

APRIL 8, 2019 – City Council Regular Meeting – 7:00 p.m.



City Council Chamber
390 Towne Centre Drive
Lathrop, California
(209) 941-7200
www.ci.lathrop.ca.us

City Council

Sonny Dhaliwal, Mayor
Martha Salcedo, Vice Mayor
Paul Akinjo
Diane Lazard
Jennifer Torres-O'Callaghan

City Staff

Stephen Salvatore, City Manager
Salvador Navarrete, City Attorney
Teresa Vargas, City Clerk
Glenn Gebhardt, City Engineer
Cari James, Finance & Administrative
Services Director
Mark Meissner, Community
Development Director
Zachary Jones, Parks & Recreation
Director
Ryan Biedermann, Lieutenant /
Acting Chief of Police
Michael King, Assistant Public Works
Director

General Order of Business

1. Preliminary
 - Call to Order
 - Closed Session
 - Roll Call
 - Invocation
 - Pledge of Allegiance
 - Announcements by Mayor/City Mgr.
 - Informational Items
 - Declaration of Conflict of Interest
2. Presentations
3. Citizen's Forum
4. Consent Calendar
5. Scheduled Items
 - Public Hearings
 - Appeals
 - Referrals and Reports from Commissions and Committees
 - All Other Staff Reports and/or Action Items
 - Study Sessions
6. Council Communications
7. Adjournment

Order of Discussion

Generally, the order of discussion after introduction of an item by the Mayor will include comments and information by staff followed by City Council questions and inquiries. The applicant, or their authorized representative, or interested residents, may then speak on the item; each speaker may only speak once to each item. At the close of public discussion, the item will be considered by the City Council and action taken.

Consent Calendar

Items on the Consent Calendar are considered to be routine by the City Council and will be enacted by one motion and one vote. There will be no separate discussion of these items unless a Councilmember or interested resident so requests, in which case the item will be removed from the Consent Calendar and considered separately.



APRIL 8, 2019 – Regular Meeting Agenda – 7:00 p.m.



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Addressing the Council

Any person may speak once on any item under discussion by the City Council after receiving recognition by the Mayor. Purple speaker cards will be available prior to and during the meeting. To address City Council, a card must be submitted to the City Clerk indicating name, address and number of the item upon which a person wishes to speak. When addressing the City Council, please walk to the lectern located in front of the City Council. State your name and address. In order to ensure all persons have the opportunity to speak, a time limit will be set by the Mayor for each speaker (see instructions on speaker form). In the interest of time, each speaker may only speak once on each individual agenda item; please limit your comments to new material; do not repeat what a prior speaker has said. If you challenge the nature of a proposed action in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City Council at, or prior to, the public hearing.

Citizen's Forum

Any person desiring to speak on a matter which is not scheduled on this agenda may do so under the Citizen's Forum section. Please submit your purple speaker card to the City Clerk prior to the commencement of Citizen's Forum. **Only those who have submitted speaker cards, or have expressed an interest to speak, prior to the conclusion of Citizen's Forum will be called upon to speak.** Please be aware the California Government Code prohibits the City Council from taking any immediate action on an item which does not appear on the agenda, unless the item meets stringent statutory requirements. The Mayor will limit the length of your presentation (see instructions on speaker form) and each speaker may only speak once on this agenda item.

To leave a voice message for the Mayor and all Councilmembers simultaneously, dial (209) 941-7220. To send an e-mail for the Mayor and all Councilmembers simultaneously, citycouncil@ci.lathrop.ca.us

This City Council Agenda may be accessed by computer at the following Worldwide Web Address: www.ci.lathrop.ca.us LIVE STREAMING - Now available, please visit the City Council Page or use the URL www.ci.lathrop.ca.us/council/

Information

Copies of the Agenda are available in the lobby at the Lathrop City Hall, 390 Towne Centre Drive, Lathrop, on Thursday preceding a regularly scheduled City Council meeting. Supplemental documents relating to specific agenda items are available for review in the City Clerk's Office. This agenda was posted at the following locations: City Hall, Community Center, Generations Center, Senior Center, and "J" Street Fire Department. The meetings of the Lathrop City Council are broadcast on Lathrop Comcast Cable Television Channel 97.

Assistance will be provided to those requiring accommodations for disabilities in compliance with the Americans with Disabilities Act of 1990. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility and/or accommodations to this meeting. [28 CFR 35.102-35.104 ADA Title II] Interested persons must request the accommodation at least 2 working days in advance of the meeting by contacting the City Clerk at (209) 941-7230.

Information about the City or items scheduled on the Agenda may be referred to:

Address: City Clerk
City of Lathrop
390 Towne Centre Dr.
Lathrop, CA 95330
Telephone: (209) 941-7230

Your interest in the conduct of your City's business is appreciated.

**CITY OF LATHROP
CITY COUNCIL REGULAR MEETING
MONDAY, APRIL 8, 2019,
7:00 P.M.
COUNCIL CHAMBER, CITY HALL
390 Towne Centre Drive
Lathrop, CA 95330**

AGENDA

PLEASE NOTE: There will be no Closed Session. The Regular Meeting will commence at 7:00 p.m.

1. PRELIMINARY

- 1.1 CALL TO ORDER
- 1.2 ROLL CALL
- 1.3 INVOCATION
- 1.4 PLEDGE OF ALLEGIANCE
- 1.5 ANNOUNCEMENT(S) BY MAYOR / CITY MANAGER
- 1.6 INFORMATIONAL ITEM(S) - None
- 1.7 DECLARATION OF CONFLICT(S) OF INTEREST

2. PRESENTATIONS

- 2.1 PROCLAMATION PRESENTED TO THE WOMEN'S CENTER-YOUTH & FAMILY SERVICES DECLARING APRIL SEXUAL ASSAULT AWARENESS MONTH
- 2.2 PRESENTATION PROVIDED BY THE SAN JOAQUIN REGIONAL TRANSIT DISTRICT (RTD)
 - Receive Information Regarding RTD's New On-Demand "Van Go" Rideshare Services Throughout San Joaquin County Service Areas
- 2.3 INTRODUCTION OF NEW EMPLOYEE(S):
 - Kahekili "Kili" Seto, Sergeant
 - Mario Hoy, Deputy Sheriff
 - Christopher Ollis, Deputy Sheriff
- 2.4 ECONOMIC DEVELOPMENT UPDATE
- 2.5 MAYOR'S COMMITTEE REPORT(S)
 - Parks & Recreation Update on Committee Events and Programs

3. CITIZEN'S FORUM

Any person desiring to speak on a matter which is not scheduled on this agenda may do so under Citizen's Forum. Please submit a purple speaker card to the City Clerk prior to the commencement of Citizen's Forum. Only those who have submitted speaker cards, or have expressed an interest to speak, prior to the conclusion of Citizen's Forum will be called upon to speak. Please be aware the California Government Code prohibits the City Council from taking any immediate action on an item which does not appear on the agenda, unless the item meets stringent statutory requirements. The City Council can, however, allow its members or staff to briefly (no more than five (5) minutes) respond to statements made, to ask questions for clarification, make a brief announcement or report on his or her own activities. (See California Government Code Section 54954.2(a)). Unless directed otherwise by a majority of the City Council, all questions asked and not answered at the meeting will be responded to in writing within 10 business days. ALL PUBLIC COMMENTS MUST BE MADE IN COMPLIANCE WITH THE LATHROP CITY COUNCIL HANDBOOK OF RULES AND PROCEDURES!!

4. CONSENT CALENDAR

Items on the Consent Calendar are considered to be routine by the City Council and will be enacted by one motion and one vote. There will be no separate discussion of these items unless the Mayor, Councilmember, or citizen so requests, in which event the item will be removed from the Consent Calendar and considered separately.

- 4.1 **WAIVING OF READING OF ORDINANCES AND RESOLUTIONS**
Waive the Reading of Ordinances and Resolutions on Agenda Unless Otherwise Requested by the Mayor or a Councilmember
- 4.2 **APPROVAL OF MINUTES**
Approve Minutes for the Regular Council Meeting of February 11, 2019
- 4.3 **APPROVAL OF MINUTES**
Approve Minutes for the Regular Council Meeting of March 11, 2019
- 4.4 **TEMPORARILY FUND AN ADDITIONAL UTILITY AND STREET MAINTENANCE SUPERINTENDENT POSITION, CREATION OF A JOB DESCRIPTION AND FUNDING FOR A UTILITY PLANT SUPERVISOR POSITION, AND RELATED BUDGET AMENDMENTS**
Adopt Resolution Temporarily Funding an Additional Utility and Street Maintenance Superintendent Position, Approve Creation of a Job Description and Funding for a Utility Plant Supervisor Position, and Approve Related Budget Amendments for Succession Planning Purposes
- 4.5 **ACCEPTANCE OF STORM DRAIN EASEMENT AGREEMENT ASSOCIATED WITH SOUTH LATHROP COMMERCE CENTER**
Adopt a Resolution Accepting Dedication of Storm Drain Easement Agreement Associated with South Lathrop Commerce Center, between South Lathrop, L.L.C., and City of Lathrop

- 4.6 ACCEPTANCE OF COMPLETED PORTIONS OF TRACT 3533 FOR POTABLE WATER, RECYCLED WATER, STORM DRAIN AND SANITARY SEWER BACKBONE IMPROVEMENTS FROM SAYBROOK CLSP, LLC
Adopt Resolution Accepting Completed Portions of Tract 3533 Potable Water, Recycled Water, Storm Drain and Sanitary Sewer Backbone Improvements from Saybrook CLSP, LLC
- 4.7 CREATE CIP PS 19-12 2019 CITYWIDE ENGINEERING & TRAFFIC SURVEY
Adopt a Resolution Approving a Budget Amendment and Creating CIP PS 19-12 to Complete a Citywide Engineering and Traffic Survey
- 4.8 APPROVE TASK ORDER NO. 6 WITH INTERWEST CONSULTING GROUP FOR PROFESSIONAL BUILDING DIVISION SERVICES AND RELATED BUDGET AMENDMENT
Adopt a Resolution Approving Task Order No. 6 with Interwest Consulting Group to Provide Professional Building Division Plan Check Services and Related Budget Amendment
- 4.9 GRANT APPLICATION TO PURCHASE AN ALTERNATIVE FUEL VEHICLE AND RELATED BUDGET AMENDMENTS
Adopt a Resolution Authorizing the Submittal of a Grant Application to SJVAPCD and Approve a Budget Amendment to Purchase a New Alternative Fuel Vehicle
- 4.10 APPROVAL OF THE PRELIMINARY ENGINEER'S REPORT AND DECLARATION OF INTENTION TO LEVY ANNUAL ASSESSMENTS FOR FISCAL YEAR 2019/20 FOR INDUSTRIAL LIGHTING MAINTENANCE DISTRICT; RESIDENTIAL LIGHTING MAINTENANCE DISTRICT; MOSSDALE LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT; STONEBRIDGE LANDSCAPE MAINTENANCE DISTRICT; STONEBRIDGE DRAINAGE AND LIGHTING DISTRICT; STORM DRAIN DISTRICT ZONE 1; AND STORM DRAIN DISTRICT ZONE 1A
Council to Consider the Following:
1. Adopt a Resolution Approving the Preliminary Engineer's Report for the Industrial Lighting Maintenance District and Declaring Intention to Levy Annual Assessments for Fiscal Year 2019/20
 2. Adopt a Resolution Approving the Preliminary Engineer's Report for the Residential Lighting Maintenance District and Declaring Intention to Levy Annual Assessments for Fiscal Year 2019/20
 3. Adopt a Resolution Approving the Preliminary Engineer's Report for the Mossdale Landscape and Lighting Maintenance District and Declaring Intention to Levy Annual Assessments for Fiscal Year 2019/20
 4. Adopt a Resolution Approving the Preliminary Engineer's Report for the Stonebridge Landscape Maintenance District and the Stonebridge Drainage & Lighting District and Declaring Intention to Levy Annual Assessments for Fiscal Year 2019/20
 5. Adopt a Resolution Approving the Preliminary Engineer's Report for the Storm Drain Districts Zones 1 and 1A and Declaring Intention to Levy Annual Assessments for Fiscal Year 2019/20

- 4.11 APPROVAL OF THE PRELIMINARY ENGINEER'S REPORT AND DECLARATION OF INTENTION TO LEVY ANNUAL ASSESSMENTS FOR FISCAL YEAR 2019/20 FOR LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT NO. 93-1 (WOODFIELD PARK)
 Adopt a Resolution Approving the Preliminary Engineer's Report for Landscape and Lighting Maintenance District No. 93-1 (Woodfield Park) and Declaring Intention to Levy Annual Assessments for Fiscal Year 2019/20
- 4.12 APPROVAL OF FINAL MAP AND SUBDIVISION IMPROVEMENT AGREEMENT (SIA) FOR 36 LOTS IN TRACT 3997 VILLAGE "Y" WITHIN LAKESIDE EAST DISTRICT OF RIVER ISLANDS
 Adopt Resolution Approving Final Map for Tract 3997 Village "Y" within the Lakeside East District, Totaling 36 Single-Family Lots, Irrevocable Offer of Dedication for portion of Norbeck Street, Garden Farms Avenue, Bosch Avenue and a Subdivision Improvement Agreement with River Islands Development, LLC
- 4.13 APPROVE TASK ORDER NO. 2 TO THE MASTER CONSULTANT AGREEMENT WITH VALI COOPER AND ASSOCIATES, INC. TO PROVIDE CONSTRUCTION INSPECTION SERVICES FOR RIVER ISLANDS DEVELOPMENT
 Adopt a Resolution Approving Task Order No. 2 to the Master Consultant Agreement with Vali Cooper & Associates, Inc. to provide Construction Inspection Services for River Islands Development Stage 2A and 2B Improvements and Associated Budget Amendment
- 4.14 ACCEPTANCE OF RIVER ISLANDS PUBLIC IMPROVEMENTS FOR TRACTS 3836, 3837, 3838, 3912, 3913, 3914 AND 3938
 Adopt Resolution Accepting River Islands Public Improvements for Tracts 3836, 3837, 3838, 3912, 3913, 3914 and 3938

5. SCHEDULED ITEMS

- 5.1 PUBLIC HEARING (PUBLISHED NOTICE) TO ESTABLISH "CITY OF LATHROP COMMUNITY FACILITIES DISTRICT NO. 2019-1 (SOUTH LATHROP CITY SERVICES)" (THE "CFD") UNDER THE MELLO-ROOS COMMUNITY FACILITIES ACT OF 1982, CONSTITUTING CHAPTER 2.5 OF PART 1 OF DIVISION 2 OF TITLE 5, COMMENCING AT SECTION 53311, OF THE CALIFORNIA GOVERNMENT CODE (THE "ACT")
 Council to Consider the Following:
1. Hold a Public Hearing; and
 2. Adopt Resolution of Formation of Community Facilities District 2019-1 (South Lathrop City Services);
 3. Adopt Resolution Calling for a Special Landowner Election of Community Facilities District No. 2019-1 (South Lathrop City Services);
 4. Adopt Resolution Declaring Results of Special Landowner Election and Direct Recording of Notice of Special Tax Lien for Community Facilities District No. 2019-1 (South Lathrop City Services); and
 5. First Reading and Introduction of an Ordinance Levying Special Taxes Within Community Facilities District No. 2019-1 (South Lathrop City Services)

5.2 PUBLIC HEARING (PUBLISHED NOTICE) TO ESTABLISH "CITY OF LATHROP COMMUNITY FACILITIES DISTRICT NO. 2019-2 (CENTRAL LATHROP SPECIFIC PLAN SERVICES)" (THE "CFD") UNDER THE MELLO-ROOS COMMUNITY FACILITIES ACT OF 1982, CONSTITUTING CHAPTER 2.5 OF PART 1 OF DIVISION 2 OF TITLE 5, COMMENCING AT SECTION 53311, OF THE CALIFORNIA GOVERNMENT CODE (THE "ACT")

Council to Consider the Following:

1. Hold a Public Hearing; and
2. Adopt Resolution of Formation of Community Facilities District 2019-2 (Central Lathrop City Services);
3. Adopt Resolution Calling for a Special Election of Community Facilities District No. 2019-2 (Central Lathrop City Services);
4. Adopt Resolution Declaring Results of Special Election and Direct Recording of Notice of Special Tax Lien for Community Facilities District No. 2019-2 (Central Lathrop City Services);
5. Adopt Resolution to Dissolve Community Facilities District No. 2006-2 (Central Lathrop Specific Plan Services); and
6. First Reading and Introduction of an Ordinance Levying Special Taxes Within Community Facilities District No. 2019-2 (Central Lathrop City Services)

5.3 PUBLIC HEARING (PUBLISHED NOTICE) TO CONSIDER MUNICIPAL CODE AMENDMENT TO UPDATE VARIOUS SECTIONS OF THE LMC TO STREAMLINE PROCEDURES, MINOR CLARIFICATIONS, AND INCORPORATE UPDATED POLICIES

Council to Consider the Following:

1. Hold a Public Hearing; and
2. First Reading and Introduce an Ordinance Adopting Various Amendments to the Lathrop Municipal Code (LMC) to Modernize, Simplify, and Streamline Sections of Title 17, The Zoning Code and Section 10.25.040 Of Title 10, Vehicles and Traffic. The Update Includes Integration of Current City Policies, State and Federal Law, and Best Practices within the Planning Profession. The amendments to the Municipal Code include the following:
 - o Chapter 17.80 (Accessory Dwelling Units)
 - o Chapter 17.32 (R One Family Residential District)
 - o Chapter 17.49 (Crossroads Overlay District)
 - o Chapter 17.92 (Landscaping and Screening Standards)
 - o Chapter 17.16 (General Requirements and Exceptions)
 - o Chapter 17.68 (Manufactured Housing)
 - o Chapter 17.76 (Off-Street Parking and Loading)
 - o Chapter 17.59 (South Lathrop Zoning Districts)
 - o New Chapter 17.125 (Appeals)
 - o Chapter 17.108 (Administrative Approval of Certain Uses)
 - o Chapter 17.112 (Conditional Uses)
 - o Chapter 17.101 (Minor Site Plan Review)
 - o Chapter 17.100 (Site Plan Review)
 - o Chapter 17.120 (Variances)
 - o Chapter 10.25 (Vehicles and Traffic)

- 5.4 DESIGN REVIEW AND BUDGET AMENDMENT APPROVAL FOR CIP PK 19-03
MOSSDALE SOUTH NEIGHBORHOOD PARK
Council to Consider a Budget Amendment for CIP PK 19-03 to Allow Staff to Bid Project and Return with Construction Contracts for the Construction of Mossdale South Neighborhood Park
- 5.5 CREATE CIP GG 19-07 FOR CITYWIDE SURVEILLANCE SYSTEM
Council to Discuss and Consider the Adoption of a Resolution Approving the Creation of CIP GG 19-07 for Citywide Surveillance System and Related Budget Amendment

6. COUNCIL COMMUNICATIONS

- 6.1 MAYOR DHALI WAL REFERRAL: Appointment of One (1) Member to the Parks & Recreation Commission with Term Expiring June 30, 2021; due to Unexpired Term Vacancy
- Four (4) Applications Received
- 6.2 MAYOR DHALI WAL REFERRAL: Set Application Deadline for Appointment of One (1) Member to the Parks & Recreation Commission with Term Expiring June 30, 2022; This Appointment Completes an Unexpired Term Vacancy Ending June 30, 2019, and a Regular Three (3) Year Term
- 6.3 MAYOR & COUNCILMEMBER COMMITTEE REPORT(S)
- *Central Valley Executive Committee/LOCC (Akinjo/Salcedo)*
 - *Council of Governments (Dhaliwal/Lazard)*
 - *Integrated Waste Management Solid Waste Division (Akinjo/Torres-O'Callaghan)*
 - *Reclamation District 17 Joint Powers Authority (Salvatore)*
 - *San Joaquin Partnership Board of Directors (Salvatore)*
 - *San Joaquin County Commission on Aging (Zavala)*
 - *San Joaquin Valley Air Pollution Control District (Akinjo/Dhaliwal)*
 - *Water Advisory Board (Torres-O'Callaghan/Lazard)*
 - *Tri Valley-San Joaquin Valley Regional Rail Authority (Akinjo)*
 - *San Joaquin Area Flood Control Agency (Akinjo & Lazard)*
- 6.4 MAYOR & COUNCILMEMBER COMMENT(S)

7. ADJOURNMENT


Teresa Vargas, CMC
City Clerk

**CITY OF LATHROP
CITY COUNCIL REGULAR MEETING
MONDAY, FEBRUARY 11, 2019
7:00 P.M.
COUNCIL CHAMBER, CITY HALL
390 Towne Centre Drive
Lathrop, CA 95330**

MINUTES

PLEASE NOTE: There was a Closed Session which commenced at 6:04 p.m. The Regular Meeting reconvened at 7:01 p.m.

1. PRELIMINARY

- 1.1 CALL TO ORDER – Mayor Dhaliwal called the meeting to order at 6:04 p.m.
- 1.2 CLOSED SESSION
 - 1.2.1 CONFERENCE WITH LEGAL COUNSEL Anticipated Litigation - Significant Exposure to Litigation Pursuant to Government Code Section 54956.9(b)
 - 1 Potential Case(s)
 - 1.2.2 CONFERENCE WITH LABOR NEGOTIATOR Pursuant to Government Code Section 54957.6
Agency Negotiator: City Manager, Stephen J. Salvatore
Employee Organization: Service Employee International Union (SEIU) Local 1021
 - 1.2.3 CONFERENCE WITH LABOR NEGOTIATOR Pursuant to Government Code Section 54957.6
Agency Negotiator: City Manager, Stephen J. Salvatore
Employee Organization: Lathrop Mid-Managers and Confidential Employees Association (LMCEA)
 - 1.2.4 CONFERENCE WITH LABOR NEGOTIATOR Pursuant to Government Code Section 54957.6
Agency Negotiator: City Manager, Stephen J. Salvatore
Unrepresented Employees: Administrative Services Director, City Clerk, City Engineer, Community Development Director, Finance Director, Human Resources Manager, Parks and Recreation Director and Public Works Director
 - 1.2.5 CONFERENCE WITH REAL PROPERTY NEGOTIATORS: Pursuant to Government Code Section 54956.8
Property Location: Portion of 1175 Marina Drive (APN 213-310-33)
Agency Negotiators: City Manager, Stephen J. Salvatore
Negotiating Parties: River Islands Development, LLC.
Under Negotiation: Price and Terms of Payment

RECONVENE – Mayor Dhaliwal reconvened the meeting at 7:01 p.m.

1.2.6 REPORT FROM CLOSED SESSION

City Attorney Salvador Navarrete reported that for Items 1.2.2, 1.2.3, and 1.2.4, the City Council approved a one (1) year extension on same terms and conditions as the previous three (3) years, with a 4-0 vote (Salcedo absent); for Item 1.2.5, Councilmember Lazard abstained and did not participate in that portion of Closed Session, remaining Councilmembers approved a purchase price of \$830,000, with a 3-0 vote (Salcedo absent; Lazard abstained); no other reportable action taken.

- 1.3 ROLL CALL** Present: Mayor Dhaliwal; Councilmembers: Akinjo, Lazard, and Torres-O’Callaghan.
Absent: Vice Mayor Salcedo

1.4 INVOCATION – Pastor Bill Barnett, Grace Community Church, provided the invocation.

1.5 PLEDGE OF ALLEGIANCE – Pastor Bill Barnett led the pledge of allegiance.

1.6 ANNOUNCEMENT(S) BY MAYOR / CITY MANAGER

City Manager Stephen Salvatore reported on the California Department of Water Resources approval of the City of Lathrop’s basin boundary modification request under the Sustainable Groundwater Management Act (SGMA). The modification places the City of Lathrop entirely within the Tracy sub-basin, a non-critically over drafted basin.

1.7 INFORMATIONAL ITEM(S) - None

1.8 DECLARATION OF CONFLICT(S) OF INTEREST

Councilmember Lazard declared a conflict of interest with Items 4.14, 4.15, and 5.1, due to her employment with Dell’Osso Family Farms.

2. PRESENTATIONS

2.1 PROCLAMATION - DECLARING FEBRUARY AS BLACK HISTORY MONTH

Councilmember Jennifer Torres-O’Callaghan presented a proclamation declaring February as Black History Month to Lathrop residents Minnie Diallo and Brandy Brown Perkins. Ms. Diallo and Ms. Brown commented on the matter and presented information related to the Lathrop Black Caucus; Lathrop students were invited to recite poems and speeches related to the matter. Councilmembers thanked those that participated.

2.2 LATHROP POLICE SERVICES TO PRESENT CERTIFICATES OF RECOGNITION TO COMMUNITY ORGANIZATIONS FOR CHARITABLE EVENTS DURING THE HOLIDAYS

Deputy Sheriff Jefferson Dominguez provided an overview of charitable events during the holidays and presented certificates of appreciation to the:

- Staff Sergeant Addison, Sergeant Pettway, Toys for Tots Ambassador Glenn Jose, and the Transportation Services Company, Marine Combat Logistics Battalion 23 at Sharpe Army Depot for the December 2018 Toys for Tots Toy Drive; and
- Lathrop Target Store Employees for the December 2018 Blue Santa Operation.

2.3 MAYOR'S COMMITTEE REPORT(S)

- Parks & Recreation Update on Committee Events and Programs

Parks and Recreation Director Zach Jones reported the following past and upcoming events and programs:

- *Art Committee featured Artist*
Announced art display in Council Chamber by Gary Wilson, paintings to be displayed through March 2019.
- *River Park South*
Announced 72-hour Dog Park closure guidelines during inclement weather.
- *Valverde and Mossdale Park Improvements*
Announced installation of various improvements: outdoor fitness equipment, concrete BBQ stations, trash cans, and pet waste stations.
- *CalFest Convention*
Reported attendance to the 2019 CalFest Convention; received five (5) 1st place awards in various categories.

3. CITIZEN'S FORUM

Nellie Zavala (Commission on Aging) reported her attendance to the San Joaquin County Commission on Aging meeting held February 4, 2019. Irene Torres (Lathrop, CA) requested information related to a public utility easement associated with 570 Lathrop Road, recorded prior to the City incorporating. City Attorney Salvador Navarrete provide additional information. MJ Lazarski (Lathrop, CA) expressed concern with the wire nets recently installed at various basketball courts; requested installation of nylon nets.

4. CONSENT CALENDAR

On a motion by Councilmember Lazard, seconded by Mayor Dhaliwal, the City Council approved the Consent Calendar, except *Items 4.14 and 4.15, by the following roll call vote, unless otherwise indicated:

Ayes: Akinjo, Lazard, Torres-O'Callaghan, and Dhaliwal
Noes: Torres-O'Callaghan (Item 4.10 only)
Absent: Salcedo
Abstain: None

** Items 4.14 and 4.15 – The City Council voted on the items separately, following the vote of the Consent Calendar.*

***City Clerk Teresa Vargas confirmed receipt of a public comment letter addressing Items 4.3, 4.4, 4.6, 4.11, 4.15, 5.1, 5.2, 5.3, and 5.5, submitted by Martin Harris, Terra Land Group, LLC.; the letter addressing the mentioned items was provided to the Council and copies were made available to the public.*

4.1 WAIVING OF READING OF ORDINANCES AND RESOLUTIONS

Waived the reading of ordinances and resolutions on agenda unless otherwise requested by the Mayor or a Councilmember.

4.2 APPROVAL OF MINUTES

Approved Minutes for the Regular Council Meeting of December 10, 2018.

4.3 **SECOND READING AND ADOPTION OF ORDINANCE 19-400 APPROVING THE SECOND AMENDMENT TO THE DEVELOPMENT AGREEMENT AND THE ASSIGNMENT AND ASSUMPTION AGREEMENT BETWEEN THE CITY OF LATHROP, WATT-MCKEE, LATHROP ASSOCIATES, STEVEN R. MCKEE ROBERT E. MCKEE 1997 BYPASS TRUST AND WESTERN PACIFIC HOUSING INC. REGARDING THE MOSSDALE LANDING EAST PROJECT

Held second reading and adopted **Ordinance 19-400** approving the Second Amendment to the Development Agreement and the Assignment and Assumption Agreement between the City of Lathrop, Watt-McKee, Lathrop Associates, Steven R. McKee Robert E. McKee 1997 Bypass Trust and Western Pacific Housing Inc. regarding the Mosssdale Landing East Project. (The Second Amendment proposes to extend the term of the Development Agreement from 15 years to 25 years. The Assignment and Assumption Agreement will transfer the developer's rights, title and interest for Parcel 241-020-66 to Mosssdale Landing Apartments, LLC.)

4.4 ****SECOND READING AND ADOPTION OF ORDINANCE 19-401 APPROVING THE FIRST AMENDMENT TO THE DEVELOPMENT AGREEMENT AND THE ASSIGNMENT AND ASSUMPTION AGREEMENT BETWEEN THE CITY OF LATHROP, MARIE A. VALLENTYNE, AND TCN PROPERTIES REGARDING THE MOSSDALE LANDING SOUTH PROJECT**

Held second reading and adopted **Ordinance 19-401** approving the First Amendment to the Development Agreement and the Assignment and Assumption Agreement between the City of Lathrop, Marie A. Vallentyne, and TCN Properties regarding the Mossdale Landing South Project. (The First Amendment proposes to extend the term of the Development Agreement from 15 years to 25 years. The Assignment and Assumption Agreement will transfer the developer's rights, title and interest for Parcel 241-020-61 to Mossdale Landing Apartments, LLC.)

4.5 **TREASURER'S REPORT DECEMBER 2018**

Approved Quarterly Treasurer's Investment Report for December 2018.

4.6 ****REVISED WASTEWATER TREATMENT CAPACITY (ISU) TRANSFER POLICY**

Adopted **Resolution 19-4504** approving a revised Wastewater Treatment Capacity (ISU) Transfer Policy for capacity allocated by the City of Lathrop in the Manteca Water Quality Control Facility (MWQCF).

4.7 **CITY VEHICLE PURCHASE FOR PUBLIC WORKS CONSTRUCTION, STREETS AND UTILITY MAINTENANCE**

Adopted **Resolution 19-4505** approving the purchase of five (5) City vehicles from Steve's Chevrolet/Buick Inc., for Public Works Construction, Streets, and Utility Maintenance Divisions.

4.8 **PARKING LOT IMPROVEMENTS AT VALVERDE PARK**

Adopted **Resolution 19-4506** creating Capital Improvement Project, PK 19-06, Valverde Park parking lot repairs, Curb and gutter realignment, and related budget amendment.

4.9 **ACCEPT GRAVITY SEWER MAIN CONSTRUCTED BY TEICHERT & SONS, DBA TEICHERT CONSTRUCTION, AT 2131 & 2301 E. LOUISE AVENUE**

Adopted **Resolution 19-4507** accepting gravity sewer main improvements constructed by Teichert Construction, under contract with Developer DPIF CA 1 Lathrop, LLC, at 2131 & 2301 E. Louise Avenue, and authorized release of Performance Bond, and filing of a Notice of Completion.

4.10 RECOMMENDATION TO CHANGE "NESTLE WAY" TO "TESLA DRIVE"

Pulled by Councilmember Torres-O'Callaghan; expressed concern with recent Tesla employee layoffs. Councilmembers commented on the matter. City Manager Stephen Salvatore provided information related to Tesla production activity in Lathrop.

Adopted **Resolution 19-4508** approving street name modification to change "Nestle Way" to "Tesla Drive".

4.11 **2019 ONE VOICE TRIP REGIONAL PROJECT SUPPORT LETTER

Adopted **Resolution 19-4509** authorizing staff to submit a Letter of Support for the Valley Link Commuter Rail Project, associated with the 2019 San Joaquin One Voice Program.

4.12 ACCEPTANCE OF PUBLIC RIGHT-OF-WAY DEDICATION ASSOCIATED WITH THE MOSSDALE LANDING APARTMENTS

Adopted **Resolution 19-4510** accepting dedication of public right-of-way for Manthey Road and Sadler Oak, associated with the Mossdale Landing Apartments Project.

4.13 ACCEPT LANDSCAPE IMPROVEMENTS FROM RICHLAND COMMUNITIES FOR LAND APPLICATION SITE NUMBER 3 (LAS-3)

Adopted **Resolution 19-4511** accepting landscape improvements from Richland Communities for LAS-3 and authorized release of Performance Bonds.

Councilmember Lazard recused herself, following the vote of the consent calendar (Items 4.1 to 4.13), and left the chamber at 8:21 p.m. prior to Items 4.13 and 4.14, due to declared conflict of interest as noted in Item 1.8.

4.14 *APPROVAL OF FINAL MAP AND SUBDIVISION IMPROVEMENT AGREEMENT (SIA) FOR 35 LOTS IN TRACT 3892 VILLAGES "D" AND "E" WITHIN EAST VILLAGE OF RIVER ISLANDS

On a motion by Mayor Dhaliwal, seconded by Councilmember Torres-O'Callaghan, the City Council adopted **Resolution 19-4512** approving Final Map for Tract 3892 Villages "D" and "E" within East Village District, totaling 35 single-family lots and a Subdivision Improvement Agreement with River Islands Development, LLC, by the following roll call vote:

Ayes: Akinjo, Torres-O'Callaghan, and Dhaliwal
Noes: None
Absent: Salcedo
Abstain: Lazard

4.15 ***/**APPROVE IMPROVEMENTS TO CRYSTAL COVE PARK AND DEDICATION OF CRYSTAL COVE PARK PARCEL FROM RIVER ISLANDS DEVELOPMENT, LLC AND SUBSEQUENT DEDICATION OF CRYSTAL COVE PARK TO RECLAMATION DISTRICT 2062**

On a motion by Mayor Dhaliwal, seconded by Councilmember Torres-O'Callaghan, the City Council adopted **Resolution 19-4513** accepting improvements to Crystal Cove Park and dedication of Crystal Cove Park Parcel from River Islands Development, LLC, and approved subsequent dedication of Crystal Cove Park Parcel to Reclamation District 2062, by the following roll call vote:

Ayes: Akinjo, Torres-O'Callaghan, and Dhaliwal
Noes: None
Absent: Salcedo
Abstain: Lazard

5. SCHEDULED ITEMS

(Item 5.1 - continued from the Regular Meeting of January 14, 2019)

5.1 ****PUBLIC HEARING (PUBLISHED NOTICE) TO CONSIDER THE FIFTH AMENDMENT TO THE DEVELOPMENT AGREEMENT BETWEEN THE CITY OF LATHROP, CALIFIA, LLC, AND RIVER ISLANDS DEVELOPMENT, LLC. (CONTINUED FROM JANUARY 14, 2019)**

Community Development Director Mark Meissner provided the presentation. A question and answer period followed. City Attorney Salvador Navarrete responded to questions raised throughout the discussion. Mayor Dhaliwal opened the public hearing. Susan Dell'Osso (Project Director, River Islands Development) introduced herself and offered to respond to questions related to the project if requested. There were no other speakers. Mayor Dhaliwal closed the public hearing.

On a motion by Councilmember Akinjo, seconded by Mayor Dhaliwal, the City Council considered the following:

1. Held a Public Hearing; and
2. Introduced and conducted first reading of an ordinance to adopt the Fifth Amendment to the Development Agreement between the City of Lathrop, Califia, LLC, and River Islands Development, LLC. (The Fifth Amendment addresses wastewater and potable water allocations for the project, on-going monitoring of actual wastewater and potable water usage, and restates commitments of the project to water conservation.)

Ayes: Akinjo, Torres-O'Callaghan, and Dhaliwal
Noes: None
Absent: Salcedo
Abstain: Lazard

Councilmember Lazard returned to the chamber after the vote of Item 5.1 at 8:21 p.m., for the remainder of the meeting.

5.2 **PUBLIC HEARING (PUBLISHED NOTICE) TO CONSIDER ADOPTION OF THE CENTRAL LATHROP SPECIFIC PLAN CAPITAL FACILITIES FEES STUDY UPDATE AND THE FEES RECOMMENDED THEREIN

Principal Engineer Jay Davidson provided the presentation. A question and answer period ensued throughout the presentation. City Manager Stephen Salvatore and Principal Engineer Jay Davidson responded to questions raised throughout the discussion. Mayor Dhaliwal opened the public hearing. There were no speakers. Mayor Dhaliwal closed the public hearing.

On a motion by Councilmember Lazard, seconded by Councilmember Torres-O'Callaghan, the City Council considered the following:

1. Held a Public Hearing; and
2. Adopted **Resolution 19-4514** adopting the Central Lathrop Specific Plan Capital Facilities Fees Study update and the fees recommended therein.

Ayes: Akinjo, Lazard, Torres-O'Callaghan, and Dhaliwal
Noes: None
Absent: Salcedo
Abstain: None

5.3 **BIENNIAL BUDGET FISCAL YEAR (FY) 2018 - 2019 MID-YEAR REPORT

Finance and Administrative Services Director Cari James provided the presentation. A question and answer period ensued throughout the presentation. City Manager Stephen Salvatore, Assistant Public Works Director Michael King, and Finance and Administrative Services Director Cari James responded to questions raised throughout the discussion.

On a motion by Councilmember Lazard, seconded by Mayor Dhaliwal, the City Council adopted **Resolution 19-4515** approving the Biennial Budget FY 2018-19 Mid-Year Report (Year 2)

Ayes: Akinjo, Lazard, Torres-O'Callaghan, and Dhaliwal
Noes: None
Absent: Salcedo
Abstain: None

5.4 CREATE CIP GG 19-07 FOR CITY WIDE SURVEILLANCE SYSTEM
Council to Discuss and Consider the Adoption of a Resolution Approving the Creation of CIP GG19-07 for City Wide Surveillance System

Item pulled by staff; no other action taken on this item.

5.5 ****OUT-OF-STATE TRAVEL APPROVAL FOR THE 2019 SAN JOAQUIN COUNTY ONE-VOICE TRIP**

City Clerk Teresa Vargas provided the presentation. A question and answer period followed. City Manager Stephen Salvatore provided additional information. Councilmembers commented on the matter.

On a motion by Mayor Dhaliwal, seconded by Councilmember Torres-O'Callaghan, the City Council adopted **Resolution 19-4515** authorizing Option 2, out-of-state travel for one (1) Council Member (the Council nominated Councilmember Akinjo) and the City Manager to attend the 2019 San Joaquin One Voice Trip to Washington, D.C., from May 5-9, 2019, and approved related budget amendment with Option 2.

Ayes: Akinjo, Lazard, Torres-O'Callaghan, and Dhaliwal
Noes: None
Absent: Salcedo
Abstain: None

6. COUNCIL COMMUNICATIONS

6.1 **MAYOR DHALIWAL REFERRAL: Tennis Court Improvements at the Basin Park, across from Woodfield Park, next to the Lathrop Road Grade Separation.**

Mayor Dhaliwal provided an overview. City Manager Stephen Salvatore requested Council consideration of other areas on the Eastside of Lathrop conducive to tennis court facilities; did not recommend the Basin Park, which is sloped to allow temporary flooding during heavy rainy season. Council consensus directed staff to agendize the matter to a future meeting, including City Manager recommendations.

6.2 **MAYOR DHALIWAL REFERRAL: Set Application Deadline for Appointment of One (1) Member to the Measure C Oversight Committee with Term Expiring June 30, 2019, due to Unexpired Term Vacancy**

City Clerk Teresa Vargas provided an overview. Mayor Dhaliwal expressed concern with the short length of the unexpired term vacancy, ending in June 30, 2019. City Clerk Teresa Vargas recommended advertisement of the vacancy to include the unexpired term vacancy ending June 30, 2019, in addition to a regular three (3) year term.

Council consensus directed the City Clerk to set the application deadline to March 1, 2019, with appointment at the Regular Meeting of March 11, 2019, and modify recruitment to include the unexpired term vacancy ending June 30, 2019, in addition to a regular three (3) year term ending June 30, 2022.

6.3 MAYOR & COUNCILMEMBER COMMITTEE REPORT(S)

Councilmember Akinjo reported attendance to a San Joaquin Area Flood Control Agency public meeting; provided details related to meeting discussions and related flood control projects. Councilmember Lazard and City Manager commented on the matter.

6.4 MAYOR & COUNCILMEMBER COMMENT(S)

Councilmember Torres-O'Callaghan expressed appreciation to the recipients of the Black History Month Proclamation; thanked them for their presentation and information related to the Lathrop Black Caucus (Item 2.1). Councilmembers echoed Councilmember Torres-O'Callaghan's comments, and thanked those in attendance.

7. **ADJOURNMENT** – There being no further business, Mayor Dhaliwal adjourned the meeting at 9:33 p.m.


Teresa Vargas, CMC
City Clerk

**CITY OF LATHROP
CITY COUNCIL REGULAR MEETING
MONDAY, MARCH 11, 2019
7:00 P.M.
COUNCIL CHAMBER, CITY HALL
390 Towne Centre Drive
Lathrop, CA 95330**

MINUTES

PLEASE NOTE: There was no Closed Session. The Regular Meeting commenced at 7:04 p.m.

1. PRELIMINARY

- 1.1 CALL TO ORDER – Mayor Dhaliwal called the meeting to order at 7:04 p.m.
- 1.2 ROLL CALL Present: Mayor Dhaliwal; Vice Mayor Salcedo;
Councilmembers: Akinjo and Torres-O’Callaghan

Absent: Councilmember Lazard
- 1.3 INVOCATION – Mayor Dhaliwal led a moment of silence.
- 1.4 PLEDGE OF ALLEGIANCE – Vice Mayor Salcedo led the pledge of allegiance.
- 1.5 ANNOUNCEMENT(S) BY MAYOR / CITY MANAGER

City Manager Stephen Salvatore introduced Assistant Public Works Director Michael King. Mr. King announced PG&E scheduled night work on Louise Avenue, between Harlan Road and 5th Street, commencing on March 18th through mid-May.
- 1.6 INFORMATIONAL ITEM(S) - None
- 1.7 DECLARATION OF CONFLICT(S) OF INTEREST - None

2. PRESENTATIONS

- 2.1 PROCLAMATION – DECLARING SUPPORT FOR A SUCCESSFUL 2020 CENSUS PARTNERSHIP, AS PART OF THE U.S. CENSUS BUREAU PARTNERSHIP AND ENGAGEMENT PROGRAM

Couper Condit, District Director for Assemblyman Heath Flora, 12th Assembly District, provided a Proclamation to the Lathrop City Council, declaring a 2020 Census Partnership.

2.2 PRESENTATION – COUNCIL TO RECEIVE REPORT FROM THE CITY’S CONSULTANT REGARDING THE STATUS OF THE GENERAL PLAN UPDATE PROCESS

City Consultant Ben Ritchie, Principal with De Novo Planning Group, provided an overview regarding the status of the General Plan update, including summary of completed tasks, feedback from public outreach efforts, discussion of Community Vision Report, and next steps. A question and answer period followed the presentation.

2.3 INTRODUCTION OF NEW EMPLOYEE(S):

- Shelley Burcham, Economic Development Administrator
- Anna Campos, Administrative Assistant
- Robert Comacho, Construction Inspector
- Nathan Chunn, Deputy Sheriff
- Jimmy Claude, Deputy Sheriff
- Marcial Gomez, Deputy Sheriff

City Manager Stephen Salvatore introduced Economic Development Administrator Shelley Burcham. Assistant Public Works Director Michael King introduced Construction Inspector Robert Comacho and Administrative Assistant Anna Campos. Lathrop Police Lieutenant Ryan Biedermann introduced Deputy Sheriff Nathan Chunn, Deputy Sheriff Jimmy Claude, and Deputy Sheriff Marcial Gomez. Councilmembers welcomed the new employees.

2.4 MAYOR’S COMMITTEE REPORT(S)

- Parks & Recreation Update on Committee Events and Programs

Parks and Recreation Director Zach Jones reported the following past and upcoming events and programs:

- *Art Committee featured Artist*
Announced art display in Council Chamber by Gary Wilson, paintings to be displayed through March 2019.
- *Senior Center Field Trip – Stockton Kings Game*
Reported event held on February 13, 2019.
- *Junior NBA Program at the Stockton Kings*
Reported Junior NBA day with the Stockton Kings; more than 250 participants.
- *Valentine’s Day Dance*
Reported event held February 2, 2019, at the Lathrop Community Center; more than 80 tickets sold.
- *St. Patrick’s Day Shenanigans*
Announced event scheduled for March 14, 2019, 2:30 p.m., at the Lathrop Generations Center.

- *Breakfast with the Bunny*
Announced event scheduled for April 13, 2019, at 2:30 p.m., at the Lathrop Community Center
- *Teen Hoop Basketball League*
Announced recreational league for youth, ages 13-17; weekly games; eight-week program; registration ends March 21, 2019.
- *Earth Day*
Announced event scheduled for April 27, 2019, at 9:00 a.m., at Mossdale Park.

3. CITIZEN'S FORUM

Nellie Zavala (Commission on Aging) reported attendance to the San Joaquin County Commission on Aging meeting held March 4, 2019. Dan Doyle (Lathrop, CA) expressed appreciation to staff for prompt response to repair work on the Dos Reis Pump Station; expressed concern with public comment letters submitted by Martin Harris and the City's cost to duplicate the letters for public access during meetings. Christine Mendes (Manteca, CA) expressed various concerns related to the Lathrop Gateway project, including improvements adjacent to the Mendes Family Trust property; notification to property owners near the project area; and the planning commission approval process. Adriana Lopez (Lathrop, CA) commented on Senate Bill No. 1000; requested information about future community meetings related to land use and environmental justice.

4. CONSENT CALENDAR

On a motion by Vice Mayor Salcedo, seconded by Mayor Dhaliwal, the City Council approved the Consent Calendar, by the following roll call vote, unless otherwise indicated:

Ayes:	Akinjo, Salcedo, Torres-O'Callaghan, and Dhaliwal
Noes:	None
Absent:	Lazard
Abstain:	None

**A public comment letter was received addressing Items 4.3, 4.6, 4.10, and 4.12 of the Consent Calendar, and Item 5.1 of Scheduled Items, submitted by Martin Harris with Terra Land Group, LLC; the letter was distributed to the City Council and copies were made available for the public.*

4.1 WAIVING OF READING OF ORDINANCES AND RESOLUTIONS

Waived the reading of ordinances and resolutions on agenda unless otherwise requested by the Mayor or a Councilmember.

4.2 APPROVAL OF MINUTES

Approved Minutes for the Regular Council Meeting of January 14, 2019.

- 4.3 *SECOND READING AND ADOPTION OF ORDINANCE 19-402 APPROVING THE FIFTH AMENDMENT TO THE DEVELOPMENT AGREEMENT BETWEEN THE CITY OF LATHROP, CALIFIA, LLC, AND RIVER ISLANDS DEVELOPMENT, LLC.

Held second reading and adopted **Ordinance 19-402** approving the Fifth Amendment to the Development Agreement between the City of Lathrop, Califia, LLC, and River Islands Development, LLC. (The Fifth Amendment addresses wastewater and potable water allocations for the project, ongoing monitoring of actual wastewater and potable water usage, and restate commitments of the project to water conservation.)

- 4.4 ACCEPTANCE OF OFF-SITE IMPROVEMENTS CONSTRUCTED BY BUZZ OATES CONSTRUCTION, INC.

Adopted **Resolution 19-4517** accepting off-site improvements constructed by Buzz Oates Construction, Inc., at 19107, 18551, and 18601 Christopher Way, and authorized release of bonds associated with Encroachment Permit No. 2016-29.

- 4.5 APPROVE A REIMBURSEMENT AGREEMENT WITH LIT INDUSTRIAL LIMITED PARTNERSHIP FOR 6" SEWER FORCE MAIN IMPROVEMENTS ON HARLAN ROAD AND STONEBRIDGE LANE

Adopted **Resolution 19-4518** approving a Reimbursement Agreement with LIT Industrial Limited Partnership for design and construction of 6" sewer force main improvements, on Harlan Road to Stonebridge Lane, associated with the I-5 Logistics project.

- 4.6 *GENERAL PLAN HOUSING ELEMENT ANNUAL PROGRESS REPORT FOR CALENDAR YEAR 2018

Adopted **Resolution 19-4519** accepting the General Plan Housing Element Annual Progress Report for calendar year 2018, and authorized staff to submit the report to the Governor's Office of Planning and Research and State Department of Housing and Community Development.

- 4.7 PLANNING FEE WAIVER REQUEST BY NEW LIFE CHURCH (TUP-19-20)

Adopted **Resolution 19-4520** waiving a temporary use permit application processing and document retention fees for New Life Church in the combined amount of \$392.

- 4.8 APPROVAL OF CONSTRUCTION CONTRACT FOR CIP PK 19-06 VALVERDE PARKING LOT REPAIRS

Adopted **Resolution 19-4521** approving Construction Contract with Cavanaugh Paving and Grading for the Valverde Parking Lot Repairs, CIP PK 19-06.

4.9 CITY OF LATHROP COMMUNITY FACILITIES DISTRICT 2019-1 (SOUTH LATHROP CITY SERVICES) INTENT TO LEVY

Adopted **Resolution 19-4522** declaring intention to establish Community Facilities District 2019-1 (South Lathrop City Services), and setting a public hearing date for April 8, 2019.

4.10 *COMMUNITY FACILITIES DISTRICT 2019-2 (CENTRAL LATHROP CITY SERVICES) FORMATION

Adopted **Resolution 19-4523** declaring intention to establish Community Facilities District 2019-2 (Central Lathrop City Services), and setting a public hearing date for April 8, 2019.

4.11 ACCEPTANCE OF FRONTAGE IMPROVEMENTS CONSTRUCTED BY TEICHERT & SONS, DBA TEICHERT CONSTRUCTION, AT 2131 & 2301 E. LOUISE AVENUE AND APPROVE A REIMBURSEMENT AGREEMENT WITH DPIF CA 1 LATHROP, LLC, FOR GRAVITY SEWER MAIN ON E. LOUISE AVENUE AND MCKINLEY AVENUE ASSOCIATED WITH THE LOGISTICENTER PROJECT

Adopted **Resolution 19-4524** accepting frontage improvements constructed by Teichert & Sons, DBA Teichert Construction, at 2131 and 2301 E. Louise Avenue, approved Reimbursement Agreement with DPIF CA 1 Lathrop, LLC, for design and construction of a 10" and 12" gravity sewer main on E. Louise Avenue and McKinley Avenue, associated with the Logistcenter project.

4.12 *APPROVAL OF PUBLIC ACCESS AND UTILITIES EASEMENTS TO SERVE LATHROP-MANTECA FIRE DISTRICT STATION NO. 35

Adopted **Resolution 19-4525** approving Access and Utility Easements, rejecting Irrevocable Offers of Street Dedication, and approving Improvement Agreement for frontage improvements associated with the Lathrop-Manteca Fire District Fire Station No. 35.

4.13 APPROVE PROFESSIONAL SERVICES AGREEMENT FOR DESIGN ENGINEERING SERVICES FOR THE LOUISE AVENUE / MCKINLEY AVENUE INTERSECTION IMPROVEMENT PROJECT PS 15-02

Adopted **Resolution 19-4526** approving Professional Services Agreement with Associated Engineering Group, for design engineering services, associated with the Louise Avenue and McKinley Avenue intersection improvements, CIP PS 15-02.

5. SCHEDULED ITEMS

- 5.1 *APPROVE THREE REIMBURSEMENT AGREEMENTS WITH SOUTH LATHROP LAND LLC FOR PUBLIC FACILITIES AND INFRASTRUCTURE IMPROVEMENTS TO BE INSTALLED CONCURRENTLY WITH THE DEVELOPMENT OF THE SOUTH LATHROP COMMERCE CENTER PROJECT

Assistant Public Works Director Michael King introduced Principal Engineer Jay Davidson. Mr. Davidson provided the presentation. A question and answer period followed. City Manager Stephen Salvatore provided additional project information.

On a motion by Vice Mayor Salcedo, seconded by Councilmember Akinjo, the City Council adopted **Resolution 19-4527** approving three Reimbursement Agreements with South Lathrop Land, LLC, for the following improvements:

1. South Lathrop Regional Outfall structure and related facilities;
2. Public infrastructure relating to the South Lathrop Commerce Center benefitting properties within the South Lathrop Specific Plan Area; and
3. Public infrastructure relating to the South Lathrop Commerce Center benefitting properties outside the South Lathrop Specific Plan Area.

Ayes: Akinjo, Salcedo, Torres-O'Callaghan, and Dhaliwal
Noes: None
Absent: Lazard
Abstain: None

- 5.2 PUBLIC HEARING (PUBLISHED NOTICE) TO CONSIDER CDBG AND HOME FUNDING ALLOCATIONS FOR FY 2019/2020

Community Development Director Mark Meissner provided the presentation. A question and answer period ensued throughout the presentation. Parks and Recreation Director Zach Jones, City Attorney Salvador Navarrete, and Senior Administrative Assistant Maria Hermosilla responded to questions from the Council.

Mayor Dhaliwal opened the public hearing. Michele Anderson (Lathrop, CA) expressed support for equal allocations amongst Give Every Child a Chance, Boys and Girls Club, and Parks and Recreation. City Manager Stephen Salvatore provided additional information regarding Council consideration of potential funding allocations. Christine Mendes opposed the use of City funds to offset the necessary funds to provide equal allocation amongst some of the service organizations; expressed support in requesting additional CDBG funds from the County. There were no other speakers. Mayor Dhaliwal closed the public hearing.

The question and answer period continued. Council consensus directed staff to require attendance from applicants to future public hearings. Furthermore, the City Council directed staff to remove the requested allocation to the Lathrop Parks & Recreation Activity Assistance Program, and approved a revised allocation to GECAC.

Remove \$5,000 City of Lathrop allocation, and spread amongst other organizations. GECAC will get \$5,000 (requested amount to all other organizations; approve step 2 and 3

On a motion by Vice Mayor Salcedo, seconded by Councilmember Torres-O'Callaghan, the City Council considered the following:

1. Held a Public Hearing; and
2. Adopted **Resolution 19-4528**, as amended, approving the following service agency allocations of the CDBG and HOME funds for FY 2019/2020, Step 2 (\$79,200 of the non-service allocation funds to the City of Lathrop Senior Center rehabilitation project), and Step 3 (\$19,970 HOME program funds to the City of Lathrop housing rehabilitation loan program):

SERVICE ORGANIZATION ALLOCATIONS

<u>Organizations</u>	<u>Allocations</u>
San Joaquin Fair Housing	\$ 1,000.00
Emergency Stockton Food Bank (MFM)	\$ 1,000.00
Human Services Agency (Meals on Wheel)	\$ 1,000.00
Give Every Child a Chance (GECAC)	\$ 5,000.00
Boys & Girls Club of Manteca & Lathrop	\$ 5,000.00
Total Allocation (15% of \$78,164)	<u>\$ 13,000.00</u>

Ayes: Akinjo, Salcedo, Torres-O'Callaghan, and Dhaliwal
 Noes: None
 Absent: Lazard
 Abstain: None

5.3 PUBLIC HEARING (PUBLISHED NOTICE) TO CONSIDER ADOPTION OF ENERGY COST SAVINGS FINDINGS AND ENTERING INTO A SOLAR POWER PURCHASE AGREEMENT AND SOLAR UTILITY EASEMENTS AGREEMENT WITH GENERAL ELECTRIC INTERNATIONAL, INC., AUTHORIZING FILING A CEQA NOTICE OF EXEMPTION AND CIP GG 19-10 SOLAR ENERGY PROJECT

City Consultants Brandon Hartman, Project Manager, and David Burdick, Asset Manager, TerraVerde Renewable Partners, LLC, provided the presentation. City Attorney Salvador Navarrete and Senior Construction Manager Ken Reed provided additional information. A question and answer period followed.

Mayor Dhaliwal opened the public hearing. There were no speakers. Mayor Dhaliwal closed the public hearing.

On a motion by Vice Mayor Salcedo, seconded by Mayor Dhaliwal, the City Council considered the following:

1. Held Public Hearing pursuant to Government Code Section 4217.12; and
2. Adopted **Resolution 19-4529** approving the energy cost savings findings and entering into a Solar Power Purchase Agreement and Solar Utility Easements Agreement with General Electric International, Inc., authorized filing CEQA Notice of Exemption, and created CIP GG 19-10, Solar Energy Project.

Ayes: Akinjo, Salcedo, Torres-O'Callaghan, and Dhaliwal
Noes: None
Absent: Lazard
Abstain: None

6. COUNCIL COMMUNICATIONS

- 6.1 MAYOR DHALI WAL REFERRAL: Appointment of One (1) Member to the Measure C Oversight Committee with Term Expiring June 30, 2022; This Appointment Completes an Unexpired Term Vacancy Ending June 30, 2019, and a Regular Three (3) Year Term

Mayor Dhaliwal made the following appointment:

Measure C Oversight Committee

Michele Anderson

Term Expires

June 30, 2022

On a motion by Vice Mayor Salcedo, seconded by Mayor Dhaliwal, the City Council approved the appointment made by Mayor Dhaliwal as noted above.

Ayes: Akinjo, Salcedo, Torres-O'Callaghan, and Dhaliwal
Noes: None
Absent: Lazard
Abstain: None

Council consensus directed the City Clerk to advertise and set application deadline of April 1, 2019, for the unscheduled vacancy left by Ms. Anderson in the Parks & Recreation Commission.

- 6.2 MAYOR & COUNCILMEMBER COMMITTEE REPORT(S)

Councilmember Akinjo reported attendance to two public meetings in Mountain House and City of Tracy, related to the Valley Link project, and announced future public meeting in the City of Lathrop scheduled for April 6, 2019.

6.3 MAYOR & COUNCILMEMBER COMMENT(S)

Councilmember Akinjo commented on the City's development projects. Councilmember Jennifer Torres-O'Callaghan invited the public to attend the Make-A-Wish reveal for Lathrop Resident Keannue Linnell, scheduled for Friday, March 15, 2019, at 1:30 p.m. at the Lathrop High School. Councilmember Salcedo expressed appreciation to Michele Anderson for being a devoted volunteer in the community. Mayor Dhaliwal thanked those in attendance; commented on newly hired employees, and upcoming PG&E streetlight work near Lathrop High School.

7. **ADJOURNMENT** – There being no further business, Mayor Dhaliwal adjourned the meeting at 9:49 p.m.


Teresa Vargas, CMC
City Clerk

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**CITY MANAGER'S REPORT
APRIL 8, 2019 CITY COUNCIL REGULAR MEETING**

ITEM: TEMPORARILY FUND AN ADDITIONAL UTILITY AND STREET MAINTENANCE SUPERINTENDENT POSITION, CREATION OF A JOB DESCRIPTION AND FUNDING FOR A UTILITY PLANT SUPERVISOR POSITION, AND RELATED BUDGET AMENDMENTS

RECOMMENDATION: Adopt Resolution Temporarily Funding an Additional Utility and Street Maintenance Superintendent Position, Approve Creation of a Job Description and Funding for a Utility Plant Supervisor Position, and Approve Related Budget Amendments for Succession Planning Purposes

SUMMARY:

This item is requesting City Council authorization for two positions in the Public Works Department as part of the City's succession planning in key areas. The current Utility and Street Maintenance Superintendent (Superintendent) recently announced that he is planning to retire in June 2019. Therefore, staff is requesting to add a second temporary Superintendent position. The Superintendent is a key position for all City operations. Therefore, it is necessary to recruit and fill this position prior to the retirement of the current Superintendent to allow time for an effective transition.

Additionally, staff is asking for the creation of a new Utility Plant Supervisor position, at Grade 69. This position would reclassify the current "Lead" Utility Operator III (Lead Operator). Currently, H2O provides oversight of the Louise Avenue Water Treatment Facility (LAWTF), these services will no longer be required as staff is specially trained, experienced, and competent to operate the LAWTF. Reducing the services provided by H2O and reclassifying the Lead Operator would result in a cost savings to the city, and it would allow for additional training opportunities for lower level Utility Operators.

BACKGROUND:

The Superintendent is a management level position responsible for planning and organizing the day-to-day operations of the utility and street maintenance staff in the Public Works Department. Filling this position prior to the current Superintendent's retirement will minimize the impact of transitioning the responsibilities of this position.

The classification of Utility Operator III series was adopted in May 2012 in order to support the operation and maintenance of the Louise Avenue Water Treatment Facility (LAWTF). In order to meet the operator oversight requirements established by the State Water Resources Control Board (SWRCB), the City has been contracting with H2O to provide oversight of the facility. This has allowed City staff the time to obtain the required certifications and receive training to obtain the knowledge and experience necessary to run the plant independently.

APRIL 8, 2019 CITY COUNCIL REGULAR MEETING

TEMPORARY FUNDING FOR A UTILITY AND STREET MAINTENANCE SUPERINTENDENT POSITION AND CREATION OF UTILITY PLANT SUPERVISOR

Creating the Utility Plant Supervisor position will allow the City to reclassify the "Lead" Utility Operator III position. Commencing with Fiscal Year 2019/20, consulting services provided by H2O will no longer be required. The job description for the Utility Plant Supervisor has been sent to Lathrop Mid-Mangers and Confidential Employees Association (LMCEA) for review and acceptance to their list of represented positions. The position is FLSA Exempt and will be added to the Grade-Step Table at Grade 69.

FISCAL IMPACT

Salary savings from a Public Works Construction Inspector position, which was vacant for several months, will be used to temporarily fund a second Utility and Street Maintenance Superintendent Position and the Utility Plant Supervisor for remainder of Fiscal Year 2018/19. A budget amendment will be needed to redistribute the salary savings to the correct salary funds in the corresponding districts. Once the current Superintendent retires in June, the second position will be unfunded. Future funding for the Utility Plant Supervisor position will be included with the bi-annual budget process, which will be presented to Council during the budget hearings in June. The budget transfer for FY 18-19 is listed below:

Salary Saving – Public Works Construction Inspector Position - Transfer Out

Fund	G/L Distribution	Percentage	Amount
1010-50-03	Public Works (PW) Construction Management	100%	\$ 73,115

Utility and Street Maintenance Superintendent Position – Transfer In

Fund	G/L Distribution	Percentage	Amount
1010-50-06	PW Utility Engineering	2%	\$ 756
1010-50-80	PW Parks & Landscape Maintenance	2%	\$ 756
2080-50-10	PW Streets	5%	\$ 1,890
2080-50-11	PW Street Trees & Landscaping	5%	\$ 1,890
2390-50-66	CLSP CFD 2006-2	3%	\$ 1,134
2500-50-21	Crossroads Storm Drain Zone 1A	4%	\$ 1,512
2510-50-20	Storm Drain City Zone 1, PW Storm Drains	7%	\$ 2,646
2520-50-12	Residential LMD Street Lighting	1%	\$ 378
2520-50-14	Industrial LMD Street Lighting	1%	\$ 378
2550-50-60	Stonebridge Landscaping Maintenance District	1%	\$ 378
2560-50-61	Stonebridge Drainage & Lighting District	1%	\$ 378
2570-50-63	Mossdale CFD 2004-1	3%	\$ 1,134
2580-50-64	Mossdale Landscape & Lighting District	5%	\$ 1,890
2630-50-65	Historic Lathrop CFD 2005-1	3%	\$ 1,134
5620-50-50	Water	15%	\$ 5,670
6010-50-30	MWQCF Collection System, Wastewater	16%	\$ 6,048
6050-50-31	Water Recycling Treatment Plant	5%	\$ 1,890
6050-50-32	Water Recycling Plant, Crossroads Collection	5%	\$ 1,890
6080-50-34	MBR Plant, Wastewater, West I-5 Standby	16%	\$ 6,048

CITY MANAGER'S REPORT **PAGE 3**
APRIL 8, 2019 CITY COUNCIL REGULAR MEETING
TEMPORARY FUNDING FOR A UTILITY AND STREET MAINTENANCE
SUPERINTENDENT POSITION AND CREATION OF UTILITY PLANT SUPERVISOR

Utility Plant Supervisor Position – Transfer In

Fund	G/L Distribution	Percentage	Amount
2390-50-66	CLSP Services CFD 2006-2	5%	\$ 1,413
2500-50-21	Crossroads Storm Drain Zone 1A	3%	\$ 1,413
2510-50-20	Storm Drain City Zone 1, PW Storm Drains	15%	\$ 5,297
2560-50-61	Stonebridge Drainage & Lighting District	16%	\$ 1,766
2570-50-63	Mossdale CFD 2004-1	5%	\$ 2,825
5620-50-50	Water	5%	\$ 3,531
6010-50-30	MWQCF Collection System, Wastewater	16%	\$ 6,357
6050-50-32	Water Recycling Plant, Crossroads Collection	5%	\$ 706
6080-50-34	MBR Plant, Wastewater, West I-5 Standby	3%	\$ 12,007

ATTACHMENTS:

- A. Resolution Approving Temporary Funding for a Utility and Street Maintenance Superintendent, and Approving the Creation and Funding of the Utility Plant Supervisor Position
- B. Job Description for the Utility Plant Supervisor

CITY MANAGER'S REPORT
APRIL 8, 2019 CITY COUNCIL REGULAR MEETING
TEMPORARY FUNDING FOR A UTILITY AND STREET MAINTENANCE
SUPERINTENDENT POSITION AND CREATION OF UTILITY PLANT SUPERVISOR


APPROVALS:



Michael King
Assistant Public Works Director

4-2-19

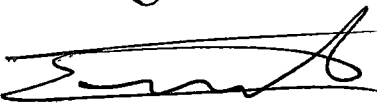
Date



Cari James
Finance Director

4/2/19

Date



Salvador Navarrete
City Attorney

4.2.19

Date



Stephen J. Salvatore
City Manager

4.3.19

Date

RESOLUTION NO. 19-

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP TEMPORARILY FUNDING AN ADDITIONAL UTILITY AND STREET MAINTENANCE SUPERINTENDENT POSITION, APPROVE CREATION OF A JOB DESCRIPTION AND FUNDING FOR A UTILITY PLANT SUPERVISOR POSITION, AND APPROVE RELATED BUDGET AMENDMENTS FOR SUCCESSION PLANNING PURPOSES

WHEREAS, this item is requesting City Council authorization for two positions in the Public Works Department as part of the City's succession planning in key areas; and

WHEREAS, the current Utility and Street Maintenance Superintendent (Superintendent) recently announced plans for retirement in June 2019; and

WHEREAS, the Superintendent is a key position for all City operations; and

WHEREAS, staff is requesting to add a second temporary Superintendent position to allow time for an effective transition; and

WHEREAS, staff is also asking for the creation of a new Utility Plant Supervisor position, at Grade 69, this position would reclassify the current "Lead" Utility Operator III (Lead Operator); and

WHEREAS, H2O currently provides oversight of the Louise Avenue Water Treatment Facility (LAWTF), with approval of this resolution these services will no longer be required as staff is specially trained, experienced, and competent to operate the LAWTF; and

WHEREAS, this position will be represented by Lathrop Mid-Manager's and Confidential Employees Association, is FLSA Exempt and will be added to the Grade-Step Table at Grade 69; and

WHEREAS, reducing the services provided by H2O and reclassifying the Lead Operator would result in a cost savings to the city, and it would allow for additional training opportunities for lower level Utility Operators; and

WHEREAS, salary savings from a Public Works Construction Inspector position, which was vacant for several months, will be used to temporarily fund a second Utility and Street Maintenance Superintendent Position and the Utility Plant Supervisor for remainder of Fiscal Year 2018/19; and

WHEREAS, a budget amendment will be needed to redistribute the salary savings to the correct salary funds in the corresponding districts; and

WHEREAS, once the current Superintendent retires in June, the second position will be unfunded, and future funding for the Utility Plant Supervisor position will be included with the bi-annual budget process;

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Lathrop, does hereby approve temporarily fund an additional Utility and Street Maintenance Superintendent position, approve the creation of a job description and the funding for a Utility Plant Supervisor position, and related budget amendments for succession planning purposes. The budget transfer for FY 18-19 is listed below:

Salary Saving – Public Works Construction Inspector Position - Transfer Out

Fund	G/L Distribution	Percentage	Amount
1010-50-03	Public Works (PW) Construction Management	100%	\$ 73,115

Utility and Street Maintenance Superintendent Position – Transfer In

Fund	G/L Distribution	Percentage	Amount
1010-50-06	PW Utility Engineering	2%	\$ 756
1010-50-80	PW Parks & Landscape Maintenance	2%	\$ 756
2080-50-10	PW Streets	5%	\$ 1,890
2080-50-11	PW Street Trees & Landscaping	5%	\$ 1,890
2390-50-66	CLSP CFD 2006-2	3%	\$ 1,134
2500-50-21	Crossroads Storm Drain Zone 1A	4%	\$ 1,512
2510-50-20	Storm Drain City Zone 1, PW Storm Drains	7%	\$ 2,646
2520-50-12	Residential LMD Street Lighting	1%	\$ 378
2520-50-14	Industrial LMD Street Lighting	1%	\$ 378
2550-50-60	Stonebridge Landscaping Maintenance District	1%	\$ 378
2560-50-61	Stonebridge Drainage & Lighting District	1%	\$ 378
2570-50-63	Mosssdale CFD 2004-1	3%	\$ 1,134
2580-50-64	Mosssdale Landscape & Lighting District	5%	\$ 1,890
2630-50-65	Historic Lathrop CFD 2005-1	3%	\$ 1,134
5620-50-50	Water	15%	\$ 5,670
6010-50-30	MWQCF Collection System, Wastewater	16%	\$ 6,048
6050-50-31	Water Recycling Treatment Plant	5%	\$ 1,890
6050-50-32	Water Recycling Plant, Crossroads Collection	5%	\$ 1,890
6080-50-34	MBR Plant, Wastewater, West I-5 Standby	16%	\$ 6,048

Utility Plant Supervisor Position – Transfer In

Fund	G/L Distribution	Percentage	Amount
2390-50-66	CLSP Services CFD 2006-2	5%	\$ 1,413
2500-50-21	Crossroads Storm Drain Zone 1A	3%	\$ 1,413
2510-50-20	Storm Drain City Zone 1, PW Storm Drains	15%	\$ 5,297
2560-50-61	Stonebridge Drainage & Lighting District	16%	\$ 1,766
2570-50-63	Mosssdale CFD 2004-1	5%	\$ 2,825
5620-50-50	Water	5%	\$ 3,531
6010-50-30	MWQCF Collection System, Wastewater	16%	\$ 6,357
6050-50-32	Water Recycling Plant, Crossroads Collection	5%	\$ 706
6080-50-34	MBR Plant, Wastewater, West I-5 Standby	3%	\$ 12,007

The foregoing resolution was passed and adopted this 8th day of April 2019, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSTAIN:

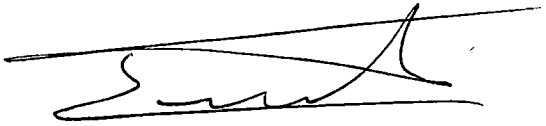
ABSENT:

Sonny Dhaliwal, Mayor

ATTEST:

Teresa Vargas, City Clerk

APPROVED AS TO FORM:



Salvador Navarrete, City Attorney

CITY OF LATHROP
UTILITY PLANT SUPERVISOR

*Class specifications are only intended to present a descriptive summary of the range of duties and responsibilities associated with specified positions. Therefore, specifications **may not include all** duties performed by individuals within a classification. In addition, specifications are intended to outline the **minimum** qualifications necessary for entry into the class and do not necessarily convey the qualifications of incumbents within the position.*

DEFINITION:

Under limited direction plans, organizes, coordinates and directs the operations and maintenance of the City's water treatment plant, water distribution, sewer collection, recycled water, storm drain system, facilities and related appurtenances in compliance with state and federal requirements; conducts inspections of plant and equipment; prepares a variety of maintenance records and reports; responsible for completion of water analysis and lab work; supervises assigned personnel and performs other related duties as assigned.

DISTINGUISHING CHARACTERISTICS:

The Utility Plant Supervisor is the advanced journey-level and lead-level supervisory class in the Utility Operator series. Incumbents provide first-line supervision, training and technical assistance to assigned operations staff. Duties and responsibilities are broad in scope and are carried out with considerable independence within the framework of established policies, procedures and guidelines. Work and results are reviewed through conferences, inspection and analysis of records, reports, and plant performance. The work of this class involves significant accountability and independent decision-making responsibilities.

SUPERVISION RECEIVED/EXERCISED:

Receives general direction from of the Public Works Director, or designee. Exercises functional and technical supervision over lower level personnel.

ESSENTIAL FUNCTIONS: *(include but are not limited to the following)*

- Supervises, trains, and evaluates the performance of assigned personnel; recommends disciplinary action as appropriate.
- Maintains compliance with Hazardous Waste and Hazardous Material regulatory compliance, monitoring, training and reporting.
- Responsible for support of the water operations as it relates to the water distribution systems which includes meeting water demands, monitoring water pressures, ensuring availability of fire flows, providing desired and minimum chlorine residuals.
- Prepares, submits, and maintains a variety of regulatory sampling, reporting, and related documentation.
- Daily monitoring of water operations using SCADA, review of field data, laboratory water quality results, water operation reports and checklists generated by staff.
- Responsible for the other Utility Maintenance activities, including installing, inspecting and repairing water lines, sewer lines, lift stations and storm drains; ensures regular monitoring of all well sites, booster pumps and lift stations; supervises and participates in the operation of construction and maintenance equipment and/or machinery including construction vehicles, power tools and related equipment.
- Site Supervisor for the City's Recycled Water Supply System.
- Coordinate water deliveries with South San Joaquin Irrigation District

- Monitor and confirm scheduling of routine maintenance and maintenance oversight and advisement.
- Educates and enforces staff compliance with Departmental/City/State/Federal policies, procedures, regulatory requirements, and safety practices.
- Prepares and maintains employee work schedules; assigns work duties and monitors the quality and progress of work performed by staff.
- Conducts inspections of distribution and treatment facilities and systems; evaluates plant conditions; identifies and determines maintenance requirements.
- Monitors and ensures facilities, systems, and equipment are safely and properly maintained in accordance with all applicable regulatory requirements.
- Observes and assesses operational practices; recommends and implements changes necessary to improve operational effectiveness and/or efficiency.
- Participates in the development of the utility maintenance budget; assists in monitoring the approved budget; coordinates with outside vendors for various supplies and services; oversees and maintains the inventory, maintenance and operating condition of departmental tools, equipment and supplies; requisitions and orders needed materials, parts and equipment.
- Addresses and responds to customer service questions, inquiries and concerns; establishes and maintains a customer service orientation within the Unit.
- Establishes positive working relationships with representatives of community organizations, state/local agencies and associations, City management and staff, and the public.

PHYSICAL, MENTAL AND ENVIRONMENTAL WORKING CONDITIONS:

Position requires sitting, standing, walking on level and slippery surfaces, reaching, twisting, turning, kneeling, bending, stooping, squatting, crouching, grasping, and making repetitive hand movement in the performance of daily duties. Use office equipment such as personal computers is required. The position also requires both near and far vision when inspecting work and operating assigned equipment. The need to lift, carry and push tools, equipment and supplies weighing 25 pounds or more is also required. Additionally, the incumbent in this outdoor position works in all weather conditions, including wet, hot and cold. The incumbent may use chemicals which may expose the employee to fumes, dust and air contaminants, and be exposed to mechanical and electrical hazards. The nature of the work also requires the incumbent to climb ladders, work at heights over 10 feet, enter confined spaces, use power and noise producing tools and equipment, drive motorized vehicles and heavy equipment, and work in heavy vehicle traffic conditions. The incumbent may be required to respond to after hours emergency call-outs and perform routine standby duties.

Some of these requirements may be accommodated for otherwise qualified individuals requiring and requesting such accommodations.

QUALIFICATIONS: *(The following are minimal qualifications necessary for entry into the classification.)*

Education and/or Experience:

Any combination of education and experience that has provided the knowledge, skills and abilities necessary for a Utility Plant Supervisor. A typical way of obtaining the required qualifications is to possess the equivalent of 5 years' experience as a Utility Operator III and possession of a high school diploma or equivalent.

License/Certificate:

- Possession of or ability to obtain a valid California Class B Driver's License is highly desirable.
- Possession of and ability to maintain a State of California Water Treatment Operator Grade T-3, State of California Distribution Operator Grade D-3, Cross Connection Control Specialist Certification issued AAWA and General Backflow Tester certification issued AAWA.

Training Requirements:

- Initial training - CA Title 22 Hazardous Waste Generator Training (4 hour), DOT Hazmat Shipper Function Specific Training (4 hour), Site Specific Emergency Response Contingency Plan Action Guide Training (2 hour), HAZCOM Training (2 hour), HAZWOPER Initial Training (40 hour).
- Annual Refresher - CA Title 22 Hazardous Waste Generator Training (4 hour), Site Specific Emergency Response Contingency Plan Action Guide Training (2 hour), HAZCOM Training (2 hour), HAZWOPER Refresher Training (8 hour).
- Refresher - DOT Hazmat Shipper Function Specific Training (4 hour) required every 3 years.

KNOWLEDGE/ABILITIES/SKILLS: *(The following are a representative sample of the KAS's necessary to perform essential duties of the position.*

Knowledge of:

Modern practices, techniques and materials used in the operation, maintenance and repair of water distribution, recycled water distribution, sewer collection and storm drain systems, and backflow cross-connection systems; operational characteristics of standard construction and maintenance tools and equipment; traffic control methods and regulations; confined space entry procedures; safety requirements for operation of trucks, construction vehicles and other equipment; applicable federal, state and local laws, codes and regulations; methods and techniques of scheduling work assignments; basic principles of mathematics and record keeping; occupational hazards and standard safety practices.

Ability to:

Perform maintenance, repair and operational work in water distribution, recycled water distribution, sewer collection, storm drainage, street systems, and backflow cross-connection systems; operate a variety of light and heavy duty equipment used in maintenance and construction; operate hand and power tools competently and safely; perform heavy manual labor; respond to after-hours call-outs as assigned; work independently and as part of a team; make sound decisions within established guidelines; follow written and oral directions; observe safety principles and work in a safe manner; communicate clearly and concisely, both orally and in writing; establish and maintain effective working relationships.

Skill to:

Safely and effectively operate a variety of maintenance equipment, tools and materials.

HISTORICAL DATA

Adopted: April 8, 2019 by Resolution: 19-_____
Bargaining Unit: LMCEA; FLSA Status: Exempt

**CITY MANAGER'S REPORT
APRIL 8, 2019, CITY COUNCIL REGULAR MEETING**

ITEM: ACCEPTANCE OF STORM DRAIN EASEMENT AGREEMENT ASSOCIATED WITH SOUTH LATHROP COMMERCE CENTER

RECOMMENDATION: Adopt a Resolution Accepting Dedication of Storm Drain Easement Agreement Associated with South Lathrop Commerce Center, between South Lathrop Land, L.L.C., and City of Lathrop

SUMMARY:

Planning Commission approved Vesting Tentative Parcel Map (VTPM) No. 15-94 in 2015 and City Council approved Parcel Map 17-01 in September 2018 for the South Lathrop Commerce Center Project. Pursuant to Public Works Condition of Approval number three (3) imposed on the Project's Vesting Tentative Parcel Map, South Lathrop Commerce Center is required to construct certain public storm water drainage facilities to serve the project.

Staff and South Lathrop Commerce Center have mutually determined the location of a storm drainage pipe, to avoid conflict with a PG&E utility pole, should be aligned such that it is located on the project site rather than within the public right-of-way, as originally shown on the VTPM. To allow for this alignment of the storm drainage pipe, South Lathrop Land, LLC, developer/owner of the South Lathrop Commerce Center, desires to grant a perpetual, non-exclusive easement for the storm drainage pipe on a small portion of the project site as shown in Attachment "C".

Pursuant to the proposed Easement Agreement, the City agrees to operate and maintain the storm drainage pipe within the easement once constructed and dedication is accepted.

Staff is requesting that City Council authorize staff to execute Storm Drain Easement Agreement (Attachment "B") associated with the South Lathrop Commerce Center, between South Lathrop Land, L.L.C., and City of Lathrop.

**ACCEPTANCE OF STORM DRAIN EASEMENT AGREEMENT ASSOCIATED WITH
SOUTH LATHROP COMMERCE CENTER**

BACKGROUND:

The 273-acre South Lathrop Commerce Center is to be developed with a master planned business park that includes, among other things, industrial and logistics uses, ancillary highway commercial uses, various open space uses, and related on-site and off-site improvements.

Improvements including a 1.2 million square foot warehouse that will be occupied by Wayfair, Inc., are currently being constructed on-site. Future improvements including an additional 3.7 million square feet of warehouse and commercial space are currently being designed and reviewed. The storm drain facilities are needed to serve the current and future developments.

REASON FOR RECOMMENDATION:

Staff and South Lathrop Commerce Center have mutually determined the location of a storm drainage pipe to avoid conflict with a PG&E utility pole. The storm drainage easement and easement agreement are necessary for the City to own and maintain the storm drainage pipe located in the easement.

FISCAL IMPACT:

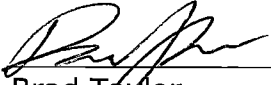
There is no cost to the City.

ATTACHMENTS:

- A. Resolution Accepting Dedication of Storm Drain Easement Agreement Associated with South Lathrop Commerce Center, between South Lathrop Land, L.L.C. and City of Lathrop
- B. Storm Drain Easement Agreement
- C. Location Map

**ACCEPTANCE OF STORM DRAINAGE AGREEMENT ASSOCIATED WITH
SOUTHLATHROP COMMERCE CENTER**

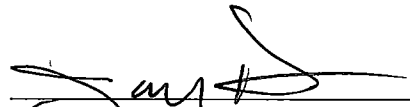
APPROVALS:



Brad Taylor
Associate Engineer

3/28/19

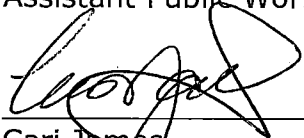
Date

For 

Michael King
Assistant Public Works Director

3/28/19

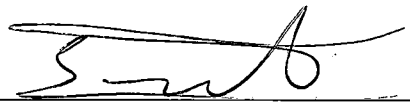
Date



Cari James
Finance & Administrative
Services Director

3/28/19

Date



Salvador Navarrete
City Attorney

3-28-19

Date



Stephen J. Salvatore
City Manager

4-2-19

Date

RESOLUTION NO. 19-

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP ACCEPTING DEDICATION OF STORM DRAIN EASEMENT AGREEMENT ASSOCIATED WITH SOUTH LATHROP COMMERCE CENTER, BETWEEN SOUTH LATHROP LAND, L.L.C. AND CITY OF LATHROP

WHEREAS, Planning Commission approved Vesting Tentative Parcel Map No. 15-94 in 2015 and City Council approved Parcel Map 17-01 in September 2018 for the South Lathrop Commerce Center Project; and

WHEREAS, Public Works Condition of Approval number three (3) for the Vesting Tentative Parcel Map requires South Lathrop Commerce Center to construct certain public storm water drainage facilities to serve the project; and

WHEREAS, staff and South Lathrop Commerce Center have mutually determined the location of a storm drainage pipe should be aligned such that it is located on the project site rather than within the public right-of-way as originally shown on the Vesting Tentative Parcel Map, to avoid conflict with a PG&E utility pole; and

WHEREAS, South Lathrop Land, LLC, developer and owner of South Lathrop Commerce Center, desires to grant a perpetual, non-exclusive easement for the storm drainage pipe on a small portion of the project site; and

WHEREAS, South Lathrop Land, LLC, has PROPOSED an Easement Agreement wherein the City agrees to operate and maintain the storm drainage pipe within the easement once constructed and dedication is accepted; and

WHEREAS, staff is requesting that City Council formally accept the offered dedication of storm drain easement and Easement Agreement associated with the South Lathrop Commerce Center.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Lathrop authorizes staff to execute a Storm Drain Easement Agreement delineated in "Attachment B" of the staff report dated, April 8, 2019.

The foregoing resolution was passed and adopted this 8th day of April 2019, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Sonny Dhaliwal, Mayor

APPROVED AS TO FORM:

ATTEST:

Teresa Vargas, City Clerk



Salvador Navarrete, City Attorney

**RECORDING REQUESTED BY AND
WHEN RECORDED RETURN TO:**

City of Lathrop
 City Clerk
 390 Towne Centre Drive
 Lathrop, California 95330

**FOR RECORDER'S USE ONLY****STORM DRAIN EASEMENT AGREEMENT**

THIS STORM DRAIN EASEMENT AGREEMENT ("**Easement Agreement**") is entered into on _____, 2019 ("**Effective Date**"), by and between South Lathrop Land, L.L.C., a Delaware limited liability company ("**Grantor**") and the City of Lathrop, a municipal corporation of the State of California ("**Grantee**").

RECITALS

WHEREAS, Grantor is the fee owner of that tract of land of approximately two-hundred-seventy-three (273) acres in size, located within the City of Lathrop, which is the site of the planned South Lathrop Commerce Center ("**Project Site**") to be developed with a master planned business park that includes, among other things, industrial and logistics uses, ancillary highway commercial uses, various open space uses, and related on- and off-site improvements ("**Project**"); and

WHEREAS, Grantee is a municipal corporation of the State of California, with land use jurisdiction over the Project; and

WHEREAS, subject to a Development Agreement (the "**Development Agreement**") executed between Grantee and the previous owner of the Project Site (and for which Grantor has assumed all rights and obligations thereunder) and as a condition imposed on the Project's Vesting Tentative Parcel Map No. 15-94 ("**VTPM**"), Grantor is required to construct certain public storm water drainage facilities to serve the Project (collectively, "**Public Drainage Facilities**"); and

WHEREAS, on September 10, 2018, the City Council approved Parcel Map 17-01 in connection with the Project ("**Parcel Map**"), after confirming the Parcel Map is in substantial compliance with the VTPM; and

WHEREAS, the parties have mutually determined the location of a storm drainage pipe ("**Storm Drainage Pipe**"), which is part of the Public Drainage Facilities, should be aligned such that it is located on the Project Site rather than within the public right-of-way, as originally shown on the VTPM; and

WHEREAS, to allow for this alignment for the Storm Drainage Pipe, Grantor desires to grant, and Grantee desires to obtain, a perpetual, non-exclusive easement for the Storm Drainage Pipe on a certain portion of the Project Site for purposes of operation and maintenance of said pipe, as described further below; and

WHEREAS, Grantor is willing to grant said easement rights on the terms and conditions set forth below.

NOW, THEREFORE, Grantor does hereby grant the easement rights set forth herein, and in and for good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Grantee and Grantor agree as follows:

1. Grant of Easement. Grantor hereby grants and conveys unto Grantee, a perpetual, non-exclusive easement on, under and through that certain area on the Project Site, as more particularly described and shown in the attached Exhibits A and B (“**Easement Area**”), for the purpose of operating and maintaining the Storm Drainage Pipe and related storm water drainage and discharge to flow within said pipe, once Grantor installs said pipe (collectively, “**Storm Pipe Easement**”). Grantee shall also have reasonable rights of ingress and egress, consistent with the purpose of this Easement Agreement, for the purpose of repair, reconstruction, operation, maintenance, inspection, removal and/or replacement of the Storm Drainage Pipe. Grantee agrees all repair, reconstruction, operation, maintenance, inspection, removal and any other related activities in connection with the Storm Drainage Pipe that disturb the Easement Area shall be reasonably coordinated with Grantor so as to minimize any disruption to Project Site, to the extent feasible. Notwithstanding the foregoing, Grantor shall have the right to construct and/or install any and all other improvements within the Easement Area, including, without limitation, roadways, paved driveways, parking and/or walkways; and landscaping, lighting, and/or similar improvements; provided, however, the construction and maintenance of such improvements shall not adversely affect or otherwise substantially interfere with Grantee’s use of the Easement Area, including, without limitation, obstructing any clean-outs for the Storm Drainage Pipe.

2. Installation, Operation and Maintenance.

(a) Responsibility for Installation of Storm Drainage Pipe. Grantor and Grantee acknowledge and agree that Grantor is obligated to install the Public Drainage Facilities, including the Storm Drainage Pipe, pursuant to the terms and conditions set forth in that certain *Subdivision Improvement Agreement* entered into by Grantor and Grantee on Sept. 10, 2018 (“SIA”). In accordance therewith, Grantor shall be responsible for installing the Storm Drainage Pipe in the Easement Area, and thereafter shall offer to dedicate said pipe to City (along with the other Public Drainage Facilities as provided for under the SIA).

(b) Responsibility for Maintenance of the Storm Drainage Pipe. Once Grantee accepts the offer of dedication of the Storm Drainage Pipe pursuant to the provisions of the SIA, then Grantee shall be responsible for maintaining said pipe in good condition and working order in accordance with City’s typical practice of maintaining public improvements and consistent with industry standards.

3. Binding Effect. This Easement Agreement shall be binding upon and inure to the benefit of Grantor, Grantee and their respective successors and assigns.

4. Indemnity. Grantee agrees to indemnify, defend and hold Grantor and its respective officers, directors, shareholders, partners, members, managers, affiliates, employees, representatives, invitees, successors and assigns harmless from and against any and all claims,

liabilities, losses, judgments, expenses or costs of any kind (including, without limitation, attorney's fees) by reason of property damage, death or injury to persons arising from or relating to Grantee's repair, reconstruction, removal, replacement, inspection, operation or maintenance of the Storm Drainage Pipe on the Project Site.

5. Miscellaneous.

(a) All terms and provisions herein contained, including, without limitation, the benefits, burdens and covenants, are intended to run with the land described herein and shall be binding upon and inure to the benefit of the respective successors and assigns of the parties hereto.

(b) This Easement constitutes the entire agreement between the parties hereto with respect to the subject matter hereof.

(c) This Easement Agreement shall be of no force and effect until it is executed by the parties hereto.

IN WITNESS WHEREOF, the parties hereto have executed this Easement Agreement as of the date and year first above written.

Grantor:

Grantee:

South Lathrop Land, L.L.C.,
a Delaware limited liability company

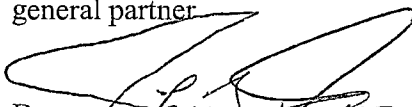
City of Lathrop,
A California Municipal Corporation

By: CHI West 109 South Lathrop Land,
L.P., a Delaware limited partnership,
its managing member

By:
City Manager

By: CHILTH GP, L.L.C., a Delaware
limited liability company, its
general partner

Stephen J. Salvatore



By: _____ Attest:
Name: Philip J. Prassas
Title: Vice President

City Clerk of and for the City
of Lathrop, State of California

Teresa Vargas

[NOTARY ACKNOWLEDGEMENTS ON FOLLOWING PAGE(S).]

ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)
County of Los Angeles)

On December 20, 2018, before me, Alison Thomas - Geujen, a Notary Public, personally appeared Philip Prassas, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature

Alison Thomas Geujen

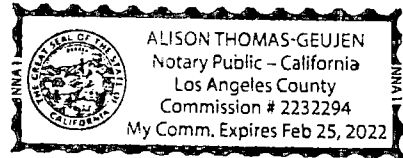


EXHIBIT "A"

**LEGAL DESCRIPTION
STORM DRAIN EASEMENT**

CERTAIN REAL PROPERTY SITUATED IN THE CITY OF LATHROP, SAN JOAQUIN COUNTY, STATE OF CALIFORNIA, BEING A PORTION OF PARCEL 1 OF PARCEL MAP 17-01 AS RECORDED IN BOOK 26 OF PARCEL MAPS, AT PAGE 114, SAN JOAQUIN COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE MOST SOUTHERLY TERMINUS OF A SEGMENT OF THE MONUMENT LINE OF GLACIER STREET LABELED NORTH 0°38'12" EAST, 208.77 FEET, ON SAID PARCEL MAP, THENCE NORTH 89°21'48" WEST, 15.00 FEET, TO THE **POINT OF BEGINNING**, SAID POINT BEING THE POINT OF BEGINNING OF A TANGENT CURVE ON THE WESTERLY LINE OF SAID GLACIER STREET;

THENCE ALONG SAID WESTERLY LINE ALONG SAID TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 322.50 FEET, THROUGH A CENTRAL ANGLE OF 39°58'56", AND AN ARC LENGTH OF 225.05 FEET;

THENCE LEAVING SAID WESTERLY LINE AND ENTERING SAID PARCEL 1 THE FOLLOWING THREE (3) COURSES:

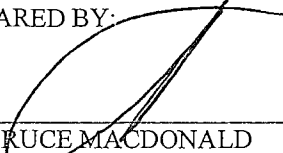
1. NORTH 74°46'51" WEST, 80.48 FEET;
2. NORTH 0°38'12" EAST, 186.96 FEET;
3. SOUTH 89°21'48" EAST, 2.50 FEET, TO THE **POINT OF BEGINNING**

CONTAINING 4,666 SQUARE FEET MORE OR LESS.

A PLAT, EXHIBIT "B", IS ATTACHED HERETO, AND BY THIS REFERENCE MADE A PART HEREOF.

