD.

(ATTACH ADDITIONAL SHEETS IF NECESSARY)

## REQUIREMENTS FOR SUBMITTAL

1. A complete and signed original application. Please not that all property owners or their authorized agent (attach proof of agent) must sign the application form.
2. Payment of an application fee of \$588.00 due and payable at the time the application is filed with the Planning Division Office. The application fee is non-refundable.
3. A copy of the recorded deed(s) for all properties involved in the project or a preliminary title report if not already on file with the City.

**ITEM:** **CREATE AN EMERGENCY GENERAL ASSISTANCE PROGRAM UTILIZING CDBG-CV ALLOCATION, AUTHORIZE USE OF MEASURE D FUNDS FOR A SMALL BUSINESS ASSISTANCE PROGRAM, AND APPROVE RESPECTIVE BUDGET AMENDMENTS**

**RECOMMENDATION:** **Council to Consider the Following:**

- 1. Adopt a Resolution to Accept CDBG-CV Allocation for Creation of an Emergency General Assistance Grant Program and Authorize Budget Amendment; and,**
- 2. Adopt a Resolution Establishing a Small Business Assistance Grant Program and Authorizing Its Funding with the Use of Measure D Funds Pursuant to a Budget Amendment.**

---

**SUMMARY:**

Protecting the health and safety of the City of Lathrop's residents and businesses from the novel coronavirus (COVID-19) is the City's top priority as we continue to monitor and make recommendations to slow the spread of COVID-19. In response to COVID-19 and the anticipated economic impacts to the community, the City of Lathrop (City) recommends the creation of two grant programs to provide one-time assistance to qualified residents and small businesses within its city limits. These initiatives will be referred to as the Emergency General Assistance Grant Program and the Small Business Assistance Grant Program.

Emergency General Assistance Grant Program

The City participates in a cooperative agreement with San Joaquin County (County) as a direct entitlement agency for receipt of Community Development Block Grant (CDBG) funds issued through the U.S. Department of Housing and Urban Development (HUD). The Federal Coronavirus Aid Relief and Economic Security Act (CARES Act) has provided additional funding, referred to as CDBG-CV, to HUD for use in addressing community issues related to COVID-19. Furthermore, the CARES Act provides allowance to use undesignated CDBG funds from Fiscal Years 2019/2020 and 2020/2021 for purpose of addressing COVID-19.

The City has \$35,721 of undesignated funds from FY 2020-2021 CDBG Public Facilities allotment, which may be used toward CDBG-CV programs. The City's allocation for the CARES Act CDBG-CV program funding will be \$57,075. The County has advised that Fair Housing, one of the multi-county agencies, has requested an allocation of CDBG-CV funds in the amount of \$729 to serve Lathrop residents. Therefore, the City has \$92,067 in CDBG-CV funds available to create an Emergency

**MAY 11, 2020 CITY COUNCIL REGULAR MEETING  
CREATE AN EMERGENCY GENERAL ASSISTANCE PROGRAM UTILIZING CDBG-CV  
ALLOCATION, AUTHORIZE USE OF MEASURE D FUNDS FOR A SMALL BUSINESS  
ASSISTANCE PROGRAM, AND APPROVE RESPECTIVE BUDGET AMENDMENTS**

General Assistance Grant Program to aid qualified low-income residents, as defined in HUD's FY 2020 Income Documentation System for San Joaquin County (Attachment C), with rent and utility payments for the purpose of preventing homelessness. See the CDBG language in Federal Statute below:

**Subsistence Payments** 24 CFR 570.207(b)(4) or 42 USC 5305(a)(8) + 24 CFR 570.482(c)(2)

*"One-time or short-term (no more than three months) emergency payments on behalf of individuals or families, generally for the purpose of preventing homelessness. Examples include utility payments to prevent cutoff of service, and rent/mortgage payments to prevent eviction."*

This program will be managed and monitored by City staff in accordance with HUD's national objectives along with regulatory guidance from San Joaquin County's Community Development Block Grant administrators.

**Small Business Assistance Grant Program**

The City recognizes that small businesses play a significant role in the community, and many of them are suffering from the impacts of COVID-19. In an effort to sustain the local economy, staff is proposing an allocation of \$500,000 from Measure D's Citywide fund to create a Small Business Assistance Program to provide one-time payments of rent, payroll, inventory, utilities and/or payments for equipment on behalf of qualified applicants.

This program will be managed, processed, and monitored by City staff in accordance with program guidelines as depicted in Attachment D.

Staff recommends that the City Council consider the information given in this report, approve the recommendation to create an Emergency General Assistance Grant Program and a Small Business Assistance Grant Program, and authorize the respective budget adjustments.