END OF DESCRIPTION

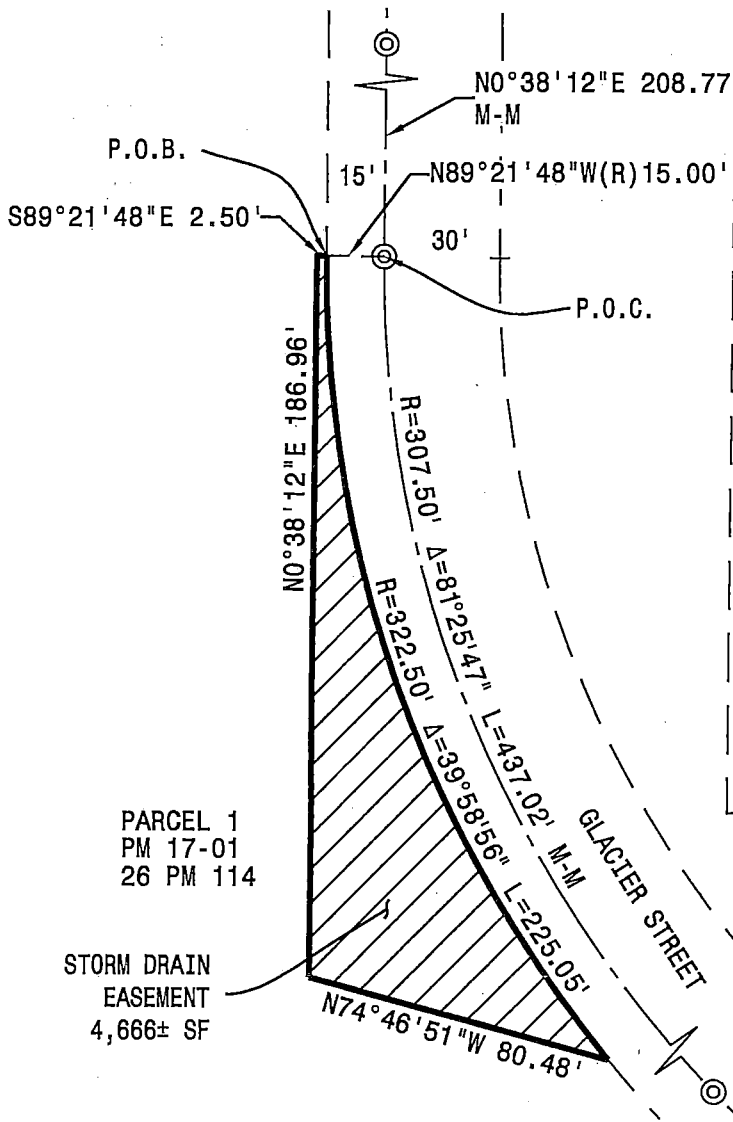
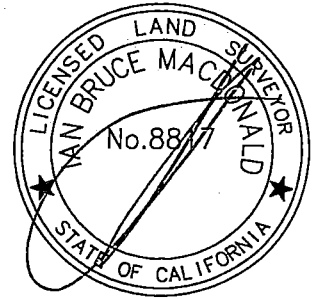
PREPARED BY:


IAN BRUCE MACDONALD
LICENSED LAND SURVEYOR NO. 8817
(EXP. 12/31/19)
STATE OF CALIFORNIA



11/13/18
DATE

Mackay & Somps
CIVIL ENGINEERING • LAND PLANNING • LAND SURVEYING
5142 Franklin Drive Suite B, Pleasanton, CA. 94588-3355
(925) 225-0690

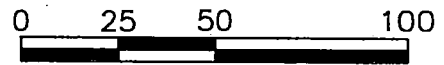


KEENEY, WALTERL,
& JOANNA
241-410-44

PARCEL 1
PM 17-01
26 PM 114

PARCEL 1
PM 17-01
26 PM 114

STORM DRAIN
EASEMENT
4,666± SF



SCALE: 1"=50'

LEGEND

- MONUMENT LINE
- BOUNDARY OF DESCRIPTION
- - - EXISTING PROPERTY LINE/RIGHT OF WAY
- PM PARCEL MAP
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- ⊙ STREET MONUMENT PER PM 17-01
26 PM 114
- M-M MONUMENT TO MONUMENT
- ▨ AREA OF DESCRIPTION

PLAT TO ACCOMPANY LEGAL DESCRIPTION

EXHIBIT "B"
STORM DRAIN EASEMENT

CITY OF LATHROP

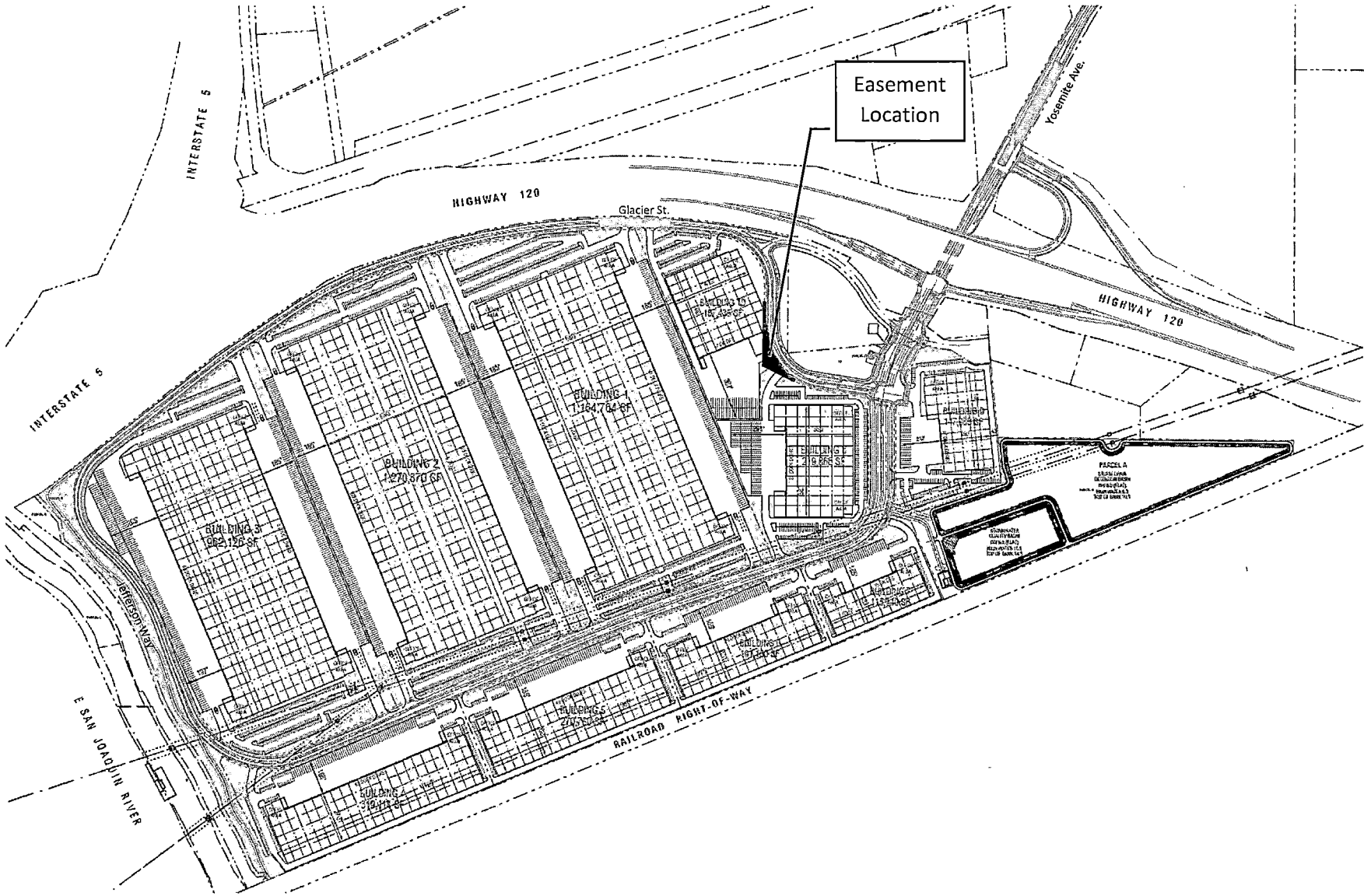
CALIFORNIA

MACKAY & SOMPS

ENGINEERS PLANNERS SURVEYORS
5142B FRANKLIN DR, PLEASANTON, CA 94588 (925)225-0690

DRAWN BY	DATE	SCALE	JOB NO.
DY	NOV. 2018	1"=50'	25223

Location Map



**CITY MANAGER'S REPORT
APRIL 8, 2019, CITY COUNCIL REGULAR MEETING**

ITEM: **ACCEPTANCE OF COMPLETED PORTIONS OF TRACT 3533 FOR POTABLE WATER, RECYCLED WATER, STORM DRAIN AND SANITARY SEWER BACKBONE IMPROVEMENTS FROM SAYBROOK CLSP, LLC**

RECOMMENDATION: **Adopt Resolution Accepting Completed Portions of Tract 3533 Potable Water, Recycled Water, Storm Drain and Sanitary Sewer Backbone Improvements from Saybrook CLSP, LLC**

SUMMARY:

Saybrook CLSP, LLC (Saybrook), the developer for the Central Lathrop Specific Plan (CLSP) has completed construction of portions of the potable water, recycled water, storm drain and sanitary sewer backbone improvements in accordance with approved improvement plans. The completed improvements listed below have been inspected by City staff and have been deemed complete and ready for acceptance. Staff recommends that the City Council accept these improvements. The costs to maintain these facilities will be covered through the existing City of Lathrop Public Works operating budget and the establishment of a Community Facilities District (CFD).

BACKGROUND:

In 2006, the construction of CLSP utility backbone improvements for Tract 3533 was initiated but never completed nor accepted by the City. In 2013, Saybrook acquired the developable land within the CLSP area.

Saybrook has now completed additional clean-up and punch list items required for the City acceptance of the potable water, recycled water, storm drain and sanitary sewer backbone improvements for the area shown in Attachment "B". The street improvements on Barbara Terry, Stanford Crossing, Dos Reis Road, and portions of Golden Valley Parkway and Spartan Way will be completed and accepted at a later date.

Staff has inspected the listed backbone improvements and confirmed that they were completed in a satisfactory manner. The approximate value of the backbone improvements recommended for acceptance is \$9,759,732 as shown in the GASB 34 Report (Attachment "C"). The precise extent of the backbone improvements acceptance is based on the improvement Record Drawings entitled "Land Park at Lathrop – Phase I; Backbone Infrastructure; Tract 3533" dated March 6, 2019 and as shown in Table 1 below.

APRIL 8, 2019, CITY COUNCIL REGULAR MEETING

ACCEPTANCE OF COMPLETED PORTIONS OF TRACT 3533 POTABLE WATER, RECYCLED WATER, STORM DRAIN AND SANITARY SEWER BACKBONE IMPROVEMENTS FROM SAYBROOK CLSP, LLC

Table 1: Itemized Backbone Improvements

Item	Units	Total Tract 3533 Quantities	Previously Accepted	For Acceptance	Remaining Improvements for Future Acceptance
Fire Hydrant	EA	77	7	54	16
8 Inch Potable Water Pipeline	LF	5725	215	4899	611
12 Inch Potable Water Pipeline	LF	22814	2164	16400	4250
16 Inch Potable Water Pipeline	LF	2299		926	1373
8 Inch Valve (Water Pipeline)	EA	52		45	7
12 Inch Valve (Water Pipeline)	EA	75		61	14
16 Inch Valve (Water Pipeline)	EA	13		6	7
6 Inch Recycled Water Pipeline	LF	9735		5297	4438
8 Inch Recycled Water Pipeline	LF	835		835	0
10 Inch Recycled Water Pipeline	LF	3309		3309	0
20 Inch Recycled Water Pipeline	LF	9373		7850	1523
24 Inch Recycled Water Pipeline	LF	2750		2750	0
6 Inch Valve (Recycled Water Pipeline)	LF	39		24	15
8 Inch Valve (Recycled Water Pipeline)	LF	3		3	0
10 Inch Valve (Recycled Water Pipeline)	LF	7		7	0
20 Inch Valve (Recycled Water Pipeline)	LF	22		13	9
24 Inch Valve (Recycled Water Pipeline)	LF	5		5	0
SD Manhole	EA	44		28	16
SD Saddle-Type Manhole	EA	74		67	7
SD Catch Basin	EA	125		101	24
15 Inch SD Pipe	LF	4248		3769	479
18 Inch SD Pipe	LF	3634		3117	517
24 Inch SD Pipe	LF	1258		1174	84
36 Inch SD Pipe	LF	132		66	66
48 Inch SD Pipe	LF	1988		1988	0
54 Inch SD Pipe	LF	6523		2958	3565
60 Inch SD Pipe	LF	658		327	331
72 Inch SD Pipe	LF	1064		978	86
78 Inch SD Pipe	LF	7170		6562	608
84 Inch SD Pipe	LF	2242		2166	76
90 Inch SD Pipe	LF	6484		6484	0
96 Inch SD Pipe	LF	1001		1001	0
8 Inch SS Pipe	LF	5257	44	4842	371
10 Inch SS Pipe	LF	4353	92	2069	2192
12 Inch SS Pipe	LF	4021		2856	1165
14 Inch SS Pipe	LF	2598		2598	0
18 Inch SS Pipe	LF	1889		1889	0
20 Inch SS Pipe	LF	2355		991	1364
24 Inch SS Pipe	LF	4661	1798	2706	157
SS Manholes	EA	80	7	56	17
14 Inch Sanitary Sewer Force Main	LF	6003		6003	0
18 Inch Sanitary Sewer Force Main	LF	6081		6081	0

APRIL 8, 2019, CITY COUNCIL REGULAR MEETING**ACCEPTANCE OF COMPLETED PORTIONS OF TRACT 3533 POTABLE WATER, RECYCLED WATER, STORM DRAIN AND SANITARY SEWER BACKBONE IMPROVEMENTS FROM SAYBROOK CLSP, LLC**

Due to the fragmented nature of acceptances in CLSP Tract 3533, an accounting of previously completed and accepted portions of public improvements is needed in order to maintain a current and cumulative record of all accepted improvements.

- Sewer and Potable Water Improvements and Conditional Acceptance of CLSP Low Flow Sewer and Storm Drain Improvements completed portions accepted by Resolution No. 15-3958 at the July 20, 2015 City Council meeting
- PS 10-14 Golden Valley Parkway Upgrades Phase 3B from River Islands Pkwy to Lathrop Road accepted by Resolution No. 11-3178 at the April 18, 2011 Council meeting.
- PS 09-12 Lathrop Rd Upgrades from Land Park Drive to Harlan Rd accepted by Resolution No. 10-2949 at the January 25, 2010 Council meeting
- PS 10-13 Golden Valley Parkway Improvements Phase 3A from River Islands Parkway to Lathrop Road accepted by Resolution No. 10-3067 at the August 16, 2010 Council meeting.
- PS 10-13 Golden Valley Parkway Sidewalk Improvements from River Islands Parkway to Lathrop Road accepted by Resolution No. 10-3068 at the August 16, 2010 Council meeting.
- PS 10-14 Golden Valley Parkway Upgrades Phase 3B from River Islands Pkwy to Lathrop Road completed portions accepted by Resolution No. 10-3117 at the November 15, 2010 Council meeting.
- Lathrop Road ROW and Improvements from Land Park Drive to Manthey Road accepted by Resolution No. 09-2748 at the February 3, 2009 Council meeting

REASON FOR RECOMMENDATION:

Staff has inspected the listed potable water, recycled water, storm drain, and sanitary sewer backbone improvements and confirmed that they were completed in a satisfactory manner. Staff has received the record drawings, and the lien release for improvements constructed by Saybrook. Maintenance bond not required because these listed improvements were completed and in use for over five (5) years. Staff recommends acceptance of listed completed portions of the improvements for CLSP Tract 3533.

APRIL 8, 2019, CITY COUNCIL REGULAR MEETING**ACCEPTANCE OF COMPLETED PORTIONS OF TRACT 3533 POTABLE WATER, RECYCLED WATER, STORM DRAIN AND SANITARY SEWER BACKBONE IMPROVEMENTS FROM SAYBROOK CLSP, LLC****FISCAL IMPACT:**

The City's maintenance cost will increase due to the additional improvements that have to be maintained. The costs to maintain these facilities will be covered through the existing City of Lathrop Public Works operating budget and the establishment of a CFD.

ATTACHMENTS:

- A. Resolution Accepting Completed Portions of Tract 3533 Potable Water, Recycled Water, Storm Drain and Sanitary Sewer Backbone Improvements from Saybrook CLSP, LLC
- B. Location Map of Backbone Improvements
- C. Project Acceptance GASB 34 Report dated, March 6, 2019
- D. Notice of Waiver and Release dated, April 2, 2019

APRIL 8, 2019, CITY COUNCIL REGULAR MEETING

ACCEPTANCE OF COMPLETED PORTIONS OF TRACT 3533 POTABLE WATER, RECYCLED WATER, STORM DRAIN AND SANITARY SEWER BACKBONE IMPROVEMENTS FROM SAYBROOK CLSP, LLC

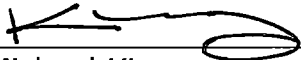
APPROVALS:



Ken Reed
Senior Construction Manager

4-2-2019

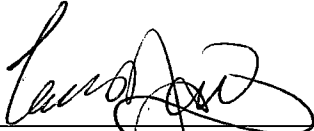
Date



Michael King
Assistant Director of Public Works

4-2-19

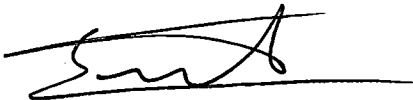
Date



Cari James
Finance & Administrative
Services Director

4/2/19

Date



Salvador Navarrete
City Attorney

4-2-19

Date



Stephen J. Salvatore
City Manager

4-3-19

Date

RESOLUTION NO. 19-

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP ACCEPTING COMPLETED PORTIONS OF TRACT 3533 POTABLE WATER, RECYCLED WATER, STORM DRAIN AND SANITARY SEWER BACKBONE IMPROVEMENTS FROM SAYBROOK CLSP, LLC

WHEREAS, in 2006, the construction of CLSP utility backbone improvements for Tract 3533 was initiated but never completed nor accepted by the City; and

WHEREAS, in 2013, Saybrook CLSP, LLC (Saybrook) acquired the developable land within the CLSP area; and

WHEREAS, City Council has previously approved the acceptance on the following items for Tract 3533:

- Sewer and Potable Water Improvements and Conditional Acceptance of CLSP Low Flow Sewer and Storm Drain Improvements accepted by Resolution No. 15-3958 at the July 20, 2015 City Council meeting
- PS 10-14 Golden Valley Parkway Upgrades Phase 3B from River Islands Pkwy to Lathrop Road accepted by Resolution No. 11-3178 at the April 18, 2011 Council meeting.
- PS 09-12 Lathrop Rd Upgrades from Land Park Drive to Harlan Rd accepted by Resolution No. 10-2949 at the January 25, 2010 Council meeting
- PS 10-13 Golden Valley Parkway Improvements Phase 3A from River Islands Parkway to Lathrop Road accepted by Resolution No. 10-3067 at the August 16, 2010 Council meeting.
- PS 10-13 Golden Valley Parkway Sidewalk Improvements from River Islands Parkway to Lathrop Road accepted by Resolution No. 10-3068 at the August 16, 2010 Council meeting.
- PS 10-14 Golden Valley Parkway Upgrades Phase 3B from River Islands Pkwy to Lathrop Road accepted by Resolution No. 10-3117 at the November 15, 2010 Council meeting.
- Lathrop Road ROW and Improvements from Land Park Drive to Manthey Road accepted by Resolution No. 09-2748 at the February 3, 2009 Council meeting; and

WHEREAS, Saybrook has now completed additional clean-up and punch list items required for the City acceptance of the listed potable water, recycled water, storm drain and sanitary sewer backbone improvements; and

WHEREAS, the street and Dos Reis Road improvements will be completed and submitted to Council for acceptances at a later date; and

WHEREAS, staff has inspected the backbone improvements listed in the staff report that accompanied this resolution and confirmed that they were completed in a satisfactory manner; and

WHEREAS, the approximate value of the backbone improvements recommended for acceptance is \$9,759,732 as shown in the GASB 34 Report for this project; and

WHEREAS, the precise extent of the backbone improvements acceptance, as shown in Table 1 of staff report dated April 8, 2019, is based on the improvement Record Drawings entitled "Land Park at Lathrop – Phase I; Backbone Infrastructure; Tract 3533" dated March 6, 2019; and

WHEREAS, the cost to maintain these facilities will be covered through the existing City of Lathrop Public Works operating budget and the establishment of a Community Facilities District (CFD).

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Lathrop that the completed potable water, recycled water, storm drain and sanitary sewer backbone improvements for CLSP Tract 3533 listed in Table 1 of the staff report that accompanied this resolution, are hereby accepted from Saybrook CLSP LLC.

The foregoing resolution was passed and adopted this 8th day of April 2019, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSTAIN:

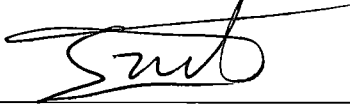
ABSENT:

Sonny Dhaliwal, Mayor

ATTEST:

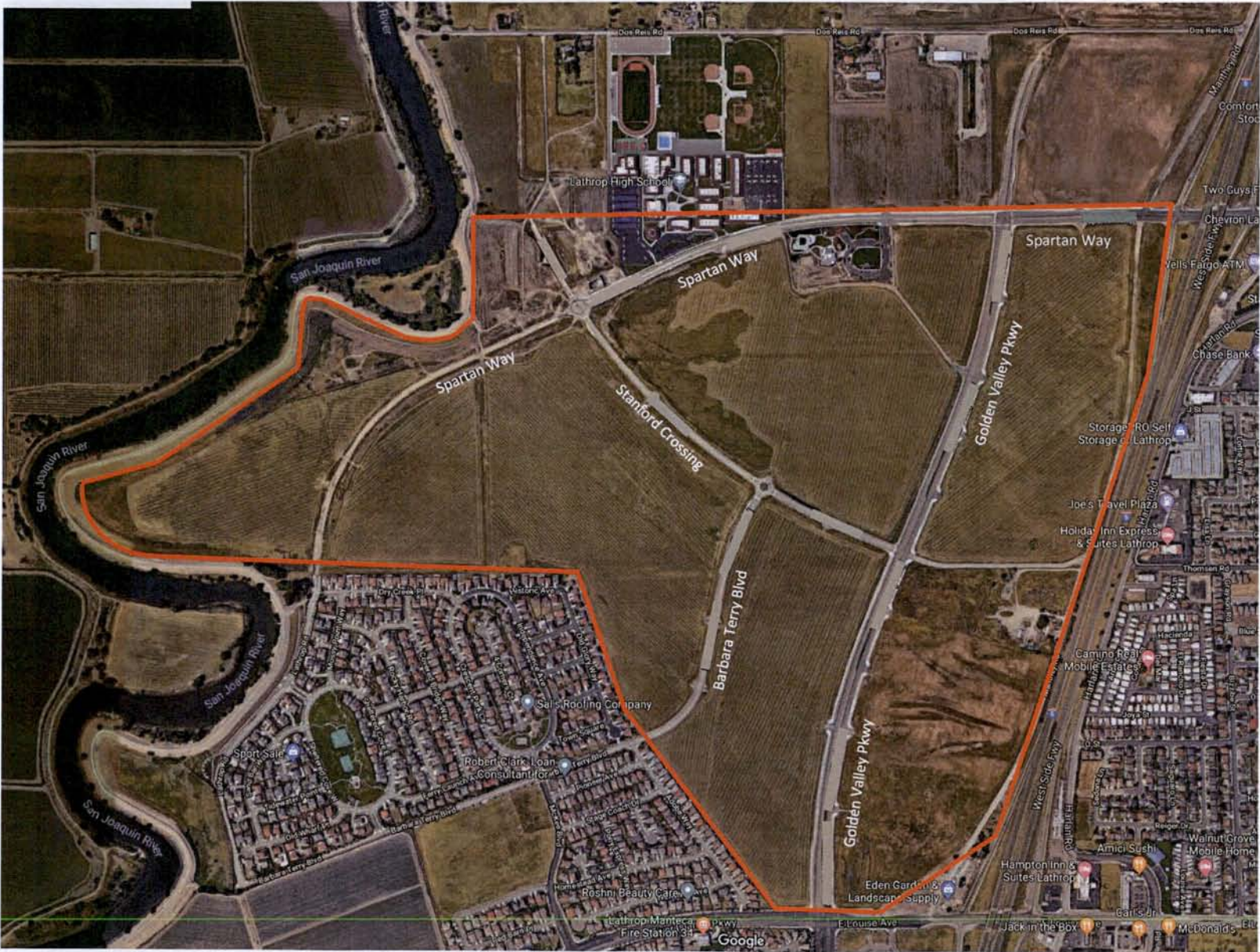
Teresa Vargas, City Clerk

APPROVED AS TO FORM:

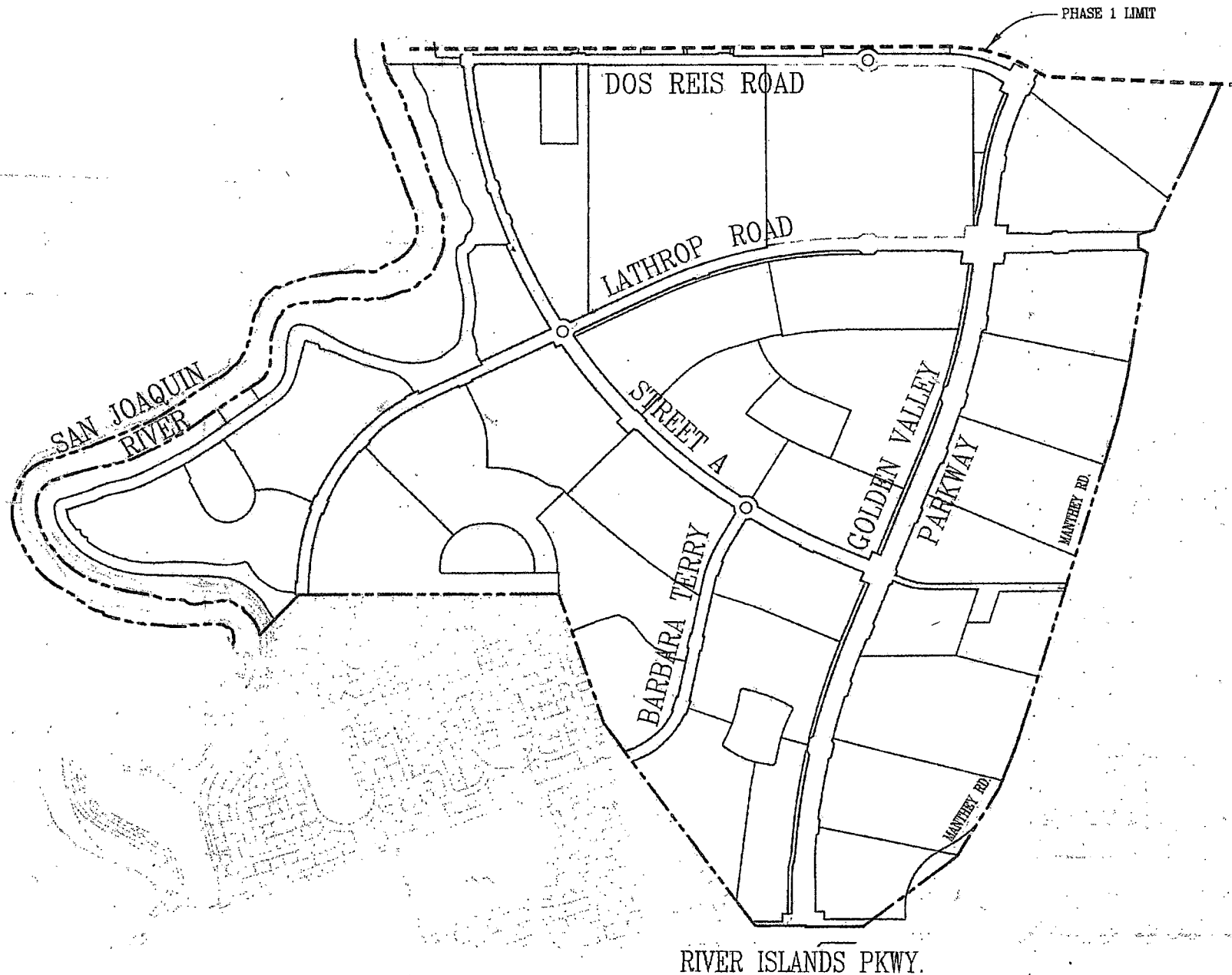


Salvador Navarrete, City Attorney

Location Map



Tract 3533 Map
Lathrop, CA



INDEX MAP

SCALE: 1"=800'



**CITY OF LATHROP
PROJECT ACCEPTANCE
(GASB 34 REPORT)**

Submitted by: MacKay & Soms
Tract No.: 3533 (Partial Acceptance April 2019)

Date: 3/6/201

Item	Units	Total Tract 3533 Quantities	Previously Accepted	For Acceptance	Remaining Improvements for Future Acceptance	Unit Price	Amount for Acceptance
Fire Hydrant	EA	77	7	54	16	\$3,500.00	\$189,000.00
8 Inch Potable Water Pipeline	LF	5725	215	4899	611	\$24.00	\$117,576.00
12 Inch Potable Water Pipeline	LF	22814	2164	16400	4250	\$34.00	\$557,600.00
16 Inch Potable Water Pipeline	LF	2299		926	1373	\$44.00	\$40,744.00
8 Inch Valve (Water Pipeline)	EA	52		45	7	\$800.00	\$36,000.00
12 Inch Valve (Water Pipeline)	EA	75		61	14	\$1,000.00	\$61,000.00
16 Inch Valve (Water Pipeline)	EA	13		6	7	\$1,200.00	\$7,200.00
6 Inch Recycled Water Pipeline	LF	9735		5297	4438	\$14.00	\$74,158.00
8 Inch Recycled Water Pipeline	LF	835		835	0	\$24.00	\$20,040.00
10 Inch Recycled Water Pipeline	LF	3309		3309	0	\$34.00	\$112,506.00
20 Inch Recycled Water Pipeline	LF	9373		7850	1523	\$54.00	\$423,900.00
24 Inch Recycled Water Pipeline	LF	2750		2750	0	\$64.00	\$176,000.00
6 Inch Valve (Recycled Water Pipeline)	LF	39		24	15	\$600.00	\$14,400.00
8 Inch Valve (Recycled Water Pipeline)	LF	3		3	0	\$800.00	\$2,400.00
10 Inch Valve (Recycled Water Pipeline)	LF	7		7	0	\$1,000.00	\$7,000.00
20 Inch Valve (Recycled Water Pipeline)	LF	22		13	9	\$2,000.00	\$26,000.00
24 Inch Valve (Recycled Water Pipeline)	LF	5		5	0	\$2,400.00	\$12,000.00
SD Manhole	EA	44		28	16	\$3,200.00	\$89,600.00
SD Saddle-Type Manhole	EA	74		67	7	\$3,200.00	\$214,400.00
SD Catch Basin	EA	125		101	24	\$3,800.00	\$383,800.00
15 Inch SD Pipe	LF	4248		3769	479	\$36.00	\$135,684.00
18 Inch SD Pipe	LF	3634		3117	517	\$42.00	\$130,914.00
24 Inch SD Pipe	LF	1258		1174	84	\$52.00	\$61,048.00
36 Inch SD Pipe	LF	132		66	66	\$62.00	\$4,092.00
48 Inch SD Pipe	LF	1988		1988	0	\$72.00	\$143,136.00
54 Inch SD Pipe	LF	6523		2958	3565	\$82.00	\$242,556.00
60 Inch SD Pipe	LF	658		327	331	\$110.00	\$35,970.00
72 Inch SD Pipe	LF	1064		978	86	\$185.00	\$180,930.00
78 Inch SD Pipe	LF	7170		6562	608	\$195.00	\$1,279,590.00
84 Inch SD Pipe	LF	2242		2166	76	\$210.00	\$454,860.00
90 Inch SD Pipe	LF	6484		6484	0	\$235.00	\$1,523,740.00
96 Inch SD Pipe	LF	1001		1001	0	\$260.00	\$260,260.00
8 Inch SS Pipe	LF	5257	44	4842	371	\$32.00	\$154,944.00
10 Inch SS Pipe	LF	4353	92	2069	2192	\$42.00	\$86,898.00
12 Inch SS Pipe	LF	4021		2856	1165	\$52.00	\$148,512.00
14 Inch SS Pipe	LF	2598		2598	0	\$62.00	\$161,076.00
18 Inch SS Pipe	LF	1889		1889	0	\$72.00	\$136,008.00
20 Inch SS Pipe	LF	2355		991	1364	\$82.00	\$81,262.00
24 Inch SS Pipe	LF	4661	1798	2706	157	\$92.00	\$248,952.00
SS Manholes	EA	80	7	56	17	\$4,000.00	\$224,000.00
14 Inch Sanitary Sewer Force Main	LF	6003		6003	0	\$104.00	\$624,312.00
18 Inch Sanitary Sewer Force Main	LF	6081		6081	0	\$144.00	\$875,664.00
						Total	\$9,759,732.00

City of Lathrop

NOTICE OF WAIVER AND RELEASE

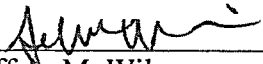
Saybrook CLSP, LLC provides the following Notice of Waiver and Release for construction of the following improvement(s):

Tract 3533 Backbone Utility Improvements

CLSP certifies:

- 1) To the best of its knowledge, any and all persons entitled to record mechanics lien, stop payment notices or payment bond claims for labor, service, equipment, or material provided to works of improvement identified above have been paid in full; and
- 2) That it has not received any notice or claim from any persons entitled to record mechanics lien, stop payment notices or payment bond claims for labor, service, equipment, or material provided to the works of improvement identified above.

CLSP shall indemnify and hold the City of Lathrop, its elective and appointive boards, commissions, officers and employees harmless from mechanics liens, stop payment notices or payment bond claims any persons are entitled to for labor, service, equipment, or material provided to the works of improvement identified above.

SAYBROOK CLSP, LLC	
By:	Saybrook Fund Investors, LLC
Its:	Managing Member
By:	
	Jeffrey M. Wilson
	4/2/2019

**CITY MANAGER'S REPORT
APRIL 8, 2019, CITY COUNCIL REGULAR MEETING****ITEM: CREATE CIP PS 19-12 FOR 2019 CITYWIDE
ENGINEERING AND TRAFFIC SURVEY****RECOMMENDATION: Adopt a Resolution Approving a Budget
Amendment and Creating CIP PS 19-12 to
Complete a Citywide Engineering and Traffic
Survey**

SUMMARY:

The California Vehicle Code (CVC), Sections 40800-40808, requires public agencies to prepare an Engineering and Traffic Survey (E&TS) for the purpose of establishing a legally enforceable speed limit for City streets. In order to maintain compliance with the CVC, the City must perform a citywide E&TS.

Staff requests City Council approve a budget amendment and creation of Capital Improvement Project (CIP) PS 19-12 to complete a citywide E&TS with a project budget of \$17,750 from the Gas Tax Fund 2030.

BACKGROUND:

The California Vehicle Code (Sections 40800-40808) requires public agencies to prepare an Engineering and Traffic Survey (E&TS) to establish a legally enforceable speed limit for City streets. An E&TS is valid for five (5) years and may be extended to seven (7) years if specific criteria are satisfied. A survey may be extended to ten (10) years if the engineer determines the criteria have been met and no significant changes in roadway or traffic conditions have occurred. The previous citywide E&TS was completed in April of 2016. Several of the streets surveyed in 2016 were extended an additional two (2) years. The remaining streets were not extended because of significant changes in traffic conditions. As a result, approximately seventeen (17) city streets require a new E&TS for the purpose of establishing a legally enforceable speed limit for those streets.

REASON FOR RECOMMENDATION:

The California Vehicle Code (Sections 40800-40808) requires public agencies to prepare an Engineering and Traffic Survey (E&TS) for the purpose of establishing a legally enforceable speed limit for City streets. In order to enable Lathrop Police Services to continue enforcing speed limits posted on City streets using RADAR/LIDAR equipment through the next five (5) years, the City must complete an updated citywide E&TS.

FISCAL IMPACT:

The total estimated project cost is \$17,750. Project costs include a professional services agreement with a traffic engineering firm and replacing outdated speed limit signs. Staff requests a budget amendment transferring \$17,750 from the Gas Tax Fund 2030.

Staff Requests the following budget amendment:

Increase Transfer Out		
2030-9900-990-9010		\$17,750
 Increase Transfer In		
3310-9900-393-0000		\$17,750
 Increase Expenditures		
33108000-420-8600	PS 19-12	\$17,750

ATTACHMENT:

- A. Resolution Approving a Budget Amendment and Creating CIP PS 19-12 to Complete a Citywide Engineering and Traffic Survey

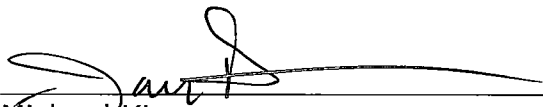
CITY MANAGER'S REPORT **PAGE 3**
APRIL 8, 2019, CITY COUNCIL REGULAR MEETING
CREATE CIP PS 19-12 CITYWIDE ENGINEERING AND TRAFFIC SURVEY

APPROVALS:



Steven J. Medina
Assistant Engineer

5/26/19
Date

For 

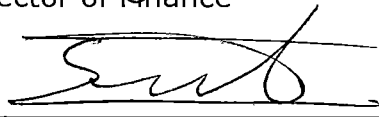
Michael King
Assistant Public Works Director

3/26/19
Date



Carl James
Administrative Services &
Director of Finance

3/21/19
Date



Salvador Navarrete
City Attorney

3-26-19
Date



Stephen J. Salvatore
City Manager

4-2-19
Date

RESOLUTION NO. 19-

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP APPROVING A BUDGET AMENDMENT AND CREATING CIP PS 19-12 TO COMPLETE A CITYWIDE ENGINEERING AND TRAFFIC SURVEY

WHEREAS, the California Vehicle Code (Sections 40800-40808) requires public agencies to prepare an Engineering and Traffic Survey (E&TS) for the purpose of establishing a legally enforceable speed limits for City streets; and

WHEREAS, in order to enable Lathrop Police Services to continue enforcing speed limits posted on City streets using RADAR/LIDAR equipment through the next five (5) years, the City must complete an updated citywide E&TS; and

WHEREAS, staff requests City Council approve the creation of Capital Improvement Project (CIP) PS 19-12 to complete a citywide E&TS with a project budget of \$17,750.

NOW, THEREFORE, BE IT RESOLVED, the City Council of the City of Lathrop does hereby approve the creation of CIP PS 19-12 to complete a citywide Engineering and Traffic Survey; and

BE IT FURTHER RESOLVED, the City Council of the City of Lathrop does hereby approve the following budget amendment from the Gas Tax Fund 2030 to cover the cost of the E&TS:

Increase Transfer Out 2030-9900-990-9010		\$17,750
Increase Transfer In 3310-9900-393-0000		\$17,750
Increase Expenditures 3310-8000-420-8600	PS 19-12	\$17,750

The foregoing resolution was passed and adopted this 8th day of April 2019, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSTAIN:

ABSENT:

Sonny Dhaliwal, Mayor

ATTEST:

Teresa Vargas, City Clerk

APPROVED AS TO FORM:



Salvador Navarrete, City Attorney

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ITEM: APPROVE TASK ORDER NO. 6 WITH INTERWEST CONSULTING GROUP FOR PROFESSIONAL BUILDING DIVISION SERVICES AND RELATED BUDGET AMENDMENT

RECOMMENDATION: Adopt a Resolution Approving Task Order No. 6 with Interwest Consulting Group to Provide Professional Building Division Plan Check Services and Related Budget Amendment

SUMMARY:

The City anticipated the need for additional professional services to augment Building Division staff to keep pace with ongoing developments. When building activity exceeds staff resources, we use the services of outside consultants, including Interwest Consulting Group (Interwest), to provide additional Inspectors, Plan Checkers, Permit Technicians, and other building services. In February 2018, City Council approved Task Order No. 5 with Interwest for plan check services during FY 17/18 and FY 18/19. Considering the current residential, commercial and industrial development projects taking place within the City, additional plan check services are necessary.

Staff recommends Council approve Task Order No. 6 for additional plan check services by Interwest for an amount not to exceed \$200,000. The proposed Task Order No. 6 will be fully funded by fees that are paid for building permits and plan check pay for the cost of providing these services.

BACKGROUND:

On July 18, 2016, City Council approved a Master Agreement and Task Orders No. 1 and No. 2 with Interwest. Additionally, the City Council approved Task Order No. 3 on April 17, 2017 and Task Orders No.'s 4 & 5 were approved by City Council for plan check services. The Master Agreement with Interwest allows staff to issue task orders when building activity increases and there is a need to increase plan review services beyond current staffing levels. The ability to use the services of outside consultants makes it possible to maintain sufficient levels of permanent staff without having to resort to layoffs if construction slows down.

Under the current Master Agreement, Interwest is paid 65% of the plan check fees collected by the City for projects they review. Interwest currently handles all of River Islands plan checks and complex structural plan check for major commercial and industrial developments like the Tesla expansion as well as residential projects city-wide. Developers have been satisfied with the services rendered.

CITY MANAGER'S REPORT **PAGE 2**
APRIL 8, 2019 CITY COUNCIL REGULAR MEETING
TASK ORDER NO. 6 WITH INTERWEST CONSULTING GROUP FOR
PROFESSIONAL BUILDING DIVISION SERVICES AND RELATED BUDGET
AMENDMENT

REASON FOR RECOMMENDATION:

In order to address continued construction activity, staff recommends that City Council approve Task Order No. 6 with Interwest to provide plan check services.

FISCAL IMPACT:

Proposed Task Order No. 6 is for additional plan check services by Interwest for an amount not to exceed \$200,000. Funds approved in the Building Divisions budget for 2018-2019 fiscal year is \$118,900, therefore, a budget amendment in the amount of \$81,100 is necessary as detailed below. The proposed Task Order No. 6 will be fully funded by plan check fees collected from development and costs for plan check services will only be paid if the revenue has been received.

Staff requests the following budget amendment:

Increase Revenue

RI Plan Check Fees 1010-50-30-341-02-08	\$49,230
Plan Check Fees 1010-50-30-341-02-02	\$75,540

Increase Appropriations

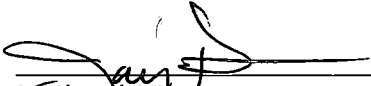
RI Plan Check Fees 1010-50-30-420-01-02	\$32,000
Plan Check Fees 1010-50-30-420-01-00	\$49,100

ATTACHMENTS:

- A. Resolution approving Task Order No. 6 with Interwest Consulting Group to Provide Plan Check Services in the Building Division
- B. Task Order No. 6 Pursuant to Master Consulting Agreement dated July 18, 2016 with Interwest Consulting Group to Provide Professional Plan Check Services in the Building Division

CITY MANAGER'S REPORT **PAGE 3**
APRIL 8, 2019 CITY COUNCIL REGULAR MEETING
TASK ORDER NO. 6 WITH INTERWEST CONSULTING GROUP FOR
PROFESSIONAL BUILDING DIVISION SERVICES AND RELATED BUDGET
AMENDMENT

APPROVALS:

For



Michael King
Assistant Public Works Director

3/28/19
Date

Ar
Vanessa R. Porin .


Cari James
Finance & Administrative Director

3-29-19
Date



Salvador Navarrete
City Attorney

3-28-19
Date



Stephen J. Salvatore
City Manager

4-2-19
Date

RESOLUTION NO. 19-

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP APPROVING TASK ORDER NO. 6 WITH INTERWEST CONSULTING GROUP TO PROVIDE PROFESSIONAL BUILDING DIVISION PLAN CHECK SERVICES AND RELATED BUDGET AMENDMENT

WHEREAS, the City requires contract professional services to keep pace with ongoing development; and

WHEREAS, City Council approved a Master Agreement with Interwest Consulting Group for professional services in July 2016 along with Task Orders No. 1 and No. 2; and

WHEREAS, City Council approved Task Order No. 3 on April 17, 2017 for additional Building Division Plan Check Services; and

WHEREAS, on January 18, 2018 Task Order No. 4 was issued to provide Plan Check Services for the Public Works Department; and

WHEREAS, on February 12, 2018 Task Order No. 5 was issued to provide Plan Check Services for the Public Works Department; and

WHEREAS, additional Plan Check Services are required for a not to exceed amount of \$200,000;

NOW THEREFORE, BE IT RESOLVED, that the City Council of the City of Lathrop does hereby approve Task Order No. 6 for Building Division Plan Check Services with Interwest Consulting Group and the following Budget Amendment:

Increase Revenue

RI Plan Check Fees 1010-50-30-341-02-08	\$49,230
--	----------

Plan Check Fees 1010-50-30-341-02-02	\$75,540
---	----------

Increase Appropriations

RI Plan Check Fees 1010-50-30-420-01-02	\$32,000
--	----------

Plan Check Fees 1010-50-30-420-01-00	\$49,100
---	----------

The foregoing resolution was passed and adopted this 8th day of April, 2019, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSENT:

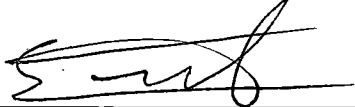
ABSTAIN:

Sonny Dhaliwal, Mayor

ATTEST:

Teresa Vargas, City Clerk

APPROVED AS TO FORM:



Salvador Navarrete, City Attorney

CITY OF LATHROP

TASK ORDER NO. 6

**PURSUANT TO MASTER CONSULTING AGREEMENT DATED
JULY 18, 2016 WITH INTERWEST CONSULTING GROUP TO PROVIDE
PROFESSIONAL PLAN CHECK SERVICES IN THE BUILDING DIVISION**

THIS TASK ORDER NO. 6, dated for convenience this **8th day of April 2019** is by and made and entered into by and between **Interwest Consulting Group** ("CONSULTANT") and the CITY OF LATHROP, a California municipal corporation ("CITY");

RECITALS:

WHEREAS, on July 18, 2016, CONSULTANT entered into a Master Agreement and Task Order No. 1 and No. 2 ("AGREEMENT") with the CITY, by which the CONSULTANT has agreed to provide **Building Division Professional Plan Check Services**; and

WHEREAS, on April 17, 2017, City Council approved Task Order No. 3 to provide additional Building Division Professional Plan Check Services; and

WHEREAS, on January 18, 2018, the City issued Task Order No. 4 for Plan Check Services to the Public Works Department; and

WHEREAS, on February 12, 2018, the City issued Task Order No. 5 for Plan Check Services to the Public Works Department; and

WHEREAS, CONSULTANT submitted a scope of work as shown in Exhibit "A";
and

WHEREAS, CONSULTANT is specially trained, experienced, and competent to perform Building Division Professional Plan Check Services, which are required by this agreement; and

WHEREAS, CITY selected the CONSULTANT pursuant to said qualifications; and

WHEREAS, CONSULTANT is willing to render such Building Division Professional Plan Check Services, as hereinafter defined, on the following terms and conditions;

NOW, THEREFORE, CONSULTANT and the CITY agree as follows:

AGREEMENT

(1) **Incorporation Of Master Agreement**

This Task Order No. 6 hereby incorporates by reference all terms and conditions set forth in the Master Agreement for Consulting Services for this project, unless specifically modified by this Task Order.

(2) **Scope of Service**

CONSULTANT agrees to perform Building Division Professional Services in accordance with the scope of work and fee proposal attached hereto as Exhibit "A" to this Task Order.

CONSULTANT agrees to diligently perform these services in accordance with the upmost standards of its profession and to the CITY'S satisfaction.

(3) **Effective Date and Term**

The effective date of this Task Order No. 6 is April 8, 2019, and it shall terminate no later than June 30, 2019.

(4) **Compensation**

CITY hereby agrees to pay CONSULTANT hourly rates and other charges not to exceed **\$200,000** for the Building Division Professional Plan Check Services. CONSULTANT shall be paid any uncontested sum due and payable within thirty (30) days of receipt of billings containing all information pursuant to Paragraph 5 below. Compensation for any task must be equal to or less than the percentage of task complete. In no event shall CONSULTANT be entitled to compensation for work not included in Exhibit "A", unless a written change order or authorization describing the extra work and payment terms has been executed by CITY's authorized representative prior to the commencement of the work.

(5) **Notice to Proceed**

Prior to commencing work under this agreement, CONSULTANT shall receive a written "Notice to Proceed" from CITY. A Notice to Proceed shall not be issued until all necessary bonds and insurance have been received. City shall not be obligated to pay CONSULTANT for any services prior to issuance of the Notice to Proceed.

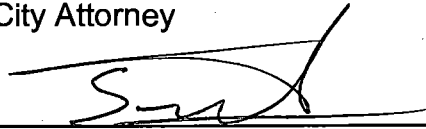
(6) **Signatures**

CITY OF LATHROP – Task Order No. 6 with Interwest Consulting Group Professional Plan Check Services in the Building Division

The individuals executing this Agreement represent and warrant that they have the right, power, legal capacity, and authority to enter into and to execute this Agreement on behalf of the respective legal entities of the CONSULTANT and the CITY. This agreement shall inure to the benefit of and be binding upon the parties hereto and their respective successors and assigns.

Approved as to Form:

City of Lathrop
City Attorney



Salvador Navarrete

4-2-19

Date

Recommended for Approval:

City of Lathrop
Assistant Public Works Director

Michael King

Date

Accepted By:
Reso No

City of Lathrop
390 Towne Centre Drive
Lathrop, CA 95330

Stephen J. Salvatore
City Manager

Date

CONSULTANT:

Interwest Consulting Group
Ron Beehler, SE, Regional Manager
1613 Santa Clara Drive, Suite 100
Roseville, CA 95661

Fed ID # _____
Bus License # _____

Signature

Date

(Print Name and title)



March 27, 2019

Mr. Ed Short
Building Official
Lathrop City Hall
390 Towne Centre Drive
Lathrop, CA 95330

RE: Proposal to Provide Plan Review, Building Inspection and Permit Technician Services

Dear Mr. Short,

Interwest Consulting Group Company, is pleased to submit our proposal to provide Building Inspection, Permit Technician and Plan Review Services to the City of Lathrop, as needed, to comply with State laws. We understand with the improving economy and recent changes in State Law, the City of Lathrop is seeking the services of building and safety consulting firms to address accessibility, peak work load demands and to maintain timely services. We understand the City is seeking consulting firms to provide professional services for the plan review of commercial and residential structures to verify compliance with the most current adopted versions of the California Building Standards Code, Lathrop City Ordinances, and relevant State and Federal Laws. We further understand that services may include coordination between City agencies, designers, and builders in the community

All proposed services will be directed from our local Roseville office. The team members will be carefully screened and selected specifically for their unique experience, licenses, certifications and proposed significant contribution to the City. Of special note is the high degree of work experience and familiarity with building department policies and procedures gained thru experience providing services similar to those being requested.

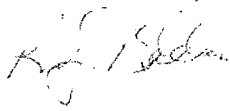
We view the key elements to serving the City of Lathrop as follows:

- ✓ Providing **qualified and experienced staff** to perform professional building permit processing, inspection and plan check services.
- ✓ **Providing qualified and experienced staff** to provide plan reviews particularly Certified Accessibility Specialists and Licensed Structural Engineers.
- ✓ Providing a **high level of customer service** for internal and external customers.
- ✓ Balancing the needs of the community by providing as needed services to address peak workload demands, in order to maintain reasonable response times for department services.

Interwest Consulting Group provides building plan review, building permit processing and inspection services to many communities throughout California and presently provides these services to the City of Clovis, City of Modesto, City of Manteca, City of Tracy, City of Turlock, City of Sonora, Fresno County and many more central and northern California communities.

I will serve as the main point of contact for all services. Please call me at 916.204.3178 if you have any questions related to this proposal or would like to discuss any of the services provided by Interwest Consulting Group.

Sincerely,



Ron Beehler, SE, CBO
Director of Building Safety Services
Interwest Consulting Group
rbeehler@interwestgrp.com
916.204.3178

INTRODUCTION

Interwest Consulting Group has been in business just over 14 years and currently employs over 400 employees spanning a multitude of disciplines, roles and job placements to municipalities within code enforcement, building safety and public works departments throughout California. We work hard to provide professional building safety services with a customer service focus in the manner expected by our clients.

We specialize in tailoring staffing and services to fit client needs. When work levels are high, we increase staffing to meet the demand. When work slows down, we can fade into the background without compromising service. Our services can quickly grow to provide an entire team of experts on a project or satisfy a client need with a single individual. We can also draw upon our many other professionals located within offices throughout California if required.

We offer top personnel with extensive experience. All are seasoned jurisdictional staffs who understand the procedures, policies and deadlines necessary to keep governments running smoothly. We work strictly for city and county municipalities thus avoiding any conflict of interest. Since we work so closely with our clients, we know successful customer service is best delivered by people who shine in their professions. All of our staff offers exceptional experience and long-standing relationships within the industry.

SCOPE OF SERVICES

We understand the City is looking for a consultant who can provide an experienced team to provide as needed plan review, permit technician and building inspection services. Our personnel will seamlessly integrate and coordinate with the City departments and provide uninterrupted, efficient, and cost-effective building department services to the public.

Interwest Consulting Group has a proven track record providing these same services to jurisdictions and has the resources to remain flexible with experienced staff that is available to provide the services immediately to the City of Lathrop.

The proposed team is comprised of highly experienced, customer-service oriented professionals who have successfully served many client jurisdictions. We view our role and mission is to provide the following:

- ✓ **A team of professionals** with high-level experience and skills in successful management of building department services, staff with a **customer service focus** and thorough knowledge of building department policies and procedures, and promoting cooperation and partnership with other City departments and outside agencies.
- ✓ **Licensed Plan Review Engineers** and/or ICC certified Plans Examiners for thorough and timely plan reviews to ensure compliance to all Building Codes and City and State laws and requirements.
- ✓ **Licensed Structural Engineers** who have extensive experience with large and complex projects.
- ✓ **CASp Certified Staff** who are intimately familiar with the regulatory requirements related to ensuring buildings comply with the latest accessibility guidelines and requirements.
- ✓ **Certified Inspector(s)** with broad experience in jurisdictional procedures and the highest commitment to customer service.
- ✓ **Services in a cost-effective manner** that remains within budget constraints.

✓ Provide pick up and delivery of all plans to and from the City at no cost to the City.

COMPENSATION

For complete plan review services for projects reviewed in our offices, we propose a fee equal to 65% of the plan review fees based on your adopted fee schedule. Plan review services will include an initial first review and two back check reviews of the plans. Any additional plan review services required beyond the third review will be billed at our hourly rates listed within the Schedule of Hourly Billing Rates shown below.

For in-house services, we propose utilizing the hourly rates listed within the Schedule of Hourly Billing Rates for the specific classification utilized for services. We are willing to negotiate a mutually acceptable fee for large projects and special projects on a case-by-case basis.

For structural only and other partial reviews such as foundation only, preliminary reviews or others, we propose to negotiate a mutually agreeable fixed fee based on the specific services requested or provide services on an hourly basis using the rates listed in our Schedule of Hourly Billing Rates shown below.

SCHEDULE OF HOURLY BILLING RATES

CLASSIFICATION	HOURLY BILLING RATE
Licensed Engineer Plans Examiner.....	\$ 125
ICC Certifedd Plans Examiner	\$ 95
CASp.....	\$ 90
Building Inspector.....	\$ 88
Permit Technician.....	\$ 62
Code Enforcement Officer.....	\$ 90
Expedited Plan Review.....	140% of the the Plan Review Fee for the specific project. <i>Expedite services utilize turn-around times of one half the agreed upon times for non-expedite projects.</i>
Inspection/Permit Technician Overtime.....	140% of Above Listed Hourly Rates
Miscellaneous charges will include:	
Mileage within the City for Inspections.....	Current IRS Vehicle Mileage Rate

**CITY MANAGER'S REPORT
APRIL 8, 2019 CITY COUNCIL MEETING**

ITEM: GRANT APPLICATION TO PURCHASE AN ALTERNATIVE FUEL VEHICLE AND RELATED BUDGET AMENDMENTS

RECOMMENDATION: Adopt a Resolution Authorizing the Submittal of a Grant Application to SJVAPCD and Approve a Budget Amendment to Purchase a New Alternative Fuel Vehicle

SUMMARY:

Staff has researched grant funding for the purchase of a new Alternative Fuel Vehicle for use by Lathrop Police Services Patrol Division. A grant has been identified through the San Joaquin Valley Air Pollution Control District (SJVAPCD) to support the purchase of a new alternative fuel vehicle under a grant program eligible to public agencies throughout the San Joaquin Valley.

As part of the grant requirements, reimbursement takes place after the new vehicle is purchased and all the required documents, as specified in the Public Benefit Grants Program Payment Procedures, are submitted to the SJVAPCD. A maximum of \$20,000 in grant funds is available per vehicle on a first come, first serve basis.

Staff reviewed the list of qualified vehicles and determined the fully-electric Tesla Model #3 was the most economical for the intended function and use of the vehicle. Staff contacted other police agencies and were advised the Tesla Model #3 had been incorporated into their fleet, greatly reducing annual fuel and maintenance costs. This vehicle is estimated to have a useful life of more than 500K miles. In addition, the size of the Tesla Model #3, compared to other electric vehicles, is more able to accommodate multiple occupants and police gear. One quote was obtained from Tesla Motors, as a sole source of Tesla products. The request for quote required the total purchase price include taxes and fees. Tesla Motors, Palo Alto provided a quote of \$44,876 including accessories, taxes and fees. The total vehicle costs would be offset by a maximum grant award of \$20,000, if awarded. If the grant is not awarded, the City will not proceed with the purchase of the vehicle.

This vehicle is charged with NEMA 14-50, which is planned to be built into the infrastructure of the new Police facility.

Based on the potential award of the SJVACPD grant funding of a maximum of \$20,000 for the alternative fuel vehicle, the overall estimated cost to the City would be \$24,876.00.

CITY MANAGER'S REPORT **PAGE 2**
APRIL 8, 2019 CITY COUNCIL REGULAR MEETING
ADOPT A RESOLUTION AUTHORIZING THE SUBMITTAL OF A GRANT
APPLICATION TO SJVAPCD AND APPROVE A BUDGET AMENDMENT TO
PURCHASE A NEW ALTERNATIVE FUEL VEHICLE

BACKGROUND:

In addition to being environmentally friendly and a means of improving air quality, Staff believes purchasing an alternative fuel vehicle is economically sound by reducing maintenance and fuel costs.

REASON FOR RECOMMENDATION:

Staff recommends Council approve the attached Resolution authorizing submittal of a grant application to the SJVAPCD and the purchase of an alternative fuel vehicle to support City general business activities.

COUNCIL GOALS ADVANCED BY THIS AGENDA ITEM: Approving of the attached Resolution authorizing staff to submit a grant application to the SJVAPCD for the purchase of an alternative fuel vehicle has the potential to promote Economic Growth in Lathrop and to Promote Community Values and Team Work by providing an appropriate example of government business being done in an environmentally friendly way.

FISCAL IMPACT: Staff estimates the total cost of the Tesla Model #3 will result in the expenditure of \$44,876.00 which \$20,000.00 will be funded by the Grant. A budget amendment is requested as follows:

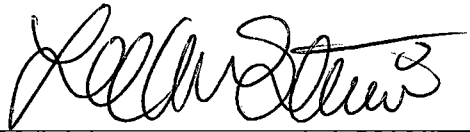
Increase Expenditure	
1010-40-10-450-30-00	\$44,876.00
Increase Revenue	
1010-40-10-331-05-00	\$20,000.00

ATTACHMENTS:

- A. Resolution: A Resolution of the City Council of the City of Lathrop Authorizing the Submittal of a Grant Application to SJVAPCD and Approve related Budget Amendment to Purchase an Alternative Fuel Vehicle
- B. San Joaquin Valley Air Pollution Control District Public Benefit Grants Program Grant Application
- C. San Joaquin Valley Air Pollution Control District Public Benefit Grants program Eligibility Criteria and Application guidelines

**CITY MANAGER'S REPORT
APRIL 8, 2019 CITY COUNCIL REGULAR MEETING
ADOPT A RESOLUTION AUTHORIZING THE SUBMITTAL OF A GRANT
APPLICATION TO SJVAPCD AND APPROVE A BUDGET AMENDMENT TO
PURCHASE A NEW ALTERNATIVE FUEL VEHICLE**


APPROVALS:



Lee Ann Sterni
Sr. Administrative Assistant

4/2/19

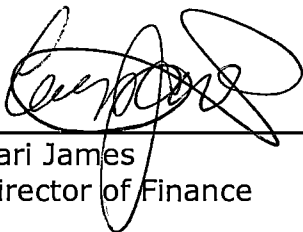
Date:



Carole Terras
Police Services Manager

4/2/19


Date:



Cari James
Director of Finance

4/2/19

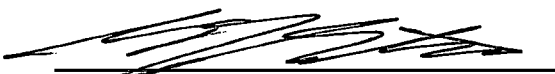
Date



Salvador Navarrete
City Attorney

4-2-19

Date



Stephen J. Salvatore
City Manager

4-3-19

Date

RESOLUTION NO. 19-

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP TO AUTHORIZE THE SUBMITTAL OF A GRANT APPLICATION TO SJVAPCD AND APPROVE A BUDGET AMENDMENT TO PURCHASE A NEW ALTERNATIVE FUEL VEHICLE

WHEREAS, staff identified a grant with the San Joaquin Valley Air Pollution Control District (SJVAPCD) to support the purchase of a new alternative fuel vehicles (specifically a Tesla Model #3 vehicle) under a grant program eligible to public agencies throughout the San Joaquin Valley; and

WHEREAS, staff has reviewed the list of qualified vehicles and determined the fully-electric Tesla Model #3 to be the most economical for the intended function and use of the vehicle by reducing annual fuel and maintenance costs, providing an extended useful life, and accommodating multiple occupants and police gear; and

WHEREAS, as part of the grant requirements reimbursement takes place after the new vehicle is purchased and all the required documents, as specified in the Public Benefit Grants Program Payment Procedures, are submitted to the SJVAPCD; and

WHEREAS, a maximum of \$20,000 in grant funds is available per vehicle on a first come, first serve basis; and

WHEREAS, based on the potential award of the SJVACPD grant funding of maximum \$20,000 for the alternative fuel vehicle to offset the overall costs of \$44,876.00.

WHEREAS, that the City Council of Lathrop does hereby identify Cari James, the Director of Finance as the individual authorized to implement the new alternative fuel vehicle grant project.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Lathrop does hereby authorize the submittal of a grant application to the San Joaquin Valley Air Pollution control District and approves the related budget amendment and the purchase a new alternative fuel vehicle, if the grant is awarded.

Increase Expenditure

1010-40-10-450-30-00 \$44,876.00

Increase Revenue

1010-40-10-331-05-00 \$20,000.00

The foregoing resolution was passed and adopted this 8th day of April 2019, by the following vote of the City Council, to wit:

AYES:

NOES:

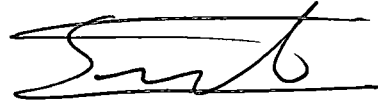
ABSENT:

ABSTAIN:

SONNY DHALIWAL, MAYOR

ATTEST:

APPROVED AS TO FORM:



Teresa Vargas, City Clerk

Salvador Navarrete, City Attorney

Please return all completed applications to:
 SJVAPCD Strategies and Incentives Department
 1990 East Gettysburg Avenue; Fresno, CA 93726-0244



San Joaquin Valley
AIR POLLUTION CONTROL DISTRICT

ATTACHMENT "B"

PUBLIC BENEFIT GRANTS PROGRAM
**New Alternative Fuel Vehicle Purchase
 Application**

Applicant Information

1. Public Agency Name (as it appears on Form W-9): City of Lathrop		
2. Tax ID: Taxpayer ID Number (TIN) 68-0195-186		
3. Address: 390 Towne Centre Drive		
4. City: Lathrop	5. State: Ca	6. ZIP Code: 95330
7. Mailing Address (if different from above):		
8. City:	9. State:	10. ZIP Code:
11. Have you applied to any other grant programs for any vehicle in this application? <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes – Name of Grant Program(s): Same refer to C-60393		

Primary Contact Information

1. First Name: Lee Ann		2. Last Name: Sterni	
3. Title: Senior Administrative Assistant		4. E-Mail: lasterni@sjgov.org	
5. Phone Number: 209-858-5551	6. Alternate Contact Number:	7. Fax Number: 209-858-2093	

Contract Signing Authority

1. First Name: Cari		2. Last Name: James	
3. Title: Finance Director			

New Vehicle Information- Complete a separate page for each vehicle make/model

1. Number of Vehicles: 1		
2. Vehicle Type (<i>please select one</i>):		
Electric <input checked="" type="checkbox"/> Light-light Duty Vehicle (GVWR ≤ 8,500 lbs.) <input type="checkbox"/> Transport/Utility Cart <input type="checkbox"/> Scooter <input type="checkbox"/> Bicycle <input type="checkbox"/> Other (specify): _____	Plug-In Hybrid <input type="checkbox"/> Light-Light Duty Vehicle (GVWR ≤ 8,500 lbs.) <input type="checkbox"/> Light-Medium Duty Vehicle (GVWR 8,501 – 14,000 lbs.) <input type="checkbox"/> Other (specify): _____	CNG, LNG, or LPG <input type="checkbox"/> Light-light Duty Vehicle (GVWR ≤ 8,500 lbs.) <input type="checkbox"/> Light-Medium Duty Vehicle (GVWR 8,501 – 14,000 lbs.) <input type="checkbox"/> Transport/Utility Cart <input type="checkbox"/> Other (specify): _____
3. Vehicle Make: Tesla	4. Vehicle Model: Model 3	5. Vehicle Model Year: 2019
6. Vehicle GVWR: 4,500 lbs.	7. Engine Horsepower/Kilowatts: 408 HP	
8. Fuel Type: <input checked="" type="checkbox"/> Electric <input type="checkbox"/> Plug-In Hybrid <input type="checkbox"/> CNG <input type="checkbox"/> LNG <input type="checkbox"/> LPG <input type="checkbox"/> Other (specify): _____		
9. Manufacturer's estimated range for fully charged vehicle (electric vehicles only): 325 Miles		
10. Total Cost of each New Vehicle: \$44,876.00	11. Total Funding Requested from SJVAPCD (per vehicle): \$20,000	
12. Is there existing charging/fueling infrastructure in place for the proposed vehicle(s)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If no, please describe a plan for building infrastructure or gaining access to existing infrastructure:		
13. How do you intend to pay for the remaining balance of the project after the grant has been applied? <input checked="" type="checkbox"/> Co-funding (please name source): <u>City of Lathrop - General Fund</u> <input type="checkbox"/> Other (please specify): _____		

New Vehicle Dealer Information

1. Vehicle Dealer Name: Tesla		
2. Contact / Salesperson Name: Bill Brittan	3. E-mail: wbrittan@tesla.com	
4. Phone Number: (510) 710-8720	5. Fax Number:	

Internal use only

GMS Unit(s): _____

New Vehicle Activity Information- Complete a separate page for each vehicle make/model

**If applying for multiple vehicles that will be performing different activities, please complete a separate section for each different vehicle activity*

1. Number of vehicles with same vehicle activity: 1		
2. Use within SJVAPCD boundaries: 100 %	3. Use within CA boundaries: 100 %	4. Estimated Annual Vehicle Usage (per vehicle): 1,000
5. Vehicle Vocation/Use (examples: law enforcement, emergency services, commuting, patrol, pool vehicle, etc.): Law Enforcement, special patrols, and City of Lathrop special events.		
6. Please mark the reason for purchasing the new vehicle(s): <input checked="" type="checkbox"/> Fleet Expansion - Please list the vehicle(s) you would have purchased had you not applied for this grant: <input type="checkbox"/> Vehicle Replacement - Please list the year, make, and model of the vehicle(s) to be replaced: <input checked="" type="checkbox"/> Other - Please specify: To be used by Lathrop Police for special patrols at City of Lathrop special events, such as the annual City Celebration, National Night Out, Light Parade, Corn Maze, Carnivals, Etc.		

Internal use only

GMS Unit(s): _____

New Vehicle Activity Information

1. Number of vehicles with same vehicle activity:		
2. Use within SJVAPCD boundaries: _____ %	3. Use within CA boundaries: _____ %	4. Estimated Annual Vehicle Usage (per vehicle): _____
5. Vehicle Vocation/Use (examples: law enforcement, emergency services, commuting, patrol, pool vehicle, etc.): Law Enforcement Special Event Patrols		
6. Please mark the reason for purchasing the new vehicle(s): <input type="checkbox"/> Fleet Expansion - Please list the vehicle(s) you would have purchased had you not applied for this grant: <input type="checkbox"/> Vehicle Replacement - Please list the year, make, and model of the vehicle(s) to be replaced: <input type="checkbox"/> Other - Please specify:		

Internal use only

GMS Unit(s): _____

Signature Form
Signing Authority to initial and sign in blue ink

Certifications

By **initialing each of the following sections**, I certify that I have read the Eligibility Criteria and Application Guidelines and agree to **ALL** of the following terms and conditions:

Initial _____ The new vehicle(s) will be based within the geographic area of the SJVAPCD and seventy-five percent (75%) or more of the vehicle miles traveled or fuel consumption will be within the boundaries of the SJVAPCD for at least three (3) years from the date the vehicle is placed into service.

Initial _____ The new vehicle(s) will be used by a public agency located within the geographic area of the SJVAPCD.

Initial _____ The vehicle(s) purchased is/are a new OEM **electric, plug-in hybrid, or alternative fuel** vehicle(s) eligible for this program in accordance with the program guidelines.

Initial _____ Appropriate fueling or charging infrastructure for the new vehicle(s) is or will be readily available or accessible.

Initial _____ Any funding received, including funding from other sources, combined with this grant will not exceed the full cost of the new vehicle(s).

Initial _____ Additional funding sources, or other financial incentive(s) and funding amounts to be used towards this project are disclosed on the application.

Initial _____ Project match funding is reasonably available to complete the project in a timely manner.

Initial _____ Applicant will not purchase or take delivery of the new vehicle(s) until receiving an executed contract with the SJVAPCD.

Initial _____ SJVAPCD maintains the right to inspect the new vehicle(s) at any time during the contract period.

I hereby certify that all information provided in this application and any attachments are true and correct to the best of my knowledge.

Signing Authority Signature

Date

Application Packet Checklist

When submitting a project for consideration, submit a **complete** application packet. An incomplete application packet will lengthen the application processing time and delay possible incentive funding. A complete application packet includes the following items:

- Completed **Application** (Pages 1 thru 3), no required fields blank.
- Completed **Signature Form** (Page 4), signed in **blue ink**.
- First page of IRS **Form W-9**.
- Dated and itemized dealer **quote** for the new vehicle(s).
 - The quote must provide a breakdown of the total cost of the new vehicle and warranty (if not included in the purchase price), and include specific vehicle and engine information such as make, model, model year, engine horse power or watts, and vehicle GVWR.
- Resolution** from the Applicant's governing body (i.e. City Council or County Board of Supervisors), or other documentation signed by a duly authorized official with authority to make financial decisions, authorizing the submittal of the application and identifying the individual authorized to implement the new vehicle project.
- If applicable, documentation which demonstrates future availability/accessibility **and** specifies the timeframe when infrastructure will be available/accessible. Only applicants who currently do not have infrastructure, or access to infrastructure, specific to the new vehicle(s) applied for in this project are required to submit this documentation.



San Joaquin Valley
AIR POLLUTION CONTROL DISTRICT

ATTACHMENT "C"

PUBLIC BENEFIT GRANTS PROGRAM
New Alternative Fuel Vehicle Purchase
Eligibility Criteria and Application Guidelines

The San Joaquin Valley Air Pollution Control District (SJVAPCD) is currently accepting applications from public agencies requesting funding, up to \$20,000 per vehicle, for the purchase of new alternative-fuel vehicles. For additional information, assistance, or to receive application materials, please contact:

San Joaquin Valley Air Pollution Control District
Strategies and Incentives Department
1990 East Gettysburg Avenue
Fresno, CA 93726-0244

You may also contact us by phone or e-mail, or visit our website at:

(559) 230-5800
weberip@valleyair.org
www.valleyair.org

Please Note the Following:

- All projects will be considered on a first-come, first-serve basis.
- As with all SJVAPCD incentive programs, you may **not** order or purchase any new vehicle prior to obtaining an executed contract with the SJVAPCD. Any new vehicle purchased **prior** to contract execution is **ineligible** for funding.
- Reimbursement takes place after the new vehicle is purchased and all required documents, as specified in the SJVAPCD Public Benefit Grants Program Payment Procedures, are submitted to the SJVAPCD.

ELIGIBILITY CRITERIA

The purpose of this program is to fund the purchase of new electric, plug-in hybrid, or alternative fuel vehicles for public agencies to promote clean air alternative-fuel technologies and the use of low- or zero-emission vehicles in public fleets.

❖ **The applicant must:**

- Be a public agency such as cities, counties, special districts (i.e. water districts, irrigation districts, etc.); public educational institutions (i.e. school districts, community colleges, state universities, etc.) or any other public agency as defined by Government Code section 6252, including those agencies provided for in Article IV and Article VI of the California Constitution, that are located within the geographic area of the SJVAPCD. (see map on page 9 for boundaries).
- Submit by mail or hand-deliver all original completed applications to the SJVAPCD's Strategies and Incentives Department at the address listed on Page 1 of these guidelines. Copies and/or faxes will not be accepted.
- Provide a resolution from the applicant's governing body (i.e. City Council or County Board of Supervisors), or other documentation signed by a duly authorized official with authority to make financial decisions, authorizing the submittal of the application and identifying the individual authorized to implement the new vehicle project.
- Commit to a three (3) year contract period.
- Own and operate the vehicle(s) for the full term of the contract.
- Have existing charging/fueling infrastructure or have access to existing infrastructure to accommodate the new vehicle(s). If existing charging/fueling infrastructure is currently not available or accessible, applicant must be able to demonstrate its availability or accessibility by the time the vehicle(s) will be purchased.
- Adhere to all program requirements during the contract period.
- Maintain replacement value insurance for the vehicle(s) through the full term of the contract.
- Submit a copy of Internal Revenue Service (IRS) Request for Taxpayer Identification Number and Certification Form W-9 (Form W-9).
- Ensure each new vehicle purchased comes with a standard manufacturer warranty.
- Submit annual reports to the SJVAPCD through the full term of the contract as well as comply with recordkeeping and audit requirements. This includes retaining copies of current vehicle registration (if applicable) and insurance.
- Agree to allow the SJVAPCD to inspect the new vehicle at any time during the contract period.
- Properly maintain the new vehicle according to the manufacturer's recommendations to ensure good operating condition.
- Disclose any additional funding sources or other financial incentive(s) and funding amounts received or to be received by the applicant towards the purchase of the vehicle(s) in this project.
- Have match funding available to complete the project in a timely fashion.
- Sign a legally binding contract with the SJVAPCD agreeing to the project milestones and completion deadlines prior to funding being awarded.

❖ The **new** vehicle must:

- Be owned and operated by the applicant.
- Be a new Original Equipment Manufacturer (OEM) **electric, plug-in hybrid, or alternative fuel** vehicle(s).
- Be deemed eligible by SJVAPCD staff. Eligible light- and medium-duty vehicles can be found on the New Alternative Fuel Vehicle Purchase Component Light- and Medium-Duty Eligible Vehicle List found on the Public Benefits homepage at:

http://www.valleyair.org/Grant_Programs/GrantPrograms.htm#PublicBenefitGrantProgram.

Other vehicle types, such as alternative fueled transport/utility carts, scooters, bicycles, etc. may be eligible. Please contact SJVAPCD staff if you have questions regarding vehicle eligibility.

- Have a Gross Vehicle Weight Rating (GVWR) less than or equal to 14,000 pounds.
- Be domiciled and have at least seventy-five percent (75%) or more of the vehicle miles traveled or fuel consumption within the geographic area of the SJVAPCD (see map on page 9 for boundaries).

❖ **General Information:**

- Applicant must not purchase and/or take delivery of the new vehicle(s) until receiving an executed contract with the SJVAPCD. A contract is not deemed executed until all parties have signed. Any new vehicle purchased and/or delivered **prior** to contract execution is **ineligible** for program funding.
- Funds will be awarded on a first-come, first-serve basis utilizing regional allocations based on county population and/or other regional factors. In the event that applications submitted exceed the available funding, projects will be awarded based on SJVAPCD discretion until funds are exhausted.
- Applicants are restricted to the following limitations:
 - Applicants may apply for up to \$20,000 for each new vehicle.
 - Maximum funding per applicant is \$100,000 per calendar year.
- Multiple applications may be submitted throughout the calendar year for the Public Benefit Grants Program New Alternative Fuel Vehicle Purchase Component from the same applicant; however, funding will be limited to the above.
- The applicant shall not submit other applications for funding for the same vehicle under this Program or any other SJVAPCD incentive programs.
- All applications received will be subject to a review process, which will include the following:
 - Assignment of a unique project number.
 - Verification of the applicant's eligibility to participate in the Program.
 - Verification that the proposed project is consistent with these guidelines.
 - Determination that all information necessary to calculate benefits and costs is included.

- Unless written notification is provided stating otherwise, all applications submitted to the SJVAPCD will remain active and will be funded in the order received pending the availability of funds.
- Payments shall be made to the applicant only after a completed claim for payment has been received by the SJVAPCD along with all supporting documentation as specified in the SJVAPCD Public Benefit Grants Program Payment Procedures.
 - Allow up to 60 working days from the time a claim for payment is deemed complete to receive reimbursement.
- Remedies for project non-performance may include, but are not limited to:
 - Recovery of all or a portion of the program funds.
 - Other fiscal penalties on the vehicle owner based on the severity of non-performance.
 - Cancellation of the contract.
 - Prohibiting the applicant from participating in future SJVAPCD incentive programs.

APPLICANT RESOURCE WEB PAGE

To assist applicants participating in the SJVAPCD's Public Benefit Grants Program, the SJVAPCD has developed an Applicant Resource web page. This page contains links to distributors and local dealers familiar with the requirements of the Program. The information and contacts within these links can assist you in obtaining all of the information necessary to fulfill the requirements of the Program. When preparing an application, we advise that you utilize the information presented within the links on this page. By submitting complete application packets with accurate information, we can reduce the amount of time and resources necessary to process your application.

Please note that the manufacturers, distributors, and dealers represented on this page have not been "approved" by the SJVAPCD nor do they represent an exhaustive list of available resources. If you are an engine manufacturer, distributor, or dealer and you wish to be included on the Applicant Resource web page, please contact the SJVAPCD's Strategies and Incentives Department.

The Applicant Resource web page can be found at www.valleyair.org under the "Grants and Incentives" tab.

APPLICATION GUIDELINES

- ❖ Fill out the application completely and as accurately as possible. All fields are required unless otherwise indicated. Do not leave any fields blank as it lengthens the processing timeframe associated with the application and delays funding.
- ❖ All required signatures must be in **blue ink**, as a way to identify them as original.
- ❖ A **copy** of the following items must accompany the application at the time of submittal in order for the application to be deemed **complete**:
 - Internal Revenue Service (IRS) Request for Taxpayer Identification Number and Certification Form W-9 (Form W-9).
 - The information entered into the Applicant Information section of the application must be **identical** to the information on Form W-9, as this information will be used to generate all binding documents and be used to report incentive funding to the IRS.
 - A copy of the IRS Form W-9 is attached to this document. The Form can also be downloaded at www.irs.gov or by calling 1-800-829-3676.
 - Dated and itemized dealer quote for the new vehicle(s) that includes the following information:
 - Applicant name and address.
 - Dealer name and address.
 - Specific vehicle and engine information, including make, model, model year, horse power or watts, and vehicle Gross Vehicle Weight Rating (GVWR).
 - Complete and detailed breakdown of all costs: new vehicle, additional options, sales tax (with percentage rate indicated), warranty, license fees, etc.
 - Resolution from the Applicant's governing body (i.e. City Council or County Board of Supervisors), or other documentation signed by a duly authorized official with authority to make financial decisions, authorizing the submittal of the application and identifying the individual authorized to implement the new vehicle project.
 - If the applicant currently does not have existing charging/fueling infrastructure available or accessible for the new vehicle(s) purchased through this program, please submit documentation which demonstrates future availability/accessibility **and** specifies the timeframe when infrastructure will be available/accessible.

STEP-BY-STEP APPLICATION GUIDANCE

This section outlines the information requirements for each field of the application. If you need additional assistance, please contact the Strategies and Incentives Department and a staff member will assist you.

Applicant Information

1. Public Agency Name

Identify the legal name of the public agency that will enter into a contract with the SJVAPCD. The information entered into this section of the application must be **identical** to the

information on IRS Form W-9, as this information will be used to generate all binding documents and be used to report incentive funding to the IRS.

2. Tax ID

Provide the Taxpayer Identification Number (TIN) entered in IRS Form W-9, in the form of an employer identification number. **The applicant's name and TIN will be used to report incentive funding to the IRS.** The SJVAPCD cannot give tax advice; please contact a tax professional or the IRS to determine the tax consequences associated with receiving incentive funding.

3. - 6. Address

Provide the physical address where the applicant is located, including: number and street name, city, state, and ZIP code.

7. - 10. Mailing Address

Provide the mailing address used by the applicant. If the physical and mailing addresses are the same, simply write "same." All correspondence generated by the SJVAPCD, including the contract, and annual reports, will be sent to the mailing address.

11. Have you applied to any other grant programs for any vehicle in this application?

Check whether or not you have applied for additional grant funding other than through this program. If yes, please provide the name of the grant program.

Primary Contact Information

1. First Name

Provide the first name of the person that will serve as the primary contact to the SJVAPCD through the full term of the contract. All questions related to the project will go to this individual.

2. Last Name

Provide the last name of the person that will serve as the primary contact to the SJVAPCD through the full term of the contract. All questions related to the project will go to this individual.

3. Title

Specify the job title of the primary contact.

4. E-mail

Provide the E-mail address of the primary contact, if one is available.

5. Phone Number

Provide the main phone number, including area code, for the primary contact.

6. Alternate Contact Number

Provide an alternate phone number, including area code, where the primary contact can be reached, if one is available.

7. Fax Number

Provide the fax number, including area code, for the primary contact, if one is available.

Contract Signing Authority

1. First Name

Provide the first name of the person authorized by the public agency that will enter into a binding contract with the SJVAPCD.

2. Last Name

Provide the last name of the person authorized by the entity that will enter into a binding contract with the SJVAPCD.

3. Title

Specify the job title of the person authorized by the entity that will enter into a binding contract with the SJVAPCD.

New Vehicle Information

If applying for more than one vehicle make and model, please copy and complete pages 2 and 3 for each additional vehicle make and model. For example, if applying for one Ford Focus Electric and three Honda Fit EVs, then pages 2 and 3 must be completed twice, once for the Ford Focus Electric and once for the Honda Fit EVs.

1. Number of Vehicles

Identify the number of vehicles to be purchased of one specific vehicle make and model.

2. Vehicle Type

Select one specific vehicle type, or mark "other" and specify the vehicle type.

3. – 4. Vehicle Make and Model

Provide the make and model of the new vehicle(s) to be purchased through the program. The make is the manufacturer of the vehicle, and the model is the style of vehicle. *Example:* Chevrolet (make) Volt (model).

5. Vehicle Model Year

Provide the year in which the new vehicle(s) is manufactured.

6. Vehicle GVWR (must be less than or equal to 14,000 pounds)

Provide the GVWR of the new vehicle(s) to be purchased through the program. The California DMV defines the GVWR as "the weight specified by the manufacturer as the loaded weight of a single vehicle." Vehicles with a GVWR greater than 14,000 pounds are not eligible for funding under this component.

7. Engine Horsepower/Kilowatts

Identify the horsepower or kilowatt rating of the engine in the new vehicle.

8. Fuel Type

Place a check mark in the appropriate box or mark "other" and specify the type of fuel to be used in the new vehicle.

- 9. Manufacturer's estimated range for fully charged vehicle (electric vehicles only)**
Provide the estimated mile range the new vehicle can travel when fully charged, if applicable.
- 10. Total Cost of each New Vehicle**
Identify the total cost of each new vehicle; including additional options, sales tax (with percentage rate indicated), and warranty and license fees (as identified in the quote).
- 11. Total Funding Requested from SJVAPCD**
Identify the total amount of funding requested per vehicle (maximum of \$20,000 per vehicle).
- 12. Is there existing charging/fueling infrastructure in place for the proposed vehicle(s)?**
Check yes or no. If no, please describe a plan for building infrastructure or gaining access to existing charging/fueling infrastructure. If no, applicant must submit documentation explaining infrastructure as specified on Page 5 of this document.
- 13. How do you intend to pay for the remaining balance of the project after the grant has been applied?**
Please check the appropriate box. If co-funded, please name the source. If using source other than co-funding (i.e. other grant funding), please list funding source.

New Vehicle Dealer Information

- 1. Vehicle Dealer Name**
Provide the name of the business where you will be purchasing the new vehicle(s) associated with this application.
- 2. Contact / Salesperson Name**
Provide the first and last name of the person the SJVAPCD can contact regarding the purchase of the new vehicle.
- 3. E-mail**
Provide the e-mail address of the contact/salesperson, if one is available.
- 4. Phone Number**
Provide the phone number, including area code, of the contact/salesperson.
- 5. Fax Number**
Provide the fax number, including area code, of the contact/salesperson, if one is available.

New Vehicle Activity Information

If applying for multiple vehicles that will be performing different activities, please complete a separate section for each different vehicle activity.

- 1. Number of vehicles with same vehicle activity**
Identify the number of vehicles to be purchased of one specific vehicle make and model with the same intended vehicle activity.
- 2. Use within SJVAPCD boundaries**

Of the total annual miles this/these vehicles(s) will travel, provide the percentage of travel within the SJVAPCD boundaries (shown on Page 9).

3. Use within CA boundaries

Of the total annual miles this/these vehicle(s) will travel, provide the percentage of travel within CA boundaries.

4. Estimated Annual Vehicle Usage

Estimate the total annual usage per vehicle. Please specify usage in miles, hours or other unit.

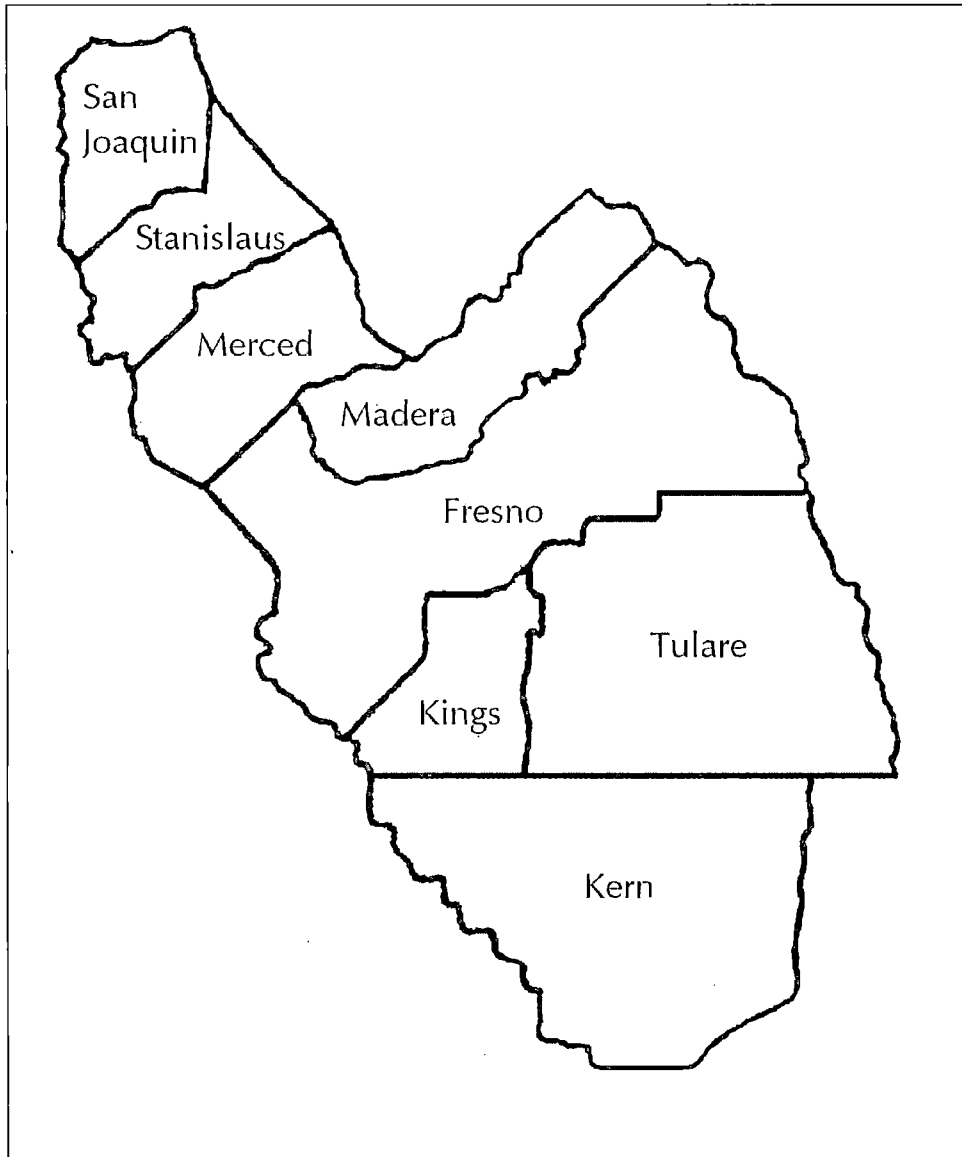
5. Vehicle Vocation/Use

Specify the vocation/use for the new vehicle (examples: law enforcement, emergency services, commuting, patrol, pool vehicle, parking enforcement, etc.).

6. Please mark the reason for purchasing the new vehicle(s):

Specify the reason for purchasing the new vehicle(s) by marking one of the boxes listed.

MAP OF THE SJVAPCD



ITEM: APPROVAL OF THE PRELIMINARY ENGINEER'S REPORT AND DECLARATION OF INTENTION TO LEVY ANNUAL ASSESSMENTS FOR FISCAL YEAR 2019/20 FOR INDUSTRIAL LIGHTING MAINTENANCE DISTRICT; RESIDENTIAL LIGHTING MAINTENANCE DISTRICT; MOSSDALE LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT; STONEBRIDGE LANDSCAPE MAINTENANCE DISTRICT; STONEBRIDGE DRAINAGE AND LIGHTING DISTRICT; STORM DRAIN DISTRICT ZONE 1; AND STORM DRAIN DISTRICT ZONE 1A

RECOMMENDATION: Council to Consider the Following:

- 1. Adopt a Resolution Approving the Preliminary Engineer's Report for the Industrial Lighting Maintenance District and Declaring Intention to Levy Annual Assessments for Fiscal Year 2019/20**
 - 2. Adopt a Resolution Approving the Preliminary Engineer's Report for the Residential Lighting Maintenance District and Declaring Intention to Levy Annual Assessments for Fiscal Year 2019/20**
 - 3. Adopt a Resolution Approving the Preliminary Engineer's Report for the Mosssdale Landscape and Lighting Maintenance District and Declaring Intention to Levy Annual Assessments for Fiscal Year 2019/20**
 - 4. Adopt a Resolution Approving the Preliminary Engineer's Report for the Stonebridge Landscape Maintenance District and the Stonebridge Drainage & Lighting District and Declaring Intention to Levy Annual Assessments for Fiscal Year 2019/20**
 - 5. Adopt a Resolution Approving the Preliminary Engineer's Report for the Storm Drain Districts Zones 1 and 1A and Declaring Intention to Levy Annual Assessments for Fiscal Year 2019/20**
-

CITY MANAGER'S REPORT **PAGE 2**
APRIL 8, 2019 CITY COUNCIL REGULAR MEETING
FISCAL YEAR 2019/20 ASSESSMENTS FOR ALL MAINTENANCE DISTRICTS
EXCEPT WOODFIELD PARK

SUMMARY:

Each year, City Staff prepares annual budgets for the City's maintenance assessment districts for City Council review. By way of their assessments, these districts provide the funding for a broad scope of City services including: park & street landscape maintenance, street lighting, and storm drain system maintenance. Ideally, the districts are structured to collect enough revenue to fund their expenditures. Listed below are the districts with current and proposed assessment rates:

District	FY 18/19 Rates	FY 19/20 Proposed Rates	% Change	Notes
Mossdale LLMD	\$260.25	\$268.06	3.00%	Levy needed to minimize draw on reserve
Storm Drain Zone 1	\$112.52	\$112.52	0.00%	Rate unchanged since FY 1996/97
Storm Drain Zone 1A	\$199.92	\$199.92	0.00%	Rate unchanged since FY 1996/97
Stonebridge LMD	\$225.06	\$265.64	18.03%	Increased levy needed to minimize draw on reserve
Stonebridge BAD	\$225.06	\$236.32	5.00%	Increased levy needed to minimize draw on reserve
Industrial LMD	\$7.52 or \$38.35	\$7.75 or \$39.50	3.00%	Max Levy needed to minimize draw on reserve
Residential LMD	\$7.46 to \$56.71	\$7.79 to \$59.26	3.00%	Max Levy needed to minimize draw on reserve

Four (4) out of seven (7) Districts present "General Benefit" costs that require funding from sources other than the assessments collected by the districts. General Benefit is the benefit of the improvements on the public at large. Therefore, the General Fund covers these costs because the City benefits overall from these portions of the improvements. The general benefit cost for all districts for Fiscal Year 2019/20 is \$29,637.

The Storm Drain District Zone 1A requires a general fund subsidy in the amount of \$19,723. This district does not generate sufficient revenue to cover its operating expenses. The total amount needed from the General Fund to cover the shortfall, and the required General Benefit costs of all other districts is \$49,360.

Tonight, Staff recommends City Council approve the districts' preliminary Engineer's Reports and declare its intention to levy annual assessments for Fiscal Year 2019/20. After tonight's actions, notices will be published and mailed to the affected property owners regarding the public hearing. The public hearing will be scheduled for May 13, 2019 at 7:00 p.m.

CITY MANAGER'S REPORT **PAGE 3**
APRIL 8, 2019 CITY COUNCIL REGULAR MEETING
FISCAL YEAR 2019/20 ASSESSMENTS FOR ALL MAINTENANCE DISTRICTS
EXCEPT WOODFIELD PARK

BACKGROUND:

Each year, City Staff bring the maintenance assessment districts to City Council for review and approval. Ideally, a maintenance district is created to pay for the costs of ongoing maintenance and operations of improvements which may include public landscaping, park sites, street lighting and storm drainage that provide special benefit to properties in given areas of the City. Special benefit is defined as that benefit, over and above the general benefit provided by the improvements, which is conferred upon parcels within an assessment district, as identified and measured by the formation assessment engineer. Within the City of Lathrop, there are eight (8) maintenance assessment districts (seven (7) of which are included in this report): four (4) Landscaping and Lighting Maintenance Districts (LLMD) and three (3) Benefit Assessment Districts (BAD). Each district levies assessments according to the method of apportionment of assessment to provide funding for the district's budgeted expenditures attributable to the operation and maintenance activities of the services provided.