**BACKGROUND:**

The Federal Coronavirus Aid Relief and Economic Security Act (CARES Act) was recently enacted into public law and provides \$5 billion in supplemental CDBG funding for grants to prevent, prepare for, and respond to Coronavirus. Additionally, the CARES Act provides for alternative requirements and grant waivers to make it easier to use CDBG-CV funds. It further allows agencies to combine any undesignated funds from CDBG fiscal years 2019/2020 and 2020/2021 for coronavirus response program(s). The County has applied for and received the appropriate waivers and alternative requirements from HUD to include elimination of 15% cap on CDBG allocations for Public Service grants.

**MAY 11, 2020 CITY COUNCIL REGULAR MEETING  
CREATE AN EMERGENCY GENERAL ASSISTANCE PROGRAM UTILIZING CDBG-CV  
ALLOCATION, AUTHORIZE USE OF MEASURE D FUNDS FOR A SMALL BUSINESS  
ASSISTANCE PROGRAM, AND APPROVE RESPECTIVE BUDGET AMENDMENTS**

City of Lathrop, in accordance with the Urban Cooperative Agreement with San Joaquin County, will receive an estimated allocation of CDBG-CV funds in the amount of \$57,075 of which Fair Housing has requested \$729 for its organization to serve Lathrop Residents. On February 10, 2020, the City Council adopted Resolution 20-4680 Recommending the Allocation of the Community Development Block Grant for FY 2020-2021 to satisfy all eligible applicant funding requests. The City's final CDBG allotment for FY 2020-2021 was \$91,580.77 of which \$55,859.77 was awarded to grant recipients leaving an undesignated allocation in the amount of \$35,721. In accordance with the CARES Act and HUD allowances, the City may designate the unused funds from FY 2020-2021 toward a CDBG-CV program. Therefore, the total amount of funding available for a CDBG-CV Program is approximately \$92,067 (\$57,075 CDBG-CV allocation, minus grant request from Fair Housing of \$729, plus \$35,721 CDBG FY 2020-2021 undesignated funds).

Staff proposes the CDBG-CV funds be used to create an Emergency General Assistance Grant Program to help prevent homelessness among qualified low-income households with past-due rent and utility payments during the COVID-19 affected period beginning March 27, 2020. Applications will be accepted through June 30, 2020. To qualify, applicants will need to provide a completed application, proof of income or lack of income, financial hardship and notices of rent and/or utilities due during the stated timeframe. All funds will be sent directly to appropriate landlord and/or utility companies on behalf of the grant recipient. Past due City utility payments will receive priority payout prior to release of funds for other bills submitted by each grant recipient. The program is only available to individuals or families residing within the city limits of Lathrop. One grant issued per household. A maximum award of \$3,200 will be issued for each qualified grant recipient on a first-come, first serve basis until all designated funds have been exhausted. A sample application and guidelines for the Emergency General Assistance Grant Program is attached as Attachment C.

Staff is also recommending the creation of a Small Business Assistance Grant Program to help offset the economic impacts from COVID-19 to the business community and its workforce. A subsidy of \$500,000 from the Economic Development Fund, created by Measure D, is being proposed as the funding source for the program.

Measure D, passed by a vote of the Citizenry, established an Economic Development Fund (EDF) for the purpose of stimulating business activities in the local economy. The EDF is funded solely through new homes built in River Islands, which provides \$4,000 to a "Stewart Tract Account" and \$1,000 per home into a "Citywide Account". Funding for the Small Business Assistance Grant Program will be allocated from the EDF's Citywide Account.

**MAY 11, 2020 CITY COUNCIL REGULAR MEETING  
CREATE AN EMERGENCY GENERAL ASSISTANCE PROGRAM UTILIZING CDBG-CV  
ALLOCATION, AUTHORIZE USE OF MEASURE D FUNDS FOR A SMALL BUSINESS  
ASSISTANCE PROGRAM, AND APPROVE RESPECTIVE BUDGET AMENDMENTS**

The proposed Small Business Assistance Grant Program will offer \$5,000 grants to eligible local entrepreneurs and small businesses. The grant may be used for rent, payroll, inventory, utilities, and/or equipment.

Eligibility for the program is limited to businesses that meet all of the following:

- For-profit entity
- 3 – 20 employees (Part-time and/or Full-time)
- Business location within City limits
- Valid City of Lathrop business license as of March 1, 2020
- In Good Standing (No outstanding code violations, delinquent accounts, etc. prior to March 1, 2020)
- Business impacted by issues related to COVID-19

Nonprofits, real estate/realtors, financing entities, liquor stores (primary sales are liquor related), check-cashing facilities (primary business is check cashing), smoke shops, and cannabis dispensaries will not be eligible.

Businesses must submit a complete online application and provide a W-9. Applicants will not be required to pay any fees.

Funding for the Small Business Assistance Grant Program will be available on a first-come, first-serve basis until all designated funds have been exhausted.

**RECOMMENDATION:**

Staff recommends that the City Council consider the information presented and approve the proposed Resolutions.

**FISCAL IMPACT:**

Staff time to review and verify eligibility of applicants, dispense financial subsidies, report, present, monitor and manage the CDBG-CV Emergency General Assistance Grant Program and the Small Business Assistance Grant Program.