Most public landscaping and street lights along Lathrop's streets and entrances to various residential communities ("medians") are maintained through LLMDs. Additionally, the City has a number of parks maintained by LLMDs; most of which are included in the districts that comprise this report. Many of the storm drain systems in Historical Lathrop are maintained through the BADs. Property owners in the LLMDs and BADs are levied an annual assessment for ongoing maintenance based on each LLMD and BAD method of apportionment of assessment. The assessments are paid by the property owners via payment of each parcel's secured property tax bill.

Annually, Staff evaluates the anticipated costs for maintenance for the upcoming year. This analysis takes into consideration any increases in costs as well as cost savings realized. Some of the costs include: routine maintenance and mowing contracts; equipment repair; weed abatement; shrub and tree pruning; radios and computers; irrigation parts and controllers; water; electricity; fertilizer and other chemicals; vehicles and vehicle maintenance; street lighting repairs; storm drain system maintenance; and other administrative costs to operate the maintenance assessment districts. In addition to ongoing, annual expenditures, sometimes extraordinary maintenance and/or small asset replacement is needed due to the limited useful lives of the assets (e.g. the overhaul/replacement of storm drain pumps, the replacement of a dead tree, or the replacement of a downed street light.)

An annual budget is then developed using these cost estimates. The total costs are divided among the parcels in each district based on the proportionate share of benefit received from the improvements. The proposed assessments are then reviewed and approved each year by the City Council during a public hearing process.

By law, maximum annual assessments may only be adjusted by the formula amount property owners approved at the time of district formation. This amount is typically either a fixed percentage (e.g. 3%) or an annual measure of a Consumer Price Index

CITY MANAGER'S REPORT **PAGE 4**
APRIL 8, 2019 CITY COUNCIL REGULAR MEETING
FISCAL YEAR 2019/20 ASSESSMENTS FOR ALL MAINTENANCE DISTRICTS
EXCEPT WOODFIELD PARK

(CPI) or a combination of the two, and is frequently referred to as the "annual escalation factor". This annual escalation factor exists to maintain district revenue purchasing power. When purchasing power is maintained, a district should have sufficient funding to perform its operations and maintenance at a given level of service in perpetuity. Any proposed assessment requiring an assessment greater than the maximum assessment, requires the approval of the property owners via the Proposition 218 balloting process. Each of the City's districts has a maximum assessment amount; however some of the districts lack an annual escalation factor. This means in these districts while expenses have increased over time due to inflation revenue stays the same, which creates annual shortfalls in these districts.

City Council may authorize any level of assessment up to the maximum assessment. Given this ability, Council could decide to levy the maximum assessment, if the proposed budget required it. However, if it is determined that the maximum is not needed, Council could lower the actual annual assessment and only calculate the maximum assessment for archive purposes.

The Preliminary Engineer's Reports are available in the City Clerk's office and the Public Works Department for review and copies will be available at the City Council meeting by request.

The following subsections summarize the district-specific information for each maintenance district:

(1) Industrial Lighting Maintenance District

The Lathrop Industrial Lighting Maintenance District was created to pay for the maintenance of the public lighting within commercial and industrial areas of the City. The Fiscal Year 2019/20 maximum assessment rates have increased by 3.00%, which is the applicable annual escalation factor approved by the property owners. The Fiscal Year 2019/20 proposed assessment rates are the maximums.

District/Zone	FY 2018/19 Annual	Proposed	Variance	Maximum
	Assessment Rate	FY 2019/20 Annual		FY 2019/20
	per EDU*	Assessment Rate		Assessment Rate
		per EDU*		per EDU*
Industrial LMD - Zone A	\$7.52	\$7.75	\$0.23	\$7.75
Industrial LMD - Zone B	\$38.35	\$39.50	\$1.15	\$39.50
Industrial LMD - Zone C	\$7.52	\$7.75	\$0.23	\$7.75

*EDU = Equivalent Dwelling Unit

The District will receive \$56,693.42 in assessment revenue plus a General Benefit Contribution from the General Fund of \$12,158 for a total of \$68,851.42. The total estimated expenditures are anticipated to be \$61,156. The fund balance at the

CITY MANAGER'S REPORT **PAGE 5**
APRIL 8, 2019 CITY COUNCIL REGULAR MEETING
FISCAL YEAR 2019/20 ASSESSMENTS FOR ALL MAINTENANCE DISTRICTS
EXCEPT WOODFIELD PARK

beginning of Fiscal Year 2019/20 is estimated to be \$100,788.05 which will increase by \$7,695.42 to \$108,483.47 at the end of Fiscal Year 2019/20.

(2) Residential Lighting Maintenance District

The Lathrop Residential Lighting Maintenance District was created on May 18, 1999 to pay for the operation and maintenance of street lighting to benefit residential areas in East Lathrop.

The Fiscal Year 2019/20 maximum assessment rates have increased by 4.499%, which is the applicable annual escalation factor approved by the property owners. The District is required to maintain a reserve fund of approximately 50% of its annual revenues and expenses; thus, it is proposed for the District to be assessed at its maximum assessment. The largest annual increase per EDU is in Zone E at \$2.55 annually or approximately \$0.21 per month.

District/Zone	FY 2018/19 Annual	Proposed	Variance	Maximum
	Assessment Rate	FY 2019/20 Annual		FY 2019/20
	per EDU*	Assessment Rate		Assessment Rate
		per EDU*		per EDU*
Residential LMD - Zone A	\$41.16	\$43.01	\$1.85	\$43.01
Residential LMD - Zone B	\$44.10	\$46.09	\$1.99	\$46.09
Residential LMD - Zone C	\$29.00	\$30.30	\$1.30	\$30.30
Residential LMD - Zone D	\$53.94	\$56.37	\$2.43	\$56.37
Residential LMD - Zone E	\$56.71	\$59.26	\$2.55	\$59.26
Residential LMD - Zone F	\$32.62	\$34.08	\$1.46	\$34.08
Residential LMD - Zone G	\$7.46	\$7.79	\$0.33	\$7.79

*EDU = Equivalent Dwelling Unit

The District will receive \$126,809.50 in assessment revenues plus a General Benefit contribution from the General Fund of \$8,565 for a total of \$135,374.50. The total estimated expenditures are anticipated to be \$122,484. The fund balance at the beginning of Fiscal Year 2019/20 is estimated to be \$162,144.15 which will increase by \$12,890.50 to \$175,034.65 at the end of Fiscal Year 2019/20.

(3) Mossdale Landscape and Lighting Maintenance District

On June 15, 2004, Mossdale property owners approved the creation of the Mossdale Landscape and Lighting Maintenance District to provide funding to maintain the landscaping, park sites, and street lighting for the District. The maximum assessment for Fiscal Year 2019/20 will increase by 3 percent; this is the applicable annual escalation factor approved by the property owners at the time of district formation. The Fiscal Year 2019/20 maximum assessment rate per single-family and multi-family unit is \$276.10. The Fiscal Year 2019/20 assessment rate is \$268.06 because a financial review of the District shows that this rate will continue the required level of service.

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The District will receive \$578,580.68 in assessment revenues and expenditures are anticipated to be at \$705,894. The fund balance at the beginning of Fiscal Year 2019/20 is estimated to be \$364,631.57, which will be reduced by \$127,313.32 to \$237,318.25 by the end of Fiscal Year 2019/20.

District	FY 2018/19 Annual Assessment Rate per EDU*	Proposed FY 2019/20 Annual Assessment Rate per EDU*	Variance	Maximum FY 2019/20 Assessment Rate per EDU*
Mossdale LLMD	\$260.25	\$268.06	\$7.81	\$276.10

*EDU = Equivalent Dwelling Unit

(4) Stonebridge Landscaping District
Stonebridge Drainage and Lighting Maintenance District

Stonebridge Landscaping District

The Stonebridge Landscape District was created to pay for the service, operation and maintenance of the common area street landscaping, and Stonebridge Park. The Fiscal Year 2019/20 maximum assessment rate of \$417.89 represents an increase of 5% over that of Fiscal Year 2018/19, which is the applicable annual escalation factor approved by property owners. The annual assessment to be levied is proposed to be set at \$265.64. This is increased from the rate that was assessed in Fiscal Year 2018/19. This increased assessment is required to minimize the draw on the reserve fund.

The Landscape District will receive \$239,872.92 in assessment revenues plus a General Benefit Contribution from the General Fund of \$4,457, and rent and concessions of \$1,000 for a total of \$245,330. The total estimated expenditures are anticipated to be \$287,874. The fund balance at the beginning of Fiscal Year 2019/20 is estimated to be \$93,404.58, which will decrease by \$42,544.08 to \$50,860.50 at the end of Fiscal Year 2019/20.

District	FY 2018/19 Annual Assessment Rate per EDU*	Proposed FY 2019/20 Annual Assessment Rate per EDU*	Variance	Maximum FY 2019/20 Assessment Rate per EDU*
Stonebridge Landscaping	\$225.06	\$265.64	\$40.58	\$417.89

*EDU = Equivalent Dwelling Unit

Stonebridge Drainage and Lighting District

The Stonebridge Drainage and Lighting District was created to pay for the service, operation and maintenance of the street lighting, and storm drain facilities within the Stonebridge development. The Fiscal Year 2019/20 maximum assessment rate of \$417.89 represents an increase of 5% over that of Fiscal Year 2018/19, which is the applicable annual escalation factor approved by property owners. The annual

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assessment to be levied is proposed to be set at \$236.32. This is increased from the rate that was assessed in Fiscal Year 2018/19. This increased assessment is required to minimize the draw on the reserve fund.

The Drainage and Lighting District will receive \$213,160.64 in revenue plus a General Benefit contribution from the General Fund of \$4,457 for a total of \$ 217,617.64. The total estimated expenditures are anticipated to be \$312,815. The fund balance at the beginning of Fiscal Year 2019/20 is estimated to be \$356,130.87 which will decrease by \$95,197.36 to a balance of \$260,933.51 at the end of Fiscal Year 2019/20. Reserve funds are intended to be used for annual operating shortfall coverage, cash flow timing financing, and/or extraordinary maintenance/repair funding.

District	FY 2018/19 Annual	Proposed	Variance	Maximum
	Assessment Rate per	FY 2019/20 Annual		FY 2019/20
	EDU*	Assessment Rate per		Assessment Rate
		EDU*		per EDU*
Stonebridge Drainage & Lighting	\$225.06	\$236.32	\$11.26	\$417.89

*EDU = Equivalent Dwelling Unit

(5) Storm Drain Districts Zone 1 and Zone 1A

On June 6, 1989, property owners approved a ballot measure for storm drainage maintenance fees for the Lathrop Storm Drain District, City Zone 1. In 1993, the City annexed an additional Storm Drain Maintenance District incorporating the area known as City Zone 1A (Crossroads Development).

These districts were created without any annual escalation factor for the maximum assessment and both districts have been levied at their static maximum assessments for many years. Over the last few fiscal years, inflationary effects have occurred on ordinary expenditures, asset replacements have been necessary, and assessment revenue remained static; thus, District deficits have occurred. Without a modification, sizeable deficits in future fiscal years are possible. In order to change this, a Proposition 218 balloting of the districts' property owners would have to be successfully completed. While this is not proposed for Fiscal Year 2019/20, the City may wish to consider this action for a future fiscal year.

For Fiscal Year 2019/20, Zone 1 is projected to have sufficient assessment revenue, along with a contribution from the reserves, to keep operations at the current required levels of service. Contrarily, Zone 1A will need to draw the remaining funds from the capital reserves of \$212 and a \$19,723 General Fund subsidy to continue to operate at the current required levels of service.

Storm Drain Zone 1 will receive \$239,141.44 in assessment revenues and expenditures are expected to be \$292,510. The fund balance at the beginning of

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Fiscal Year 2019/20 is estimated at \$152,988.54 which will decrease by \$53,368.56 to \$99,619.98 at the end of Fiscal Year 2019/20.

Storm Drain Zone 1A will receive \$113,364 in assessment revenues and expenditures are expected to be \$133,299. There are no reserve funds expected to be remaining at the beginning of Fiscal Year 2019/20. Zone 1A will need to draw the remaining funds from the capital reserves of \$212. A General Fund subsidy of \$19,723 is needed to maintain the current required levels of service.

District	FY 2018/19 Annual Assessment Rate per EDU*	Proposed FY 2019/20 Annual Assessment Rate per EDU*	Variance	Maximum FY 2019/20 Assessment Rate per EDU*
Storm Drain - Zone 1	\$112.52	\$112.52	\$0.00	\$112.52
Storm Drain - Zone 1A	\$199.92	\$199.92	\$0.00	\$199.92

REASON FOR RECOMMENDATION:

Staff has prepared Preliminary Engineer Reports and annual budgets for the service, operation and maintenance of all the districts in order to establish the annual assessments, which provide the funding for said services that benefit parcels within the districts.

Upon adoption of the attached Resolutions, the Preliminary Engineer Reports will be approved and the Council will declare its intention to levy annual assessments for Fiscal Year 2019/20 and a public hearing will be scheduled for May 13, 2019 at 7:00 p.m., to permit public testimony. Written protests will be accepted from property owners until the close of the public hearing. At the close of the public hearing, the City Council may approve the Engineer Reports as submitted or amend them and order the levy and collection of the assessments.

COUNCIL GOALS ADVANCED BY THIS AGENDA ITEM:

Promoting Community Values by maintaining Parks, Recreation, and Community Services to its required service levels.

FISCAL IMPACT:

The proposed Fiscal Year 2019/20 assessments for the Residential Lighting Maintenance District and Industrial Lighting Maintenance District fully fund the budgeted expenditures to maintain the current required levels of service within each of the districts.

In Mossdale Landscape and Lighting District, Stonebridge Landscaping District, Stonebridge Drainage & Lighting District, and Storm Drain District Zone 1,

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expenditures exceed revenue; however these districts have sufficient funding within their Fund Balance reserves to cover the shortfalls.

Storm Drain District Zone 1A has expenditures which exceed revenues. City Staff proposes the use of the District's capital reserves reserve of \$212 to partially fund the deficit; and, in order to maintain the current required service levels in the District, a General Fund subsidy to cover the remaining \$19,723 deficit.

In four (4) of the districts, there are "General Benefit" costs that require funding from sources other than the assessments collected by the districts, as quantified by the formation assessment engineer. General Benefit is defined as the benefit of the improvements on the public at large. Therefore, the General Fund funds these costs because the city benefits overall from these improvements. The Fiscal Year 2019/20 General Benefit costs for each of the four (4) districts are:

District	General Benefit Amount
Industrial Lighting Maintenance District	\$12,158
Residential Lighting Maintenance District	\$8,565
Stonebridge Drainage and Lighting District	\$4,457
Stonebridge Landscape District	\$4,457
Total General Benefit Cost	\$29,637

The total amount needed from the General Fund to cover the General Benefit costs and the Storm Drain Zone 1A subsidy is \$49,360.

ATTACHMENTS:

- A. A Resolution Approving the Preliminary Engineer's Report for the Industrial Lighting Maintenance District and Declaring Intention to Levy Annual Assessments for Fiscal Year 2019/20
- B. A Resolution Approving the Preliminary Engineer's Report for the Residential Lighting Maintenance District and Declaring Intention to Levy Annual Assessments for Fiscal Year 2019/20
- C. A Resolution Approving the Preliminary Engineer's Report for the Mossdale Landscape and Lighting Maintenance District and Declaring Intention to Levy Annual Assessments for Fiscal Year 2019/20
- D. A Resolution Approving the Preliminary Engineer's Report for the Stonebridge Landscape Maintenance District and the Stonebridge Drainage & Lighting District and Declaring Intention to Levy Annual Assessments for Fiscal Year 2019/20

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- E. A Resolution Approving the Preliminary Engineer's Report for the Storm Drain Districts Zones 1 and 1A and Declaring Intention to Levy Annual Assessments for Fiscal Year 2019/20
- F. District Diagrams for All Districts

*** Note - Preliminary Engineer's Reports are available for review in the City Clerk's Office.**

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EXCEPT WOODFIELD PARK

APPROVALS:



Sandra Frias
Budget Manager

3/27/19

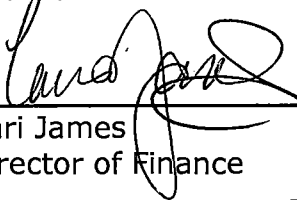
Date



Vanessa Portillo
Deputy Finance Director

3-27-19

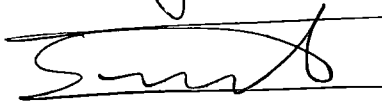
Date



Cari James
Director of Finance

3/27/19

Date



Salvador Navarrete
City Attorney

3-27-19

Date



Stephen Salvatore
City Manager

4-1-19

Date

RESOLUTION NO. 19-_____

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP
 APPROVING THE PRELIMINARY ENGINEER'S REPORT FOR THE INDUSTRIAL
 LIGHTING MAINTENANCE DISTRICT AND DECLARING INTENTION TO LEVY
 ANNUAL ASSESSMENTS FOR FISCAL YEAR 2019/20**

WHEREAS, the City Council has by previous Resolutions formed the Lathrop Industrial Lighting Maintenance District (hereafter referred to as the "District"), and initiated proceedings for Fiscal Year 2019/20 pursuant to the provisions of the *Landscape and Lighting Act of 1972, Part 2, Division 15 of the California Streets and Highways Code (commencing with Section 22500)* (hereafter referred to as the "Act") that provides for the levy and collection of assessments by the County of San Joaquin for the City of Lathrop to pay the maintenance and services of all improvements and facilities related thereto; and,

WHEREAS, the City Council has retained NBS for the purpose of assisting with the Annual Levy of the District, and to prepare and file a report with the City Clerk in accordance with the Act; and,

WHEREAS, the City Council has previously called for the preparation of an Engineer's Report and Annual Levy Report (collectively referred to herein as the "Report") for the district known as the Lathrop Industrial Lighting Maintenance District; and

WHEREAS, the Report has now been presented to the City Council; and

WHEREAS, the Report includes the District's budget and assessments and contains the data necessary to determine the special benefit conferred upon each property included in the District; and

WHEREAS, the City Council has carefully examined and reviewed the Report as presented and amended on April 8, 2019, and is preliminarily satisfied with the Lathrop Industrial Lighting Maintenance District, and all of the budget items and charges, and is satisfied that the levy amounts, on a preliminary basis, have been spread in accordance with the special benefits received from the improvements, operation, maintenance and services performed in and provided by the District;

NOW, THEREFORE, BE IT RESOLVED that the following actions shall be taken:

Section 1 Intention: The City Council hereby declares that it is its intention to seek the Annual Levy of the District pursuant to the Act, over and including the land within the District boundary, and to levy and collect assessments on all such land to pay the annual costs of the improvements.

Section 2 Description of Improvements and any substantial changes proposed: The improvements within the District include: the operation, administration, maintenance and servicing of all street lighting improvements and appurtenant facilities and expenses associated with the District. The Report, attached hereto as Exhibit "A" and incorporated herein by this reference is hereby approved on a preliminary basis and ordered to be filed with this Resolution in the Office of the City Clerk as a permanent record. Such Report shall remain open to public inspection. The Report provides a full and complete description of all improvements and any or all substantial changes to the District or improvements within the District.

Section 3 Boundaries and Designation: The boundaries of the District are described as the boundaries previously defined in the formation documents of the original District, within the incorporated City Limits of the City, within the County of San Joaquin, State of California. Also described as:

Lathrop Industrial Lighting Maintenance District

Section 4 Proposed Assessment Amounts: For Fiscal Year 2019/20, the proposed assessments are outlined in the Report which details any changes or increases in the annual assessment.

Section 5 Public Hearing(s): The City Council hereby declares its intention to conduct a Public Hearing annually concerning the levy of assessments for the Districts in accordance with *Chapter 3, Section 22626* of the Act and Articles XIII (C) and XIII (D) of the California Constitution.

Section 6 Notice: The City shall give notice of the time and place of the Public Hearing to all property owners within the Districts by causing the publishing of this Resolution once in a newspaper of local circulation for two consecutive weeks not less than ten (10) days before the date of the public hearing, and by posting a copy of this resolution on the official bulletin board customarily used by the City Council for the posting of notices.

Section 7 Notice of Public Hearing: Notice is hereby given that a Public Hearing on these matters will be held by the City Council on Monday, May 13, 2019, at 7:00 p.m. or as soon thereafter as feasible in the City Council Chambers, located at 390 Towne Centre Dr., Lathrop, California.

Section 8 Compliance with Article XIII (C) and XIII (D) of the California Constitution: The City Council hereby finds that the proposed assessments are exempt from the requirements for Article XIII (C) and XIII (D) of the California Constitution in that the amount of the assessment is based upon a prior ballot procedure in which the majority of the affected property owners consented to the imposition of the assessment, its amount and a modifier. The amount of the assessment proposed does not exceed the authorized amount.

The foregoing resolution was passed and adopted this 8th day of April 2019, by the following vote of the City Council, to wit:

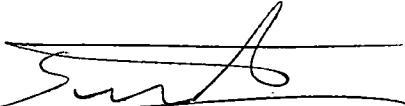
- AYES:
- NOES:
- ABSENT:
- ABSTAIN:

Sonny Dhaliwal, Mayor

ATTEST:

APPROVED AS TO FORM:

Teresa Vargas, City Clerk



Salvador Navarrete, City Attorney

CITY OF LATHROP

Industrial Lighting Maintenance District Annual Engineer's Report

Fiscal Year 2019/20

OFFICE LOCATIONS:

Temecula – Corporate Headquarters
32605 Temecula Parkway, Suite 100
Temecula, CA 92592

San Francisco – Regional Office
870 Market Street, Suite 1223
San Francisco, CA 94102

California Satellite Offices
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Huntington Beach,
Joshua Tree, Riverside
Sacramento, San Jose

www.nbsgov.com

Prepared by:



**CITY OF LATHROP
INDUSTRIAL LIGHTING MAINTENANCE DISTRICT**

**390 Towne Centre Drive
Lathrop, California 95330
Phone - (209) 941-7320
Fax - (209) 941-7339**

CITY COUNCIL

Sonny Dhaliwal, Mayor

Martha Salcedo, Vice Mayor

Paul Akinjo, Councilmember

Diane Lazard, Councilmember

Jennifer Torres-O'Callaghan, Councilmember

CITY STAFF

Stephen Salvatore, City Manager

Salvador Navarrete, City Attorney

Cari James, Finance Director

Glenn Gebhardt, City Engineer

NBS

Tim Seufert, Client Services Director

Kristin Harvey, Senior Consultant

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Section 1. ENGINEER’S LETTER

WHEREAS, the City Council of the City of Lathrop (the “City”), State of California, directed NBS Government Finance Group, DBA NBS (“NBS”) to prepare and file a report presenting plans and specifications describing the general nature, location, and extent of the improvements to be maintained, and an estimate of the costs of the maintenance, operations and servicing of the improvements for the City of Lathrop Industrial Lighting Maintenance District (the “District”) for Fiscal Year 2019/20. The report includes a diagram for the District showing the area and properties proposed to be assessed, an assessment of the estimated costs of the maintenance, operations and servicing of the improvements, and the net amount to be assessed upon all assessable lots and/or parcels within the District in proportion to the special benefit received;

WHEREAS, the assessment rates and the annual rate escalation factor of the annual San Francisco Bay Area Consumer Price Index (“CPI-U”) (not to exceed 3%) were approved by property owners through the assessment balloting procedures set forth in Section 4 of Article XIII D of the California Constitution at a public hearing held on July 3, 2001;

NOW THEREFORE, only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated benefit received. The following assessment is made to fund the portion of the estimated costs of maintenance, operation, and servicing of the improvements to be paid by the assessable real property within the District in proportion to the special benefit received:

SUMMARY OF ASSESSMENT

Description	Zone A	Zone B	Zone C
Balance to Levy (1)	\$1,740.00	\$52,257.36	\$2,696.06
Total Equivalent Dwelling Units (“EDU”)	224.520	1322.972	347.880
Total Assessment Per EDU*	\$7.75	\$39.50	\$7.75
Maximum Assessment Per EDU	\$7.75	\$39.50	\$7.75
Total Parcels to be Assessed	9	152	10

(1) Where applicable, the actual levy will be rounded down to an even cent for San Joaquin County tax roll purposes.

I, the undersigned, respectfully submit the enclosed Engineer’s Report and, to the best of my knowledge, information, and belief, the Engineer’s Report, Assessments, and the District Diagram herein have been prepared and computed in accordance with the order and historical practices of the City Council of the City.

NBS Government Finance Group, DBA NBS



Section 2. OVERVIEW

Introduction

The District was formed and is levied pursuant to the Landscaping and Lighting Act of 1972, Part 2 of Division 15 of the California Streets and Highways Code (the “Act”).

This Annual Engineer’s Report (the “Report”) describes the District and the charge per EDU for Fiscal Year 2019/20 based on the historical and estimated cost to maintain the improvements and provide the services that benefit parcels within the District. Special benefit arising from the maintenance and operation of the facilities includes improvement to traffic circulation, reduction in nighttime accidents, deterrence of crime, and reduction in vandalism. The parcels contained within the District receive such special benefit from the improvements and will pay only their fair share of the costs of the operations, servicing, and maintenance of the improvements within the District.

The City provides a contribution of 50% of all lighting maintenance costs for the City General Plan arterial streets (including: Lathrop Road, Louise Avenue, Harlan Road, McKinley Avenue, Roth Road, and Yosemite Avenue) to pay the portion of costs of maintenance and operation of the facilities that provides a general benefit to the real property within the District and to the public at large and to pay the portion of costs that provides a special benefit to non-assessed real property within the District. The District is divided into three zones to allow the assessments to properly match the special benefits provided by the improvements to the assessed parcels within the District.

The word “parcel,” for the purposes of this Report, refers to an individual property assigned its own Assessor’s Parcel Number by the San Joaquin County (the “County”) Assessor’s Office. The County Auditor-Controller uses Assessor’s Parcel Numbers and specific fund numbers to identify, on the tax roll, properties assessed for special district benefit assessments.

Following consideration of public comments at a noticed public hearing, and review of the Report, the City Council may confirm the submittal of the Report and order the levy and collection of assessments for Fiscal Year 2019/20. If approved, the assessment information will be submitted to the County Auditor-Controller and included on the property tax roll for each benefiting parcel for Fiscal Year 2019/20.

Effect of Proposition 218

On November 5, 1996, California voters approved Proposition 218 by a vote of 56.5% to 43.5%. The provisions of the Proposition, now California Constitutional Articles XIII C and XIII D, added substantive and procedural requirements for assessments, which affect the City’s lighting maintenance assessments.

The assessment for the District for Fiscal Year 2019/20 is \$7.75 per EDU for Zone A, \$39.50 per EDU for Zone B, and \$7.75 per EDU for Zone C. The proposed assessment rates are not greater than 103% of the prior year maximum assessment rates, as approved by the land owners.

The annual rate escalation factor approved by property owners through the assessment balloting procedures set forth in Section 4 of Article XIII D at a public hearing held on July 3, 2001, is the annual CPI-U (which increased 4.49% for Fiscal Year 2019/20), not to exceed 3%.

Plans and Specifications for the Improvements

The City operates, services, and maintains the street lighting within the District. Zone A consists of 9 parcels located near the intersection of Louise Avenue and McKinley Avenue. Zone B consists of 152 parcels generally located in the southwestern half of the area bounded by Harlan Road, Howland Road, and Louise Avenue. Zone C consists of 10 parcels, generally located east of Interstate 5, west of the Southern Pacific Railroad, north of Squires Road, and south of Roth Road.

The services provided by the District include the maintenance of the street lighting facilities and other appurtenances particular to the District improvements.

Section 3. ESTIMATE OF COSTS

Description of Budget Items

Maintenance & Operations - Includes the following:

Advertising/Legal Notices - Includes the cost of publishing the required legal notices necessary to complete the required procedures for levying the assessments.

Contract Services - Includes professional services necessary for District maintenance including computer technical support and the preparation of the Report.

Light Costs - Includes the electricity costs of street lighting within the District.

Other Maintenance & Repair - Includes contracted maintenance and repair services such as emergency repairs.

Utilities - Gas & Electric - Includes electrical power for street lighting.

Fixed Charges - Includes the charges per parcel to collect the assessments on the County Secured Property Tax Roll.

Personnel Services - Includes employee salaries, salary related costs, and employee benefits including retirement, medical benefits, and workers compensation costs, etc.

Indirect Costs - Includes overhead costs of the City related to maintenance, operation, and administration of the District.

District Budget

The budget for Zone A for Fiscal Year 2019/20 is as follows.

Description	2019/20 Budget
Maintenance & Operations Total	\$1,609.36
Personnel Services Total	63.56
Machine & Equipment Total	0.00
Indirect Costs	<u>204.03</u>
Budget Total	\$1,876.95

The budget for Zone B for Fiscal Year 2019/20 is as follows.

Description	2019/20 Budget
Maintenance & Operations Total	\$48,334.00
Personnel Services Total	1,908.96
Machine & Equipment Total	0.00
Indirect Costs	<u>6,127.83</u>
Budget Total	\$56,370.79

The budget for Zone C for Fiscal Year 2019/20 is as follows.

Description	2019/20 Budget
Maintenance & Operations Total	\$2,493.64
Personnel Services Total	98.48
Machine & Equipment Total	0.00
Indirect Costs	<u>316.14</u>
Budget Total	\$2,908.26

Balance to Levy

Total Zone Costs - Includes the maintenance and operations, personnel services, machine, equipment, and indirect costs determined above.

Contribution to (from) Operational Reserves - The Operational Reserves item provides funds by the District to operate the District from the time period of July 1 (beginning of the fiscal year) through December when the County provides the City with the first installment of assessments collected from the property tax bills. This eliminates the need for the City to transfer funds from non-District accounts to pay for District charges during the first half of the fiscal year. Negative amounts shown here are transfers that are used to reduce the Balance to Levy. Using reserve amounts in this way allows the levy per unit to remain at prior period rates, although District costs have increased.

Contribution to (from) Capital Reserves - The Capital Reserve Account item provides funds to maintain reserves for extraordinary maintenance items and unexpected capital expenditures that may occur as a result of natural occurrences or other unforeseen circumstances.

General Benefit - Includes the City contribution of 50% of all lighting maintenance costs for the City General Plan arterial streets (including: Lathrop Road, Louise Avenue, Harlan Road, and McKinley Avenue) to pay the portion of costs of maintenance and operation of the facilities that provides a general benefit to the real property within the District and to the public at large and to pay the portion of costs that provides a special benefit to non-assessed real property within the District.

Balance to Levy - This is the total amount to be levied and collected through assessments for the current fiscal year. The Balance to Levy represents the sum of the total direct and administration costs, reserves, contributions, and other revenue sources.

The following table shows the balance to levy for Zone A for the Fiscal Year 2019/20 levy.

Description	Amount
Total Zone A Costs	\$1,876.95
Contribution to (from) Operational Reserves	236.19
Contribution to (from) Capital Reserves	0.00
Less General	<u>(373.14)</u>
Balance to Levy	\$1,740.00

The following table shows the balance to levy for Zone B for the Fiscal Year 2019/20 levy.

Description	Amount
Total Zone A Costs	\$56,370.79
Contribution to (from) Operational Reserves	7,093.26
Contribution to (from) Capital Reserves	0.00
Less General Benefit	<u>(11,206.69)</u>
Balance to Levy	\$52,257.36

The following table shows the balance to levy for Zone C for the Fiscal Year 2019/20 levy.

Description	Amount
Total Zone A Costs	\$2,908.26
Contribution to (from) Operational Reserves	365.97
Contribution to (from) Capital Reserves	0.00
Less General Benefit	<u>(578.17)</u>
Balance to Levy	\$2,696.06

Operational & Maintenance Reserve Information

The following table shows the estimated balance in the Operational and Maintenance Reserves for the Fiscal Year 2019/20 levy.

<i>Description</i>	<i>Amount</i>
Estimated Beginning Balance – June 30, 2019	\$100,788.05
Contribution to (from) Operational and Maintenance Reserves – Zone A	236.19
Contribution to (from) Operational and Maintenance Reserves – Zone B	7,093.26
Contribution to (from) Operational and Maintenance Reserves – Zone C	365.97
Estimated Ending Balance – June 30, 2020	\$108,483.47

The reserves are intended to be used and/or accumulated for repair and/or capital replacement, as needed for improvements within the District.

Section 4. METHOD OF APPORTIONMENT

Method of Apportionment

The costs of the District are apportioned by a formula or method which fairly distributes the net amount to be assessed, among all assessable parcels in proportion to the estimated special benefit to be received by each such parcel from the maintenance, servicing, and operation of the improvements. The assessment has been levied in accordance with the assessment methodology adopted and approved by the City Council at the time of District formation.

The basis of benefit for the District was determined to be equal for all EDU within each Zone. The method uses a Benefit Unit Factor (“BUF”) as described below.

The method used to calculate the assessments within each Zone is as follows:

$$\text{Total Balance to Levy} / \text{Total EDU} = \text{Levy per EDU}$$

$$\text{Parcel BUF} \times \text{Acres or Units} \times \text{Levy per EDU} = \text{Parcel Levy Amount}$$

To determine the EDU for non-residential parcels and unimproved residential parcels, the BUF is multiplied by the acreage. For those non-residential parcels and unimproved residential parcels that are less than one acre, the BUF is multiplied by one. For non-residential parcels and unimproved residential parcels that are greater than ten acres, the BUF is multiplied by ten. To determine the EDU for residential parcels, the BUF is multiplied by the number of developed residential units on the parcel.

Benefit Unit Factors

The table below shows the BUF per acre or unit for each property type.

Property Type/Land Use	BUF
Single Family Residential	1.00
Multi Family Residential	0.70
Mobile Homes	0.70
Vacant Land	1.00
Commercial/Industrial	4.00
Churches	1.00
Government	1.00

Assessment Per EDU - Zone A

The following table shows the total assessment per EDU for Zone A for the Fiscal Year 2019/20 levy.

Description	Amount
Balance to Levy (1)	\$1,740.00
Total EDU - Zone A	224.520
Total Assessment Per EDU	\$7.75

(1) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.

The following table provides sample calculations for the parcel levy amount in Zone A.

Property Type/ Land Use	BUF X Units or Acres = EDU	Parcel EDU X Levy Per EDU = Parcel Levy	Parcel Levy
Single Family Residential	1.00 X 1 Unit	1.00 X \$7.75	\$7.75
Multi Family Residential	0.70 X 100 Units	70.00 X \$7.75	542.50
Mobile Home Park	0.70 X 10 Units	7.00 X \$7.75	54.25
Vacant Land	1.00 X 5 Acres	5.00 X \$7.75	38.75
Commercial/Industrial	4.00 X 5 Acres	20.00 X \$7.75	155.00
Churches	1.00 X 0.5 Acres	0.50 X \$7.75	3.87
Government	1.00 X 0.5 Acres	0.50 X \$7.75	3.87

(1) For non-residential or unimproved parcels that are less than one acre, the BUF is multiplied by one. For non-residential or unimproved parcels that are more than ten acres, the BUF is multiplied by ten.

Assessment Per EDU - Zone B

The following table shows the total assessment per EDU for Zone B for the Fiscal Year 2019/20 levy.

Description	Amount
Balance to Levy (1)	\$52,257.36
Total EDU - Zone B	1,322.972
Total Assessment Per EDU	\$39.50

(1) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.

The following table provides sample calculations for the parcel levy amount in Zone B.

Property Type/ Land Use	BUF X Units or Acres = EDU	Parcel EDU X Levy Per EDU = Parcel Levy	Parcel Levy
Single Family Residential	1.00 X 1 Unit	1.00 X \$39.50	\$39.50
Multi Family Residential	0.70 X 100 Units	70.00 X \$39.50	2,765.00
Mobile Home Park	0.70 X 10 Units	7.00 X \$39.50	267.50
Vacant Land	1.00 X 5 Acres	5.00 X \$39.50	197.50
Commercial/Industrial	4.00 X 5 Acres	20.00 X \$39.50	790.00
Churches	1.00 X 0.5 Acres	0.50 X \$39.50	19.75
Government	1.00 X 0.5 Acres	0.50 X \$39.50	19.75

(1) For non-residential or unimproved parcels that are less than one acre, the BUF is multiplied by one. For non-residential or unimproved parcels that are more than ten acres, the BUF is multiplied by ten.

Assessment Per EDU - Zone C

The following table shows the total assessment per EDU for Zone C for the Fiscal Year 2019/20 levy.

Description	Amount
Balance to Levy (1)	\$2,696.06
Total EDU - Zone C	347.880
Total Assessment Per EDU	\$7.75

(1) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.

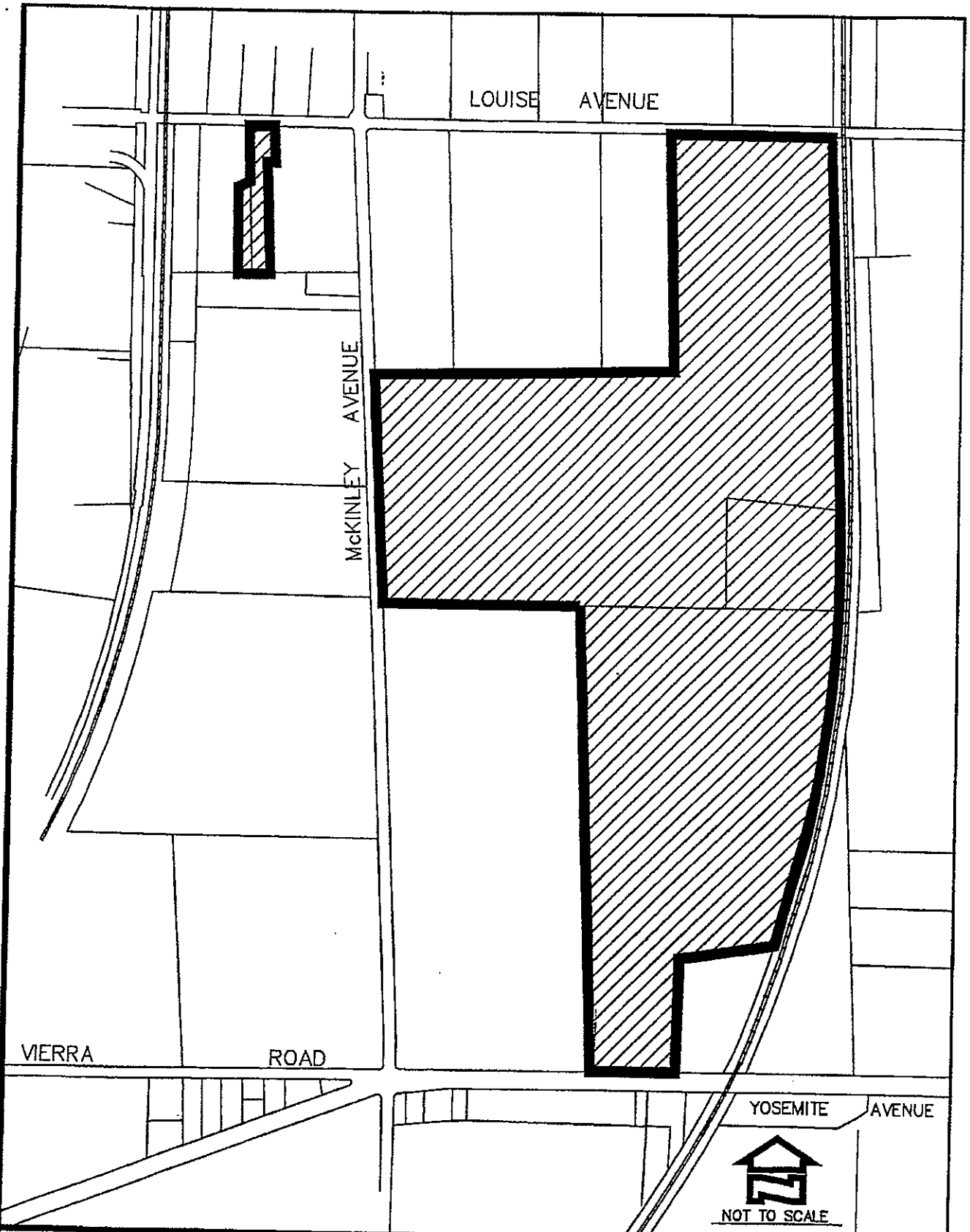
The following table provides sample calculations for the parcel levy amount in Zone C.

Property Type/ Land Use	BUF X Units or Acres = EDU	Parcel EDU X Levy Per EDU = Parcel Levy	Parcel Levy
Single Family Residential	1.00 X 1 Unit	1.00 X \$7.75	\$7.75
Multi Family Residential	0.70 X 100 Units	70.00 X \$7.75	542.50
Mobile Home Park	0.70 X 10 Units	7.00 X \$7.75	54.25
Vacant Land	1.00 X 5 Acres	5.00 X \$7.75	38.75
Commercial/Industrial	4.00 X 5 Acres	20.00 X \$7.75	155.00
Churches	1.00 X 0.5 Acres	0.50 X \$7.75	3.87
Government	1.00 X 0.5 Acres	0.50 X \$7.75	3.87

(1) For non-residential or unimproved parcels that are less than one acre, the BUF is multiplied by one. For non-residential or unimproved parcels that are more than ten acres, the BUF is multiplied by ten.

Section 5. DISTRICT DIAGRAMS

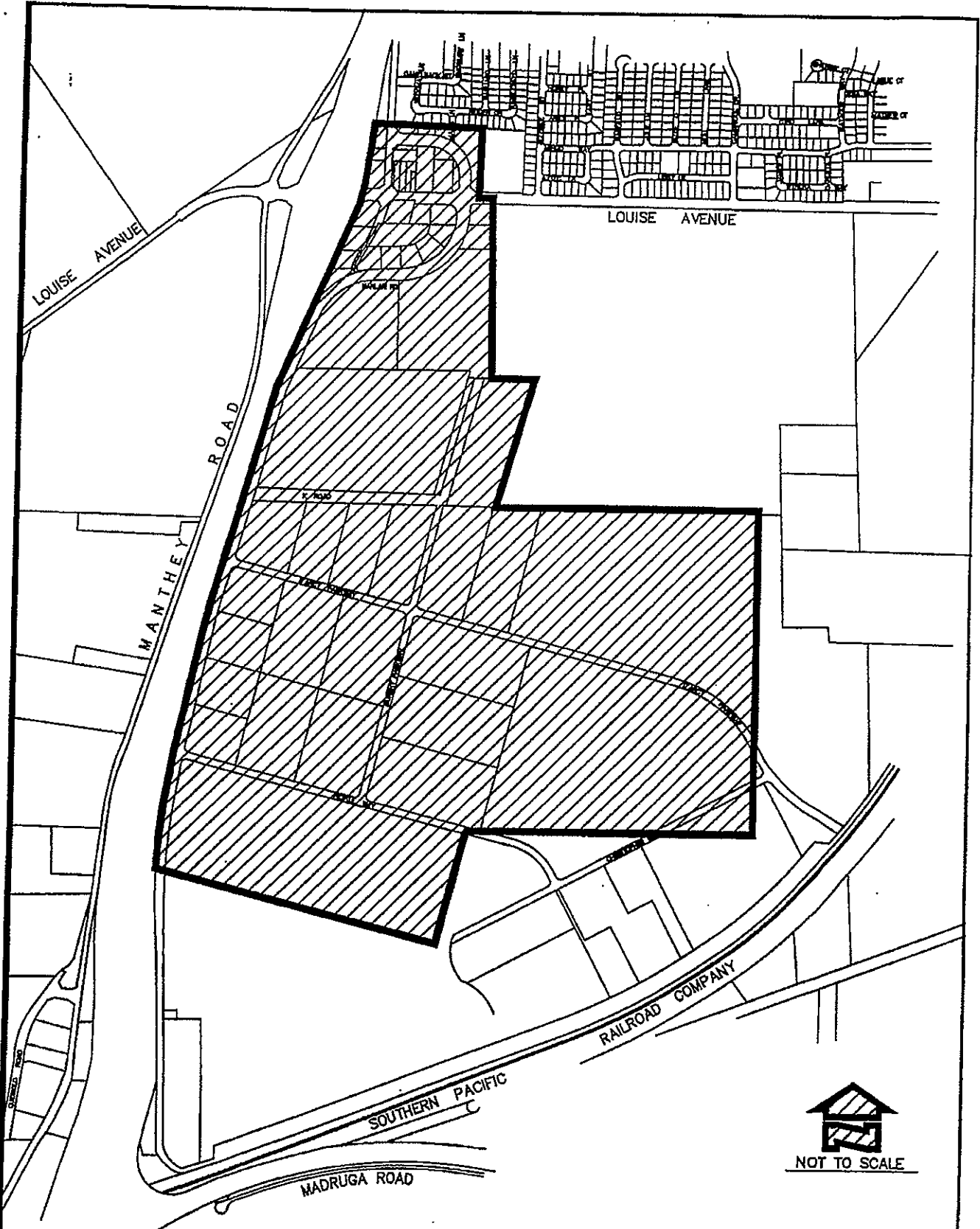
Reference is made to the District Diagrams on file with the City Clerk. The following pages provide the boundaries of the District. The lines and dimensions shown on maps of the County Assessor for the current year are incorporated by reference and made part of this Report.



City of Lathrop
Industrial Lighting - Zone A

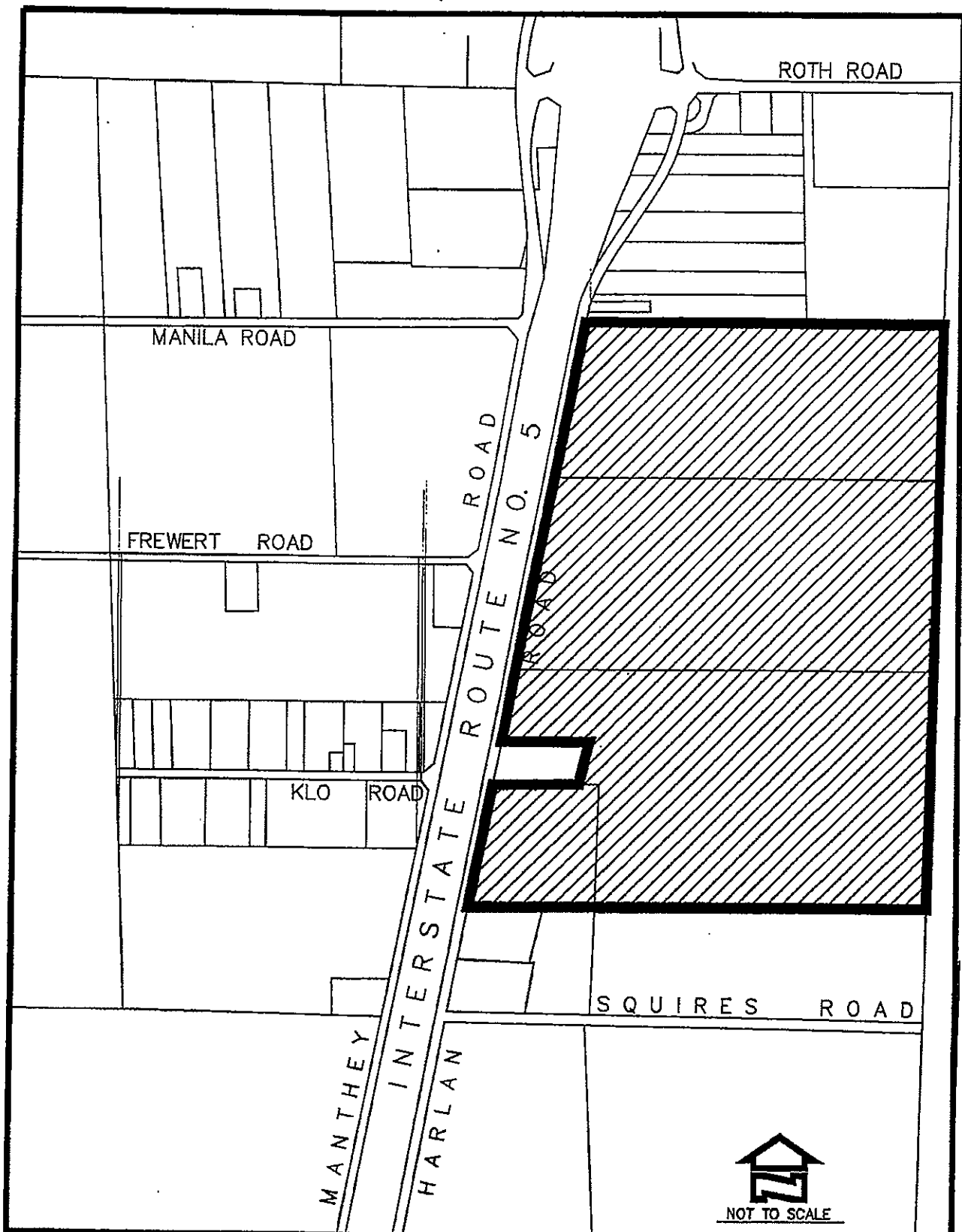


Date: February 1999



City of Lathrop
Industrial Lighting - Zone B

Date: February 1999



City of Lathrop
Industrial Lighting - Zone C



Date: February 1999

Section 6. PARCEL LISTING

The parcel listing of assessments is provided on the following pages. The description of each lot or parcel is a part of the records of the County Assessor and is incorporated by reference and made part of this Report.

CITY OF LATHROP
INDUSTRIAL LIGHTING MAINTENANCE DISTRICT
FISCAL YEAR 2019/20
PARCEL LISTING

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Max Rate	Levy Rate	Levy*
A	198-140-140-000	IND	3.130	3.130	4.00	12.520	\$7.75	\$7.75	\$97.02
A	198-160-030-000	GOVT	12.000	10.000	1.00	10.000	7.75	7.75	77.50
A	198-160-230-000	GOVT	0.128	1.000	1.00	1.000	7.75	7.75	7.74
A	198-160-250-000	VAC	0.035	1.000	1.00	1.000	7.75	7.75	7.74
A	198-160-260-000	IND	106.050	10.000	4.00	40.000	7.75	7.75	310.00
A	198-230-170-000	IND	15.180	10.000	4.00	40.000	7.75	7.75	310.00
A	198-230-180-000	IND	18.650	10.000	4.00	40.000	7.75	7.75	310.00
A	198-230-190-000	IND	12.850	10.000	4.00	40.000	7.75	7.75	310.00
A	198-230-150-000	IND	11.780	10.000	4.00	40.000	7.75	7.75	310.00
SUBTOTAL:		9 Assessable Parcels			224.520		\$1,740.00		

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Max Rate	Levy Rate	Levy*
B	196-270-080-000	CMD	0.540	1.000	4.00	4.000	\$39.50	\$39.50	\$158.00
B	196-270-090-000	CMD	0.300	1.000	4.00	4.000	39.50	39.50	158.00
B	196-270-100-000	CMD	0.809	1.000	4.00	4.000	39.50	39.50	158.00
B	196-270-230-000	CMV	1.307	1.307	1.00	1.307	39.50	39.50	51.62
B	196-270-260-000	GOVT	1.657	1.657	1.00	1.657	39.50	39.50	65.44
B	196-270-280-000	CMD	1.725	1.725	4.00	6.900	39.50	39.50	272.54
B	196-270-300-000	CMD	1.437	1.437	4.00	5.748	39.50	39.50	227.04
B	198-120-040-000	IND	34.460	10.000	4.00	40.000	39.50	39.50	1,580.00
B	198-120-050-000	IND	10.010	10.000	4.00	40.000	39.50	39.50	1,580.00
B	198-130-390-000	IND	27.930	10.000	4.00	40.000	39.50	39.50	1,580.00
B	198-130-420-000	IND	47.160	10.000	4.00	40.000	39.50	39.50	1,580.00
B	198-130-640-000	IND	49.640	10.000	4.00	40.000	39.50	39.50	1,580.00
B	198-190-040-000	IND	6.310	6.310	4.00	25.240	39.50	39.50	996.98
B	198-190-060-000	CMD	8.990	8.990	4.00	35.960	39.50	39.50	1,420.42
B	198-190-190-000	IND	12.490	10.000	4.00	40.000	39.50	39.50	1,580.00
B	198-190-200-000	IND	12.500	10.000	4.00	40.000	39.50	39.50	1,580.00
B	198-190-210-000	IND	13.200	10.000	4.00	40.000	39.50	39.50	1,580.00
B	198-190-300-000	IND	11.000	10.000	4.00	40.000	39.50	39.50	1,580.00
B	198-190-310-000	IND	14.720	10.000	4.00	40.000	39.50	39.50	1,580.00
B	198-190-320-000	IND	29.110	10.000	4.00	40.000	39.50	39.50	1,580.00
B	198-190-330-000	IND	7.280	7.280	4.00	29.120	39.50	39.50	1,150.24
B	198-210-020-000	CMD	1.170	1.170	4.00	4.680	39.50	39.50	184.86
B	198-210-030-000	CMD	0.839	1.000	4.00	4.000	39.50	39.50	158.00
B	198-210-040-000	CMD	0.639	1.000	4.00	4.000	39.50	39.50	158.00
B	198-210-050-000	CMD	0.850	1.000	4.00	4.000	39.50	39.50	158.00
B	198-210-060-000	CMD	0.689	1.000	4.00	4.000	39.50	39.50	158.00
B	198-210-070-000	CMV	0.760	1.000	1.00	1.000	39.50	39.50	39.50
B	198-210-080-000	CMV	0.739	1.000	1.00	1.000	39.50	39.50	39.50
B	198-210-090-000	CMD	0.850	1.000	4.00	4.000	39.50	39.50	158.00
B	198-210-100-000	CMD	0.830	1.000	4.00	4.000	39.50	39.50	158.00
B	198-210-140-000	CMV	0.739	1.000	1.00	1.000	39.50	39.50	39.50
B	198-210-160-000	CMD	0.993	1.000	4.00	4.000	39.50	39.50	158.00
B	198-210-170-000	CMD	0.916	1.000	4.00	4.000	39.50	39.50	158.00

CITY OF LATHROP
INDUSTRIAL LIGHTING MAINTENANCE DISTRICT
FISCAL YEAR 2019/20
PARCEL LISTING

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Max Rate	Levy Rate	Levy*
B	198-210-180-000	CMD	14.280	10.000	4.00	40.000	39.50	39.50	1,580.00
B	198-210-190-000	CMV	18.700	10.000	1.00	10.000	39.50	39.50	395.00
B	198-210-200-000	CMD	0.774	1.000	4.00	4.000	39.50	39.50	158.00
B	198-210-210-000	CMV	0.385	1.000	1.00	1.000	39.50	39.50	39.50
B	198-210-220-000	CMD	1.340	1.340	4.00	5.360	39.50	39.50	211.72
B	198-210-230-000	CMD	1.070	1.070	4.00	4.280	39.50	39.50	169.06
B	198-220-020-000	IND	19.390	10.000	4.00	40.000	39.50	39.50	1,580.00
B	198-220-030-000	IND	10.010	10.000	4.00	40.000	39.50	39.50	1,580.00
B	198-220-090-000	IND	27.790	10.000	4.00	40.000	39.50	39.50	1,580.00
B	198-220-100-000	IND	11.490	10.000	4.00	40.000	39.50	39.50	1,580.00
B	198-220-120-000	IND	23.070	10.000	4.00	40.000	39.50	39.50	1,580.00
B	198-240-010-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-020-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-030-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-040-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-050-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-060-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-070-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-080-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-090-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-100-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-110-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-120-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-130-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-140-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-150-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-160-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-170-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-180-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-190-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-200-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-210-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-220-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-230-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-240-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-250-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-260-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-270-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-280-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-290-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-300-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-310-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-320-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-330-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-340-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-350-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00

CITY OF LATHROP
INDUSTRIAL LIGHTING MAINTENANCE DISTRICT
FISCAL YEAR 2019/20
PARCEL LISTING

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Max Rate	Levy Rate	Levy*
B	198-240-360-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-370-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-380-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-390-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-400-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-410-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-420-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-430-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-440-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-450-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-460-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-470-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-240-480-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-010-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-020-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-030-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-040-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-050-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-060-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-070-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-080-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-090-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-100-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-110-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-120-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-130-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-140-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-150-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-160-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-170-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-180-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-190-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-200-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-210-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-220-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-230-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-240-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-250-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-260-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-270-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-280-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-290-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-300-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-310-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-320-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-330-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00

CITY OF LATHROP
INDUSTRIAL LIGHTING MAINTENANCE DISTRICT
FISCAL YEAR 2019/20
PARCEL LISTING

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Max Rate	Levy Rate	Levy*
B	198-250-340-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-350-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-360-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-370-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-380-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-390-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-400-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-410-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-420-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-430-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-440-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-450-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-460-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-470-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-480-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-490-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-500-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-510-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-520-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-530-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-540-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-550-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-560-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-570-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-580-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-590-000	IND	0.130	1.000	4.00	4.000	39.50	39.50	158.00
B	198-250-600-000	IND	8.180	8.180	4.00	32.720	39.50	39.50	1,292.44
SUBTOTAL:		152 Assessable Parcels				1,322.972			\$52,257.36

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Max Rate	Levy Rate	Levy*
C	196-030-030-000	IND	41.730	10.000	4.00	40.000	\$7.75	\$7.75	\$310.00
C	196-030-190-000	CMD	5.730	5.730	4.00	22.920	7.75	7.75	177.62
C	196-030-220-000	IND	20.160	10.000	4.00	40.000	7.75	7.75	310.00
C	196-030-230-000	IND	11.730	10.000	4.00	40.000	7.75	7.75	310.00
C	196-030-250-000	IND	21.710	10.000	4.00	40.000	7.75	7.75	310.00
C	196-030-260-000	IND	8.620	8.620	4.00	34.480	7.75	7.75	267.22
C	196-030-270-000	IND	13.900	10.000	4.00	40.000	7.75	7.75	310.00
C	196-030-280-000	IND	32.640	10.000	4.00	40.000	7.75	7.75	310.00
C	196-030-290-000	IND	13.360	10.000	4.00	40.000	7.75	7.75	310.00
C	196-030-310-000	IND	2.620	2.620	4.00	10.480	7.75	7.75	81.22
SUBTOTAL:		10 Assessable Parcels				347.880			\$2,696.06

Grand Total: **1,895.372** **\$56,693.42**

* Where applicable, the levy has been rounded down to an even cent for County tax roll purposes.

RESOLUTION NO. 19-_____

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP
 APPROVING THE PRELIMINARY ENGINEER'S REPORT FOR THE
 RESIDENTIAL LIGHTING MAINTENANCE DISTRICT AND DECLARING
 INTENTION TO LEVY ANNUAL ASSESSMENTS FOR FISCAL YEAR 2019/20**

WHEREAS, the City Council pursuant to the provisions of the *Landscaping and Lighting Act of 1972, Part 2 of Division 15 of the Streets and Highways Code of California, beginning with Section 22500* (hereafter referred to as the "Act") desires to initiate proceedings for the establishment of benefit zones within the "Lathrop Residential Lighting Maintenance District" (hereafter referred to as the "District") and to levy and collect annual assessments to pay for the operation, maintenance and servicing of the lighting improvements and all appurtenant facilities related thereto. The Act provides for the establishment of benefit zones within an assessment district pursuant to *Chapter 2 Article 4 Section 22574*, and the levy and collection of assessments by the County on behalf of the City pursuant to *Chapter 4 Article 2 Section 22646*; and,

WHEREAS, the City Council has retained NBS as the Engineer of Work, for the purpose of assisting with the establishment of benefit zones within the District, the establishment of annual assessments, and to prepare and file an Engineer's Report with the City Clerk in accordance with the Act; and,

WHEREAS, the City Council has previously called for the preparation of an Engineer's Report and Annual Levy Report (collectively referred to herein as the "Report") for the district known as the Lathrop Residential Lighting Maintenance District); and

WHEREAS, the Report has now been presented to the City Council; and

WHEREAS, the Report includes the District's budget and assessments and contains the data necessary to determine the special benefit conferred upon each property included in the District; and

WHEREAS, the City Council has carefully examined and reviewed the Report as presented and amended on April 8, 2019, and is preliminarily satisfied with the Lathrop Residential Lighting Maintenance District, and all of the budget items and charges, and is satisfied that the levy amounts, on a preliminary basis, have been spread in accordance with the special benefits received from the improvements, operation, maintenance and services performed in and provided by the District;

NOW, THEREFORE, BE IT RESOLVED, DETERMINED, AND ORDERED BY THE CITY COUNCIL FOR THE DISTRICT, AS FOLLOWS:

Section 1 Intention: The City Council hereby orders NBS to prepare the Engineer's Report concerning the establishment of benefit zones within the District and the levy of assessments for properties within the District.

Section 2 Description of Improvements and any substantial changes proposed: The improvements include the operation, administration, maintenance and servicing of all street lighting improvements and appurtenant facilities and expenses associated with the District.

Section 3 Boundaries and Designation: The proposed territory within the District includes all lots and parcels to be assessed for special benefits from the lighting improvements. The District is generally located in the northern part of the City and consists of lots and parcels north of Louise Avenue, west of the Southern Pacific Railroad, east of Interstate 5, and south of the Stonebridge Development. The District is within the City of Lathrop, the County of San Joaquin, State of California and shall be designated as: "Lathrop Residential Lighting Maintenance District".

Section 4 Proposed Assessment Amounts: For Fiscal Year 2019/20, the proposed assessments are outlined in the Report which details any changes or increases in the annual assessment.

Section 5 Public Hearing(s): The City Council hereby declares its intention to conduct a Public Hearing annually concerning the levy of assessments for the District in accordance with *Chapter 3, Section 22626* of the Act and Articles XIII (C) and XIII (D) of the California Constitution.

Section 6 Notice: The City shall give notice of the time and place of the Public Hearing to all property owners within the District by causing the publishing of this Resolution once in a newspaper of local circulation for two consecutive weeks not less than ten (10) days before the date of the public hearing, and by posting a copy of this resolution on the official bulletin board customarily used by the City Council for the posting of notices.

Section 7 Notice of Public Hearing: Notice is hereby given that a Public Hearing on these matters will be held by the City Council on Monday, May 13, 2019, at 7:00 p.m. or as soon thereafter as feasible in the City Council Chambers, located at 390 Towne Centre Dr., Lathrop, California.

Section 8 Compliance with Article XIII (C) and XIII (D) of the California Constitution: The City Council hereby finds that the proposed assessments are exempt from the requirements for Article XIII (C) and XIII (D) of the California Constitution in that the amount of the assessment is based upon a prior ballot procedure in which the majority of the affected property owners consented to the imposition of the assessment, its amount and a modifier. The amount of the assessment proposed does not exceed the authorized amount.

The foregoing resolution was passed and adopted this 8th day of April 2019, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Sonny Dhaliwal, Mayor

ATTEST:

APPROVED AS TO FORM:

Teresa Vargas, City Clerk



Salvador Navarrete, City Attorney

CITY OF LATHROP

Residential Lighting Maintenance District

Annual Engineer's Report

Fiscal Year 2019/20

OFFICE LOCATIONS:

Temecula – Corporate Headquarters
32605 Temecula Parkway, Suite 100
Temecula, CA 92592

San Francisco – Regional Office
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Huntington Beach,
Joshua Tree, Riverside
Sacramento, San Jose

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Prepared by:



**CITY OF LATHROP
RESIDENTIAL LIGHTING MAINTENANCE DISTRICT**

**390 Towne Centre Drive
Lathrop, California 95330
Phone - (209) 941-7320
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CITY COUNCIL

Sonny Dhaliwal, Mayor

Martha Salcedo, Vice Mayor

Paul Akinjo, Councilmember

Diane Lazard, Councilmember

Jennifer Torres-O'Callaghan, Councilmember

CITY STAFF

Stephen Salvatore, City Manager

Salvador Navarrete, City Attorney

Cari James, Finance Director

Glenn Gebhardt, City Engineer

NBS

Tim Seufert, Client Services Director

Kristin Harvey, Senior Consultant

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Section 1. ENGINEER’S LETTER

WHEREAS, the City Council of the City of Lathrop (the “City”), State of California, directed NBS Government Finance Group, DBA NBS (“NBS”) to prepare and file a report presenting plans and specifications describing the general nature, location and extent of the improvements to be maintained, an estimate of the costs of the maintenance, operations, and servicing of the improvements for the City of Lathrop Residential Lighting Maintenance District (the “District”) for Fiscal Year 2019/20. The report includes a diagram for the District, showing the area and properties to be assessed, an assessment of the estimated costs of the maintenance, operations and servicing of the improvements, and the net amount upon all assessable lots and/or parcels within the District in proportion to the special benefit received;

NOW THEREFORE, only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated benefit received. The following assessment is made to fund the portion of the estimated costs of maintenance, operation, and servicing of said improvements to be paid by the assessable real property within the District in proportion to the special benefit received:

SUMMARY OF ASSESSMENT

Description	Amount
Balance to Levy (1)	\$126,809.50
Total Equivalent Dwelling Units	2,835.9835

(1) Where applicable, the actual parcel levy will be rounded to an even amount for San Joaquin County tax roll purposes.

The details concerning the Balance to Levy and amount to levy per Equivalent Dwelling Unit are contained within the enclosed Engineer’s Report.

I, the undersigned, respectfully submit the enclosed Engineer’s Report and, to the best of my knowledge, information, and belief, the Engineer’s Report, Assessments, and the District Diagram herein have been prepared and computed in accordance with the order and historical practices of the City Council of the City.

NBS Government Finance Group, DBA NBS

Section 2. OVERVIEW

Introduction

The City proposes to levy special benefit assessments for the District for Fiscal Year 2019/20. Prior to the City's incorporation in 1989, the County of San Joaquin (the "County") had established a maintenance district to fund the cost of operating and maintaining streetlights. After incorporation, the City continued and expanded the boundaries of the District to include lights and properties in newly developed areas of the City. In 1993, the City consolidated several maintenance districts including the lighting district into a single district: "Lathrop Residential Lighting Maintenance District". In response to the provisions of the California Constitution Article XIII C and XIII D (the "Proposition 218"), in 1998 a separate Engineer's Report was prepared for the District and property owner balloting for the assessments was conducted. At the conclusion of the public hearing it was determined that the proposed assessments received a majority protest and no assessment was levied for Fiscal Year 1998/99.

Although no assessment was levied in Fiscal Year 1998/99, the City was able to continue funding the improvements for one year through other revenue sources. However, it was determined that the revenue necessary to maintain the improvements at their existing level was not likely to be available in future years. Therefore, the City conducted another property owner balloting proceeding for the assessments in Fiscal Year 1999/00. After approval of the assessment by the property owners, the City began to levy and collect special assessments on the County tax rolls to provide continued funding for the costs and expenses required for maintenance of the lighting improvements within the District. The District is levied pursuant to the Landscaping and Lighting Act of 1972, Part 2 of Division 15 of the California Streets and Highways Code (the "Act"), and in compliance with the substantive and procedural requirements of Proposition 218.

This Annual Engineer's Report (the "Report") describes the District and assessments to be levied against properties within the District for Fiscal Year 2019/20. The assessments described herein are based on the estimated cost to maintain improvements that will provide a direct and special benefit to properties within the District. All improvements to be maintained and funded through annual assessments were constructed and installed in connection with the development or for the benefit of these properties. The annual costs and assessments described herein include all estimated direct expenditures, incidental expenses, deficits, surpluses, revenues, and reserves associated with the maintenance and servicing of the improvements.

The word "parcel", for the purposes of this Report, refers to an individual property assigned its own Assessor's Parcel Number ("APN") by the County Assessor's Office. The County Auditor-Controller uses an APN and specific fund numbers to identify properties assessed on the tax roll for special district benefit assessments.

Following consideration of public comments at a noticed public hearing, and following review of the Report, the City Council may confirm the submittal of the Report and may order the levy and collection of assessments for Fiscal Year 2019/20. If approved, the assessment information will be submitted to

the County Auditor-Controller and included on the property tax roll for each benefiting parcel for Fiscal Year 2019/20.

Effect of Proposition 218

On November 5, 1996, California voters approved Proposition 218 by a vote of 56.5% to 43.5%. The provisions of Proposition 218, now California Articles XIII C and XIII D, added substantive and procedural requirements for assessments, which affect the City's landscaping and lighting maintenance assessments.

The Fiscal Year 2019/20 assessment rates for the District are proposed to increase from the Fiscal Year 2018/19 assessment rates but do not exceed the maximum rates after applying the approved escalation factor. The annual rate escalation factor approved by property owners through the assessment balloting procedures set forth in Section 4 of Proposition 218 is the annual San Francisco Bay Area CPI (which increased 4.49% for Fiscal Year 2019/20), or 3%, whichever is greater.

Section 3. PLANS AND SPECIFICATIONS FOR THE IMPROVEMENTS

Description of the District and Services

The District is generally located in the northern part of the City and consists of lots and parcels north of Louise Avenue, west of the Southern Pacific Railroad, east of Interstate 5, and south of the Stonebridge development.

The District currently includes 2,487 parcels. The estimated annual cost to provide and maintain the street lighting improvements within the District has been apportioned to each property in proportion to the special benefits received. The method of apportionment described in this Report utilizes commonly accepted assessment engineering practices and has been established pursuant to the Act and the provisions of Proposition 218.

The improvements and services that provide a special benefit to each assessable property within the District include all public street lighting facilities within the District boundaries that are directly associated with the properties. All street lighting improvements were originally installed either as a part of the original development and subdivision of the properties or for the benefit of specific areas to enhance the lighting in those areas. That portion of the total street lighting costs that provides a general benefit has been identified and is not included in the assessments. These costs will be funded through the City's General Fund. The location of the improvements, zones, and associated benefits are discussed in the following sections.

Zones

To ensure a fair and equitable apportionment of street lighting costs, the District has been divided into seven benefit zones that reflect both the geographical location of properties within the District and the specific lighting improvements associated with the properties in that area. Refer to the District Diagram for details of the District boundary and the various benefit zones. The following is a brief description of the zones.

Zone A – This zone is located in the northwest region of the District, east of Interstate 5, north of Lathrop Road, west of the Woodfield development, and south of the Stonebridge development. This area of the District is commonly referred to as Lathrop Acres and includes mostly rural residential housing.

Zone B – This zone is located in the northeast region of the District, west of the Southern Pacific Railroad, north of Lathrop Road, east of Lathrop Acres, and south of the Stonebridge development. This area of the District is commonly referred to as the Woodfield Area and includes the residential development known as Valley Haven.

Zone C – This zone is located primarily in the eastern region of the District, west of the Southern Pacific Railroad, north of Louise Avenue, and south of Lathrop Road. This Zone includes the areas known as

Old Town, Douglas Acres, and properties located generally east and south of the residential developments of Zones D, E, and F.

Zone D – This zone includes primarily residential tract developments in the south central region of the District, south of Thomsen Road and north of Louise Avenue. This Zone includes the tract developments known as Lathrop Village Homes, Tumbleweed Park, and Halmar Heights #1.

Zone E – This zone includes primarily residential tract developments in the central region of the District, north of Thomsen Road and south of Lathrop Road. This Zone includes the tract developments know as Eagle Park, Rosegate Terrace, Brumley Place, Milestone Manor, Sunset Manor, Sunrise Place, and Wild Flower Estates.

Zone F – This zone is located in the southeast region of the District and includes all residential parcels identified in the Horizon Park development.

Zone G – This zone is located in the southwestern region of the District, south of Lathrop Road, north of Louise Avenue, east of Interstate 5, and west of the residential developments of Zone D and Zone E, excluding those parcels south and west of Harlan Road at Louise Avenue and Interstate 5.

Improvements and Services Provided

As generally defined by the Act and applicable to this District, improvements and the associated assessments may include one of any combination of the following:

- 1) The installation or construction of public lighting facilities, including, but not limited to, traffic signals.
- 2) The installation or construction of any facilities which are appurtenant to any of the foregoing or which are necessary or convenient for the maintenance or servicing thereof.
- 3) The maintenance or servicing, or both, of any of the foregoing including the furnishing of services and materials for the ordinary and usual maintenance, operation, and servicing of any improvement, including, but not limited to:
 - a. Repair, removal, or replacement of all or any part of any improvements;
 - b. The acquisition of any existing improvement otherwise authorized pursuant to this section; and
 - c. Electric current, energy, or other agent for the lighting or operation of any of the improvements.
- 4) Incidental expenses associated with the improvements including, but not limited to:
 - a. The cost of preparation of the report, including plans, specifications, estimates, diagram, and assessment;
 - b. The costs of printing, advertising, and the publishing, posting and mailing of notices;
 - c. Compensation payable to the County for collection of assessments;

- d. Compensation of any engineer or attorney employed to render services;
- e. Any other expenses incidental to the construction, installation, or maintenance and servicing of the improvements; and
- f. Costs associated with any elections held for the approval of a new or increased assessment.

“Public lighting facilities” means all works or improvements used or useful for the lighting of any public places, including ornamental standards, luminaries, poles, supports, tunnels, manholes, vaults, conduits, pipes, wires, conductors, guys, stubs, platforms, braces, transformers, insulators, contacts, switches, capacitors, meters, communication circuits, appliances, attachments, and appurtenances.

“Public places” means one or any combination of the following:

- 1) Any public street, highway, road, alley, lane, boulevard, parkway, or other way dedicated to or used for public use.
- 2) Any public property, right-of-way, or leasehold interest which is in use in the performance of a public function and which adjoins any of the ways described in the preceding sections.

Location and Extent of Improvements

The purpose of the District is to ensure the ongoing maintenance, operation and servicing of local street lighting improvements installed as a result of property development. These improvements include all public street lighting within the District boundary including but not limited to the following streets:

AGUSTA DR	I ST	PRAIRIE DUNES DR
ARIES PL	J ST	QUAKER RIDGE CT
AVON AVE	JACK CT	REIGER DR
AVON ST	JANICE PL	REVERE LN
AZTEC LN	JASPER ST	RUBY CT
BELLA CT	JONQUIL DR	RYHINER LN
BELLA PL	JULIE LN	SAGUARO LN
BIZZIBE ST	K ST	SAINT ANDREW ST
CAMBRIDGE DR	KILARNEY CT	SCHILLING AVE
CAMELBACK ST	L ST	SEDONA LN
CAMISH PL	LARUE CT	SEVENTH ST
CANNELLA CT	LATHROP RD	SHAWN CT
CANNELLA DR	LIBBY LN	SHERRIE CT
CARLETA PL	LISA LN	SHNOOP CT
CASA PL	LONG BARN DR	SHOWLOW LN
CEDAR RIDGE CT	LOTTIE WAY	SILVER CREEK DR
CEDAR VALLEY DR	LOUISE AVE	SIXTH ST
CHANDRA WAY	MAHARAJA DR	SOMOA LN
CHANTILLY CT	MATADOR WAY	SOUTHPORT ST
CHARMAINE CT	MATTHEW CT	STEVEN PL
CHERRY HILLS CT	MAXWELL LN	STONERIDGE CT

Location and Extent of Improvements (cont.)

CLIFFORD DR
DERA WAY
DERBY LN
DIANE CT
EAGLE LN
EASY ST
ETON WAY
FIFTH ST
GAIL DR
GARDNER CT
GARDNER PL
H ST
HALMAR LN
HARBOR CT
HARLAN RD
HOLLYHOCK CT
HONEY PL

MERLSON CT
MILESTONE DR
MINGO WAY
N ST
NOEL LN
O ST
OAKHILLS ST
ORLANDO LN
OSAGE PL
PAMELA CT
PATRICIA PL
PINE VALLEY DR
PINECREST CT
PINECREST ST
PINWOOD DR
POPPY CT
POPPY DR

STRATFORD AVE
SUGAR PINE DR
SUNFLOWER DR
SUNRISE CT
SUNRISE PL
SUZIE Q LN
THOMSEN RD
TORO LN
TUMBLEWEED LN
VALVERDE CT
VILLA REAL CT
WARFIELD RD
WARREN AVE
WILLIAMSTOWNE DR
WOODFIELD DR
WYNONA WAY
ZALMAN LN

Section 4. ESTIMATE OF COSTS

Description of Budget Items

Maintenance & Operations - Includes the following:

Advertising/Legal Notices - Includes the cost of publishing the required legal notices necessary to complete the required procedures for levying the assessments.

Contract Services - Includes professional services necessary for District maintenance, including the computer technical support and the preparation of the Report.

Other Maintenance & Repairs - Includes all labor, material, and equipment costs required to properly maintain the street lighting facilities. This item includes the estimated costs associated with normal repair or replacement of the lighting facilities anticipated for the year.

Utility - Gas & Electric - All utility costs charged for electricity required for street lights.

Fixed Charges (County Administration) - Includes the charges per parcel to collect the assessments on the County Secured Property Tax Roll.

Personnel Services - Includes employee salaries, salary related costs, and employee benefits including retirement, medical benefits, and workers compensation costs, etc.

Indirect Costs - The cost to all pertinent departments and staff of the City for providing the coordination of District services, operations, and maintenance of the District, and response to public concerns and education.

District Budget

The budget for Zone A for Fiscal Year 2019/20 is as follows.

Description	2019/20 Budget
Maintenance & Operations Total	\$8,339.66
Personnel Services Total	160.24
Indirect Costs	<u>976.89</u>
Zone A Total Costs	\$9,476.79

The budget for Zone B for Fiscal Year 2019/20 is as follows.

Description	2019/20 Budget
Maintenance & Operations Total	\$17,909.61
Personnel Services Total	344.11
Indirect Costs	<u>2,097.90</u>
Zone B Total Costs	\$20,351.62

The budget for Zone C for Fiscal Year 2019/20 is as follows.

Description	2019/20 Budget
Maintenance & Operations Total	\$9,458.74
Personnel Services Total	181.73
Indirect Costs	<u>1,107.98</u>
Zone C Total Costs	\$10,748.45

The budget for Zone D for Fiscal Year 2019/20 is as follows.

Description	2019/20 Budget
Maintenance & Operations Total	\$35,108.67
Personnel Services Total	674.57
Indirect Costs	<u>4,112.58</u>
Zone D Total Costs	\$39,895.82

The budget for Zone E for Fiscal Year 2019/20 is as follows.

Description	2019/20 Budget
Maintenance & Operations Total	\$30,633.54
Personnel Services Total	588.59
Indirect Costs	<u>3,588.36</u>
Zone E Total Costs	\$34,810.49

The budget for Zone F for Fiscal Year 2019/20 is as follows.

Description	2019/20 Budget
Maintenance & Operations Total	\$4,419.34
Personnel Services Total	84.92
Indirect Costs	<u>517.68</u>
Zone F Total Costs	\$5,021.94

The budget for Zone G for Fiscal Year 2019/20 is as follows.

Description	2019/20 Budget
Maintenance & Operations Total	\$1,917.44
Personnel Services Total	36.84
Indirect Costs	<u>224.61</u>
Zone G Total Costs	\$2,178.89

Balance to Levy

Total Costs – This is a total of all maintenance and operations, capital costs, personnel service, and indirect costs for the District.

Contribution to (from) Operational Reserves – The Operational Reserves item provides funds by the District to operate the District from the time period of July 1 (beginning of the fiscal year) through

December when the County provides the City with the first installment of assessments collected from the property tax bills. This eliminates the need for the City to transfer funds from non-District accounts to pay for District charges during the first half of the fiscal year. Negative amounts shown here are transfers that are used to reduce the Balance to Levy. Using reserve amounts in this way allows the levy per unit to remain at prior period rates, although District costs have increased.

Other Revenue Sources – Includes the amount of additional funds designated for use by the District that are not from District assessments. These funds are added to the District account to reduce assessments and may be from either non-District sources including City General Fund contributions or District sources including interest earnings.

General Benefit – Contribution from the City to the District to cover the cost of street lighting that has been determined to be a benefit to the general public; rather than a specific benefit to the District.

Balance to Levy – This is the total amount to be levied and collected through assessments for the current fiscal year. The Balance to Levy represents the sum of total direct and indirect costs, reserves, minus any General Fund contributions.

The following table shows the balance to levy for Zone A for the Fiscal Year 2019/20 levy.

Description	Amount
Total Zone A Costs	\$9,476.79
Contribution to (from) Operational Reserves	997.36
Other Revenue Sources	0.00
Less General Benefit	<u>(662.69)</u>
Balance to Levy	\$9,811.46

The following table shows the balance to levy for Zone B for the Fiscal Year 2019/20 levy.

Description	Amount
Total Zone B Costs	\$20,351.62
Contribution to (from) Operational Reserves	2,141.86
Other Revenue Sources	0.00
Less General Benefit	<u>(1,423.14)</u>
Balance to Levy	\$21,070.34

The following table shows the balance to levy for Zone C for the Fiscal Year 2019/20 levy.

Description	Amount
Total Zone C Costs	\$10,748.45
Contribution to (from) Operational Reserves	1,131.19
Other Revenue Sources	0.00
Less General Benefit	<u>(751.60)</u>
Balance to Levy	\$11,128.04

The following table shows the balance to levy for Zone D for the Fiscal Year 2019/20 levy.

Description	Amount
Total Zone D Costs	\$39,895.82
Contribution to (from) Operational Reserves	4,198.73
Other Revenue Sources	0.00
Less General Benefit	<u>(2,789.83)</u>
Balance to Levy	\$41,304.72

The following table shows the balance to levy for Zone E for the Fiscal Year 2019/20 levy.

Description	Amount
Total Zone E Costs	\$34,810.49
Contribution to (from) Operational Reserves	3,663.53
Other Revenue Sources	0.00
Less General Benefit	<u>(2,434.20)</u>
Balance to Levy	\$36,039.82

The following table shows the balance to levy for Zone F for the Fiscal Year 2019/20 levy.

Description	Amount
Total Zone F Costs	\$5,021.94
Contribution to (from) Operational Reserves	528.52
Other Revenue Sources	0.00
Less General Benefit	<u>(351.18)</u>
Balance to Levy	\$5,199.28

The following table shows the balance to levy for Zone G for the Fiscal Year 2019/20 levy.

Description	Amount
Total Zone G Costs	\$2,178.89
Contribution to (from) Operational Reserves	229.31
Other Revenue Sources	0.00
Less General Benefit	<u>(152.36)</u>
Balance to Levy	\$2,255.84

Operational & Maintenance Reserve Information

The following table shows the estimated balance of the Operational and Maintenance Reserves.

Description	Amount
Estimated Beginning Balance - June 30, 2019	\$162,144.15
Contribution to (from) Operational and Maintenance	<u>12,890.50</u>
Estimated Ending Balance - June 30, 2020	\$175,034.65

The reserves are intended to be used and/or accumulated for repair and/or capital replacement, as needed for improvements within the District.

Section 5. METHOD OF APPORTIONMENT

Method of Apportionment

Pursuant to the Act, the costs of the District are apportioned by a formula or method that fairly distributes the net amount to be assessed among all parcels in proportion to benefits received from the improvements. The provisions of Proposition 218 require the City to separate the general benefit from special benefit, since only special benefits may be assessed.

Improvement Benefit Findings

The Budget section of this Report outlines the amount required to be assessed, taking into consideration Other Revenue Sources, to fund the estimated costs to provide all necessary service, operation, administration, maintenance, and level of service required each year to provide street lighting within the District. It has been determined that each assessable parcel within the District receives proportional special benefits from the improvements. All improvements to be maintained and funded through annual assessments were constructed and installed in connection with the development of properties within the District, and each parcel's close and relatively similar proximity to the improvements makes each parcel's special benefit from the improvements similar and proportionate. All of the lots and parcels that receive special benefit from the improvements are included within the District.

General Benefits

The location of each street light within the District has been carefully reviewed to identify the benefits it provides to properties within the District. Although it has been determined that a few street lights within the District provide primarily a general benefit to the public, most of the improvements are a direct result of property development within the District and would otherwise not be required or necessary. The costs associated with street lighting facilities identified primarily as general benefit lighting are not assessed against properties within the District. Local street lighting improvements are typically installed to enhance the safety, marketability and value of the surrounding properties. Although these improvements (by virtue of their location), may be visible to properties outside the District or provide illumination for the general public when they drive the streets, the continued operation of these facilities are clearly for the benefit of the properties and property owners within the District.

However, several street lights have been identified as providing both a general benefit to the public at large as well as a direct and special benefit to properties within the various Zones. These street lights are generally located on Louise Avenue, Lathrop Road, Harlan Road, and the Community Center and the costs associated with these street lights have been apportioned 50% special benefit to the respective Zones and 50% as general benefit.

Special Benefits

The method of apportionment is based on the premise that each of the assessed parcels within the District and Zones receives benefit from the improvements maintained and financed by District assessments. Specifically, the assessments associated with each Zone are for the maintenance of local street lighting improvements associated with the parcels within the Zones. The desirability and security of properties within each Zone is enhanced by the presence of street lighting in close proximity to those properties.

Street lighting improvements may include all energy costs and necessary maintenance to the facilities related thereto. The annual assessments outlined in this Report are proposed to cover the estimated costs to provide all necessary service, operation, administration, and maintenance required each year to keep these improvements in a satisfactory condition.

The special benefits of street lighting are the convenience, safety, and security of property, improvements, and goods. Specifically:

1. Enhanced accessibility to properties aiding in fire and police protection.
2. Reduced criminal activity and property-related crimes especially vandalism and other damages to personal property and improvements.
3. Increased nighttime safety on roads and highways.
4. Improved visibility for pedestrians and motorists.
5. Improved ingress and egress to property.
6. Enhanced desirability of properties through association with the improvements.
7. Improved traffic circulation and reduced nighttime accidents and personal property loss.
8. Increased promotion of business during nighttime hours for non-residential properties.

All of the preceding special benefits contribute to a specific enhancement and desirability of each of the assessed parcels within the District/Zone, and thereby provide a special enhancement of property values.

Description of the Method of Apportionment

The District provides maintenance and operation of specific local lighting improvements and associated appurtenances located within the public right-of-ways in each of the various Zones throughout the District. The annual assessments are based on the historical and estimated cost to maintain the improvements that provide a special benefit to properties within the District and Zones.

The assessments outlined in this section represent the proportionate special benefit to each property within the District and the basis of calculating each parcel's proportionate share of the annual costs associated with the District/Zone improvements. The costs associated with the maintenance and operation of special benefit improvements will be collected through annual assessments from each

parcel receiving such benefit. The funds collected will be dispersed and used only for the services and operation provided to the District.

The basis of determining each parcel’s special benefit utilizes a weighting formula commonly known as an Equivalent Dwelling Unit (“EDU”). A developed single family residential parcel is used as the base unit for calculation of assessments and is defined as one (1.00) EDU. All other property types are assigned an EDU that reflects their proportional special benefit from the improvements as compared to the single family residential parcel (weighted comparison).

To determine the EDU for non-residential parcels, unimproved residential parcels, and multiple-residential parcels a Benefit Unit Factor (“BUF”) is assigned to each property type. This BUF multiplied by either the parcel’s specific acreage or residential units determines the parcel’s specific EDU. For those non-residential parcels and unimproved parcels that are less than 0.25 acres, the corresponding BUF is multiplied by a minimum acreage of 0.25 acres. For those non-residential parcels and unimproved parcels that are greater than 10.00 acres the corresponding BUF is multiplied by a maximum of 10.00 acres.

The following table provides a listing of the various land use types and the corresponding BUF used to calculate a parcel’s EDU and proportionate benefit.

Property Type/ Land Use	Benefit Units Assigned
Single Family Residential	1.00 per Unit
Multi-family Residential	0.70 per Unit
Vacant Land	1.00 per Acre
Non-Residential Developed	4.00 per Acre
Non-Residential with Limited Development	2.00 per Acre
Vacant Land with Limited/Restricted Development	0.50 per Acre
Exempt	0.00

Non-Residential Developed – includes all land uses identified as commercial or industrial properties, but also includes churches and mobile home parks.

Non-Residential with Limited Development – includes land uses identified as commercial type use, but either has restricted development potential or a large portion of the parcel is considered vacant land (i.e. school site, recreational facilities, etc).

Vacant Land with Limited/Restricted Development – includes land uses identified as vacant type land, but either have very restricted development potential or limited use (i.e. school site, recreational facilities, etc).

Exempt – may include, but are not limited to, bifurcated residential lots, sliver parcels, dedicated easements that have no development potential, and properties not designated by an APN such as streets, utility easements, or rights-of-way. These types of properties receive no special benefit from street lighting improvements and are not assessed for District improvements. Properties that are identified as non-taxable by the County Assessor’s Office such as government owned or utility owned

properties are not exempt from District assessments. These properties are often identified as either Non-Residential with Limited Development or Vacant Land with Limited/Restricted Development and the BUF and corresponding EDU assigned to these types of properties reflect their reduced benefit from the improvements.

As noted previously, to establish a reasonable, fair, and consistent method of apportioning special benefit to each parcel within the District, the District has been divided into Zones. These zones encompass specific lighting improvements and only the properties that receive a direct and special benefit from those improvements are assessed. The basis of benefit and proportionate assessment for all properties within the District is established by each parcel's calculated EDU and their proportionate share of the improvement costs based on their proportionate EDU within the Zone. The method used to calculate the assessments for each Zone is as follows:

$$\text{Total Balance to Levy} / \text{Total EDU} = \text{Levy per EDU (Levy Rate)}$$

$$\text{Parcel's EDU} \times \text{Levy per EDU (Levy Rate)} = \text{Parcel Levy Amount}$$

Assessment Range Formula

In accordance with Proposition 218, any new or increased assessment requires certain noticing action and a public hearing. Prior to the passage of Proposition 218, legislative changes in the Brown Act defined the definition of "new or increased assessment" to exclude certain conditions. These conditions included "any assessment that does not exceed an assessment formula or range of assessments previously adopted by the City or approved by the voters in the area where the assessment is imposed." This definition and conditions were later confirmed through SB919 (Proposition 218 implementing legislation).

The purpose of establishing an assessment range formula is to provide for reasonable increases and inflationary adjustments to annual assessments without requiring costly noticing and mailing procedures, which could add to the District costs and assessments. As part of the District's proposed assessment for Fiscal Year 1999/00, balloting of property owners was required, pursuant to Proposition 218. The property owner ballots included an assessment to be approved, as well as the approval of an assessment range formula. Property owners within the District approved the proposed assessment and the assessment range formula.

The assessment range formula will be applied to all future assessments within the District. If the proposed annual assessment (levy per unit or rate) for the current fiscal year is less than or equal to the "Maximum Assessment" (or "Adjusted Maximum Assessment"), then the proposed annual assessment is not considered an increased assessment. The Maximum Assessment is equal to the initial assessment approved by property owners adjusted annually by the following formula:

1. Beginning in the second Fiscal Year (Fiscal Year 2000/01) and each fiscal year thereafter, the Maximum Assessment will be recalculated annually.

2. The new Adjusted Maximum Assessment for the year equals the prior year's Maximum Assessment adjusted by the greater of:
 - a. Three percent (3.0%); or
 - b. The annual increase in the Consumer Price Index ("CPI").

Each year the City shall compute the annual increase in the CPI. The increase in CPI is the percentage difference between the CPI on January 1, of the current year and the CPI for the previous January 1 (or for a similar period of time) as provided and established by the Bureau of Labor Statistics. This percentage difference (annual difference) shall then establish the allowed increase based on CPI. The CPI used shall be based on the CPI established by the Bureau of Labor Statistics for all urban consumers for the San Francisco-Oakland-San Jose Area. Should the Bureau of Labor Statistics revise such index or discontinue the preparation of such index, the City shall use the revised index or comparable system as approved by the City Council for determining fluctuations in the cost of living.

If CPI is less than three percent (3.0%), then the adjustment to the Maximum Assessment is three percent (3.0%). If CPI is greater than three percent (3.0%), then the adjustment to the Maximum Assessment is based on CPI. The Maximum Assessment is adjusted annually and is calculated independent of the District's annual budget and proposed annual assessment. Any proposed annual assessment (rate per levy unit) less than or equal to this Maximum Assessment is not considered an increased assessment, even if the proposed assessment is greater than the assessment applied in the prior Fiscal Year.

The Maximum Assessment will be recalculated and adjusted annually. However, the City Council may reduce or freeze the Actual Assessment at any time by amending the annual Engineer's Report.

The annual increase in the CPI for 2019 is 4.49%; therefore, the escalation factor for the Maximum Assessment for Fiscal Year 2019/20 is 4.49%.

Assessment Per EDU

Total Equivalent Dwelling Unit – EDU is a numeric value calculated for each parcel based on the parcel's land use. The EDU shown in the District/Zone budget represents the total of all parcels that receive benefit from the improvements.

Assessment per EDU – This amount represents the rate being applied to each parcel's individual EDU. The Assessment per EDU is the result of dividing the total Balance to Levy by the sum of the Zone EDU for the fiscal year.

The assessment has been calculated in accordance with the assessment methodology adopted and approved by the City Council at the time of District formation.

The following table shows the total assessment per EDU for Zone A for the Fiscal Year 2019/20 levy.

Description	Amount
Balance to Levy (1)	\$9,811.46
Total EDU - Zone A	228.1610
Total Assessment Per EDU	\$43.01
Maximum Assessment Per EDU	\$43.01

(1) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.

The following table shows the total assessment per EDU for Zone B for the Fiscal Year 2019/20 levy.

Description	Amount
Balance to Levy (1)	\$21,070.34
Total EDU - Zone B	457.2535
Total Assessment Per EDU	\$46.09
Maximum Assessment Per EDU	\$46.09

(1) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.

The following table shows the total assessment per EDU for Zone C for the Fiscal Year 2019/20 levy.

Description	Amount
Balance to Levy (1)	\$11,128.04
Total EDU - Zone C	367.2680
Total Assessment Per EDU	\$30.30
Maximum Assessment Per EDU	\$30.30

(1) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.

The following table shows the total assessment per EDU for Zone D for the Fiscal Year 2019/20 levy.

Description	Amount
Balance to Levy (1)	\$41,304.72
Total EDU - Zone D	732.8600
Total Assessment Per EDU	\$56.37
Maximum Assessment Per EDU	\$56.37

(1) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.

The following table shows the total assessment per EDU for Zone E for the Fiscal Year 2019/20 levy.

Description	Amount
Balance to Levy (1)	\$36,039.82
Total EDU - Zone E	608.1670
Total Assessment Per EDU	\$59.26
Maximum Assessment Per EDU	\$59.26

(1) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.

The following table shows the total assessment per EDU for Zone F for the Fiscal Year 2019/20 levy.

Description	Amount
Balance to Levy (1)	\$5,199.28
Total EDU - Zone F	152.5610
Total Assessment Per EDU	\$34.08
Maximum Assessment Per EDU	\$34.08

(1) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.

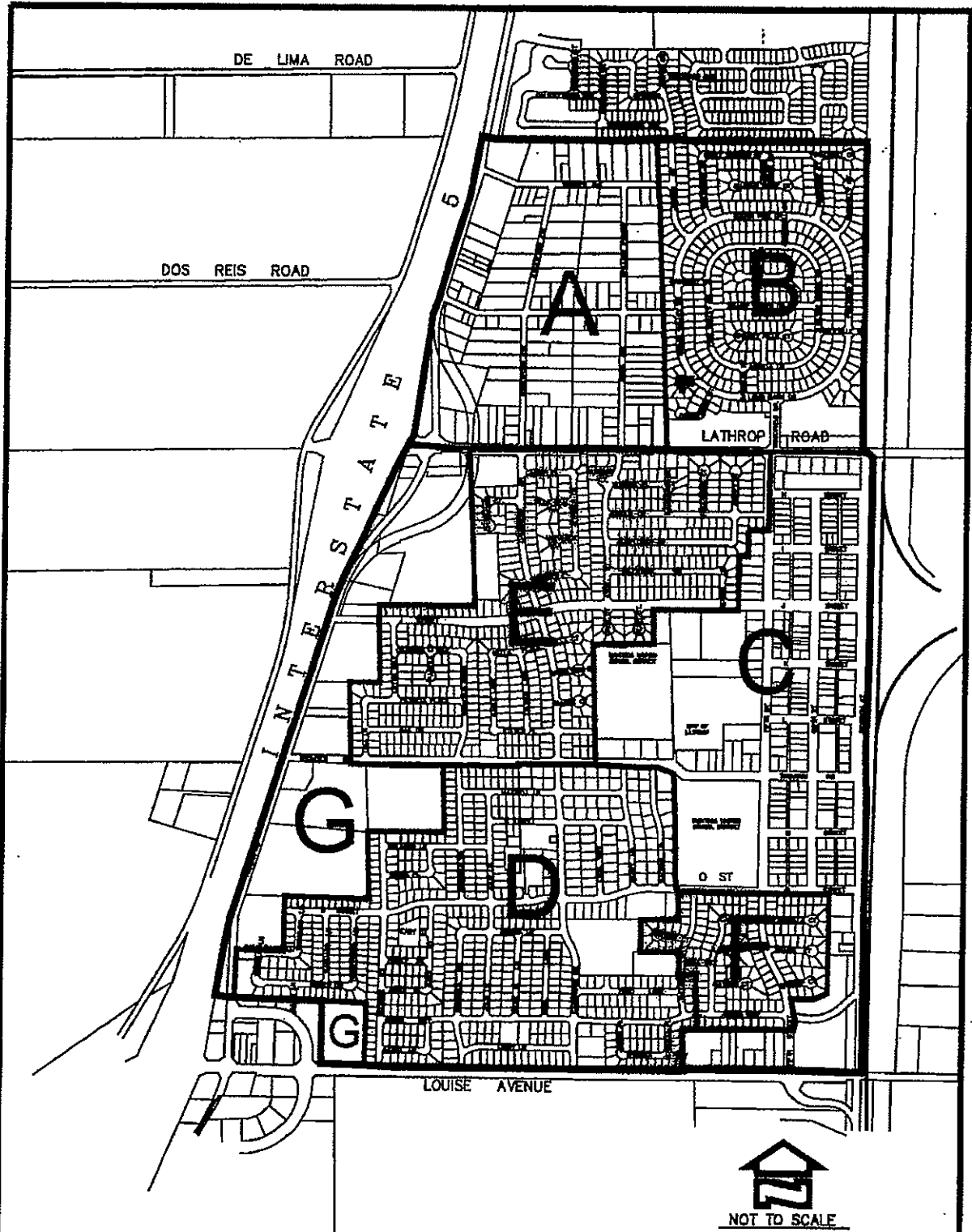
The following table shows the total assessment per EDU for Zone G for the Fiscal Year 2019/20 levy.

Description	Amount
Balance to Levy (1)	\$2,255.84
Total EDU - Zone G	289.7130
Total Assessment Per EDU	\$7.79
Maximum Assessment Per EDU	\$7.79

(1) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.

Section 6. DISTRICT DIAGRAM

Reference is made to the District Diagram on file with the City Clerk. The following pages provide the boundaries of the District. The lines and dimensions shown on maps of the County Assessor for the current year are incorporated by reference and made part of this Report.



City of Lathrop
Residential Lighting District



Date: March 1999

Section 7. PARCEL LISTING

The parcel listing of assessments is provided on the following pages. The description of each lot or parcel is a part of the records of the County Assessor and is incorporated by reference and made part of this Report.

CITY OF LATHROP
RESIDENTIAL LIGHTING MAINTENANCE DISTRICT
FISCAL YEAR 2019/20
PARCEL LISTING

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
A	196-050-020-000	SFR	0.384	1.000	1.0	1.0000	\$43.01	\$43.00
A	196-050-040-000	SFR	0.237	1.000	1.0	1.0000	43.01	43.00
A	196-050-050-000	SFR	1.002	1.000	1.0	1.0000	43.01	43.00
A	196-050-090-000	SFR	0.999	1.000	1.0	1.0000	43.01	43.00
A	196-050-100-000	SFR	0.999	1.000	1.0	1.0000	43.01	43.00
A	196-050-110-000	SFR	0.633	1.000	1.0	1.0000	43.01	43.00
A	196-050-120-000	SFR	0.633	1.000	1.0	1.0000	43.01	43.00
A	196-050-130-000	SFR	0.647	1.000	1.0	1.0000	43.01	43.00
A	196-050-140-000	SFR	0.172	1.000	1.0	1.0000	43.01	43.00
A	196-050-150-000	SFR	0.995	1.000	1.0	1.0000	43.01	43.00
A	196-050-160-000	SFR	1.045	1.000	1.0	1.0000	43.01	43.00
A	196-050-170-000	VAC	1.037	1.037	1.0	1.0370	43.01	44.60
A	196-050-180-000	SFR	0.996	1.000	1.0	1.0000	43.01	43.00
A	196-050-190-000	SFR	1.041	1.000	1.0	1.0000	43.01	43.00
A	196-050-200-000	VAC-RESTR DEV	1.000	1.000	0.5	0.5000	43.01	21.50
A	196-050-230-000	SFR	0.259	1.000	1.0	1.0000	43.01	43.00
A	196-050-240-000	SFR	0.383	1.000	1.0	1.0000	43.01	43.00
A	196-050-250-000	VAC	0.259	0.259	1.0	0.2590	43.01	11.14
A	196-050-260-000	SFR	0.279	1.000	1.0	1.0000	43.01	43.00
A	196-050-270-000	SFR	0.988	1.000	1.0	1.0000	43.01	43.00
A	196-050-280-000	SFR	0.968	1.000	1.0	1.0000	43.01	43.00
A	196-050-290-000	MFR	0.995	4.000	0.7	2.8000	43.01	120.42
A	196-050-300-000	SFR	0.974	1.000	1.0	1.0000	43.01	43.00
A	196-050-310-000	SFR	0.995	1.000	1.0	1.0000	43.01	43.00
A	196-050-320-000	VAC	0.972	0.972	1.0	0.9720	43.01	41.80
A	196-050-330-000	VAC	0.999	0.999	1.0	0.9990	43.01	42.96
A	196-050-340-000	SFR	0.990	1.000	1.0	1.0000	43.01	43.00
A	196-050-350-000	SFR	1.008	1.000	1.0	1.0000	43.01	43.00
A	196-050-360-000	SFR	1.013	1.000	1.0	1.0000	43.01	43.00
A	196-050-370-000	SFR	0.357	1.000	1.0	1.0000	43.01	43.00
A	196-050-380-000	SFR	0.199	1.000	1.0	1.0000	43.01	43.00
A	196-050-390-000	SFR	0.204	1.000	1.0	1.0000	43.01	43.00
A	196-050-400-000	SFR	0.528	1.000	1.0	1.0000	43.01	43.00
A	196-050-410-000	SFR	0.530	1.000	1.0	1.0000	43.01	43.00
A	196-050-420-000	MFR	0.530	2.000	0.7	1.4000	43.01	60.20
A	196-050-430-000	SFR	0.530	1.000	1.0	1.0000	43.01	43.00
A	196-050-440-000	SFR	0.530	1.000	1.0	1.0000	43.01	43.00
A	196-050-450-000	SFR	0.268	1.000	1.0	1.0000	43.01	43.00
A	196-050-460-000	SFR	0.259	1.000	1.0	1.0000	43.01	43.00
A	196-050-490-000	SFR	0.298	1.000	1.0	1.0000	43.01	43.00
A	196-050-500-000	NON-RES	1.030	1.030	4.0	4.1200	43.01	177.20
A	196-050-510-000	SFR	1.008	1.000	1.0	1.0000	43.01	43.00
A	196-050-520-000	SFR	1.029	1.000	1.0	1.0000	43.01	43.00
A	196-050-530-000	SFR	1.015	1.000	1.0	1.0000	43.01	43.00
A	196-050-540-000	MFR	0.999	2.000	0.7	1.4000	43.01	60.20
A	196-050-560-000	SFR	0.247	1.000	1.0	1.0000	43.01	43.00
A	196-050-570-000	SFR	0.247	1.000	1.0	1.0000	43.01	43.00
A	196-050-580-000	SFR	0.242	1.000	1.0	1.0000	43.01	43.00
A	196-050-590-000	SFR	0.179	1.000	1.0	1.0000	43.01	43.00
A	196-050-600-000	SFR	0.364	1.000	1.0	1.0000	43.01	43.00
A	196-050-610-000	SFR	0.170	1.000	1.0	1.0000	43.01	43.00
A	196-050-620-000	VAC	0.136	0.250	1.0	0.2500	43.01	10.74
A	196-050-630-000	SFR	0.128	1.000	1.0	1.0000	43.01	43.00
A	196-050-640-000	SFR	0.161	1.000	1.0	1.0000	43.01	43.00
A	196-050-660-000	SFR	0.148	1.000	1.0	1.0000	43.01	43.00
A	196-050-680-000	SFR	0.144	1.000	1.0	1.0000	43.01	43.00
A	196-050-690-000	VAC	1.548	1.548	1.0	1.5480	43.01	66.58

CITY OF LATHROP
RESIDENTIAL LIGHTING MAINTENANCE DISTRICT
FISCAL YEAR 2019/20
PARCEL LISTING

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
A	196-050-700-000	SFR	0.185	1.000	1.0	1.0000	43.01	43.00
A	196-050-710-000	VAC	0.193	0.250	1.0	0.2500	43.01	10.74
A	196-060-010-000	MFR	0.217	2.000	0.7	1.4000	43.01	60.20
A	196-060-020-000	MFR	0.217	2.000	0.7	1.4000	43.01	60.20
A	196-060-030-000	MFR	0.217	2.000	0.7	1.4000	43.01	60.20
A	196-060-040-000	SFR	0.176	1.000	1.0	1.0000	43.01	43.00
A	196-060-050-000	MFR	0.165	2.000	0.7	1.4000	43.01	60.20
A	196-070-010-000	LTD DEV	1.790	1.790	2.0	3.5800	43.01	153.98
A	196-070-030-000	EXEMPT	0.141	0.000	0.0	0.0000	43.01	0.00
A	196-070-040-000	EXEMPT	0.458	0.000	0.0	0.0000	43.01	0.00
A	196-070-050-000	LTD DEV	0.672	0.672	2.0	1.3440	43.01	57.80
A	196-070-070-000	SFR	0.114	1.000	1.0	1.0000	43.01	43.00
A	196-070-080-000	SFR	0.114	1.000	1.0	1.0000	43.01	43.00
A	196-070-090-000	SFR	0.161	1.000	1.0	1.0000	43.01	43.00
A	196-070-100-000	SFR	0.166	1.000	1.0	1.0000	43.01	43.00
A	196-070-110-000	VAC	0.320	0.320	1.0	0.3200	43.01	13.76
A	196-070-120-000	SFR	0.240	1.000	1.0	1.0000	43.01	43.00
A	196-070-140-000	SFR	1.030	1.000	1.0	1.0000	43.01	43.00
A	196-070-150-000	SFR	0.350	1.000	1.0	1.0000	43.01	43.00
A	196-070-160-000	NON-RES	0.172	0.250	4.0	1.0000	43.01	43.00
A	196-070-170-000	VAC	0.149	0.250	1.0	0.2500	43.01	10.74
A	196-070-180-000	SFR	0.149	1.000	1.0	1.0000	43.01	43.00
A	196-070-190-000	SFR	0.172	1.000	1.0	1.0000	43.01	43.00
A	196-070-200-000	SFR	0.688	1.000	1.0	1.0000	43.01	43.00
A	196-070-210-000	NON-RES	0.819	0.819	4.0	3.2760	43.01	140.90
A	196-070-220-000	NON-RES	3.000	3.000	4.0	12.0000	43.01	516.12
A	196-070-240-000	NON-RES	0.980	0.980	4.0	3.9200	43.01	168.60
A	196-070-250-000	NON-RES	0.703	0.703	4.0	2.8120	43.01	120.94
A	196-070-270-000	EXEMPT	0.229	0.000	0.0	0.0000	43.01	0.00
A	196-070-280-000	SFR	0.114	1.000	1.0	1.0000	43.01	43.00
A	196-070-290-000	SFR	0.114	1.000	1.0	1.0000	43.01	43.00
A	196-070-300-000	NON-RES	1.628	1.628	4.0	6.5120	43.01	280.08
A	196-080-010-000	SFR	0.159	1.000	1.0	1.0000	43.01	43.00
A	196-080-020-000	SFR	0.265	1.000	1.0	1.0000	43.01	43.00
A	196-080-030-000	SFR	0.449	1.000	1.0	1.0000	43.01	43.00
A	196-080-040-000	SFR	1.120	1.000	1.0	1.0000	43.01	43.00
A	196-080-050-000	SFR	1.170	1.000	1.0	1.0000	43.01	43.00
A	196-080-070-000	SFR	0.694	1.000	1.0	1.0000	43.01	43.00
A	196-080-160-000	SFR	0.250	1.000	1.0	1.0000	43.01	43.00
A	196-080-170-000	SFR	0.250	1.000	1.0	1.0000	43.01	43.00
A	196-080-180-000	SFR	0.247	1.000	1.0	1.0000	43.01	43.00
A	196-080-190-000	SFR	0.252	1.000	1.0	1.0000	43.01	43.00
A	196-080-210-000	SFR	1.000	1.000	1.0	1.0000	43.01	43.00
A	196-080-220-000	SFR	0.500	1.000	1.0	1.0000	43.01	43.00
A	196-080-230-000	SFR	0.500	1.000	1.0	1.0000	43.01	43.00
A	196-080-240-000	SFR	1.000	1.000	1.0	1.0000	43.01	43.00
A	196-080-260-000	SFR	1.500	1.000	1.0	1.0000	43.01	43.00
A	196-080-270-000	SFR	0.500	1.000	1.0	1.0000	43.01	43.00
A	196-080-280-000	VAC	0.318	0.318	1.0	0.3180	43.01	13.68
A	196-080-290-000	NON-RES	0.120	0.250	4.0	1.0000	43.01	43.00
A	196-080-300-000	SFR	0.500	1.000	1.0	1.0000	43.01	43.00
A	196-080-310-000	MFR	1.000	3.000	0.7	2.1000	43.01	90.32
A	196-080-320-000	SFR	1.000	1.000	1.0	1.0000	43.01	43.00
A	196-080-330-000	SFR	0.247	1.000	1.0	1.0000	43.01	43.00
A	196-080-340-000	SFR	0.250	1.000	1.0	1.0000	43.01	43.00
A	196-080-350-000	SFR	0.500	1.000	1.0	1.0000	43.01	43.00
A	196-080-360-000	SFR	1.000	1.000	1.0	1.0000	43.01	43.00

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
A	196-080-380-000	SFR	1.000	1.000	1.0	1.0000	43.01	43.00
A	196-080-390-000	SFR	1.080	1.000	1.0	1.0000	43.01	43.00
A	196-080-400-000	SFR	1.000	1.000	1.0	1.0000	43.01	43.00
A	196-080-410-000	SFR	1.000	1.000	1.0	1.0000	43.01	43.00
A	196-080-420-000	SFR	0.484	1.000	1.0	1.0000	43.01	43.00
A	196-080-430-000	MFR	0.515	2.000	0.7	1.4000	43.01	60.20
A	196-080-440-000	SFR	1.000	1.000	1.0	1.0000	43.01	43.00
A	196-080-450-000	SFR	0.248	1.000	1.0	1.0000	43.01	43.00
A	196-080-460-000	SFR	0.251	1.000	1.0	1.0000	43.01	43.00
A	196-080-470-000	SFR	0.234	1.000	1.0	1.0000	43.01	43.00
A	196-080-480-000	SFR	0.263	1.000	1.0	1.0000	43.01	43.00
A	196-080-490-000	SFR	0.286	1.000	1.0	1.0000	43.01	43.00
A	196-080-500-000	MFR	0.287	2.000	0.7	1.4000	43.01	60.20
A	196-080-510-000	MFR	0.298	2.000	0.7	1.4000	43.01	60.20
A	196-080-520-000	SFR	0.941	1.000	1.0	1.0000	43.01	43.00
A	196-080-530-000	VAC	0.500	0.500	1.0	0.5000	43.01	21.50
A	196-080-540-000	SFR	0.500	1.000	1.0	1.0000	43.01	43.00
A	196-080-550-000	MFR	0.500	2.000	0.7	1.4000	43.01	60.20
A	196-080-560-000	MFR	0.492	2.000	0.7	1.4000	43.01	60.20
A	196-080-570-000	MFR	0.473	2.000	0.7	1.4000	43.01	60.20
A	196-080-580-000	MFR	0.479	4.000	0.7	2.8000	43.01	120.42
A	196-080-590-000	SFR	0.479	1.000	1.0	1.0000	43.01	43.00
A	196-080-600-000	SFR	0.348	1.000	1.0	1.0000	43.01	43.00
A	196-080-610-000	MFR	0.500	2.000	0.7	1.4000	43.01	60.20
A	196-080-620-000	SFR	0.333	1.000	1.0	1.0000	43.01	43.00
A	196-080-630-000	SFR	0.151	1.000	1.0	1.0000	43.01	43.00
A	196-080-640-000	MFR	0.500	2.000	0.7	1.4000	43.01	60.20
A	196-080-650-000	SFR	0.458	1.000	1.0	1.0000	43.01	43.00
A	196-080-660-000	SFR	1.033	1.000	1.0	1.0000	43.01	43.00
A	196-080-670-000	VAC	0.151	0.250	1.0	0.2500	43.01	10.74
A	196-080-680-000	VAC	0.169	0.250	1.0	0.2500	43.01	10.74
A	196-080-690-000	SFR	0.179	1.000	1.0	1.0000	43.01	43.00
A	196-080-700-000	VAC	1.162	1.162	1.0	1.1620	43.01	49.98
A	196-080-710-000	NON-RES	0.860	0.860	4.0	3.4400	43.01	147.94
A	196-080-720-000	VAC	0.250	0.250	1.0	0.2500	43.01	10.74
A	196-080-730-000	SFR	0.750	1.000	1.0	1.0000	43.01	43.00
A	196-080-740-000	EXEMPT	0.000	0.000	0.0	0.0000	43.01	0.00
A	196-080-770-000	NON-RES	2.020	2.020	4.0	8.0800	43.01	347.52
A	196-080-780-000	VAC	0.559	0.559	1.0	0.5590	43.01	24.04
A	196-080-790-000	VAC	0.803	0.803	1.0	0.8030	43.01	34.54
A	196-080-800-000	SFR	0.696	1.000	1.0	1.0000	43.01	43.00
A	196-740-010-000	MFR	0.039	1.000	0.7	0.7000	43.01	30.10
A	196-740-020-000	MFR	0.039	1.000	0.7	0.7000	43.01	30.10
A	196-740-030-000	MFR	0.039	1.000	0.7	0.7000	43.01	30.10
A	196-740-040-000	MFR	0.039	1.000	0.7	0.7000	43.01	30.10
A	196-740-050-000	MFR	0.039	1.000	0.7	0.7000	43.01	30.10
A	196-740-060-000	MFR	0.039	1.000	0.7	0.7000	43.01	30.10
A	196-740-070-000	MFR	0.039	1.000	0.7	0.7000	43.01	30.10
A	196-740-080-000	MFR	0.039	1.000	0.7	0.7000	43.01	30.10
A	196-740-090-000	MFR	0.039	1.000	0.7	0.7000	43.01	30.10
A	196-740-100-000	EXEMPT	0.987	0.000	0.0	0.0000	43.01	0.00
A	196-760-010-000	SFR	0.119	1.000	1.0	1.0000	43.01	43.00
A	196-760-020-000	SFR	0.116	1.000	1.0	1.0000	43.01	43.00
A	196-760-030-000	SFR	0.116	1.000	1.0	1.0000	43.01	43.00
A	196-760-040-000	SFR	0.115	1.000	1.0	1.0000	43.01	43.00
A	196-760-050-000	SFR	0.116	1.000	1.0	1.0000	43.01	43.00
A	196-760-060-000	SFR	0.116	1.000	1.0	1.0000	43.01	43.00

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
A	196-760-070-000	SFR	0.116	1.000	1.0	1.0000	43.01	43.00
A	196-760-080-000	SFR	0.152	1.000	1.0	1.0000	43.01	43.00
A	196-760-090-000	SFR	0.168	1.000	1.0	1.0000	43.01	43.00
A	196-760-100-000	SFR	0.118	1.000	1.0	1.0000	43.01	43.00
A	196-760-110-000	SFR	0.115	1.000	1.0	1.0000	43.01	43.00
A	196-760-120-000	SFR	0.120	1.000	1.0	1.0000	43.01	43.00
A	196-760-130-000	SFR	0.123	1.000	1.0	1.0000	43.01	43.00
A	196-760-140-000	SFR	0.140	1.000	1.0	1.0000	43.01	43.00
A	196-760-150-000	SFR	0.115	1.000	1.0	1.0000	43.01	43.00
A	196-760-160-000	SFR	0.114	1.000	1.0	1.0000	43.01	43.00
A	196-760-170-000	SFR	0.114	1.000	1.0	1.0000	43.01	43.00
A	196-760-180-000	SFR	0.114	1.000	1.0	1.0000	43.01	43.00
A	196-760-190-000	SFR	0.120	1.000	1.0	1.0000	43.01	43.00
A	196-760-200-000	SFR	0.132	1.000	1.0	1.0000	43.01	43.00
A	196-760-210-000	SFR	0.114	1.000	1.0	1.0000	43.01	43.00
A	196-760-220-000	SFR	0.114	1.000	1.0	1.0000	43.01	43.00
A	196-760-230-000	SFR	0.114	1.000	1.0	1.0000	43.01	43.00
A	196-760-240-000	SFR	0.114	1.000	1.0	1.0000	43.01	43.00
A	196-760-250-000	SFR	0.142	1.000	1.0	1.0000	43.01	43.00
A	196-760-260-000	SFR	0.148	1.000	1.0	1.0000	43.01	43.00
A	196-760-300-000	SFR	0.167	1.000	1.0	1.0000	43.01	43.00
A	196-760-310-000	SFR	0.147	1.000	1.0	1.0000	43.01	43.00
A	196-760-320-000	SFR	0.260	1.000	1.0	1.0000	43.01	43.00
A	196-070-130-000	EXEMPT	0.060	0.000	0.0	0.0000	43.01	0.00
A	196-070-230-000	EXEMPT	0.040	0.000	0.0	0.0000	43.01	0.00
SUBTOTAL:		196 PARCELS				228.1610		\$9,811.46

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Rate	Levy
B	196-040-070-000	VAC-RESTR DEV	1.054	1.054	0.5	0.5270	\$46.09	\$24.28
B	196-040-080-000	VAC-RESTR DEV	0.851	0.851	0.5	0.4255	46.09	19.60
B	196-040-090-000	VAC-RESTR DEV	2.380	2.380	0.5	1.1900	46.09	54.84
B	196-040-100-000	VAC-RESTR DEV	1.166	1.166	0.5	0.5830	46.09	26.86
B	196-040-110-000	LTD DEV	4.800	4.800	2.0	9.6000	46.09	442.46
B	196-040-120-000	VAC-RESTR DEV	0.137	0.250	0.5	0.1250	46.09	5.76
B	196-040-130-000	LTD DEV	1.339	1.339	2.0	2.6780	46.09	123.42
B	196-090-010-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-020-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-030-000	SFR	0.146	1.000	1.0	1.0000	46.09	46.08
B	196-090-040-000	SFR	0.152	1.000	1.0	1.0000	46.09	46.08
B	196-090-050-000	SFR	0.155	1.000	1.0	1.0000	46.09	46.08
B	196-090-060-000	SFR	0.155	1.000	1.0	1.0000	46.09	46.08
B	196-090-070-000	SFR	0.155	1.000	1.0	1.0000	46.09	46.08
B	196-090-080-000	SFR	0.158	1.000	1.0	1.0000	46.09	46.08
B	196-090-090-000	SFR	0.173	1.000	1.0	1.0000	46.09	46.08
B	196-090-100-000	SFR	0.146	1.000	1.0	1.0000	46.09	46.08
B	196-090-110-000	SFR	0.144	1.000	1.0	1.0000	46.09	46.08
B	196-090-120-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-130-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-140-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-150-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-160-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-170-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-180-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-190-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-200-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-210-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
B	196-090-220-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-230-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-240-000	SFR	0.144	1.000	1.0	1.0000	46.09	46.08
B	196-090-250-000	SFR	0.148	1.000	1.0	1.0000	46.09	46.08
B	196-090-260-000	SFR	0.141	1.000	1.0	1.0000	46.09	46.08
B	196-090-270-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-280-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-290-000	SFR	0.144	1.000	1.0	1.0000	46.09	46.08
B	196-090-300-000	SFR	0.144	1.000	1.0	1.0000	46.09	46.08
B	196-090-310-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-320-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-330-000	SFR	0.145	1.000	1.0	1.0000	46.09	46.08
B	196-090-340-000	SFR	0.147	1.000	1.0	1.0000	46.09	46.08
B	196-090-350-000	SFR	0.148	1.000	1.0	1.0000	46.09	46.08
B	196-090-360-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-370-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-380-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-390-000	SFR	0.199	1.000	1.0	1.0000	46.09	46.08
B	196-090-400-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-090-410-000	SFR	0.141	1.000	1.0	1.0000	46.09	46.08
B	196-090-420-000	SFR	0.144	1.000	1.0	1.0000	46.09	46.08
B	196-090-430-000	SFR	0.144	1.000	1.0	1.0000	46.09	46.08
B	196-090-440-000	SFR	0.144	1.000	1.0	1.0000	46.09	46.08
B	196-090-450-000	SFR	0.144	1.000	1.0	1.0000	46.09	46.08
B	196-090-460-000	SFR	0.141	1.000	1.0	1.0000	46.09	46.08
B	196-090-470-000	SFR	0.139	1.000	1.0	1.0000	46.09	46.08
B	196-090-480-000	SFR	0.206	1.000	1.0	1.0000	46.09	46.08
B	196-090-490-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-090-500-000	SFR	0.140	1.000	1.0	1.0000	46.09	46.08
B	196-090-510-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-520-000	SFR	0.144	1.000	1.0	1.0000	46.09	46.08
B	196-090-530-000	SFR	0.152	1.000	1.0	1.0000	46.09	46.08
B	196-090-540-000	SFR	0.147	1.000	1.0	1.0000	46.09	46.08
B	196-090-550-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-560-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-090-570-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-090-580-000	SFR	0.143	1.000	1.0	1.0000	46.09	46.08
B	196-090-590-000	SFR	0.149	1.000	1.0	1.0000	46.09	46.08
B	196-090-600-000	SFR	0.140	1.000	1.0	1.0000	46.09	46.08
B	196-090-610-000	SFR	0.140	1.000	1.0	1.0000	46.09	46.08
B	196-090-620-000	SFR	0.140	1.000	1.0	1.0000	46.09	46.08
B	196-090-630-000	SFR	0.140	1.000	1.0	1.0000	46.09	46.08
B	196-090-640-000	SFR	0.140	1.000	1.0	1.0000	46.09	46.08
B	196-090-650-000	SFR	0.140	1.000	1.0	1.0000	46.09	46.08
B	196-090-660-000	SFR	0.140	1.000	1.0	1.0000	46.09	46.08
B	196-090-670-000	SFR	0.142	1.000	1.0	1.0000	46.09	46.08
B	196-090-680-000	SFR	0.142	1.000	1.0	1.0000	46.09	46.08
B	196-090-690-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-700-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-710-000	SFR	0.139	1.000	1.0	1.0000	46.09	46.08
B	196-090-720-000	SFR	0.139	1.000	1.0	1.0000	46.09	46.08
B	196-090-730-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-740-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-750-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-760-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-770-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-780-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
B	196-090-790-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-800-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-810-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-820-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-830-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-840-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-850-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-860-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-090-870-000	SFR	0.144	1.000	1.0	1.0000	46.09	46.08
B	196-090-880-000	SFR	0.159	1.000	1.0	1.0000	46.09	46.08
B	196-090-890-000	SFR	0.155	1.000	1.0	1.0000	46.09	46.08
B	196-100-010-000	SFR	0.158	1.000	1.0	1.0000	46.09	46.08
B	196-100-020-000	SFR	0.149	1.000	1.0	1.0000	46.09	46.08
B	196-100-030-000	SFR	0.149	1.000	1.0	1.0000	46.09	46.08
B	196-100-040-000	SFR	0.151	1.000	1.0	1.0000	46.09	46.08
B	196-100-050-000	SFR	0.164	1.000	1.0	1.0000	46.09	46.08
B	196-100-060-000	SFR	0.157	1.000	1.0	1.0000	46.09	46.08
B	196-100-070-000	SFR	0.148	1.000	1.0	1.0000	46.09	46.08
B	196-100-080-000	SFR	0.157	1.000	1.0	1.0000	46.09	46.08
B	196-100-090-000	SFR	0.166	1.000	1.0	1.0000	46.09	46.08
B	196-100-100-000	SFR	0.222	1.000	1.0	1.0000	46.09	46.08
B	196-100-110-000	SFR	0.185	1.000	1.0	1.0000	46.09	46.08
B	196-100-120-000	SFR	0.182	1.000	1.0	1.0000	46.09	46.08
B	196-100-130-000	SFR	0.149	1.000	1.0	1.0000	46.09	46.08
B	196-100-140-000	SFR	0.149	1.000	1.0	1.0000	46.09	46.08
B	196-100-150-000	SFR	0.149	1.000	1.0	1.0000	46.09	46.08
B	196-100-160-000	SFR	0.149	1.000	1.0	1.0000	46.09	46.08
B	196-100-170-000	SFR	0.149	1.000	1.0	1.0000	46.09	46.08
B	196-100-180-000	SFR	0.193	1.000	1.0	1.0000	46.09	46.08
B	196-100-190-000	SFR	0.150	1.000	1.0	1.0000	46.09	46.08
B	196-100-200-000	SFR	0.151	1.000	1.0	1.0000	46.09	46.08
B	196-100-210-000	SFR	0.149	1.000	1.0	1.0000	46.09	46.08
B	196-100-220-000	SFR	0.197	1.000	1.0	1.0000	46.09	46.08
B	196-100-230-000	SFR	0.177	1.000	1.0	1.0000	46.09	46.08
B	196-100-240-000	SFR	0.154	1.000	1.0	1.0000	46.09	46.08
B	196-100-250-000	SFR	0.143	1.000	1.0	1.0000	46.09	46.08
B	196-100-260-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-100-270-000	SFR	0.140	1.000	1.0	1.0000	46.09	46.08
B	196-100-280-000	SFR	0.140	1.000	1.0	1.0000	46.09	46.08
B	196-100-290-000	SFR	0.140	1.000	1.0	1.0000	46.09	46.08
B	196-100-300-000	SFR	0.140	1.000	1.0	1.0000	46.09	46.08
B	196-100-310-000	SFR	0.140	1.000	1.0	1.0000	46.09	46.08
B	196-100-320-000	SFR	0.140	1.000	1.0	1.0000	46.09	46.08
B	196-100-330-000	SFR	0.140	1.000	1.0	1.0000	46.09	46.08
B	196-100-340-000	SFR	0.140	1.000	1.0	1.0000	46.09	46.08
B	196-100-350-000	SFR	0.140	1.000	1.0	1.0000	46.09	46.08
B	196-100-360-000	SFR	0.176	1.000	1.0	1.0000	46.09	46.08
B	196-100-370-000	SFR	0.160	1.000	1.0	1.0000	46.09	46.08
B	196-100-380-000	SFR	0.150	1.000	1.0	1.0000	46.09	46.08
B	196-100-390-000	SFR	0.150	1.000	1.0	1.0000	46.09	46.08
B	196-100-400-000	SFR	0.150	1.000	1.0	1.0000	46.09	46.08
B	196-100-410-000	SFR	0.150	1.000	1.0	1.0000	46.09	46.08
B	196-100-420-000	SFR	0.150	1.000	1.0	1.0000	46.09	46.08
B	196-100-430-000	SFR	0.150	1.000	1.0	1.0000	46.09	46.08
B	196-100-440-000	SFR	0.146	1.000	1.0	1.0000	46.09	46.08
B	196-100-450-000	SFR	0.147	1.000	1.0	1.0000	46.09	46.08
B	196-100-460-000	SFR	0.147	1.000	1.0	1.0000	46.09	46.08

CITY OF LATHROP
RESIDENTIAL LIGHTING MAINTENANCE DISTRICT
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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
B	196-100-470-000	SFR	0.147	1.000	1.0	1.0000	46.09	46.08
B	196-100-480-000	SFR	0.147	1.000	1.0	1.0000	46.09	46.08
B	196-100-490-000	SFR	0.141	1.000	1.0	1.0000	46.09	46.08
B	196-100-500-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-100-510-000	SFR	0.144	1.000	1.0	1.0000	46.09	46.08
B	196-100-520-000	SFR	0.144	1.000	1.0	1.0000	46.09	46.08
B	196-100-530-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-100-540-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-100-550-000	SFR	0.147	1.000	1.0	1.0000	46.09	46.08
B	196-100-560-000	SFR	0.151	1.000	1.0	1.0000	46.09	46.08
B	196-100-570-000	SFR	0.151	1.000	1.0	1.0000	46.09	46.08
B	196-100-580-000	SFR	0.155	1.000	1.0	1.0000	46.09	46.08
B	196-100-590-000	SFR	0.155	1.000	1.0	1.0000	46.09	46.08
B	196-100-600-000	SFR	0.155	1.000	1.0	1.0000	46.09	46.08
B	196-100-610-000	SFR	0.155	1.000	1.0	1.0000	46.09	46.08
B	196-100-620-000	SFR	0.143	1.000	1.0	1.0000	46.09	46.08
B	196-100-630-000	SFR	0.153	1.000	1.0	1.0000	46.09	46.08
B	196-100-640-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-100-650-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-100-660-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-100-670-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-100-680-000	SFR	0.144	1.000	1.0	1.0000	46.09	46.08
B	196-100-690-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-100-700-000	SFR	0.144	1.000	1.0	1.0000	46.09	46.08
B	196-100-710-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-100-720-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-100-730-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-100-740-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-100-750-000	SFR	0.139	1.000	1.0	1.0000	46.09	46.08
B	196-100-760-000	SFR	0.140	1.000	1.0	1.0000	46.09	46.08
B	196-100-770-000	SFR	0.141	1.000	1.0	1.0000	46.09	46.08
B	196-100-780-000	SFR	0.141	1.000	1.0	1.0000	46.09	46.08
B	196-100-790-000	VAC-RESTR DEV	0.038	0.250	0.5	0.1250	46.09	5.76
B	196-520-010-000	SFR	0.140	1.000	1.0	1.0000	46.09	46.08
B	196-520-020-000	SFR	0.145	1.000	1.0	1.0000	46.09	46.08
B	196-520-030-000	SFR	0.152	1.000	1.0	1.0000	46.09	46.08
B	196-520-040-000	SFR	0.152	1.000	1.0	1.0000	46.09	46.08
B	196-520-050-000	SFR	0.152	1.000	1.0	1.0000	46.09	46.08
B	196-520-060-000	SFR	0.164	1.000	1.0	1.0000	46.09	46.08
B	196-520-070-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-520-080-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-520-090-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-520-100-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-520-110-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-520-120-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-520-130-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-520-140-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-520-150-000	SFR	0.165	1.000	1.0	1.0000	46.09	46.08
B	196-520-160-000	SFR	0.160	1.000	1.0	1.0000	46.09	46.08
B	196-520-170-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-520-180-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-520-190-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-520-200-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-520-210-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-520-220-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-520-230-000	SFR	0.236	1.000	1.0	1.0000	46.09	46.08
B	196-520-240-000	SFR	0.186	1.000	1.0	1.0000	46.09	46.08

CITY OF LATHROP
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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
B	196-520-250-000	SFR	0.141	1.000	1.0	1.0000	46.09	46.08
B	196-520-260-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-520-270-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-520-280-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-520-290-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-520-300-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-520-310-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-520-320-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-520-330-000	SFR	0.144	1.000	1.0	1.0000	46.09	46.08
B	196-520-340-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-520-350-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-520-360-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-520-370-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-520-380-000	SFR	0.142	1.000	1.0	1.0000	46.09	46.08
B	196-520-390-000	SFR	0.148	1.000	1.0	1.0000	46.09	46.08
B	196-520-400-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-520-410-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-520-420-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-520-430-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-520-440-000	SFR	0.141	1.000	1.0	1.0000	46.09	46.08
B	196-520-450-000	SFR	0.160	1.000	1.0	1.0000	46.09	46.08
B	196-520-460-000	SFR	0.147	1.000	1.0	1.0000	46.09	46.08
B	196-520-470-000	SFR	0.147	1.000	1.0	1.0000	46.09	46.08
B	196-520-480-000	SFR	0.147	1.000	1.0	1.0000	46.09	46.08
B	196-520-490-000	SFR	0.140	1.000	1.0	1.0000	46.09	46.08
B	196-520-510-000	SFR	0.182	1.000	1.0	1.0000	46.09	46.08
B	196-520-520-000	SFR	0.247	1.000	1.0	1.0000	46.09	46.08
B	196-520-530-000	SFR	0.140	1.000	1.0	1.0000	46.09	46.08
B	196-520-540-000	SFR	0.143	1.000	1.0	1.0000	46.09	46.08
B	196-520-550-000	SFR	0.146	1.000	1.0	1.0000	46.09	46.08
B	196-520-560-000	SFR	0.154	1.000	1.0	1.0000	46.09	46.08
B	196-520-570-000	SFR	0.218	1.000	1.0	1.0000	46.09	46.08
B	196-530-010-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-530-020-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-530-030-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-530-040-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-530-050-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-530-060-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-530-070-000	SFR	0.169	1.000	1.0	1.0000	46.09	46.08
B	196-530-080-000	SFR	0.144	1.000	1.0	1.0000	46.09	46.08
B	196-530-090-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-530-100-000	SFR	0.139	1.000	1.0	1.0000	46.09	46.08
B	196-530-110-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-530-120-000	SFR	0.223	1.000	1.0	1.0000	46.09	46.08
B	196-530-130-000	SFR	0.180	1.000	1.0	1.0000	46.09	46.08
B	196-530-140-000	SFR	0.220	1.000	1.0	1.0000	46.09	46.08
B	196-530-150-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-530-160-000	SFR	0.139	1.000	1.0	1.0000	46.09	46.08
B	196-530-170-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-530-180-000	SFR	0.144	1.000	1.0	1.0000	46.09	46.08
B	196-530-190-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-530-200-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-530-210-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-530-220-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-530-230-000	SFR	0.159	1.000	1.0	1.0000	46.09	46.08
B	196-530-240-000	SFR	0.161	1.000	1.0	1.0000	46.09	46.08
B	196-530-250-000	SFR	0.181	1.000	1.0	1.0000	46.09	46.08

CITY OF LATHROP
RESIDENTIAL LIGHTING MAINTENANCE DISTRICT
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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
B	196-530-260-000	SFR	0.141	1.000	1.0	1.0000	46.09	46.08
B	196-530-270-000	SFR	0.139	1.000	1.0	1.0000	46.09	46.08
B	196-530-280-000	SFR	0.143	1.000	1.0	1.0000	46.09	46.08
B	196-530-290-000	SFR	0.194	1.000	1.0	1.0000	46.09	46.08
B	196-530-300-000	SFR	0.181	1.000	1.0	1.0000	46.09	46.08
B	196-530-310-000	SFR	0.208	1.000	1.0	1.0000	46.09	46.08
B	196-530-320-000	SFR	0.160	1.000	1.0	1.0000	46.09	46.08
B	196-530-330-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-530-340-000	SFR	0.146	1.000	1.0	1.0000	46.09	46.08
B	196-530-350-000	SFR	0.145	1.000	1.0	1.0000	46.09	46.08
B	196-530-360-000	SFR	0.158	1.000	1.0	1.0000	46.09	46.08
B	196-530-370-000	SFR	0.182	1.000	1.0	1.0000	46.09	46.08
B	196-530-380-000	SFR	0.236	1.000	1.0	1.0000	46.09	46.08
B	196-530-390-000	SFR	0.205	1.000	1.0	1.0000	46.09	46.08
B	196-530-400-000	SFR	0.192	1.000	1.0	1.0000	46.09	46.08
B	196-530-410-000	SFR	0.143	1.000	1.0	1.0000	46.09	46.08
B	196-530-420-000	SFR	0.139	1.000	1.0	1.0000	46.09	46.08
B	196-530-430-000	SFR	0.139	1.000	1.0	1.0000	46.09	46.08
B	196-530-440-000	SFR	0.142	1.000	1.0	1.0000	46.09	46.08
B	196-530-450-000	SFR	0.153	1.000	1.0	1.0000	46.09	46.08
B	196-530-460-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-530-470-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-530-480-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-530-490-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-530-500-000	SFR	0.144	1.000	1.0	1.0000	46.09	46.08
B	196-530-510-000	SFR	0.154	1.000	1.0	1.0000	46.09	46.08
B	196-530-520-000	SFR	0.146	1.000	1.0	1.0000	46.09	46.08
B	196-530-530-000	SFR	0.142	1.000	1.0	1.0000	46.09	46.08
B	196-530-540-000	SFR	0.210	1.000	1.0	1.0000	46.09	46.08
B	196-530-550-000	SFR	0.173	1.000	1.0	1.0000	46.09	46.08
B	196-530-560-000	SFR	0.239	1.000	1.0	1.0000	46.09	46.08
B	196-530-570-000	SFR	0.155	1.000	1.0	1.0000	46.09	46.08
B	196-530-580-000	SFR	0.145	1.000	1.0	1.0000	46.09	46.08
B	196-530-590-000	SFR	0.147	1.000	1.0	1.0000	46.09	46.08
B	196-530-600-000	SFR	0.147	1.000	1.0	1.0000	46.09	46.08
B	196-540-010-000	SFR	0.189	1.000	1.0	1.0000	46.09	46.08
B	196-540-020-000	SFR	0.232	1.000	1.0	1.0000	46.09	46.08
B	196-540-030-000	SFR	0.200	1.000	1.0	1.0000	46.09	46.08
B	196-540-040-000	SFR	0.232	1.000	1.0	1.0000	46.09	46.08
B	196-540-050-000	SFR	0.207	1.000	1.0	1.0000	46.09	46.08
B	196-540-060-000	SFR	0.157	1.000	1.0	1.0000	46.09	46.08
B	196-540-070-000	SFR	0.143	1.000	1.0	1.0000	46.09	46.08
B	196-540-080-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-540-090-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-540-100-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-540-110-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-540-120-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-540-130-000	SFR	0.142	1.000	1.0	1.0000	46.09	46.08
B	196-540-140-000	SFR	0.158	1.000	1.0	1.0000	46.09	46.08
B	196-540-150-000	SFR	0.159	1.000	1.0	1.0000	46.09	46.08
B	196-540-160-000	SFR	0.145	1.000	1.0	1.0000	46.09	46.08
B	196-540-180-000	SFR	0.148	1.000	1.0	1.0000	46.09	46.08
B	196-540-190-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-540-200-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-540-210-000	SFR	0.130	1.000	1.0	1.0000	46.09	46.08
B	196-540-220-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-540-230-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08

CITY OF LATHROP
RESIDENTIAL LIGHTING MAINTENANCE DISTRICT
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PARCEL LISTING

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
B	196-540-240-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-540-250-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-540-260-000	SFR	0.142	1.000	1.0	1.0000	46.09	46.08
B	196-540-270-000	SFR	0.146	1.000	1.0	1.0000	46.09	46.08
B	196-540-280-000	SFR	0.145	1.000	1.0	1.0000	46.09	46.08
B	196-540-290-000	SFR	0.170	1.000	1.0	1.0000	46.09	46.08
B	196-540-300-000	SFR	0.146	1.000	1.0	1.0000	46.09	46.08
B	196-540-310-000	SFR	0.158	1.000	1.0	1.0000	46.09	46.08
B	196-540-320-000	SFR	0.150	1.000	1.0	1.0000	46.09	46.08
B	196-540-330-000	SFR	0.144	1.000	1.0	1.0000	46.09	46.08
B	196-540-340-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-540-350-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-540-360-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-540-370-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-540-380-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-540-390-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-540-400-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-540-410-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-540-420-000	SFR	0.139	1.000	1.0	1.0000	46.09	46.08
B	196-540-430-000	SFR	0.139	1.000	1.0	1.0000	46.09	46.08
B	196-540-440-000	SFR	0.140	1.000	1.0	1.0000	46.09	46.08
B	196-540-450-000	SFR	0.139	1.000	1.0	1.0000	46.09	46.08
B	196-540-460-000	SFR	0.139	1.000	1.0	1.0000	46.09	46.08
B	196-540-470-000	SFR	0.140	1.000	1.0	1.0000	46.09	46.08
B	196-540-480-000	SFR	0.139	1.000	1.0	1.0000	46.09	46.08
B	196-540-490-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-540-500-000	SFR	0.159	1.000	1.0	1.0000	46.09	46.08
B	196-550-010-000	SFR	0.160	1.000	1.0	1.0000	46.09	46.08
B	196-550-020-000	SFR	0.263	1.000	1.0	1.0000	46.09	46.08
B	196-550-030-000	SFR	0.215	1.000	1.0	1.0000	46.09	46.08
B	196-550-040-000	SFR	0.178	1.000	1.0	1.0000	46.09	46.08
B	196-550-050-000	SFR	0.156	1.000	1.0	1.0000	46.09	46.08
B	196-550-060-000	SFR	0.145	1.000	1.0	1.0000	46.09	46.08
B	196-550-070-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-550-080-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-550-090-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-550-100-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-550-110-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-550-120-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-550-130-000	SFR	0.144	1.000	1.0	1.0000	46.09	46.08
B	196-550-140-000	SFR	0.144	1.000	1.0	1.0000	46.09	46.08
B	196-550-150-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-550-160-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-550-170-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-550-180-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-550-190-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-550-200-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-550-210-000	SFR	0.154	1.000	1.0	1.0000	46.09	46.08
B	196-550-220-000	SFR	0.143	1.000	1.0	1.0000	46.09	46.08
B	196-550-230-000	SFR	0.143	1.000	1.0	1.0000	46.09	46.08
B	196-550-240-000	SFR	0.144	1.000	1.0	1.0000	46.09	46.08
B	196-550-250-000	SFR	0.142	1.000	1.0	1.0000	46.09	46.08
B	196-550-260-000	SFR	0.143	1.000	1.0	1.0000	46.09	46.08
B	196-550-270-000	SFR	0.143	1.000	1.0	1.0000	46.09	46.08
B	196-550-280-000	SFR	0.143	1.000	1.0	1.0000	46.09	46.08
B	196-550-290-000	SFR	0.143	1.000	1.0	1.0000	46.09	46.08
B	196-550-300-000	SFR	0.143	1.000	1.0	1.0000	46.09	46.08

CITY OF LATHROP
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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
B	196-550-310-000	SFR	0.167	1.000	1.0	1.0000	46.09	46.08
B	196-560-010-000	SFR	0.147	1.000	1.0	1.0000	46.09	46.08
B	196-560-020-000	SFR	0.154	1.000	1.0	1.0000	46.09	46.08
B	196-560-030-000	SFR	0.154	1.000	1.0	1.0000	46.09	46.08
B	196-560-040-000	SFR	0.154	1.000	1.0	1.0000	46.09	46.08
B	196-560-050-000	SFR	0.154	1.000	1.0	1.0000	46.09	46.08
B	196-560-060-000	SFR	0.154	1.000	1.0	1.0000	46.09	46.08
B	196-560-070-000	SFR	0.154	1.000	1.0	1.0000	46.09	46.08
B	196-560-080-000	SFR	0.163	1.000	1.0	1.0000	46.09	46.08
B	196-560-090-000	SFR	0.196	1.000	1.0	1.0000	46.09	46.08
B	196-560-100-000	SFR	0.228	1.000	1.0	1.0000	46.09	46.08
B	196-560-110-000	SFR	0.247	1.000	1.0	1.0000	46.09	46.08
B	196-560-120-000	SFR	0.246	1.000	1.0	1.0000	46.09	46.08
B	196-560-130-000	SFR	0.281	1.000	1.0	1.0000	46.09	46.08
B	196-560-140-000	SFR	0.163	1.000	1.0	1.0000	46.09	46.08
B	196-560-150-000	SFR	0.175	1.000	1.0	1.0000	46.09	46.08
B	196-560-160-000	SFR	0.200	1.000	1.0	1.0000	46.09	46.08
B	196-560-170-000	SFR	0.174	1.000	1.0	1.0000	46.09	46.08
B	196-560-180-000	SFR	0.154	1.000	1.0	1.0000	46.09	46.08
B	196-560-190-000	SFR	0.150	1.000	1.0	1.0000	46.09	46.08
B	196-570-010-000	SFR	0.171	1.000	1.0	1.0000	46.09	46.08
B	196-570-020-000	SFR	0.144	1.000	1.0	1.0000	46.09	46.08
B	196-570-030-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-570-040-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-570-050-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-570-060-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-570-070-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-570-080-000	SFR	0.156	1.000	1.0	1.0000	46.09	46.08
B	196-570-090-000	SFR	0.162	1.000	1.0	1.0000	46.09	46.08
B	196-570-100-000	SFR	0.158	1.000	1.0	1.0000	46.09	46.08
B	196-570-110-000	SFR	0.160	1.000	1.0	1.0000	46.09	46.08
B	196-570-120-000	SFR	0.160	1.000	1.0	1.0000	46.09	46.08
B	196-570-130-000	SFR	0.160	1.000	1.0	1.0000	46.09	46.08
B	196-570-140-000	SFR	0.161	1.000	1.0	1.0000	46.09	46.08
B	196-570-150-000	SFR	0.149	1.000	1.0	1.0000	46.09	46.08
B	196-570-160-000	SFR	0.146	1.000	1.0	1.0000	46.09	46.08
B	196-570-170-000	SFR	0.143	1.000	1.0	1.0000	46.09	46.08
B	196-570-180-000	SFR	0.149	1.000	1.0	1.0000	46.09	46.08
B	196-570-190-000	SFR	0.145	1.000	1.0	1.0000	46.09	46.08
B	196-570-200-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-570-210-000	SFR	0.144	1.000	1.0	1.0000	46.09	46.08
B	196-570-220-000	SFR	0.144	1.000	1.0	1.0000	46.09	46.08
B	196-570-230-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-570-240-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-570-250-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-570-270-000	SFR	0.139	1.000	1.0	1.0000	46.09	46.08
B	196-570-280-000	SFR	0.153	1.000	1.0	1.0000	46.09	46.08
B	196-570-290-000	SFR	0.149	1.000	1.0	1.0000	46.09	46.08
B	196-570-300-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-570-310-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-570-320-000	SFR	0.139	1.000	1.0	1.0000	46.09	46.08
B	196-570-330-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-570-340-000	SFR	0.137	1.000	1.0	1.0000	46.09	46.08
B	196-570-350-000	SFR	0.147	1.000	1.0	1.0000	46.09	46.08
B	196-570-360-000	SFR	0.149	1.000	1.0	1.0000	46.09	46.08
B	196-570-370-000	SFR	0.149	1.000	1.0	1.0000	46.09	46.08
B	196-570-380-000	SFR	0.149	1.000	1.0	1.0000	46.09	46.08

CITY OF LATHROP
RESIDENTIAL LIGHTING MAINTENANCE DISTRICT
FISCAL YEAR 2019/20
PARCEL LISTING

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
B	196-570-390-000	SFR	0.149	1.000	1.0	1.0000	46.09	46.08
B	196-570-400-000	SFR	0.149	1.000	1.0	1.0000	46.09	46.08
B	196-570-410-000	SFR	0.149	1.000	1.0	1.0000	46.09	46.08
B	196-570-420-000	SFR	0.152	1.000	1.0	1.0000	46.09	46.08
B	196-570-430-000	SFR	0.144	1.000	1.0	1.0000	46.09	46.08
B	196-570-440-000	SFR	0.147	1.000	1.0	1.0000	46.09	46.08
B	196-570-450-000	SFR	0.145	1.000	1.0	1.0000	46.09	46.08
B	196-570-460-000	SFR	0.167	1.000	1.0	1.0000	46.09	46.08
B	196-570-470-000	SFR	0.201	1.000	1.0	1.0000	46.09	46.08
B	196-570-480-000	SFR	0.170	1.000	1.0	1.0000	46.09	46.08
B	196-570-490-000	SFR	0.142	1.000	1.0	1.0000	46.09	46.08
B	196-570-500-000	SFR	0.144	1.000	1.0	1.0000	46.09	46.08
B	196-570-510-000	SFR	0.144	1.000	1.0	1.0000	46.09	46.08
B	196-570-520-000	SFR	0.144	1.000	1.0	1.0000	46.09	46.08
B	196-570-530-000	SFR	0.144	1.000	1.0	1.0000	46.09	46.08
B	196-570-540-000	SFR	0.143	1.000	1.0	1.0000	46.09	46.08
B	196-570-550-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-570-560-000	SFR	0.215	1.000	1.0	1.0000	46.09	46.08
B	196-570-570-000	SFR	0.176	1.000	1.0	1.0000	46.09	46.08
B	196-570-580-000	SFR	0.160	1.000	1.0	1.0000	46.09	46.08
B	196-570-590-000	SFR	0.138	1.000	1.0	1.0000	46.09	46.08
B	196-570-600-000	SFR	0.143	1.000	1.0	1.0000	46.09	46.08
B	196-570-610-000	SFR	0.152	1.000	1.0	1.0000	46.09	46.08
SUBTOTAL:		450 PARCELS				457.2535		\$21,070.34

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Rate	Levy
C	196-150-810-000	SFR	0.301	1.000	1.0	1.0000	\$30.30	\$30.30
C	196-150-820-000	SFR	0.358	1.000	1.0	1.0000	30.30	30.30
C	196-170-010-000	NON-RES	0.305	0.305	4.0	1.2200	30.30	36.96
C	196-170-020-000	LTD DEV	0.320	0.320	2.0	0.6400	30.30	19.38
C	196-170-030-000	SFR	0.310	1.000	1.0	1.0000	30.30	30.30
C	196-170-040-000	SFR	0.316	1.000	1.0	1.0000	30.30	30.30
C	196-170-050-000	SFR	0.312	1.000	1.0	1.0000	30.30	30.30
C	196-170-060-000	SFR	0.307	1.000	1.0	1.0000	30.30	30.30
C	196-170-070-000	SFR	0.305	1.000	1.0	1.0000	30.30	30.30
C	196-170-080-000	NON-RES	0.258	0.258	4.0	1.0320	30.30	31.26
C	196-170-100-000	LTD DEV	0.139	0.250	2.0	0.5000	30.30	15.14
C	196-170-110-000	MFR	1.526	20.000	0.7	14.0000	30.30	424.20
C	196-170-120-000	MFR	0.256	4.000	0.7	2.8000	30.30	84.84
C	196-180-010-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-180-020-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-180-030-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-180-040-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-180-050-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-180-060-000	MFR	0.237	2.000	0.7	1.4000	30.30	42.42
C	196-180-070-000	SFR	0.139	1.000	1.0	1.0000	30.30	30.30
C	196-180-080-000	SFR	0.139	1.000	1.0	1.0000	30.30	30.30
C	196-180-090-000	SFR	0.258	1.000	1.0	1.0000	30.30	30.30
C	196-180-100-000	SFR	0.344	1.000	1.0	1.0000	30.30	30.30
C	196-180-110-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-180-120-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-180-130-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-180-150-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-180-160-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-180-170-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
C	196-180-180-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-180-190-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-180-200-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-180-210-000	SFR	0.110	1.000	1.0	1.0000	30.30	30.30
C	196-180-220-000	SFR	0.114	1.000	1.0	1.0000	30.30	30.30
C	196-180-230-000	SFR	0.110	1.000	1.0	1.0000	30.30	30.30
C	196-180-240-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-180-250-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-180-260-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-180-270-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-180-280-000	MFR	0.172	2.000	0.7	1.4000	30.30	42.42
C	196-180-290-000	SFR	0.344	1.000	1.0	1.0000	30.30	30.30
C	196-180-300-000	MFR	0.172	2.000	0.7	1.4000	30.30	42.42
C	196-180-310-000	MFR	0.172	2.000	0.7	1.4000	30.30	42.42
C	196-180-320-000	MFR	0.172	2.000	0.7	1.4000	30.30	42.42
C	196-180-330-000	SFR	0.258	1.000	1.0	1.0000	30.30	30.30
C	196-180-340-000	SFR	0.258	1.000	1.0	1.0000	30.30	30.30
C	196-180-350-000	SFR	0.258	1.000	1.0	1.0000	30.30	30.30
C	196-180-360-000	NON-RES	0.258	0.258	4.0	1.0320	30.30	31.26
C	196-180-370-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-180-380-000	SFR	0.258	1.000	1.0	1.0000	30.30	30.30
C	196-180-390-000	SFR	0.258	1.000	1.0	1.0000	30.30	30.30
C	196-180-400-000	SFR	0.258	1.000	1.0	1.0000	30.30	30.30
C	196-180-410-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-180-420-000	SFR	0.258	1.000	1.0	1.0000	30.30	30.30
C	196-180-430-000	MFR	0.172	2.000	0.7	1.4000	30.30	42.42
C	196-180-440-000	SFR	0.258	1.000	1.0	1.0000	30.30	30.30
C	196-180-450-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-180-460-000	SFR	0.086	1.000	1.0	1.0000	30.30	30.30
C	196-180-480-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-180-490-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-180-500-000	SFR	0.258	1.000	1.0	1.0000	30.30	30.30
C	196-180-510-000	SFR	0.258	1.000	1.0	1.0000	30.30	30.30
C	196-180-520-000	SFR	0.258	1.000	1.0	1.0000	30.30	30.30
C	196-180-530-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-180-540-000	SFR	0.086	1.000	1.0	1.0000	30.30	30.30
C	196-180-550-000	SFR	0.258	1.000	1.0	1.0000	30.30	30.30
C	196-180-560-000	SFR	0.258	1.000	1.0	1.0000	30.30	30.30
C	196-180-570-000	SFR	0.258	1.000	1.0	1.0000	30.30	30.30
C	196-180-580-000	SFR	0.129	1.000	1.0	1.0000	30.30	30.30
C	196-180-590-000	SFR	0.129	1.000	1.0	1.0000	30.30	30.30
C	196-240-010-000	SFR	0.426	1.000	1.0	1.0000	30.30	30.30
C	196-240-020-000	SFR	0.379	1.000	1.0	1.0000	30.30	30.30
C	196-240-030-000	SFR	0.330	1.000	1.0	1.0000	30.30	30.30
C	196-240-040-000	SFR	0.330	1.000	1.0	1.0000	30.30	30.30
C	196-240-060-000	SFR	0.897	1.000	1.0	1.0000	30.30	30.30
C	196-240-070-000	LTD DEV	2.500	2.500	2.0	5.0000	30.30	151.50
C	196-240-080-000	NON-RES	3.680	3.680	4.0	14.7200	30.30	446.02
C	196-240-090-000	SFR	0.275	1.000	1.0	1.0000	30.30	30.30
C	196-240-100-000	SFR	0.344	1.000	1.0	1.0000	30.30	30.30
C	196-240-110-000	SFR	0.206	1.000	1.0	1.0000	30.30	30.30
C	196-240-120-000	SFR	0.275	1.000	1.0	1.0000	30.30	30.30
C	196-240-130-000	SFR	0.361	1.000	1.0	1.0000	30.30	30.30
C	196-240-140-000	SFR	0.254	1.000	1.0	1.0000	30.30	30.30
C	196-240-150-000	SFR	0.251	1.000	1.0	1.0000	30.30	30.30
C	196-240-170-000	LTD DEV	9.120	9.120	2.0	18.2400	30.30	552.66
C	196-240-180-000	LTD DEV	12.130	10.000	2.0	20.0000	30.30	606.00

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
C	196-240-190-000	LTD DEV	0.901	0.901	2.0	1.8020	30.30	54.60
C	196-240-200-000	SFR	0.523	1.000	1.0	1.0000	30.30	30.30
C	196-240-210-000	SFR	0.529	1.000	1.0	1.0000	30.30	30.30
C	196-240-220-000	SFR	0.529	1.000	1.0	1.0000	30.30	30.30
C	196-240-240-000	SFR	0.413	1.000	1.0	1.0000	30.30	30.30
C	196-240-250-000	SFR	0.247	1.000	1.0	1.0000	30.30	30.30
C	196-240-260-000	SFR	0.247	1.000	1.0	1.0000	30.30	30.30
C	196-240-290-000	LTD DEV	0.977	0.977	2.0	1.9540	30.30	59.20
C	196-240-300-000	LTD DEV	0.427	0.427	2.0	0.8540	30.30	25.88
C	196-240-310-000	MFR	0.258	2.000	0.7	1.4000	30.30	42.42
C	196-240-320-000	MFR	0.275	2.000	0.7	1.4000	30.30	42.42
C	196-240-330-000	VAC	0.144	0.250	1.0	0.2500	30.30	7.58
C	196-240-340-000	MFR	0.230	2.000	0.7	1.4000	30.30	42.42
C	196-240-370-000	MFR	0.340	2.000	0.7	1.4000	30.30	42.42
C	196-240-380-000	SFR	0.340	1.000	1.0	1.0000	30.30	30.30
C	196-250-010-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-250-020-000	SFR	0.086	1.000	1.0	1.0000	30.30	30.30
C	196-250-050-000	SFR	0.344	1.000	1.0	1.0000	30.30	30.30
C	196-250-060-000	SFR	0.062	1.000	1.0	1.0000	30.30	30.30
C	196-250-070-000	SFR	0.167	1.000	1.0	1.0000	30.30	30.30
C	196-250-080-000	SFR	0.200	1.000	1.0	1.0000	30.30	30.30
C	196-250-090-000	SFR	0.430	1.000	1.0	1.0000	30.30	30.30
C	196-250-100-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-250-110-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-250-120-000	SFR	0.086	1.000	1.0	1.0000	30.30	30.30
C	196-250-140-000	SFR	0.180	1.000	1.0	1.0000	30.30	30.30
C	196-250-150-000	SFR	0.114	1.000	1.0	1.0000	30.30	30.30
C	196-250-160-000	SFR	0.134	1.000	1.0	1.0000	30.30	30.30
C	196-250-170-000	SFR	0.129	1.000	1.0	1.0000	30.30	30.30
C	196-250-180-000	SFR	0.129	1.000	1.0	1.0000	30.30	30.30
C	196-250-190-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-250-200-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-250-210-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-250-220-000	MFR	0.258	2.000	0.7	1.4000	30.30	42.42
C	196-250-230-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-250-240-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-250-250-000	NON-RES	0.344	0.344	4.0	1.3760	30.30	41.68
C	196-250-260-000	VAC	0.430	0.430	1.0	0.4300	30.30	13.02
C	196-250-270-000	NON-RES	0.172	0.250	4.0	1.0000	30.30	30.30
C	196-250-280-000	NON-RES	0.172	0.250	4.0	1.0000	30.30	30.30
C	196-250-290-000	NON-RES	0.172	0.250	4.0	1.0000	30.30	30.30
C	196-250-300-000	NON-RES	0.086	0.250	4.0	1.0000	30.30	30.30
C	196-250-310-000	SFR	0.430	1.000	1.0	1.0000	30.30	30.30
C	196-250-320-000	SFR	0.258	1.000	1.0	1.0000	30.30	30.30
C	196-250-330-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-250-340-000	SFR	0.250	1.000	1.0	1.0000	30.30	30.30
C	196-250-350-000	SFR	0.258	1.000	1.0	1.0000	30.30	30.30
C	196-250-360-000	MFR	0.430	2.000	0.7	1.4000	30.30	42.42
C	196-250-370-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-250-380-000	SFR	0.129	1.000	1.0	1.0000	30.30	30.30
C	196-250-390-000	SFR	0.129	1.000	1.0	1.0000	30.30	30.30
C	196-250-400-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-250-410-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-250-420-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-250-430-000	SFR	0.258	1.000	1.0	1.0000	30.30	30.30
C	196-250-440-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-250-450-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
C	196-250-460-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-250-480-000	MFR	0.258	2.000	0.7	1.4000	30.30	42.42
C	196-250-490-000	NON-RES	0.309	0.309	4.0	1.2360	30.30	37.44
C	196-250-500-000	NON-RES	0.482	0.482	4.0	1.9280	30.30	58.42
C	196-250-510-000	NON-RES	0.251	0.251	4.0	1.0040	30.30	30.42
C	196-250-520-000	VAC	0.344	0.344	1.0	0.3440	30.30	10.42
C	196-250-530-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-250-540-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-250-550-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-250-560-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-260-010-000	MFR	0.181	2.000	0.7	1.4000	30.30	42.42
C	196-260-020-000	SFR	0.196	1.000	1.0	1.0000	30.30	30.30
C	196-260-030-000	SFR	0.218	1.000	1.0	1.0000	30.30	30.30
C	196-260-040-000	SFR	0.350	1.000	1.0	1.0000	30.30	30.30
C	196-260-050-000	SFR	0.215	1.000	1.0	1.0000	30.30	30.30
C	196-260-060-000	SFR	0.215	1.000	1.0	1.0000	30.30	30.30
C	196-260-070-000	SFR	0.258	1.000	1.0	1.0000	30.30	30.30
C	196-260-080-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-260-090-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-260-100-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-260-110-000	SFR	0.258	1.000	1.0	1.0000	30.30	30.30
C	196-260-120-000	MFR	0.344	2.000	0.7	1.4000	30.30	42.42
C	196-260-130-000	LTD DEV	0.258	0.258	2.0	0.5160	30.30	15.62
C	196-260-140-000	VAC-RESTR DEV	1.120	1.120	0.5	0.5600	30.30	16.96
C	196-260-150-000	VAC-RESTR DEV	0.286	0.286	0.5	0.1430	30.30	4.32
C	196-260-160-000	LTD DEV	0.114	0.250	2.0	0.5000	30.30	15.14
C	196-260-170-000	LTD DEV	0.110	0.250	2.0	0.5000	30.30	15.14
C	196-260-180-000	LTD DEV	0.230	0.250	2.0	0.5000	30.30	15.14
C	196-260-190-000	VAC	0.172	0.250	1.0	0.2500	30.30	7.58
C	196-260-200-000	SFR	0.258	1.000	1.0	1.0000	30.30	30.30
C	196-260-210-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-260-220-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-260-230-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-260-240-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-260-250-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-260-270-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-260-280-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-260-290-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-260-300-000	SFR	0.344	1.000	1.0	1.0000	30.30	30.30
C	196-260-310-000	MFR	0.206	5.000	0.7	3.5000	30.30	106.04
C	196-260-320-000	NON-RES	0.258	0.258	4.0	1.0320	30.30	31.26
C	196-260-330-000	SFR	0.258	1.000	1.0	1.0000	30.30	30.30
C	196-260-340-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-260-350-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-260-360-000	LTD DEV	0.510	0.510	2.0	1.0200	30.30	30.90
C	196-260-370-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-260-380-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-260-390-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-260-400-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-260-410-000	SFR	0.229	1.000	1.0	1.0000	30.30	30.30
C	196-260-440-000	MFR	0.142	2.000	0.7	1.4000	30.30	42.42
C	196-260-450-000	SFR	0.115	1.000	1.0	1.0000	30.30	30.30
C	196-350-010-000	LTD DEV	14.240	10.000	2.0	20.0000	30.30	606.00
C	196-360-010-000	SFR	0.258	1.000	1.0	1.0000	30.30	30.30
C	196-360-020-000	SFR	0.195	1.000	1.0	1.0000	30.30	30.30
C	196-360-030-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-360-040-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
C	196-360-050-000	SFR	0.183	1.000	1.0	1.0000	30.30	30.30
C	196-360-060-000	SFR	0.183	1.000	1.0	1.0000	30.30	30.30
C	196-360-070-000	SFR	0.183	1.000	1.0	1.0000	30.30	30.30
C	196-360-080-000	VAC	0.201	0.250	1.0	0.2500	30.30	7.58
C	196-360-090-000	SFR	0.195	1.000	1.0	1.0000	30.30	30.30
C	196-360-100-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-360-110-000	SFR	0.183	1.000	1.0	1.0000	30.30	30.30
C	196-360-120-000	SFR	0.183	1.000	1.0	1.0000	30.30	30.30
C	196-360-130-000	SFR	0.183	1.000	1.0	1.0000	30.30	30.30
C	196-360-140-000	SFR	0.183	1.000	1.0	1.0000	30.30	30.30
C	196-360-150-000	SFR	0.195	1.000	1.0	1.0000	30.30	30.30
C	196-360-160-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-360-170-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-360-180-000	SFR	0.195	1.000	1.0	1.0000	30.30	30.30
C	196-360-190-000	SFR	0.183	1.000	1.0	1.0000	30.30	30.30
C	196-360-200-000	SFR	0.183	1.000	1.0	1.0000	30.30	30.30
C	196-360-210-000	SFR	0.183	1.000	1.0	1.0000	30.30	30.30
C	196-360-220-000	SFR	0.183	1.000	1.0	1.0000	30.30	30.30
C	196-360-230-000	SFR	0.172	1.000	1.0	1.0000	30.30	30.30
C	196-360-240-000	SFR	0.275	1.000	1.0	1.0000	30.30	30.30
C	196-360-250-000	SFR	0.183	1.000	1.0	1.0000	30.30	30.30
C	196-360-260-000	SFR	0.183	1.000	1.0	1.0000	30.30	30.30
C	196-360-270-000	MFR	0.183	2.000	0.7	1.4000	30.30	42.42
C	196-360-280-000	MFR	0.183	2.000	0.7	1.4000	30.30	42.42
C	196-360-290-000	SFR	0.183	1.000	1.0	1.0000	30.30	30.30
C	196-360-300-000	SFR	0.183	1.000	1.0	1.0000	30.30	30.30
C	196-360-310-000	SFR	0.183	1.000	1.0	1.0000	30.30	30.30
C	196-360-320-000	SFR	0.183	1.000	1.0	1.0000	30.30	30.30
C	196-500-010-000	MFR	2.430	3.000	0.7	2.1000	30.30	63.62
C	196-500-020-000	SFR	0.330	1.000	1.0	1.0000	30.30	30.30
C	196-500-030-000	MFR	0.550	2.000	0.7	1.4000	30.30	42.42
C	196-500-040-000	SFR	0.460	1.000	1.0	1.0000	30.30	30.30
C	196-500-050-000	SFR	1.310	1.000	1.0	1.0000	30.30	30.30
C	196-500-060-000	SFR	0.350	1.000	1.0	1.0000	30.30	30.30
C	196-500-070-000	SFR	0.350	1.000	1.0	1.0000	30.30	30.30
C	196-500-080-000	VAC	0.690	0.690	1.0	0.6900	30.30	20.90
C	196-500-090-000	SFR	0.598	1.000	1.0	1.0000	30.30	30.30
C	196-510-020-000	SFR	0.482	1.000	1.0	1.0000	30.30	30.30
C	196-510-080-000	VAC	3.130	3.130	1.0	3.1300	30.30	94.84
C	196-510-090-000	NON-RES	4.570	4.570	4.0	18.2800	30.30	553.88
C	196-510-100-000	VAC	0.482	0.482	1.0	0.4820	30.30	14.60
C	196-510-110-000	VAC	1.353	1.353	1.0	1.3530	30.30	41.00
C	196-510-120-000	SFR	0.251	1.000	1.0	1.0000	30.30	30.30
C	196-510-130-000	SFR	0.520	1.000	1.0	1.0000	30.30	30.30
C	196-510-140-000	SFR	0.569	1.000	1.0	1.0000	30.30	30.30
C	196-510-160-000	SFR	0.139	1.000	1.0	1.0000	30.30	30.30
C	196-510-180-000	SFR	0.090	1.000	1.0	1.0000	30.30	30.30
C	196-510-190-000	SFR	0.091	1.000	1.0	1.0000	30.30	30.30
C	196-510-200-000	VAC	0.110	0.250	1.0	0.2500	30.30	7.58
C	196-510-210-000	VAC	0.178	0.250	1.0	0.2500	30.30	7.58
C	196-770-010-000	SFR	0.083	1.000	1.0	1.0000	30.30	30.30
C	196-770-020-000	SFR	0.095	1.000	1.0	1.0000	30.30	30.30
C	196-770-030-000	SFR	0.110	1.000	1.0	1.0000	30.30	30.30
C	196-770-040-000	SFR	0.095	1.000	1.0	1.0000	30.30	30.30
C	196-770-050-000	SFR	0.235	1.000	1.0	1.0000	30.30	30.30
C	196-240-160-000	EXEMPT	1.993	0.000	0.0	0.0000	30.30	0.00
C	196-240-350-000	EXEMPT	0.159	0.000	0.0	0.0000	30.30	0.00

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C	196-240-360-000	EXEMPT	0.159	0.000	0.0	0.0000	30.30	0.00
C	196-250-130-000	EXEMPT	0.000	0.000	0.0	0.0000	30.30	0.00
SUBTOTAL:		259 PARCELS				367.2680		\$11,128.04

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Rate	Levy
D	196-280-010-000	SFR	0.149	1.000	1.0	1.0000	\$56.37	\$56.36
D	196-280-020-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-280-030-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-280-040-000	SFR	0.168	1.000	1.0	1.0000	56.37	56.36
D	196-280-050-000	SFR	0.145	1.000	1.0	1.0000	56.37	56.36
D	196-280-060-000	SFR	0.138	1.000	1.0	1.0000	56.37	56.36
D	196-280-070-000	SFR	0.144	1.000	1.0	1.0000	56.37	56.36
D	196-280-080-000	SFR	0.168	1.000	1.0	1.0000	56.37	56.36
D	196-280-090-000	SFR	0.202	1.000	1.0	1.0000	56.37	56.36
D	196-280-100-000	SFR	0.177	1.000	1.0	1.0000	56.37	56.36
D	196-280-110-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-280-120-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-280-130-000	SFR	0.145	1.000	1.0	1.0000	56.37	56.36
D	196-280-140-000	SFR	0.140	1.000	1.0	1.0000	56.37	56.36
D	196-280-150-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-280-160-000	SFR	0.140	1.000	1.0	1.0000	56.37	56.36
D	196-280-170-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-280-180-000	SFR	0.148	1.000	1.0	1.0000	56.37	56.36
D	196-280-190-000	SFR	0.153	1.000	1.0	1.0000	56.37	56.36
D	196-280-200-000	SFR	0.144	1.000	1.0	1.0000	56.37	56.36
D	196-280-210-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-280-220-000	SFR	0.140	1.000	1.0	1.0000	56.37	56.36
D	196-280-230-000	SFR	0.141	1.000	1.0	1.0000	56.37	56.36
D	196-280-240-000	SFR	0.148	1.000	1.0	1.0000	56.37	56.36
D	196-280-250-000	SFR	0.144	1.000	1.0	1.0000	56.37	56.36
D	196-280-260-000	SFR	0.144	1.000	1.0	1.0000	56.37	56.36
D	196-280-270-000	SFR	0.144	1.000	1.0	1.0000	56.37	56.36
D	196-280-280-000	SFR	0.144	1.000	1.0	1.0000	56.37	56.36
D	196-280-290-000	SFR	0.144	1.000	1.0	1.0000	56.37	56.36
D	196-280-300-000	SFR	0.144	1.000	1.0	1.0000	56.37	56.36
D	196-280-310-000	SFR	0.146	1.000	1.0	1.0000	56.37	56.36
D	196-280-320-000	SFR	0.145	1.000	1.0	1.0000	56.37	56.36
D	196-280-330-000	SFR	0.140	1.000	1.0	1.0000	56.37	56.36
D	196-280-340-000	SFR	0.140	1.000	1.0	1.0000	56.37	56.36
D	196-280-350-000	SFR	0.140	1.000	1.0	1.0000	56.37	56.36
D	196-280-360-000	SFR	0.140	1.000	1.0	1.0000	56.37	56.36
D	196-280-370-000	SFR	0.140	1.000	1.0	1.0000	56.37	56.36
D	196-280-380-000	SFR	0.140	1.000	1.0	1.0000	56.37	56.36
D	196-280-390-000	SFR	0.140	1.000	1.0	1.0000	56.37	56.36
D	196-280-400-000	SFR	0.140	1.000	1.0	1.0000	56.37	56.36
D	196-280-410-000	SFR	0.140	1.000	1.0	1.0000	56.37	56.36
D	196-290-010-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36
D	196-290-020-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36
D	196-290-030-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36
D	196-290-040-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36
D	196-290-050-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36
D	196-290-060-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36
D	196-290-070-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36
D	196-290-080-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36
D	196-290-090-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-290-100-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36
D	196-290-110-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36
D	196-290-120-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-290-130-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36
D	196-290-140-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36
D	196-290-150-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36
D	196-290-160-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36
D	196-290-170-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36
D	196-290-180-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36
D	196-290-190-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36
D	196-290-200-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36
D	196-290-210-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36
D	196-290-220-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36
D	196-290-230-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36
D	196-290-240-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36
D	196-290-250-000	SFR	0.143	1.000	1.0	1.0000	56.37	56.36
D	196-290-260-000	SFR	0.143	1.000	1.0	1.0000	56.37	56.36
D	196-290-290-000	SFR	0.175	1.000	1.0	1.0000	56.37	56.36
D	196-290-300-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36
D	196-290-310-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-290-320-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-290-330-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-290-340-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36
D	196-290-350-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-290-360-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-290-370-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-290-380-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-290-390-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-290-400-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-290-410-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36
D	196-290-420-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-290-430-000	SFR	0.147	1.000	1.0	1.0000	56.37	56.36
D	196-290-440-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-290-450-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-290-460-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-290-470-000	SFR	0.148	1.000	1.0	1.0000	56.37	56.36
D	196-290-480-000	SFR	0.148	1.000	1.0	1.0000	56.37	56.36
D	196-290-490-000	SFR	0.147	1.000	1.0	1.0000	56.37	56.36
D	196-290-500-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36
D	196-290-510-000	SFR	0.148	1.000	1.0	1.0000	56.37	56.36
D	196-290-520-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-290-530-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36
D	196-290-540-000	SFR	0.148	1.000	1.0	1.0000	56.37	56.36
D	196-290-550-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-290-560-000	SFR	0.147	1.000	1.0	1.0000	56.37	56.36
D	196-290-570-000	SFR	0.147	1.000	1.0	1.0000	56.37	56.36
D	196-290-580-000	SFR	0.147	1.000	1.0	1.0000	56.37	56.36
D	196-290-590-000	SFR	0.242	1.000	1.0	1.0000	56.37	56.36
D	196-290-600-000	VAC	0.172	0.250	1.0	0.2500	56.37	14.08
D	196-300-010-000	SFR	0.148	1.000	1.0	1.0000	56.37	56.36
D	196-300-020-000	SFR	0.148	1.000	1.0	1.0000	56.37	56.36
D	196-300-030-000	SFR	0.148	1.000	1.0	1.0000	56.37	56.36
D	196-300-040-000	SFR	0.148	1.000	1.0	1.0000	56.37	56.36
D	196-300-050-000	SFR	0.148	1.000	1.0	1.0000	56.37	56.36
D	196-300-060-000	SFR	0.148	1.000	1.0	1.0000	56.37	56.36
D	196-300-070-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-300-080-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36

CITY OF LATHROP
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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-300-090-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-300-100-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-300-110-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-300-120-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-300-130-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-300-140-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-300-150-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-300-160-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-300-170-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-300-180-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-300-190-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-300-200-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-300-210-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-300-220-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-300-230-000	SFR	0.173	1.000	1.0	1.0000	56.37	56.36
D	196-300-240-000	SFR	0.173	1.000	1.0	1.0000	56.37	56.36
D	196-300-250-000	SFR	0.138	1.000	1.0	1.0000	56.37	56.36
D	196-300-260-000	SFR	0.136	1.000	1.0	1.0000	56.37	56.36
D	196-300-270-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-300-280-000	SFR	0.146	1.000	1.0	1.0000	56.37	56.36
D	196-300-290-000	SFR	0.790	1.000	1.0	1.0000	56.37	56.36
D	196-300-300-000	SFR	0.514	1.000	1.0	1.0000	56.37	56.36
D	196-300-310-000	SFR	1.210	1.000	1.0	1.0000	56.37	56.36
D	196-300-320-000	SFR	0.340	1.000	1.0	1.0000	56.37	56.36
D	196-300-330-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-300-340-000	SFR	0.201	1.000	1.0	1.0000	56.37	56.36
D	196-300-350-000	SFR	0.187	1.000	1.0	1.0000	56.37	56.36
D	196-300-360-000	SFR	0.176	1.000	1.0	1.0000	56.37	56.36
D	196-300-370-000	SFR	0.160	1.000	1.0	1.0000	56.37	56.36
D	196-300-380-000	SFR	0.136	1.000	1.0	1.0000	56.37	56.36
D	196-300-390-000	SFR	0.138	1.000	1.0	1.0000	56.37	56.36
D	196-300-400-000	SFR	0.138	1.000	1.0	1.0000	56.37	56.36
D	196-300-410-000	SFR	0.154	1.000	1.0	1.0000	56.37	56.36
D	196-300-420-000	SFR	0.136	1.000	1.0	1.0000	56.37	56.36
D	196-300-430-000	SFR	0.136	1.000	1.0	1.0000	56.37	56.36
D	196-300-440-000	SFR	0.136	1.000	1.0	1.0000	56.37	56.36
D	196-300-450-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-300-460-000	SFR	0.136	1.000	1.0	1.0000	56.37	56.36
D	196-300-470-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-310-010-000	SFR	0.241	1.000	1.0	1.0000	56.37	56.36
D	196-310-020-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-310-030-000	SFR	0.238	1.000	1.0	1.0000	56.37	56.36
D	196-310-040-000	SFR	0.241	1.000	1.0	1.0000	56.37	56.36
D	196-310-050-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-310-060-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-310-070-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-310-080-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-310-090-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-310-100-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-310-110-000	SFR	0.241	1.000	1.0	1.0000	56.37	56.36
D	196-310-120-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-310-130-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-310-140-000	SFR	0.231	1.000	1.0	1.0000	56.37	56.36
D	196-310-150-000	SFR	0.241	1.000	1.0	1.0000	56.37	56.36
D	196-310-160-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-310-170-000	SFR	0.247	1.000	1.0	1.0000	56.37	56.36
D	196-310-180-000	SFR	0.215	1.000	1.0	1.0000	56.37	56.36

CITY OF LATHROP
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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-310-190-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-310-200-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-310-210-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-310-220-000	SFR	0.206	1.000	1.0	1.0000	56.37	56.36
D	196-310-230-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-310-240-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-310-250-000	SFR	0.238	1.000	1.0	1.0000	56.37	56.36
D	196-310-260-000	SFR	0.238	1.000	1.0	1.0000	56.37	56.36
D	196-310-270-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-310-280-000	SFR	0.234	1.000	1.0	1.0000	56.37	56.36
D	196-310-290-000	VAC-RESTR DEV	1.470	1.470	0.5	0.7350	56.37	41.42
D	196-310-300-000	VAC-RESTR DEV	0.057	0.250	0.5	0.1250	56.37	7.04
D	196-310-310-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-310-320-000	SFR	0.228	1.000	1.0	1.0000	56.37	56.36
D	196-310-330-000	SFR	0.228	1.000	1.0	1.0000	56.37	56.36
D	196-310-340-000	SFR	0.228	1.000	1.0	1.0000	56.37	56.36
D	196-310-350-000	SFR	0.219	1.000	1.0	1.0000	56.37	56.36
D	196-310-360-000	SFR	0.235	1.000	1.0	1.0000	56.37	56.36
D	196-310-370-000	SFR	0.228	1.000	1.0	1.0000	56.37	56.36
D	196-310-380-000	SFR	0.228	1.000	1.0	1.0000	56.37	56.36
D	196-310-390-000	SFR	0.228	1.000	1.0	1.0000	56.37	56.36
D	196-310-400-000	SFR	0.236	1.000	1.0	1.0000	56.37	56.36
D	196-310-410-000	SFR	0.236	1.000	1.0	1.0000	56.37	56.36
D	196-310-420-000	SFR	0.240	1.000	1.0	1.0000	56.37	56.36
D	196-310-430-000	SFR	0.230	1.000	1.0	1.0000	56.37	56.36
D	196-320-010-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-320-020-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-320-030-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-320-040-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-320-050-000	SFR	0.228	1.000	1.0	1.0000	56.37	56.36
D	196-320-060-000	SFR	0.228	1.000	1.0	1.0000	56.37	56.36
D	196-320-070-000	SFR	0.228	1.000	1.0	1.0000	56.37	56.36
D	196-320-080-000	SFR	0.244	1.000	1.0	1.0000	56.37	56.36
D	196-320-090-000	SFR	0.228	1.000	1.0	1.0000	56.37	56.36
D	196-320-100-000	SFR	0.228	1.000	1.0	1.0000	56.37	56.36
D	196-320-110-000	SFR	0.228	1.000	1.0	1.0000	56.37	56.36
D	196-320-120-000	SFR	0.228	1.000	1.0	1.0000	56.37	56.36
D	196-320-130-000	SFR	0.236	1.000	1.0	1.0000	56.37	56.36
D	196-320-140-000	SFR	0.236	1.000	1.0	1.0000	56.37	56.36
D	196-320-150-000	SFR	0.228	1.000	1.0	1.0000	56.37	56.36
D	196-320-160-000	SFR	0.238	1.000	1.0	1.0000	56.37	56.36
D	196-320-170-000	SFR	0.218	1.000	1.0	1.0000	56.37	56.36
D	196-320-180-000	SFR	0.224	1.000	1.0	1.0000	56.37	56.36
D	196-320-190-000	SFR	0.227	1.000	1.0	1.0000	56.37	56.36
D	196-320-200-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-320-210-000	SFR	0.217	1.000	1.0	1.0000	56.37	56.36
D	196-320-220-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-330-010-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-330-020-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-330-030-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-330-040-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-330-050-000	SFR	0.231	1.000	1.0	1.0000	56.37	56.36
D	196-330-060-000	SFR	0.231	1.000	1.0	1.0000	56.37	56.36
D	196-330-070-000	SFR	0.231	1.000	1.0	1.0000	56.37	56.36
D	196-330-080-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-330-090-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-330-100-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-330-110-000	SFR	0.282	1.000	1.0	1.0000	56.37	56.36
D	196-330-120-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-330-130-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-330-140-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-330-150-000	SFR	0.282	1.000	1.0	1.0000	56.37	56.36
D	196-330-160-000	SFR	0.244	1.000	1.0	1.0000	56.37	56.36
D	196-330-170-000	SFR	0.254	1.000	1.0	1.0000	56.37	56.36
D	196-330-180-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-330-190-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-340-020-000	SFR	0.251	1.000	1.0	1.0000	56.37	56.36
D	196-340-030-000	SFR	0.206	1.000	1.0	1.0000	56.37	56.36
D	196-340-040-000	SFR	0.266	1.000	1.0	1.0000	56.37	56.36
D	196-340-050-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-340-060-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-340-070-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-340-080-000	SFR	0.241	1.000	1.0	1.0000	56.37	56.36
D	196-340-090-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-340-100-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-340-110-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-340-120-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-340-130-000	SFR	0.190	1.000	1.0	1.0000	56.37	56.36
D	196-340-140-000	SFR	0.236	1.000	1.0	1.0000	56.37	56.36
D	196-340-150-000	SFR	0.263	1.000	1.0	1.0000	56.37	56.36
D	196-340-160-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-340-170-000	SFR	0.229	1.000	1.0	1.0000	56.37	56.36
D	196-340-180-000	SFR	0.238	1.000	1.0	1.0000	56.37	56.36
D	196-340-190-000	SFR	0.644	1.000	1.0	1.0000	56.37	56.36
D	196-340-200-000	SFR	0.223	1.000	1.0	1.0000	56.37	56.36
D	196-370-010-000	SFR	0.126	1.000	1.0	1.0000	56.37	56.36
D	196-370-020-000	SFR	0.123	1.000	1.0	1.0000	56.37	56.36
D	196-370-030-000	SFR	0.123	1.000	1.0	1.0000	56.37	56.36
D	196-370-040-000	SFR	0.123	1.000	1.0	1.0000	56.37	56.36
D	196-370-050-000	SFR	0.123	1.000	1.0	1.0000	56.37	56.36
D	196-370-060-000	SFR	0.123	1.000	1.0	1.0000	56.37	56.36
D	196-370-070-000	SFR	0.123	1.000	1.0	1.0000	56.37	56.36
D	196-370-080-000	SFR	0.123	1.000	1.0	1.0000	56.37	56.36
D	196-370-090-000	SFR	0.123	1.000	1.0	1.0000	56.37	56.36
D	196-370-100-000	SFR	0.123	1.000	1.0	1.0000	56.37	56.36
D	196-370-110-000	SFR	0.123	1.000	1.0	1.0000	56.37	56.36
D	196-370-120-000	SFR	0.123	1.000	1.0	1.0000	56.37	56.36
D	196-370-130-000	SFR	0.123	1.000	1.0	1.0000	56.37	56.36
D	196-370-140-000	SFR	0.132	1.000	1.0	1.0000	56.37	56.36
D	196-370-150-000	SFR	0.124	1.000	1.0	1.0000	56.37	56.36
D	196-370-160-000	SFR	0.124	1.000	1.0	1.0000	56.37	56.36
D	196-370-170-000	SFR	0.124	1.000	1.0	1.0000	56.37	56.36
D	196-370-180-000	SFR	0.138	1.000	1.0	1.0000	56.37	56.36
D	196-370-190-000	SFR	0.124	1.000	1.0	1.0000	56.37	56.36
D	196-370-200-000	SFR	0.115	1.000	1.0	1.0000	56.37	56.36
D	196-370-210-000	SFR	0.117	1.000	1.0	1.0000	56.37	56.36
D	196-370-220-000	SFR	0.119	1.000	1.0	1.0000	56.37	56.36
D	196-370-230-000	SFR	0.120	1.000	1.0	1.0000	56.37	56.36
D	196-370-240-000	SFR	0.129	1.000	1.0	1.0000	56.37	56.36
D	196-370-250-000	SFR	0.208	1.000	1.0	1.0000	56.37	56.36
D	196-370-260-000	SFR	0.206	1.000	1.0	1.0000	56.37	56.36
D	196-370-270-000	SFR	0.125	1.000	1.0	1.0000	56.37	56.36
D	196-370-280-000	SFR	0.173	1.000	1.0	1.0000	56.37	56.36
D	196-370-290-000	SFR	0.172	1.000	1.0	1.0000	56.37	56.36