The County's disbursement process requires the City to set up a separate account(s) to accommodate the CDBG-CV reimbursement program. Because of the emergent situation surrounding COVID-19 and to move the money quickly for the benefit of the grant recipient, an increase in revenues in the amount equal to the total CDBG-CV allocation will be required.



**CITY MANAGER'S REPORT** **Page | 5**  
**MAY 11, 2020 CITY COUNCIL REGULAR MEETING**  
**CREATE AN EMERGENCY GENERAL ASSISTANCE PROGRAM UTILIZING CDBG-CV**  
**ALLOCATION, AUTHORIZE USE OF MEASURE D FUNDS FOR A SMALL BUSINESS**  
**ASSISTANCE PROGRAM, AND APPROVE RESPECTIVE BUDGET AMENDMENTS**

Staff is requesting the following budget amendments:

CARES ACT CDBG-CV:

<u>Increase CDBG Revenues</u>	
2650-20-10-333-01-04	\$92,796

**Small Business Assistance Program:**

<u>Increase Economic Development Transfer-In</u>	
1050-99-00-393-00-00	\$500,000

<u>Increase Citywide Economic Fee Transfer-Out</u>	
2440-99-00-990-90-10	\$500,000


<u>Increase Economic Development Expense</u>	
1050-11-30-440-46-00	\$500,000

**ATTACHMENTS:**

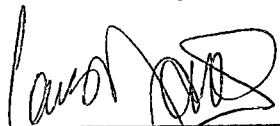
- A. Resolution to Accept CDBG-CV Allocation for Creation of an Emergency General Assistance Grant Program and Authorize Budget Amendment
- B. Resolution Establishing a Small Business Assistance Grant Program and Authorizing Its Funding with Use of Measure D Funds Pursuant to a Budget Amendment
- C. CDBG-CV General Assistance Grant Program income guidelines, eligibility, and application.
- D. Small Business Assistance Grant Program guidelines and application.

**CITY MANAGER'S REPORT  
MAY 11, 2020 CITY COUNCIL REGULAR MEETING  
CREATE AN EMERGENCY GENERAL ASSISTANCE PROGRAM UTILIZING CDBG-CV  
ALLOCATION, AUTHORIZE USE OF MEASURE D FUNDS FOR A SMALL BUSINESS  
ASSISTANCE PROGRAM, AND APPROVE RESPECTIVE BUDGET AMENDMENTS**

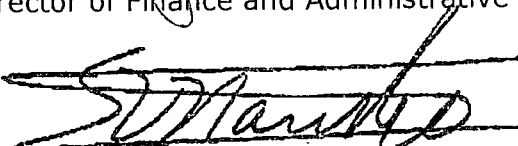
**APPROVALS:**

  
\_\_\_\_\_  
Shelley Burcham  
Economic Development Administrator

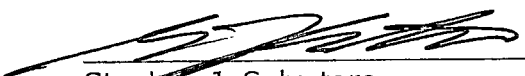
5/4/2020  
Date

  
\_\_\_\_\_  
Cari James  
Director of Finance and Administrative Services

5/4/2020  
Date

  
\_\_\_\_\_  
Salvador Navarrete  
City Attorney

5/4/2020  
Date

  
\_\_\_\_\_  
Stephen J. Salvatore  
City Manager

5.5.2020  
Date

**RESOLUTION NO. 20-**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP ACCEPTING THE CDBG-CV ALLOCATION FOR CREATION OF AN EMERGENCY GENERAL ASSISTANCE GRANT PROGRAM AND AUTHORIZE BUDGET AMENDMENT**

**WHEREAS**, the City will accept an allocation of \$57,075 from the Community Development Block Grant COVID-19 (CDBG-CV) funding and assign undesignated funds from the Fiscal Year 2020/2021 CDBG allocation in the amount of \$35,721 to the CDBG-CV funds available for programming; and

**WHEREAS**, the City allocates \$729 of the CDBG-CV funds to Fair Housing to serve Lathrop residents; and

**WHEREAS**, the City of Lathrop allocates \$92,067 of the CDBG-CV funds to establish an Emergency General Assistance Grant Program to help qualified low-income residents with COVID-19 related effects that have caused past-due rent, mortgage and/or utilities payment(s); and

**WHEREAS**, the City will issue direct payment, on behalf of Emergency General Assistance Grant recipient, to appropriate payee for eligible obligation(s) up to a total grant amount of \$3,200; and

**WHEREAS**, CDBG-CV grants will be issued on a first-come, first-serve basis until designated funds have been exhausted; and

**WHEREAS**, the City Council has determined in accordance with the California Environmental Quality Act, Article 18, Section 15273, that this item is categorically exempt because CEQA does not apply to the establishment or modification of HUD funding programs to public agencies which are to meet community needs.