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-370-300-000	SFR	0.173	1.000	1.0	1.0000	56.37	56.36
D	196-370-310-000	SFR	0.177	1.000	1.0	1.0000	56.37	56.36
D	196-370-320-000	SFR	0.172	1.000	1.0	1.0000	56.37	56.36
D	196-370-330-000	SFR	0.173	1.000	1.0	1.0000	56.37	56.36
D	196-370-340-000	SFR	0.119	1.000	1.0	1.0000	56.37	56.36
D	196-370-350-000	SFR	0.120	1.000	1.0	1.0000	56.37	56.36
D	196-370-360-000	SFR	0.120	1.000	1.0	1.0000	56.37	56.36
D	196-370-370-000	SFR	0.119	1.000	1.0	1.0000	56.37	56.36
D	196-370-380-000	SFR	0.123	1.000	1.0	1.0000	56.37	56.36
D	196-370-390-000	SFR	0.114	1.000	1.0	1.0000	56.37	56.36
D	196-370-400-000	SFR	0.114	1.000	1.0	1.0000	56.37	56.36
D	196-370-410-000	SFR	0.114	1.000	1.0	1.0000	56.37	56.36
D	196-370-420-000	SFR	0.114	1.000	1.0	1.0000	56.37	56.36
D	196-370-430-000	SFR	0.114	1.000	1.0	1.0000	56.37	56.36
D	196-370-440-000	SFR	0.114	1.000	1.0	1.0000	56.37	56.36
D	196-370-450-000	SFR	0.114	1.000	1.0	1.0000	56.37	56.36
D	196-370-460-000	SFR	0.114	1.000	1.0	1.0000	56.37	56.36
D	196-370-470-000	SFR	0.120	1.000	1.0	1.0000	56.37	56.36
D	196-370-480-000	SFR	0.125	1.000	1.0	1.0000	56.37	56.36
D	196-370-490-000	SFR	0.116	1.000	1.0	1.0000	56.37	56.36
D	196-370-500-000	SFR	0.116	1.000	1.0	1.0000	56.37	56.36
D	196-370-510-000	SFR	0.116	1.000	1.0	1.0000	56.37	56.36
D	196-370-520-000	SFR	0.116	1.000	1.0	1.0000	56.37	56.36
D	196-370-530-000	SFR	0.116	1.000	1.0	1.0000	56.37	56.36
D	196-370-540-000	SFR	0.116	1.000	1.0	1.0000	56.37	56.36
D	196-370-550-000	SFR	0.116	1.000	1.0	1.0000	56.37	56.36
D	196-370-560-000	SFR	0.116	1.000	1.0	1.0000	56.37	56.36
D	196-370-570-000	SFR	0.126	1.000	1.0	1.0000	56.37	56.36
D	196-370-580-000	SFR	0.129	1.000	1.0	1.0000	56.37	56.36
D	196-370-590-000	SFR	0.116	1.000	1.0	1.0000	56.37	56.36
D	196-370-600-000	SFR	0.116	1.000	1.0	1.0000	56.37	56.36
D	196-370-610-000	SFR	0.116	1.000	1.0	1.0000	56.37	56.36
D	196-370-620-000	SFR	0.116	1.000	1.0	1.0000	56.37	56.36
D	196-370-630-000	SFR	0.116	1.000	1.0	1.0000	56.37	56.36
D	196-370-640-000	SFR	0.116	1.000	1.0	1.0000	56.37	56.36
D	196-370-650-000	SFR	0.116	1.000	1.0	1.0000	56.37	56.36
D	196-370-660-000	SFR	0.116	1.000	1.0	1.0000	56.37	56.36
D	196-370-670-000	SFR	0.126	1.000	1.0	1.0000	56.37	56.36
D	196-370-680-000	SFR	0.123	1.000	1.0	1.0000	56.37	56.36
D	196-370-690-000	SFR	0.117	1.000	1.0	1.0000	56.37	56.36
D	196-370-700-000	SFR	0.117	1.000	1.0	1.0000	56.37	56.36
D	196-370-710-000	SFR	0.117	1.000	1.0	1.0000	56.37	56.36
D	196-370-720-000	SFR	0.117	1.000	1.0	1.0000	56.37	56.36
D	196-370-730-000	SFR	0.117	1.000	1.0	1.0000	56.37	56.36
D	196-370-740-000	SFR	0.117	1.000	1.0	1.0000	56.37	56.36
D	196-370-750-000	SFR	0.117	1.000	1.0	1.0000	56.37	56.36
D	196-370-760-000	SFR	0.119	1.000	1.0	1.0000	56.37	56.36
D	196-370-770-000	SFR	0.117	1.000	1.0	1.0000	56.37	56.36
D	196-370-780-000	SFR	0.135	1.000	1.0	1.0000	56.37	56.36
D	196-370-790-000	SFR	0.251	1.000	1.0	1.0000	56.37	56.36
D	196-370-800-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-370-810-000	SFR	0.116	1.000	1.0	1.0000	56.37	56.36
D	196-370-820-000	SFR	0.117	1.000	1.0	1.0000	56.37	56.36
D	196-370-830-000	SFR	0.117	1.000	1.0	1.0000	56.37	56.36
D	196-370-840-000	SFR	0.117	1.000	1.0	1.0000	56.37	56.36
D	196-370-850-000	SFR	0.117	1.000	1.0	1.0000	56.37	56.36
D	196-370-860-000	SFR	0.117	1.000	1.0	1.0000	56.37	56.36

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-370-870-000	SFR	0.117	1.000	1.0	1.0000	56.37	56.36
D	196-370-880-000	SFR	0.144	1.000	1.0	1.0000	56.37	56.36
D	196-370-890-000	SFR	0.172	1.000	1.0	1.0000	56.37	56.36
D	196-370-900-000	SFR	0.172	1.000	1.0	1.0000	56.37	56.36
D	196-370-910-000	SFR	0.172	1.000	1.0	1.0000	56.37	56.36
D	196-370-920-000	SFR	0.172	1.000	1.0	1.0000	56.37	56.36
D	196-370-930-000	SFR	0.172	1.000	1.0	1.0000	56.37	56.36
D	196-380-010-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-380-020-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-380-030-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-380-040-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-380-050-000	SFR	0.151	1.000	1.0	1.0000	56.37	56.36
D	196-380-060-000	SFR	0.197	1.000	1.0	1.0000	56.37	56.36
D	196-380-070-000	SFR	0.169	1.000	1.0	1.0000	56.37	56.36
D	196-380-080-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-380-090-000	SFR	0.144	1.000	1.0	1.0000	56.37	56.36
D	196-380-100-000	SFR	0.144	1.000	1.0	1.0000	56.37	56.36
D	196-380-110-000	SFR	0.144	1.000	1.0	1.0000	56.37	56.36
D	196-380-120-000	SFR	0.140	1.000	1.0	1.0000	56.37	56.36
D	196-380-130-000	SFR	0.144	1.000	1.0	1.0000	56.37	56.36
D	196-380-140-000	SFR	0.144	1.000	1.0	1.0000	56.37	56.36
D	196-380-150-000	SFR	0.143	1.000	1.0	1.0000	56.37	56.36
D	196-380-160-000	SFR	0.143	1.000	1.0	1.0000	56.37	56.36
D	196-380-170-000	SFR	0.143	1.000	1.0	1.0000	56.37	56.36
D	196-380-180-000	SFR	0.145	1.000	1.0	1.0000	56.37	56.36
D	196-380-190-000	SFR	0.161	1.000	1.0	1.0000	56.37	56.36
D	196-380-200-000	SFR	0.143	1.000	1.0	1.0000	56.37	56.36
D	196-380-210-000	SFR	0.148	1.000	1.0	1.0000	56.37	56.36
D	196-380-220-000	SFR	0.160	1.000	1.0	1.0000	56.37	56.36
D	196-380-230-000	SFR	0.170	1.000	1.0	1.0000	56.37	56.36
D	196-380-240-000	SFR	0.180	1.000	1.0	1.0000	56.37	56.36
D	196-380-250-000	SFR	0.165	1.000	1.0	1.0000	56.37	56.36
D	196-380-260-000	SFR	0.158	1.000	1.0	1.0000	56.37	56.36
D	196-380-270-000	SFR	0.138	1.000	1.0	1.0000	56.37	56.36
D	196-380-280-000	SFR	0.182	1.000	1.0	1.0000	56.37	56.36
D	196-380-290-000	SFR	0.146	1.000	1.0	1.0000	56.37	56.36
D	196-380-300-000	SFR	0.153	1.000	1.0	1.0000	56.37	56.36
D	196-380-310-000	SFR	0.151	1.000	1.0	1.0000	56.37	56.36
D	196-380-320-000	SFR	0.161	1.000	1.0	1.0000	56.37	56.36
D	196-380-330-000	SFR	0.161	1.000	1.0	1.0000	56.37	56.36
D	196-380-340-000	SFR	0.166	1.000	1.0	1.0000	56.37	56.36
D	196-380-350-000	SFR	0.138	1.000	1.0	1.0000	56.37	56.36
D	196-380-360-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-380-370-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-380-380-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-380-390-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-380-400-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-380-410-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-380-420-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-380-430-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-380-440-000	SFR	0.138	1.000	1.0	1.0000	56.37	56.36
D	196-380-450-000	SFR	0.138	1.000	1.0	1.0000	56.37	56.36
D	196-380-460-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-380-470-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-380-480-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-380-490-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-380-500-000	VAC-RESTR DEV	0.980	0.980	0.5	0.4900	56.37	27.62

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-390-010-000	SFR	0.255	1.000	1.0	1.0000	56.37	56.36
D	196-390-020-000	SFR	0.225	1.000	1.0	1.0000	56.37	56.36
D	196-390-030-000	SFR	0.213	1.000	1.0	1.0000	56.37	56.36
D	196-390-040-000	SFR	0.196	1.000	1.0	1.0000	56.37	56.36
D	196-390-050-000	MFR	0.183	2.000	0.7	1.4000	56.37	78.92
D	196-390-060-000	SFR	0.176	1.000	1.0	1.0000	56.37	56.36
D	196-390-070-000	SFR	0.172	1.000	1.0	1.0000	56.37	56.36
D	196-390-080-000	SFR	0.176	1.000	1.0	1.0000	56.37	56.36
D	196-390-090-000	SFR	0.252	1.000	1.0	1.0000	56.37	56.36
D	196-390-100-000	SFR	0.296	1.000	1.0	1.0000	56.37	56.36
D	196-390-110-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-390-120-000	SFR	0.153	1.000	1.0	1.0000	56.37	56.36
D	196-390-130-000	SFR	0.151	1.000	1.0	1.0000	56.37	56.36
D	196-390-140-000	SFR	0.153	1.000	1.0	1.0000	56.37	56.36
D	196-390-150-000	SFR	0.150	1.000	1.0	1.0000	56.37	56.36
D	196-390-160-000	SFR	0.145	1.000	1.0	1.0000	56.37	56.36
D	196-390-170-000	SFR	0.138	1.000	1.0	1.0000	56.37	56.36
D	196-390-180-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-390-190-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-390-200-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-390-210-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-390-220-000	SFR	0.138	1.000	1.0	1.0000	56.37	56.36
D	196-390-230-000	SFR	0.138	1.000	1.0	1.0000	56.37	56.36
D	196-390-240-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-390-250-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-390-260-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-390-270-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-390-280-000	SFR	0.138	1.000	1.0	1.0000	56.37	56.36
D	196-390-290-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-390-300-000	SFR	0.166	1.000	1.0	1.0000	56.37	56.36
D	196-390-310-000	SFR	0.144	1.000	1.0	1.0000	56.37	56.36
D	196-390-320-000	SFR	0.144	1.000	1.0	1.0000	56.37	56.36
D	196-390-330-000	SFR	0.144	1.000	1.0	1.0000	56.37	56.36
D	196-390-340-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-390-350-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-390-360-000	SFR	0.138	1.000	1.0	1.0000	56.37	56.36
D	196-390-370-000	SFR	0.138	1.000	1.0	1.0000	56.37	56.36
D	196-390-380-000	SFR	0.138	1.000	1.0	1.0000	56.37	56.36
D	196-390-390-000	SFR	0.138	1.000	1.0	1.0000	56.37	56.36
D	196-390-400-000	SFR	0.138	1.000	1.0	1.0000	56.37	56.36
D	196-390-410-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-390-420-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-390-430-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-390-440-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-390-450-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-390-460-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-390-470-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-390-480-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-390-490-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-390-500-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-390-510-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-390-520-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-390-530-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-390-540-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-390-550-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-390-560-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-390-570-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-390-580-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-390-590-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-390-600-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-390-610-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-390-620-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-390-630-000	SFR	0.140	1.000	1.0	1.0000	56.37	56.36
D	196-400-010-000	SFR	0.144	1.000	1.0	1.0000	56.37	56.36
D	196-400-020-000	SFR	0.172	1.000	1.0	1.0000	56.37	56.36
D	196-400-030-000	SFR	0.159	1.000	1.0	1.0000	56.37	56.36
D	196-400-040-000	SFR	0.134	1.000	1.0	1.0000	56.37	56.36
D	196-400-050-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36
D	196-400-060-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-400-070-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-400-080-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-400-090-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-400-100-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-400-110-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-400-120-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-400-130-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-400-140-000	SFR	0.151	1.000	1.0	1.0000	56.37	56.36
D	196-400-150-000	MFR	0.183	2.000	0.7	1.4000	56.37	78.92
D	196-400-160-000	SFR	0.182	1.000	1.0	1.0000	56.37	56.36
D	196-400-170-000	MFR	0.151	2.000	0.7	1.4000	56.37	78.92
D	196-400-180-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-400-190-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-400-200-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-400-210-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-400-220-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-400-230-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-400-240-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-400-250-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-400-260-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-400-270-000	SFR	0.124	1.000	1.0	1.0000	56.37	56.36
D	196-400-280-000	SFR	0.105	1.000	1.0	1.0000	56.37	56.36
D	196-400-290-000	SFR	0.193	1.000	1.0	1.0000	56.37	56.36
D	196-400-300-000	SFR	0.144	1.000	1.0	1.0000	56.37	56.36
D	196-400-310-000	SFR	0.130	1.000	1.0	1.0000	56.37	56.36
D	196-400-320-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-400-330-000	SFR	0.140	1.000	1.0	1.0000	56.37	56.36
D	196-410-010-000	SFR	0.144	1.000	1.0	1.0000	56.37	56.36
D	196-410-020-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-410-030-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-410-040-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-410-050-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-410-060-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-410-070-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-410-080-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-410-090-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-410-100-000	SFR	0.151	1.000	1.0	1.0000	56.37	56.36
D	196-410-110-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-410-120-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-410-130-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-410-140-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-410-150-000	SFR	0.151	1.000	1.0	1.0000	56.37	56.36
D	196-410-160-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-410-170-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-410-180-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-410-190-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-410-200-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-410-210-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-410-220-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-410-230-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-410-240-000	SFR	0.144	1.000	1.0	1.0000	56.37	56.36
D	196-420-010-000	SFR	0.140	1.000	1.0	1.0000	56.37	56.36
D	196-420-020-000	SFR	0.140	1.000	1.0	1.0000	56.37	56.36
D	196-420-030-000	SFR	0.140	1.000	1.0	1.0000	56.37	56.36
D	196-420-040-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-420-050-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-420-060-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-420-070-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-420-080-000	SFR	0.165	1.000	1.0	1.0000	56.37	56.36
D	196-420-090-000	SFR	0.163	1.000	1.0	1.0000	56.37	56.36
D	196-420-100-000	SFR	0.151	1.000	1.0	1.0000	56.37	56.36
D	196-420-110-000	SFR	0.151	1.000	1.0	1.0000	56.37	56.36
D	196-420-120-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36
D	196-420-130-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-420-140-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-420-150-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-420-160-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-420-170-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-420-180-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-420-190-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-420-200-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-420-210-000	SFR	0.151	1.000	1.0	1.0000	56.37	56.36
D	196-420-220-000	SFR	0.151	1.000	1.0	1.0000	56.37	56.36
D	196-420-230-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-420-240-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-420-250-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-420-260-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-420-270-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-420-280-000	SFR	0.130	1.000	1.0	1.0000	56.37	56.36
D	196-420-290-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-420-300-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-420-310-000	SFR	0.144	1.000	1.0	1.0000	56.37	56.36
D	196-420-320-000	SFR	0.153	1.000	1.0	1.0000	56.37	56.36
D	196-430-010-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-430-020-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-430-030-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-430-040-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-430-050-000	VAC-RESTR DEV	0.730	0.730	0.5	0.3650	56.37	20.58
D	196-430-060-000	VAC-RESTR DEV	0.460	0.460	0.5	0.2300	56.37	12.96
D	196-430-070-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-430-080-000	MFR	0.149	2.000	0.7	1.4000	56.37	78.92
D	196-430-090-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-430-100-000	SFR	0.160	1.000	1.0	1.0000	56.37	56.36
D	196-430-110-000	MFR	0.173	2.000	0.7	1.4000	56.37	78.92
D	196-430-120-000	SFR	0.168	1.000	1.0	1.0000	56.37	56.36
D	196-430-130-000	MFR	0.181	2.000	0.7	1.4000	56.37	78.92
D	196-430-140-000	MFR	0.200	2.000	0.7	1.4000	56.37	78.92
D	196-430-170-000	SFR	0.127	1.000	1.0	1.0000	56.37	56.36
D	196-430-180-000	SFR	0.204	1.000	1.0	1.0000	56.37	56.36
D	196-430-190-000	SFR	0.203	1.000	1.0	1.0000	56.37	56.36
D	196-430-200-000	SFR	0.203	1.000	1.0	1.0000	56.37	56.36
D	196-430-210-000	SFR	0.203	1.000	1.0	1.0000	56.37	56.36

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-430-220-000	SFR	0.202	1.000	1.0	1.0000	56.37	56.36
D	196-430-230-000	SFR	0.202	1.000	1.0	1.0000	56.37	56.36
D	196-430-240-000	SFR	0.202	1.000	1.0	1.0000	56.37	56.36
D	196-430-250-000	SFR	0.201	1.000	1.0	1.0000	56.37	56.36
D	196-430-260-000	SFR	0.201	1.000	1.0	1.0000	56.37	56.36
D	196-430-270-000	SFR	0.200	1.000	1.0	1.0000	56.37	56.36
D	196-430-280-000	SFR	0.200	1.000	1.0	1.0000	56.37	56.36
D	196-430-290-000	SFR	0.200	1.000	1.0	1.0000	56.37	56.36
D	196-430-300-000	SFR	0.199	1.000	1.0	1.0000	56.37	56.36
D	196-430-310-000	MFR	0.185	2.000	0.7	1.4000	56.37	78.92
D	196-430-320-000	NON-RES	0.395	0.395	4.0	1.5800	56.37	89.06
D	196-430-330-000	NON-RES	0.745	0.745	4.0	2.9800	56.37	167.98
D	196-440-010-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36
D	196-440-020-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-440-030-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-440-040-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-440-050-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-440-060-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-440-070-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-440-080-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-440-090-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-440-100-000	MFR	0.151	2.000	0.7	1.4000	56.37	78.92
D	196-440-110-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-440-120-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-440-130-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-440-140-000	MFR	0.160	2.000	0.7	1.4000	56.37	78.92
D	196-440-150-000	MFR	0.151	2.000	0.7	1.4000	56.37	78.92
D	196-440-160-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-440-170-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-440-180-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-440-190-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-440-200-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-440-210-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-440-220-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-440-230-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-440-240-000	SFR	0.142	1.000	1.0	1.0000	56.37	56.36
D	196-440-250-000	SFR	0.162	1.000	1.0	1.0000	56.37	56.36
D	196-440-260-000	SFR	0.134	1.000	1.0	1.0000	56.37	56.36
D	196-440-270-000	SFR	0.136	1.000	1.0	1.0000	56.37	56.36
D	196-440-280-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-440-290-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-440-300-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-440-310-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-440-320-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-440-330-000	MFR	0.151	2.000	0.7	1.4000	56.37	78.92
D	196-440-340-000	MFR	0.181	2.000	0.7	1.4000	56.37	78.92
D	196-440-350-000	MFR	0.199	2.000	0.7	1.4000	56.37	78.92
D	196-450-010-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-450-020-000	SFR	0.138	1.000	1.0	1.0000	56.37	56.36
D	196-450-030-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-450-040-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-450-050-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-450-060-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-450-070-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-450-080-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-450-090-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-450-100-000	SFR	0.238	1.000	1.0	1.0000	56.37	56.36

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-450-110-000	SFR	0.344	1.000	1.0	1.0000	56.37	56.36
D	196-450-120-000	SFR	0.149	1.000	1.0	1.0000	56.37	56.36
D	196-450-130-000	SFR	0.148	1.000	1.0	1.0000	56.37	56.36
D	196-450-140-000	SFR	0.141	1.000	1.0	1.0000	56.37	56.36
D	196-450-150-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-450-160-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-450-170-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-450-180-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-450-190-000	SFR	0.146	1.000	1.0	1.0000	56.37	56.36
D	196-450-200-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-450-210-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-450-220-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-450-230-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-450-240-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-450-250-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-450-260-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-450-270-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-450-280-000	SFR	0.156	1.000	1.0	1.0000	56.37	56.36
D	196-450-290-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-450-300-000	SFR	0.159	1.000	1.0	1.0000	56.37	56.36
D	196-460-010-000	SFR	0.144	1.000	1.0	1.0000	56.37	56.36
D	196-460-020-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-460-030-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-460-040-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-460-050-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-460-060-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-460-070-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-460-080-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-460-090-000	SFR	0.145	1.000	1.0	1.0000	56.37	56.36
D	196-460-100-000	SFR	0.177	1.000	1.0	1.0000	56.37	56.36
D	196-460-110-000	SFR	0.151	1.000	1.0	1.0000	56.37	56.36
D	196-460-120-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-460-130-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-460-140-000	SFR	0.144	1.000	1.0	1.0000	56.37	56.36
D	196-460-150-000	SFR	0.165	1.000	1.0	1.0000	56.37	56.36
D	196-460-160-000	SFR	0.158	1.000	1.0	1.0000	56.37	56.36
D	196-460-170-000	SFR	0.158	1.000	1.0	1.0000	56.37	56.36
D	196-460-180-000	SFR	0.158	1.000	1.0	1.0000	56.37	56.36
D	196-460-190-000	SFR	0.158	1.000	1.0	1.0000	56.37	56.36
D	196-460-200-000	SFR	0.158	1.000	1.0	1.0000	56.37	56.36
D	196-460-210-000	SFR	0.158	1.000	1.0	1.0000	56.37	56.36
D	196-460-220-000	SFR	0.184	1.000	1.0	1.0000	56.37	56.36
D	196-460-230-000	SFR	0.193	1.000	1.0	1.0000	56.37	56.36
D	196-460-240-000	SFR	0.308	1.000	1.0	1.0000	56.37	56.36
D	196-460-250-000	SFR	0.178	1.000	1.0	1.0000	56.37	56.36
D	196-460-260-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-460-270-000	SFR	0.137	1.000	1.0	1.0000	56.37	56.36
D	196-460-280-000	SFR	0.161	1.000	1.0	1.0000	56.37	56.36
D	196-460-290-000	SFR	0.158	1.000	1.0	1.0000	56.37	56.36
D	196-460-300-000	SFR	0.161	1.000	1.0	1.0000	56.37	56.36
D	196-460-310-000	SFR	0.161	1.000	1.0	1.0000	56.37	56.36
D	196-460-320-000	SFR	0.161	1.000	1.0	1.0000	56.37	56.36
D	196-460-330-000	SFR	0.161	1.000	1.0	1.0000	56.37	56.36
D	196-460-340-000	SFR	0.139	1.000	1.0	1.0000	56.37	56.36
D	196-460-350-000	SFR	0.159	1.000	1.0	1.0000	56.37	56.36
D	196-460-360-000	SFR	0.161	1.000	1.0	1.0000	56.37	56.36
D	196-460-370-000	SFR	0.161	1.000	1.0	1.0000	56.37	56.36

CITY OF LATHROP
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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-460-380-000	SFR	0.161	1.000	1.0	1.0000	56.37	56.36
D	196-460-390-000	SFR	0.161	1.000	1.0	1.0000	56.37	56.36
D	196-460-400-000	SFR	0.156	1.000	1.0	1.0000	56.37	56.36
D	196-470-010-000	MFR	0.256	4.000	0.7	2.8000	56.37	157.84
D	196-470-040-000	VAC-RESTR DEV	0.037	0.250	0.5	0.1250	56.37	7.04
D	196-470-200-000	LTD DEV	1.904	1.904	2.0	3.8200	56.37	215.32
D	196-470-210-000	NON-RES	5.740	5.740	4.0	22.9600	56.37	1,294.26
D	196-470-230-000	SFR	0.199	1.000	1.0	1.0000	56.37	56.36
D	196-470-240-000	SFR	0.315	1.000	1.0	1.0000	56.37	56.36
D	196-470-250-000	MFR	0.283	4.000	0.7	2.8000	56.37	157.84
D	196-470-260-000	MFR	0.308	4.000	0.7	2.8000	56.37	157.84
D	196-470-270-000	MFR	0.323	4.000	0.7	2.8000	56.37	157.84
D	196-470-280-000	MFR	0.327	4.000	0.7	2.8000	56.37	157.84
D	196-470-290-000	MFR	0.327	4.000	0.7	2.8000	56.37	157.84
D	196-470-300-000	MFR	0.326	4.000	0.7	2.8000	56.37	157.84
D	196-370-940-000	EXEMPT	0.000	0.000	0.0	0.0000	56.37	0.00
D	196-370-950-000	EXEMPT	0.000	0.000	0.0	0.0000	56.37	0.00
D	196-470-220-000	EXEMPT	0.000	0.000	0.0	0.0000	56.37	0.00
SUBTOTAL:		695 PARCELS				732.8600		\$41,304.72

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Rate	Levy
E	196-120-010-000	SFR	0.137	1.000	1.0	1.0000	\$59.26	\$59.26
E	196-120-020-000	SFR	0.138	1.000	1.0	1.0000	59.26	59.26
E	196-120-030-000	SFR	0.145	1.000	1.0	1.0000	59.26	59.26
E	196-120-040-000	SFR	0.153	1.000	1.0	1.0000	59.26	59.26
E	196-120-050-000	SFR	0.145	1.000	1.0	1.0000	59.26	59.26
E	196-120-060-000	SFR	0.191	1.000	1.0	1.0000	59.26	59.26
E	196-120-070-000	SFR	0.158	1.000	1.0	1.0000	59.26	59.26
E	196-120-080-000	SFR	0.143	1.000	1.0	1.0000	59.26	59.26
E	196-120-090-000	SFR	0.149	1.000	1.0	1.0000	59.26	59.26
E	196-120-100-000	SFR	0.140	1.000	1.0	1.0000	59.26	59.26
E	196-120-110-000	SFR	0.138	1.000	1.0	1.0000	59.26	59.26
E	196-120-120-000	SFR	0.132	1.000	1.0	1.0000	59.26	59.26
E	196-120-130-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-120-140-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-120-150-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-120-160-000	SFR	0.158	1.000	1.0	1.0000	59.26	59.26
E	196-120-170-000	SFR	0.131	1.000	1.0	1.0000	59.26	59.26
E	196-120-180-000	SFR	0.130	1.000	1.0	1.0000	59.26	59.26
E	196-120-190-000	SFR	0.130	1.000	1.0	1.0000	59.26	59.26
E	196-120-200-000	SFR	0.130	1.000	1.0	1.0000	59.26	59.26
E	196-120-210-000	SFR	0.130	1.000	1.0	1.0000	59.26	59.26
E	196-120-220-000	SFR	0.132	1.000	1.0	1.0000	59.26	59.26
E	196-120-230-000	SFR	0.133	1.000	1.0	1.0000	59.26	59.26
E	196-120-240-000	SFR	0.132	1.000	1.0	1.0000	59.26	59.26
E	196-120-250-000	SFR	0.134	1.000	1.0	1.0000	59.26	59.26
E	196-120-260-000	SFR	0.135	1.000	1.0	1.0000	59.26	59.26
E	196-120-270-000	SFR	0.139	1.000	1.0	1.0000	59.26	59.26
E	196-120-280-000	SFR	0.135	1.000	1.0	1.0000	59.26	59.26
E	196-120-290-000	SFR	0.201	1.000	1.0	1.0000	59.26	59.26
E	196-120-300-000	SFR	0.173	1.000	1.0	1.0000	59.26	59.26
E	196-120-310-000	SFR	0.139	1.000	1.0	1.0000	59.26	59.26
E	196-120-320-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-120-330-000	SFR	0.141	1.000	1.0	1.0000	59.26	59.26
E	196-120-340-000	SFR	0.204	1.000	1.0	1.0000	59.26	59.26

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-120-350-000	SFR	0.173	1.000	1.0	1.0000	59.26	59.26
E	196-120-360-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-120-370-000	SFR	0.138	1.000	1.0	1.0000	59.26	59.26
E	196-120-380-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-120-390-000	SFR	0.141	1.000	1.0	1.0000	59.26	59.26
E	196-120-400-000	EXEMPT	0.000	0.000	0.0	0.0000	59.26	0.00
E	196-120-410-000	SFR	0.178	1.000	1.0	1.0000	59.26	59.26
E	196-120-420-000	SFR	0.202	1.000	1.0	1.0000	59.26	59.26
E	196-120-430-000	SFR	0.161	1.000	1.0	1.0000	59.26	59.26
E	196-120-440-000	SFR	0.144	1.000	1.0	1.0000	59.26	59.26
E	196-120-450-000	SFR	0.156	1.000	1.0	1.0000	59.26	59.26
E	196-120-460-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-120-470-000	SFR	0.140	1.000	1.0	1.0000	59.26	59.26
E	196-120-480-000	SFR	0.143	1.000	1.0	1.0000	59.26	59.26
E	196-120-490-000	SFR	0.257	1.000	1.0	1.0000	59.26	59.26
E	196-120-500-000	SFR	0.252	1.000	1.0	1.0000	59.26	59.26
E	196-120-510-000	SFR	0.260	1.000	1.0	1.0000	59.26	59.26
E	196-120-520-000	SFR	0.271	1.000	1.0	1.0000	59.26	59.26
E	196-120-530-000	SFR	0.269	1.000	1.0	1.0000	59.26	59.26
E	196-120-540-000	SFR	0.149	1.000	1.0	1.0000	59.26	59.26
E	196-120-550-000	SFR	0.170	1.000	1.0	1.0000	59.26	59.26
E	196-120-560-000	SFR	0.166	1.000	1.0	1.0000	59.26	59.26
E	196-120-570-000	SFR	0.206	1.000	1.0	1.0000	59.26	59.26
E	196-120-580-000	SFR	0.245	1.000	1.0	1.0000	59.26	59.26
E	196-120-590-000	SFR	0.163	1.000	1.0	1.0000	59.26	59.26
E	196-120-600-000	SFR	0.139	1.000	1.0	1.0000	59.26	59.26
E	196-120-610-000	SFR	0.164	1.000	1.0	1.0000	59.26	59.26
E	196-120-620-000	SFR	0.147	1.000	1.0	1.0000	59.26	59.26
E	196-120-630-000	SFR	0.141	1.000	1.0	1.0000	59.26	59.26
E	196-120-640-000	SFR	0.140	1.000	1.0	1.0000	59.26	59.26
E	196-120-650-000	SFR	0.250	1.000	1.0	1.0000	59.26	59.26
E	196-120-660-000	SFR	0.249	1.000	1.0	1.0000	59.26	59.26
E	196-120-670-000	SFR	0.219	1.000	1.0	1.0000	59.26	59.26
E	196-120-680-000	VAC-RESTR DEV	2.720	2.720	0.5	1.3600	59.26	80.58
E	196-130-010-000	NON-RES	0.723	0.723	4.0	2.8920	59.26	171.38
E	196-130-020-000	NON-RES	1.192	1.192	4.0	4.7680	59.26	282.54
E	196-130-030-000	SFR	0.278	1.000	1.0	1.0000	59.26	59.26
E	196-130-040-000	SFR	0.173	1.000	1.0	1.0000	59.26	59.26
E	196-130-050-000	SFR	0.173	1.000	1.0	1.0000	59.26	59.26
E	196-130-060-000	SFR	0.173	1.000	1.0	1.0000	59.26	59.26
E	196-130-070-000	SFR	0.173	1.000	1.0	1.0000	59.26	59.26
E	196-130-080-000	SFR	0.188	1.000	1.0	1.0000	59.26	59.26
E	196-130-090-000	SFR	0.188	1.000	1.0	1.0000	59.26	59.26
E	196-130-100-000	SFR	0.139	1.000	1.0	1.0000	59.26	59.26
E	196-130-110-000	SFR	0.144	1.000	1.0	1.0000	59.26	59.26
E	196-130-120-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-130-130-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-130-140-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-130-150-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-130-160-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-130-170-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-130-180-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-130-190-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-130-200-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-130-210-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-130-220-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-130-230-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-130-240-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-130-250-000	SFR	0.189	1.000	1.0	1.0000	59.26	59.26
E	196-130-260-000	SFR	0.141	1.000	1.0	1.0000	59.26	59.26
E	196-130-270-000	SFR	0.147	1.000	1.0	1.0000	59.26	59.26
E	196-130-280-000	SFR	0.153	1.000	1.0	1.0000	59.26	59.26
E	196-130-290-000	SFR	0.146	1.000	1.0	1.0000	59.26	59.26
E	196-130-300-000	SFR	0.136	1.000	1.0	1.0000	59.26	59.26
E	196-130-310-000	SFR	0.171	1.000	1.0	1.0000	59.26	59.26
E	196-130-320-000	SFR	0.139	1.000	1.0	1.0000	59.26	59.26
E	196-130-330-000	SFR	0.164	1.000	1.0	1.0000	59.26	59.26
E	196-130-340-000	SFR	0.142	1.000	1.0	1.0000	59.26	59.26
E	196-130-350-000	SFR	0.138	1.000	1.0	1.0000	59.26	59.26
E	196-130-360-000	SFR	0.139	1.000	1.0	1.0000	59.26	59.26
E	196-130-370-000	SFR	0.140	1.000	1.0	1.0000	59.26	59.26
E	196-130-380-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-130-390-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-130-400-000	VAC-RESTR DEV	0.137	0.250	0.5	0.1250	59.26	7.40
E	196-130-410-000	VAC-RESTR DEV	0.142	0.250	0.5	0.1250	59.26	7.40
E	196-130-420-000	VAC-RESTR DEV	0.135	0.250	0.5	0.1250	59.26	7.40
E	196-130-430-000	SFR	0.170	1.000	1.0	1.0000	59.26	59.26
E	196-130-440-000	SFR	0.151	1.000	1.0	1.0000	59.26	59.26
E	196-130-450-000	SFR	0.174	1.000	1.0	1.0000	59.26	59.26
E	196-130-460-000	VAC-RESTR DEV	0.155	0.250	0.5	0.1250	59.26	7.40
E	196-130-470-000	VAC-RESTR DEV	0.294	0.294	0.5	0.1470	59.26	8.70
E	196-130-480-000	SFR	0.231	1.000	1.0	1.0000	59.26	59.26
E	196-130-490-000	SFR	0.309	1.000	1.0	1.0000	59.26	59.26
E	196-130-500-000	SFR	0.179	1.000	1.0	1.0000	59.26	59.26
E	196-130-510-000	SFR	0.169	1.000	1.0	1.0000	59.26	59.26
E	196-130-520-000	SFR	0.151	1.000	1.0	1.0000	59.26	59.26
E	196-130-530-000	SFR	0.151	1.000	1.0	1.0000	59.26	59.26
E	196-130-540-000	SFR	0.174	1.000	1.0	1.0000	59.26	59.26
E	196-130-550-000	SFR	0.182	1.000	1.0	1.0000	59.26	59.26
E	196-130-560-000	SFR	0.328	1.000	1.0	1.0000	59.26	59.26
E	196-130-570-000	SFR	0.252	1.000	1.0	1.0000	59.26	59.26
E	196-130-580-000	SFR	0.275	1.000	1.0	1.0000	59.26	59.26
E	196-130-590-000	SFR	0.174	1.000	1.0	1.0000	59.26	59.26
E	196-130-600-000	SFR	0.157	1.000	1.0	1.0000	59.26	59.26
E	196-130-610-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-130-620-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-130-630-000	SFR	0.151	1.000	1.0	1.0000	59.26	59.26
E	196-130-640-000	SFR	0.148	1.000	1.0	1.0000	59.26	59.26
E	196-130-650-000	SFR	0.152	1.000	1.0	1.0000	59.26	59.26
E	196-130-660-000	SFR	0.160	1.000	1.0	1.0000	59.26	59.26
E	196-140-010-000	SFR	0.118	1.000	1.0	1.0000	59.26	59.26
E	196-140-040-000	SFR	0.146	1.000	1.0	1.0000	59.26	59.26
E	196-140-050-000	SFR	0.139	1.000	1.0	1.0000	59.26	59.26
E	196-140-060-000	SFR	0.194	1.000	1.0	1.0000	59.26	59.26
E	196-140-070-000	SFR	0.184	1.000	1.0	1.0000	59.26	59.26
E	196-140-080-000	SFR	0.200	1.000	1.0	1.0000	59.26	59.26
E	196-140-090-000	SFR	0.148	1.000	1.0	1.0000	59.26	59.26
E	196-140-100-000	SFR	0.139	1.000	1.0	1.0000	59.26	59.26
E	196-140-110-000	SFR	0.138	1.000	1.0	1.0000	59.26	59.26
E	196-140-120-000	SFR	0.138	1.000	1.0	1.0000	59.26	59.26
E	196-140-130-000	SFR	0.138	1.000	1.0	1.0000	59.26	59.26
E	196-140-140-000	SFR	0.203	1.000	1.0	1.0000	59.26	59.26
E	196-140-150-000	SFR	0.212	1.000	1.0	1.0000	59.26	59.26
E	196-140-160-000	SFR	0.229	1.000	1.0	1.0000	59.26	59.26

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-140-170-000	SFR	0.232	1.000	1.0	1.0000	59.26	59.26
E	196-140-180-000	SFR	0.160	1.000	1.0	1.0000	59.26	59.26
E	196-140-200-000	SFR	0.249	1.000	1.0	1.0000	59.26	59.26
E	196-140-210-000	SFR	0.180	1.000	1.0	1.0000	59.26	59.26
E	196-140-220-000	SFR	0.144	1.000	1.0	1.0000	59.26	59.26
E	196-140-230-000	SFR	0.144	1.000	1.0	1.0000	59.26	59.26
E	196-140-240-000	SFR	0.145	1.000	1.0	1.0000	59.26	59.26
E	196-140-250-000	SFR	0.185	1.000	1.0	1.0000	59.26	59.26
E	196-140-260-000	SFR	0.185	1.000	1.0	1.0000	59.26	59.26
E	196-140-280-000	SFR	0.272	1.000	1.0	1.0000	59.26	59.26
E	196-140-290-000	SFR	0.192	1.000	1.0	1.0000	59.26	59.26
E	196-140-300-000	SFR	0.174	1.000	1.0	1.0000	59.26	59.26
E	196-140-310-000	SFR	0.201	1.000	1.0	1.0000	59.26	59.26
E	196-140-320-000	SFR	0.141	1.000	1.0	1.0000	59.26	59.26
E	196-140-330-000	SFR	0.143	1.000	1.0	1.0000	59.26	59.26
E	196-140-340-000	SFR	0.262	1.000	1.0	1.0000	59.26	59.26
E	196-140-350-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-140-360-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-140-370-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-140-380-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-140-390-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-140-400-000	SFR	0.146	1.000	1.0	1.0000	59.26	59.26
E	196-140-410-000	SFR	0.154	1.000	1.0	1.0000	59.26	59.26
E	196-140-420-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-140-430-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-140-440-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-140-450-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-140-460-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-140-470-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-140-480-000	SFR	0.143	1.000	1.0	1.0000	59.26	59.26
E	196-140-490-000	SFR	0.139	1.000	1.0	1.0000	59.26	59.26
E	196-140-500-000	SFR	0.150	1.000	1.0	1.0000	59.26	59.26
E	196-140-510-000	SFR	0.143	1.000	1.0	1.0000	59.26	59.26
E	196-140-520-000	SFR	0.143	1.000	1.0	1.0000	59.26	59.26
E	196-140-530-000	SFR	0.143	1.000	1.0	1.0000	59.26	59.26
E	196-140-540-000	SFR	0.143	1.000	1.0	1.0000	59.26	59.26
E	196-140-550-000	SFR	0.143	1.000	1.0	1.0000	59.26	59.26
E	196-140-560-000	SFR	0.144	1.000	1.0	1.0000	59.26	59.26
E	196-140-570-000	SFR	0.158	1.000	1.0	1.0000	59.26	59.26
E	196-140-580-000	SFR	0.156	1.000	1.0	1.0000	59.26	59.26
E	196-140-590-000	SFR	0.154	1.000	1.0	1.0000	59.26	59.26
E	196-140-600-000	SFR	0.193	1.000	1.0	1.0000	59.26	59.26
E	196-140-610-000	SFR	0.184	1.000	1.0	1.0000	59.26	59.26
E	196-140-620-000	SFR	0.440	1.000	1.0	1.0000	59.26	59.26
E	196-150-010-000	SFR	0.182	1.000	1.0	1.0000	59.26	59.26
E	196-150-020-000	SFR	0.162	1.000	1.0	1.0000	59.26	59.26
E	196-150-030-000	SFR	0.162	1.000	1.0	1.0000	59.26	59.26
E	196-150-040-000	SFR	0.162	1.000	1.0	1.0000	59.26	59.26
E	196-150-050-000	SFR	0.162	1.000	1.0	1.0000	59.26	59.26
E	196-150-060-000	SFR	0.162	1.000	1.0	1.0000	59.26	59.26
E	196-150-070-000	SFR	0.183	1.000	1.0	1.0000	59.26	59.26
E	196-150-080-000	SFR	0.203	1.000	1.0	1.0000	59.26	59.26
E	196-150-090-000	SFR	0.170	1.000	1.0	1.0000	59.26	59.26
E	196-150-100-000	SFR	0.170	1.000	1.0	1.0000	59.26	59.26
E	196-150-110-000	SFR	0.170	1.000	1.0	1.0000	59.26	59.26
E	196-150-120-000	SFR	0.167	1.000	1.0	1.0000	59.26	59.26
E	196-150-130-000	SFR	0.199	1.000	1.0	1.0000	59.26	59.26

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-150-140-000	SFR	0.236	1.000	1.0	1.0000	59.26	59.26
E	196-150-150-000	SFR	0.228	1.000	1.0	1.0000	59.26	59.26
E	196-150-160-000	SFR	0.168	1.000	1.0	1.0000	59.26	59.26
E	196-150-170-000	SFR	0.150	1.000	1.0	1.0000	59.26	59.26
E	196-150-180-000	SFR	0.153	1.000	1.0	1.0000	59.26	59.26
E	196-150-190-000	SFR	0.153	1.000	1.0	1.0000	59.26	59.26
E	196-150-200-000	SFR	0.153	1.000	1.0	1.0000	59.26	59.26
E	196-150-210-000	SFR	0.179	1.000	1.0	1.0000	59.26	59.26
E	196-150-220-000	SFR	0.182	1.000	1.0	1.0000	59.26	59.26
E	196-150-230-000	SFR	0.153	1.000	1.0	1.0000	59.26	59.26
E	196-150-240-000	SFR	0.153	1.000	1.0	1.0000	59.26	59.26
E	196-150-250-000	SFR	0.153	1.000	1.0	1.0000	59.26	59.26
E	196-150-260-000	SFR	0.149	1.000	1.0	1.0000	59.26	59.26
E	196-150-270-000	SFR	0.167	1.000	1.0	1.0000	59.26	59.26
E	196-150-280-000	SFR	0.227	1.000	1.0	1.0000	59.26	59.26
E	196-150-290-000	SFR	0.222	1.000	1.0	1.0000	59.26	59.26
E	196-150-300-000	SFR	0.173	1.000	1.0	1.0000	59.26	59.26
E	196-150-310-000	SFR	0.151	1.000	1.0	1.0000	59.26	59.26
E	196-150-320-000	SFR	0.153	1.000	1.0	1.0000	59.26	59.26
E	196-150-330-000	SFR	0.153	1.000	1.0	1.0000	59.26	59.26
E	196-150-340-000	SFR	0.153	1.000	1.0	1.0000	59.26	59.26
E	196-150-350-000	SFR	0.179	1.000	1.0	1.0000	59.26	59.26
E	196-150-360-000	SFR	0.138	1.000	1.0	1.0000	59.26	59.26
E	196-150-370-000	SFR	0.138	1.000	1.0	1.0000	59.26	59.26
E	196-150-380-000	SFR	0.130	1.000	1.0	1.0000	59.26	59.26
E	196-150-390-000	SFR	0.138	1.000	1.0	1.0000	59.26	59.26
E	196-150-400-000	SFR	0.138	1.000	1.0	1.0000	59.26	59.26
E	196-150-410-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-150-420-000	SFR	0.139	1.000	1.0	1.0000	59.26	59.26
E	196-150-430-000	SFR	0.140	1.000	1.0	1.0000	59.26	59.26
E	196-150-440-000	SFR	0.140	1.000	1.0	1.0000	59.26	59.26
E	196-150-450-000	SFR	0.140	1.000	1.0	1.0000	59.26	59.26
E	196-150-460-000	SFR	0.139	1.000	1.0	1.0000	59.26	59.26
E	196-150-470-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-150-480-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-150-490-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-150-500-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-150-510-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-150-520-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-150-530-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-150-540-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-150-550-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-150-560-000	SFR	0.178	1.000	1.0	1.0000	59.26	59.26
E	196-150-570-000	SFR	0.172	1.000	1.0	1.0000	59.26	59.26
E	196-150-580-000	SFR	0.187	1.000	1.0	1.0000	59.26	59.26
E	196-150-590-000	SFR	0.197	1.000	1.0	1.0000	59.26	59.26
E	196-150-600-000	SFR	0.139	1.000	1.0	1.0000	59.26	59.26
E	196-150-610-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-150-620-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-150-630-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-150-640-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-150-650-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-150-660-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-150-670-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-150-680-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-150-690-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-150-700-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-150-710-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-150-720-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-150-730-000	SFR	0.138	1.000	1.0	1.0000	59.26	59.26
E	196-150-740-000	SFR	0.172	1.000	1.0	1.0000	59.26	59.26
E	196-150-750-000	SFR	0.252	1.000	1.0	1.0000	59.26	59.26
E	196-150-760-000	SFR	0.172	1.000	1.0	1.0000	59.26	59.26
E	196-150-770-000	SFR	0.147	1.000	1.0	1.0000	59.26	59.26
E	196-150-780-000	SFR	0.156	1.000	1.0	1.0000	59.26	59.26
E	196-150-790-000	SFR	0.144	1.000	1.0	1.0000	59.26	59.26
E	196-150-800-000	SFR	0.163	1.000	1.0	1.0000	59.26	59.26
E	196-160-010-000	SFR	0.173	1.000	1.0	1.0000	59.26	59.26
E	196-160-020-000	SFR	0.155	1.000	1.0	1.0000	59.26	59.26
E	196-160-030-000	SFR	0.172	1.000	1.0	1.0000	59.26	59.26
E	196-160-040-000	SFR	0.182	1.000	1.0	1.0000	59.26	59.26
E	196-160-050-000	SFR	0.294	1.000	1.0	1.0000	59.26	59.26
E	196-160-060-000	SFR	0.178	1.000	1.0	1.0000	59.26	59.26
E	196-160-070-000	SFR	0.150	1.000	1.0	1.0000	59.26	59.26
E	196-160-080-000	SFR	0.151	1.000	1.0	1.0000	59.26	59.26
E	196-160-090-000	SFR	0.151	1.000	1.0	1.0000	59.26	59.26
E	196-160-100-000	SFR	0.151	1.000	1.0	1.0000	59.26	59.26
E	196-160-110-000	SFR	0.151	1.000	1.0	1.0000	59.26	59.26
E	196-160-120-000	SFR	0.151	1.000	1.0	1.0000	59.26	59.26
E	196-160-130-000	SFR	0.151	1.000	1.0	1.0000	59.26	59.26
E	196-160-140-000	SFR	0.151	1.000	1.0	1.0000	59.26	59.26
E	196-160-150-000	SFR	0.151	1.000	1.0	1.0000	59.26	59.26
E	196-160-160-000	SFR	0.151	1.000	1.0	1.0000	59.26	59.26
E	196-160-170-000	SFR	0.151	1.000	1.0	1.0000	59.26	59.26
E	196-160-180-000	SFR	0.151	1.000	1.0	1.0000	59.26	59.26
E	196-160-190-000	SFR	0.151	1.000	1.0	1.0000	59.26	59.26
E	196-160-200-000	SFR	0.151	1.000	1.0	1.0000	59.26	59.26
E	196-160-210-000	SFR	0.174	1.000	1.0	1.0000	59.26	59.26
E	196-160-220-000	VAC-RESTR DEV	0.177	0.250	0.5	0.1250	59.26	7.40
E	196-160-230-000	VAC-RESTR DEV	0.154	0.250	0.5	0.1250	59.26	7.40
E	196-160-240-000	VAC-RESTR DEV	0.154	0.250	0.5	0.1250	59.26	7.40
E	196-160-250-000	SFR	0.154	1.000	1.0	1.0000	59.26	59.26
E	196-160-260-000	SFR	0.154	1.000	1.0	1.0000	59.26	59.26
E	196-160-270-000	SFR	0.154	1.000	1.0	1.0000	59.26	59.26
E	196-160-280-000	SFR	0.154	1.000	1.0	1.0000	59.26	59.26
E	196-160-290-000	SFR	0.154	1.000	1.0	1.0000	59.26	59.26
E	196-160-300-000	SFR	0.154	1.000	1.0	1.0000	59.26	59.26
E	196-160-310-000	SFR	0.154	1.000	1.0	1.0000	59.26	59.26
E	196-160-320-000	SFR	0.154	1.000	1.0	1.0000	59.26	59.26
E	196-160-330-000	SFR	0.154	1.000	1.0	1.0000	59.26	59.26
E	196-160-340-000	SFR	0.154	1.000	1.0	1.0000	59.26	59.26
E	196-160-350-000	SFR	0.154	1.000	1.0	1.0000	59.26	59.26
E	196-160-360-000	SFR	0.177	1.000	1.0	1.0000	59.26	59.26
E	196-160-370-000	SFR	0.179	1.000	1.0	1.0000	59.26	59.26
E	196-160-380-000	SFR	0.154	1.000	1.0	1.0000	59.26	59.26
E	196-160-390-000	SFR	0.153	1.000	1.0	1.0000	59.26	59.26
E	196-160-400-000	SFR	0.152	1.000	1.0	1.0000	59.26	59.26
E	196-160-410-000	SFR	0.151	1.000	1.0	1.0000	59.26	59.26
E	196-160-420-000	SFR	0.150	1.000	1.0	1.0000	59.26	59.26
E	196-160-430-000	SFR	0.149	1.000	1.0	1.0000	59.26	59.26
E	196-160-440-000	SFR	0.149	1.000	1.0	1.0000	59.26	59.26
E	196-160-450-000	SFR	0.154	1.000	1.0	1.0000	59.26	59.26
E	196-160-460-000	SFR	0.161	1.000	1.0	1.0000	59.26	59.26
E	196-160-470-000	SFR	0.163	1.000	1.0	1.0000	59.26	59.26

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-160-480-000	SFR	0.163	1.000	1.0	1.0000	59.26	59.26
E	196-160-490-000	VAC-RESTR DEV	0.163	0.250	0.5	0.1250	59.26	7.40
E	196-160-500-000	VAC-RESTR DEV	0.163	0.250	0.5	0.1250	59.26	7.40
E	196-160-510-000	VAC-RESTR DEV	0.188	0.250	0.5	0.1250	59.26	7.40
E	196-160-520-000	SFR	0.194	1.000	1.0	1.0000	59.26	59.26
E	196-160-530-000	SFR	0.150	1.000	1.0	1.0000	59.26	59.26
E	196-160-540-000	SFR	0.152	1.000	1.0	1.0000	59.26	59.26
E	196-160-550-000	SFR	0.155	1.000	1.0	1.0000	59.26	59.26
E	196-160-560-000	SFR	0.158	1.000	1.0	1.0000	59.26	59.26
E	196-160-570-000	SFR	0.162	1.000	1.0	1.0000	59.26	59.26
E	196-160-580-000	SFR	0.148	1.000	1.0	1.0000	59.26	59.26
E	196-160-590-000	SFR	0.138	1.000	1.0	1.0000	59.26	59.26
E	196-160-600-000	SFR	0.138	1.000	1.0	1.0000	59.26	59.26
E	196-160-610-000	SFR	0.200	1.000	1.0	1.0000	59.26	59.26
E	196-160-620-000	SFR	0.143	1.000	1.0	1.0000	59.26	59.26
E	196-160-630-000	SFR	0.209	1.000	1.0	1.0000	59.26	59.26
E	196-160-640-000	SFR	0.145	1.000	1.0	1.0000	59.26	59.26
E	196-160-650-000	SFR	0.151	1.000	1.0	1.0000	59.26	59.26
E	196-160-660-000	SFR	0.151	1.000	1.0	1.0000	59.26	59.26
E	196-160-670-000	SFR	0.156	1.000	1.0	1.0000	59.26	59.26
E	196-160-680-000	SFR	0.143	1.000	1.0	1.0000	59.26	59.26
E	196-160-690-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-160-700-000	SFR	0.198	1.000	1.0	1.0000	59.26	59.26
E	196-160-710-000	SFR	0.143	1.000	1.0	1.0000	59.26	59.26
E	196-160-720-000	SFR	0.211	1.000	1.0	1.0000	59.26	59.26
E	196-160-730-000	SFR	0.142	1.000	1.0	1.0000	59.26	59.26
E	196-160-740-000	SFR	0.145	1.000	1.0	1.0000	59.26	59.26
E	196-160-750-000	SFR	0.144	1.000	1.0	1.0000	59.26	59.26
E	196-190-010-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-190-020-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-190-030-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-190-040-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-190-050-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-190-060-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-190-070-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-190-080-000	SFR	0.152	1.000	1.0	1.0000	59.26	59.26
E	196-190-090-000	SFR	0.139	1.000	1.0	1.0000	59.26	59.26
E	196-190-100-000	SFR	0.139	1.000	1.0	1.0000	59.26	59.26
E	196-190-110-000	SFR	0.139	1.000	1.0	1.0000	59.26	59.26
E	196-190-120-000	SFR	0.139	1.000	1.0	1.0000	59.26	59.26
E	196-190-130-000	SFR	0.139	1.000	1.0	1.0000	59.26	59.26
E	196-190-140-000	SFR	0.139	1.000	1.0	1.0000	59.26	59.26
E	196-190-150-000	SFR	0.139	1.000	1.0	1.0000	59.26	59.26
E	196-190-160-000	SFR	0.139	1.000	1.0	1.0000	59.26	59.26
E	196-190-170-000	SFR	0.139	1.000	1.0	1.0000	59.26	59.26
E	196-190-180-000	SFR	0.139	1.000	1.0	1.0000	59.26	59.26
E	196-190-190-000	SFR	0.139	1.000	1.0	1.0000	59.26	59.26
E	196-190-200-000	SFR	0.139	1.000	1.0	1.0000	59.26	59.26
E	196-190-210-000	SFR	0.139	1.000	1.0	1.0000	59.26	59.26
E	196-190-220-000	SFR	0.158	1.000	1.0	1.0000	59.26	59.26
E	196-190-230-000	SFR	0.146	1.000	1.0	1.0000	59.26	59.26
E	196-190-240-000	SFR	0.139	1.000	1.0	1.0000	59.26	59.26
E	196-190-250-000	SFR	0.139	1.000	1.0	1.0000	59.26	59.26
E	196-190-260-000	SFR	0.140	1.000	1.0	1.0000	59.26	59.26
E	196-190-270-000	SFR	0.138	1.000	1.0	1.0000	59.26	59.26
E	196-190-280-000	SFR	0.139	1.000	1.0	1.0000	59.26	59.26
E	196-190-290-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-190-300-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-190-310-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-190-320-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-190-330-000	SFR	0.156	1.000	1.0	1.0000	59.26	59.26
E	196-190-340-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-190-350-000	SFR	0.156	1.000	1.0	1.0000	59.26	59.26
E	196-190-360-000	SFR	0.148	1.000	1.0	1.0000	59.26	59.26
E	196-190-370-000	SFR	0.144	1.000	1.0	1.0000	59.26	59.26
E	196-190-380-000	SFR	0.144	1.000	1.0	1.0000	59.26	59.26
E	196-190-390-000	SFR	0.144	1.000	1.0	1.0000	59.26	59.26
E	196-190-400-000	SFR	0.144	1.000	1.0	1.0000	59.26	59.26
E	196-190-410-000	SFR	0.147	1.000	1.0	1.0000	59.26	59.26
E	196-190-420-000	SFR	0.151	1.000	1.0	1.0000	59.26	59.26
E	196-190-430-000	SFR	0.190	1.000	1.0	1.0000	59.26	59.26
E	196-190-440-000	SFR	0.213	1.000	1.0	1.0000	59.26	59.26
E	196-190-450-000	SFR	0.140	1.000	1.0	1.0000	59.26	59.26
E	196-190-460-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-190-470-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-190-480-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-190-490-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-190-500-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-190-510-000	SFR	0.156	1.000	1.0	1.0000	59.26	59.26
E	196-190-520-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-190-530-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-190-540-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-190-550-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-190-560-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-190-570-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-190-580-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-190-590-000	SFR	0.160	1.000	1.0	1.0000	59.26	59.26
E	196-190-600-000	SFR	0.176	1.000	1.0	1.0000	59.26	59.26
E	196-190-610-000	SFR	0.179	1.000	1.0	1.0000	59.26	59.26
E	196-190-620-000	SFR	0.182	1.000	1.0	1.0000	59.26	59.26
E	196-190-630-000	SFR	0.161	1.000	1.0	1.0000	59.26	59.26
E	196-190-640-000	SFR	0.140	1.000	1.0	1.0000	59.26	59.26
E	196-190-650-000	SFR	0.140	1.000	1.0	1.0000	59.26	59.26
E	196-190-660-000	SFR	0.158	1.000	1.0	1.0000	59.26	59.26
E	196-190-670-000	SFR	0.180	1.000	1.0	1.0000	59.26	59.26
E	196-190-680-000	SFR	0.154	1.000	1.0	1.0000	59.26	59.26
E	196-190-690-000	SFR	0.206	1.000	1.0	1.0000	59.26	59.26
E	196-190-700-000	SFR	0.213	1.000	1.0	1.0000	59.26	59.26
E	196-190-710-000	SFR	0.159	1.000	1.0	1.0000	59.26	59.26
E	196-190-720-000	SFR	0.182	1.000	1.0	1.0000	59.26	59.26
E	196-190-730-000	SFR	0.156	1.000	1.0	1.0000	59.26	59.26
E	196-190-740-000	SFR	0.138	1.000	1.0	1.0000	59.26	59.26
E	196-190-750-000	SFR	0.191	1.000	1.0	1.0000	59.26	59.26
E	196-190-760-000	SFR	0.164	1.000	1.0	1.0000	59.26	59.26
E	196-190-770-000	SFR	0.164	1.000	1.0	1.0000	59.26	59.26
E	196-190-780-000	SFR	0.164	1.000	1.0	1.0000	59.26	59.26
E	196-200-010-000	SFR	0.159	1.000	1.0	1.0000	59.26	59.26
E	196-200-020-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-030-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-040-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-050-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-060-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-070-000	SFR	0.158	1.000	1.0	1.0000	59.26	59.26
E	196-200-080-000	SFR	0.174	1.000	1.0	1.0000	59.26	59.26

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-200-090-000	SFR	0.334	1.000	1.0	1.0000	59.26	59.26
E	196-200-100-000	SFR	0.228	1.000	1.0	1.0000	59.26	59.26
E	196-200-110-000	SFR	0.181	1.000	1.0	1.0000	59.26	59.26
E	196-200-120-000	SFR	0.168	1.000	1.0	1.0000	59.26	59.26
E	196-200-130-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-140-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-150-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-160-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-170-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-180-000	SFR	0.141	1.000	1.0	1.0000	59.26	59.26
E	196-200-190-000	SFR	0.155	1.000	1.0	1.0000	59.26	59.26
E	196-200-200-000	SFR	0.181	1.000	1.0	1.0000	59.26	59.26
E	196-200-210-000	SFR	0.154	1.000	1.0	1.0000	59.26	59.26
E	196-200-220-000	SFR	0.192	1.000	1.0	1.0000	59.26	59.26
E	196-200-230-000	SFR	0.153	1.000	1.0	1.0000	59.26	59.26
E	196-200-240-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-250-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-260-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-270-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-280-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-290-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-300-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-310-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-320-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-330-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-340-000	SFR	0.158	1.000	1.0	1.0000	59.26	59.26
E	196-200-350-000	SFR	0.142	1.000	1.0	1.0000	59.26	59.26
E	196-200-360-000	SFR	0.165	1.000	1.0	1.0000	59.26	59.26
E	196-200-370-000	SFR	0.141	1.000	1.0	1.0000	59.26	59.26
E	196-200-380-000	SFR	0.141	1.000	1.0	1.0000	59.26	59.26
E	196-200-390-000	SFR	0.141	1.000	1.0	1.0000	59.26	59.26
E	196-200-400-000	SFR	0.141	1.000	1.0	1.0000	59.26	59.26
E	196-200-410-000	SFR	0.141	1.000	1.0	1.0000	59.26	59.26
E	196-200-420-000	SFR	0.141	1.000	1.0	1.0000	59.26	59.26
E	196-200-430-000	SFR	0.141	1.000	1.0	1.0000	59.26	59.26
E	196-200-440-000	SFR	0.141	1.000	1.0	1.0000	59.26	59.26
E	196-200-450-000	SFR	0.141	1.000	1.0	1.0000	59.26	59.26
E	196-200-460-000	SFR	0.141	1.000	1.0	1.0000	59.26	59.26
E	196-200-470-000	SFR	0.185	1.000	1.0	1.0000	59.26	59.26
E	196-200-480-000	SFR	0.155	1.000	1.0	1.0000	59.26	59.26
E	196-200-490-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-500-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-510-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-520-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-530-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-540-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-550-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-560-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-570-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-580-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-590-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-600-000	SFR	0.152	1.000	1.0	1.0000	59.26	59.26
E	196-200-610-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-620-000	SFR	0.159	1.000	1.0	1.0000	59.26	59.26
E	196-200-630-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-640-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-650-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-200-660-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-670-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-680-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-690-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-700-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-710-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-720-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-730-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-200-740-000	SFR	0.148	1.000	1.0	1.0000	59.26	59.26
E	196-210-010-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-210-020-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-210-030-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-210-040-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-210-050-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-210-060-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-210-070-000	SFR	0.161	1.000	1.0	1.0000	59.26	59.26
E	196-210-080-000	SFR	0.181	1.000	1.0	1.0000	59.26	59.26
E	196-210-090-000	SFR	0.135	1.000	1.0	1.0000	59.26	59.26
E	196-210-100-000	SFR	0.144	1.000	1.0	1.0000	59.26	59.26
E	196-210-110-000	SFR	0.145	1.000	1.0	1.0000	59.26	59.26
E	196-210-120-000	SFR	0.148	1.000	1.0	1.0000	59.26	59.26
E	196-210-130-000	SFR	0.147	1.000	1.0	1.0000	59.26	59.26
E	196-210-140-000	SFR	0.177	1.000	1.0	1.0000	59.26	59.26
E	196-210-150-000	SFR	0.165	1.000	1.0	1.0000	59.26	59.26
E	196-210-160-000	SFR	0.150	1.000	1.0	1.0000	59.26	59.26
E	196-210-170-000	SFR	0.142	1.000	1.0	1.0000	59.26	59.26
E	196-210-180-000	SFR	0.144	1.000	1.0	1.0000	59.26	59.26
E	196-210-190-000	SFR	0.138	1.000	1.0	1.0000	59.26	59.26
E	196-210-200-000	SFR	0.171	1.000	1.0	1.0000	59.26	59.26
E	196-210-210-000	SFR	0.161	1.000	1.0	1.0000	59.26	59.26
E	196-210-220-000	SFR	0.157	1.000	1.0	1.0000	59.26	59.26
E	196-210-230-000	SFR	0.152	1.000	1.0	1.0000	59.26	59.26
E	196-210-240-000	SFR	0.144	1.000	1.0	1.0000	59.26	59.26
E	196-210-250-000	SFR	0.146	1.000	1.0	1.0000	59.26	59.26
E	196-210-260-000	SFR	0.149	1.000	1.0	1.0000	59.26	59.26
E	196-210-270-000	SFR	0.142	1.000	1.0	1.0000	59.26	59.26
E	196-210-280-000	SFR	0.146	1.000	1.0	1.0000	59.26	59.26
E	196-210-290-000	SFR	0.151	1.000	1.0	1.0000	59.26	59.26
E	196-210-300-000	SFR	0.156	1.000	1.0	1.0000	59.26	59.26
E	196-210-310-000	SFR	0.159	1.000	1.0	1.0000	59.26	59.26
E	196-220-010-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-220-020-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-220-030-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-220-040-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-220-050-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-220-060-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-220-070-000	VAC-RESTR DEV	0.136	0.250	0.5	0.1250	59.26	7.40
E	196-220-080-000	VAC-RESTR DEV	0.133	0.250	0.5	0.1250	59.26	7.40
E	196-220-090-000	VAC-RESTR DEV	0.139	0.250	0.5	0.1250	59.26	7.40
E	196-220-100-000	VAC-RESTR DEV	0.135	0.250	0.5	0.1250	59.26	7.40
E	196-220-110-000	VAC-RESTR DEV	0.142	0.250	0.5	0.1250	59.26	7.40
E	196-220-120-000	VAC-RESTR DEV	0.138	0.250	0.5	0.1250	59.26	7.40
E	196-220-130-000	SFR	0.521	1.000	1.0	1.0000	59.26	59.26
E	196-220-140-000	SFR	0.214	1.000	1.0	1.0000	59.26	59.26
E	196-220-150-000	SFR	0.133	1.000	1.0	1.0000	59.26	59.26
E	196-220-160-000	SFR	0.141	1.000	1.0	1.0000	59.26	59.26
E	196-220-170-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-220-180-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-220-190-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-220-200-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-220-210-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-220-220-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-220-230-000	SFR	0.143	1.000	1.0	1.0000	59.26	59.26
E	196-220-240-000	SFR	0.183	1.000	1.0	1.0000	59.26	59.26
E	196-220-250-000	SFR	0.164	1.000	1.0	1.0000	59.26	59.26
E	196-220-260-000	SFR	0.164	1.000	1.0	1.0000	59.26	59.26
E	196-220-270-000	SFR	0.164	1.000	1.0	1.0000	59.26	59.26
E	196-220-280-000	SFR	0.166	1.000	1.0	1.0000	59.26	59.26
E	196-220-290-000	SFR	0.159	1.000	1.0	1.0000	59.26	59.26
E	196-220-300-000	SFR	0.159	1.000	1.0	1.0000	59.26	59.26
E	196-220-310-000	SFR	0.159	1.000	1.0	1.0000	59.26	59.26
E	196-230-010-000	SFR	0.149	1.000	1.0	1.0000	59.26	59.26
E	196-230-020-000	SFR	0.149	1.000	1.0	1.0000	59.26	59.26
E	196-230-030-000	SFR	0.149	1.000	1.0	1.0000	59.26	59.26
E	196-230-040-000	SFR	0.158	1.000	1.0	1.0000	59.26	59.26
E	196-230-050-000	SFR	0.138	1.000	1.0	1.0000	59.26	59.26
E	196-230-060-000	SFR	0.158	1.000	1.0	1.0000	59.26	59.26
E	196-230-070-000	SFR	0.149	1.000	1.0	1.0000	59.26	59.26
E	196-230-080-000	SFR	0.149	1.000	1.0	1.0000	59.26	59.26
E	196-230-090-000	SFR	0.149	1.000	1.0	1.0000	59.26	59.26
E	196-230-100-000	SFR	0.149	1.000	1.0	1.0000	59.26	59.26
E	196-230-110-000	SFR	0.149	1.000	1.0	1.0000	59.26	59.26
E	196-230-120-000	SFR	0.149	1.000	1.0	1.0000	59.26	59.26
E	196-230-130-000	SFR	0.158	1.000	1.0	1.0000	59.26	59.26
E	196-230-140-000	SFR	0.156	1.000	1.0	1.0000	59.26	59.26
E	196-230-150-000	SFR	0.158	1.000	1.0	1.0000	59.26	59.26
E	196-230-160-000	SFR	0.177	1.000	1.0	1.0000	59.26	59.26
E	196-230-170-000	SFR	0.239	1.000	1.0	1.0000	59.26	59.26
E	196-230-180-000	SFR	0.181	1.000	1.0	1.0000	59.26	59.26
E	196-230-190-000	SFR	0.221	1.000	1.0	1.0000	59.26	59.26
E	196-230-200-000	SFR	0.186	1.000	1.0	1.0000	59.26	59.26
E	196-230-210-000	SFR	0.147	1.000	1.0	1.0000	59.26	59.26
E	196-230-220-000	SFR	0.146	1.000	1.0	1.0000	59.26	59.26
E	196-230-230-000	SFR	0.156	1.000	1.0	1.0000	59.26	59.26
E	196-230-240-000	SFR	0.158	1.000	1.0	1.0000	59.26	59.26
E	196-230-250-000	SFR	0.206	1.000	1.0	1.0000	59.26	59.26
E	196-230-260-000	SFR	0.173	1.000	1.0	1.0000	59.26	59.26
E	196-230-270-000	SFR	0.204	1.000	1.0	1.0000	59.26	59.26
E	196-230-280-000	SFR	0.159	1.000	1.0	1.0000	59.26	59.26
E	196-230-290-000	SFR	0.180	1.000	1.0	1.0000	59.26	59.26
E	196-230-300-000	SFR	0.157	1.000	1.0	1.0000	59.26	59.26
E	196-230-310-000	SFR	0.159	1.000	1.0	1.0000	59.26	59.26
E	196-230-320-000	SFR	0.164	1.000	1.0	1.0000	59.26	59.26
E	196-230-330-000	SFR	0.169	1.000	1.0	1.0000	59.26	59.26
E	196-230-340-000	SFR	0.148	1.000	1.0	1.0000	59.26	59.26
E	196-230-350-000	SFR	0.226	1.000	1.0	1.0000	59.26	59.26
E	196-230-360-000	SFR	0.193	1.000	1.0	1.0000	59.26	59.26
E	196-230-370-000	SFR	0.200	1.000	1.0	1.0000	59.26	59.26
E	196-230-380-000	SFR	0.162	1.000	1.0	1.0000	59.26	59.26
E	196-230-390-000	SFR	0.187	1.000	1.0	1.0000	59.26	59.26
E	196-230-400-000	SFR	0.161	1.000	1.0	1.0000	59.26	59.26
E	196-230-410-000	SFR	0.148	1.000	1.0	1.0000	59.26	59.26
E	196-230-420-000	SFR	0.169	1.000	1.0	1.0000	59.26	59.26
E	196-230-430-000	SFR	0.144	1.000	1.0	1.0000	59.26	59.26

CITY OF LATHROP
RESIDENTIAL LIGHTING MAINTENANCE DISTRICT
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PARCEL LISTING

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-230-440-000	SFR	0.143	1.000	1.0	1.0000	59.26	59.26
E	196-230-450-000	SFR	0.140	1.000	1.0	1.0000	59.26	59.26
E	196-230-460-000	SFR	0.140	1.000	1.0	1.0000	59.26	59.26
E	196-230-470-000	SFR	0.140	1.000	1.0	1.0000	59.26	59.26
E	196-230-480-000	SFR	0.140	1.000	1.0	1.0000	59.26	59.26
E	196-230-490-000	SFR	0.140	1.000	1.0	1.0000	59.26	59.26
E	196-230-500-000	SFR	0.140	1.000	1.0	1.0000	59.26	59.26
E	196-230-510-000	SFR	0.138	1.000	1.0	1.0000	59.26	59.26
E	196-230-520-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-230-530-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-230-540-000	SFR	0.137	1.000	1.0	1.0000	59.26	59.26
E	196-230-550-000	SFR	0.183	1.000	1.0	1.0000	59.26	59.26
E	196-230-560-000	SFR	0.159	1.000	1.0	1.0000	59.26	59.26
E	196-230-570-000	SFR	0.183	1.000	1.0	1.0000	59.26	59.26
SUBTOTAL:		618 PARCELS				608.1670		\$36,039.82

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Rate	Levy
F	196-470-050-000	SFR	0.186	1.000	1.0	1.0000	\$34.08	\$34.08
F	196-470-060-000	SFR	0.145	1.000	1.0	1.0000	34.08	34.08
F	196-470-070-000	SFR	0.141	1.000	1.0	1.0000	34.08	34.08
F	196-470-080-000	SFR	0.138	1.000	1.0	1.0000	34.08	34.08
F	196-470-090-000	SFR	0.162	1.000	1.0	1.0000	34.08	34.08
F	196-470-100-000	SFR	0.175	1.000	1.0	1.0000	34.08	34.08
F	196-470-110-000	SFR	0.172	1.000	1.0	1.0000	34.08	34.08
F	196-470-120-000	SFR	0.148	1.000	1.0	1.0000	34.08	34.08
F	196-470-130-000	SFR	0.191	1.000	1.0	1.0000	34.08	34.08
F	196-470-140-000	SFR	0.227	1.000	1.0	1.0000	34.08	34.08
F	196-470-150-000	SFR	0.230	1.000	1.0	1.0000	34.08	34.08
F	196-470-160-000	SFR	0.177	1.000	1.0	1.0000	34.08	34.08
F	196-470-170-000	SFR	0.144	1.000	1.0	1.0000	34.08	34.08
F	196-470-180-000	SFR	0.148	1.000	1.0	1.0000	34.08	34.08
F	196-470-190-000	SFR	0.161	1.000	1.0	1.0000	34.08	34.08
F	196-480-010-000	SFR	0.144	1.000	1.0	1.0000	34.08	34.08
F	196-480-020-000	SFR	0.140	1.000	1.0	1.0000	34.08	34.08
F	196-480-030-000	SFR	0.140	1.000	1.0	1.0000	34.08	34.08
F	196-480-040-000	SFR	0.144	1.000	1.0	1.0000	34.08	34.08
F	196-480-050-000	SFR	0.137	1.000	1.0	1.0000	34.08	34.08
F	196-480-060-000	SFR	0.137	1.000	1.0	1.0000	34.08	34.08
F	196-480-070-000	SFR	0.137	1.000	1.0	1.0000	34.08	34.08
F	196-480-080-000	SFR	0.156	1.000	1.0	1.0000	34.08	34.08
F	196-480-090-000	SFR	0.142	1.000	1.0	1.0000	34.08	34.08
F	196-480-100-000	SFR	0.156	1.000	1.0	1.0000	34.08	34.08
F	196-480-110-000	SFR	0.137	1.000	1.0	1.0000	34.08	34.08
F	196-480-120-000	SFR	0.137	1.000	1.0	1.0000	34.08	34.08
F	196-480-130-000	SFR	0.137	1.000	1.0	1.0000	34.08	34.08
F	196-480-140-000	SFR	0.143	1.000	1.0	1.0000	34.08	34.08
F	196-480-150-000	SFR	0.138	1.000	1.0	1.0000	34.08	34.08
F	196-480-160-000	SFR	0.186	1.000	1.0	1.0000	34.08	34.08
F	196-480-170-000	SFR	0.198	1.000	1.0	1.0000	34.08	34.08
F	196-480-180-000	SFR	0.236	1.000	1.0	1.0000	34.08	34.08
F	196-480-190-000	SFR	0.164	1.000	1.0	1.0000	34.08	34.08
F	196-480-200-000	SFR	0.138	1.000	1.0	1.0000	34.08	34.08
F	196-480-210-000	SFR	0.142	1.000	1.0	1.0000	34.08	34.08
F	196-480-220-000	SFR	0.142	1.000	1.0	1.0000	34.08	34.08
F	196-480-230-000	SFR	0.142	1.000	1.0	1.0000	34.08	34.08

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
F	196-480-240-000	SFR	0.142	1.000	1.0	1.0000	34.08	34.08
F	196-480-250-000	SFR	0.160	1.000	1.0	1.0000	34.08	34.08
F	196-480-260-000	SFR	0.158	1.000	1.0	1.0000	34.08	34.08
F	196-480-270-000	SFR	0.153	1.000	1.0	1.0000	34.08	34.08
F	196-480-280-000	SFR	0.142	1.000	1.0	1.0000	34.08	34.08
F	196-480-290-000	SFR	0.146	1.000	1.0	1.0000	34.08	34.08
F	196-480-300-000	SFR	0.151	1.000	1.0	1.0000	34.08	34.08
F	196-480-310-000	SFR	0.138	1.000	1.0	1.0000	34.08	34.08
F	196-480-320-000	SFR	0.169	1.000	1.0	1.0000	34.08	34.08
F	196-480-330-000	SFR	0.193	1.000	1.0	1.0000	34.08	34.08
F	196-480-340-000	SFR	0.232	1.000	1.0	1.0000	34.08	34.08
F	196-480-350-000	SFR	0.174	1.000	1.0	1.0000	34.08	34.08
F	196-480-360-000	SFR	0.149	1.000	1.0	1.0000	34.08	34.08
F	196-480-370-000	SFR	0.143	1.000	1.0	1.0000	34.08	34.08
F	196-480-380-000	SFR	0.174	1.000	1.0	1.0000	34.08	34.08
F	196-480-390-000	SFR	0.196	1.000	1.0	1.0000	34.08	34.08
F	196-480-400-000	SFR	0.140	1.000	1.0	1.0000	34.08	34.08
F	196-480-410-000	SFR	0.153	1.000	1.0	1.0000	34.08	34.08
F	196-480-420-000	SFR	0.148	1.000	1.0	1.0000	34.08	34.08
F	196-480-430-000	SFR	0.148	1.000	1.0	1.0000	34.08	34.08
F	196-480-440-000	SFR	0.147	1.000	1.0	1.0000	34.08	34.08
F	196-480-450-000	SFR	0.149	1.000	1.0	1.0000	34.08	34.08
F	196-480-460-000	SFR	0.151	1.000	1.0	1.0000	34.08	34.08
F	196-480-470-000	SFR	0.139	1.000	1.0	1.0000	34.08	34.08
F	196-480-480-000	SFR	0.139	1.000	1.0	1.0000	34.08	34.08
F	196-480-490-000	SFR	0.152	1.000	1.0	1.0000	34.08	34.08
F	196-480-500-000	SFR	0.178	1.000	1.0	1.0000	34.08	34.08
F	196-480-510-000	SFR	0.188	1.000	1.0	1.0000	34.08	34.08
F	196-480-520-000	SFR	0.207	1.000	1.0	1.0000	34.08	34.08
F	196-480-530-000	VAC	0.311	0.311	1.0	0.3110	34.08	10.60
F	196-480-540-000	SFR	0.177	1.000	1.0	1.0000	34.08	34.08
F	196-480-550-000	SFR	0.154	1.000	1.0	1.0000	34.08	34.08
F	196-480-560-000	SFR	0.190	1.000	1.0	1.0000	34.08	34.08
F	196-480-570-000	SFR	0.158	1.000	1.0	1.0000	34.08	34.08
F	196-480-580-000	SFR	0.147	1.000	1.0	1.0000	34.08	34.08
F	196-480-590-000	SFR	0.144	1.000	1.0	1.0000	34.08	34.08
F	196-480-600-000	SFR	0.146	1.000	1.0	1.0000	34.08	34.08
F	196-480-610-000	SFR	0.141	1.000	1.0	1.0000	34.08	34.08
F	196-480-620-000	SFR	0.196	1.000	1.0	1.0000	34.08	34.08
F	196-480-630-000	SFR	0.214	1.000	1.0	1.0000	34.08	34.08
F	196-480-640-000	SFR	0.137	1.000	1.0	1.0000	34.08	34.08
F	196-480-650-000	SFR	0.142	1.000	1.0	1.0000	34.08	34.08
F	196-480-660-000	SFR	0.138	1.000	1.0	1.0000	34.08	34.08
F	196-480-670-000	SFR	0.158	1.000	1.0	1.0000	34.08	34.08
F	196-480-680-000	SFR	0.137	1.000	1.0	1.0000	34.08	34.08
F	196-480-690-000	SFR	0.159	1.000	1.0	1.0000	34.08	34.08
F	196-480-700-000	SFR	0.138	1.000	1.0	1.0000	34.08	34.08
F	196-480-710-000	SFR	0.137	1.000	1.0	1.0000	34.08	34.08
F	196-480-720-000	SFR	0.137	1.000	1.0	1.0000	34.08	34.08
F	196-480-730-000	SFR	0.138	1.000	1.0	1.0000	34.08	34.08
F	196-480-740-000	SFR	0.138	1.000	1.0	1.0000	34.08	34.08
F	196-480-750-000	SFR	0.138	1.000	1.0	1.0000	34.08	34.08
F	196-480-760-000	SFR	0.150	1.000	1.0	1.0000	34.08	34.08
F	196-480-770-000	SFR	0.137	1.000	1.0	1.0000	34.08	34.08
F	196-480-780-000	SFR	0.139	1.000	1.0	1.0000	34.08	34.08
F	196-480-790-000	SFR	0.150	1.000	1.0	1.0000	34.08	34.08
F	196-480-800-000	SFR	0.160	1.000	1.0	1.0000	34.08	34.08

CITY OF LATHROP
RESIDENTIAL LIGHTING MAINTENANCE DISTRICT
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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
F	196-480-810-000	SFR	0.138	1.000	1.0	1.0000	34.08	34.08
F	196-480-820-000	SFR	0.173	1.000	1.0	1.0000	34.08	34.08
F	196-480-830-000	SFR	0.157	1.000	1.0	1.0000	34.08	34.08
F	196-480-840-000	SFR	0.137	1.000	1.0	1.0000	34.08	34.08
F	196-490-010-000	SFR	0.158	1.000	1.0	1.0000	34.08	34.08
F	196-490-020-000	SFR	0.168	1.000	1.0	1.0000	34.08	34.08
F	196-490-030-000	SFR	0.151	1.000	1.0	1.0000	34.08	34.08
F	196-490-040-000	SFR	0.151	1.000	1.0	1.0000	34.08	34.08
F	196-490-050-000	SFR	0.150	1.000	1.0	1.0000	34.08	34.08
F	196-490-060-000	SFR	0.142	1.000	1.0	1.0000	34.08	34.08
F	196-490-070-000	SFR	0.159	1.000	1.0	1.0000	34.08	34.08
F	196-490-080-000	SFR	0.140	1.000	1.0	1.0000	34.08	34.08
F	196-490-090-000	SFR	0.156	1.000	1.0	1.0000	34.08	34.08
F	196-490-100-000	SFR	0.172	1.000	1.0	1.0000	34.08	34.08
F	196-490-110-000	SFR	0.165	1.000	1.0	1.0000	34.08	34.08
F	196-490-120-000	SFR	0.178	1.000	1.0	1.0000	34.08	34.08
F	196-490-130-000	SFR	0.193	1.000	1.0	1.0000	34.08	34.08
F	196-490-140-000	SFR	0.253	1.000	1.0	1.0000	34.08	34.08
F	196-490-150-000	SFR	0.305	1.000	1.0	1.0000	34.08	34.08
F	196-490-160-000	SFR	0.132	1.000	1.0	1.0000	34.08	34.08
F	196-490-170-000	SFR	0.145	1.000	1.0	1.0000	34.08	34.08
F	196-490-180-000	SFR	0.148	1.000	1.0	1.0000	34.08	34.08
F	196-490-190-000	SFR	0.168	1.000	1.0	1.0000	34.08	34.08
F	196-490-200-000	SFR	0.137	1.000	1.0	1.0000	34.08	34.08
F	196-490-210-000	SFR	0.164	1.000	1.0	1.0000	34.08	34.08
F	196-490-220-000	SFR	0.140	1.000	1.0	1.0000	34.08	34.08
F	196-490-230-000	SFR	0.137	1.000	1.0	1.0000	34.08	34.08
F	196-490-240-000	SFR	0.137	1.000	1.0	1.0000	34.08	34.08
F	196-490-250-000	SFR	0.137	1.000	1.0	1.0000	34.08	34.08
F	196-490-260-000	SFR	0.137	1.000	1.0	1.0000	34.08	34.08
F	196-490-270-000	SFR	0.137	1.000	1.0	1.0000	34.08	34.08
F	196-490-280-000	SFR	0.138	1.000	1.0	1.0000	34.08	34.08
F	196-490-290-000	SFR	0.151	1.000	1.0	1.0000	34.08	34.08
F	196-490-320-000	SFR	0.150	1.000	1.0	1.0000	34.08	34.08
F	196-490-330-000	SFR	0.149	1.000	1.0	1.0000	34.08	34.08
F	196-490-340-000	SFR	0.149	1.000	1.0	1.0000	34.08	34.08
F	196-490-350-000	SFR	0.139	1.000	1.0	1.0000	34.08	34.08
F	196-490-360-000	SFR	0.154	1.000	1.0	1.0000	34.08	34.08
F	196-490-370-000	SFR	0.214	1.000	1.0	1.0000	34.08	34.08
F	196-490-380-000	SFR	0.164	1.000	1.0	1.0000	34.08	34.08
F	196-490-390-000	SFR	0.233	1.000	1.0	1.0000	34.08	34.08
F	196-490-400-000	SFR	0.209	1.000	1.0	1.0000	34.08	34.08
F	196-490-410-000	SFR	0.211	1.000	1.0	1.0000	34.08	34.08
F	196-490-420-000	SFR	0.146	1.000	1.0	1.0000	34.08	34.08
F	196-490-430-000	SFR	0.152	1.000	1.0	1.0000	34.08	34.08
F	196-490-440-000	SFR	0.151	1.000	1.0	1.0000	34.08	34.08
F	196-490-450-000	VAC	0.202	0.250	1.0	0.2500	34.08	8.52
F	196-490-460-000	SFR	0.151	1.000	1.0	1.0000	34.08	34.08
F	196-490-470-000	SFR	0.151	1.000	1.0	1.0000	34.08	34.08
F	196-490-480-000	SFR	0.151	1.000	1.0	1.0000	34.08	34.08
F	196-490-490-000	SFR	0.151	1.000	1.0	1.0000	34.08	34.08
F	196-490-500-000	SFR	0.151	1.000	1.0	1.0000	34.08	34.08
F	196-490-510-000	SFR	0.151	1.000	1.0	1.0000	34.08	34.08
F	196-490-520-000	SFR	0.151	1.000	1.0	1.0000	34.08	34.08
F	196-490-530-000	SFR	0.151	1.000	1.0	1.0000	34.08	34.08
F	196-490-540-000	SFR	0.152	1.000	1.0	1.0000	34.08	34.08
F	196-490-550-000	SFR	0.160	1.000	1.0	1.0000	34.08	34.08

CITY OF LATHROP
RESIDENTIAL LIGHTING MAINTENANCE DISTRICT
FISCAL YEAR 2019/20
PARCEL LISTING

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
F	196-490-560-000	SFR	0.151	1.000	1.0	1.0000	34.08	34.08
F	196-490-570-000	SFR	0.153	1.000	1.0	1.0000	34.08	34.08
SUBTOTAL:		154 PARCELS				152.5610		\$5,199.28

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Rate	Levy
G	196-110-010-000	VAC	0.312	0.312	1.0	0.3120	\$7.79	\$2.42
G	196-110-020-000	VAC	0.281	0.281	1.0	0.2810	7.79	2.18
G	196-110-030-000	VAC	0.650	0.650	1.0	0.6500	7.79	5.06
G	196-110-040-000	VAC	0.933	0.933	1.0	0.9330	7.79	7.26
G	196-110-050-000	NON-RES	0.356	0.356	4.0	1.4240	7.79	11.08
G	196-110-060-000	VAC	0.218	0.250	1.0	0.2500	7.79	1.94
G	196-110-070-000	NON-RES	0.557	0.557	4.0	2.2280	7.79	17.36
G	196-110-080-000	NON-RES	0.469	0.469	4.0	1.8760	7.79	14.60
G	196-110-090-000	VAC	0.151	0.250	1.0	0.2500	7.79	1.94
G	196-110-230-000	NON-RES	0.878	0.878	4.0	3.5120	7.79	27.36
G	196-110-240-000	NON-RES	0.920	0.920	4.0	3.6800	7.79	28.66
G	196-110-250-000	VAC-RESTR DEV	0.324	0.324	0.5	0.1620	7.79	1.26
G	196-110-260-000	VAC-RESTR DEV	1.408	1.408	0.5	0.7040	7.79	5.48
G	196-110-200-000	NON-RES	3.250	3.250	4.0	13.0000	7.79	101.26
G	196-110-210-000	NON-RES	5.970	5.970	4.0	23.8800	7.79	186.02
G	196-110-220-000	NON-RES	0.742	0.742	4.0	2.9680	7.79	23.12
G	196-110-180-000	NON-RES	2.480	2.480	4.0	9.9200	7.79	77.28
G	196-110-190-000	VAC	0.664	0.664	1.0	0.6640	7.79	5.16
G	196-190-810-000	NON-RES	3.770	3.770	4.0	15.0800	7.79	117.46
G	196-190-820-000	NON-RES	0.675	0.675	4.0	2.7000	7.79	21.02
G	196-190-830-000	NON-RES	0.732	0.732	4.0	2.9280	7.79	22.80
G	196-200-790-000	NON-RES	2.230	2.230	4.0	8.9200	7.79	69.48
G	196-200-800-000	NON-RES	0.780	0.780	4.0	3.1200	7.79	24.30
G	196-200-810-000	NON-RES	1.590	1.590	4.0	6.3600	7.79	49.54
G	196-270-010-000	NON-RES	1.244	1.244	4.0	4.9760	7.79	38.76
G	196-270-020-000	NON-RES	8.340	8.340	4.0	33.3600	7.79	259.86
G	196-270-040-000	NON-RES	12.000	10.000	4.0	40.0000	7.79	311.60
G	196-270-220-000	NON-RES	4.800	4.800	4.0	19.2000	7.79	149.56
G	196-270-310-000	NON-RES	0.920	0.920	4.0	3.6800	7.79	28.66
G	196-730-010-000	SFR	0.091	1.000	1.0	1.0000	7.79	7.78
G	196-730-020-000	SFR	0.090	1.000	1.0	1.0000	7.79	7.78
G	196-730-030-000	SFR	0.092	1.000	1.0	1.0000	7.79	7.78
G	196-730-040-000	SFR	0.092	1.000	1.0	1.0000	7.79	7.78
G	196-730-050-000	SFR	0.092	1.000	1.0	1.0000	7.79	7.78
G	196-730-060-000	SFR	0.092	1.000	1.0	1.0000	7.79	7.78
G	196-730-070-000	SFR	0.092	1.000	1.0	1.0000	7.79	7.78
G	196-730-080-000	SFR	0.092	1.000	1.0	1.0000	7.79	7.78
G	196-730-090-000	SFR	0.092	1.000	1.0	1.0000	7.79	7.78
G	196-730-100-000	SFR	0.089	1.000	1.0	1.0000	7.79	7.78
G	196-730-110-000	VAC	0.115	0.250	1.0	0.2500	7.79	1.94
G	196-730-120-000	VAC	0.088	0.250	1.0	0.2500	7.79	1.94
G	196-730-130-000	SFR	0.088	1.000	1.0	1.0000	7.79	7.78
G	196-730-140-000	SFR	0.088	1.000	1.0	1.0000	7.79	7.78
G	196-730-150-000	SFR	0.088	1.000	1.0	1.0000	7.79	7.78
G	196-730-160-000	SFR	0.088	1.000	1.0	1.0000	7.79	7.78
G	196-730-170-000	SFR	0.088	1.000	1.0	1.0000	7.79	7.78
G	196-730-180-000	SFR	0.088	1.000	1.0	1.0000	7.79	7.78
G	196-730-190-000	SFR	0.102	1.000	1.0	1.0000	7.79	7.78
G	196-730-200-000	SFR	0.142	1.000	1.0	1.0000	7.79	7.78
G	196-730-210-000	SFR	0.188	1.000	1.0	1.0000	7.79	7.78
G	196-730-220-000	SFR	0.105	1.000	1.0	1.0000	7.79	7.78

CITY OF LATHROP
RESIDENTIAL LIGHTING MAINTENANCE DISTRICT
FISCAL YEAR 2019/20
PARCEL LISTING

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
G	196-730-230-000	SFR	0.087	1.000	1.0	1.0000	7.79	7.78
G	196-730-240-000	SFR	0.088	1.000	1.0	1.0000	7.79	7.78
G	196-730-250-000	SFR	0.088	1.000	1.0	1.0000	7.79	7.78
G	196-730-260-000	SFR	0.088	1.000	1.0	1.0000	7.79	7.78
G	196-730-270-000	SFR	0.088	1.000	1.0	1.0000	7.79	7.78
G	196-730-280-000	SFR	0.088	1.000	1.0	1.0000	7.79	7.78
G	196-730-290-000	SFR	0.088	1.000	1.0	1.0000	7.79	7.78
G	196-730-300-000	SFR	0.088	1.000	1.0	1.0000	7.79	7.78
G	196-730-310-000	SFR	0.088	1.000	1.0	1.0000	7.79	7.78
G	196-730-320-000	SFR	0.111	1.000	1.0	1.0000	7.79	7.78
G	196-730-330-000	SFR	0.105	1.000	1.0	1.0000	7.79	7.78
G	196-730-340-000	SFR	0.093	1.000	1.0	1.0000	7.79	7.78
G	196-730-350-000	SFR	0.093	1.000	1.0	1.0000	7.79	7.78
G	196-730-360-000	SFR	0.094	1.000	1.0	1.0000	7.79	7.78
G	196-730-370-000	SFR	0.093	1.000	1.0	1.0000	7.79	7.78
G	196-730-380-000	SFR	0.093	1.000	1.0	1.0000	7.79	7.78
G	196-730-390-000	SFR	0.093	1.000	1.0	1.0000	7.79	7.78
G	196-730-400-000	SFR	0.112	1.000	1.0	1.0000	7.79	7.78
G	196-730-410-000	SFR	0.108	1.000	1.0	1.0000	7.79	7.78
G	196-730-420-000	SFR	0.093	1.000	1.0	1.0000	7.79	7.78
G	196-730-430-000	SFR	0.093	1.000	1.0	1.0000	7.79	7.78
G	196-730-440-000	SFR	0.093	1.000	1.0	1.0000	7.79	7.78
G	196-730-450-000	SFR	0.094	1.000	1.0	1.0000	7.79	7.78
G	196-730-460-000	SFR	0.093	1.000	1.0	1.0000	7.79	7.78
G	196-730-470-000	SFR	0.093	1.000	1.0	1.0000	7.79	7.78
G	196-730-480-000	SFR	0.112	1.000	1.0	1.0000	7.79	7.78
G	196-730-490-000	SFR	0.109	1.000	1.0	1.0000	7.79	7.78
G	196-730-500-000	SFR	0.093	1.000	1.0	1.0000	7.79	7.78
G	196-730-510-000	SFR	0.093	1.000	1.0	1.0000	7.79	7.78
G	196-730-520-000	SFR	0.093	1.000	1.0	1.0000	7.79	7.78
G	196-730-530-000	SFR	0.094	1.000	1.0	1.0000	7.79	7.78
G	196-730-540-000	SFR	0.093	1.000	1.0	1.0000	7.79	7.78
G	196-730-550-000	SFR	0.093	1.000	1.0	1.0000	7.79	7.78
G	196-730-560-000	SFR	0.116	1.000	1.0	1.0000	7.79	7.78
G	196-730-570-000	SFR	0.109	1.000	1.0	1.0000	7.79	7.78
G	196-730-580-000	SFR	0.093	1.000	1.0	1.0000	7.79	7.78
G	196-730-590-000	SFR	0.093	1.000	1.0	1.0000	7.79	7.78
G	196-730-600-000	SFR	0.094	1.000	1.0	1.0000	7.79	7.78
G	196-730-610-000	SFR	0.093	1.000	1.0	1.0000	7.79	7.78
G	196-730-620-000	SFR	0.093	1.000	1.0	1.0000	7.79	7.78
G	196-730-630-000	SFR	0.093	1.000	1.0	1.0000	7.79	7.78
G	196-730-640-000	SFR	0.116	1.000	1.0	1.0000	7.79	7.78
G	196-730-650-000	EXEMPT	0.065	0.000	0.0	0.0000	7.79	0.00
G	196-730-660-000	VAC-RESTR DEV	0.390	0.390	0.5	0.1950	7.79	1.52
G	196-750-010-000	SFR	0.127	1.000	1.0	1.0000	7.79	7.78
G	196-750-020-000	SFR	0.118	1.000	1.0	1.0000	7.79	7.78
G	196-750-030-000	SFR	0.116	1.000	1.0	1.0000	7.79	7.78
G	196-750-040-000	SFR	0.114	1.000	1.0	1.0000	7.79	7.78
G	196-750-050-000	SFR	0.114	1.000	1.0	1.0000	7.79	7.78
G	196-750-060-000	SFR	0.114	1.000	1.0	1.0000	7.79	7.78
G	196-750-070-000	SFR	0.134	1.000	1.0	1.0000	7.79	7.78
G	196-750-080-000	SFR	0.125	1.000	1.0	1.0000	7.79	7.78
G	196-750-090-000	SFR	0.144	1.000	1.0	1.0000	7.79	7.78
G	196-750-100-000	SFR	0.173	1.000	1.0	1.0000	7.79	7.78
G	196-750-110-000	SFR	0.137	1.000	1.0	1.0000	7.79	7.78
G	196-750-120-000	SFR	0.114	1.000	1.0	1.0000	7.79	7.78
G	196-750-130-000	SFR	0.151	1.000	1.0	1.0000	7.79	7.78

**CITY OF LATHROP
RESIDENTIAL LIGHTING MAINTENANCE DISTRICT
FISCAL YEAR 2019/20
PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
G	196-750-140-000	SFR	0.154	1.000	1.0	1.0000	7.79	7.78
G	196-750-150-000	SFR	0.139	1.000	1.0	1.0000	7.79	7.78
G	196-750-160-000	SFR	0.153	1.000	1.0	1.0000	7.79	7.78
G	196-750-170-000	SFR	0.178	1.000	1.0	1.0000	7.79	7.78
G	196-750-180-000	SFR	0.137	1.000	1.0	1.0000	7.79	7.78
G	196-750-190-000	SFR	0.114	1.000	1.0	1.0000	7.79	7.78
G	196-750-200-000	SFR	0.140	1.000	1.0	1.0000	7.79	7.78
SUBTOTAL:		115 PARCELS				289.7130		\$2,255.84
GRAND TOTAL:		2,487 PARCELS				2,835.9835		\$126,809.50

(1) Units represents number of assessable residential units or acreage (with applicable minimum and maximum restrictions) for non-residential parcels.

RESOLUTION NO. 19-_____

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP
 APPROVING THE PRELIMINARY ENGINEER'S REPORT FOR THE MOSSDALE
 LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT AND DECLARING
 INTENTION TO LEVY ANNUAL ASSESSMENTS FOR FISCAL YEAR 2019/20**

WHEREAS, the City Council has by previous Resolutions formed the Mosssdale Landscape and Lighting Maintenance District (hereafter referred to as the "District"), and initiated proceedings for Fiscal Year 2019/20, pursuant to the provisions of the *Landscape and Lighting Act of 1972, Part 2, Division 15 of the California Streets and Highways Code (commencing with Section 22500)* (hereafter referred to as the "Act") that provides for the levy and collection of assessments by the County of San Joaquin for the City of Lathrop to pay the maintenance and services of all improvements and facilities related thereto ; and,

WHEREAS, the City Council has retained NBS for the purpose of assisting with the Annual Levy of the District, and to prepare and file a report with the City Clerk in accordance with the Act; and,

WHEREAS, the City Council has previously called for the preparation of an Engineer's Report and Annual Levy Report (collectively referred to herein as the "Report") for the district known as the Mosssdale Landscape and Lighting Maintenance District; and

WHEREAS, the Report has now been presented to the City Council; and

WHEREAS, the Report includes the District's budget and assessments and contains the data necessary to determine the special benefit conferred upon each property included in the District; and

WHEREAS, the City Council has carefully examined and reviewed the Report as presented and amended on April 8, 2019, and is preliminarily satisfied with the Mosssdale Landscape and Lighting Maintenance District, and all of the budget items and charges, and is satisfied that the levy amounts, on a preliminary basis, have been spread in accordance with the special benefits received from the improvements, operation, maintenance and services performed in and provided by the District;

NOW, THEREFORE, BE IT RESOLVED that the following actions shall be taken:

Section 1 Intention: The City Council hereby declares that it is its intention to seek the Annual Levy of the District pursuant to the Act, over and including the land within the District boundary, and to levy and collect assessments on all such land to pay the annual costs of the improvements.

Section 2 Description of Improvements and any substantial changes proposed: The improvements within the District may include, but are not limited to: landscaping, planting, shrubbery, trees, turf, irrigation systems, street lighting, park sites, site lighting and appurtenant facilities. Services provided include all necessary service, operations, administration and maintenance required to keep the improvements in a healthy, vigorous and satisfactory condition. The Report, attached hereto as Exhibit "A" and incorporated herein by this reference is hereby approved on a preliminary basis and ordered to be filed with this Resolution in the Office of the City Clerk as a permanent record. Such Report shall remain open to public inspection. The Report provides a full and complete description of all improvements and any or all substantial changes to the District or improvements within the District.

Section 3 Boundaries and Designation: The boundaries of the District are described as the boundaries previously defined in the formation documents of the original District, within the boundaries of the City of Lathrop, within the County of San Joaquin, State of California. Also described as:

Mossdale Landscape and Lighting Maintenance District

Section 4 Proposed Assessment Amounts: For Fiscal Year 2019/20, the proposed assessments are outlined in the Report which details any changes or increases in the annual assessment.

Section 5 Public Hearing(s): The City Council hereby declares its intention to conduct a Public Hearing annually concerning the levy of assessments for the District in accordance with *Chapter 3, Section 22626* of the Act and Articles XIII (C) and XIII (D) of the California Constitution.

Section 6 Notice: The City shall give notice of the time and place of the Public Hearing to all property owners within the District by causing the publishing of this Resolution once in a newspaper of local circulation for two consecutive weeks not less than ten (10) days before the date of the public hearing, and by posting a copy of this resolution on the official bulletin board customarily used by the City Council for the posting of notices.

Section 7 Notice of Public Hearing: Notice is hereby given that a Public Hearing on these matters will be held by the City Council on Monday, May 13, 2019, at 7:00 p.m. or as soon thereafter as feasible in the City Council Chambers, located at 390 Towne Centre Dr., Lathrop, California.

Section 8 Compliance with Article XIII (C) and XIII (D) of the California Constitution: The City Council hereby finds that the proposed assessments are exempt from the requirements for Article XIII (C) and XIII (D) of the California Constitution in that the amount of the assessment is unchanged and the assessment is imposed exclusively to finance the maintenance and operation expenses for street tree, and street-side landscaping & park maintenance.

The foregoing resolution was passed and adopted this 8th day of April 2019, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Sonny Dhaliwal, Mayor

ATTEST:

APPROVED AS TO FORM:

Teresa Vargas, City Clerk



Salvador Navarrete, City Attorney

CITY OF LATHROP

Mossdale Landscape and Lighting Maintenance District

Annual Engineer's Report

Fiscal Year 2019/20

OFFICE LOCATIONS:

Temecula – Corporate Headquarters
32605 Temecula Parkway, Suite 100
Temecula, CA 92592

San Francisco – Regional Office
870 Market Street, Suite 1223
San Francisco, CA 94102

California Satellite Offices
Atascadero, Davis
Huntington Beach,
Joshua Tree, Riverside
Sacramento, San Jose

www.nbsgov.com

Prepared by:



**CITY OF LATHROP
MOSSDALE LANDSCAPE AND
LIGHTING MAINTENANCE DISTRICT**

**390 Towne Centre Drive
Lathrop, California 95330
Phone - (209) 941-7320
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CITY COUNCIL

Sonny Dhaliwal, Mayor

Martha Salcedo, Vice Mayor

Paul Akinjo, Councilmember

Diane Lazard, Councilmember

Jennifer Torres-O'Callaghan, Councilmember

CITY STAFF

Stephen Salvatore, City Manager

Salvador Navarrete, City Attorney

Cari James, Finance Director

Glenn Gebhardt, City Engineer

NBS

Tim Seufert, Client Services Director

Kristin Harvey, Senior Consultant

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Section 1. ENGINEER’S LETTER

WHEREAS, the City Council of the City of Lathrop (the “City”), State of California, directed NBS Government Finance Group, DBA NBS (“NBS”) to prepare and file a report presenting plans and specifications describing the general nature, location, and extent of the improvements to be maintained, and an estimate of the costs of the maintenance, operations, and servicing of the improvements for the City of Lathrop Mossdale Landscape and Lighting Maintenance District, including Annexation No. 1, Zone 2 (the “District”) for Fiscal Year 2019/20. The report includes a diagram for the District showing the area and properties proposed to be assessed, an assessment of the estimated costs of the maintenance, operations, and servicing of the improvements, and the net amount to be assessed upon all assessable parcels within the District in proportion to the special benefit received;

WHEREAS, the proposed assessment rate of \$268.06 per Equivalent Unit (“EU”) is not greater than 103% of the prior year maximum assessment rate, as approved by the land owners. The District is in compliance with the assessment balloting procedures set forth in Section 4 of Article XIII D of the California Constitution and the District was formed by consent of 100% of the land owners.

NOW THEREFORE, only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated benefit received. The following assessment is made to fund the portion of the estimated costs of maintenance, operation, and servicing of the improvements to be paid by the assessable real property within the District in proportion to the special benefit received:

SUMMARY OF ASSESSMENT

Description	Amount
Balance to Levy	\$578,580.68
Total District Equivalent Units	2,158.40
Total Assessment per Equivalent Unit	\$268.06
Total Assessment (1)	\$578,580.68

(1) Accounts for the actual levy rounded down to an even cent for San Joaquin County tax roll purposes, where applicable.

I, the undersigned, respectfully submit the enclosed Engineer’s Report and, to the best of my knowledge, information, and belief, the Engineer’s Report, Assessments, and the District Diagram herein have been prepared and computed in accordance with the order and historical practices of the City Council of the City.

NBS Government Finance Group, DBA NBS



Section 2. OVERVIEW

Introduction

The District was formed in 2004 and is levied pursuant to the Landscaping and Lighting Act of 1972, Part 2 of Division 15 of the California Streets and Highways Code (the “Act”). In 2006, the City annexed territory to the District designated as Annexation No. 1, Zone 2.

This Annual Engineer’s Report (the “Report”) describes the District and the charge per SFR and MFR EU for Fiscal Year 2019/20 based upon the estimated costs to maintain the improvements and provide the services that benefit parcels within the District.

The word “parcel,” for the purposes of this Report, refers to an individual property assigned its own Assessor’s Parcel Number by the San Joaquin County (the “County”) Assessor’s Office. The County Auditor-Controller uses Assessor’s Parcel Numbers and specific Fund Numbers to identify properties on the tax roll that receive special district benefit assessments.

Following review of the Report, the City Council may confirm the submittal of the Report, and may order the levy and collection of assessments for Fiscal Year 2019/20. If approved, the assessment information will be submitted to the County Auditor-Controller and included on the property tax roll for each benefiting parcel for Fiscal Year 2019/20.

Effect of Proposition 218

On November 5, 1996, California voters approved Proposition 218 by a vote of 56.5% to 43.5%. The provisions of the Proposition, now California Constitutional Articles XIII C and XIII D, added substantive and procedural requirements for assessments, which affect the City’s landscaping and lighting maintenance assessments.

As approved by the land owners, the maximum assessment rate increases by 3% each year. The maximum assessment rate for Fiscal Year 2019/20 is \$276.10 per equivalent unit. The proposed assessment rate for Fiscal Year 2019/20 is \$268.06 per SFR EU and \$268.06 per MFR EU, which is below the maximum assessment rate.

The District is in compliance with the assessment balloting procedures set forth in Section 4 of Article XIII D and the District was formed by consent of 100% of the land owners.

The following table shows the levy assessment rate and the maximum assessment rate for the three most recent years.

Fiscal Year	Levy Assessment Rate	Maximum Assessment Rate
2019/20	\$268.06	\$276.10
2018/19	260.25	268.06
2017/18	252.67	260.25

Plans and Specifications for the Improvements

The District is located in the City; the boundaries of the District are described as that area generally bounded by Assessor's Parcel Number ("APN") 191-210-05 to the North, APN 241-020-009 to the South, generally Golden Valley Parkway to the East, and the San Joaquin River to the West. All APNs detailed above reference the County Assessor's Maps for Fiscal Year 2003/04. The District currently consists of 2,108 SFR EU and 50.4 MFR EU in multiple subdivisions on the western side of the City.

The boundaries of Annexation No. 1 are described as that area generally bounded by APN 241-020-052 and 241-020-053 to the North, the Pacific Union Railroad to the South, Interstate 5 to the East, and the San Joaquin River to the West. Annexation No. 1 is comprised of Tract 3438 (Vallentyne – Autumnwood Villas III) and APN 241-020-33 and 241-020-34, which were anticipated to consist of 69 residential lots when developed.

The District provides for the continued administration, maintenance, operations, and servicing of various improvements located within the public right-of-way and dedicated easements within the boundaries of the District.

The improvements are the construction, operation, maintenance, and servicing of lighting, landscaping, and appurtenant facilities including, but not limited to, personnel, electrical energy for street lights, security lighting, and irrigation controllers, materials, contracting services, and other items necessary for the satisfactory operation of these services as described as follows:

"The landscape and lighting improvements within the District, may include, but are not limited to: landscaping, planting, shrubbery, trees, turf, irrigation systems, street lighting, and appurtenant facilities including, but not limited to, public right-of-way, easements, and park sites. Services provided include all necessary service, operations, administration, and maintenance required to keep the improvements in a healthy, vigorous, and satisfactory condition."

Reference is made to the plans and specifications for the improvements, which are on file with the City.

Section 3. ESTIMATE OF COSTS

Description of Budget Items

Personnel Services - Includes employee salaries, salary related costs, and employee benefits including retirement, medical benefits, and workers compensation costs, etc.

Maintenance & Operations - Includes the following:

Advertising/Legal Notices - Includes the cost of publishing the required legal notices necessary to complete the required procedures for levying the assessments.

Auto & Heavy Equipment Maintenance Parts - Includes replacement parts for City vehicles used for maintenance.

Auto & Heavy Equipment Maintenance & Repair - Includes maintenance of City vehicles used for maintenance.

Chemicals - Includes insect repellent, weed killer, and rodent control.

Communication Equipment Repair - Includes repair of electronic components, power cords, mobile, and portable radios.

Contract Services - Includes Professional Services necessary for District maintenance including trees and landscaping, park maintenance, equipment rental, computer technical support, and the preparation of the Report.

Gas, Diesel, Oil & Lubricants - Includes fuel, oil, and lubricants for vehicles and miscellaneous small equipment.

Miscellaneous Supplies - Includes office equipment and supplies, custodial supplies, materials, and supplies, tools, reference materials, and additional administrative costs.

Other Maintenance & Repair - Includes contracted maintenance and repair services such as annual fire extinguisher service and emergency repairs.

Printing & Typesetting - Includes the cost of preparing the required legal notices necessary to complete the required procedures for levying the assessments.

Training, Membership, Travel & Dues - Includes continuing training for maintenance staff.

Uniforms/Protective Clothing - Includes employee uniforms including safety boots, jackets, gloves, etc.

Utilities - Gas & Electric - Includes electrical power for street lights, sprinklers, statuary fountains etc.

Water - Includes water for irrigation.

Fixed Charges & Special Fees - Includes the charges per parcel to place the assessments on the County Secured Property Tax Roll.

Capital - Includes depreciation charges for capital items used in Mossdale operations. Examples include: vehicles and buildings.

Indirect Costs - Includes overhead costs of the City related to maintenance, operation, and administration of the District.

Capital Replacement - includes funding for the timely replacement of vehicles and buildings used for Mossdale operations.

Equipment Replacement - Includes funding for the timely replacement of equipment used for Mossdale operations.

Maintenance Repairs & Contingency - An amount included to build a Reserve and Contingency Fund. The Fund will be considered fully funded when the account balance reaches an amount equal to 50% of the annual maintenance costs, unless an additional reserve amount is collected to provide for capital replacement in future fiscal years.

District Budget

The budget for Fiscal Year 2019/20 is as follows.

Description	2019/20 Budget
Personnel Services	\$54,257.00
Maintenance & Operations Total	565,700.00
Fixed Assets/Capital Total	6,100.00
Indirect Costs	74,837.00
Capital Replacement	5,000.00
Equipment Replacement	0.00
Maintenance Repair & Contingency	<u>0.00</u>
Total District Costs	\$705,894.00

Balance to Levy

Total District Costs - Includes the personnel services, maintenance, and operations, capital (including capital replacement costs), indirect costs and equipment, and capital replacement costs.

Other Revenue Sources - This is the amount of additional funds designated for use by the District that are not from District assessments. These funds are added to the District account to reduce assessments and may be from either non-District sources including City General Fund contributions or District sources including interest earnings.

Contribution to (from) Operational Reserves - The Operational Reserves item provides funds to operate the District from the time period of July 1 (beginning of the fiscal year) through December when the County provides the City with the first installment of assessments collected from the property tax bills. This eliminates the need for the City to transfer funds from non-District accounts to pay for District charges during the first half of the fiscal year. Negative amounts shown here are transfers that are used to reduce the Balance to Levy. Using reserve amounts in this way allows the levy per unit to remain at prior period rates, although District costs may have increased.

Contribution to (from) Capital Reserves - The Capital Reserve Account item provides funds to maintain reserves for extraordinary maintenance items and unexpected capital expenditures that may occur as a result of natural occurrences or other unforeseen circumstances.

Balance to Levy - This is the total amount to be levied and collected through assessments for the current fiscal year. The Balance to Levy represents the sum of the total direct and administration costs, reserves, contributions, and other revenue sources.

The following table shows the total costs, additional revenues and contributions, and the balance to the Fiscal Year 2019/20 levy.

Description	Amount
Total District Costs	\$705,894.00
Other Revenue Sources	0.00
Contribution to (from) Operational Reserves	(127,313.32)
Contribution to (from) Capital Reserves	<u>0.00</u>
Balance to Levy	\$578,580.68

Operational & Maintenance Reserve Information

The following table shows the estimated balance of the Operational and Maintenance Reserves.

Description	Amount
Estimated Beginning Balance - June 30, 2019	\$364,631.57
Contribution to (from) Operational and Maintenance	<u>(127,313.32)</u>
Estimated Ending Balance - June 30, 2020	\$237,318.25

The reserves are intended to be used and/or accumulated for repair and/or capital replacement, as needed for improvements within the District.

Section 4. METHOD OF APPORTIONMENT

Method of Apportionment

Pursuant to the Act and Article XIII D of the Constitution of the State of California, all parcels that have special benefit conferred upon them as a result of the maintenance and operation of improvements will be identified and the proportional special benefit derived by each identified parcel will be determined in relation to the entire cost of the maintenance and operation of the improvements. Only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated benefit received. The assessment has been levied in accordance with the assessment methodology adopted and approved by the City Council at the time of District formation.

Mossdale is a mixed use development. There are 2,109 SFR units within the District. Each of these units is deemed to receive a proportional special benefit of one (1) EU from the maintenance and operation of the improvements. The total SFR EU count is 2,109.

There are 84 MFR units within the District. MFR units receive a proportional special benefit of six tenths (0.60) EU from the maintenance and operation of the improvements. The total MFR EU count is 50.4.

The Fiscal Year 2019/20 assessment rate is not proposed to increase by more than 3% from the prior year maximum assessment rate. Therefore, the District is in compliance with the assessment balloting procedures set forth in Section 4 of Article XIII D. For details, see section 2.2 of this Report.

Assessment - SFR EU

The following table shows the assessment per single family residential EU for the Fiscal Year 2019/20 levy.

Description	Amount
Balance to Levy	\$578,580.68
Total District SFR EU	2,108
Calculated Assessment Per SFR EU (1)	\$268.06
Total Assessment – SFR EU (2)	\$565,070.48

(1) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.

(2) Accounts for the actual levy rounded down to an even cent for San Joaquin County tax roll purposes, where applicable.

Assessment - MFR EU

The following table shows the assessment per multi-family residential EU for the Fiscal Year 2019/20 levy.

Description	Amount
Balance to Levy	\$578,580.68
Total Assessment – SFR EU	<u>(565,070.48)</u>
Remaining Balance to Levy	\$13,510.20
Total District MFR EU	50.40
Calculated Assessment Per MFR EU (1)	\$268.06
Total Assessment – MFR EU (2)	\$13,510.20

(1) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.

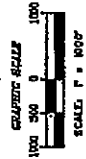
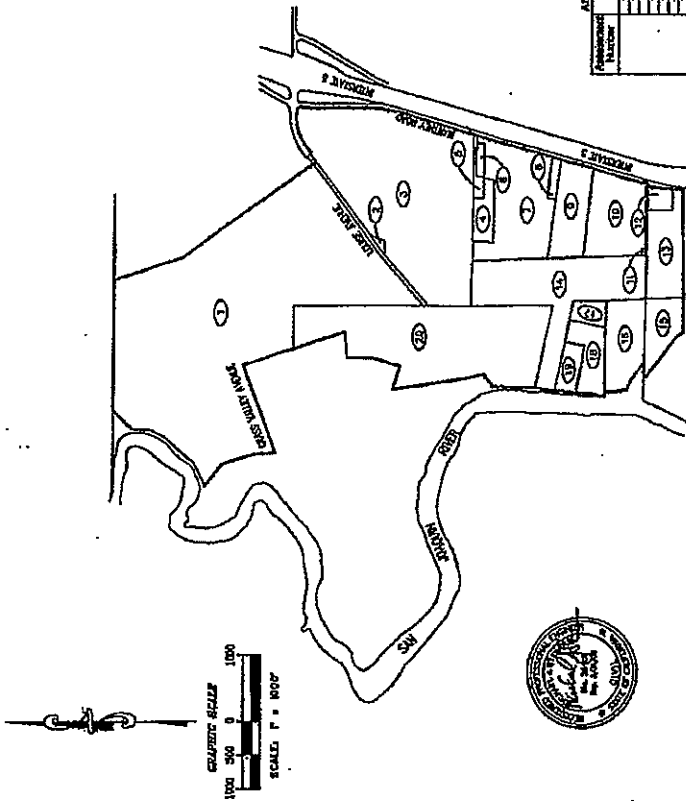
(2) Accounts for the actual levy rounded down to an even cent for San Joaquin County tax roll purposes, where applicable.

Section 5. ASSESSMENT DIAGRAM

The following pages provide a copy of the Assessment Diagram for the District and Annexation No. 1, Zone 2. The lines and dimensions shown on maps of the County Assessor for the current year are incorporated by reference and made part of this Report.

ASSESSMENT DIAGRAM LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT

CITY OF LATROP
COUNTY OF SAN JOAQUIN
STATE OF CALIFORNIA



NBS

1151 Edwards Drive, Suite 201
Folsom, CA 95630
Local Government Solutions

IN THE OFFICE OF THE CITY CLERK OF THE CITY OF LATROP THIS
 11th day of January, 2024.

[Signature]
 CITY CLERK

WHEREFORE, I HEREBY CERTIFY THAT THE WITHIN DIAGRAM SHOWING THE PROPOSED PROMOTION OF LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF LATROP AT A PUBLIC HEARING HELD ON THE 11th day of January, 2024.

[Signature]
 CITY CLERK

READ THE 11th DAY OF JANUARY, 2024, AT THE HOUR OF 9:00 O'CLOCK A.M. IN
 THE OFFICE OF THE CITY CLERK OF THE COUNTY OF SAN JOAQUIN,
 STATE OF CALIFORNIA.

FORAS ATESTADO EN MI OFICINA EN LATROP, CALIFORNIA
 COUNTY CLERK
 COUNTY OF SAN JOAQUIN

WITHIN THE DISTRICT DESCRIBED IN THE MAPS AND DIMENSIONS OF EACH PARCEL.

DOC # 2024-0317413
 COUNTY OF SAN JOAQUIN
 COUNTY CLERK'S OFFICE
 1000 J STREET, SUITE 200
 FOLSOM, CA 95630

LEGEND
 ——— ASSESSMENT DISTRICT BOUNDARY
 ——— PARCEL LINE
 (10) ASSESSORS PARCEL IDENTIFIATOR

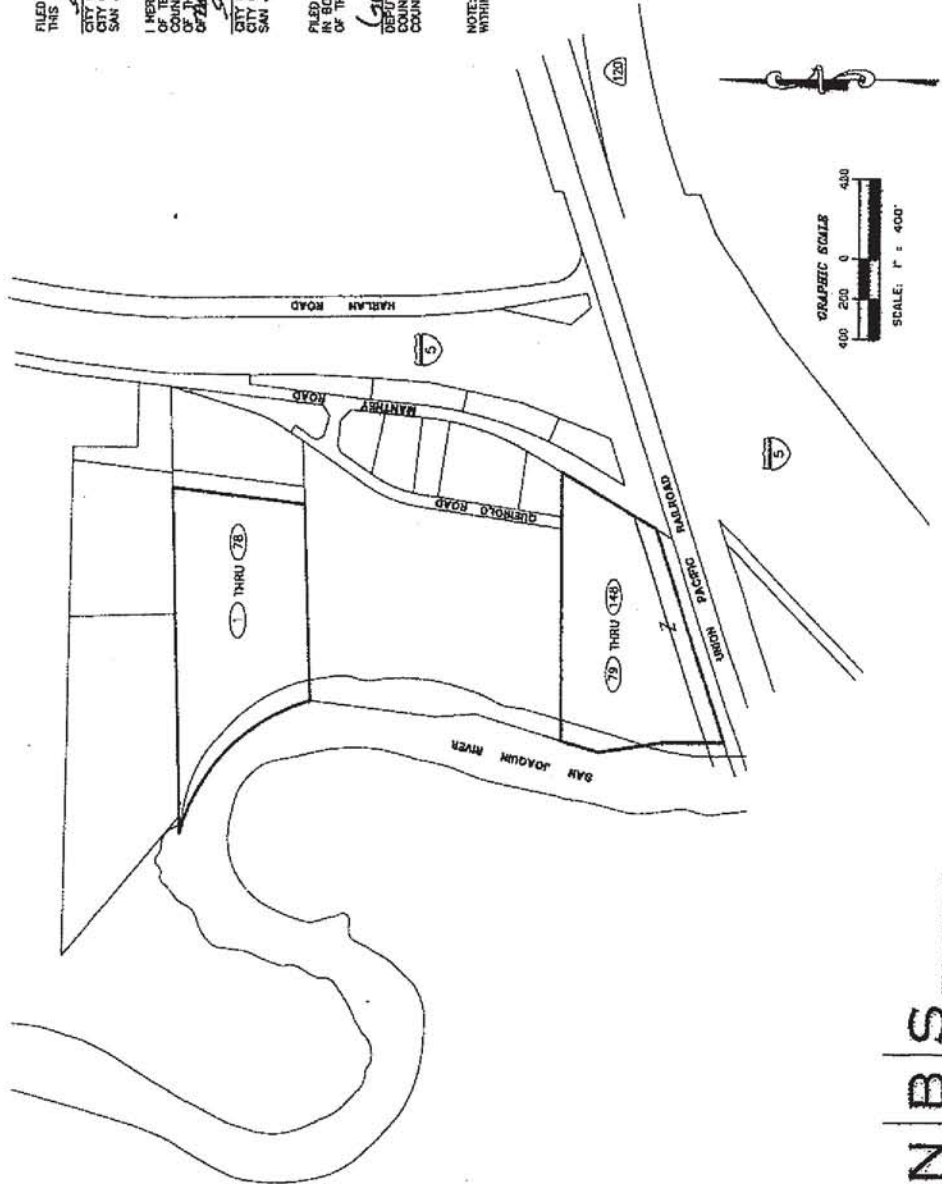
ASSESSMENT IS	APN	Assessor's Parcel ID
1	001	001
1	002	002
1	003	003
1	004	004
1	005	005
1	006	006
1	007	007
1	008	008
1	009	009
1	010	010
1	011	011
1	012	012
1	013	013
1	014	014
1	015	015
1	016	016
1	017	017
1	018	018
1	019	019
1	020	020

5-151

SHEET 1 OF 2

ANNEXATION DIAGRAM MOSSDALE LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT ANNEXATION NO. 1, ZONE 2 (MOSSDALE LANDING SOUTH)

CITY OF LATHROP
COUNTY OF SAN JOAQUIN
STATE OF CALIFORNIA



FILED IN THE OFFICE OF THE CITY CLERK OF THE CITY OF LATHROP
THIS 27th DAY OF December, 2006
CITY CLERK
CITY OF LATHROP
SAN JOAQUIN COUNTY, CALIFORNIA

I HEREBY CERTIFY THAT THE WITHIN MAP SHOWING THE BOUNDARIES OF THE ANNEXATION
TERMINATED INTO MOSSDALE LANDSCAPE MAINTENANCE DISTRICT, CITY OF LATHROP,
COUNTY OF SAN JOAQUIN, STATE OF CALIFORNIA, WAS PREPARED AND ADOPTED BY THE CITY COUNCIL
OF THE CITY OF LATHROP AT A REGULAR MEETING HEREBY REFERRED TO, HELD ON THE 27th DAY
OF December, 2006, BY ITS RESOLUTION NO. 06-231A.

CITY CLERK
CITY OF LATHROP
SAN JOAQUIN COUNTY, CALIFORNIA

FILED THIS 9 DAY OF January, 2007 AT THE HOUR OF 2:20 O'CLOCK P.M.
IN BOOK 5 AT PAGE 187 OF MAPS OF ASSESSMENT DISTRICTS IN THE OFFICE
OF THE COUNTY RECORDER OF THE COUNTY OF SAN JOAQUIN, STATE OF CALIFORNIA.

Glenn W. Eberwein by Christine Moreno
DEPUTY COUNTY RECORDER
COUNTY OF SAN JOAQUIN

NOTE: FOR A DETAILED DESCRIPTION OF THE LINES AND DIMENSIONS OF EACH PARCEL
WITHIN THE DISTRICT REFER TO THE COUNTY OF SAN JOAQUIN ASSESSOR'S MAPS.

DOC # 2007-008577
01/18/2007 11:12 AM
Page 1 of 2
Registration
County of San Joaquin
Recorder's Office
1177
FILED BY ASSESSOR'S OFFICE

ASSESSMENT DISTRICT BOUNDARY
PARCEL LINES
ASSESSMENT NUMBER



GRAPHIC SCALE
400 200 0 400
SCALE: 1" = 400'

NBS

2005 Edition, 2nd. Ed. 1st
Edition, 10/2002
Local Government Solutions

5-151

5-151A

SHEET 2 OF 2

ANNEXATION DIAGRAM
MOSSDALE LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT
ANNEXATION NO. 1, ZONE 2 (MOSSDALE LANDING SOUTH)

CITY OF LATHROP
COUNTY OF SAN JOAQUIN
STATE OF CALIFORNIA

Assessment #	Assessor's Parcel Number
101	POR OF 241-020-33634
102	POR OF 241-020-33634
103	POR OF 241-020-33634
104	POR OF 241-020-33634
105	POR OF 241-020-33634
106	POR OF 241-020-33634
107	POR OF 241-020-33634
108	POR OF 241-020-33634
109	POR OF 241-020-33634
110	POR OF 241-020-33634
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141	POR OF 241-020-33634
142	POR OF 241-020-33634
143	POR OF 241-020-33634
144	POR OF 241-020-33634
145	POR OF 241-020-33634
146	POR OF 241-020-33634
147	POR OF 241-020-33634
148	POR OF 241-020-33634

Assessment #	Assessor's Parcel Number
51	POR OF 241-020-56
52	POR OF 241-020-56
53	POR OF 241-020-56
54	POR OF 241-020-56
55	POR OF 241-020-56
56	POR OF 241-020-56
57	POR OF 241-020-56
58	POR OF 241-020-56
59	POR OF 241-020-56
60	POR OF 241-020-56
61	POR OF 241-020-56
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93	POR OF 241-020-56
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95	POR OF 241-020-56
96	POR OF 241-020-56
97	POR OF 241-020-56
98	POR OF 241-020-56
99	POR OF 241-020-56
100	POR OF 241-020-56

Assessment #	Assessor's Parcel Number
1	POR OF 241-020-56
2	POR OF 241-020-56
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39	POR OF 241-020-56
40	POR OF 241-020-56
41	POR OF 241-020-56
42	POR OF 241-020-56
43	POR OF 241-020-56
44	POR OF 241-020-56
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49	POR OF 241-020-56
50	POR OF 241-020-56



NBS

2825 Hayes St. Suite 109
Lathrop, CA 95227

Local Government Solutions

5-151A

Section 6. PARCEL LISTING

The parcel listing of assessments is provided on the following pages. The description of each lot or parcel is a part of the records of the County Assessor and is incorporated by reference and made part of this Report.

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
FISCAL YEAR 2019/20
PARCEL LISTING

Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-190-320-000	CITY	0	0.0	\$0.00	\$0.00
1	191-190-330-000	CITY	0	0.0	0.00	0.00
1	191-190-480-000	SCHOOL	0	0.0	0.00	0.00
1	191-190-490-000	CITY	0	0.0	0.00	0.00
1	191-190-560-000	COMMERCIAL	0	0.0	0.00	0.00
1	191-190-570-000	COMMERCIAL	0	0.0	0.00	0.00
1	191-190-580-000	COMMERCIAL	0	0.0	0.00	0.00
1	191-190-590-000	COMMERCIAL	0	0.0	0.00	0.00
1	191-190-610-000	COMMERCIAL	0	0.0	0.00	0.00
1	191-190-620-000	COMMERCIAL	0	0.0	0.00	0.00
1	191-190-630-000	COMMERCIAL	0	0.0	0.00	0.00
1	191-190-640-000	COMMERCIAL	0	0.0	0.00	0.00
1	191-190-650-000	COMMERCIAL	0	0.0	0.00	0.00
1	191-190-660-000	COMMERCIAL	0	0.0	0.00	0.00
1	191-190-670-000	COMMERCIAL	0	0.0	0.00	0.00
1	191-190-680-000	COMMERCIAL	0	0.0	0.00	0.00
1	191-190-690-000	COMMERCIAL	0	0.0	0.00	0.00
1	191-190-700-000	COMMERCIAL	0	0.0	0.00	0.00
1	191-190-710-000	COMMERCIAL	0	0.0	0.00	0.00
1	191-330-090-000	CITY	0	0.0	0.00	0.00
1	191-330-100-000	CITY	0	0.0	0.00	0.00
1	191-330-110-000	PUBLIC	0	0.0	0.00	0.00
1	191-330-120-000	CITY	0	0.0	0.00	0.00
1	191-340-020-000	SCHOOL	0	0.0	0.00	0.00
1	191-340-030-000	COMMON AREA	0	0.0	0.00	0.00
1	191-340-090-000	CITY	0	0.0	0.00	0.00
1	191-340-100-000	CITY	0	0.0	0.00	0.00
1	191-340-160-000	PUBLIC	0	0.0	0.00	0.00
1	191-340-170-000	PUBLIC	0	0.0	0.00	0.00
1	191-340-180-000	PUBLIC	0	0.0	0.00	0.00
1	191-350-040-000	CITY	0	0.0	0.00	0.00
1	191-350-060-000	PUBLIC	0	0.0	0.00	0.00
1	191-360-010-000	SFR	1	1.0	276.10	268.06
1	191-360-020-000	SFR	1	1.0	276.10	268.06
1	191-360-030-000	SFR	1	1.0	276.10	268.06
1	191-360-040-000	SFR	1	1.0	276.10	268.06
1	191-360-050-000	SFR	1	1.0	276.10	268.06
1	191-360-060-000	SFR	1	1.0	276.10	268.06
1	191-360-070-000	SFR	1	1.0	276.10	268.06
1	191-360-080-000	SFR	1	1.0	276.10	268.06
1	191-360-090-000	SFR	1	1.0	276.10	268.06
1	191-360-100-000	SFR	1	1.0	276.10	268.06
1	191-360-110-000	SFR	1	1.0	276.10	268.06
1	191-360-120-000	SFR	1	1.0	276.10	268.06
1	191-360-130-000	SFR	1	1.0	276.10	268.06
1	191-360-140-000	SFR	1	1.0	276.10	268.06
1	191-360-150-000	SFR	1	1.0	276.10	268.06
1	191-360-160-000	SFR	1	1.0	276.10	268.06
1	191-360-170-000	SFR	1	1.0	276.10	268.06
1	191-360-180-000	SFR	1	1.0	276.10	268.06

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
FISCAL YEAR 2019/20
PARCEL LISTING

Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-360-190-000	SFR	1	1.0	276.10	268.06
1	191-360-200-000	SFR	1	1.0	276.10	268.06
1	191-360-210-000	SFR	1	1.0	276.10	268.06
1	191-360-220-000	SFR	1	1.0	276.10	268.06
1	191-360-230-000	SFR	1	1.0	276.10	268.06
1	191-360-240-000	SFR	1	1.0	276.10	268.06
1	191-360-250-000	SFR	1	1.0	276.10	268.06
1	191-360-260-000	SFR	1	1.0	276.10	268.06
1	191-360-270-000	SFR	1	1.0	276.10	268.06
1	191-360-280-000	SFR	1	1.0	276.10	268.06
1	191-360-290-000	SFR	1	1.0	276.10	268.06
1	191-360-300-000	SFR	1	1.0	276.10	268.06
1	191-360-310-000	SFR	1	1.0	276.10	268.06
1	191-360-320-000	SFR	1	1.0	276.10	268.06
1	191-360-330-000	SFR	1	1.0	276.10	268.06
1	191-360-340-000	SFR	1	1.0	276.10	268.06
1	191-360-350-000	SFR	1	1.0	276.10	268.06
1	191-360-360-000	SFR	1	1.0	276.10	268.06
1	191-360-370-000	SFR	1	1.0	276.10	268.06
1	191-360-380-000	SFR	1	1.0	276.10	268.06
1	191-360-390-000	SFR	1	1.0	276.10	268.06
1	191-360-400-000	SFR	1	1.0	276.10	268.06
1	191-360-410-000	SFR	1	1.0	276.10	268.06
1	191-360-420-000	SFR	1	1.0	276.10	268.06
1	191-360-430-000	SFR	1	1.0	276.10	268.06
1	191-360-440-000	SFR	1	1.0	276.10	268.06
1	191-360-450-000	SFR	1	1.0	276.10	268.06
1	191-360-460-000	SFR	1	1.0	276.10	268.06
1	191-360-470-000	SFR	1	1.0	276.10	268.06
1	191-360-480-000	SFR	1	1.0	276.10	268.06
1	191-360-490-000	SFR	1	1.0	276.10	268.06
1	191-360-500-000	SFR	1	1.0	276.10	268.06
1	191-360-510-000	SFR	1	1.0	276.10	268.06
1	191-360-520-000	SFR	1	1.0	276.10	268.06
1	191-360-530-000	SFR	1	1.0	276.10	268.06
1	191-360-540-000	SFR	1	1.0	276.10	268.06
1	191-360-550-000	SFR	1	1.0	276.10	268.06
1	191-360-560-000	SFR	1	1.0	276.10	268.06
1	191-360-570-000	SFR	1	1.0	276.10	268.06
1	191-360-580-000	SFR	1	1.0	276.10	268.06
1	191-360-590-000	SFR	1	1.0	276.10	268.06
1	191-360-600-000	SFR	1	1.0	276.10	268.06
1	191-360-610-000	SFR	1	1.0	276.10	268.06
1	191-360-620-000	SFR	1	1.0	276.10	268.06
1	191-360-630-000	SFR	1	1.0	276.10	268.06
1	191-360-640-000	SFR	1	1.0	276.10	268.06
1	191-360-650-000	SFR	1	1.0	276.10	268.06
1	191-360-660-000	SFR	1	1.0	276.10	268.06
1	191-360-670-000	SFR	1	1.0	276.10	268.06

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-360-680-000	CITY	0	0.0	0.00	0.00
1	191-370-010-000	SFR	1	1.0	276.10	268.06
1	191-370-020-000	SFR	1	1.0	276.10	268.06
1	191-370-030-000	SFR	1	1.0	276.10	268.06
1	191-370-040-000	SFR	1	1.0	276.10	268.06
1	191-370-050-000	SFR	1	1.0	276.10	268.06
1	191-370-060-000	SFR	1	1.0	276.10	268.06
1	191-370-070-000	SFR	1	1.0	276.10	268.06
1	191-370-080-000	SFR	1	1.0	276.10	268.06
1	191-370-090-000	SFR	1	1.0	276.10	268.06
1	191-370-100-000	SFR	1	1.0	276.10	268.06
1	191-370-110-000	SFR	1	1.0	276.10	268.06
1	191-370-120-000	SFR	1	1.0	276.10	268.06
1	191-370-130-000	SFR	1	1.0	276.10	268.06
1	191-370-140-000	SFR	1	1.0	276.10	268.06
1	191-370-150-000	SFR	1	1.0	276.10	268.06
1	191-370-160-000	SFR	1	1.0	276.10	268.06
1	191-370-170-000	SFR	1	1.0	276.10	268.06
1	191-370-180-000	SFR	1	1.0	276.10	268.06
1	191-370-190-000	SFR	1	1.0	276.10	268.06
1	191-370-200-000	SFR	1	1.0	276.10	268.06
1	191-370-210-000	SFR	1	1.0	276.10	268.06
1	191-370-220-000	SFR	1	1.0	276.10	268.06
1	191-370-230-000	SFR	1	1.0	276.10	268.06
1	191-370-240-000	SFR	1	1.0	276.10	268.06
1	191-370-250-000	SFR	1	1.0	276.10	268.06
1	191-370-260-000	SFR	1	1.0	276.10	268.06
1	191-370-270-000	SFR	1	1.0	276.10	268.06
1	191-370-280-000	SFR	1	1.0	276.10	268.06
1	191-370-290-000	SFR	1	1.0	276.10	268.06
1	191-370-300-000	SFR	1	1.0	276.10	268.06
1	191-370-310-000	SFR	1	1.0	276.10	268.06
1	191-370-320-000	SFR	1	1.0	276.10	268.06
1	191-370-330-000	SFR	1	1.0	276.10	268.06
1	191-370-340-000	SFR	1	1.0	276.10	268.06
1	191-370-350-000	SFR	1	1.0	276.10	268.06
1	191-370-360-000	SFR	1	1.0	276.10	268.06
1	191-370-370-000	SFR	1	1.0	276.10	268.06
1	191-370-380-000	SFR	1	1.0	276.10	268.06
1	191-370-390-000	SFR	1	1.0	276.10	268.06
1	191-370-400-000	SFR	1	1.0	276.10	268.06
1	191-370-410-000	SFR	1	1.0	276.10	268.06
1	191-370-420-000	SFR	1	1.0	276.10	268.06
1	191-370-430-000	SFR	1	1.0	276.10	268.06
1	191-370-440-000	SFR	1	1.0	276.10	268.06
1	191-370-450-000	SFR	1	1.0	276.10	268.06
1	191-370-460-000	SFR	1	1.0	276.10	268.06
1	191-370-470-000	SFR	1	1.0	276.10	268.06
1	191-370-480-000	SFR	1	1.0	276.10	268.06

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-370-490-000	SFR	1	1.0	276.10	268.06
1	191-370-500-000	SFR	1	1.0	276.10	268.06
1	191-370-510-000	SFR	1	1.0	276.10	268.06
1	191-370-520-000	SFR	1	1.0	276.10	268.06
1	191-370-530-000	SFR	1	1.0	276.10	268.06
1	191-370-540-000	SFR	1	1.0	276.10	268.06
1	191-370-550-000	SFR	1	1.0	276.10	268.06
1	191-370-560-000	SFR	1	1.0	276.10	268.06
1	191-370-570-000	SFR	1	1.0	276.10	268.06
1	191-370-580-000	SFR	1	1.0	276.10	268.06
1	191-370-590-000	SFR	1	1.0	276.10	268.06
1	191-370-600-000	SFR	1	1.0	276.10	268.06
1	191-370-610-000	SFR	1	1.0	276.10	268.06
1	191-370-620-000	SFR	1	1.0	276.10	268.06
1	191-370-630-000	SFR	1	1.0	276.10	268.06
1	191-370-640-000	SFR	1	1.0	276.10	268.06
1	191-370-650-000	SFR	1	1.0	276.10	268.06
1	191-370-660-000	SFR	1	1.0	276.10	268.06
1	191-370-670-000	SFR	1	1.0	276.10	268.06
1	191-370-680-000	SFR	1	1.0	276.10	268.06
1	191-370-690-000	SFR	1	1.0	276.10	268.06
1	191-370-700-000	SFR	1	1.0	276.10	268.06
1	191-380-010-000	SFR	1	1.0	276.10	268.06
1	191-380-020-000	SFR	1	1.0	276.10	268.06
1	191-380-030-000	SFR	1	1.0	276.10	268.06
1	191-380-040-000	SFR	1	1.0	276.10	268.06
1	191-380-050-000	SFR	1	1.0	276.10	268.06
1	191-380-060-000	SFR	1	1.0	276.10	268.06
1	191-380-070-000	SFR	1	1.0	276.10	268.06
1	191-380-080-000	SFR	1	1.0	276.10	268.06
1	191-380-090-000	SFR	1	1.0	276.10	268.06
1	191-380-100-000	SFR	1	1.0	276.10	268.06
1	191-380-110-000	SFR	1	1.0	276.10	268.06
1	191-380-120-000	SFR	1	1.0	276.10	268.06
1	191-380-130-000	SFR	1	1.0	276.10	268.06
1	191-380-140-000	SFR	1	1.0	276.10	268.06
1	191-380-150-000	SFR	1	1.0	276.10	268.06
1	191-380-160-000	SFR	1	1.0	276.10	268.06
1	191-380-170-000	SFR	1	1.0	276.10	268.06
1	191-380-180-000	SFR	1	1.0	276.10	268.06
1	191-380-190-000	SFR	1	1.0	276.10	268.06
1	191-380-200-000	SFR	1	1.0	276.10	268.06
1	191-380-210-000	SFR	1	1.0	276.10	268.06
1	191-380-220-000	SFR	1	1.0	276.10	268.06
1	191-380-230-000	SFR	1	1.0	276.10	268.06
1	191-380-240-000	SFR	1	1.0	276.10	268.06
1	191-380-250-000	SFR	1	1.0	276.10	268.06
1	191-380-260-000	SFR	1	1.0	276.10	268.06
1	191-380-270-000	SFR	1	1.0	276.10	268.06

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1	191-380-280-000	SFR	1	1.0	276.10	268.06
1	191-380-290-000	SFR	1	1.0	276.10	268.06
1	191-380-300-000	SFR	1	1.0	276.10	268.06
1	191-380-310-000	SFR	1	1.0	276.10	268.06
1	191-380-320-000	SFR	1	1.0	276.10	268.06
1	191-380-330-000	SFR	1	1.0	276.10	268.06
1	191-380-340-000	SFR	1	1.0	276.10	268.06
1	191-380-350-000	SFR	1	1.0	276.10	268.06
1	191-380-360-000	SFR	1	1.0	276.10	268.06
1	191-380-370-000	SFR	1	1.0	276.10	268.06
1	191-380-380-000	SFR	1	1.0	276.10	268.06
1	191-380-390-000	SFR	1	1.0	276.10	268.06
1	191-380-400-000	SFR	1	1.0	276.10	268.06
1	191-380-410-000	SFR	1	1.0	276.10	268.06
1	191-380-420-000	SFR	1	1.0	276.10	268.06
1	191-380-430-000	SFR	1	1.0	276.10	268.06
1	191-380-440-000	SFR	1	1.0	276.10	268.06
1	191-380-450-000	SFR	1	1.0	276.10	268.06
1	191-380-460-000	SFR	1	1.0	276.10	268.06
1	191-380-470-000	SFR	1	1.0	276.10	268.06
1	191-380-480-000	SFR	1	1.0	276.10	268.06
1	191-380-490-000	SFR	1	1.0	276.10	268.06
1	191-380-500-000	SFR	1	1.0	276.10	268.06
1	191-380-510-000	SFR	1	1.0	276.10	268.06
1	191-380-520-000	SFR	1	1.0	276.10	268.06
1	191-380-530-000	SFR	1	1.0	276.10	268.06
1	191-380-540-000	SFR	1	1.0	276.10	268.06
1	191-380-550-000	SFR	1	1.0	276.10	268.06
1	191-380-560-000	SFR	1	1.0	276.10	268.06
1	191-380-570-000	SFR	1	1.0	276.10	268.06
1	191-380-580-000	SFR	1	1.0	276.10	268.06
1	191-380-590-000	SFR	1	1.0	276.10	268.06
1	191-380-600-000	SFR	1	1.0	276.10	268.06
1	191-380-610-000	SFR	1	1.0	276.10	268.06
1	191-380-620-000	SFR	1	1.0	276.10	268.06
1	191-380-630-000	SFR	1	1.0	276.10	268.06
1	191-380-640-000	SFR	1	1.0	276.10	268.06
1	191-380-650-000	SFR	1	1.0	276.10	268.06
1	191-380-660-000	SFR	1	1.0	276.10	268.06
1	191-380-670-000	CITY	0	0.0	0.00	0.00
1	191-390-010-000	SFR	1	1.0	276.10	268.06
1	191-390-020-000	SFR	1	1.0	276.10	268.06
1	191-390-030-000	SFR	1	1.0	276.10	268.06
1	191-390-040-000	SFR	1	1.0	276.10	268.06
1	191-390-050-000	SFR	1	1.0	276.10	268.06
1	191-390-060-000	SFR	1	1.0	276.10	268.06
1	191-390-070-000	SFR	1	1.0	276.10	268.06
1	191-390-080-000	SFR	1	1.0	276.10	268.06
1	191-390-090-000	SFR	1	1.0	276.10	268.06

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-390-100-000	SFR	1	1.0	276.10	268.06
1	191-390-110-000	SFR	1	1.0	276.10	268.06
1	191-390-120-000	SFR	1	1.0	276.10	268.06
1	191-390-130-000	SFR	1	1.0	276.10	268.06
1	191-390-140-000	SFR	1	1.0	276.10	268.06
1	191-390-150-000	SFR	1	1.0	276.10	268.06
1	191-390-160-000	SFR	1	1.0	276.10	268.06
1	191-390-170-000	SFR	1	1.0	276.10	268.06
1	191-390-180-000	SFR	1	1.0	276.10	268.06
1	191-390-190-000	SFR	1	1.0	276.10	268.06
1	191-390-200-000	SFR	1	1.0	276.10	268.06
1	191-390-210-000	SFR	1	1.0	276.10	268.06
1	191-390-220-000	SFR	1	1.0	276.10	268.06
1	191-390-230-000	SFR	1	1.0	276.10	268.06
1	191-390-240-000	CITY	0	0.0	0.00	0.00
1	191-390-250-000	SFR	1	1.0	276.10	268.06
1	191-390-260-000	SFR	1	1.0	276.10	268.06
1	191-390-270-000	SFR	1	1.0	276.10	268.06
1	191-390-280-000	SFR	1	1.0	276.10	268.06
1	191-390-290-000	SFR	1	1.0	276.10	268.06
1	191-390-300-000	SFR	1	1.0	276.10	268.06
1	191-390-310-000	SFR	1	1.0	276.10	268.06
1	191-390-320-000	SFR	1	1.0	276.10	268.06
1	191-390-330-000	SFR	1	1.0	276.10	268.06
1	191-390-340-000	SFR	1	1.0	276.10	268.06
1	191-390-350-000	SFR	1	1.0	276.10	268.06
1	191-390-360-000	SFR	1	1.0	276.10	268.06
1	191-390-370-000	SFR	1	1.0	276.10	268.06
1	191-390-380-000	SFR	1	1.0	276.10	268.06
1	191-390-390-000	SFR	1	1.0	276.10	268.06
1	191-390-400-000	SFR	1	1.0	276.10	268.06
1	191-390-410-000	SFR	1	1.0	276.10	268.06
1	191-390-420-000	SFR	1	1.0	276.10	268.06
1	191-390-430-000	SFR	1	1.0	276.10	268.06
1	191-390-440-000	SFR	1	1.0	276.10	268.06
1	191-390-450-000	SFR	1	1.0	276.10	268.06
1	191-390-460-000	SFR	1	1.0	276.10	268.06
1	191-390-470-000	SFR	1	1.0	276.10	268.06
1	191-390-480-000	SFR	1	1.0	276.10	268.06
1	191-390-490-000	SFR	1	1.0	276.10	268.06
1	191-390-500-000	SFR	1	1.0	276.10	268.06
1	191-390-510-000	SFR	1	1.0	276.10	268.06
1	191-390-520-000	SFR	1	1.0	276.10	268.06
1	191-390-530-000	SFR	1	1.0	276.10	268.06
1	191-390-540-000	SFR	1	1.0	276.10	268.06
1	191-390-550-000	SFR	1	1.0	276.10	268.06
1	191-390-560-000	SFR	1	1.0	276.10	268.06
1	191-390-570-000	SFR	1	1.0	276.10	268.06
1	191-390-580-000	SFR	1	1.0	276.10	268.06

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-390-590-000	SFR	1	1.0	276.10	268.06
1	191-390-600-000	SFR	1	1.0	276.10	268.06
1	191-390-610-000	SFR	1	1.0	276.10	268.06
1	191-390-620-000	SFR	1	1.0	276.10	268.06
1	191-390-630-000	SFR	1	1.0	276.10	268.06
1	191-390-640-000	SFR	1	1.0	276.10	268.06
1	191-390-650-000	SFR	1	1.0	276.10	268.06
1	191-390-660-000	SFR	1	1.0	276.10	268.06
1	191-390-670-000	SFR	1	1.0	276.10	268.06
1	191-400-010-000	SFR	1	1.0	276.10	268.06
1	191-400-020-000	SFR	1	1.0	276.10	268.06
1	191-400-030-000	SFR	1	1.0	276.10	268.06
1	191-400-040-000	SFR	1	1.0	276.10	268.06
1	191-400-050-000	SFR	1	1.0	276.10	268.06
1	191-400-060-000	SFR	1	1.0	276.10	268.06
1	191-400-070-000	SFR	1	1.0	276.10	268.06
1	191-400-080-000	SFR	1	1.0	276.10	268.06
1	191-400-090-000	SFR	1	1.0	276.10	268.06
1	191-400-100-000	SFR	1	1.0	276.10	268.06
1	191-400-110-000	SFR	1	1.0	276.10	268.06
1	191-400-120-000	SFR	1	1.0	276.10	268.06
1	191-400-130-000	SFR	1	1.0	276.10	268.06
1	191-400-140-000	SFR	1	1.0	276.10	268.06
1	191-400-150-000	SFR	1	1.0	276.10	268.06
1	191-400-160-000	SFR	1	1.0	276.10	268.06
1	191-400-170-000	SFR	1	1.0	276.10	268.06
1	191-400-180-000	SFR	1	1.0	276.10	268.06
1	191-400-190-000	SFR	1	1.0	276.10	268.06
1	191-400-200-000	SFR	1	1.0	276.10	268.06
1	191-400-210-000	SFR	1	1.0	276.10	268.06
1	191-400-220-000	SFR	1	1.0	276.10	268.06
1	191-400-230-000	SFR	1	1.0	276.10	268.06
1	191-400-240-000	SFR	1	1.0	276.10	268.06
1	191-400-250-000	SFR	1	1.0	276.10	268.06
1	191-400-260-000	SFR	1	1.0	276.10	268.06
1	191-400-270-000	SFR	1	1.0	276.10	268.06
1	191-400-280-000	SFR	1	1.0	276.10	268.06
1	191-400-290-000	SFR	1	1.0	276.10	268.06
1	191-400-300-000	SFR	1	1.0	276.10	268.06
1	191-400-310-000	SFR	1	1.0	276.10	268.06
1	191-400-320-000	SFR	1	1.0	276.10	268.06
1	191-400-330-000	SFR	1	1.0	276.10	268.06
1	191-400-340-000	SFR	1	1.0	276.10	268.06
1	191-400-350-000	SFR	1	1.0	276.10	268.06
1	191-400-360-000	SFR	1	1.0	276.10	268.06
1	191-400-370-000	SFR	1	1.0	276.10	268.06
1	191-400-380-000	SFR	1	1.0	276.10	268.06
1	191-400-390-000	SFR	1	1.0	276.10	268.06
1	191-400-400-000	SFR	1	1.0	276.10	268.06

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-400-410-000	SFR	1	1.0	276.10	268.06
1	191-400-420-000	SFR	1	1.0	276.10	268.06
1	191-400-430-000	SFR	1	1.0	276.10	268.06
1	191-400-440-000	SFR	1	1.0	276.10	268.06
1	191-400-450-000	SFR	1	1.0	276.10	268.06
1	191-400-460-000	SFR	1	1.0	276.10	268.06
1	191-400-470-000	SFR	1	1.0	276.10	268.06
1	191-400-480-000	SFR	1	1.0	276.10	268.06
1	191-400-490-000	SFR	1	1.0	276.10	268.06
1	191-400-500-000	SFR	1	1.0	276.10	268.06
1	191-400-510-000	SFR	1	1.0	276.10	268.06
1	191-400-520-000	SFR	1	1.0	276.10	268.06
1	191-400-530-000	SFR	1	1.0	276.10	268.06
1	191-400-540-000	SFR	1	1.0	276.10	268.06
1	191-400-550-000	SFR	1	1.0	276.10	268.06
1	191-400-560-000	SFR	1	1.0	276.10	268.06
1	191-400-570-000	SFR	1	1.0	276.10	268.06
1	191-410-010-000	SFR	1	1.0	276.10	268.06
1	191-410-020-000	SFR	1	1.0	276.10	268.06
1	191-410-030-000	SFR	1	1.0	276.10	268.06
1	191-410-040-000	SFR	1	1.0	276.10	268.06
1	191-410-050-000	SFR	1	1.0	276.10	268.06
1	191-410-060-000	SFR	1	1.0	276.10	268.06
1	191-410-070-000	SFR	1	1.0	276.10	268.06
1	191-410-080-000	SFR	1	1.0	276.10	268.06
1	191-410-090-000	SFR	1	1.0	276.10	268.06
1	191-410-100-000	SFR	1	1.0	276.10	268.06
1	191-410-110-000	SFR	1	1.0	276.10	268.06
1	191-410-120-000	SFR	1	1.0	276.10	268.06
1	191-410-130-000	SFR	1	1.0	276.10	268.06
1	191-410-140-000	SFR	1	1.0	276.10	268.06
1	191-410-150-000	SFR	1	1.0	276.10	268.06
1	191-410-160-000	SFR	1	1.0	276.10	268.06
1	191-410-170-000	SFR	1	1.0	276.10	268.06
1	191-410-180-000	SFR	1	1.0	276.10	268.06
1	191-410-190-000	SFR	1	1.0	276.10	268.06
1	191-410-200-000	SFR	1	1.0	276.10	268.06
1	191-410-210-000	SFR	1	1.0	276.10	268.06
1	191-410-220-000	SFR	1	1.0	276.10	268.06
1	191-410-230-000	SFR	1	1.0	276.10	268.06
1	191-410-240-000	SFR	1	1.0	276.10	268.06
1	191-410-250-000	SFR	1	1.0	276.10	268.06
1	191-410-260-000	SFR	1	1.0	276.10	268.06
1	191-410-270-000	SFR	1	1.0	276.10	268.06
1	191-410-280-000	SFR	1	1.0	276.10	268.06
1	191-410-290-000	SFR	1	1.0	276.10	268.06
1	191-410-300-000	SFR	1	1.0	276.10	268.06
1	191-410-310-000	SFR	1	1.0	276.10	268.06
1	191-410-320-000	SFR	1	1.0	276.10	268.06

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-410-330-000	SFR	1	1.0	276.10	268.06
1	191-410-340-000	SFR	1	1.0	276.10	268.06
1	191-410-350-000	SFR	1	1.0	276.10	268.06
1	191-410-360-000	SFR	1	1.0	276.10	268.06
1	191-410-370-000	SFR	1	1.0	276.10	268.06
1	191-410-380-000	SFR	1	1.0	276.10	268.06
1	191-410-390-000	SFR	1	1.0	276.10	268.06
1	191-410-400-000	SFR	1	1.0	276.10	268.06
1	191-410-410-000	SFR	1	1.0	276.10	268.06
1	191-410-420-000	SFR	1	1.0	276.10	268.06
1	191-410-430-000	SFR	1	1.0	276.10	268.06
1	191-410-440-000	SFR	1	1.0	276.10	268.06
1	191-410-450-000	SFR	1	1.0	276.10	268.06
1	191-410-460-000	SFR	1	1.0	276.10	268.06
1	191-410-470-000	SFR	1	1.0	276.10	268.06
1	191-410-480-000	SFR	1	1.0	276.10	268.06
1	191-410-490-000	SFR	1	1.0	276.10	268.06
1	191-410-500-000	SFR	1	1.0	276.10	268.06
1	191-410-510-000	SFR	1	1.0	276.10	268.06
1	191-410-520-000	SFR	1	1.0	276.10	268.06
1	191-410-530-000	SFR	1	1.0	276.10	268.06
1	191-420-010-000	SFR	1	1.0	276.10	268.06
1	191-420-020-000	SFR	1	1.0	276.10	268.06
1	191-420-030-000	SFR	1	1.0	276.10	268.06
1	191-420-040-000	SFR	1	1.0	276.10	268.06
1	191-420-050-000	SFR	1	1.0	276.10	268.06
1	191-420-060-000	SFR	1	1.0	276.10	268.06
1	191-420-070-000	SFR	1	1.0	276.10	268.06
1	191-420-080-000	SFR	1	1.0	276.10	268.06
1	191-420-090-000	SFR	1	1.0	276.10	268.06
1	191-420-100-000	SFR	1	1.0	276.10	268.06
1	191-420-110-000	SFR	1	1.0	276.10	268.06
1	191-420-120-000	SFR	1	1.0	276.10	268.06
1	191-420-130-000	SFR	1	1.0	276.10	268.06
1	191-420-140-000	SFR	1	1.0	276.10	268.06
1	191-420-150-000	SFR	1	1.0	276.10	268.06
1	191-420-160-000	SFR	1	1.0	276.10	268.06
1	191-420-170-000	SFR	1	1.0	276.10	268.06
1	191-420-180-000	SFR	1	1.0	276.10	268.06
1	191-420-190-000	SFR	1	1.0	276.10	268.06
1	191-420-200-000	SFR	1	1.0	276.10	268.06
1	191-420-210-000	SFR	1	1.0	276.10	268.06
1	191-420-220-000	SFR	1	1.0	276.10	268.06
1	191-420-230-000	SFR	1	1.0	276.10	268.06
1	191-420-240-000	SFR	1	1.0	276.10	268.06
1	191-420-250-000	SFR	1	1.0	276.10	268.06
1	191-420-260-000	SFR	1	1.0	276.10	268.06
1	191-420-270-000	SFR	1	1.0	276.10	268.06
1	191-420-280-000	SFR	1	1.0	276.10	268.06

CITY OF LATHROP
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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-420-290-000	SFR	1	1.0	276.10	268.06
1	191-420-300-000	SFR	1	1.0	276.10	268.06
1	191-420-310-000	SFR	1	1.0	276.10	268.06
1	191-420-320-000	SFR	1	1.0	276.10	268.06
1	191-420-330-000	SFR	1	1.0	276.10	268.06
1	191-420-340-000	SFR	1	1.0	276.10	268.06
1	191-420-350-000	SFR	1	1.0	276.10	268.06
1	191-420-360-000	SFR	1	1.0	276.10	268.06
1	191-420-370-000	SFR	1	1.0	276.10	268.06
1	191-420-380-000	SFR	1	1.0	276.10	268.06
1	191-420-390-000	SFR	1	1.0	276.10	268.06
1	191-420-400-000	SFR	1	1.0	276.10	268.06
1	191-420-410-000	SFR	1	1.0	276.10	268.06
1	191-420-420-000	SFR	1	1.0	276.10	268.06
1	191-420-430-000	SFR	1	1.0	276.10	268.06
1	191-420-440-000	SFR	1	1.0	276.10	268.06
1	191-420-450-000	SFR	1	1.0	276.10	268.06
1	191-420-460-000	SFR	1	1.0	276.10	268.06
1	191-420-470-000	SFR	1	1.0	276.10	268.06
1	191-420-480-000	SFR	1	1.0	276.10	268.06
1	191-420-490-000	SFR	1	1.0	276.10	268.06
1	191-420-500-000	SFR	1	1.0	276.10	268.06
1	191-420-510-000	SFR	1	1.0	276.10	268.06
1	191-420-520-000	SFR	1	1.0	276.10	268.06
1	191-420-530-000	SFR	1	1.0	276.10	268.06
1	191-420-540-000	SFR	1	1.0	276.10	268.06
1	191-420-550-000	SFR	1	1.0	276.10	268.06
1	191-420-560-000	SFR	1	1.0	276.10	268.06
1	191-420-570-000	SFR	1	1.0	276.10	268.06
1	191-420-580-000	SFR	1	1.0	276.10	268.06
1	191-420-590-000	SFR	1	1.0	276.10	268.06
1	191-420-600-000	SFR	1	1.0	276.10	268.06
1	191-420-610-000	SFR	1	1.0	276.10	268.06
1	191-420-620-000	SFR	1	1.0	276.10	268.06
1	191-420-630-000	SFR	1	1.0	276.10	268.06
1	191-420-640-000	SFR	1	1.0	276.10	268.06
1	191-420-650-000	SFR	1	1.0	276.10	268.06
1	191-420-660-000	SFR	1	1.0	276.10	268.06
1	191-430-010-000	SFR	1	1.0	276.10	268.06
1	191-430-020-000	SFR	1	1.0	276.10	268.06
1	191-430-030-000	SFR	1	1.0	276.10	268.06
1	191-430-040-000	SFR	1	1.0	276.10	268.06
1	191-430-050-000	SFR	1	1.0	276.10	268.06
1	191-430-060-000	SFR	1	1.0	276.10	268.06
1	191-430-070-000	SFR	1	1.0	276.10	268.06
1	191-430-080-000	SFR	1	1.0	276.10	268.06
1	191-430-090-000	SFR	1	1.0	276.10	268.06
1	191-430-100-000	SFR	1	1.0	276.10	268.06
1	191-430-110-000	SFR	1	1.0	276.10	268.06

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-430-120-000	SFR	1	1.0	276.10	268.06
1	191-430-130-000	SFR	1	1.0	276.10	268.06
1	191-430-140-000	SFR	1	1.0	276.10	268.06
1	191-430-150-000	SFR	1	1.0	276.10	268.06
1	191-430-160-000	SFR	1	1.0	276.10	268.06
1	191-430-170-000	SFR	1	1.0	276.10	268.06
1	191-430-180-000	SFR	1	1.0	276.10	268.06
1	191-430-190-000	SFR	1	1.0	276.10	268.06
1	191-430-200-000	SFR	1	1.0	276.10	268.06
1	191-430-210-000	SFR	1	1.0	276.10	268.06
1	191-430-220-000	SFR	1	1.0	276.10	268.06
1	191-430-230-000	SFR	1	1.0	276.10	268.06
1	191-430-240-000	SFR	1	1.0	276.10	268.06
1	191-430-250-000	SFR	1	1.0	276.10	268.06
1	191-430-260-000	SFR	1	1.0	276.10	268.06
1	191-430-270-000	SFR	1	1.0	276.10	268.06
1	191-430-280-000	SFR	1	1.0	276.10	268.06
1	191-430-290-000	SFR	1	1.0	276.10	268.06
1	191-430-300-000	SFR	1	1.0	276.10	268.06
1	191-430-310-000	SFR	1	1.0	276.10	268.06
1	191-430-320-000	SFR	1	1.0	276.10	268.06
1	191-430-330-000	SFR	1	1.0	276.10	268.06
1	191-430-340-000	SFR	1	1.0	276.10	268.06
1	191-430-350-000	SFR	1	1.0	276.10	268.06
1	191-430-360-000	SFR	1	1.0	276.10	268.06
1	191-430-370-000	SFR	1	1.0	276.10	268.06
1	191-430-380-000	SFR	1	1.0	276.10	268.06
1	191-430-390-000	SFR	1	1.0	276.10	268.06
1	191-430-400-000	SFR	1	1.0	276.10	268.06
1	191-430-410-000	SFR	1	1.0	276.10	268.06
1	191-430-420-000	SFR	1	1.0	276.10	268.06
1	191-430-430-000	SFR	1	1.0	276.10	268.06
1	191-430-440-000	SFR	1	1.0	276.10	268.06
1	191-430-450-000	SFR	1	1.0	276.10	268.06
1	191-430-460-000	SFR	1	1.0	276.10	268.06
1	191-430-470-000	SFR	1	1.0	276.10	268.06
1	191-430-480-000	SFR	1	1.0	276.10	268.06
1	191-430-490-000	SFR	1	1.0	276.10	268.06
1	191-430-500-000	SFR	1	1.0	276.10	268.06
1	191-430-510-000	SFR	1	1.0	276.10	268.06
1	191-430-520-000	SFR	1	1.0	276.10	268.06
1	191-430-530-000	SFR	1	1.0	276.10	268.06
1	191-430-540-000	SFR	1	1.0	276.10	268.06
1	191-430-550-000	SFR	1	1.0	276.10	268.06
1	191-430-560-000	SFR	1	1.0	276.10	268.06
1	191-430-570-000	SFR	1	1.0	276.10	268.06
1	191-430-580-000	SFR	1	1.0	276.10	268.06
1	191-430-590-000	SFR	1	1.0	276.10	268.06
1	191-430-600-000	SFR	1	1.0	276.10	268.06

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-430-610-000	SFR	1	1.0	276.10	268.06
1	191-430-620-000	SFR	1	1.0	276.10	268.06
1	191-430-630-000	SFR	1	1.0	276.10	268.06
1	191-430-640-000	SFR	1	1.0	276.10	268.06
1	191-430-650-000	SFR	1	1.0	276.10	268.06
1	191-430-660-000	SFR	1	1.0	276.10	268.06
1	191-430-670-000	SFR	1	1.0	276.10	268.06
1	191-430-680-000	SFR	1	1.0	276.10	268.06
1	191-430-690-000	SFR	1	1.0	276.10	268.06
1	191-430-700-000	SFR	1	1.0	276.10	268.06
1	191-430-710-000	SFR	1	1.0	276.10	268.06
1	191-430-720-000	SFR	1	1.0	276.10	268.06
1	191-430-730-000	SFR	1	1.0	276.10	268.06
1	191-440-010-000	SFR	1	1.0	276.10	268.06
1	191-440-020-000	SFR	1	1.0	276.10	268.06
1	191-440-030-000	SFR	1	1.0	276.10	268.06
1	191-440-040-000	SFR	1	1.0	276.10	268.06
1	191-440-050-000	SFR	1	1.0	276.10	268.06
1	191-440-060-000	SFR	1	1.0	276.10	268.06
1	191-440-070-000	SFR	1	1.0	276.10	268.06
1	191-440-110-000	SFR	1	1.0	276.10	268.06
1	191-440-120-000	SFR	1	1.0	276.10	268.06
1	191-440-130-000	SFR	1	1.0	276.10	268.06
1	191-440-140-000	SFR	1	1.0	276.10	268.06
1	191-440-150-000	SFR	1	1.0	276.10	268.06
1	191-440-160-000	SFR	1	1.0	276.10	268.06
1	191-440-170-000	SFR	1	1.0	276.10	268.06
1	191-440-180-000	SFR	1	1.0	276.10	268.06
1	191-440-190-000	SFR	1	1.0	276.10	268.06
1	191-440-200-000	SFR	1	1.0	276.10	268.06
1	191-440-210-000	SFR	1	1.0	276.10	268.06
1	191-440-220-000	SFR	1	1.0	276.10	268.06
1	191-440-230-000	SFR	1	1.0	276.10	268.06
1	191-440-240-000	SFR	1	1.0	276.10	268.06
1	191-440-250-000	SFR	1	1.0	276.10	268.06
1	191-440-260-000	SFR	1	1.0	276.10	268.06
1	191-440-270-000	SFR	1	1.0	276.10	268.06
1	191-440-280-000	SFR	1	1.0	276.10	268.06
1	191-440-290-000	SFR	1	1.0	276.10	268.06
1	191-440-300-000	SFR	1	1.0	276.10	268.06
1	191-440-310-000	SFR	1	1.0	276.10	268.06
1	191-440-320-000	SFR	1	1.0	276.10	268.06
1	191-440-330-000	SFR	1	1.0	276.10	268.06
1	191-440-340-000	SFR	1	1.0	276.10	268.06
1	191-440-350-000	SFR	1	1.0	276.10	268.06
1	191-440-360-000	SFR	1	1.0	276.10	268.06
1	191-440-370-000	SFR	1	1.0	276.10	268.06
1	191-440-380-000	SFR	1	1.0	276.10	268.06
1	191-440-390-000	SFR	1	1.0	276.10	268.06

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-440-400-000	SFR	1	1.0	276.10	268.06
1	191-440-410-000	SFR	1	1.0	276.10	268.06
1	191-440-420-000	SFR	1	1.0	276.10	268.06
1	191-440-430-000	SFR	1	1.0	276.10	268.06
1	191-440-440-000	SFR	1	1.0	276.10	268.06
1	191-440-450-000	SFR	1	1.0	276.10	268.06
1	191-440-460-000	SFR	1	1.0	276.10	268.06
1	191-440-470-000	SFR	1	1.0	276.10	268.06
1	191-440-480-000	SFR	1	1.0	276.10	268.06
1	191-440-490-000	SFR	1	1.0	276.10	268.06
1	191-440-500-000	SFR	1	1.0	276.10	268.06
1	191-440-510-000	SFR	1	1.0	276.10	268.06
1	191-440-520-000	SFR	1	1.0	276.10	268.06
1	191-440-530-000	SFR	1	1.0	276.10	268.06
1	191-440-540-000	SFR	1	1.0	276.10	268.06
1	191-440-550-000	SFR	1	1.0	276.10	268.06
1	191-440-560-000	SFR	1	1.0	276.10	268.06
1	191-440-570-000	SFR	1	1.0	276.10	268.06
1	191-440-580-000	SFR	1	1.0	276.10	268.06
1	191-440-590-000	SFR	1	1.0	276.10	268.06
1	191-440-600-000	SFR	1	1.0	276.10	268.06
1	191-440-610-000	SFR	1	1.0	276.10	268.06
1	191-440-620-000	SFR	1	1.0	276.10	268.06
1	191-440-630-000	SFR	1	1.0	276.10	268.06
1	191-440-640-000	SFR	1	1.0	276.10	268.06
1	191-440-650-000	SFR	1	1.0	276.10	268.06
1	191-440-660-000	SFR	1	1.0	276.10	268.06
1	191-440-670-000	SFR	1	1.0	276.10	268.06
1	191-440-680-000	SFR	1	1.0	276.10	268.06
1	191-440-690-000	SFR	1	1.0	276.10	268.06
1	191-440-700-000	SFR	1	1.0	276.10	268.06
1	191-440-710-000	SFR	1	1.0	276.10	268.06
1	191-440-720-000	SFR	1	1.0	276.10	268.06
1	191-440-730-000	SFR	1	1.0	276.10	268.06
1	191-440-740-000	SFR	1	1.0	276.10	268.06
1	191-440-750-000	SFR	1	1.0	276.10	268.06
1	191-440-760-000	SFR	1	1.0	276.10	268.06
1	191-440-770-000	SFR	1	1.0	276.10	268.06
1	191-440-780-000	SFR	1	1.0	276.10	268.06
1	191-450-010-000	SFR	1	1.0	276.10	268.06
1	191-450-020-000	SFR	1	1.0	276.10	268.06
1	191-450-030-000	SFR	1	1.0	276.10	268.06
1	191-450-040-000	SFR	1	1.0	276.10	268.06
1	191-450-050-000	SFR	1	1.0	276.10	268.06
1	191-450-060-000	SFR	1	1.0	276.10	268.06
1	191-450-070-000	SFR	1	1.0	276.10	268.06
1	191-450-080-000	SFR	1	1.0	276.10	268.06
1	191-450-090-000	SFR	1	1.0	276.10	268.06
1	191-450-100-000	SFR	1	1.0	276.10	268.06

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-450-110-000	SFR	1	1.0	276.10	268.06
1	191-450-120-000	SFR	1	1.0	276.10	268.06
1	191-450-130-000	SFR	1	1.0	276.10	268.06
1	191-450-140-000	SFR	1	1.0	276.10	268.06
1	191-450-150-000	SFR	1	1.0	276.10	268.06
1	191-450-160-000	SFR	1	1.0	276.10	268.06
1	191-450-170-000	SFR	1	1.0	276.10	268.06
1	191-450-180-000	SFR	1	1.0	276.10	268.06
1	191-450-190-000	SFR	1	1.0	276.10	268.06
1	191-450-200-000	SFR	1	1.0	276.10	268.06
1	191-450-210-000	SFR	1	1.0	276.10	268.06
1	191-450-220-000	SFR	1	1.0	276.10	268.06
1	191-450-230-000	SFR	1	1.0	276.10	268.06
1	191-450-240-000	SFR	1	1.0	276.10	268.06
1	191-450-250-000	SFR	1	1.0	276.10	268.06
1	191-450-260-000	SFR	1	1.0	276.10	268.06
1	191-450-270-000	SFR	1	1.0	276.10	268.06
1	191-450-280-000	SFR	1	1.0	276.10	268.06
1	191-450-290-000	SFR	1	1.0	276.10	268.06
1	191-450-300-000	SFR	1	1.0	276.10	268.06
1	191-450-310-000	SFR	1	1.0	276.10	268.06
1	191-450-320-000	SFR	1	1.0	276.10	268.06
1	191-450-330-000	SFR	1	1.0	276.10	268.06
1	191-450-340-000	SFR	1	1.0	276.10	268.06
1	191-450-350-000	SFR	1	1.0	276.10	268.06
1	191-450-360-000	SFR	1	1.0	276.10	268.06
1	191-450-370-000	SFR	1	1.0	276.10	268.06
1	191-450-380-000	SFR	1	1.0	276.10	268.06
1	191-450-390-000	SFR	1	1.0	276.10	268.06
1	191-450-400-000	SFR	1	1.0	276.10	268.06
1	191-450-410-000	SFR	1	1.0	276.10	268.06
1	191-450-420-000	SFR	1	1.0	276.10	268.06
1	191-450-430-000	SFR	1	1.0	276.10	268.06
1	191-460-010-000	SFR	1	1.0	276.10	268.06
1	191-460-020-000	SFR	1	1.0	276.10	268.06
1	191-460-030-000	SFR	1	1.0	276.10	268.06
1	191-460-040-000	SFR	1	1.0	276.10	268.06
1	191-460-050-000	SFR	1	1.0	276.10	268.06
1	191-460-060-000	SFR	1	1.0	276.10	268.06
1	191-460-070-000	SFR	1	1.0	276.10	268.06
1	191-460-080-000	SFR	1	1.0	276.10	268.06
1	191-460-090-000	SFR	1	1.0	276.10	268.06
1	191-460-100-000	SFR	1	1.0	276.10	268.06
1	191-460-110-000	SFR	1	1.0	276.10	268.06
1	191-460-120-000	SFR	1	1.0	276.10	268.06
1	191-460-130-000	SFR	1	1.0	276.10	268.06
1	191-460-140-000	SFR	1	1.0	276.10	268.06
1	191-460-150-000	SFR	1	1.0	276.10	268.06
1	191-460-160-000	SFR	1	1.0	276.10	268.06

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-460-170-000	SFR	1	1.0	276.10	268.06
1	191-460-180-000	SFR	1	1.0	276.10	268.06
1	191-460-190-000	SFR	1	1.0	276.10	268.06
1	191-460-200-000	SFR	1	1.0	276.10	268.06
1	191-460-210-000	SFR	1	1.0	276.10	268.06
1	191-460-220-000	SFR	1	1.0	276.10	268.06
1	191-460-230-000	SFR	1	1.0	276.10	268.06
1	191-460-240-000	SFR	1	1.0	276.10	268.06
1	191-460-250-000	SFR	1	1.0	276.10	268.06
1	191-460-260-000	SFR	1	1.0	276.10	268.06
1	191-460-270-000	SFR	1	1.0	276.10	268.06
1	191-460-280-000	SFR	1	1.0	276.10	268.06
1	191-460-290-000	SFR	1	1.0	276.10	268.06
1	191-460-300-000	SFR	1	1.0	276.10	268.06
1	191-460-310-000	SFR	1	1.0	276.10	268.06
1	191-460-320-000	SFR	1	1.0	276.10	268.06
1	191-460-330-000	SFR	1	1.0	276.10	268.06
1	191-460-340-000	SFR	1	1.0	276.10	268.06
1	191-460-350-000	SFR	1	1.0	276.10	268.06
1	191-460-360-000	SFR	1	1.0	276.10	268.06
1	191-470-010-000	SFR	1	1.0	276.10	268.06
1	191-470-020-000	SFR	1	1.0	276.10	268.06
1	191-470-030-000	SFR	1	1.0	276.10	268.06
1	191-470-040-000	SFR	1	1.0	276.10	268.06
1	191-470-050-000	SFR	1	1.0	276.10	268.06
1	191-470-060-000	SFR	1	1.0	276.10	268.06
1	191-470-070-000	SFR	1	1.0	276.10	268.06
1	191-470-080-000	SFR	1	1.0	276.10	268.06
1	191-470-090-000	SFR	1	1.0	276.10	268.06
1	191-470-100-000	SFR	1	1.0	276.10	268.06
1	191-470-110-000	SFR	1	1.0	276.10	268.06
1	191-470-120-000	SFR	1	1.0	276.10	268.06
1	191-470-130-000	SFR	1	1.0	276.10	268.06
1	191-470-140-000	SFR	1	1.0	276.10	268.06
1	191-470-150-000	SFR	1	1.0	276.10	268.06
1	191-470-160-000	SFR	1	1.0	276.10	268.06
1	191-470-170-000	SFR	1	1.0	276.10	268.06
1	191-470-180-000	SFR	1	1.0	276.10	268.06
1	191-470-190-000	SFR	1	1.0	276.10	268.06
1	191-470-200-000	SFR	1	1.0	276.10	268.06
1	191-470-210-000	SFR	1	1.0	276.10	268.06
1	191-470-220-000	SFR	1	1.0	276.10	268.06
1	191-470-230-000	SFR	1	1.0	276.10	268.06
1	191-470-240-000	SFR	1	1.0	276.10	268.06
1	191-470-250-000	SFR	1	1.0	276.10	268.06
1	191-470-260-000	SFR	1	1.0	276.10	268.06
1	191-470-270-000	SFR	1	1.0	276.10	268.06
1	191-470-280-000	SFR	1	1.0	276.10	268.06
1	191-470-290-000	SFR	1	1.0	276.10	268.06

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-470-300-000	SFR	1	1.0	276.10	268.06
1	191-470-310-000	SFR	1	1.0	276.10	268.06
1	191-470-320-000	SFR	1	1.0	276.10	268.06
1	191-470-330-000	SFR	1	1.0	276.10	268.06
1	191-470-340-000	SFR	1	1.0	276.10	268.06
1	191-470-350-000	SFR	1	1.0	276.10	268.06
1	191-470-360-000	SFR	1	1.0	276.10	268.06
1	191-470-370-000	SFR	1	1.0	276.10	268.06
1	191-470-380-000	SFR	1	1.0	276.10	268.06
1	191-470-390-000	SFR	1	1.0	276.10	268.06
1	191-480-010-000	SFR	1	1.0	276.10	268.06
1	191-480-020-000	SFR	1	1.0	276.10	268.06
1	191-480-030-000	SFR	1	1.0	276.10	268.06
1	191-480-040-000	SFR	1	1.0	276.10	268.06
1	191-480-050-000	SFR	1	1.0	276.10	268.06
1	191-480-060-000	SFR	1	1.0	276.10	268.06
1	191-480-070-000	SFR	1	1.0	276.10	268.06
1	191-480-080-000	SFR	1	1.0	276.10	268.06
1	191-480-090-000	SFR	1	1.0	276.10	268.06
1	191-480-100-000	SFR	1	1.0	276.10	268.06
1	191-480-110-000	SFR	1	1.0	276.10	268.06
1	191-480-120-000	SFR	1	1.0	276.10	268.06
1	191-480-130-000	SFR	1	1.0	276.10	268.06
1	191-480-140-000	SFR	1	1.0	276.10	268.06
1	191-480-150-000	SFR	1	1.0	276.10	268.06
1	191-480-160-000	SFR	1	1.0	276.10	268.06
1	191-480-170-000	SFR	1	1.0	276.10	268.06
1	191-480-180-000	SFR	1	1.0	276.10	268.06
1	191-480-190-000	SFR	1	1.0	276.10	268.06
1	191-480-200-000	SFR	1	1.0	276.10	268.06
1	191-480-210-000	SFR	1	1.0	276.10	268.06
1	191-480-220-000	SFR	1	1.0	276.10	268.06
1	191-480-230-000	SFR	1	1.0	276.10	268.06
1	191-480-240-000	SFR	1	1.0	276.10	268.06
1	191-480-250-000	SFR	1	1.0	276.10	268.06
1	191-480-260-000	SFR	1	1.0	276.10	268.06
1	191-480-270-000	SFR	1	1.0	276.10	268.06
1	191-480-280-000	SFR	1	1.0	276.10	268.06
1	191-480-290-000	SFR	1	1.0	276.10	268.06
1	191-480-300-000	SFR	1	1.0	276.10	268.06
1	191-480-310-000	SFR	1	1.0	276.10	268.06
1	191-480-320-000	SFR	1	1.0	276.10	268.06
1	191-480-330-000	SFR	1	1.0	276.10	268.06
1	191-480-340-000	SFR	1	1.0	276.10	268.06
1	191-480-350-000	SFR	1	1.0	276.10	268.06
1	191-480-360-000	SFR	1	1.0	276.10	268.06
1	191-480-370-000	SFR	1	1.0	276.10	268.06
1	191-480-380-000	SFR	1	1.0	276.10	268.06
1	191-480-390-000	SFR	1	1.0	276.10	268.06

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-480-400-000	SFR	1	1.0	276.10	268.06
1	191-480-410-000	SFR	1	1.0	276.10	268.06
1	191-480-420-000	SFR	1	1.0	276.10	268.06
1	191-490-010-000	SFR	1	1.0	276.10	268.06
1	191-490-020-000	SFR	1	1.0	276.10	268.06
1	191-490-030-000	SFR	1	1.0	276.10	268.06
1	191-490-040-000	SFR	1	1.0	276.10	268.06
1	191-490-050-000	SFR	1	1.0	276.10	268.06
1	191-490-060-000	SFR	1	1.0	276.10	268.06
1	191-490-070-000	SFR	1	1.0	276.10	268.06
1	191-490-080-000	SFR	1	1.0	276.10	268.06
1	191-490-090-000	SFR	1	1.0	276.10	268.06
1	191-490-100-000	SFR	1	1.0	276.10	268.06
1	191-490-110-000	SFR	1	1.0	276.10	268.06
1	191-490-120-000	SFR	1	1.0	276.10	268.06
1	191-490-130-000	SFR	1	1.0	276.10	268.06
1	191-490-140-000	SFR	1	1.0	276.10	268.06
1	191-490-150-000	SFR	1	1.0	276.10	268.06
1	191-490-160-000	SFR	1	1.0	276.10	268.06
1	191-490-170-000	SFR	1	1.0	276.10	268.06
1	191-490-180-000	SFR	1	1.0	276.10	268.06
1	191-490-190-000	SFR	1	1.0	276.10	268.06
1	191-490-200-000	SFR	1	1.0	276.10	268.06
1	191-490-210-000	SFR	1	1.0	276.10	268.06
1	191-490-220-000	SFR	1	1.0	276.10	268.06
1	191-490-230-000	SFR	1	1.0	276.10	268.06
1	191-490-240-000	SFR	1	1.0	276.10	268.06
1	191-490-250-000	SFR	1	1.0	276.10	268.06
1	191-490-260-000	SFR	1	1.0	276.10	268.06
1	191-490-270-000	SFR	1	1.0	276.10	268.06
1	191-490-280-000	SFR	1	1.0	276.10	268.06
1	191-490-290-000	SFR	1	1.0	276.10	268.06
1	191-490-300-000	SFR	1	1.0	276.10	268.06
1	191-490-310-000	SFR	1	1.0	276.10	268.06
1	191-490-320-000	SFR	1	1.0	276.10	268.06
1	191-490-330-000	SFR	1	1.0	276.10	268.06
1	191-490-340-000	SFR	1	1.0	276.10	268.06
1	191-490-350-000	SFR	1	1.0	276.10	268.06
1	191-490-360-000	SFR	1	1.0	276.10	268.06
1	191-490-370-000	SFR	1	1.0	276.10	268.06
1	191-490-380-000	SFR	1	1.0	276.10	268.06
1	191-490-390-000	SFR	1	1.0	276.10	268.06
1	191-490-400-000	SFR	1	1.0	276.10	268.06
1	191-490-410-000	SFR	1	1.0	276.10	268.06
1	191-490-420-000	SFR	1	1.0	276.10	268.06
1	191-490-430-000	SFR	1	1.0	276.10	268.06
1	191-490-440-000	SFR	1	1.0	276.10	268.06
1	191-490-450-000	SFR	1	1.0	276.10	268.06
1	191-490-460-000	SFR	1	1.0	276.10	268.06

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-490-470-000	SFR	1	1.0	276.10	268.06
1	191-490-480-000	SFR	1	1.0	276.10	268.06
1	191-490-490-000	SFR	1	1.0	276.10	268.06
1	191-490-500-000	SFR	1	1.0	276.10	268.06
1	191-490-510-000	SFR	1	1.0	276.10	268.06
1	191-490-520-000	SFR	1	1.0	276.10	268.06
1	191-490-530-000	SFR	1	1.0	276.10	268.06
1	191-490-540-000	SFR	1	1.0	276.10	268.06
1	191-490-550-000	SFR	1	1.0	276.10	268.06
1	191-490-560-000	SFR	1	1.0	276.10	268.06
1	191-490-570-000	SFR	1	1.0	276.10	268.06
1	191-500-010-000	SFR	1	1.0	276.10	268.06
1	191-500-020-000	SFR	1	1.0	276.10	268.06
1	191-500-030-000	SFR	1	1.0	276.10	268.06
1	191-500-040-000	SFR	1	1.0	276.10	268.06
1	191-500-050-000	SFR	1	1.0	276.10	268.06
1	191-500-060-000	SFR	1	1.0	276.10	268.06
1	191-500-070-000	SFR	1	1.0	276.10	268.06
1	191-500-080-000	SFR	1	1.0	276.10	268.06
1	191-500-090-000	SFR	1	1.0	276.10	268.06
1	191-500-100-000	SFR	1	1.0	276.10	268.06
1	191-500-110-000	SFR	1	1.0	276.10	268.06
1	191-500-120-000	SFR	1	1.0	276.10	268.06
1	191-500-130-000	SFR	1	1.0	276.10	268.06
1	191-500-140-000	SFR	1	1.0	276.10	268.06
1	191-500-150-000	SFR	1	1.0	276.10	268.06
1	191-500-160-000	SFR	1	1.0	276.10	268.06
1	191-500-170-000	SFR	1	1.0	276.10	268.06
1	191-500-180-000	SFR	1	1.0	276.10	268.06
1	191-500-190-000	SFR	1	1.0	276.10	268.06
1	191-500-200-000	SFR	1	1.0	276.10	268.06
1	191-500-210-000	SFR	1	1.0	276.10	268.06
1	191-500-220-000	SFR	1	1.0	276.10	268.06
1	191-500-230-000	SFR	1	1.0	276.10	268.06
1	191-500-240-000	SFR	1	1.0	276.10	268.06
1	191-500-250-000	SFR	1	1.0	276.10	268.06
1	191-500-260-000	SFR	1	1.0	276.10	268.06
1	191-500-270-000	SFR	1	1.0	276.10	268.06
1	191-500-280-000	SFR	1	1.0	276.10	268.06
1	191-500-290-000	SFR	1	1.0	276.10	268.06
1	191-500-300-000	SFR	1	1.0	276.10	268.06
1	191-500-310-000	SFR	1	1.0	276.10	268.06
1	191-500-320-000	SFR	1	1.0	276.10	268.06
1	191-500-330-000	SFR	1	1.0	276.10	268.06
1	191-500-340-000	SFR	1	1.0	276.10	268.06
1	191-500-350-000	SFR	1	1.0	276.10	268.06
1	191-500-360-000	SFR	1	1.0	276.10	268.06
1	191-500-370-000	SFR	1	1.0	276.10	268.06
1	191-500-380-000	SFR	1	1.0	276.10	268.06