**NOW, THEREFORE, BE IT RESOLVED** that the City Council of the City of Lathrop, does hereby accept CDBG-CV funding and allocates it toward the programs set forth by this resolution; and

**BE IT FURTHER RESOLVED** that a budget amendment for FY 2020-2021 is required as follows:

CARES ACT CDBG-CV:

<u>Increase CDBG Revenues</u>	
2650-20-10-333-01-04	\$92,796

**PASSED AND ADOPTED** this 11th day of May 2020, by the following vote:

AYES:

NOES:

ABSENT:

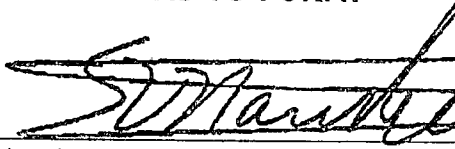
ABSTAIN:

\_\_\_\_\_  
SONNY DHALIWAL, MAYOR

**ATTEST:**

\_\_\_\_\_  
Teresa Vargas, City Clerk

**APPROVED AS TO FORM:**

  
\_\_\_\_\_  
Salvador Navarrete, City Attorney

**RESOLUTION NO. 20-**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP ESTABLISHING A SMALL BUSINESS ASSISTANCE GRANT PROGRAM AND AUTHORIZING ITS FUNDING WITH THE USE OF MEASURE D FUNDS PURSUANT TO A BUDGET AMENDMENT**

**WHEREAS**, the City will establish a Small Business Assistance Grant Program to assist eligible small businesses who have been impacted by COVID-19; and

**WHEREAS**, the City of Lathrop authorizes the use of the Economic Development Fund's Citywide Account, established by Measure D, as the funding source for the Small Business Assistance Grant Program; and

**WHEREAS**, the City will grant qualified small businesses up to \$5,000 for the purpose of paying past-due rent/mortgage, utilities, payroll, inventory and/or equipment for the business; and

**WHEREAS**, Small Business Assistance Grants will be issued on a first-come, first-serve basis until designated funds have been exhausted.

**NOW, THEREFORE, BE IT RESOLVED** that the City Council of the City of Lathrop, does hereby approve the establishment of a Small Business Assistance Grant Program; and

**BE IT FURTHER RESOLVED** that City Council authorizes \$500,000 to be used from Measure D's Economic Development Fund—Citywide Account as the funding source for the Small Business Assistance Grant Program; and

**BE IT FURTHER RESOLVED** that a budget amendment for FY 2020-2021 is required as follows:

**Small Business Assistance Program:**

<u>Increase Economic Development Transfer-In</u> 1050-99-00-393-00-00	\$500,000
<u>Increase Citywide Economic Fee Transfer-Out</u> 2440-99-00-990-90-10	\$500,000
<u>Increase Economic Development Expense</u> 1050-11-30-440-46-00	\$500,000

**PASSED AND ADOPTED** this 11th day of May 2020, by the following vote:

AYES:

NOES:

ABSENT:

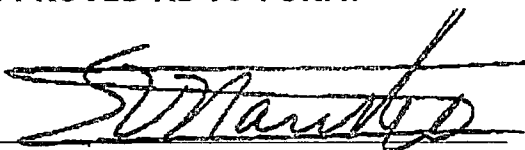
ABSTAIN:

\_\_\_\_\_  
SONNY DHALIWAL, MAYOR

**ATTEST:**

\_\_\_\_\_  
Teresa Vargas, City Clerk

**APPROVED AS TO FORM:**

  
\_\_\_\_\_  
Salvador Navarrete, City Attorney

**City of Lathrop**  
**Community Development Block Grant – CV**  
**Emergency General Assistance Grant Program Application for Funding**  
**Program Guidelines and Eligibility**

**Grant Amount Available:** Up to \$3,200 per eligible household

**Funds Available to Pay:** Past due rent and utilities acquired after March 27, 2020

**Eligibility:**

The City of Lathrop’s General Assistance Grant Program is available to all households that meet the following criteria:

- Primary residence within the City limits of Lathrop
- Income has been impacted by COVID-19 (Lost job, laid-off, company closed, afflicted by or caring for someone with the Coronavirus.)
- Unable to pay rent, mortgage, and/or utilities that came due after March 27, 2020
- Meet the income limits as summarized below

<b>FY 2020 Income Limits Summary for Stockton-Lodi MSA</b>									
Median Income (Family of 4)	FY 2020 Income Limit Category	Persons in Family							
		1	2	3	4	5	6	7	8
<b>\$75,000</b>	Very Low (50%) Income Limits (\$)	\$26,250	\$30,000	\$33,750	<b>\$37,500</b>	\$40,500	\$43,500	\$46,500	\$49,500
	Extremely Low-Income Limits (\$)	\$15,750	\$18,000	\$21,720	<b>\$26,200</b>	\$30,680	\$35,160	\$39,640	\$44,120
	Low (80%) Income Limits(\$)	\$42,000	\$48,000	\$54,000	<b>\$60,000</b>	\$64,800	\$69,600	\$74,400	\$79,200

Source: HUD User Income Limits Documentation System  
 Note: San Joaquin County is part of the Stockton-Lodi MSA, so all information presented here applies to all of the Stockton-Lodi, CA MSA.