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-500-390-000	SFR	1	1.0	276.10	268.06
1	191-500-400-000	SFR	1	1.0	276.10	268.06
1	191-500-410-000	SFR	1	1.0	276.10	268.06
1	191-500-420-000	SFR	1	1.0	276.10	268.06
1	191-500-430-000	SFR	1	1.0	276.10	268.06
1	191-500-440-000	SFR	1	1.0	276.10	268.06
1	191-500-450-000	SFR	1	1.0	276.10	268.06
1	191-500-460-000	SFR	1	1.0	276.10	268.06
1	191-500-470-000	SFR	1	1.0	276.10	268.06
1	191-500-480-000	SFR	1	1.0	276.10	268.06
1	191-500-490-000	SFR	1	1.0	276.10	268.06
1	191-500-500-000	SFR	1	1.0	276.10	268.06
1	191-510-010-000	SFR	1	1.0	276.10	268.06
1	191-510-020-000	SFR	1	1.0	276.10	268.06
1	191-510-030-000	SFR	1	1.0	276.10	268.06
1	191-510-040-000	SFR	1	1.0	276.10	268.06
1	191-510-050-000	SFR	1	1.0	276.10	268.06
1	191-510-060-000	SFR	1	1.0	276.10	268.06
1	191-510-070-000	SFR	1	1.0	276.10	268.06
1	191-510-080-000	SFR	1	1.0	276.10	268.06
1	191-510-090-000	SFR	1	1.0	276.10	268.06
1	191-510-100-000	SFR	1	1.0	276.10	268.06
1	191-510-110-000	SFR	1	1.0	276.10	268.06
1	191-510-120-000	SFR	1	1.0	276.10	268.06
1	191-510-130-000	SFR	1	1.0	276.10	268.06
1	191-510-140-000	SFR	1	1.0	276.10	268.06
1	191-510-150-000	SFR	1	1.0	276.10	268.06
1	191-510-160-000	SFR	1	1.0	276.10	268.06
1	191-510-170-000	SFR	1	1.0	276.10	268.06
1	191-510-180-000	SFR	1	1.0	276.10	268.06
1	191-510-190-000	SFR	1	1.0	276.10	268.06
1	191-510-200-000	SFR	1	1.0	276.10	268.06
1	191-510-210-000	SFR	1	1.0	276.10	268.06
1	191-510-220-000	SFR	1	1.0	276.10	268.06
1	191-510-230-000	SFR	1	1.0	276.10	268.06
1	191-510-240-000	SFR	1	1.0	276.10	268.06
1	191-510-250-000	SFR	1	1.0	276.10	268.06
1	191-510-260-000	SFR	1	1.0	276.10	268.06
1	191-510-270-000	SFR	1	1.0	276.10	268.06
1	191-510-280-000	SFR	1	1.0	276.10	268.06
1	191-510-290-000	SFR	1	1.0	276.10	268.06
1	191-510-300-000	SFR	1	1.0	276.10	268.06
1	191-510-310-000	SFR	1	1.0	276.10	268.06
1	191-510-320-000	SFR	1	1.0	276.10	268.06
1	191-510-330-000	SFR	1	1.0	276.10	268.06
1	191-510-340-000	SFR	1	1.0	276.10	268.06
1	191-510-350-000	SFR	1	1.0	276.10	268.06
1	191-510-360-000	SFR	1	1.0	276.10	268.06
1	191-510-370-000	SFR	1	1.0	276.10	268.06

CITY OF LATHROP
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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-510-380-000	SFR	1	1.0	276.10	268.06
1	191-510-390-000	SFR	1	1.0	276.10	268.06
1	191-510-400-000	SFR	1	1.0	276.10	268.06
1	191-510-410-000	SFR	1	1.0	276.10	268.06
1	191-510-420-000	SFR	1	1.0	276.10	268.06
1	191-510-430-000	SFR	1	1.0	276.10	268.06
1	191-510-440-000	SFR	1	1.0	276.10	268.06
1	191-510-450-000	SFR	1	1.0	276.10	268.06
1	191-510-460-000	SFR	1	1.0	276.10	268.06
1	191-520-010-000	SFR	1	1.0	276.10	268.06
1	191-520-020-000	SFR	1	1.0	276.10	268.06
1	191-520-030-000	SFR	1	1.0	276.10	268.06
1	191-520-040-000	SFR	1	1.0	276.10	268.06
1	191-520-050-000	SFR	1	1.0	276.10	268.06
1	191-520-060-000	SFR	1	1.0	276.10	268.06
1	191-520-070-000	SFR	1	1.0	276.10	268.06
1	191-520-080-000	SFR	1	1.0	276.10	268.06
1	191-520-090-000	SFR	1	1.0	276.10	268.06
1	191-520-100-000	SFR	1	1.0	276.10	268.06
1	191-520-110-000	SFR	1	1.0	276.10	268.06
1	191-520-120-000	SFR	1	1.0	276.10	268.06
1	191-520-130-000	SFR	1	1.0	276.10	268.06
1	191-520-140-000	SFR	1	1.0	276.10	268.06
1	191-520-150-000	SFR	1	1.0	276.10	268.06
1	191-520-160-000	SFR	1	1.0	276.10	268.06
1	191-520-170-000	SFR	1	1.0	276.10	268.06
1	191-520-180-000	SFR	1	1.0	276.10	268.06
1	191-520-190-000	SFR	1	1.0	276.10	268.06
1	191-520-200-000	SFR	1	1.0	276.10	268.06
1	191-520-210-000	SFR	1	1.0	276.10	268.06
1	191-520-220-000	SFR	1	1.0	276.10	268.06
1	191-520-230-000	SFR	1	1.0	276.10	268.06
1	191-520-240-000	SFR	1	1.0	276.10	268.06
1	191-520-250-000	SFR	1	1.0	276.10	268.06
1	191-520-260-000	SFR	1	1.0	276.10	268.06
1	191-520-270-000	SFR	1	1.0	276.10	268.06
1	191-520-280-000	SFR	1	1.0	276.10	268.06
1	191-520-290-000	SFR	1	1.0	276.10	268.06
1	191-520-300-000	SFR	1	1.0	276.10	268.06
1	191-520-310-000	SFR	1	1.0	276.10	268.06
1	191-520-320-000	SFR	1	1.0	276.10	268.06
1	191-520-330-000	SFR	1	1.0	276.10	268.06
1	191-520-340-000	SFR	1	1.0	276.10	268.06
1	191-520-350-000	SFR	1	1.0	276.10	268.06
1	191-520-360-000	SFR	1	1.0	276.10	268.06
1	191-520-370-000	SFR	1	1.0	276.10	268.06
1	191-520-380-000	SFR	1	1.0	276.10	268.06
1	191-520-390-000	SFR	1	1.0	276.10	268.06
1	191-520-400-000	SFR	1	1.0	276.10	268.06

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-520-410-000	SFR	1	1.0	276.10	268.06
1	191-520-420-000	SFR	1	1.0	276.10	268.06
1	191-520-430-000	SFR	1	1.0	276.10	268.06
1	191-520-440-000	SFR	1	1.0	276.10	268.06
1	191-520-450-000	SFR	1	1.0	276.10	268.06
1	191-520-460-000	SFR	1	1.0	276.10	268.06
1	191-520-470-000	SFR	1	1.0	276.10	268.06
1	191-520-480-000	SFR	1	1.0	276.10	268.06
1	191-520-490-000	SFR	1	1.0	276.10	268.06
1	191-520-500-000	SFR	1	1.0	276.10	268.06
1	191-520-510-000	SFR	1	1.0	276.10	268.06
1	191-520-520-000	SFR	1	1.0	276.10	268.06
1	191-520-530-000	SFR	1	1.0	276.10	268.06
1	191-520-540-000	SFR	1	1.0	276.10	268.06
1	191-520-550-000	SFR	1	1.0	276.10	268.06
1	191-520-560-000	SFR	1	1.0	276.10	268.06
1	191-520-570-000	SFR	1	1.0	276.10	268.06
1	191-520-580-000	SFR	1	1.0	276.10	268.06
1	191-520-590-000	SFR	1	1.0	276.10	268.06
1	191-520-600-000	SFR	1	1.0	276.10	268.06
1	191-520-610-000	SFR	1	1.0	276.10	268.06
1	191-520-620-000	SFR	1	1.0	276.10	268.06
1	191-520-630-000	SFR	1	1.0	276.10	268.06
1	191-520-640-000	SFR	1	1.0	276.10	268.06
1	191-530-010-000	SFR	1	1.0	276.10	268.06
1	191-530-020-000	SFR	1	1.0	276.10	268.06
1	191-530-030-000	SFR	1	1.0	276.10	268.06
1	191-530-040-000	SFR	1	1.0	276.10	268.06
1	191-530-050-000	SFR	1	1.0	276.10	268.06
1	191-530-060-000	SFR	1	1.0	276.10	268.06
1	191-530-070-000	SFR	1	1.0	276.10	268.06
1	191-530-080-000	SFR	1	1.0	276.10	268.06
1	191-530-090-000	SFR	1	1.0	276.10	268.06
1	191-530-100-000	SFR	1	1.0	276.10	268.06
1	191-530-110-000	SFR	1	1.0	276.10	268.06
1	191-530-120-000	SFR	1	1.0	276.10	268.06
1	191-530-130-000	SFR	1	1.0	276.10	268.06
1	191-530-140-000	SFR	1	1.0	276.10	268.06
1	191-530-150-000	SFR	1	1.0	276.10	268.06
1	191-530-160-000	SFR	1	1.0	276.10	268.06
1	191-530-170-000	SFR	1	1.0	276.10	268.06
1	191-530-180-000	SFR	1	1.0	276.10	268.06
1	191-530-190-000	SFR	1	1.0	276.10	268.06
1	191-530-200-000	SFR	1	1.0	276.10	268.06
1	191-530-210-000	SFR	1	1.0	276.10	268.06
1	191-530-220-000	SFR	1	1.0	276.10	268.06
1	191-530-230-000	SFR	1	1.0	276.10	268.06
1	191-530-240-000	SFR	1	1.0	276.10	268.06
1	191-530-250-000	SFR	1	1.0	276.10	268.06

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-530-260-000	SFR	1	1.0	276.10	268.06
1	191-530-270-000	SFR	1	1.0	276.10	268.06
1	191-530-280-000	SFR	1	1.0	276.10	268.06
1	191-530-290-000	SFR	1	1.0	276.10	268.06
1	191-530-300-000	SFR	1	1.0	276.10	268.06
1	191-530-310-000	SFR	1	1.0	276.10	268.06
1	191-530-320-000	SFR	1	1.0	276.10	268.06
1	191-530-330-000	SFR	1	1.0	276.10	268.06
1	191-530-340-000	SFR	1	1.0	276.10	268.06
1	191-530-350-000	SFR	1	1.0	276.10	268.06
1	191-530-360-000	SFR	1	1.0	276.10	268.06
1	191-530-370-000	SFR	1	1.0	276.10	268.06
1	191-530-380-000	SFR	1	1.0	276.10	268.06
1	191-530-390-000	SFR	1	1.0	276.10	268.06
1	191-530-400-000	SFR	1	1.0	276.10	268.06
1	191-530-410-000	SFR	1	1.0	276.10	268.06
1	191-530-420-000	SFR	1	1.0	276.10	268.06
1	191-530-430-000	SFR	1	1.0	276.10	268.06
1	191-530-440-000	SFR	1	1.0	276.10	268.06
1	191-530-450-000	SFR	1	1.0	276.10	268.06
1	191-530-460-000	SFR	1	1.0	276.10	268.06
1	191-530-470-000	SFR	1	1.0	276.10	268.06
1	191-530-480-000	SFR	1	1.0	276.10	268.06
1	191-530-490-000	SFR	1	1.0	276.10	268.06
1	191-530-500-000	SFR	1	1.0	276.10	268.06
1	191-530-510-000	SFR	1	1.0	276.10	268.06
1	191-530-520-000	SFR	1	1.0	276.10	268.06
1	191-530-530-000	SFR	1	1.0	276.10	268.06
1	191-530-540-000	SFR	1	1.0	276.10	268.06
1	191-530-550-000	SFR	1	1.0	276.10	268.06
1	191-530-560-000	SFR	1	1.0	276.10	268.06
1	191-530-570-000	SFR	1	1.0	276.10	268.06
1	191-530-580-000	CITY	0	0.0	0.00	0.00
1	191-530-590-000	SFR	1	1.0	276.10	268.06
1	191-530-600-000	SFR	1	1.0	276.10	268.06
1	191-530-610-000	SFR	1	1.0	276.10	268.06
1	191-530-620-000	SFR	1	1.0	276.10	268.06
1	191-530-630-000	SFR	1	1.0	276.10	268.06
1	191-530-640-000	SFR	1	1.0	276.10	268.06
1	191-530-650-000	SFR	1	1.0	276.10	268.06
1	191-530-660-000	SFR	1	1.0	276.10	268.06
1	191-530-670-000	SFR	1	1.0	276.10	268.06
1	191-530-680-000	SFR	1	1.0	276.10	268.06
1	191-530-690-000	SFR	1	1.0	276.10	268.06
1	191-530-700-000	SFR	1	1.0	276.10	268.06
1	191-530-710-000	SFR	1	1.0	276.10	268.06
1	191-530-720-000	SFR	1	1.0	276.10	268.06
1	191-530-730-000	SFR	1	1.0	276.10	268.06
1	191-530-740-000	SFR	1	1.0	276.10	268.06

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-530-750-000	SFR	1	1.0	276.10	268.06
1	191-540-010-000	SFR	1	1.0	276.10	268.06
1	191-540-020-000	SFR	1	1.0	276.10	268.06
1	191-540-030-000	SFR	1	1.0	276.10	268.06
1	191-540-040-000	SFR	1	1.0	276.10	268.06
1	191-540-050-000	SFR	1	1.0	276.10	268.06
1	191-540-060-000	SFR	1	1.0	276.10	268.06
1	191-540-070-000	SFR	1	1.0	276.10	268.06
1	191-540-080-000	SFR	1	1.0	276.10	268.06
1	191-540-090-000	SFR	1	1.0	276.10	268.06
1	191-540-100-000	SFR	1	1.0	276.10	268.06
1	191-540-110-000	SFR	1	1.0	276.10	268.06
1	191-540-120-000	SFR	1	1.0	276.10	268.06
1	191-540-130-000	SFR	1	1.0	276.10	268.06
1	191-540-140-000	SFR	1	1.0	276.10	268.06
1	191-540-150-000	SFR	1	1.0	276.10	268.06
1	191-540-160-000	SFR	1	1.0	276.10	268.06
1	191-540-170-000	SFR	1	1.0	276.10	268.06
1	191-540-180-000	SFR	1	1.0	276.10	268.06
1	191-540-190-000	SFR	1	1.0	276.10	268.06
1	191-540-200-000	SFR	1	1.0	276.10	268.06
1	191-540-210-000	SFR	1	1.0	276.10	268.06
1	191-540-220-000	SFR	1	1.0	276.10	268.06
1	191-540-230-000	SFR	1	1.0	276.10	268.06
1	191-540-240-000	SFR	1	1.0	276.10	268.06
1	191-540-250-000	SFR	1	1.0	276.10	268.06
1	191-540-260-000	SFR	1	1.0	276.10	268.06
1	191-540-270-000	SFR	1	1.0	276.10	268.06
1	191-540-280-000	SFR	1	1.0	276.10	268.06
1	191-540-290-000	SFR	1	1.0	276.10	268.06
1	191-540-300-000	SFR	1	1.0	276.10	268.06
1	191-540-310-000	SFR	1	1.0	276.10	268.06
1	191-540-320-000	SFR	1	1.0	276.10	268.06
1	191-540-330-000	SFR	1	1.0	276.10	268.06
1	191-540-340-000	SFR	1	1.0	276.10	268.06
1	191-540-350-000	SFR	1	1.0	276.10	268.06
1	191-540-360-000	SFR	1	1.0	276.10	268.06
1	191-540-370-000	SFR	1	1.0	276.10	268.06
1	191-540-380-000	SFR	1	1.0	276.10	268.06
1	191-540-390-000	SFR	1	1.0	276.10	268.06
1	191-540-400-000	SFR	1	1.0	276.10	268.06
1	191-540-410-000	SFR	1	1.0	276.10	268.06
1	191-540-420-000	SFR	1	1.0	276.10	268.06
1	191-540-430-000	SFR	1	1.0	276.10	268.06
1	191-540-440-000	SFR	1	1.0	276.10	268.06
1	191-540-450-000	SFR	1	1.0	276.10	268.06
1	191-540-460-000	SFR	1	1.0	276.10	268.06
1	191-540-470-000	SFR	1	1.0	276.10	268.06
1	191-540-480-000	SFR	1	1.0	276.10	268.06

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-540-490-000	SFR	1	1.0	276.10	268.06
1	191-540-500-000	SFR	1	1.0	276.10	268.06
1	191-540-510-000	SFR	1	1.0	276.10	268.06
1	191-540-520-000	SFR	1	1.0	276.10	268.06
1	191-540-530-000	SFR	1	1.0	276.10	268.06
1	191-540-540-000	SFR	1	1.0	276.10	268.06
1	191-540-550-000	SFR	1	1.0	276.10	268.06
1	191-540-560-000	SFR	1	1.0	276.10	268.06
1	191-540-570-000	SFR	1	1.0	276.10	268.06
1	191-540-580-000	SFR	1	1.0	276.10	268.06
1	191-540-590-000	SFR	1	1.0	276.10	268.06
1	191-540-600-000	SFR	1	1.0	276.10	268.06
1	191-540-610-000	CITY	0	0.0	0.00	0.00
1	191-550-010-000	SFR	1	1.0	276.10	268.06
1	191-550-020-000	SFR	1	1.0	276.10	268.06
1	191-550-030-000	SFR	1	1.0	276.10	268.06
1	191-550-040-000	SFR	1	1.0	276.10	268.06
1	191-550-050-000	SFR	1	1.0	276.10	268.06
1	191-550-060-000	SFR	1	1.0	276.10	268.06
1	191-550-070-000	SFR	1	1.0	276.10	268.06
1	191-550-080-000	SFR	1	1.0	276.10	268.06
1	191-550-090-000	SFR	1	1.0	276.10	268.06
1	191-550-100-000	SFR	1	1.0	276.10	268.06
1	191-550-110-000	SFR	1	1.0	276.10	268.06
1	191-550-120-000	SFR	1	1.0	276.10	268.06
1	191-550-130-000	SFR	1	1.0	276.10	268.06
1	191-550-140-000	SFR	1	1.0	276.10	268.06
1	191-550-150-000	SFR	1	1.0	276.10	268.06
1	191-550-160-000	SFR	1	1.0	276.10	268.06
1	191-550-170-000	SFR	1	1.0	276.10	268.06
1	191-550-180-000	SFR	1	1.0	276.10	268.06
1	191-550-190-000	SFR	1	1.0	276.10	268.06
1	191-550-200-000	SFR	1	1.0	276.10	268.06
1	191-550-210-000	SFR	1	1.0	276.10	268.06
1	191-550-220-000	SFR	1	1.0	276.10	268.06
1	191-550-230-000	SFR	1	1.0	276.10	268.06
1	191-550-240-000	SFR	1	1.0	276.10	268.06
1	191-550-250-000	SFR	1	1.0	276.10	268.06
1	191-550-260-000	SFR	1	1.0	276.10	268.06
1	191-550-270-000	SFR	1	1.0	276.10	268.06
1	191-550-280-000	SFR	1	1.0	276.10	268.06
1	191-550-290-000	SFR	1	1.0	276.10	268.06
1	191-550-300-000	SFR	1	1.0	276.10	268.06
1	191-550-310-000	SFR	1	1.0	276.10	268.06
1	191-550-320-000	SFR	1	1.0	276.10	268.06
1	191-550-330-000	SFR	1	1.0	276.10	268.06
1	191-550-340-000	SFR	1	1.0	276.10	268.06
1	191-550-350-000	SFR	1	1.0	276.10	268.06
1	191-550-360-000	SFR	1	1.0	276.10	268.06

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
FISCAL YEAR 2019/20
PARCEL LISTING

Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-550-370-000	SFR	1	1.0	276.10	268.06
1	191-550-380-000	SFR	1	1.0	276.10	268.06
1	191-550-390-000	SFR	1	1.0	276.10	268.06
1	191-550-400-000	SFR	1	1.0	276.10	268.06
1	191-550-410-000	SFR	1	1.0	276.10	268.06
1	191-550-420-000	SFR	1	1.0	276.10	268.06
1	191-550-430-000	SFR	1	1.0	276.10	268.06
1	191-550-440-000	SFR	1	1.0	276.10	268.06
1	191-550-450-000	SFR	1	1.0	276.10	268.06
1	191-550-460-000	SFR	1	1.0	276.10	268.06
1	191-550-470-000	SFR	1	1.0	276.10	268.06
1	191-550-480-000	SFR	1	1.0	276.10	268.06
1	191-550-490-000	SFR	1	1.0	276.10	268.06
1	191-550-500-000	SFR	1	1.0	276.10	268.06
1	191-550-510-000	SFR	1	1.0	276.10	268.06
1	191-550-520-000	SFR	1	1.0	276.10	268.06
1	191-550-530-000	SFR	1	1.0	276.10	268.06
1	191-550-540-000	SFR	1	1.0	276.10	268.06
1	191-550-550-000	SFR	1	1.0	276.10	268.06
1	191-550-560-000	SFR	1	1.0	276.10	268.06
1	191-550-570-000	SFR	1	1.0	276.10	268.06
1	191-550-580-000	SFR	1	1.0	276.10	268.06
1	191-550-590-000	SFR	1	1.0	276.10	268.06
1	191-550-600-000	SFR	1	1.0	276.10	268.06
1	191-550-610-000	SFR	1	1.0	276.10	268.06
1	191-550-620-000	SFR	1	1.0	276.10	268.06
1	191-550-630-000	SFR	1	1.0	276.10	268.06
1	191-550-640-000	SFR	1	1.0	276.10	268.06
1	191-550-650-000	SFR	1	1.0	276.10	268.06
1	191-550-660-000	SFR	1	1.0	276.10	268.06
1	191-550-670-000	SFR	1	1.0	276.10	268.06
1	191-550-680-000	SFR	1	1.0	276.10	268.06
1	191-550-690-000	CITY	0	0.0	0.00	0.00
1	191-550-710-000	COMMERCIAL	0	0.0	0.00	0.00
1	191-550-730-000	COMMERCIAL	0	0.0	0.00	0.00
1	191-550-740-000	COMMERCIAL	0	0.0	0.00	0.00
1	191-550-750-000	COMMERCIAL	0	0.0	0.00	0.00
1	191-550-760-000	CITY	0	0.0	0.00	0.00
1	191-560-010-000	SFR	1	1.0	276.10	268.06
1	191-560-020-000	SFR	1	1.0	276.10	268.06
1	191-560-030-000	SFR	1	1.0	276.10	268.06
1	191-560-040-000	SFR	1	1.0	276.10	268.06
1	191-560-050-000	SFR	1	1.0	276.10	268.06
1	191-560-060-000	SFR	1	1.0	276.10	268.06
1	191-560-070-000	SFR	1	1.0	276.10	268.06
1	191-560-080-000	SFR	1	1.0	276.10	268.06
1	191-560-090-000	SFR	1	1.0	276.10	268.06
1	191-560-100-000	SFR	1	1.0	276.10	268.06
1	191-560-110-000	SFR	1	1.0	276.10	268.06

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-560-120-000	SFR	1	1.0	276.10	268.06
1	191-560-130-000	SFR	1	1.0	276.10	268.06
1	191-560-140-000	SFR	1	1.0	276.10	268.06
1	191-560-150-000	SFR	1	1.0	276.10	268.06
1	191-560-160-000	SFR	1	1.0	276.10	268.06
1	191-560-170-000	SFR	1	1.0	276.10	268.06
1	191-560-180-000	SFR	1	1.0	276.10	268.06
1	191-560-190-000	SFR	1	1.0	276.10	268.06
1	191-560-200-000	SFR	1	1.0	276.10	268.06
1	191-560-210-000	SFR	1	1.0	276.10	268.06
1	191-560-220-000	SFR	1	1.0	276.10	268.06
1	191-560-230-000	SFR	1	1.0	276.10	268.06
1	191-560-240-000	SFR	1	1.0	276.10	268.06
1	191-560-250-000	SFR	1	1.0	276.10	268.06
1	191-560-260-000	SFR	1	1.0	276.10	268.06
1	191-560-270-000	SFR	1	1.0	276.10	268.06
1	191-560-280-000	SFR	1	1.0	276.10	268.06
1	191-560-290-000	SFR	1	1.0	276.10	268.06
1	191-560-300-000	SFR	1	1.0	276.10	268.06
1	191-560-310-000	SFR	1	1.0	276.10	268.06
1	191-560-320-000	SFR	1	1.0	276.10	268.06
1	191-560-330-000	SFR	1	1.0	276.10	268.06
1	191-560-340-000	SFR	1	1.0	276.10	268.06
1	191-560-350-000	SFR	1	1.0	276.10	268.06
1	191-560-360-000	SFR	1	1.0	276.10	268.06
1	191-560-370-000	SFR	1	1.0	276.10	268.06
1	191-560-380-000	SFR	1	1.0	276.10	268.06
1	191-560-390-000	SFR	1	1.0	276.10	268.06
1	191-560-400-000	SFR	1	1.0	276.10	268.06
1	191-560-410-000	SFR	1	1.0	276.10	268.06
1	191-560-420-000	SFR	1	1.0	276.10	268.06
1	191-560-430-000	SFR	1	1.0	276.10	268.06
1	191-560-440-000	SFR	1	1.0	276.10	268.06
1	191-560-450-000	SFR	1	1.0	276.10	268.06
1	191-560-460-000	SFR	1	1.0	276.10	268.06
1	191-560-470-000	CITY	0	0.0	0.00	0.00
1	191-570-010-000	SFR	1	1.0	276.10	268.06
1	191-570-020-000	SFR	1	1.0	276.10	268.06
1	191-570-030-000	SFR	1	1.0	276.10	268.06
1	191-570-040-000	SFR	1	1.0	276.10	268.06
1	191-570-050-000	SFR	1	1.0	276.10	268.06
1	191-570-060-000	SFR	1	1.0	276.10	268.06
1	191-570-070-000	SFR	1	1.0	276.10	268.06
1	191-570-080-000	SFR	1	1.0	276.10	268.06
1	191-570-090-000	SFR	1	1.0	276.10	268.06
1	191-570-100-000	SFR	1	1.0	276.10	268.06
1	191-570-110-000	SFR	1	1.0	276.10	268.06
1	191-570-120-000	SFR	1	1.0	276.10	268.06
1	191-570-130-000	SFR	1	1.0	276.10	268.06

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-570-140-000	SFR	1	1.0	276.10	268.06
1	191-570-150-000	SFR	1	1.0	276.10	268.06
1	191-570-160-000	SFR	1	1.0	276.10	268.06
1	191-570-170-000	SFR	1	1.0	276.10	268.06
1	191-570-180-000	SFR	1	1.0	276.10	268.06
1	191-570-190-000	SFR	1	1.0	276.10	268.06
1	191-570-200-000	SFR	1	1.0	276.10	268.06
1	191-570-210-000	SFR	1	1.0	276.10	268.06
1	191-570-220-000	SFR	1	1.0	276.10	268.06
1	191-570-230-000	SFR	1	1.0	276.10	268.06
1	191-570-240-000	SFR	1	1.0	276.10	268.06
1	191-570-250-000	SFR	1	1.0	276.10	268.06
1	191-570-260-000	SFR	1	1.0	276.10	268.06
1	191-570-270-000	SFR	1	1.0	276.10	268.06
1	191-570-280-000	SFR	1	1.0	276.10	268.06
1	191-570-290-000	SFR	1	1.0	276.10	268.06
1	191-570-300-000	SFR	1	1.0	276.10	268.06
1	191-570-310-000	SFR	1	1.0	276.10	268.06
1	191-570-320-000	SFR	1	1.0	276.10	268.06
1	191-570-330-000	SFR	1	1.0	276.10	268.06
1	191-570-340-000	SFR	1	1.0	276.10	268.06
1	191-570-350-000	SFR	1	1.0	276.10	268.06
1	191-570-360-000	SFR	1	1.0	276.10	268.06
1	191-570-370-000	SFR	1	1.0	276.10	268.06
1	191-570-380-000	SFR	1	1.0	276.10	268.06
1	191-570-390-000	SFR	1	1.0	276.10	268.06
1	191-570-400-000	SFR	1	1.0	276.10	268.06
1	191-570-410-000	SFR	1	1.0	276.10	268.06
1	191-570-420-000	SFR	1	1.0	276.10	268.06
1	191-570-430-000	SFR	1	1.0	276.10	268.06
1	191-570-440-000	SFR	1	1.0	276.10	268.06
1	191-570-450-000	SFR	1	1.0	276.10	268.06
1	191-570-460-000	SFR	1	1.0	276.10	268.06
1	191-570-470-000	SFR	1	1.0	276.10	268.06
1	191-570-480-000	SFR	1	1.0	276.10	268.06
1	191-570-490-000	SFR	1	1.0	276.10	268.06
1	191-570-500-000	SFR	1	1.0	276.10	268.06
1	191-580-010-000	SFR	1	1.0	276.10	268.06
1	191-580-020-000	SFR	1	1.0	276.10	268.06
1	191-580-030-000	SFR	1	1.0	276.10	268.06
1	191-580-040-000	SFR	1	1.0	276.10	268.06
1	191-580-050-000	SFR	1	1.0	276.10	268.06
1	191-580-060-000	SFR	1	1.0	276.10	268.06
1	191-580-070-000	SFR	1	1.0	276.10	268.06
1	191-580-080-000	SFR	1	1.0	276.10	268.06
1	191-580-090-000	SFR	1	1.0	276.10	268.06
1	191-580-100-000	SFR	1	1.0	276.10	268.06
1	191-580-110-000	SFR	1	1.0	276.10	268.06
1	191-580-120-000	SFR	1	1.0	276.10	268.06

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MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-580-130-000	SFR	1	1.0	276.10	268.06
1	191-580-140-000	SFR	1	1.0	276.10	268.06
1	191-580-150-000	SFR	1	1.0	276.10	268.06
1	191-580-160-000	SFR	1	1.0	276.10	268.06
1	191-580-170-000	SFR	1	1.0	276.10	268.06
1	191-580-180-000	SFR	1	1.0	276.10	268.06
1	191-580-190-000	SFR	1	1.0	276.10	268.06
1	191-580-200-000	SFR	1	1.0	276.10	268.06
1	191-580-210-000	SFR	1	1.0	276.10	268.06
1	191-580-220-000	SFR	1	1.0	276.10	268.06
1	191-580-230-000	SFR	1	1.0	276.10	268.06
1	191-580-240-000	SFR	1	1.0	276.10	268.06
1	191-580-250-000	SFR	1	1.0	276.10	268.06
1	191-580-260-000	SFR	1	1.0	276.10	268.06
1	191-580-270-000	SFR	1	1.0	276.10	268.06
1	191-580-280-000	SFR	1	1.0	276.10	268.06
1	191-580-290-000	SFR	1	1.0	276.10	268.06
1	191-580-300-000	SFR	1	1.0	276.10	268.06
1	191-580-310-000	SFR	1	1.0	276.10	268.06
1	191-580-320-000	SFR	1	1.0	276.10	268.06
1	191-580-330-000	SFR	1	1.0	276.10	268.06
1	191-580-340-000	SFR	1	1.0	276.10	268.06
1	191-580-350-000	SFR	1	1.0	276.10	268.06
1	191-580-360-000	SFR	1	1.0	276.10	268.06
1	191-580-370-000	SFR	1	1.0	276.10	268.06
1	191-580-380-000	SFR	1	1.0	276.10	268.06
1	191-580-390-000	SFR	1	1.0	276.10	268.06
1	191-590-010-000	SFR	1	1.0	276.10	268.06
1	191-590-020-000	SFR	1	1.0	276.10	268.06
1	191-590-030-000	SFR	1	1.0	276.10	268.06
1	191-590-040-000	SFR	1	1.0	276.10	268.06
1	191-590-050-000	SFR	1	1.0	276.10	268.06
1	191-590-060-000	SFR	1	1.0	276.10	268.06
1	191-590-070-000	SFR	1	1.0	276.10	268.06
1	191-590-080-000	SFR	1	1.0	276.10	268.06
1	191-590-090-000	SFR	1	1.0	276.10	268.06
1	191-590-100-000	SFR	1	1.0	276.10	268.06
1	191-590-110-000	SFR	1	1.0	276.10	268.06
1	191-590-120-000	SFR	1	1.0	276.10	268.06
1	191-590-130-000	SFR	1	1.0	276.10	268.06
1	191-590-140-000	SFR	1	1.0	276.10	268.06
1	191-590-150-000	SFR	1	1.0	276.10	268.06
1	191-590-180-000	SFR	1	1.0	276.10	268.06
1	191-590-190-000	SFR	1	1.0	276.10	268.06
1	191-590-200-000	SFR	1	1.0	276.10	268.06
1	191-590-210-000	SFR	1	1.0	276.10	268.06
1	191-590-220-000	SFR	1	1.0	276.10	268.06
1	191-590-240-000	SFR	1	1.0	276.10	268.06
1	191-590-250-000	SFR	1	1.0	276.10	268.06

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-590-260-000	SFR	1	1.0	276.10	268.06
1	191-590-270-000	SFR	1	1.0	276.10	268.06
1	191-590-280-000	SFR	1	1.0	276.10	268.06
1	191-590-290-000	SFR	1	1.0	276.10	268.06
1	191-590-300-000	SFR	1	1.0	276.10	268.06
1	191-590-310-000	SFR	1	1.0	276.10	268.06
1	191-590-320-000	SFR	1	1.0	276.10	268.06
1	191-590-330-000	SFR	1	1.0	276.10	268.06
1	191-590-340-000	SFR	1	1.0	276.10	268.06
1	191-590-350-000	SFR	1	1.0	276.10	268.06
1	191-590-360-000	SFR	1	1.0	276.10	268.06
1	191-590-370-000	SFR	1	1.0	276.10	268.06
1	191-590-380-000	SFR	1	1.0	276.10	268.06
1	191-590-390-000	SFR	1	1.0	276.10	268.06
1	191-590-400-000	SFR	1	1.0	276.10	268.06
1	191-590-410-000	SFR	1	1.0	276.10	268.06
1	191-590-420-000	SFR	1	1.0	276.10	268.06
1	191-590-430-000	SFR	1	1.0	276.10	268.06
1	191-590-440-000	SFR	1	1.0	276.10	268.06
1	191-590-450-000	SFR	1	1.0	276.10	268.06
1	191-590-460-000	SFR	1	1.0	276.10	268.06
1	191-590-470-000	SFR	1	1.0	276.10	268.06
1	191-590-480-000	SFR	1	1.0	276.10	268.06
1	191-590-490-000	SFR	1	1.0	276.10	268.06
1	191-590-500-000	SFR	1	1.0	276.10	268.06
1	191-590-510-000	SFR	1	1.0	276.10	268.06
1	191-590-520-000	SFR	1	1.0	276.10	268.06
1	191-590-530-000	SFR	1	1.0	276.10	268.06
1	191-590-540-000	SFR	1	1.0	276.10	268.06
1	191-590-550-000	SFR	1	1.0	276.10	268.06
1	191-590-560-000	SFR	1	1.0	276.10	268.06
1	191-590-570-000	SFR	1	1.0	276.10	268.06
1	191-590-580-000	SFR	1	1.0	276.10	268.06
1	191-590-590-000	SFR	1	1.0	276.10	268.06
1	191-590-600-000	SFR	1	1.0	276.10	268.06
1	191-590-610-000	SFR	1	1.0	276.10	268.06
1	191-590-620-000	SFR	1	1.0	276.10	268.06
1	191-590-630-000	SFR	1	1.0	276.10	268.06
1	191-590-640-000	SFR	1	1.0	276.10	268.06
1	191-590-650-000	SFR	1	1.0	276.10	268.06
1	191-590-660-000	SFR	1	1.0	276.10	268.06
1	191-590-670-000	SFR	1	1.0	276.10	268.06
1	191-590-680-000	SFR	1	1.0	276.10	268.06
1	191-590-690-000	SFR	1	1.0	276.10	268.06
1	191-590-700-000	SFR	1	1.0	276.10	268.06
1	191-600-010-000	SFR	1	1.0	276.10	268.06
1	191-600-020-000	SFR	1	1.0	276.10	268.06
1	191-600-030-000	SFR	1	1.0	276.10	268.06
1	191-600-040-000	SFR	1	1.0	276.10	268.06

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-600-050-000	SFR	1	1.0	276.10	268.06
1	191-600-060-000	SFR	1	1.0	276.10	268.06
1	191-600-070-000	SFR	1	1.0	276.10	268.06
1	191-600-080-000	SFR	1	1.0	276.10	268.06
1	191-600-090-000	SFR	1	1.0	276.10	268.06
1	191-600-100-000	SFR	1	1.0	276.10	268.06
1	191-600-110-000	SFR	1	1.0	276.10	268.06
1	191-600-120-000	SFR	1	1.0	276.10	268.06
1	191-600-130-000	SFR	1	1.0	276.10	268.06
1	191-600-140-000	SFR	1	1.0	276.10	268.06
1	191-600-150-000	SFR	1	1.0	276.10	268.06
1	191-600-160-000	SFR	1	1.0	276.10	268.06
1	191-600-170-000	SFR	1	1.0	276.10	268.06
1	191-600-180-000	SFR	1	1.0	276.10	268.06
1	191-600-190-000	SFR	1	1.0	276.10	268.06
1	191-600-200-000	SFR	1	1.0	276.10	268.06
1	191-600-210-000	SFR	1	1.0	276.10	268.06
1	191-600-220-000	SFR	1	1.0	276.10	268.06
1	191-600-230-000	SFR	1	1.0	276.10	268.06
1	191-600-240-000	SFR	1	1.0	276.10	268.06
1	191-600-250-000	SFR	1	1.0	276.10	268.06
1	191-600-260-000	SFR	1	1.0	276.10	268.06
1	191-600-270-000	SFR	1	1.0	276.10	268.06
1	191-600-280-000	SFR	1	1.0	276.10	268.06
1	191-600-290-000	SFR	1	1.0	276.10	268.06
1	191-600-300-000	SFR	1	1.0	276.10	268.06
1	191-600-340-000	SFR	1	1.0	276.10	268.06
1	191-600-350-000	SFR	1	1.0	276.10	268.06
1	191-600-360-000	SFR	1	1.0	276.10	268.06
1	191-600-370-000	SFR	1	1.0	276.10	268.06
1	191-600-380-000	SFR	1	1.0	276.10	268.06
1	191-600-390-000	SFR	1	1.0	276.10	268.06
1	191-600-400-000	SFR	1	1.0	276.10	268.06
1	191-600-460-000	SFR	1	1.0	276.10	268.06
1	191-600-470-000	SFR	1	1.0	276.10	268.06
1	191-600-480-000	SFR	1	1.0	276.10	268.06
1	191-600-490-000	SFR	1	1.0	276.10	268.06
1	191-600-500-000	SFR	1	1.0	276.10	268.06
1	191-600-510-000	SFR	1	1.0	276.10	268.06
1	191-600-520-000	SFR	1	1.0	276.10	268.06
1	191-600-530-000	SFR	1	1.0	276.10	268.06
1	191-600-540-000	SFR	1	1.0	276.10	268.06
1	191-600-550-000	SFR	1	1.0	276.10	268.06
1	191-600-560-000	SFR	1	1.0	276.10	268.06
1	191-600-570-000	SFR	1	1.0	276.10	268.06
1	191-600-580-000	SFR	1	1.0	276.10	268.06
1	191-600-590-000	SFR	1	1.0	276.10	268.06
1	191-600-600-000	SFR	1	1.0	276.10	268.06
1	191-600-610-000	SFR	1	1.0	276.10	268.06

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-600-620-000	SFR	1	1.0	276.10	268.06
1	191-600-630-000	SFR	1	1.0	276.10	268.06
1	191-600-640-000	SFR	1	1.0	276.10	268.06
1	191-600-650-000	SFR	1	1.0	276.10	268.06
1	191-600-660-000	SFR	1	1.0	276.10	268.06
1	191-600-670-000	SFR	1	1.0	276.10	268.06
1	191-600-680-000	SFR	1	1.0	276.10	268.06
1	191-600-690-000	SFR	1	1.0	276.10	268.06
1	191-600-700-000	SFR	1	1.0	276.10	268.06
1	191-600-710-000	SFR	1	1.0	276.10	268.06
1	191-600-720-000	SFR	1	1.0	276.10	268.06
1	191-600-730-000	SFR	1	1.0	276.10	268.06
1	191-600-740-000	SFR	1	1.0	276.10	268.06
1	191-600-750-000	SFR	1	1.0	276.10	268.06
1	191-610-010-000	CITY	0	0.0	0.00	0.00
1	191-610-020-000	CITY	0	0.0	0.00	0.00
1	191-610-030-000	SFR	1	1.0	276.10	268.06
1	191-610-040-000	SFR	1	1.0	276.10	268.06
1	191-610-050-000	SFR	1	1.0	276.10	268.06
1	191-610-060-000	SFR	1	1.0	276.10	268.06
1	191-610-070-000	SFR	1	1.0	276.10	268.06
1	191-610-080-000	SFR	1	1.0	276.10	268.06
1	191-610-090-000	SFR	1	1.0	276.10	268.06
1	191-610-100-000	SFR	1	1.0	276.10	268.06
1	191-610-110-000	SFR	1	1.0	276.10	268.06
1	191-610-120-000	SFR	1	1.0	276.10	268.06
1	191-610-130-000	SFR	1	1.0	276.10	268.06
1	191-610-140-000	SFR	1	1.0	276.10	268.06
1	191-610-150-000	SFR	1	1.0	276.10	268.06
1	191-610-160-000	SFR	1	1.0	276.10	268.06
1	191-610-170-000	SFR	1	1.0	276.10	268.06
1	191-610-180-000	SFR	1	1.0	276.10	268.06
1	191-610-190-000	SFR	1	1.0	276.10	268.06
1	191-610-200-000	SFR	1	1.0	276.10	268.06
1	191-610-210-000	SFR	1	1.0	276.10	268.06
1	191-610-220-000	EXEMPT	0	0.0	0.00	0.00
1	191-610-230-000	EXEMPT	0	0.0	0.00	0.00
1	191-610-240-000	SFR	1	1.0	276.10	268.06
1	191-610-250-000	SFR	1	1.0	276.10	268.06
1	191-610-260-000	SFR	1	1.0	276.10	268.06
1	191-610-270-000	SFR	1	1.0	276.10	268.06
1	191-610-280-000	SFR	1	1.0	276.10	268.06
1	191-610-290-000	SFR	1	1.0	276.10	268.06
1	191-610-300-000	SFR	1	1.0	276.10	268.06
1	191-610-310-000	SFR	1	1.0	276.10	268.06
1	191-610-320-000	SFR	1	1.0	276.10	268.06
1	191-610-330-000	SFR	1	1.0	276.10	268.06
1	191-610-340-000	SFR	1	1.0	276.10	268.06
1	191-610-350-000	SFR	1	1.0	276.10	268.06

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-610-360-000	SFR	1	1.0	276.10	268.06
1	191-610-370-000	SFR	1	1.0	276.10	268.06
1	191-610-380-000	SFR	1	1.0	276.10	268.06
1	191-610-390-000	SFR	1	1.0	276.10	268.06
1	191-610-400-000	SFR	1	1.0	276.10	268.06
1	191-610-410-000	SFR	1	1.0	276.10	268.06
1	191-620-010-000	SFR	1	1.0	276.10	268.06
1	191-620-020-000	SFR	1	1.0	276.10	268.06
1	191-620-030-000	SFR	1	1.0	276.10	268.06
1	191-620-040-000	SFR	1	1.0	276.10	268.06
1	191-620-050-000	SFR	1	1.0	276.10	268.06
1	191-620-060-000	SFR	1	1.0	276.10	268.06
1	191-620-070-000	SFR	1	1.0	276.10	268.06
1	191-620-130-000	SFR	1	1.0	276.10	268.06
1	191-620-140-000	SFR	1	1.0	276.10	268.06
1	191-620-150-000	SFR	1	1.0	276.10	268.06
1	191-620-160-000	SFR	1	1.0	276.10	268.06
1	191-620-170-000	SFR	1	1.0	276.10	268.06
1	191-620-180-000	SFR	1	1.0	276.10	268.06
1	191-620-190-000	SFR	1	1.0	276.10	268.06
1	191-620-200-000	SFR	1	1.0	276.10	268.06
1	191-620-210-000	SFR	1	1.0	276.10	268.06
1	191-620-220-000	SFR	1	1.0	276.10	268.06
1	191-620-230-000	SFR	1	1.0	276.10	268.06
1	191-620-250-000	SFR	1	1.0	276.10	268.06
1	191-620-260-000	SFR	1	1.0	276.10	268.06
1	191-620-270-000	SFR	1	1.0	276.10	268.06
1	191-620-280-000	SFR	1	1.0	276.10	268.06
1	191-620-290-000	SFR	1	1.0	276.10	268.06
1	191-620-300-000	SFR	1	1.0	276.10	268.06
1	191-620-310-000	SFR	1	1.0	276.10	268.06
1	191-620-320-000	SFR	1	1.0	276.10	268.06
1	191-620-330-000	SFR	1	1.0	276.10	268.06
1	191-620-340-000	SFR	1	1.0	276.10	268.06
1	191-620-350-000	SFR	1	1.0	276.10	268.06
1	191-620-360-000	SFR	1	1.0	276.10	268.06
1	191-620-370-000	SFR	1	1.0	276.10	268.06
1	191-620-380-000	SFR	1	1.0	276.10	268.06
1	191-620-390-000	SFR	1	1.0	276.10	268.06
1	191-620-400-000	SFR	1	1.0	276.10	268.06
1	191-620-410-000	SFR	1	1.0	276.10	268.06
1	191-620-420-000	SFR	1	1.0	276.10	268.06
1	191-620-430-000	SFR	1	1.0	276.10	268.06
1	191-620-440-000	SFR	1	1.0	276.10	268.06
1	191-620-450-000	SFR	1	1.0	276.10	268.06
1	191-620-460-000	SFR	1	1.0	276.10	268.06
1	191-620-470-000	SFR	1	1.0	276.10	268.06
1	191-620-480-000	SFR	1	1.0	276.10	268.06
1	191-620-490-000	CITY	0	0.0	0.00	0.00

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-620-500-000	CITY	0	0.0	0.00	0.00
1	191-620-510-000	CITY	0	0.0	0.00	0.00
1	191-620-520-000	SFR	1	1.0	276.10	268.06
1	191-620-530-000	COMMON AREA	0	0.0	0.00	0.00
1	191-620-540-000	SFR	1	1.0	276.10	268.06
1	191-620-550-000	COMMON AREA	0	0.0	0.00	0.00
1	191-620-560-000	SFR	1	1.0	276.10	268.06
1	191-620-570-000	SFR	1	1.0	276.10	268.06
1	191-630-010-000	SFR	1	1.0	276.10	268.06
1	191-630-020-000	SFR	1	1.0	276.10	268.06
1	191-630-030-000	SFR	1	1.0	276.10	268.06
1	191-630-040-000	SFR	1	1.0	276.10	268.06
1	191-630-050-000	SFR	1	1.0	276.10	268.06
1	191-630-060-000	SFR	1	1.0	276.10	268.06
1	191-630-070-000	SFR	1	1.0	276.10	268.06
1	191-630-080-000	SFR	1	1.0	276.10	268.06
1	191-630-090-000	SFR	1	1.0	276.10	268.06
1	191-630-100-000	SFR	1	1.0	276.10	268.06
1	191-630-110-000	SFR	1	1.0	276.10	268.06
1	191-630-120-000	SFR	1	1.0	276.10	268.06
1	191-630-130-000	SFR	1	1.0	276.10	268.06
1	191-630-140-000	SFR	1	1.0	276.10	268.06
1	191-630-150-000	SFR	1	1.0	276.10	268.06
1	191-630-170-000	COMMON AREA	0	0.0	0.00	0.00
1	191-630-180-000	SFR	1	1.0	276.10	268.06
1	191-630-190-000	SFR	1	1.0	276.10	268.06
1	191-630-200-000	SFR	1	1.0	276.10	268.06
1	191-630-210-000	SFR	1	1.0	276.10	268.06
1	191-630-220-000	SFR	1	1.0	276.10	268.06
1	191-630-230-000	SFR	1	1.0	276.10	268.06
1	191-630-240-000	SFR	1	1.0	276.10	268.06
1	191-630-250-000	SFR	1	1.0	276.10	268.06
1	191-630-260-000	SFR	1	1.0	276.10	268.06
1	191-630-270-000	SFR	1	1.0	276.10	268.06
1	191-630-280-000	SFR	1	1.0	276.10	268.06
1	191-630-290-000	SFR	1	1.0	276.10	268.06
1	191-630-320-000	SFR	1	1.0	276.10	268.06
1	191-630-330-000	SFR	1	1.0	276.10	268.06
1	191-630-340-000	SFR	1	1.0	276.10	268.06
1	191-630-350-000	SFR	1	1.0	276.10	268.06
1	191-630-360-000	SFR	1	1.0	276.10	268.06
1	191-630-370-000	SFR	1	1.0	276.10	268.06
1	191-630-380-000	SFR	1	1.0	276.10	268.06
1	191-630-390-000	SFR	1	1.0	276.10	268.06
1	191-630-400-000	SFR	1	1.0	276.10	268.06
1	191-630-410-000	SFR	1	1.0	276.10	268.06
1	191-630-420-000	SFR	1	1.0	276.10	268.06
1	191-630-430-000	SFR	1	1.0	276.10	268.06
1	191-630-440-000	SFR	1	1.0	276.10	268.06

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-630-450-000	SFR	1	1.0	276.10	268.06
1	191-630-460-000	SFR	1	1.0	276.10	268.06
1	191-630-470-000	SFR	1	1.0	276.10	268.06
1	191-630-480-000	SFR	1	1.0	276.10	268.06
1	191-630-500-000	SFR	1	1.0	276.10	268.06
1	191-630-510-000	SFR	1	1.0	276.10	268.06
1	191-630-520-000	COMMON AREA	0	0.0	0.00	0.00
1	191-640-010-000	SFR	1	1.0	276.10	268.06
1	191-640-020-000	SFR	1	1.0	276.10	268.06
1	191-640-030-000	SFR	1	1.0	276.10	268.06
1	191-640-040-000	SFR	1	1.0	276.10	268.06
1	191-640-050-000	SFR	1	1.0	276.10	268.06
1	191-640-060-000	SFR	1	1.0	276.10	268.06
1	191-640-070-000	SFR	1	1.0	276.10	268.06
1	191-640-080-000	SFR	1	1.0	276.10	268.06
1	191-640-090-000	SFR	1	1.0	276.10	268.06
1	191-640-100-000	SFR	1	1.0	276.10	268.06
1	191-640-110-000	SFR	1	1.0	276.10	268.06
1	191-640-120-000	SFR	1	1.0	276.10	268.06
1	191-640-130-000	SFR	1	1.0	276.10	268.06
1	191-640-140-000	SFR	1	1.0	276.10	268.06
1	191-640-150-000	SFR	1	1.0	276.10	268.06
1	191-640-160-000	SFR	1	1.0	276.10	268.06
1	191-640-170-000	SFR	1	1.0	276.10	268.06
1	191-640-180-000	SFR	1	1.0	276.10	268.06
1	191-640-190-000	SFR	1	1.0	276.10	268.06
1	191-640-200-000	SFR	1	1.0	276.10	268.06
1	191-640-210-000	SFR	1	1.0	276.10	268.06
1	191-640-220-000	SFR	1	1.0	276.10	268.06
1	191-640-230-000	SFR	1	1.0	276.10	268.06
1	191-640-240-000	SFR	1	1.0	276.10	268.06
1	191-640-250-000	SFR	1	1.0	276.10	268.06
1	191-640-260-000	SFR	1	1.0	276.10	268.06
1	191-640-270-000	SFR	1	1.0	276.10	268.06
1	191-640-280-000	SFR	1	1.0	276.10	268.06
1	191-640-290-000	SFR	1	1.0	276.10	268.06
1	191-640-300-000	SFR	1	1.0	276.10	268.06
1	191-640-310-000	SFR	1	1.0	276.10	268.06
1	191-640-320-000	SFR	1	1.0	276.10	268.06
1	191-640-330-000	SFR	1	1.0	276.10	268.06
1	191-640-340-000	SFR	1	1.0	276.10	268.06
1	191-640-350-000	SFR	1	1.0	276.10	268.06
1	191-640-360-000	SFR	1	1.0	276.10	268.06
1	191-640-370-000	SFR	1	1.0	276.10	268.06
1	191-640-380-000	SFR	1	1.0	276.10	268.06
1	191-640-390-000	SFR	1	1.0	276.10	268.06
1	191-640-400-000	SFR	1	1.0	276.10	268.06
1	191-640-410-000	SFR	1	1.0	276.10	268.06
1	191-640-420-000	SFR	1	1.0	276.10	268.06

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-640-430-000	SFR	1	1.0	276.10	268.06
1	191-640-440-000	SFR	1	1.0	276.10	268.06
1	191-640-450-000	SFR	1	1.0	276.10	268.06
1	191-640-460-000	SFR	1	1.0	276.10	268.06
1	191-640-470-000	SFR	1	1.0	276.10	268.06
1	191-640-480-000	SFR	1	1.0	276.10	268.06
1	191-640-490-000	SFR	1	1.0	276.10	268.06
1	191-640-500-000	SFR	1	1.0	276.10	268.06
1	191-640-510-000	SFR	1	1.0	276.10	268.06
1	191-640-520-000	SFR	1	1.0	276.10	268.06
1	191-640-530-000	SFR	1	1.0	276.10	268.06
1	191-640-540-000	SFR	1	1.0	276.10	268.06
1	191-640-550-000	SFR	1	1.0	276.10	268.06
1	191-640-560-000	SFR	1	1.0	276.10	268.06
1	191-640-570-000	SFR	1	1.0	276.10	268.06
1	191-640-580-000	SFR	1	1.0	276.10	268.06
1	191-640-590-000	SFR	1	1.0	276.10	268.06
1	191-640-600-000	SFR	1	1.0	276.10	268.06
1	191-640-610-000	SFR	1	1.0	276.10	268.06
1	191-640-620-000	SFR	1	1.0	276.10	268.06
1	191-640-630-000	SFR	1	1.0	276.10	268.06
1	191-640-640-000	SFR	1	1.0	276.10	268.06
1	191-640-650-000	SFR	1	1.0	276.10	268.06
1	191-650-010-000	SFR	1	1.0	276.10	268.06
1	191-650-020-000	SFR	1	1.0	276.10	268.06
1	191-650-030-000	SFR	1	1.0	276.10	268.06
1	191-650-040-000	SFR	1	1.0	276.10	268.06
1	191-650-050-000	SFR	1	1.0	276.10	268.06
1	191-650-060-000	SFR	1	1.0	276.10	268.06
1	191-650-070-000	SFR	1	1.0	276.10	268.06
1	191-650-080-000	SFR	1	1.0	276.10	268.06
1	191-650-090-000	SFR	1	1.0	276.10	268.06
1	191-650-100-000	SFR	1	1.0	276.10	268.06
1	191-650-110-000	SFR	1	1.0	276.10	268.06
1	191-650-120-000	SFR	1	1.0	276.10	268.06
1	191-650-130-000	SFR	1	1.0	276.10	268.06
1	191-650-140-000	SFR	1	1.0	276.10	268.06
1	191-650-150-000	SFR	1	1.0	276.10	268.06
1	191-650-160-000	SFR	1	1.0	276.10	268.06
1	191-650-170-000	SFR	1	1.0	276.10	268.06
1	191-650-180-000	SFR	1	1.0	276.10	268.06
1	191-650-190-000	SFR	1	1.0	276.10	268.06
1	191-650-200-000	SFR	1	1.0	276.10	268.06
1	191-650-210-000	SFR	1	1.0	276.10	268.06
1	191-650-220-000	SFR	1	1.0	276.10	268.06
1	191-650-230-000	SFR	1	1.0	276.10	268.06
1	191-650-240-000	SFR	1	1.0	276.10	268.06
1	191-650-250-000	SFR	1	1.0	276.10	268.06
1	191-650-260-000	SFR	1	1.0	276.10	268.06

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-650-270-000	SFR	1	1.0	276.10	268.06
1	191-650-280-000	SFR	1	1.0	276.10	268.06
1	191-650-290-000	SFR	1	1.0	276.10	268.06
1	191-650-300-000	SFR	1	1.0	276.10	268.06
1	191-650-310-000	SFR	1	1.0	276.10	268.06
1	191-650-320-000	SFR	1	1.0	276.10	268.06
1	191-650-330-000	SFR	1	1.0	276.10	268.06
1	191-650-340-000	SFR	1	1.0	276.10	268.06
1	191-650-350-000	SFR	1	1.0	276.10	268.06
1	191-650-360-000	SFR	1	1.0	276.10	268.06
1	191-660-010-000	SFR	1	1.0	276.10	268.06
1	191-660-020-000	SFR	1	1.0	276.10	268.06
1	191-660-030-000	SFR	1	1.0	276.10	268.06
1	191-660-040-000	SFR	1	1.0	276.10	268.06
1	191-660-050-000	SFR	1	1.0	276.10	268.06
1	191-660-060-000	SFR	1	1.0	276.10	268.06
1	191-660-070-000	SFR	1	1.0	276.10	268.06
1	191-660-080-000	SFR	1	1.0	276.10	268.06
1	191-660-090-000	SFR	1	1.0	276.10	268.06
1	191-660-100-000	SFR	1	1.0	276.10	268.06
1	191-660-110-000	SFR	1	1.0	276.10	268.06
1	191-660-120-000	SFR	1	1.0	276.10	268.06
1	191-660-130-000	SFR	1	1.0	276.10	268.06
1	191-660-140-000	SFR	1	1.0	276.10	268.06
1	191-660-150-000	SFR	1	1.0	276.10	268.06
1	191-660-160-000	SFR	1	1.0	276.10	268.06
1	191-660-170-000	SFR	1	1.0	276.10	268.06
1	191-660-180-000	SFR	1	1.0	276.10	268.06
1	191-660-190-000	SFR	1	1.0	276.10	268.06
1	191-660-200-000	SFR	1	1.0	276.10	268.06
1	191-660-210-000	SFR	1	1.0	276.10	268.06
1	191-660-220-000	SFR	1	1.0	276.10	268.06
1	191-660-230-000	SFR	1	1.0	276.10	268.06
1	191-660-240-000	SFR	1	1.0	276.10	268.06
1	191-660-250-000	SFR	1	1.0	276.10	268.06
1	191-660-260-000	SFR	1	1.0	276.10	268.06
1	191-660-270-000	SFR	1	1.0	276.10	268.06
1	191-660-280-000	SFR	1	1.0	276.10	268.06
1	191-660-290-000	SFR	1	1.0	276.10	268.06
1	191-660-300-000	SFR	1	1.0	276.10	268.06
1	191-660-310-000	SFR	1	1.0	276.10	268.06
1	191-660-320-000	SFR	1	1.0	276.10	268.06
1	191-660-330-000	SFR	1	1.0	276.10	268.06
1	191-670-010-000	SFR	1	1.0	276.10	268.06
1	191-670-020-000	SFR	1	1.0	276.10	268.06
1	191-670-030-000	SFR	1	1.0	276.10	268.06
1	191-670-040-000	SFR	1	1.0	276.10	268.06
1	191-670-050-000	SFR	1	1.0	276.10	268.06
1	191-670-060-000	SFR	1	1.0	276.10	268.06

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-670-070-000	SFR	1	1.0	276.10	268.06
1	191-670-080-000	SFR	1	1.0	276.10	268.06
1	191-670-090-000	SFR	1	1.0	276.10	268.06
1	191-670-100-000	SFR	1	1.0	276.10	268.06
1	191-670-110-000	SFR	1	1.0	276.10	268.06
1	191-670-120-000	SFR	1	1.0	276.10	268.06
1	191-670-130-000	SFR	1	1.0	276.10	268.06
1	191-670-140-000	SFR	1	1.0	276.10	268.06
1	191-670-150-000	SFR	1	1.0	276.10	268.06
1	191-670-160-000	SFR	1	1.0	276.10	268.06
1	191-670-170-000	SFR	1	1.0	276.10	268.06
1	191-670-180-000	SFR	1	1.0	276.10	268.06
1	191-670-190-000	SFR	1	1.0	276.10	268.06
1	191-670-200-000	SFR	1	1.0	276.10	268.06
1	191-670-210-000	SFR	1	1.0	276.10	268.06
1	191-670-220-000	SFR	1	1.0	276.10	268.06
1	191-670-230-000	SFR	1	1.0	276.10	268.06
1	191-670-240-000	SFR	1	1.0	276.10	268.06
1	191-670-250-000	SFR	1	1.0	276.10	268.06
1	191-670-260-000	SFR	1	1.0	276.10	268.06
1	191-670-270-000	SFR	1	1.0	276.10	268.06
1	191-670-280-000	SFR	1	1.0	276.10	268.06
1	191-670-290-000	SFR	1	1.0	276.10	268.06
1	191-670-300-000	SFR	1	1.0	276.10	268.06
1	191-670-310-000	SFR	1	1.0	276.10	268.06
1	191-670-320-000	SFR	1	1.0	276.10	268.06
1	191-670-330-000	SFR	1	1.0	276.10	268.06
1	191-670-340-000	SFR	1	1.0	276.10	268.06
1	191-670-350-000	SFR	1	1.0	276.10	268.06
1	191-670-360-000	SFR	1	1.0	276.10	268.06
1	191-670-370-000	SFR	1	1.0	276.10	268.06
1	191-670-380-000	SFR	1	1.0	276.10	268.06
1	191-670-390-000	SFR	1	1.0	276.10	268.06
1	191-670-400-000	SFR	1	1.0	276.10	268.06
1	191-670-410-000	SFR	1	1.0	276.10	268.06
1	191-670-420-000	SFR	1	1.0	276.10	268.06
1	191-670-430-000	SFR	1	1.0	276.10	268.06
1	191-670-440-000	SFR	1	1.0	276.10	268.06
1	191-670-450-000	SFR	1	1.0	276.10	268.06
1	191-670-460-000	SFR	1	1.0	276.10	268.06
1	191-670-470-000	SFR	1	1.0	276.10	268.06
1	191-670-480-000	SFR	1	1.0	276.10	268.06
1	191-670-490-000	SFR	1	1.0	276.10	268.06
1	191-670-500-000	SFR	1	1.0	276.10	268.06
1	191-670-510-000	SFR	1	1.0	276.10	268.06
1	191-670-520-000	SFR	1	1.0	276.10	268.06
1	191-680-010-000	SFR	1	1.0	276.10	268.06
1	191-680-020-000	SFR	1	1.0	276.10	268.06
1	191-680-030-000	SFR	1	1.0	276.10	268.06

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-680-040-000	SFR	1	1.0	276.10	268.06
1	191-680-050-000	SFR	1	1.0	276.10	268.06
1	191-680-060-000	SFR	1	1.0	276.10	268.06
1	191-680-070-000	SFR	1	1.0	276.10	268.06
1	191-680-080-000	SFR	1	1.0	276.10	268.06
1	191-680-090-000	SFR	1	1.0	276.10	268.06
1	191-680-100-000	SFR	1	1.0	276.10	268.06
1	191-680-110-000	SFR	1	1.0	276.10	268.06
1	191-680-120-000	SFR	1	1.0	276.10	268.06
1	191-680-130-000	SFR	1	1.0	276.10	268.06
1	191-680-140-000	SFR	1	1.0	276.10	268.06
1	191-680-150-000	SFR	1	1.0	276.10	268.06
1	191-680-160-000	SFR	1	1.0	276.10	268.06
1	191-680-170-000	SFR	1	1.0	276.10	268.06
1	191-680-180-000	SFR	1	1.0	276.10	268.06
1	191-680-190-000	SFR	1	1.0	276.10	268.06
1	191-680-200-000	SFR	1	1.0	276.10	268.06
1	191-680-210-000	SFR	1	1.0	276.10	268.06
1	191-680-220-000	SFR	1	1.0	276.10	268.06
1	191-680-230-000	SFR	1	1.0	276.10	268.06
1	191-680-240-000	SFR	1	1.0	276.10	268.06
1	191-680-250-000	SFR	1	1.0	276.10	268.06
1	191-680-260-000	SFR	1	1.0	276.10	268.06
1	191-680-270-000	SFR	1	1.0	276.10	268.06
1	191-680-280-000	SFR	1	1.0	276.10	268.06
1	191-680-290-000	SFR	1	1.0	276.10	268.06
1	191-680-300-000	SFR	1	1.0	276.10	268.06
1	191-680-310-000	SFR	1	1.0	276.10	268.06
1	191-680-320-000	SFR	1	1.0	276.10	268.06
1	191-680-330-000	SFR	1	1.0	276.10	268.06
1	191-680-340-000	SFR	1	1.0	276.10	268.06
1	191-680-350-000	SFR	1	1.0	276.10	268.06
1	191-680-360-000	SFR	1	1.0	276.10	268.06
1	191-680-370-000	SFR	1	1.0	276.10	268.06
1	191-680-380-000	SFR	1	1.0	276.10	268.06
1	191-680-390-000	SFR	1	1.0	276.10	268.06
1	191-680-400-000	SFR	1	1.0	276.10	268.06
1	191-680-410-000	SFR	1	1.0	276.10	268.06
1	191-680-420-000	SFR	1	1.0	276.10	268.06
1	191-680-430-000	SFR	1	1.0	276.10	268.06
1	191-680-440-000	SFR	1	1.0	276.10	268.06
1	191-680-450-000	SFR	1	1.0	276.10	268.06
1	191-680-460-000	SFR	1	1.0	276.10	268.06
1	191-680-470-000	SFR	1	1.0	276.10	268.06
1	191-680-480-000	SFR	1	1.0	276.10	268.06
1	191-680-490-000	SFR	1	1.0	276.10	268.06
1	191-680-500-000	SFR	1	1.0	276.10	268.06
1	191-680-510-000	SFR	1	1.0	276.10	268.06
1	191-680-520-000	SFR	1	1.0	276.10	268.06

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-690-010-000	SFR	1	1.0	276.10	268.06
1	191-690-020-000	SFR	1	1.0	276.10	268.06
1	191-690-030-000	SFR	1	1.0	276.10	268.06
1	191-690-040-000	SFR	1	1.0	276.10	268.06
1	191-690-050-000	SFR	1	1.0	276.10	268.06
1	191-690-060-000	SFR	1	1.0	276.10	268.06
1	191-690-070-000	SFR	1	1.0	276.10	268.06
1	191-690-080-000	SFR	1	1.0	276.10	268.06
1	191-690-120-000	SFR	1	1.0	276.10	268.06
1	191-690-130-000	SFR	1	1.0	276.10	268.06
1	191-690-140-000	SFR	1	1.0	276.10	268.06
1	191-690-150-000	SFR	1	1.0	276.10	268.06
1	191-690-160-000	SFR	1	1.0	276.10	268.06
1	191-690-170-000	SFR	1	1.0	276.10	268.06
1	191-690-180-000	SFR	1	1.0	276.10	268.06
1	191-690-190-000	SFR	1	1.0	276.10	268.06
1	191-690-200-000	SFR	1	1.0	276.10	268.06
1	191-690-210-000	SFR	1	1.0	276.10	268.06
1	191-690-220-000	SFR	1	1.0	276.10	268.06
1	191-690-230-000	SFR	1	1.0	276.10	268.06
1	191-690-240-000	SFR	1	1.0	276.10	268.06
1	191-690-250-000	SFR	1	1.0	276.10	268.06
1	191-690-260-000	SFR	1	1.0	276.10	268.06
1	191-690-270-000	SFR	1	1.0	276.10	268.06
1	191-690-280-000	SFR	1	1.0	276.10	268.06
1	191-690-290-000	SFR	1	1.0	276.10	268.06
1	191-690-300-000	SFR	1	1.0	276.10	268.06
1	191-690-310-000	SFR	1	1.0	276.10	268.06
1	191-690-320-000	SFR	1	1.0	276.10	268.06
1	191-690-330-000	SFR	1	1.0	276.10	268.06
1	191-690-340-000	SFR	1	1.0	276.10	268.06
1	191-690-350-000	SFR	1	1.0	276.10	268.06
1	191-690-360-000	SFR	1	1.0	276.10	268.06
1	191-690-370-000	SFR	1	1.0	276.10	268.06
1	191-690-380-000	SFR	1	1.0	276.10	268.06
1	191-690-390-000	SFR	1	1.0	276.10	268.06
1	191-690-400-000	SFR	1	1.0	276.10	268.06
1	191-690-410-000	SFR	1	1.0	276.10	268.06
1	191-690-420-000	CITY	0	0.0	0.00	0.00
1	191-690-430-000	COMMON AREA	0	0.0	0.00	0.00
1	191-690-440-000	COMMON AREA	0	0.0	0.00	0.00
1	191-690-450-000	COMMON AREA	0	0.0	0.00	0.00
1	191-690-460-000	COMMON AREA	0	0.0	0.00	0.00
1	191-690-470-000	COMMON AREA	0	0.0	0.00	0.00
1	191-690-480-000	COMMON AREA	0	0.0	0.00	0.00
1	191-690-490-000	COMMON AREA	0	0.0	0.00	0.00
1	191-690-500-000	COMMON AREA	0	0.0	0.00	0.00
1	191-690-510-000	COMMON AREA	0	0.0	0.00	0.00
1	191-690-520-000	SFR	1	1.0	276.10	268.06

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-690-530-000	SFR	1	1.0	276.10	268.06
1	191-690-540-000	SFR	1	1.0	276.10	268.06
1	191-700-070-000	CITY	0	0.0	0.00	0.00
1	191-700-080-000	CITY	0	0.0	0.00	0.00
1	191-700-090-000	COMMERCIAL	0	0.0	0.00	0.00
1	191-700-110-000	COMMERCIAL	0	0.0	0.00	0.00
1	191-700-120-000	COMMERCIAL	0	0.0	0.00	0.00
1	191-730-010-000	SFR	1	1.0	276.10	268.06
1	191-730-020-000	SFR	1	1.0	276.10	268.06
1	191-730-030-000	SFR	1	1.0	276.10	268.06
1	191-730-040-000	SFR	1	1.0	276.10	268.06
1	191-730-050-000	SFR	1	1.0	276.10	268.06
1	191-730-060-000	SFR	1	1.0	276.10	268.06
1	191-730-070-000	SFR	1	1.0	276.10	268.06
1	191-730-080-000	SFR	1	1.0	276.10	268.06
1	191-730-090-000	SFR	1	1.0	276.10	268.06
1	191-730-100-000	SFR	1	1.0	276.10	268.06
1	191-730-110-000	SFR	1	1.0	276.10	268.06
1	191-730-120-000	SFR	1	1.0	276.10	268.06
1	191-730-130-000	SFR	1	1.0	276.10	268.06
1	191-730-140-000	SFR	1	1.0	276.10	268.06
1	191-730-150-000	SFR	1	1.0	276.10	268.06
1	191-730-160-000	SFR	1	1.0	276.10	268.06
1	191-730-170-000	SFR	1	1.0	276.10	268.06
1	191-730-180-000	SFR	1	1.0	276.10	268.06
1	191-730-190-000	SFR	1	1.0	276.10	268.06
1	191-730-200-000	SFR	1	1.0	276.10	268.06
1	191-730-210-000	SFR	1	1.0	276.10	268.06
1	191-730-220-000	SFR	1	1.0	276.10	268.06
1	191-730-230-000	SFR	1	1.0	276.10	268.06
1	191-730-240-000	SFR	1	1.0	276.10	268.06
1	191-730-250-000	SFR	1	1.0	276.10	268.06
1	191-730-260-000	SFR	1	1.0	276.10	268.06
1	191-730-270-000	SFR	1	1.0	276.10	268.06
1	191-730-280-000	SFR	1	1.0	276.10	268.06
1	191-730-290-000	SFR	1	1.0	276.10	268.06
1	191-730-300-000	SFR	1	1.0	276.10	268.06
1	191-730-310-000	SFR	1	1.0	276.10	268.06
1	191-730-320-000	SFR	1	1.0	276.10	268.06
1	191-730-330-000	SFR	1	1.0	276.10	268.06
1	191-730-340-000	SFR	1	1.0	276.10	268.06
1	191-730-350-000	SFR	1	1.0	276.10	268.06
1	191-730-360-000	SFR	1	1.0	276.10	268.06
1	191-730-370-000	SFR	1	1.0	276.10	268.06
1	191-730-380-000	SFR	1	1.0	276.10	268.06
1	191-730-390-000	SFR	1	1.0	276.10	268.06
1	191-730-400-000	SFR	1	1.0	276.10	268.06
1	191-730-410-000	SFR	1	1.0	276.10	268.06
1	191-730-420-000	SFR	1	1.0	276.10	268.06

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-730-430-000	SFR	1	1.0	276.10	268.06
1	191-730-440-000	SFR	1	1.0	276.10	268.06
1	191-730-450-000	SFR	1	1.0	276.10	268.06
1	191-730-460-000	SFR	1	1.0	276.10	268.06
1	191-730-470-000	SFR	1	1.0	276.10	268.06
1	191-730-480-000	SFR	1	1.0	276.10	268.06
1	191-730-490-000	SFR	1	1.0	276.10	268.06
1	191-730-500-000	SFR	1	1.0	276.10	268.06
1	191-730-510-000	SFR	1	1.0	276.10	268.06
1	191-730-520-000	SFR	1	1.0	276.10	268.06
1	191-730-530-000	SFR	1	1.0	276.10	268.06
1	191-730-540-000	SFR	1	1.0	276.10	268.06
1	191-730-550-000	SFR	1	1.0	276.10	268.06
1	191-730-560-000	SFR	1	1.0	276.10	268.06
1	191-740-010-000	SFR	1	1.0	276.10	268.06
1	191-740-020-000	SFR	1	1.0	276.10	268.06
1	191-740-030-000	SFR	1	1.0	276.10	268.06
1	191-740-040-000	SFR	1	1.0	276.10	268.06
1	191-740-050-000	SFR	1	1.0	276.10	268.06
1	191-740-060-000	SFR	1	1.0	276.10	268.06
1	191-740-070-000	SFR	1	1.0	276.10	268.06
1	191-740-080-000	SFR	1	1.0	276.10	268.06
1	191-740-090-000	SFR	1	1.0	276.10	268.06
1	191-740-100-000	SFR	1	1.0	276.10	268.06
1	191-740-110-000	SFR	1	1.0	276.10	268.06
1	191-740-120-000	SFR	1	1.0	276.10	268.06
1	191-740-130-000	SFR	1	1.0	276.10	268.06
1	191-740-140-000	SFR	1	1.0	276.10	268.06
1	191-740-150-000	SFR	1	1.0	276.10	268.06
1	191-740-160-000	SFR	1	1.0	276.10	268.06
1	191-740-170-000	SFR	1	1.0	276.10	268.06
1	191-740-180-000	SFR	1	1.0	276.10	268.06
1	191-740-190-000	SFR	1	1.0	276.10	268.06
1	191-740-200-000	SFR	1	1.0	276.10	268.06
1	191-740-210-000	SFR	1	1.0	276.10	268.06
1	191-740-220-000	SFR	1	1.0	276.10	268.06
1	191-740-230-000	SFR	1	1.0	276.10	268.06
1	191-740-240-000	SFR	1	1.0	276.10	268.06
1	191-740-250-000	SFR	1	1.0	276.10	268.06
1	191-740-260-000	SFR	1	1.0	276.10	268.06
1	191-740-270-000	SFR	1	1.0	276.10	268.06
1	191-740-280-000	SFR	1	1.0	276.10	268.06
1	191-740-290-000	SFR	1	1.0	276.10	268.06
1	191-740-300-000	SFR	1	1.0	276.10	268.06
1	191-740-310-000	SFR	1	1.0	276.10	268.06
1	191-740-320-000	SFR	1	1.0	276.10	268.06
1	191-740-330-000	SFR	1	1.0	276.10	268.06
1	191-740-340-000	SFR	1	1.0	276.10	268.06
1	191-740-350-000	SFR	1	1.0	276.10	268.06

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
FISCAL YEAR 2019/20
PARCEL LISTING

Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-740-360-000	SFR	1	1.0	276.10	268.06
1	191-740-370-000	SFR	1	1.0	276.10	268.06
1	191-740-380-000	SFR	1	1.0	276.10	268.06
1	191-740-390-000	SFR	1	1.0	276.10	268.06
1	191-740-400-000	SFR	1	1.0	276.10	268.06
1	191-740-410-000	SFR	1	1.0	276.10	268.06
1	191-740-420-000	SFR	1	1.0	276.10	268.06
1	191-740-430-000	SFR	1	1.0	276.10	268.06
1	191-740-440-000	SFR	1	1.0	276.10	268.06
1	191-740-450-000	SFR	1	1.0	276.10	268.06
1	191-740-460-000	SFR	1	1.0	276.10	268.06
1	191-750-010-000	SFR	1	1.0	276.10	268.06
1	191-750-020-000	SFR	1	1.0	276.10	268.06
1	191-750-030-000	SFR	1	1.0	276.10	268.06
1	191-750-040-000	SFR	1	1.0	276.10	268.06
1	191-750-050-000	SFR	1	1.0	276.10	268.06
1	191-750-060-000	SFR	1	1.0	276.10	268.06
1	191-750-070-000	SFR	1	1.0	276.10	268.06
1	191-750-080-000	SFR	1	1.0	276.10	268.06
1	191-750-090-000	SFR	1	1.0	276.10	268.06
1	191-750-100-000	SFR	1	1.0	276.10	268.06
1	191-750-110-000	SFR	1	1.0	276.10	268.06
1	191-750-120-000	SFR	1	1.0	276.10	268.06
1	191-750-130-000	SFR	1	1.0	276.10	268.06
1	191-750-140-000	SFR	1	1.0	276.10	268.06
1	191-750-150-000	SFR	1	1.0	276.10	268.06
1	191-750-160-000	SFR	1	1.0	276.10	268.06
1	191-750-170-000	SFR	1	1.0	276.10	268.06
1	191-750-180-000	SFR	1	1.0	276.10	268.06
1	191-750-190-000	SFR	1	1.0	276.10	268.06
1	191-750-200-000	SFR	1	1.0	276.10	268.06
1	191-750-210-000	SFR	1	1.0	276.10	268.06
1	191-750-220-000	SFR	1	1.0	276.10	268.06
1	191-750-230-000	SFR	1	1.0	276.10	268.06
1	191-750-240-000	SFR	1	1.0	276.10	268.06
1	191-750-250-000	SFR	1	1.0	276.10	268.06
1	191-750-260-000	SFR	1	1.0	276.10	268.06
1	191-750-270-000	SFR	1	1.0	276.10	268.06
1	191-750-280-000	SFR	1	1.0	276.10	268.06
1	191-750-290-000	SFR	1	1.0	276.10	268.06
1	191-750-300-000	SFR	1	1.0	276.10	268.06
1	191-750-310-000	SFR	1	1.0	276.10	268.06
1	191-750-320-000	SFR	1	1.0	276.10	268.06
1	191-750-330-000	SFR	1	1.0	276.10	268.06
1	191-750-340-000	SFR	1	1.0	276.10	268.06
1	191-750-350-000	SFR	1	1.0	276.10	268.06
1	191-750-360-000	SFR	1	1.0	276.10	268.06
1	191-750-370-000	SFR	1	1.0	276.10	268.06
1	191-750-380-000	SFR	1	1.0	276.10	268.06

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
FISCAL YEAR 2019/20
PARCEL LISTING

Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	191-750-390-000	SFR	1	1.0	276.10	268.06
1	191-750-400-000	SFR	1	1.0	276.10	268.06
1	191-750-410-000	SFR	1	1.0	276.10	268.06
1	191-750-420-000	SFR	1	1.0	276.10	268.06
1	191-750-430-000	SFR	1	1.0	276.10	268.06
1	191-750-440-000	SFR	1	1.0	276.10	268.06
1	191-750-450-000	SFR	1	1.0	276.10	268.06
1	191-750-460-000	SFR	1	1.0	276.10	268.06
1	191-750-470-000	SFR	1	1.0	276.10	268.06
1	191-750-480-000	SFR	1	1.0	276.10	268.06
1	191-750-490-000	SFR	1	1.0	276.10	268.06
1	191-750-500-000	SFR	1	1.0	276.10	268.06
1	191-750-510-000	SFR	1	1.0	276.10	268.06
1	191-750-520-000	SFR	1	1.0	276.10	268.06
1	241-020-520-000	CITY	0	0.0	0.00	0.00
1	241-020-570-000	PUBLIC	0	0.0	0.00	0.00
1	241-020-600-000	CITY	0	0.0	0.00	0.00
1	241-020-650-000	MFR	72	43.2	11,927.52	11,580.18
1	241-020-660-000	MFR	12	7.2	1,987.92	1,930.02
1	241-700-010-000	SFR	1	1.0	276.10	268.06
1	241-700-020-000	SFR	1	1.0	276.10	268.06
1	241-700-030-000	SFR	1	1.0	276.10	268.06
1	241-700-040-000	SFR	1	1.0	276.10	268.06
1	241-700-050-000	SFR	1	1.0	276.10	268.06
1	241-700-060-000	SFR	1	1.0	276.10	268.06
1	241-700-070-000	SFR	1	1.0	276.10	268.06
1	241-700-080-000	SFR	1	1.0	276.10	268.06
1	241-700-090-000	SFR	1	1.0	276.10	268.06
1	241-700-100-000	SFR	1	1.0	276.10	268.06
1	241-700-110-000	SFR	1	1.0	276.10	268.06
1	241-700-120-000	SFR	1	1.0	276.10	268.06
1	241-700-130-000	SFR	1	1.0	276.10	268.06
1	241-700-140-000	SFR	1	1.0	276.10	268.06
1	241-700-150-000	SFR	1	1.0	276.10	268.06
1	241-700-160-000	SFR	1	1.0	276.10	268.06
1	241-700-170-000	SFR	1	1.0	276.10	268.06
1	241-700-180-000	SFR	1	1.0	276.10	268.06
1	241-700-190-000	SFR	1	1.0	276.10	268.06
1	241-700-200-000	SFR	1	1.0	276.10	268.06
1	241-700-210-000	SFR	1	1.0	276.10	268.06
1	241-700-220-000	SFR	1	1.0	276.10	268.06
1	241-700-230-000	SFR	1	1.0	276.10	268.06
1	241-700-240-000	SFR	1	1.0	276.10	268.06
1	241-700-250-000	SFR	1	1.0	276.10	268.06
1	241-700-260-000	SFR	1	1.0	276.10	268.06
1	241-700-270-000	CITY	0	0.0	0.00	0.00
1	241-700-280-000	CITY	0	0.0	0.00	0.00
1	241-700-290-000	COMMON AREA	0	0.0	0.00	0.00
1	241-700-300-000	COMMON AREA	0	0.0	0.00	0.00

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
FISCAL YEAR 2019/20
PARCEL LISTING

Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
1	241-700-310-000	COMMON AREA	0	0.0	0.00	0.00
2	241-020-340-000	COMMERCIAL	0	0.0	0.00	0.00
2	241-020-670-000	PUBLIC	0	0.0	0.00	0.00
2	241-020-680-000	SFR	1	1.0	276.10	268.06
2	241-020-690-000	PUBLIC	0	0.0	0.00	0.00
2	241-710-010-000	SFR	1	1.0	276.10	268.06
2	241-710-020-000	SFR	1	1.0	276.10	268.06
2	241-710-030-000	SFR	1	1.0	276.10	268.06
2	241-710-040-000	SFR	1	1.0	276.10	268.06
2	241-710-050-000	SFR	1	1.0	276.10	268.06
2	241-710-060-000	SFR	1	1.0	276.10	268.06
2	241-710-070-000	SFR	1	1.0	276.10	268.06
2	241-710-080-000	SFR	1	1.0	276.10	268.06
2	241-710-090-000	SFR	1	1.0	276.10	268.06
2	241-710-100-000	SFR	1	1.0	276.10	268.06
2	241-710-110-000	SFR	1	1.0	276.10	268.06
2	241-710-120-000	SFR	1	1.0	276.10	268.06
2	241-710-130-000	SFR	1	1.0	276.10	268.06
2	241-710-140-000	SFR	1	1.0	276.10	268.06
2	241-710-150-000	SFR	1	1.0	276.10	268.06
2	241-710-160-000	SFR	1	1.0	276.10	268.06
2	241-710-170-000	SFR	1	1.0	276.10	268.06
2	241-710-180-000	SFR	1	1.0	276.10	268.06
2	241-710-190-000	SFR	1	1.0	276.10	268.06
2	241-710-200-000	SFR	1	1.0	276.10	268.06
2	241-710-210-000	SFR	1	1.0	276.10	268.06
2	241-710-220-000	SFR	1	1.0	276.10	268.06
2	241-710-230-000	SFR	1	1.0	276.10	268.06
2	241-710-240-000	SFR	1	1.0	276.10	268.06
2	241-710-250-000	SFR	1	1.0	276.10	268.06
2	241-710-260-000	SFR	1	1.0	276.10	268.06
2	241-710-270-000	SFR	1	1.0	276.10	268.06
2	241-710-280-000	SFR	1	1.0	276.10	268.06
2	241-710-290-000	SFR	1	1.0	276.10	268.06
2	241-710-300-000	SFR	1	1.0	276.10	268.06
2	241-710-310-000	SFR	1	1.0	276.10	268.06
2	241-710-320-000	SFR	1	1.0	276.10	268.06
2	241-710-330-000	SFR	1	1.0	276.10	268.06
2	241-710-340-000	SFR	1	1.0	276.10	268.06
2	241-710-350-000	SFR	1	1.0	276.10	268.06
2	241-710-360-000	SFR	1	1.0	276.10	268.06
2	241-710-370-000	SFR	1	1.0	276.10	268.06
2	241-710-380-000	SFR	1	1.0	276.10	268.06
2	241-710-390-000	SFR	1	1.0	276.10	268.06
2	241-710-400-000	SFR	1	1.0	276.10	268.06
2	241-710-410-000	SFR	1	1.0	276.10	268.06
2	241-710-420-000	SFR	1	1.0	276.10	268.06
2	241-710-430-000	SFR	1	1.0	276.10	268.06
2	241-710-440-000	SFR	1	1.0	276.10	268.06

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
FISCAL YEAR 2019/20
PARCEL LISTING

Zone	APN	Development Type	Units	EU	Maximum Assessment	2019/20 Assessment*
2	241-710-450-000	SFR	1	1.0	276.10	268.06
2	241-710-460-000	SFR	1	1.0	276.10	268.06
2	241-710-470-000	SFR	1	1.0	276.10	268.06
2	241-710-480-000	SFR	1	1.0	276.10	268.06
2	241-710-490-000	SFR	1	1.0	276.10	268.06
2	241-710-500-000	SFR	1	1.0	276.10	268.06
2	241-710-510-000	SFR	1	1.0	276.10	268.06
2	241-710-520-000	SFR	1	1.0	276.10	268.06
2	241-710-530-000	SFR	1	1.0	276.10	268.06
2	241-710-540-000	SFR	1	1.0	276.10	268.06
2	241-710-550-000	SFR	1	1.0	276.10	268.06
2	241-710-560-000	SFR	1	1.0	276.10	268.06
2	241-710-570-000	SFR	1	1.0	276.10	268.06
2	241-710-580-000	SFR	1	1.0	276.10	268.06
2	241-710-590-000	SFR	1	1.0	276.10	268.06
2	241-710-600-000	SFR	1	1.0	276.10	268.06
2	241-710-610-000	SFR	1	1.0	276.10	268.06
2	241-710-620-000	SFR	1	1.0	276.10	268.06
2	241-710-630-000	SFR	1	1.0	276.10	268.06
2	241-710-640-000	SFR	1	1.0	276.10	268.06
2	241-710-650-000	SFR	1	1.0	276.10	268.06
2	241-710-660-000	SFR	1	1.0	276.10	268.06
2	241-710-670-000	SFR	1	1.0	276.10	268.06
2	241-710-680-000	SFR	1	1.0	276.10	268.06
2	241-710-690-000	SFR	1	1.0	276.10	268.06
2	241-710-700-000	SFR	1	1.0	276.10	268.06
2	241-710-710-000	SFR	1	1.0	276.10	268.06
2	241-710-720-000	SFR	1	1.0	276.10	268.06
2	241-710-730-000	SFR	1	1.0	276.10	268.06
2	241-710-740-000	SFR	1	1.0	276.10	268.06
2	241-710-750-000	SFR	1	1.0	276.10	268.06
2	241-710-760-000	SFR	1	1.0	276.10	268.06
2	241-710-770-000	SFR	1	1.0	276.10	268.06
2	241-710-780-000	SFR	1	1.0	276.10	268.06
Totals:			2,192	2158.4	\$595,934.24	\$578,580.68

* Where applicable, the actual levy will be rounded down to an even amount for County tax roll purposes.

RESOLUTION NO. 19-_____

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP
APPROVING THE PRELIMINARY ENGINEER'S REPORTS FOR THE
STONEBRIDGE LANDSCAPING DISTRICT AND THE STONEBRIDGE
DRAINAGE & LIGHTING DISTRICT AND DECLARING INTENTION TO LEVY
ANNUAL ASSESSMENTS FOR FISCAL YEAR 2019/20**

WHEREAS, the City Council has by previous Resolutions formed the Stonebridge Landscaping District and Stonebridge Drainage & Lighting District (hereafter referred to as the "Districts"), and initiated proceedings for Fiscal Year 2019/20, pursuant to the provisions of the *Landscape and Lighting Act of 1972, Part 2, Division 15 of the California Streets and Highways Code (commencing with Section 22500)* and *Benefit Assessment Act of 1982, Division 2, Title 5 of the California Government Code (commencing with Section 54703)* (hereafter referred to as the "Act") that provides for the levy and collection of assessments by the County of San Joaquin for the City of Lathrop to pay the maintenance and services of all improvements and facilities related thereto; and,

WHEREAS, the City Council has retained NBS, for the purpose of assisting with the Annual Levy of the Districts, and to prepare and file a report with the City Clerk in accordance with the Act; and,

WHEREAS, the City Council has previously called for the preparation of an Engineer's Report and Annual Levy Report (collectively referred to herein as the "Reports") for the districts known as the Stonebridge Landscaping District and Stonebridge Drainage & Lighting District; and

WHEREAS, the Reports have now been presented to the City Council; and

WHEREAS, the Reports include the District budgets and assessments and contains the data necessary to determine the special benefit conferred upon each property included in the Districts; and

WHEREAS, the City Council has carefully examined and reviewed the Reports as presented and amended on April 8, 2019, and is preliminarily satisfied with the Stonebridge Landscaping District and Stonebridge Drainage & Lighting District, and all of the budget items and charges, and is satisfied that the levy amounts, on a preliminary basis, have been spread in accordance with the special benefits received from the improvements, operation, maintenance and services performed in and provided by the Districts;

NOW, THEREFORE, BE IT RESOLVED that the following actions shall be taken:

Section 1 Intention: The City Council hereby declares that it is its intention to seek the Annual Levy of the Districts pursuant to the Act, over and including the land within the Districts' boundaries, and to levy and collect assessments on all such land to pay the annual costs of the improvements.

Section 2 Description of Improvements and any substantial changes proposed: The improvements within the Districts include: planting materials, irrigation systems, landscape, drainage systems, natural drainage areas, street lighting and all necessary appurtenances. The Reports, attached hereto as Exhibit "A" and incorporated herein by this reference is hereby approved on a preliminary basis and ordered to be filed with this Resolution in the Office of the City Clerk as a permanent record. Such Reports shall remain open to public inspection. The Reports provides a full and complete description of all improvements and any or all substantial changes to the Districts or improvements within the Districts.

Section 3 Boundaries and Designation: The boundaries of the Districts are described as the boundaries previously defined in the formation documents of the original Districts, within the incorporated City Limits of the City, within the County of San Joaquin, State of California. Also described as:

Stonebridge Landscaping District

Stonebridge Drainage & Lighting District

Section 4 Proposed Assessment Amounts: For Fiscal Year 2019/20, the proposed assessments are outlined in the Reports which detail any changes or increases in the annual assessment.

Section 5 Public Hearing(s): The City Council hereby declares its intention to conduct a Public Hearing annually concerning the levy of assessments for the District in accordance with *Chapter 3, Section 22626* of the Act and Articles XIII (C) and XIII (D) of the California Constitution.

Section 6 Notice: The City shall give notice of the time and place of the Public Hearing to all property owners within the District by causing the publishing of this Resolution once in a newspaper of local circulation for two consecutive weeks not less than ten (10) days before the date of the public hearing, and by posting a copy of this resolution on the official bulletin board customarily used by the City Council for the posting of notices.

Section 7 Notice of Public Hearing: Notice is hereby given that a Public Hearing on these matters will be held by the City Council on Monday, May 13, 2019, at 7:00 p.m. or as soon thereafter as feasible in the City Council Chambers, located at 390 Towne Centre Dr., Lathrop, California.

Section 8 Compliance with Article XIII(C) and XIII(D) of the California Constitution: The City Council hereby finds that the proposed assessments are in compliance with the requirements for Article XIII(C) and XIII(D) of the California Constitution in that the amount of the assessment is based upon a prior ballot procedure in which the majority of the affected property owners consented to the imposition of the assessment, its amount and a modifier. The amount of the assessment proposed does not exceed the authorized amount.