**To Apply:**

- Visit \_\_\_\_\_ to complete the General Assistance Grant Application and upload all required documentation.
- Applications accepted up to June 30, 2020, while grant funds are available.
- Grant awards will be allocated on a first-come, first-serve basis until all funds are exhausted.
- Only applications that are deemed complete with all necessary documentation submitted will be accepted.

**Required:**

- Proof of impact on household income from COVID-19, i.e.: medical documents, job loss, company closure, etc.
- Proof of income, i.e.: check stubs, unemployment statements, disability statements, social security statements, or other proof of income payment(s)
- Copies of rent or mortgage due and/or late notices for utility payments to be paid for by this grant. Expenditures must be associated with the primary residence of applicant. Late notices or fees acquired prior to March 27, 2020 are ineligible.
- Late payments accumulated after 3/27/20 for City utilities will be deducted from the grant prior to paying other bills.

*The City of Lathrop’s General Assistance Grant Program has been created in accordance with CDBG Statute: Subsistence Payments 24 CFR 570.207(b)(4) or 42 USC 5305(a)(8) + 24 CFR 570.482(c)(2).*

City of Lathrop  
 Community Development Block Grant – CV  
**Emergency General Assistance Grant Program Application for Funding**

APPLICATION		
<b>Name:</b>		
<b>Address:</b>		
<b>How many people live in your household?</b>		
<b>Employer Name and Address</b>		
<b>Are you working?</b>	<input type="checkbox"/> Yes <input type="checkbox"/> No	<b>If no, what was the date of the last day you worked?</b>
<b>Total Household Income:</b> (Please include income from all persons living in home of applicant.)		\$
<b>Are you or anyone in your household collecting unemployment or other social assistance? If so, how much?</b> (Please attach copies of check stubs, statements or payment.)		
<b>Payer/Company/Agency</b>	<b>Who in your household receives this income?</b>	<b>Amount per Month (\$)</b>
<b>Please list all other income for all residents living in the household in the space below.</b> (Please attach copies of check stub, statements or payment.)		
<b>Payer/Company/Agency</b>	<b>Who in your household receives this income?</b>	<b>Amount per Month (\$)</b>

*The City of Lathrop's General Assistance Grant Program has been created in accordance with CDBG Statute: Subsistence Payments 24 CFR 570.207(b)(4) or 42 USC 5305(a)(8) + 24 CFR 570.482(c)(2).*



City of Lathrop  
 Community Development Block Grant – CV  
**Emergency General Assistance Grant Program Application for Funding**

Please list all past due rent, mortgage payments, and/or utility payments dated after March 27, 2020 for which you wish to pay from this grant? (Please provide copies of all rent due or past due utility bills you desire to be paid for by the General Assistance Grant.)				
	City of Lathrop Water-Sewer	Landlord/Mortgage	Utility Company	Utility Company
Company Name				
Address				
Phone				
Total Amount Due on or after March 27, 2020	\$	\$	\$	\$
Account #				
Payment Due Notice Attached	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Demographic Information**

Please provide general demographic information for all persons within your household who will benefit from this grant.

Number of: Male \_\_\_\_\_ Female \_\_\_\_\_

Indicate the number of people living in your household by age group:

0-5 \_\_\_\_ 6-17 \_\_\_\_ 18-61 \_\_\_\_ Over 62 \_\_\_\_

Race. Indicate place a check mark by the race closest to which the applicant identifies.

American Indian or Alaska Native	
Asian	
Black or African American	
Hispanic	
Native Hawaiian or Other Pacific Islander	
White	
American Indian or Alaska Native and White	
Asian and White	
Black or African American and White	
American Indian or Alaska Native and Black or African American	

I hereby certify that I have read this application, completed it to the best of my knowledge, provided the required documentation, and that the statement(s) therein are true.

**AUTHORIZED SIGNATURE**

Signature	Print Name	Date



## City of Lathrop – COVID-19 Small Business Assistance Grant Program

**DRAFT**

### Eligibility Criteria & Program Guidelines

The City of Lathrop has created a Small Business Assistance Grant Program to help offset the economic impacts from COVID-19. This program offers a \$5,000 grant to eligible local entrepreneurs and small businesses that have been affected by the Coronavirus pandemic.

**The grant may be used to pay for:**

- Rent
- Payroll
- Inventory
- Utilities
- Equipment

**Eligibility for the program is limited to businesses that meet all of the following:**

- For-profit entity
- 3 – 20 part-time and/or full-time employees
- Business is located within Lathrop city limits
- Valid City of Lathrop business license as of March 1, 2020
- In good standing (No outstanding code violations, delinquent accounts prior to March 1, 2020, etc.)
- Business impacted by issues related to COVID-19

**The following business types are not eligible to apply:**

- Non-profit organizations
- Real Estate/realtors
- Financing entities
- Liquor stores (primary sales are liquor related)
- Check-cashing facilities (primary business is check-cashing)
- Smoke Shops
- Cannabis dispensaries

**How to apply:**

- Submit a complete online application at \_\_\_\_\_
- Submit a completed W-9

**Funding for the Small Business Assistance Grant Program will be available on a first-come, first-serve until designated funds have been exhausted.**

Questions: Contact Shelley Burcham, Economic Development Administrator at [sburcham@ci.lathrop.ca.us](mailto:sburcham@ci.lathrop.ca.us).

Program adopted under City Council Resolution # \_\_\_\_\_.



**LATHROP COVID-19**  
Small Business Assistance Grant Application

**DRAFT**

**To Apply For \$5,000 Grant Funds, Please Complete The Grant Application**

1. Is the business currently operating? <input type="checkbox"/> Yes <input type="checkbox"/> No		2. If No to #1, is the closure permanent? <input type="checkbox"/> Yes <input type="checkbox"/> No	
3. First Name:		4. Last Name:	
5. Phone #:		6. Email Address:	
7. Business Name:		8. Business Address:	
9. Business City:	10. Business State:	11. Business Zip Code:	
12. Business License (10 Digit #):		13. Are you a Sole Proprietor? <input type="checkbox"/> Yes <input type="checkbox"/> No	
14. Size of Business- (Sales for 2019) <input type="checkbox"/> <\$100,000 <input type="checkbox"/> \$100,001 - \$250,000 <input type="checkbox"/> \$250,001 - \$500,000 <input type="checkbox"/> \$500,001 - \$1,000,000 <input type="checkbox"/> \$1,000,001 +			
15. Type of Business: Please select a category that most closely fits your business.			
<input type="checkbox"/> Agriculture <input type="checkbox"/> Automotive Repair <input type="checkbox"/> Automotive Sales <input type="checkbox"/> Business Services <input type="checkbox"/> Communications <input type="checkbox"/> Construction	<input type="checkbox"/> Restaurant <input type="checkbox"/> Educational Services <input type="checkbox"/> Entertainment Services <input type="checkbox"/> Freight <input type="checkbox"/> Health Services <input type="checkbox"/> Hotel & Lodging	<input type="checkbox"/> Retail/Grocery Store <input type="checkbox"/> Manufacturing <input type="checkbox"/> Other: _____	
16. Number of Employees (including owner): _____ Part-time _____ Full-Time			
17. What will you be using grant funds for? <input type="checkbox"/> Inventory <input type="checkbox"/> Working Capital (Rent, Payroll, Utilities) <input type="checkbox"/> Equipment			
18. Businesses are required to be in good standing, do any of the following apply? <input type="checkbox"/> Outstanding Code Violations <input type="checkbox"/> Delinquent Accounts, Taxes, and/or Liens <input type="checkbox"/> Debarment			
18.1 If <u>yes</u> , please explain (please note: answering yes does not automatically disqualify you):			

# Lathrop COVID-19

## Small Business Assistance Grant Application

**To Apply For \$5,000 Grant Funds, Please Complete The Grant Application**

Please provide a brief statement as to how your business has been impacted by COVID-19?
---

**Demographic Information Questions:** *The following questions will not affect eligibility and are optional. Information gathered will be used for internal use only.*

<b>19. Race/ Ethnicity</b> <input type="checkbox"/> African American <input type="checkbox"/> Asian <input type="checkbox"/> Hispanic <input type="checkbox"/> Native American <input type="checkbox"/> Pacific Islander <input type="checkbox"/> Other	<b>20. Gender</b> <input type="checkbox"/> Male <input type="checkbox"/> Female <input type="checkbox"/> Other
---	---

<b>The Following Businesses Are <u>Not</u> Eligible For Funding</b>	
<ul style="list-style-type: none"> <li><input type="radio"/> Nonprofit</li> <li><input type="radio"/> Real Estate/Realtor</li> <li><input type="radio"/> Financing</li> </ul>	<ul style="list-style-type: none"> <li><input type="radio"/> Liquor Store</li> <li><input type="radio"/> Check-Cashing Facility</li> <li><input type="radio"/> Cannabis Dispensary</li> </ul>

***I hereby certify that the information on this form is accurate and complete and I am the legal responsible party on behalf of this business. I understand that this self-certification may be subject to further verification by the City of Lathrop. I, therefore, authorize such verification, and I will provide supporting documents, if necessary. Please note: Title 18, Section 1001 of the U.S. Code states that a person is guilty of a felony for knowingly and willingly making false or fraudulent statements to any department of the U.S. Government.***

**Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Printed Name:** \_\_\_\_\_

**Business Owner:** \_\_\_\_\_

# Request for Taxpayer Identification Number and Certification

**Give Form to the  
 requester. Do not  
 send to the IRS.**

▶ Go to [www.irs.gov/FormW9](http://www.irs.gov/FormW9) for instructions and the latest information.

Print or type. See Specific Instructions on page 3.	<b>1</b> Name (as shown on your income tax return). Name is required on this line; do not leave this line blank.	
	<b>2</b> Business name/disregarded entity name, if different from above	
	<b>3</b> Check appropriate box for federal tax classification of the person whose name is entered on line 1. Check only <b>one</b> of the following seven boxes.  <input type="checkbox"/> Individual/sole proprietor or single-member LLC <input type="checkbox"/> C Corporation <input type="checkbox"/> S Corporation <input type="checkbox"/> Partnership <input type="checkbox"/> Trust/estate  <input type="checkbox"/> Limited liability company. Enter the tax classification (C=C corporation, S=S corporation, P=Partnership) ▶ _____ <b>Note:</b> Check the appropriate box in the line above for the tax classification of the single-member owner. Do not check LLC if the LLC is classified as a single-member LLC that is disregarded from the owner unless the owner of the LLC is another LLC that is <b>not</b> disregarded from the owner for U.S. federal tax purposes. Otherwise, a single-member LLC that is disregarded from the owner should check the appropriate box for the tax classification of its owner.  <input type="checkbox"/> Other (see instructions) ▶ _____	<b>4</b> Exemptions (codes apply only to certain entities, not individuals; see instructions on page 3):  Exempt payee code (if any) _____  Exemption from FATCA reporting code (if any) _____  <i>(Applies to accounts maintained outside the U.S.)</i>
	<b>5</b> Address (number, street, and apt. or suite no.) See instructions.	Requester's name and address (optional)
	<b>6</b> City, state, and ZIP code	
	<b>7</b> List account number(s) here (optional)	

**Part I Taxpayer Identification Number (TIN)**

Enter your TIN in the appropriate box. The TIN provided must match the name given on line 1 to avoid backup withholding. For individuals, this is generally your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the instructions for Part I, later. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN*, later.

**Note:** If the account is in more than one name, see the instructions for line 1. Also see *What Name and Number To Give the Requester* for guidelines on whose number to enter.

<b>Social security number</b>										
<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 25%; border: 1px solid black; height: 20px;"></td> <td style="width: 5%; text-align: center;">-</td> <td style="width: 25%; border: 1px solid black; height: 20px;"></td> <td style="width: 5%; text-align: center;">-</td> <td style="width: 40%; border: 1px solid black; height: 20px;"></td> </tr> </table>		-		-						
	-		-							
<b>or</b>										
<b>Employer identification number</b>										
<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%; border: 1px solid black; height: 20px;"></td> <td style="width: 10%; border: 1px solid black; height: 20px;"></td> <td style="width: 10%; border: 1px solid black; height: 20px;"></td> <td style="width: 10%; border: 1px solid black; height: 20px;"></td> <td style="width: 10%; border: 1px solid black; height: 20px;"></td> <td style="width: 10%; border: 1px solid black; height: 20px;"></td> <td style="width: 10%; border: 1px solid black; height: 20px;"></td> <td style="width: 10%; border: 1px solid black; height: 20px;"></td> <td style="width: 10%; border: 1px solid black; height: 20px;"></td> <td style="width: 10%; border: 1px solid black; height: 20px;"></td> </tr> </table>										

**Part II Certification**

Under penalties of perjury, I certify that:

- The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
- I am not subject to backup withholding because: (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
- I am a U.S. citizen or other U.S. person (defined below); and
- The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

**Certification instructions.** You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and generally, payments other than interest and dividends, you are not required to sign the certification, but you must provide your correct TIN. See the instructions for Part II, later.

<b>Sign Here</b>	Signature of U.S. person ▶ _____	Date ▶ _____
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**General Instructions**

Section references are to the Internal Revenue Code unless otherwise noted.

**Future developments.** For the latest information about developments related to Form W-9 and its instructions, such as legislation enacted after they were published, go to [www.irs.gov/FormW9](http://www.irs.gov/FormW9).

**Purpose of Form**

An individual or entity (Form W-9 requester) who is required to file an information return with the IRS must obtain your correct taxpayer identification number (TIN) which may be your social security number (SSN), individual taxpayer identification number (ITIN), adoption taxpayer identification number (ATIN), or employer identification number (EIN), to report on an information return the amount paid to you, or other amount reportable on an information return. Examples of information returns include, but are not limited to, the following.

- Form 1099-DIV (dividends, including those from stocks or mutual funds)
- Form 1099-MISC (various types of income, prizes, awards, or gross proceeds)
- Form 1099-B (stock or mutual fund sales and certain other transactions by brokers)
- Form 1099-S (proceeds from real estate transactions)
- Form 1099-K (merchant card and third party network transactions)
- Form 1098 (home mortgage interest), 1098-E (student loan interest), 1098-T (tuition)
- Form 1099-C (canceled debt)
- Form 1099-A (acquisition or abandonment of secured property)

Use Form W-9 only if you are a U.S. person (including a resident alien), to provide your correct TIN.

*If you do not return Form W-9 to the requester with a TIN, you might be subject to backup withholding. See What is backup withholding, later.*

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**CITY MANAGER'S REPORT  
MAY 11, 2020, CITY COUNCIL REGULAR MEETING**

**ITEM:** **CITY OF LATHROP COMMUNITY EVENT  
CANCELLATIONS DUE TO THE CORONAVIRUS  
(COVID-19)**

**RECOMMENDATION:** **Review and Adopt Resolutions Cancelling  
Community Events in Compliance with the  
Governor's Shelter at Home Order Due to the  
COVID-19 Pandemic**

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**SUMMARY**

In response Governor Newsom's Shelter at Home Order the City of Lathrop Department of Parks and Recreation is proposing the cancellation of local community events through September 2020. As we continue to anticipate limitations on gatherings we plan to return to regular programming following these cancellations.

Staff requests City Council review the proposed cancellations and adopt a resolution to cancel community events through September 2020 to ensure the health and safety of the citizens of Lathrop.

**BACKGROUND:**

On March 18<sup>th</sup> California Governor Gavin Newsom enacted a Shelter at Home Order for residents of California in attempt to flatten the curve and curb the spread of Coronavirus (COVID-19). This order established Social Distancing Guidelines and called for the cancellation of any and all events that invited gatherings of more than 10 people. The Governor's most recent update indicated the return to large gatherings would be included in Phase 4 of the plan or when vaccination has been identified, which is not anticipated to occur at least through September. With this in mind the Parks and Recreation Department recommends the cancellation of the following community events through September including:

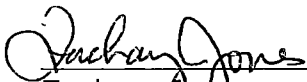
- Memorial Day
- Movies in the park
- Father's Day
- The Lathrop Anniversary Celebration
- Concerts in the Park
- Family Fun Night
- Grandparents Day
- Comedy Under the Stars
- The Sale of Safe and Sane Fireworks

**CITY MANAGER'S REPORT  
MAY 11, 2020, CITY COUNCIL REGULAR MEETING  
CITY OF LATHROP COMMUNITY EVENT CANCELLATIONS DUE TO THE  
CORONAVIRUS (COVID-19)**

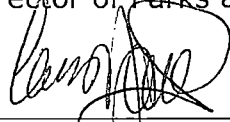
**REASON FOR RECOMMENDATION:**

Staff is recommending Council consider the cancelling community events in compliance with the Governor's Shelter at Home Order to ensure the health and for the safety of the citizens of Lathrop.

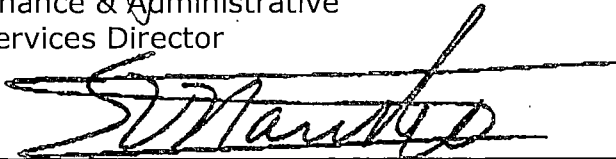
**APPROVALS:**

  
\_\_\_\_\_  
Zachary Jones  
Director of Parks and Recreation

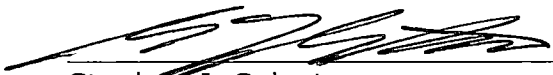
5-5-2020  
Date

  
\_\_\_\_\_  
Cari James  
Finance & Administrative  
Services Director

5-5-2020  
Date

  
\_\_\_\_\_  
Salvador Navarrete  
City Attorney

5/5/2020  
Date

  
\_\_\_\_\_  
Stephen J. Salvatore  
City Manager

5.6.2020  
Date



**RESOLUTION NO. 20-**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP APPROVING THE CANCELLATION OF COMMUNITY EVENTS THROUGH IN COMPLIANCE WITH THE GOVERNOR'S SHELTER AT HOME ORDER DUE TO THE COVID-19 PANDEMIC**

**WHEREAS**, on March 18, 2020 California Governor Gavin Newsom enacted a Shelter at Home Order for the residents of California to flatten the curve and curb the spread of the Coronavirus (COVID-19); and

**WHEREAS**, this order established Social Distancing Guidelines and called for the cancellation of any and all events that invited gatherings of more than 10 people; and

**WHEREAS**, in compliance with this order the Parks and Recreation Department proposes the cancellation of community events through September 2020 including:

- Memorial Day
- Movies in the park
- Father's Day
- The Lathrop Anniversary Celebration
- Concerts in the Park
- Family Fun Night
- Grandparents Day
- Comedy Under the Stars
- The Sale of Safe and Sane Fireworks

**NOW, THEREFORE, BE IT RESOLVED**, that the City Council of the City of Lathrop approves this resolution cancelling community events through September 2020 in compliance with the Governor's Shelter at Home Order due to the COVID-19 Pandemic.

The foregoing resolution was passed and adopted this 11<sup>th</sup> day of May, 2020,  
by the following vote of:

AYES:

NOES:

ABSTAIN:

ABSENT:

\_\_\_\_\_  
Sonny Dhaliwal, Mayor

**ATTEST:**

\_\_\_\_\_  
Teresa Vargas, City Clerk

**APPROVED AS TO FORM:**

  
\_\_\_\_\_  
Salvador Navarrete, City Attorney