The foregoing resolution was passed and adopted this 8th day of April 2019, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Sonny Dhaliwal, Mayor

ATTEST:

APPROVED AS TO FORM:

Teresa Vargas, City Clerk



Salvador Navarrete, City Attorney

CITY OF LATHROP

Stonebridge Landscaping District

Annual Engineer's Report

Fiscal Year 2019/20

OFFICE LOCATIONS:

Temecula – Corporate Headquarters
32605 Temecula Parkway, Suite 100
Temecula, CA 92592

San Francisco – Regional Office
870 Market Street, Suite 1223
San Francisco, CA 94102

California Satellite Offices
Atascadero, Davis
Huntington Beach,
Joshua Tree, Riverside
Sacramento, San Jose

www.nbsgov.com

Prepared by:



**CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT**

**390 Towne Centre Drive
Lathrop, California 95330
Phone - (209) 941-7320
Fax - (209) 941-7339**

CITY COUNCIL

Sonny Dhaliwal, Mayor

Martha Salcedo, Vice Mayor

Paul Akinjo, Councilmember

Diane Lazard, Councilmember

Jennifer Torres-O'Callaghan, Councilmember

CITY STAFF

Stephen Salvatore, City Manager

Salvador Navarrete, City Attorney

Cari James, Finance Director

Glenn Gebhardt, City Engineer

NBS

Tim Seufert, Client Services Director

Kristin Harvey, Senior Consultant

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Section 1. ENGINEER’S LETTER

WHEREAS, the City Council of the City of Lathrop (the “City”), State of California, directed NBS Government Finance Group, DBA NBS (“NBS”) to prepare and file a report presenting plans and specifications describing the general nature, location, and extent of the improvements to be maintained, and an estimate of the costs of the maintenance, operations, and servicing of the improvements for the City of Lathrop Stonebridge Landscaping District (the “District”) for Fiscal Year 2019/20. The report includes a diagram for the District showing the area and properties proposed to be assessed, an assessment of the estimated costs of the maintenance, operations and servicing of the improvements, and the net amount to be assessed upon all assessable parcels within the District in proportion to the special benefit received;

WHEREAS, the proposed assessment rate of \$265.64 per single family lot, is not greater than 105% of the prior year maximum assessment, as approved by the land owners. The District is in compliance with the assessment balloting procedures set forth in Section 4 of Article XIII D of the California Constitution and the District was formed by consent of 100% of the land owners.

NOW THEREFORE, only special benefits are assessed and any general benefits have been identified. The following assessment is made to fund the portion of the estimated costs of maintenance, operation, and servicing of the improvements to be paid by the assessable real property within the District in proportion to the special benefit received:

SUMMARY OF ASSESSMENT– SINGLE FAMILY LOTS

Description	Amount
Balance to Levy	\$239,872.92
Total Single Family Lots	903
Calculated Assessment Per Single Family Lot	\$265.64
Maximum Assessment Per Single Family Lot	\$417.89
Total Assessment – Single Family Lots	\$239,872.92

I, the undersigned, respectfully submit the enclosed Engineer’s Report and, to the best of my knowledge, information, and belief, the Engineer’s Report, Assessments, and the District Diagram herein have been prepared and computed in accordance with the order and historical practices of the City Council of the City.

NBS Government Finance Group, DBA NBS

Section 2. OVERVIEW

Introduction

The City previously formed several maintenance assessment districts for the purpose of providing maintenance services to benefit certain parcels in the City. Over several years, these districts have levied and collected special assessments. The District was formed in 1998 pursuant to the Landscaping and Lighting Act of 1972, Part 2 of Division 15 of the California Streets and Highways Code (the “Act”). All parcels within the District which have special benefit conferred upon them as a result of the maintenance and operation of improvements have been identified and the proportionate special benefit derived by each identified parcel has been determined in relation to the entire cost of the maintenance and operation of the improvements. Only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated benefit received.

This Annual Engineer’s Report (the “Report”) describes the District and the charge per single family lot for Fiscal Year 2019/20 based on the historical and estimated cost to maintain the improvements and provide the services that benefit parcels within the District.

The word “parcel,” for the purposes of this Report, refers to an individual property assigned its own Assessor’s Parcel Number by the San Joaquin County (the “County”) Assessor’s Office. The County Auditor-Controller uses Assessor’s Parcel Numbers and specific fund numbers to identify, on the tax roll, properties assessed for special district benefit assessments.

Following consideration of public comments at a noticed public hearing and following review of the Report, the City Council may confirm the submittal of the Report and may order the levy and collection of assessments for Fiscal Year 2019/20. If approved, the assessment information will be submitted to the County Auditor-Controller and included on the property tax roll for each benefiting parcel for Fiscal Year 2019/20.

Effect of Proposition 218

On November 5, 1996, California voters approved Proposition 218 by a vote of 56.5% to 43.5%. The provisions of the Proposition, now California Constitutional Articles XIII C and XIII D, added substantive and procedural requirements for assessments.

As approved by the land owners, the maximum assessment rate increases by 5% each year. The maximum assessment rate for Fiscal Year 2019/20 is \$417.89 per single family lot. The proposed assessment rate for Fiscal Year 2019/20 is \$265.64, which is below the maximum assessment rate.

The District is in compliance with the assessment balloting procedures set forth in Section 4 of Article XIII D and the District was formed by consent of 100% of the land owners.

The following table shows the levy assessment rate and the maximum assessment rate for the most recent years.

Fiscal Year	Levy Assessment Rate	Maximum Assessment Rate
2019/20	\$265.64	\$417.89
2018/19	225.06	397.99
2017/18	225.06	379.04

Plans and Specifications for the Improvements

The District consists of a fully developed residential area generally located east of I-5, west of the Union Pacific Railroad, north of Warren Avenue, and south of Roth Road.

Improvements within the District include the design, construction, or installation, including the maintenance or servicing, or both, of landscaping, including trees, shrubs, grass or other ornamental vegetation, statuary fountains and other ornamental structures, and facilities; providing for the life, growth, health and beauty of landscaping, including cultivation, irrigation, trimming, spraying, fertilizing, and treating for disease or injury; the removal of trimmings, rubbish, debris, and other solid waste; and the operation of any fountains or the maintenance of any other improvements.

The improvements specially benefit the parcels assessed since:

- 1) The work is adjacent to the neighborhoods within which said parcels are located, and the improvements:
 - a) help to identify, distinguish, and enhance these neighborhoods, including the entrances thereto; and
 - b) help to improve the quality of life in these neighborhoods by reducing the potential for graffiti, eliminating dust and litter, providing sound attenuation, eliminating the potential for blight, and providing added security and safety through an added City presence; and
- 2) In the absence of the District, the work and improvements would not otherwise be accomplished by the City.

Section 3. ESTIMATE OF COSTS

Description of Budget Items

Personnel Services - Includes employee salaries, salary related costs, and employee benefits including retirement, medical benefits, and workers compensation costs, etc.

Maintenance & Operations - Includes the following:

Advertising/Legal Notices - Includes the cost of publishing the required legal notices necessary to complete the required procedures for levying the assessments.

Contract Services - Includes professional services necessary for District maintenance including trees and landscaping, park maintenance, equipment rental, computer technical support, and the preparation of the Report.

Gas, Diesel, Oil & Lubricants - Includes fuel, oil and lubricants for vehicles, and miscellaneous small equipment.

Maintenance & Repair - Includes contracted maintenance and repair services such as annual fire extinguisher service and emergency repairs.

Miscellaneous Supplies - Includes custodial supplies, building maintenance materials, and supplies, parts, tools, reference materials, and additional administrative costs.

Printing & Typesetting - Includes the cost of preparing the required legal notices necessary to complete the required procedures for levying the assessments.

Training, Membership, Travel & Dues – Includes continuing training for maintenance staff.

Uniforms/Protective Clothing - Includes employee uniforms including safety boots, jackets, gloves, etc.

Utilities - Gas & Electric - Includes electrical power for sprinklers, statuary fountains etc.

Water - Includes water for irrigation.

Fixed Charges & Special Fees - Includes the charges per parcel to collect the assessments on the County Secured Property Tax Roll.

Indirect Costs - Includes overhead costs of the City related to maintenance, operation, and administration of the District.

District Budget

The budget for Fiscal Year 2019/20 is as follows.

Description	2019/20 Budget
Personnel Services	\$19,150.00
Maintenance & Operations Total	232,100.00
Fixed Charge Total	4,827.00
Indirect Costs	<u>31,797.00</u>
Total District Costs	\$287,874.00
General Benefit	(4,457.00)
Contribution to (from) Operational Reserves	(42,544.08)
Contribution to (from) Capital Reserves	0.00
Other Revenue Sources	<u>(1,000.00)</u>
Total Balance to Levy	\$239,872.92

Balance to Levy

Total District Costs - Includes personnel services, maintenance and operations, capital costs, and indirect costs determined above.

General Benefit - Includes any enhancement of street frontages that do not lie entirely within the District, and are estimated to cost \$4,457.00 (for Fiscal Year 2019/20). The cost is to be paid from funds other than assessments.

Contribution to (from) Operational Reserves - The Operational Reserves item provides funds to operate the District from the time period of July 1 (beginning of the fiscal year) through December when the County provides the City with the first installment of assessments collected from the property tax bills. This eliminates the need for the City to transfer funds from non-District accounts to pay for District charges during the first half of the fiscal year. Negative amounts shown here are transfers that are used to reduce the Balance to Levy. Using reserve amounts in this way allows the levy per lot to remain at prior period rates, although District costs may have increased.

Contribution to (from) Capital Reserves - The Capital Reserve Account item provides funds to maintain reserves for extraordinary maintenance items and unexpected capital expenditures that may occur as a result of natural occurrences or other unforeseen circumstances.

Other Revenue Sources - This is the amount of additional funds designated for use by the District that are not from District assessments. These funds are added to the District account to reduce assessments and may be from either non-District sources including City General Fund contributions or District sources including interest earnings.

Balance to Levy - This is the total amount to be levied and collected through assessments for the current fiscal year. The Balance to Levy represents the sum of the total direct and administration costs, reserves, contributions, and other revenue sources.

The following table shows the total costs, additional revenues, and the balance to the Fiscal Year 2019/20 levy.

Description	Amount
Total District Costs	\$287,874.00
Less General Benefit	(4,457.00)
Contribution to (from) Operational Reserves	(42,544.08)
Contribution to (from) Capital Reserves	0.00
Other Revenue Sources	<u>(1,000.00)</u>
Balance to Levy	\$239,872.92

Operational & Maintenance Reserve Information

The following table shows the estimated balance of the Operational and Maintenance Reserves.

Description	Amount
Estimated Beginning Balance - June 30, 2019	\$93,404.58
Contribution to (from) Operational and Maintenance Reserves	<u>(42,544.08)</u>
Estimated Ending Balance - June 30, 2020	\$50,860.50

The reserves are intended to be used and/or accumulated for repair and/or capital replacement, as needed for improvements within the District.

Section 4. METHOD OF APPORTIONMENT

Method of Apportionment

Pursuant to the Act, the costs of the District are apportioned by a formula or method which fairly distributes the net amount to be assessed, among all assessable parcels in proportion to the estimated special benefit to be received by each such parcel from the maintenance, servicing, and operation of the improvements. The proportional special benefit derived by each parcel is determined in relationship to the entirety of the maintenance and operation expenses of the improvements. No assessment has been apportioned on any parcel that exceeds the reasonable cost of the proportional benefit conferred on that parcel. The assessment has been levied in accordance with the assessment methodology adopted and approved by the City Council at the time of District formation.

Only special benefits are assessed and any general benefits have been separated from the special benefits. The general benefits are derived from any enhancement of street frontages which do not lie entirely within the District, and are estimated to cost \$4,457.00 (for Fiscal Year 2019/20). The cost is to be paid from funds other than those raised by the assessments.

The basis of benefit for the District was determined as follows:

- The estimated annual maintenance cost will be allocated equally to each subdivided single family lot existing at the time of levy of the assessment, not to exceed the maximum assessment amount described below.
- The maximum assessment for Fiscal Year 1999/00 for each subdivided single family lot was \$157.50. Each year, the maximum assessment rate has been calculated by multiplying the previous year's maximum assessment rate by 1.05.
- In the event the amount obtained by assessing the maximum assessment to each subdivided single family lot is less than the total estimated maintenance cost, the difference will be assessed to the undivided parcels within the District, proportional to parcel area. There are currently no undivided parcels in the district.

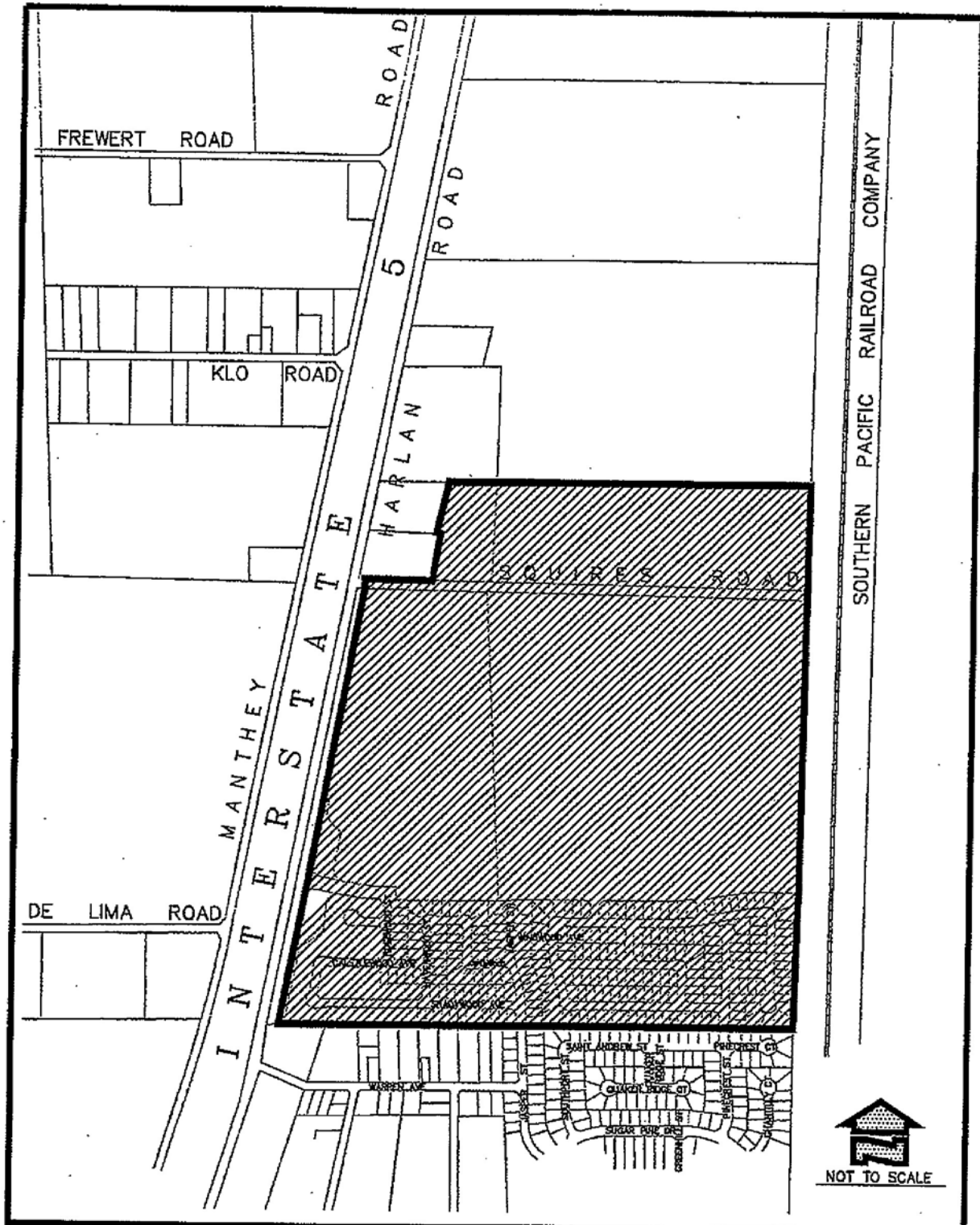
Assessment - Subdivided Single Family Lots

The following table shows the assessment for subdivided single family lots for the Fiscal Year 2019/20 levy.

Description	Amount
Balance to Levy	\$239,872.92
Total Single Family Lots	903
Calculated Assessment Per Single Family Lot	\$265.64
Maximum Assessment Per Single Family Lot	\$417.89
Total Assessment - Single Family Lots	\$239,872.92

Section 5. DISTRICT DIAGRAM

Reference is made to the District Diagram on file with the City Clerk. The following page provides the boundaries of the District. The lines and dimensions shown on maps of the County Assessor for the current year are incorporated by reference and made part of this Report.



City of Lathrop

Stonebridge Landscaping District



Date: June 2001

Section 6. PARCEL LISTING

The parcel listing of assessments is provided on the following pages. The description of each lot or parcel is a part of the records of the County Assessor and is incorporated by reference and made part of this Report.

**CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2019/20
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-580-010-000	SFR	\$417.89	\$265.64	\$265.64
196-580-020-000	SFR	417.89	265.64	265.64
196-580-030-000	SFR	417.89	265.64	265.64
196-580-040-000	SFR	417.89	265.64	265.64
196-580-050-000	SFR	417.89	265.64	265.64
196-580-060-000	SFR	417.89	265.64	265.64
196-580-070-000	SFR	417.89	265.64	265.64
196-580-080-000	SFR	417.89	265.64	265.64
196-580-090-000	SFR	417.89	265.64	265.64
196-580-100-000	SFR	417.89	265.64	265.64
196-580-110-000	SFR	417.89	265.64	265.64
196-580-120-000	SFR	417.89	265.64	265.64
196-580-130-000	SFR	417.89	265.64	265.64
196-580-140-000	SFR	417.89	265.64	265.64
196-580-150-000	SFR	417.89	265.64	265.64
196-580-160-000	SFR	417.89	265.64	265.64
196-580-170-000	SFR	417.89	265.64	265.64
196-580-180-000	SFR	417.89	265.64	265.64
196-580-190-000	SFR	417.89	265.64	265.64
196-580-200-000	SFR	417.89	265.64	265.64
196-580-210-000	SFR	417.89	265.64	265.64
196-580-220-000	SFR	417.89	265.64	265.64
196-580-230-000	SFR	417.89	265.64	265.64
196-580-240-000	SFR	417.89	265.64	265.64
196-580-250-000	SFR	417.89	265.64	265.64
196-580-260-000	SFR	417.89	265.64	265.64
196-580-270-000	SFR	417.89	265.64	265.64
196-580-280-000	SFR	417.89	265.64	265.64
196-580-290-000	SFR	417.89	265.64	265.64
196-580-300-000	SFR	417.89	265.64	265.64
196-580-310-000	SFR	417.89	265.64	265.64
196-580-320-000	SFR	417.89	265.64	265.64
196-580-330-000	SFR	417.89	265.64	265.64
196-580-340-000	SFR	417.89	265.64	265.64
196-580-350-000	SFR	417.89	265.64	265.64
196-580-360-000	SFR	417.89	265.64	265.64
196-580-370-000	SFR	417.89	265.64	265.64
196-580-380-000	SFR	417.89	265.64	265.64

CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2019/20
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-580-390-000	SFR	417.89	265.64	265.64
196-580-400-000	SFR	417.89	265.64	265.64
196-580-410-000	SFR	417.89	265.64	265.64
196-580-420-000	SFR	417.89	265.64	265.64
196-580-430-000	SFR	417.89	265.64	265.64
196-580-440-000	SFR	417.89	265.64	265.64
196-580-450-000	SFR	417.89	265.64	265.64
196-580-460-000	SFR	417.89	265.64	265.64
196-580-470-000	SFR	417.89	265.64	265.64
196-580-480-000	SFR	417.89	265.64	265.64
196-580-490-000	SFR	417.89	265.64	265.64
196-580-500-000	SFR	417.89	265.64	265.64
196-580-510-000	SFR	417.89	265.64	265.64
196-580-520-000	SFR	417.89	265.64	265.64
196-580-530-000	SFR	417.89	265.64	265.64
196-580-540-000	SFR	417.89	265.64	265.64
196-580-550-000	SFR	417.89	265.64	265.64
196-580-560-000	SFR	417.89	265.64	265.64
196-580-570-000	SFR	417.89	265.64	265.64
196-580-580-000	SFR	417.89	265.64	265.64
196-580-590-000	SFR	417.89	265.64	265.64
196-580-600-000	SFR	417.89	265.64	265.64
196-580-610-000	SFR	417.89	265.64	265.64
196-580-620-000	SFR	417.89	265.64	265.64
196-580-630-000	SFR	417.89	265.64	265.64
196-580-640-000	SFR	417.89	265.64	265.64
196-580-650-000	SFR	417.89	265.64	265.64
196-580-660-000	SFR	417.89	265.64	265.64
196-580-670-000	SFR	417.89	265.64	265.64
196-580-680-000	SFR	417.89	265.64	265.64
196-580-690-000	SFR	417.89	265.64	265.64
196-580-700-000	SFR	417.89	265.64	265.64
196-580-710-000	SFR	417.89	265.64	265.64
196-580-720-000	SFR	417.89	265.64	265.64
196-580-730-000	SFR	417.89	265.64	265.64
196-580-740-000	SFR	417.89	265.64	265.64
196-580-750-000	SFR	417.89	265.64	265.64
196-580-760-000	SFR	417.89	265.64	265.64

CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2019/20
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-580-770-000	SFR	417.89	265.64	265.64
196-580-780-000	SFR	417.89	265.64	265.64
196-580-790-000	SFR	417.89	265.64	265.64
196-580-800-000	SFR	417.89	265.64	265.64
196-580-810-000	SFR	417.89	265.64	265.64
196-580-820-000	SFR	417.89	265.64	265.64
196-580-830-000	SFR	417.89	265.64	265.64
196-580-840-000	SFR	417.89	265.64	265.64
196-580-850-000	SFR	417.89	265.64	265.64
196-580-860-000	SFR	417.89	265.64	265.64
196-580-870-000	SFR	417.89	265.64	265.64
196-580-880-000	SFR	417.89	265.64	265.64
196-600-010-000	SFR	417.89	265.64	265.64
196-600-020-000	SFR	417.89	265.64	265.64
196-600-030-000	SFR	417.89	265.64	265.64
196-600-040-000	SFR	417.89	265.64	265.64
196-600-050-000	SFR	417.89	265.64	265.64
196-600-060-000	SFR	417.89	265.64	265.64
196-600-070-000	SFR	417.89	265.64	265.64
196-600-080-000	SFR	417.89	265.64	265.64
196-600-090-000	SFR	417.89	265.64	265.64
196-600-100-000	SFR	417.89	265.64	265.64
196-600-110-000	SFR	417.89	265.64	265.64
196-600-120-000	SFR	417.89	265.64	265.64
196-600-130-000	SFR	417.89	265.64	265.64
196-600-140-000	SFR	417.89	265.64	265.64
196-600-150-000	SFR	417.89	265.64	265.64
196-600-160-000	SFR	417.89	265.64	265.64
196-600-170-000	SFR	417.89	265.64	265.64
196-600-180-000	SFR	417.89	265.64	265.64
196-600-190-000	SFR	417.89	265.64	265.64
196-600-200-000	SFR	417.89	265.64	265.64
196-600-210-000	SFR	417.89	265.64	265.64
196-600-220-000	SFR	417.89	265.64	265.64
196-600-230-000	SFR	417.89	265.64	265.64
196-600-240-000	SFR	417.89	265.64	265.64
196-600-250-000	SFR	417.89	265.64	265.64
196-600-260-000	SFR	417.89	265.64	265.64

CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2019/20
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-600-270-000	SFR	417.89	265.64	265.64
196-600-280-000	SFR	417.89	265.64	265.64
196-600-290-000	SFR	417.89	265.64	265.64
196-600-300-000	SFR	417.89	265.64	265.64
196-600-310-000	SFR	417.89	265.64	265.64
196-600-320-000	SFR	417.89	265.64	265.64
196-600-330-000	SFR	417.89	265.64	265.64
196-600-340-000	SFR	417.89	265.64	265.64
196-600-350-000	SFR	417.89	265.64	265.64
196-600-360-000	SFR	417.89	265.64	265.64
196-600-370-000	SFR	417.89	265.64	265.64
196-600-380-000	SFR	417.89	265.64	265.64
196-600-390-000	SFR	417.89	265.64	265.64
196-600-400-000	SFR	417.89	265.64	265.64
196-600-410-000	SFR	417.89	265.64	265.64
196-600-420-000	SFR	417.89	265.64	265.64
196-600-430-000	SFR	417.89	265.64	265.64
196-600-440-000	SFR	417.89	265.64	265.64
196-600-450-000	SFR	417.89	265.64	265.64
196-600-460-000	SFR	417.89	265.64	265.64
196-600-470-000	SFR	417.89	265.64	265.64
196-600-480-000	SFR	417.89	265.64	265.64
196-600-490-000	SFR	417.89	265.64	265.64
196-600-500-000	SFR	417.89	265.64	265.64
196-600-510-000	SFR	417.89	265.64	265.64
196-600-520-000	SFR	417.89	265.64	265.64
196-600-530-000	SFR	417.89	265.64	265.64
196-600-540-000	SFR	417.89	265.64	265.64
196-600-550-000	SFR	417.89	265.64	265.64
196-600-560-000	SFR	417.89	265.64	265.64
196-600-570-000	SFR	417.89	265.64	265.64
196-600-580-000	SFR	417.89	265.64	265.64
196-600-590-000	SFR	417.89	265.64	265.64
196-600-600-000	SFR	417.89	265.64	265.64
196-600-610-000	SFR	417.89	265.64	265.64
196-600-620-000	SFR	417.89	265.64	265.64
196-600-630-000	SFR	417.89	265.64	265.64
196-600-640-000	SFR	417.89	265.64	265.64

CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2019/20
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-600-650-000	SFR	417.89	265.64	265.64
196-600-660-000	SFR	417.89	265.64	265.64
196-600-670-000	SFR	417.89	265.64	265.64
196-600-680-000	SFR	417.89	265.64	265.64
196-600-690-000	SFR	417.89	265.64	265.64
196-600-700-000	SFR	417.89	265.64	265.64
196-600-710-000	SFR	417.89	265.64	265.64
196-600-720-000	SFR	417.89	265.64	265.64
196-600-730-000	SFR	417.89	265.64	265.64
196-600-740-000	SFR	417.89	265.64	265.64
196-600-750-000	SFR	417.89	265.64	265.64
196-600-760-000	SFR	417.89	265.64	265.64
196-600-770-000	SFR	417.89	265.64	265.64
196-600-780-000	SFR	417.89	265.64	265.64
196-600-790-000	SFR	417.89	265.64	265.64
196-610-010-000	SFR	417.89	265.64	265.64
196-610-020-000	SFR	417.89	265.64	265.64
196-610-030-000	SFR	417.89	265.64	265.64
196-610-040-000	SFR	417.89	265.64	265.64
196-610-050-000	SFR	417.89	265.64	265.64
196-610-060-000	SFR	417.89	265.64	265.64
196-610-070-000	SFR	417.89	265.64	265.64
196-610-080-000	SFR	417.89	265.64	265.64
196-610-090-000	SFR	417.89	265.64	265.64
196-610-100-000	SFR	417.89	265.64	265.64
196-610-110-000	SFR	417.89	265.64	265.64
196-610-120-000	SFR	417.89	265.64	265.64
196-610-130-000	SFR	417.89	265.64	265.64
196-610-140-000	SFR	417.89	265.64	265.64
196-610-150-000	SFR	417.89	265.64	265.64
196-610-160-000	SFR	417.89	265.64	265.64
196-610-170-000	SFR	417.89	265.64	265.64
196-610-180-000	SFR	417.89	265.64	265.64
196-610-190-000	SFR	417.89	265.64	265.64
196-610-200-000	SFR	417.89	265.64	265.64
196-610-210-000	SFR	417.89	265.64	265.64
196-610-220-000	SFR	417.89	265.64	265.64
196-610-230-000	SFR	417.89	265.64	265.64

CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2019/20
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-610-240-000	SFR	417.89	265.64	265.64
196-610-250-000	SFR	417.89	265.64	265.64
196-610-260-000	SFR	417.89	265.64	265.64
196-610-270-000	SFR	417.89	265.64	265.64
196-610-280-000	SFR	417.89	265.64	265.64
196-610-290-000	SFR	417.89	265.64	265.64
196-610-300-000	SFR	417.89	265.64	265.64
196-610-310-000	SFR	417.89	265.64	265.64
196-610-320-000	SFR	417.89	265.64	265.64
196-610-330-000	SFR	417.89	265.64	265.64
196-610-340-000	SFR	417.89	265.64	265.64
196-610-350-000	SFR	417.89	265.64	265.64
196-610-360-000	SFR	417.89	265.64	265.64
196-610-370-000	SFR	417.89	265.64	265.64
196-610-380-000	SFR	417.89	265.64	265.64
196-610-390-000	SFR	417.89	265.64	265.64
196-610-400-000	SFR	417.89	265.64	265.64
196-610-410-000	SFR	417.89	265.64	265.64
196-610-420-000	SFR	417.89	265.64	265.64
196-610-430-000	SFR	417.89	265.64	265.64
196-610-440-000	SFR	417.89	265.64	265.64
196-610-450-000	SFR	417.89	265.64	265.64
196-610-460-000	SFR	417.89	265.64	265.64
196-610-470-000	SFR	417.89	265.64	265.64
196-610-480-000	SFR	417.89	265.64	265.64
196-610-490-000	SFR	417.89	265.64	265.64
196-610-500-000	SFR	417.89	265.64	265.64
196-610-510-000	SFR	417.89	265.64	265.64
196-610-520-000	SFR	417.89	265.64	265.64
196-610-530-000	SFR	417.89	265.64	265.64
196-610-540-000	SFR	417.89	265.64	265.64
196-610-550-000	SFR	417.89	265.64	265.64
196-610-560-000	SFR	417.89	265.64	265.64
196-610-570-000	SFR	417.89	265.64	265.64
196-610-580-000	SFR	417.89	265.64	265.64
196-610-590-000	SFR	417.89	265.64	265.64
196-610-600-000	SFR	417.89	265.64	265.64
196-610-610-000	SFR	417.89	265.64	265.64

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APN	Land Use	Max Rate	Levy Rate	Levy
196-610-620-000	SFR	417.89	265.64	265.64
196-610-630-000	SFR	417.89	265.64	265.64
196-610-640-000	SFR	417.89	265.64	265.64
196-610-650-000	SFR	417.89	265.64	265.64
196-610-660-000	SFR	417.89	265.64	265.64
196-610-670-000	SFR	417.89	265.64	265.64
196-610-680-000	SFR	417.89	265.64	265.64
196-610-690-000	SFR	417.89	265.64	265.64
196-610-700-000	SFR	417.89	265.64	265.64
196-610-710-000	SFR	417.89	265.64	265.64
196-610-750-000	SFR	417.89	265.64	265.64
196-610-760-000	SFR	417.89	265.64	265.64
196-610-770-000	SFR	417.89	265.64	265.64
196-610-780-000	SFR	417.89	265.64	265.64
196-610-790-000	SFR	417.89	265.64	265.64
196-610-800-000	SFR	417.89	265.64	265.64
196-610-810-000	SFR	417.89	265.64	265.64
196-610-820-000	SFR	417.89	265.64	265.64
196-610-830-000	SFR	417.89	265.64	265.64
196-610-840-000	SFR	417.89	265.64	265.64
196-610-850-000	SFR	417.89	265.64	265.64
196-610-870-000	SFR	417.89	265.64	265.64
196-620-010-000	SFR	417.89	265.64	265.64
196-620-020-000	SFR	417.89	265.64	265.64
196-620-030-000	SFR	417.89	265.64	265.64
196-620-040-000	SFR	417.89	265.64	265.64
196-620-050-000	SFR	417.89	265.64	265.64
196-620-060-000	SFR	417.89	265.64	265.64
196-620-070-000	SFR	417.89	265.64	265.64
196-620-080-000	SFR	417.89	265.64	265.64
196-620-090-000	SFR	417.89	265.64	265.64
196-620-100-000	SFR	417.89	265.64	265.64
196-620-110-000	SFR	417.89	265.64	265.64
196-620-120-000	SFR	417.89	265.64	265.64
196-620-130-000	SFR	417.89	265.64	265.64
196-620-140-000	SFR	417.89	265.64	265.64
196-620-150-000	SFR	417.89	265.64	265.64
196-620-160-000	SFR	417.89	265.64	265.64

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APN	Land Use	Max Rate	Levy Rate	Levy
196-620-170-000	SFR	417.89	265.64	265.64
196-620-180-000	SFR	417.89	265.64	265.64
196-620-190-000	SFR	417.89	265.64	265.64
196-620-200-000	SFR	417.89	265.64	265.64
196-620-210-000	SFR	417.89	265.64	265.64
196-620-220-000	SFR	417.89	265.64	265.64
196-620-230-000	SFR	417.89	265.64	265.64
196-620-240-000	SFR	417.89	265.64	265.64
196-620-250-000	SFR	417.89	265.64	265.64
196-620-260-000	SFR	417.89	265.64	265.64
196-620-270-000	SFR	417.89	265.64	265.64
196-620-280-000	SFR	417.89	265.64	265.64
196-620-290-000	SFR	417.89	265.64	265.64
196-620-300-000	SFR	417.89	265.64	265.64
196-620-310-000	SFR	417.89	265.64	265.64
196-620-320-000	SFR	417.89	265.64	265.64
196-620-330-000	SFR	417.89	265.64	265.64
196-620-340-000	SFR	417.89	265.64	265.64
196-620-350-000	SFR	417.89	265.64	265.64
196-620-360-000	SFR	417.89	265.64	265.64
196-620-370-000	SFR	417.89	265.64	265.64
196-620-380-000	SFR	417.89	265.64	265.64
196-620-390-000	SFR	417.89	265.64	265.64
196-620-400-000	SFR	417.89	265.64	265.64
196-620-410-000	SFR	417.89	265.64	265.64
196-620-420-000	SFR	417.89	265.64	265.64
196-620-430-000	SFR	417.89	265.64	265.64
196-620-440-000	SFR	417.89	265.64	265.64
196-620-450-000	SFR	417.89	265.64	265.64
196-620-460-000	SFR	417.89	265.64	265.64
196-620-470-000	SFR	417.89	265.64	265.64
196-620-480-000	SFR	417.89	265.64	265.64
196-620-490-000	SFR	417.89	265.64	265.64
196-620-500-000	SFR	417.89	265.64	265.64
196-620-510-000	SFR	417.89	265.64	265.64
196-620-520-000	SFR	417.89	265.64	265.64
196-620-530-000	SFR	417.89	265.64	265.64
196-620-540-000	SFR	417.89	265.64	265.64

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APN	Land Use	Max Rate	Levy Rate	Levy
196-620-550-000	SFR	417.89	265.64	265.64
196-620-560-000	SFR	417.89	265.64	265.64
196-620-570-000	GOVT*	417.89	265.64	265.64
196-630-010-000	SFR	417.89	265.64	265.64
196-630-020-000	SFR	417.89	265.64	265.64
196-630-030-000	SFR	417.89	265.64	265.64
196-630-040-000	SFR	417.89	265.64	265.64
196-630-050-000	SFR	417.89	265.64	265.64
196-630-060-000	SFR	417.89	265.64	265.64
196-630-070-000	SFR	417.89	265.64	265.64
196-630-080-000	SFR	417.89	265.64	265.64
196-630-090-000	SFR	417.89	265.64	265.64
196-630-100-000	SFR	417.89	265.64	265.64
196-630-110-000	SFR	417.89	265.64	265.64
196-630-120-000	SFR	417.89	265.64	265.64
196-630-130-000	SFR	417.89	265.64	265.64
196-630-140-000	SFR	417.89	265.64	265.64
196-630-150-000	SFR	417.89	265.64	265.64
196-630-160-000	SFR	417.89	265.64	265.64
196-630-170-000	SFR	417.89	265.64	265.64
196-630-180-000	SFR	417.89	265.64	265.64
196-630-190-000	SFR	417.89	265.64	265.64
196-630-200-000	SFR	417.89	265.64	265.64
196-630-210-000	SFR	417.89	265.64	265.64
196-630-220-000	SFR	417.89	265.64	265.64
196-630-230-000	SFR	417.89	265.64	265.64
196-630-240-000	SFR	417.89	265.64	265.64
196-630-250-000	SFR	417.89	265.64	265.64
196-630-260-000	SFR	417.89	265.64	265.64
196-630-270-000	SFR	417.89	265.64	265.64
196-630-280-000	SFR	417.89	265.64	265.64
196-630-290-000	SFR	417.89	265.64	265.64
196-630-300-000	SFR	417.89	265.64	265.64
196-630-310-000	SFR	417.89	265.64	265.64
196-630-320-000	SFR	417.89	265.64	265.64
196-630-330-000	SFR	417.89	265.64	265.64
196-630-340-000	SFR	417.89	265.64	265.64
196-630-350-000	SFR	417.89	265.64	265.64

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APN	Land Use	Max Rate	Levy Rate	Levy
196-630-360-000	SFR	417.89	265.64	265.64
196-630-370-000	SFR	417.89	265.64	265.64
196-630-380-000	SFR	417.89	265.64	265.64
196-630-390-000	SFR	417.89	265.64	265.64
196-630-400-000	SFR	417.89	265.64	265.64
196-630-410-000	SFR	417.89	265.64	265.64
196-630-420-000	SFR	417.89	265.64	265.64
196-630-430-000	SFR	417.89	265.64	265.64
196-630-440-000	SFR	417.89	265.64	265.64
196-630-450-000	SFR	417.89	265.64	265.64
196-630-460-000	SFR	417.89	265.64	265.64
196-630-470-000	SFR	417.89	265.64	265.64
196-630-480-000	SFR	417.89	265.64	265.64
196-630-490-000	SFR	417.89	265.64	265.64
196-630-500-000	SFR	417.89	265.64	265.64
196-630-510-000	SFR	417.89	265.64	265.64
196-630-520-000	SFR	417.89	265.64	265.64
196-630-530-000	SFR	417.89	265.64	265.64
196-630-540-000	SFR	417.89	265.64	265.64
196-630-550-000	SFR	417.89	265.64	265.64
196-630-560-000	SFR	417.89	265.64	265.64
196-630-570-000	SFR	417.89	265.64	265.64
196-630-580-000	SFR	417.89	265.64	265.64
196-630-590-000	SFR	417.89	265.64	265.64
196-630-600-000	SFR	417.89	265.64	265.64
196-630-610-000	SFR	417.89	265.64	265.64
196-630-620-000	SFR	417.89	265.64	265.64
196-630-630-000	SFR	417.89	265.64	265.64
196-630-640-000	SFR	417.89	265.64	265.64
196-630-650-000	SFR	417.89	265.64	265.64
196-640-010-000	SFR	417.89	265.64	265.64
196-640-020-000	SFR	417.89	265.64	265.64
196-640-030-000	SFR	417.89	265.64	265.64
196-640-040-000	SFR	417.89	265.64	265.64
196-640-050-000	SFR	417.89	265.64	265.64
196-640-060-000	SFR	417.89	265.64	265.64
196-640-070-000	SFR	417.89	265.64	265.64
196-640-080-000	SFR	417.89	265.64	265.64

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APN	Land Use	Max Rate	Levy Rate	Levy
196-640-090-000	SFR	417.89	265.64	265.64
196-640-100-000	SFR	417.89	265.64	265.64
196-640-110-000	SFR	417.89	265.64	265.64
196-640-120-000	SFR	417.89	265.64	265.64
196-640-130-000	SFR	417.89	265.64	265.64
196-640-140-000	SFR	417.89	265.64	265.64
196-640-150-000	SFR	417.89	265.64	265.64
196-640-160-000	SFR	417.89	265.64	265.64
196-640-170-000	SFR	417.89	265.64	265.64
196-640-180-000	SFR	417.89	265.64	265.64
196-640-190-000	SFR	417.89	265.64	265.64
196-640-200-000	SFR	417.89	265.64	265.64
196-640-210-000	SFR	417.89	265.64	265.64
196-640-220-000	SFR	417.89	265.64	265.64
196-640-230-000	SFR	417.89	265.64	265.64
196-640-240-000	SFR	417.89	265.64	265.64
196-640-250-000	SFR	417.89	265.64	265.64
196-640-260-000	SFR	417.89	265.64	265.64
196-640-270-000	SFR	417.89	265.64	265.64
196-640-280-000	SFR	417.89	265.64	265.64
196-640-290-000	SFR	417.89	265.64	265.64
196-640-300-000	SFR	417.89	265.64	265.64
196-640-310-000	SFR	417.89	265.64	265.64
196-640-320-000	SFR	417.89	265.64	265.64
196-640-330-000	SFR	417.89	265.64	265.64
196-640-340-000	SFR	417.89	265.64	265.64
196-640-350-000	SFR	417.89	265.64	265.64
196-640-360-000	SFR	417.89	265.64	265.64
196-640-370-000	SFR	417.89	265.64	265.64
196-640-380-000	SFR	417.89	265.64	265.64
196-640-390-000	SFR	417.89	265.64	265.64
196-640-400-000	SFR	417.89	265.64	265.64
196-640-410-000	SFR	417.89	265.64	265.64
196-640-420-000	SFR	417.89	265.64	265.64
196-640-430-000	SFR	417.89	265.64	265.64
196-640-440-000	SFR	417.89	265.64	265.64
196-640-450-000	SFR	417.89	265.64	265.64
196-640-460-000	SFR	417.89	265.64	265.64

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APN	Land Use	Max Rate	Levy Rate	Levy
196-640-470-000	SFR	417.89	265.64	265.64
196-640-480-000	SFR	417.89	265.64	265.64
196-640-490-000	SFR	417.89	265.64	265.64
196-640-500-000	SFR	417.89	265.64	265.64
196-650-010-000	SFR	417.89	265.64	265.64
196-650-020-000	SFR	417.89	265.64	265.64
196-650-030-000	SFR	417.89	265.64	265.64
196-650-040-000	SFR	417.89	265.64	265.64
196-650-050-000	SFR	417.89	265.64	265.64
196-650-060-000	SFR	417.89	265.64	265.64
196-650-070-000	SFR	417.89	265.64	265.64
196-650-080-000	SFR	417.89	265.64	265.64
196-650-090-000	SFR	417.89	265.64	265.64
196-650-100-000	SFR	417.89	265.64	265.64
196-650-110-000	SFR	417.89	265.64	265.64
196-650-120-000	SFR	417.89	265.64	265.64
196-650-130-000	SFR	417.89	265.64	265.64
196-650-140-000	SFR	417.89	265.64	265.64
196-650-150-000	SFR	417.89	265.64	265.64
196-650-160-000	SFR	417.89	265.64	265.64
196-650-170-000	SFR	417.89	265.64	265.64
196-650-180-000	SFR	417.89	265.64	265.64
196-650-190-000	SFR	417.89	265.64	265.64
196-650-200-000	SFR	417.89	265.64	265.64
196-650-210-000	SFR	417.89	265.64	265.64
196-650-220-000	SFR	417.89	265.64	265.64
196-650-230-000	SFR	417.89	265.64	265.64
196-650-240-000	SFR	417.89	265.64	265.64
196-650-250-000	SFR	417.89	265.64	265.64
196-650-260-000	SFR	417.89	265.64	265.64
196-650-270-000	SFR	417.89	265.64	265.64
196-650-280-000	SFR	417.89	265.64	265.64
196-650-290-000	SFR	417.89	265.64	265.64
196-650-300-000	SFR	417.89	265.64	265.64
196-650-310-000	SFR	417.89	265.64	265.64
196-650-320-000	SFR	417.89	265.64	265.64
196-650-330-000	SFR	417.89	265.64	265.64
196-650-340-000	SFR	417.89	265.64	265.64

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196-650-350-000	SFR	417.89	265.64	265.64
196-650-360-000	SFR	417.89	265.64	265.64
196-650-370-000	SFR	417.89	265.64	265.64
196-650-380-000	SFR	417.89	265.64	265.64
196-650-390-000	SFR	417.89	265.64	265.64
196-650-400-000	SFR	417.89	265.64	265.64
196-650-410-000	SFR	417.89	265.64	265.64
196-650-420-000	SFR	417.89	265.64	265.64
196-650-430-000	SFR	417.89	265.64	265.64
196-650-440-000	SFR	417.89	265.64	265.64
196-650-450-000	SFR	417.89	265.64	265.64
196-650-460-000	SFR	417.89	265.64	265.64
196-650-470-000	SFR	417.89	265.64	265.64
196-650-480-000	SFR	417.89	265.64	265.64
196-650-490-000	SFR	417.89	265.64	265.64
196-650-500-000	SFR	417.89	265.64	265.64
196-650-510-000	SFR	417.89	265.64	265.64
196-650-520-000	SFR	417.89	265.64	265.64
196-650-530-000	SFR	417.89	265.64	265.64
196-650-540-000	SFR	417.89	265.64	265.64
196-650-550-000	SFR	417.89	265.64	265.64
196-650-560-000	SFR	417.89	265.64	265.64
196-650-570-000	SFR	417.89	265.64	265.64
196-650-580-000	SFR	417.89	265.64	265.64
196-650-590-000	SFR	417.89	265.64	265.64
196-650-600-000	SFR	417.89	265.64	265.64
196-650-610-000	SFR	417.89	265.64	265.64
196-650-620-000	SFR	417.89	265.64	265.64
196-650-630-000	SFR	417.89	265.64	265.64
196-650-640-000	SFR	417.89	265.64	265.64
196-650-650-000	SFR	417.89	265.64	265.64
196-650-660-000	SFR	417.89	265.64	265.64
196-660-010-000	SFR	417.89	265.64	265.64
196-660-020-000	SFR	417.89	265.64	265.64
196-660-030-000	SFR	417.89	265.64	265.64
196-660-040-000	SFR	417.89	265.64	265.64
196-660-050-000	SFR	417.89	265.64	265.64
196-660-060-000	SFR	417.89	265.64	265.64

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196-660-070-000	SFR	417.89	265.64	265.64
196-660-080-000	SFR	417.89	265.64	265.64
196-660-090-000	SFR	417.89	265.64	265.64
196-660-100-000	SFR	417.89	265.64	265.64
196-660-110-000	SFR	417.89	265.64	265.64
196-660-120-000	SFR	417.89	265.64	265.64
196-660-130-000	SFR	417.89	265.64	265.64
196-660-140-000	SFR	417.89	265.64	265.64
196-660-150-000	SFR	417.89	265.64	265.64
196-660-160-000	SFR	417.89	265.64	265.64
196-660-170-000	SFR	417.89	265.64	265.64
196-660-180-000	SFR	417.89	265.64	265.64
196-660-190-000	SFR	417.89	265.64	265.64
196-660-200-000	SFR	417.89	265.64	265.64
196-660-210-000	SFR	417.89	265.64	265.64
196-660-220-000	SFR	417.89	265.64	265.64
196-660-230-000	SFR	417.89	265.64	265.64
196-660-240-000	SFR	417.89	265.64	265.64
196-660-250-000	SFR	417.89	265.64	265.64
196-660-260-000	SFR	417.89	265.64	265.64
196-660-270-000	SFR	417.89	265.64	265.64
196-660-280-000	SFR	417.89	265.64	265.64
196-660-290-000	SFR	417.89	265.64	265.64
196-660-300-000	SFR	417.89	265.64	265.64
196-660-310-000	SFR	417.89	265.64	265.64
196-660-320-000	SFR	417.89	265.64	265.64
196-660-330-000	SFR	417.89	265.64	265.64
196-660-340-000	SFR	417.89	265.64	265.64
196-660-350-000	SFR	417.89	265.64	265.64
196-660-360-000	SFR	417.89	265.64	265.64
196-660-370-000	SFR	417.89	265.64	265.64
196-660-380-000	SFR	417.89	265.64	265.64
196-660-390-000	SFR	417.89	265.64	265.64
196-660-400-000	SFR	417.89	265.64	265.64
196-660-410-000	SFR	417.89	265.64	265.64
196-660-420-000	SFR	417.89	265.64	265.64
196-660-430-000	SFR	417.89	265.64	265.64
196-660-440-000	SFR	417.89	265.64	265.64

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APN	Land Use	Max Rate	Levy Rate	Levy
196-660-450-000	SFR	417.89	265.64	265.64
196-660-460-000	SFR	417.89	265.64	265.64
196-660-470-000	SFR	417.89	265.64	265.64
196-660-500-000	SFR	417.89	265.64	265.64
196-660-530-000	SFR	417.89	265.64	265.64
196-660-540-000	SFR	417.89	265.64	265.64
196-660-550-000	SFR	417.89	265.64	265.64
196-660-560-000	SFR	417.89	265.64	265.64
196-670-010-000	SFR	417.89	265.64	265.64
196-670-020-000	SFR	417.89	265.64	265.64
196-670-030-000	SFR	417.89	265.64	265.64
196-670-040-000	SFR	417.89	265.64	265.64
196-670-050-000	SFR	417.89	265.64	265.64
196-670-060-000	SFR	417.89	265.64	265.64
196-670-070-000	SFR	417.89	265.64	265.64
196-670-080-000	SFR	417.89	265.64	265.64
196-670-090-000	SFR	417.89	265.64	265.64
196-670-100-000	SFR	417.89	265.64	265.64
196-670-110-000	SFR	417.89	265.64	265.64
196-670-120-000	SFR	417.89	265.64	265.64
196-670-130-000	SFR	417.89	265.64	265.64
196-670-140-000	SFR	417.89	265.64	265.64
196-670-150-000	SFR	417.89	265.64	265.64
196-670-160-000	SFR	417.89	265.64	265.64
196-670-170-000	SFR	417.89	265.64	265.64
196-670-180-000	SFR	417.89	265.64	265.64
196-670-190-000	SFR	417.89	265.64	265.64
196-670-200-000	SFR	417.89	265.64	265.64
196-670-210-000	SFR	417.89	265.64	265.64
196-670-220-000	SFR	417.89	265.64	265.64
196-670-230-000	SFR	417.89	265.64	265.64
196-670-240-000	SFR	417.89	265.64	265.64
196-670-250-000	SFR	417.89	265.64	265.64
196-670-260-000	SFR	417.89	265.64	265.64
196-670-270-000	SFR	417.89	265.64	265.64
196-670-280-000	SFR	417.89	265.64	265.64
196-670-290-000	SFR	417.89	265.64	265.64
196-670-300-000	SFR	417.89	265.64	265.64

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APN	Land Use	Max Rate	Levy Rate	Levy
196-670-310-000	SFR	417.89	265.64	265.64
196-670-320-000	SFR	417.89	265.64	265.64
196-670-330-000	SFR	417.89	265.64	265.64
196-670-340-000	SFR	417.89	265.64	265.64
196-670-350-000	SFR	417.89	265.64	265.64
196-670-360-000	SFR	417.89	265.64	265.64
196-670-370-000	SFR	417.89	265.64	265.64
196-670-380-000	SFR	417.89	265.64	265.64
196-670-390-000	SFR	417.89	265.64	265.64
196-670-400-000	SFR	417.89	265.64	265.64
196-670-410-000	SFR	417.89	265.64	265.64
196-670-420-000	SFR	417.89	265.64	265.64
196-670-430-000	SFR	417.89	265.64	265.64
196-670-440-000	SFR	417.89	265.64	265.64
196-670-450-000	SFR	417.89	265.64	265.64
196-670-460-000	SFR	417.89	265.64	265.64
196-670-470-000	SFR	417.89	265.64	265.64
196-670-480-000	SFR	417.89	265.64	265.64
196-670-490-000	SFR	417.89	265.64	265.64
196-670-500-000	SFR	417.89	265.64	265.64
196-670-510-000	SFR	417.89	265.64	265.64
196-680-010-000	SFR	417.89	265.64	265.64
196-680-020-000	SFR	417.89	265.64	265.64
196-680-030-000	SFR	417.89	265.64	265.64
196-680-040-000	SFR	417.89	265.64	265.64
196-680-050-000	SFR	417.89	265.64	265.64
196-680-060-000	SFR	417.89	265.64	265.64
196-680-070-000	SFR	417.89	265.64	265.64
196-680-080-000	SFR	417.89	265.64	265.64
196-680-090-000	SFR	417.89	265.64	265.64
196-680-100-000	SFR	417.89	265.64	265.64
196-680-110-000	SFR	417.89	265.64	265.64
196-680-120-000	SFR	417.89	265.64	265.64
196-680-130-000	SFR	417.89	265.64	265.64
196-680-140-000	SFR	417.89	265.64	265.64
196-680-150-000	SFR	417.89	265.64	265.64
196-680-160-000	SFR	417.89	265.64	265.64
196-680-170-000	SFR	417.89	265.64	265.64

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APN	Land Use	Max Rate	Levy Rate	Levy
196-680-180-000	SFR	417.89	265.64	265.64
196-680-190-000	SFR	417.89	265.64	265.64
196-680-200-000	SFR	417.89	265.64	265.64
196-680-210-000	SFR	417.89	265.64	265.64
196-680-220-000	SFR	417.89	265.64	265.64
196-680-230-000	SFR	417.89	265.64	265.64
196-680-240-000	SFR	417.89	265.64	265.64
196-680-250-000	SFR	417.89	265.64	265.64
196-680-260-000	SFR	417.89	265.64	265.64
196-680-270-000	SFR	417.89	265.64	265.64
196-680-280-000	SFR	417.89	265.64	265.64
196-680-290-000	SFR	417.89	265.64	265.64
196-680-300-000	SFR	417.89	265.64	265.64
196-680-310-000	SFR	417.89	265.64	265.64
196-680-320-000	SFR	417.89	265.64	265.64
196-680-330-000	SFR	417.89	265.64	265.64
196-680-340-000	SFR	417.89	265.64	265.64
196-680-350-000	SFR	417.89	265.64	265.64
196-680-360-000	SFR	417.89	265.64	265.64
196-680-370-000	SFR	417.89	265.64	265.64
196-680-380-000	SFR	417.89	265.64	265.64
196-680-390-000	SFR	417.89	265.64	265.64
196-680-400-000	SFR	417.89	265.64	265.64
196-680-410-000	SFR	417.89	265.64	265.64
196-680-420-000	SFR	417.89	265.64	265.64
196-680-430-000	SFR	417.89	265.64	265.64
196-680-440-000	SFR	417.89	265.64	265.64
196-680-450-000	SFR	417.89	265.64	265.64
196-680-460-000	SFR	417.89	265.64	265.64
196-680-470-000	SFR	417.89	265.64	265.64
196-680-480-000	SFR	417.89	265.64	265.64
196-680-490-000	SFR	417.89	265.64	265.64
196-680-500-000	SFR	417.89	265.64	265.64
196-680-510-000	SFR	417.89	265.64	265.64
196-680-520-000	SFR	417.89	265.64	265.64
196-680-530-000	SFR	417.89	265.64	265.64
196-680-540-000	SFR	417.89	265.64	265.64
196-680-550-000	SFR	417.89	265.64	265.64

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APN	Land Use	Max Rate	Levy Rate	Levy
196-680-560-000	SFR	417.89	265.64	265.64
196-680-570-000	SFR	417.89	265.64	265.64
196-680-580-000	SFR	417.89	265.64	265.64
196-680-590-000	SFR	417.89	265.64	265.64
196-680-600-000	SFR	417.89	265.64	265.64
196-680-610-000	SFR	417.89	265.64	265.64
196-680-620-000	SFR	417.89	265.64	265.64
196-680-630-000	SFR	417.89	265.64	265.64
196-680-640-000	SFR	417.89	265.64	265.64
196-680-650-000	SFR	417.89	265.64	265.64
196-680-660-000	SFR	417.89	265.64	265.64
196-680-670-000	SFR	417.89	265.64	265.64
196-680-680-000	SFR	417.89	265.64	265.64
196-680-690-000	SFR	417.89	265.64	265.64
196-680-700-000	SFR	417.89	265.64	265.64
196-680-710-000	SFR	417.89	265.64	265.64
196-680-720-000	SFR	417.89	265.64	265.64
196-680-730-000	SFR	417.89	265.64	265.64
196-680-740-000	SFR	417.89	265.64	265.64
196-680-750-000	SFR	417.89	265.64	265.64
196-680-760-000	SFR	417.89	265.64	265.64
196-680-770-000	SFR	417.89	265.64	265.64
196-680-780-000	SFR	417.89	265.64	265.64
196-680-790-000	SFR	417.89	265.64	265.64
196-680-800-000	SFR	417.89	265.64	265.64
196-680-810-000	SFR	417.89	265.64	265.64
196-680-820-000	SFR	417.89	265.64	265.64
196-680-830-000	SFR	417.89	265.64	265.64
196-680-840-000	SFR	417.89	265.64	265.64
196-680-850-000	SFR	417.89	265.64	265.64
196-680-860-000	SFR	417.89	265.64	265.64
196-680-870-000	SFR	417.89	265.64	265.64
196-680-880-000	SFR	417.89	265.64	265.64
196-690-010-000	SFR	417.89	265.64	265.64
196-690-020-000	SFR	417.89	265.64	265.64
196-690-030-000	SFR	417.89	265.64	265.64
196-690-040-000	SFR	417.89	265.64	265.64
196-690-050-000	SFR	417.89	265.64	265.64

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APN	Land Use	Max Rate	Levy Rate	Levy
196-690-060-000	SFR	417.89	265.64	265.64
196-690-070-000	SFR	417.89	265.64	265.64
196-690-080-000	SFR	417.89	265.64	265.64
196-690-090-000	SFR	417.89	265.64	265.64
196-690-100-000	SFR	417.89	265.64	265.64
196-690-110-000	SFR	417.89	265.64	265.64
196-690-120-000	SFR	417.89	265.64	265.64
196-690-130-000	SFR	417.89	265.64	265.64
196-690-140-000	SFR	417.89	265.64	265.64
196-690-150-000	SFR	417.89	265.64	265.64
196-690-160-000	SFR	417.89	265.64	265.64
196-690-170-000	SFR	417.89	265.64	265.64
196-690-180-000	SFR	417.89	265.64	265.64
196-690-190-000	SFR	417.89	265.64	265.64
196-690-200-000	SFR	417.89	265.64	265.64
196-690-210-000	SFR	417.89	265.64	265.64
196-690-220-000	SFR	417.89	265.64	265.64
196-690-230-000	SFR	417.89	265.64	265.64
196-690-240-000	SFR	417.89	265.64	265.64
196-690-250-000	SFR	417.89	265.64	265.64
196-690-260-000	SFR	417.89	265.64	265.64
196-690-270-000	SFR	417.89	265.64	265.64
196-690-280-000	SFR	417.89	265.64	265.64
196-690-290-000	SFR	417.89	265.64	265.64
196-690-300-000	SFR	417.89	265.64	265.64
196-690-310-000	SFR	417.89	265.64	265.64
196-690-320-000	SFR	417.89	265.64	265.64
196-690-330-000	SFR	417.89	265.64	265.64
196-690-340-000	SFR	417.89	265.64	265.64
196-690-350-000	SFR	417.89	265.64	265.64
196-690-360-000	SFR	417.89	265.64	265.64
196-690-370-000	SFR	417.89	265.64	265.64
196-690-380-000	SFR	417.89	265.64	265.64
196-690-390-000	SFR	417.89	265.64	265.64
196-690-400-000	SFR	417.89	265.64	265.64
196-690-410-000	SFR	417.89	265.64	265.64
196-690-420-000	SFR	417.89	265.64	265.64
196-690-430-000	SFR	417.89	265.64	265.64

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APN	Land Use	Max Rate	Levy Rate	Levy
196-700-010-000	SFR	417.89	265.64	265.64
196-700-020-000	SFR	417.89	265.64	265.64
196-700-030-000	SFR	417.89	265.64	265.64
196-700-040-000	SFR	417.89	265.64	265.64
196-700-050-000	SFR	417.89	265.64	265.64
196-700-060-000	SFR	417.89	265.64	265.64
196-700-070-000	SFR	417.89	265.64	265.64
196-700-080-000	SFR	417.89	265.64	265.64
196-700-090-000	SFR	417.89	265.64	265.64
196-700-100-000	SFR	417.89	265.64	265.64
196-700-110-000	SFR	417.89	265.64	265.64
196-700-120-000	SFR	417.89	265.64	265.64
196-700-130-000	SFR	417.89	265.64	265.64
196-700-140-000	SFR	417.89	265.64	265.64
196-700-150-000	SFR	417.89	265.64	265.64
196-700-160-000	SFR	417.89	265.64	265.64
196-700-170-000	SFR	417.89	265.64	265.64
196-700-180-000	SFR	417.89	265.64	265.64
196-700-190-000	SFR	417.89	265.64	265.64
196-700-200-000	SFR	417.89	265.64	265.64
196-700-210-000	SFR	417.89	265.64	265.64
196-700-220-000	SFR	417.89	265.64	265.64
196-700-230-000	SFR	417.89	265.64	265.64
196-700-240-000	SFR	417.89	265.64	265.64
196-700-250-000	SFR	417.89	265.64	265.64
196-700-260-000	SFR	417.89	265.64	265.64
196-700-270-000	SFR	417.89	265.64	265.64
196-700-280-000	SFR	417.89	265.64	265.64
196-700-290-000	SFR	417.89	265.64	265.64
196-700-300-000	SFR	417.89	265.64	265.64
196-700-310-000	SFR	417.89	265.64	265.64
196-700-320-000	SFR	417.89	265.64	265.64
196-700-330-000	SFR	417.89	265.64	265.64
196-700-340-000	SFR	417.89	265.64	265.64
196-700-350-000	SFR	417.89	265.64	265.64
196-700-360-000	SFR	417.89	265.64	265.64
196-700-370-000	SFR	417.89	265.64	265.64
196-700-380-000	SFR	417.89	265.64	265.64

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APN	Land Use	Max Rate	Levy Rate	Levy
196-700-390-000	SFR	417.89	265.64	265.64
196-700-400-000	SFR	417.89	265.64	265.64
196-700-410-000	SFR	417.89	265.64	265.64
196-700-420-000	SFR	417.89	265.64	265.64
196-700-430-000	SFR	417.89	265.64	265.64
196-700-440-000	SFR	417.89	265.64	265.64
196-700-450-000	SFR	417.89	265.64	265.64
196-700-460-000	SFR	417.89	265.64	265.64
196-700-470-000	SFR	417.89	265.64	265.64
196-700-480-000	SFR	417.89	265.64	265.64
196-700-490-000	SFR	417.89	265.64	265.64
196-700-500-000	SFR	417.89	265.64	265.64
196-700-510-000	SFR	417.89	265.64	265.64
196-700-520-000	SFR	417.89	265.64	265.64
196-700-530-000	SFR	417.89	265.64	265.64
196-700-540-000	SFR	417.89	265.64	265.64
196-700-550-000	SFR	417.89	265.64	265.64
196-700-560-000	SFR	417.89	265.64	265.64
196-700-570-000	SFR	417.89	265.64	265.64
196-700-580-000	SFR	417.89	265.64	265.64
196-700-590-000	SFR	417.89	265.64	265.64
196-700-600-000	SFR	417.89	265.64	265.64
196-700-610-000	SFR	417.89	265.64	265.64
196-700-620-000	SFR	417.89	265.64	265.64
196-700-630-000	SFR	417.89	265.64	265.64
196-700-640-000	SFR	417.89	265.64	265.64
196-700-650-000	SFR	417.89	265.64	265.64
196-700-660-000	SFR	417.89	265.64	265.64
196-700-670-000	SFR	417.89	265.64	265.64
196-700-680-000	SFR	417.89	265.64	265.64
196-700-690-000	SFR	417.89	265.64	265.64
196-700-700-000	SFR	417.89	265.64	265.64
196-700-710-000	SFR	417.89	265.64	265.64
196-710-010-000	SFR	417.89	265.64	265.64
196-710-020-000	SFR	417.89	265.64	265.64
196-710-030-000	SFR	417.89	265.64	265.64
196-710-040-000	SFR	417.89	265.64	265.64
196-710-050-000	SFR	417.89	265.64	265.64

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APN	Land Use	Max Rate	Levy Rate	Levy
196-710-060-000	SFR	417.89	265.64	265.64
196-710-070-000	SFR	417.89	265.64	265.64
196-710-080-000	SFR	417.89	265.64	265.64
196-710-090-000	SFR	417.89	265.64	265.64
196-710-100-000	SFR	417.89	265.64	265.64
196-710-110-000	SFR	417.89	265.64	265.64
196-710-120-000	SFR	417.89	265.64	265.64
196-710-130-000	SFR	417.89	265.64	265.64
196-710-140-000	SFR	417.89	265.64	265.64
196-710-150-000	SFR	417.89	265.64	265.64
196-710-160-000	SFR	417.89	265.64	265.64
196-710-170-000	SFR	417.89	265.64	265.64
196-710-180-000	SFR	417.89	265.64	265.64
196-710-190-000	SFR	417.89	265.64	265.64
196-710-200-000	SFR	417.89	265.64	265.64
196-710-210-000	SFR	417.89	265.64	265.64
196-710-220-000	SFR	417.89	265.64	265.64
196-710-230-000	SFR	417.89	265.64	265.64
196-710-240-000	SFR	417.89	265.64	265.64
196-710-250-000	SFR	417.89	265.64	265.64
196-710-260-000	SFR	417.89	265.64	265.64
196-710-270-000	SFR	417.89	265.64	265.64
196-710-280-000	SFR	417.89	265.64	265.64
196-710-290-000	SFR	417.89	265.64	265.64
196-710-300-000	SFR	417.89	265.64	265.64
196-710-310-000	SFR	417.89	265.64	265.64
196-710-320-000	SFR	417.89	265.64	265.64
196-710-330-000	SFR	417.89	265.64	265.64
196-710-340-000	SFR	417.89	265.64	265.64
196-710-350-000	SFR	417.89	265.64	265.64
196-710-360-000	SFR	417.89	265.64	265.64
196-710-370-000	SFR	417.89	265.64	265.64
196-710-380-000	SFR	417.89	265.64	265.64
196-710-390-000	SFR	417.89	265.64	265.64
196-710-400-000	SFR	417.89	265.64	265.64
196-710-410-000	SFR	417.89	265.64	265.64
196-710-420-000	SFR	417.89	265.64	265.64
196-710-430-000	SFR	417.89	265.64	265.64

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APN	Land Use	Max Rate	Levy Rate	Levy
196-710-440-000	SFR	417.89	265.64	265.64
196-710-450-000	SFR	417.89	265.64	265.64
196-710-460-000	SFR	417.89	265.64	265.64
196-710-470-000	SFR	417.89	265.64	265.64
196-710-480-000	SFR	417.89	265.64	265.64
196-710-490-000	SFR	417.89	265.64	265.64
196-710-500-000	SFR	417.89	265.64	265.64
196-710-510-000	SFR	417.89	265.64	265.64
196-710-520-000	SFR	417.89	265.64	265.64
196-710-530-000	SFR	417.89	265.64	265.64
196-710-540-000	SFR	417.89	265.64	265.64
196-710-550-000	SFR	417.89	265.64	265.64
196-710-560-000	SFR	417.89	265.64	265.64
196-710-570-000	GOVT*	417.89	265.64	265.64
196-720-010-000	SFR	417.89	265.64	265.64
196-720-020-000	SFR	417.89	265.64	265.64
196-720-030-000	SFR	417.89	265.64	265.64
196-720-040-000	SFR	417.89	265.64	265.64
196-720-050-000	SFR	417.89	265.64	265.64
196-720-060-000	SFR	417.89	265.64	265.64
196-720-070-000	SFR	417.89	265.64	265.64
196-720-080-000	SFR	417.89	265.64	265.64
196-720-090-000	SFR	417.89	265.64	265.64
196-720-100-000	SFR	417.89	265.64	265.64
196-720-110-000	SFR	417.89	265.64	265.64
196-720-120-000	SFR	417.89	265.64	265.64
196-720-130-000	SFR	417.89	265.64	265.64
196-720-140-000	SFR	417.89	265.64	265.64
196-720-150-000	SFR	417.89	265.64	265.64
196-720-160-000	SFR	417.89	265.64	265.64
196-720-170-000	SFR	417.89	265.64	265.64
196-720-180-000	SFR	417.89	265.64	265.64
196-720-190-000	SFR	417.89	265.64	265.64
196-720-200-000	SFR	417.89	265.64	265.64
196-720-210-000	SFR	417.89	265.64	265.64
196-720-220-000	SFR	417.89	265.64	265.64
196-720-230-000	SFR	417.89	265.64	265.64
196-720-240-000	SFR	417.89	265.64	265.64

**CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2019/20
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-720-250-000	SFR	417.89	265.64	265.64
196-720-260-000	SFR	417.89	265.64	265.64
196-720-270-000	SFR	417.89	265.64	265.64
196-720-280-000	SFR	417.89	265.64	265.64
196-720-290-000	SFR	417.89	265.64	265.64
196-720-300-000	SFR	417.89	265.64	265.64
196-720-310-000	SFR	417.89	265.64	265.64
196-720-320-000	SFR	417.89	265.64	265.64
196-720-330-000	SFR	417.89	265.64	265.64
196-720-340-000	SFR	417.89	265.64	265.64
196-720-350-000	SFR	417.89	265.64	265.64
196-720-360-000	SFR	417.89	265.64	265.64
196-720-370-000	SFR	417.89	265.64	265.64
196-720-380-000	SFR	417.89	265.64	265.64
196-720-390-000	SFR	417.89	265.64	265.64
196-720-400-000	SFR	417.89	265.64	265.64
196-720-410-000	SFR	417.89	265.64	265.64
196-720-420-000	SFR	417.89	265.64	265.64
196-720-430-000	SFR	417.89	265.64	265.64
196-720-440-000	SFR	417.89	265.64	265.64
196-720-450-000	SFR	417.89	265.64	265.64
196-720-460-000	SFR	417.89	265.64	265.64
196-720-470-000	SFR	417.89	265.64	265.64
196-720-480-000	SFR	417.89	265.64	265.64
196-720-490-000	SFR	417.89	265.64	265.64
196-720-500-000	SFR	417.89	265.64	265.64
196-720-510-000	SFR	417.89	265.64	265.64
196-720-520-000	SFR	417.89	265.64	265.64
196-720-530-000	SFR	417.89	265.64	265.64
Total:	903 Parcels			\$239,872.92

* Per City instruction this parcel is assessable.

CITY OF LATHROP

Stonebridge Drainage and Lighting Area of Benefit

Annual Engineer's Report

Fiscal Year 2019/20

OFFICE LOCATIONS:

Temecula – Corporate Headquarters
32605 Temecula Parkway, Suite 100
Temecula, CA 92592

San Francisco – Regional Office
870 Market Street, Suite 1223
San Francisco, CA 94102

California Satellite Offices
Atascadero, Davis
Huntington Beach,
Joshua Tree, Riverside
Sacramento, San Jose

www.nbsgov.com

Prepared by:



**CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
AREA OF BENEFIT**

**390 Towne Centre Drive
Lathrop, California 95330
Phone - (209) 941-7320
Fax - (209) 941-7339**

CITY COUNCIL

Sonny Dhaliwal, Mayor

Martha Salcedo, Vice Mayor

Paul Akinjo, Councilmember

Diane Lazard, Councilmember

Jennifer Torres-O'Callaghan, Councilmember

CITY STAFF

Stephen Salvatore, City Manager

Salvador Navarrete, City Attorney

Cari James, Finance Director

Glenn Gebhardt, City Engineer

NBS

Tim Seufert, Client Services Director

Kristin Harvey, Senior Consultant

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Section 1. ENGINEER’S LETTER

WHEREAS, the City Council of the City of Lathrop (the “City”), State of California, directed NBS Government Finance Group, DBA NBS (“NBS”) to prepare and file a report presenting plans and specifications describing the general nature, location and extent of the improvements to be maintained, and an estimate of the costs of the maintenance, operations and servicing of the improvements for the City of Lathrop Stonebridge Drainage and Lighting Area of Benefit (the “District”) for Fiscal Year 2019/20. The report includes a diagram for the District showing the area and properties proposed to be assessed, an assessment of the estimated costs of the maintenance, operations and servicing of the improvements, and the net amount to be assessed upon all assessable parcels within the District in proportion to the special benefit received;

WHEREAS, the proposed assessment rate of \$236.32 per single family lot, is not greater than 105% of the prior year maximum assessment, as approved by the land owners. The District is in compliance with the assessment balloting procedures set forth in Section 4 of Article XIII D of the California Constitution and the District was formed by consent of 100% of the land owners.

NOW THEREFORE, only special benefits are assessed and any general benefits have been identified. The following assessment is made to fund the portion of the estimated costs of maintenance, operation, and servicing of the improvements to be paid by the assessable real property within the District in proportion to the special benefit received:

SUMMARY OF ASSESSMENT– SINGLE FAMILY LOTS

Description	Amount
Balance to Levy	\$213,160.64
Total Single Family Lots	902
Calculated Assessment Per Single Family Lot	\$236.32
Maximum Assessment Per Single Family Lot	\$417.89
Total Assessment – Single Family Lots	\$213,160.64

I, the undersigned, respectfully submit the enclosed Engineer’s Report and, to the best of my knowledge, information, and belief, the Engineer’s Report, Assessments, and the District Diagram herein have been prepared and computed in accordance with the order and historical practices of the City Council of the City.

NBS Government Finance Group, DBA NBS

Section 2. OVERVIEW

Introduction

The City previously formed several maintenance assessment districts for the purpose of providing maintenance services to benefit certain parcels in the City. Over several years, these districts have levied and collected special assessments. In 1998, the District was formed pursuant to the Benefit Assessment Act of 1982, beginning with Section 54703 of the California Government Code (the “Act”). All parcels within the District which have special benefit conferred upon them as a result of the maintenance and operation of improvements have been identified and the proportionate special benefit derived by each identified parcel has been determined in relation to the entire cost of the maintenance and operation of the improvements. Only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated benefit received.

This Annual Engineer’s Report (the “Report”) describes the District and the charge per single family lot for Fiscal Year 2019/20 based on the historical and estimated cost to maintain the improvements and provide the services that benefit parcels within the District.

The word “parcel,” for the purposes of this Report, refers to an individual property assigned its own Assessor’s Parcel Number by the San Joaquin County (the “County”) Assessor’s Office. The County Auditor-Controller uses Assessor’s Parcel Numbers and specific fund numbers to identify, on the tax roll, properties assessed for special district benefit assessments.

Following consideration of public comments at a noticed public hearing and following review of the Report, the City Council may confirm the submittal of the Report and may order the levy and collection of assessments for Fiscal Year 2019/20. If approved, the assessment information will be submitted to the County Auditor-Controller, and included on the property tax roll for each benefiting parcel for Fiscal Year 2019/20.

Effect of Proposition 218

On November 5, 1996, California voters approved Proposition 218 by a vote of 56.5% to 43.5%. The provisions of the Proposition, now California Constitutional Articles XIII C and XIII D, added substantive and procedural requirements for assessments, which affect the City of Lathrop lighting maintenance assessments.

As approved by the land owners, the maximum assessment rate increases by 5% each year. The maximum assessment rate for Fiscal Year 2019/20 is \$417.89 per single family lot. The proposed assessment rate for Fiscal Year 2019/20 is \$236.32, which is below the maximum assessment rate.

The District is in compliance with the assessment balloting procedures set forth in Section 4 of Article XIII D and the District was formed by consent of 100% of the land owners.

The following table shows the levy assessment rate and the maximum assessment rate for the three most recent years.

Fiscal Year	Levy Assessment Rate	Maximum Assessment Rate
2019/20	\$236.32	\$417.89
2018/19	225.06	397.99
2017/18	225.06	379.04

Plans and Specifications for the Improvements

The District consists of a fully developed residential area generally located east of I-5, west of the Union Pacific Railroad, north of Warren Avenue, and south of Roth Road.

Improvements within the District include the design, construction, or installation, including the maintenance or servicing, or both, of public lighting facilities for the lighting of any public places, including traffic signals, ornamental standards, luminaries, poles, supports, tunnels, manholes, vaults, conduits, pipes, wires, conductors, guys, stubs, platforms, braces, transformers, insulators, contacts, switches, capacitors, meters, communication circuits, appliances, attachments, and appurtenances, including the cost of repair, removal, or replacement of all or any part thereof; providing for electric current or energy, gas or other illuminating agent for any public lighting facilities or for the lighting or operation of any other improvements; and the maintenance of storm drainage facilities, trunk main line pipe with manholes and drop inlets, pump station including backup emergency generator and telemetry system, trunk line outfall structure at river, concrete lined open channel, and earth lined holding pond.

The improvements specially benefit the parcels assessed since:

- 1) The work is adjacent to the neighborhoods within which said parcels are located, and results in helping to improve the quality of life and providing added security and safety in these neighborhoods by reducing the potential for flooding, and by providing lighting and an added City presence; and
- 2) In the absence of the District, the work and improvements would not otherwise be accomplished by the City.

Section 3. ESTIMATE OF COSTS

Description of Budget Items

Personnel Services - Includes employee salaries, salary related costs, and employee benefits including retirement, medical benefits, and workers compensation costs, etc.

Maintenance & Operations - Includes the following:

Advertising/Legal Notices - Includes the cost of publishing the required legal notices necessary to complete the required procedures for levying the assessments.

Chemicals - Includes insect repellent, weed killer, and rodent control.

Communication Equipment Repair - Includes repair of electrical components, power cords, etc.

Contract - Other - Includes uniform service, hazardous waste dump fees, Sheriff's Community Corp., alarm service, and the cost to recondition one pump and motor.

Contract Services - Includes professional services necessary for District maintenance including trees and landscaping, park maintenance, equipment rental, computer technical support, and the preparation of the Report.

Gas, Diesel, Oil & Lubricants - Includes fuel, oil and lubricants for vehicles, and miscellaneous small equipment.

Maintenance & Repair - Includes contracted maintenance and repair services such as annual fire extinguisher service and emergency repairs.

Miscellaneous Supplies - Includes office equipment and supplies, custodial supplies, building maintenance materials and supplies, parts, tools, reference materials, and additional administrative costs.

Other Maintenance & Repair - Includes items related to non-contracted maintenance and repair such as barricade batteries, paint, collection line repair, cones, signs, etc.

Printing & Typesetting - Includes the cost of preparing the required legal notices necessary to complete the required procedures for levying the assessments.

Training, Membership, Travel & Dues - Includes continuing training for maintenance staff.

Uniforms/Protective Clothing - Includes employee uniforms including safety boots, jackets, gloves, etc.

Utilities - Gas & Electric - Includes electrical power for the storm drain pump stations.

Water Service - Includes water for the storm drain pump stations.

Fixed Charges & Special Fees - Includes the charges per parcel to collect the assessments on the County Secured Property Tax Roll.

Indirect Costs - Includes overhead costs of the City related to maintenance, operation, and administration of the District.

District Budget

The budget for Fiscal Year 2019/20 is as follows.

Description	2019/20 Budget
Personnel Services	\$104,723.00
Maintenance & Operations Total	150,500.00
Fixed Assets/Capital Total	7,454.00
Indirect Costs	<u>50,138.00</u>
Total District Costs	\$312,815.00
General Benefit	(4,457.00)
Contribution to (from) Operational Reserves	(95,197.36)
Contribution to (from) Capital Reserves	0.00
Other Revenue Sources	<u>0.00</u>
Total Balance to Levy	\$213,160.64

Balance to Levy

Total District Costs - Includes personnel services, maintenance and operations, capital costs, and indirect costs determined above.

General Benefit - Includes any enhancement of street frontages that do not lie entirely within the District, and are estimated to cost \$4,457.00 (for Fiscal Year 2019/20). The cost is to be paid from funds other than assessments.

Contribution to (from) Operational Reserves - The Operational Reserves item provides funds to operate the District from the time period of July 1 (beginning of the fiscal year) through December when the County provides the City with the first installment of assessments collected from the property tax bills. This eliminates the need for the City to transfer funds from non-District accounts to pay for District charges during the first half of the fiscal year. Negative amounts shown here are transfers that are used to reduce the Balance to Levy. Using reserve amounts in this way allows the levy per lot to remain at prior period rates, although District costs may have increased.

Contribution to (from) Capital Reserves - The Capital Reserve Account item provides funds to maintain reserves for extraordinary maintenance items and unexpected capital expenditures that may occur as a result of natural occurrences or other unforeseen circumstances.

Other Revenue Sources - This is the amount of additional funds designated for use by the District that are not from District assessments. These funds are added to the District account to reduce assessments and may be from either non-District sources including City General Fund contributions or District sources including interest earnings.

Balance to Levy - This is the total amount to be levied and collected through assessments for the current fiscal year. The Balance to Levy represents the sum of the total direct and administration costs, reserves, contributions, and other revenue sources.

The following table shows the total costs, additional revenues, and the balance to the Fiscal Year 2019/20 levy.

Description	Amount
Total District Costs	\$312,815.00
Less General Benefit	(4,457.00)
Contribution to (from) Operational Reserves	(95,197.36)
Contribution to (from) Capital Reserves	0.00
Other Revenue Sources	<u>0.00</u>
Balance to Levy	\$213,160.64

Reserve Information

The following table shows the estimated balance of the Operational Reserves.

Description	Amount
Estimated Beginning Balance - June 30, 2019 (1)	\$356,130.87
Contribution to (from) Operational Reserves	<u>(95,197.36)</u>
Estimated Ending Balance - June 30, 2020	\$260,933.51

(1) Includes \$100,000 designated for capital replacement.

The reserves are intended to be used and/or accumulated for repair and/or capital replacement, as needed for improvements within the District.

Section 4. METHOD OF APPORTIONMENT

Method of Apportionment

Pursuant to the Act, the costs of the District are apportioned by a formula or method which fairly distributes the net amount to be assessed, among all assessable parcels in proportion to the estimated special benefit to be received by each such parcel from the maintenance, servicing and operation of the improvements. The proportional special benefit derived by each parcel is determined in relationship to the entirety of the maintenance and operation expenses of the improvements. No assessment has been apportioned on any parcel that exceeds the reasonable cost of the proportional benefit conferred on that parcel. The assessment has been levied in accordance with the assessment methodology adopted and approved by the City Council at the time of District formation.

Only special benefits are assessed and any general benefits have been separated from the special benefits. The general benefits are derived from any enhancement of street frontages which do not lie entirely within the District, and are estimated to cost \$4,457.00 (for Fiscal Year 2019/20). The cost is to be paid from funds other than those raised by the assessments.

The basis of benefit for the District was determined as follows:

- The estimated annual maintenance cost will be allocated equally to each subdivided single family lot existing at the time of levy of the assessment, not to exceed the maximum assessment amount described below.
- The maximum assessment for Fiscal Year 1999/00 for each subdivided single family lot was \$157.50. Each year, the maximum assessment rate has been calculated by multiplying the previous year's maximum assessment rate by 1.05.
- In the event the amount obtained by assessing the maximum assessment to each subdivided single family lot is less than the total estimated maintenance cost, the difference will be assessed to the undivided parcels within the District, proportional to parcel area. There are currently no undivided parcels in the district.

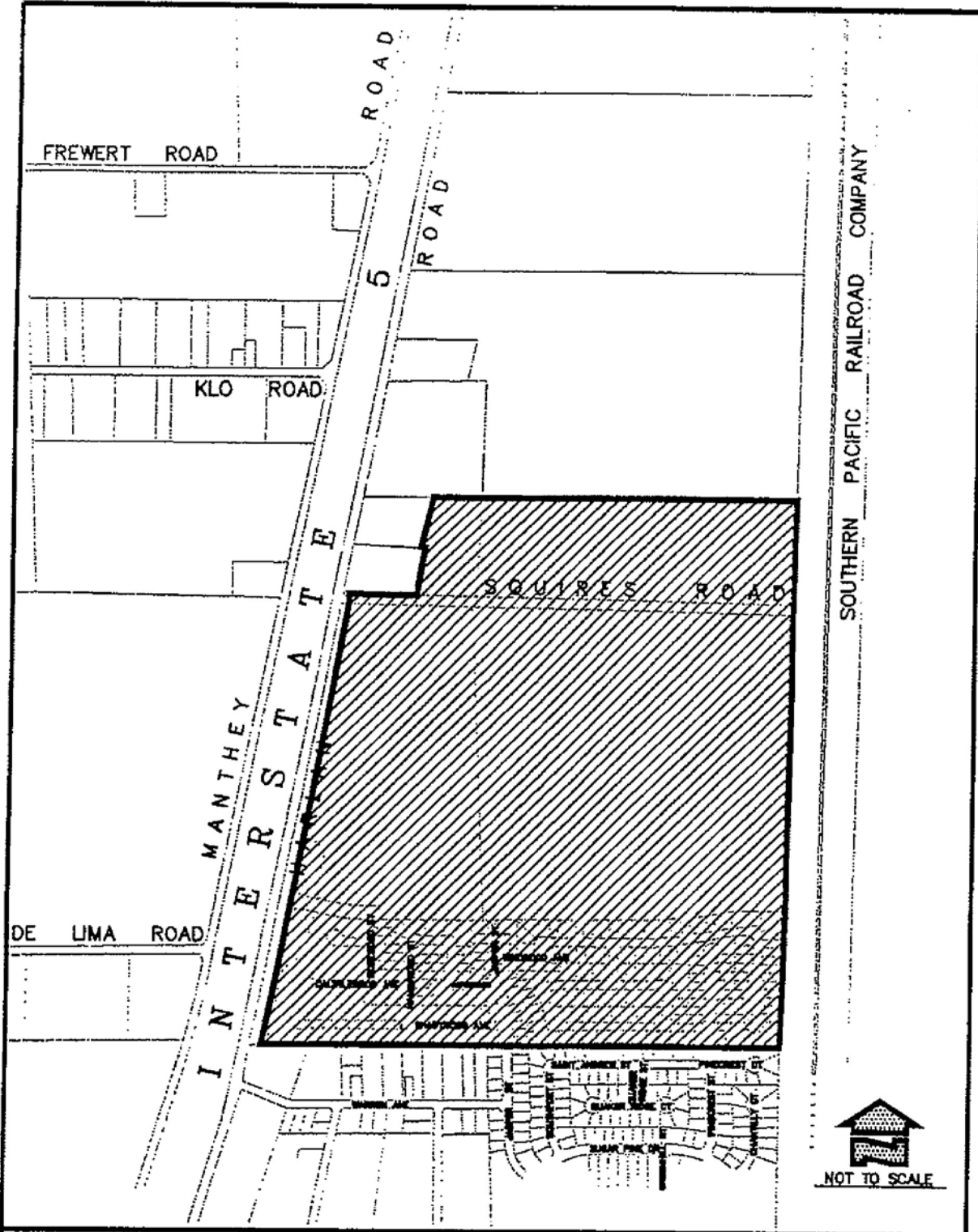
Assessment - Subdivided Single Family Lots

The following table shows the assessment for subdivided single family lots for the Fiscal Year 2019/20 levy.

Description	Amount
Balance to Levy	\$213,160.64
Total Single Family Lots	902
Calculated Assessment Per Single Family Lot	\$236.32
Maximum Assessment Per Single Family Lot	\$417.89
Total Assessment - Single Family Lots	\$213,160.64

Section 5. DISTRICT DIAGRAM

Reference is made to the District Diagram on file with the City Clerk. The following page provides the boundaries of the District. The lines and dimensions shown on maps of the County Assessor for the current year are incorporated by reference and made part of this Report.



SOUTHERN PACIFIC RAILROAD COMPANY

City of Lathrop

Stonebridge Drainage & Lighting District



Date: February 1999

Section 6. **PARCEL LISTING**

The parcel listing of assessments is provided on the following pages. The description of each lot or parcel is a part of the records of the County Assessor and is incorporated by reference and made part of this Report.

**CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2019/20
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-580-010-000	SFR	\$417.89	\$236.32	\$236.32
196-580-020-000	SFR	417.89	236.32	236.32
196-580-030-000	SFR	417.89	236.32	236.32
196-580-040-000	SFR	417.89	236.32	236.32
196-580-050-000	SFR	417.89	236.32	236.32
196-580-060-000	SFR	417.89	236.32	236.32
196-580-070-000	SFR	417.89	236.32	236.32
196-580-080-000	SFR	417.89	236.32	236.32
196-580-090-000	SFR	417.89	236.32	236.32
196-580-100-000	SFR	417.89	236.32	236.32
196-580-110-000	SFR	417.89	236.32	236.32
196-580-120-000	SFR	417.89	236.32	236.32
196-580-130-000	SFR	417.89	236.32	236.32
196-580-140-000	SFR	417.89	236.32	236.32
196-580-150-000	SFR	417.89	236.32	236.32
196-580-160-000	SFR	417.89	236.32	236.32
196-580-170-000	SFR	417.89	236.32	236.32
196-580-180-000	SFR	417.89	236.32	236.32
196-580-190-000	SFR	417.89	236.32	236.32
196-580-200-000	SFR	417.89	236.32	236.32
196-580-210-000	SFR	417.89	236.32	236.32
196-580-220-000	SFR	417.89	236.32	236.32
196-580-230-000	SFR	417.89	236.32	236.32
196-580-240-000	SFR	417.89	236.32	236.32
196-580-250-000	SFR	417.89	236.32	236.32
196-580-260-000	SFR	417.89	236.32	236.32
196-580-270-000	SFR	417.89	236.32	236.32
196-580-280-000	SFR	417.89	236.32	236.32
196-580-290-000	SFR	417.89	236.32	236.32
196-580-300-000	SFR	417.89	236.32	236.32
196-580-310-000	SFR	417.89	236.32	236.32
196-580-320-000	SFR	417.89	236.32	236.32
196-580-330-000	SFR	417.89	236.32	236.32
196-580-340-000	SFR	417.89	236.32	236.32
196-580-350-000	SFR	417.89	236.32	236.32
196-580-360-000	SFR	417.89	236.32	236.32
196-580-370-000	SFR	417.89	236.32	236.32
196-580-380-000	SFR	417.89	236.32	236.32

CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2019/20
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-580-390-000	SFR	417.89	236.32	236.32
196-580-400-000	SFR	417.89	236.32	236.32
196-580-410-000	SFR	417.89	236.32	236.32
196-580-420-000	SFR	417.89	236.32	236.32
196-580-430-000	SFR	417.89	236.32	236.32
196-580-440-000	SFR	417.89	236.32	236.32
196-580-450-000	SFR	417.89	236.32	236.32
196-580-460-000	SFR	417.89	236.32	236.32
196-580-470-000	SFR	417.89	236.32	236.32
196-580-480-000	SFR	417.89	236.32	236.32
196-580-490-000	SFR	417.89	236.32	236.32
196-580-500-000	SFR	417.89	236.32	236.32
196-580-510-000	SFR	417.89	236.32	236.32
196-580-520-000	SFR	417.89	236.32	236.32
196-580-530-000	SFR	417.89	236.32	236.32
196-580-540-000	SFR	417.89	236.32	236.32
196-580-550-000	SFR	417.89	236.32	236.32
196-580-560-000	SFR	417.89	236.32	236.32
196-580-570-000	SFR	417.89	236.32	236.32
196-580-580-000	SFR	417.89	236.32	236.32
196-580-590-000	SFR	417.89	236.32	236.32
196-580-600-000	SFR	417.89	236.32	236.32
196-580-610-000	SFR	417.89	236.32	236.32
196-580-620-000	SFR	417.89	236.32	236.32
196-580-630-000	SFR	417.89	236.32	236.32
196-580-640-000	SFR	417.89	236.32	236.32
196-580-650-000	SFR	417.89	236.32	236.32
196-580-660-000	SFR	417.89	236.32	236.32
196-580-670-000	SFR	417.89	236.32	236.32
196-580-680-000	SFR	417.89	236.32	236.32
196-580-690-000	SFR	417.89	236.32	236.32
196-580-700-000	SFR	417.89	236.32	236.32
196-580-710-000	SFR	417.89	236.32	236.32
196-580-720-000	SFR	417.89	236.32	236.32
196-580-730-000	SFR	417.89	236.32	236.32
196-580-740-000	SFR	417.89	236.32	236.32
196-580-750-000	SFR	417.89	236.32	236.32
196-580-760-000	SFR	417.89	236.32	236.32

**CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2019/20
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-580-770-000	SFR	417.89	236.32	236.32
196-580-780-000	SFR	417.89	236.32	236.32
196-580-790-000	SFR	417.89	236.32	236.32
196-580-800-000	SFR	417.89	236.32	236.32
196-580-810-000	SFR	417.89	236.32	236.32
196-580-820-000	SFR	417.89	236.32	236.32
196-580-830-000	SFR	417.89	236.32	236.32
196-580-840-000	SFR	417.89	236.32	236.32
196-580-850-000	SFR	417.89	236.32	236.32
196-580-860-000	SFR	417.89	236.32	236.32
196-580-870-000	SFR	417.89	236.32	236.32
196-580-880-000	SFR	417.89	236.32	236.32
196-600-010-000	SFR	417.89	236.32	236.32
196-600-020-000	SFR	417.89	236.32	236.32
196-600-030-000	SFR	417.89	236.32	236.32
196-600-040-000	SFR	417.89	236.32	236.32
196-600-050-000	SFR	417.89	236.32	236.32
196-600-060-000	SFR	417.89	236.32	236.32
196-600-070-000	SFR	417.89	236.32	236.32
196-600-080-000	SFR	417.89	236.32	236.32
196-600-090-000	SFR	417.89	236.32	236.32
196-600-100-000	SFR	417.89	236.32	236.32
196-600-110-000	SFR	417.89	236.32	236.32
196-600-120-000	SFR	417.89	236.32	236.32
196-600-130-000	SFR	417.89	236.32	236.32
196-600-140-000	SFR	417.89	236.32	236.32
196-600-150-000	SFR	417.89	236.32	236.32
196-600-160-000	SFR	417.89	236.32	236.32
196-600-170-000	SFR	417.89	236.32	236.32
196-600-180-000	SFR	417.89	236.32	236.32
196-600-190-000	SFR	417.89	236.32	236.32
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196-600-210-000	SFR	417.89	236.32	236.32
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196-600-230-000	SFR	417.89	236.32	236.32
196-600-240-000	SFR	417.89	236.32	236.32
196-600-250-000	SFR	417.89	236.32	236.32
196-600-260-000	SFR	417.89	236.32	236.32

CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2019/20
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-600-270-000	SFR	417.89	236.32	236.32
196-600-280-000	SFR	417.89	236.32	236.32
196-600-290-000	SFR	417.89	236.32	236.32
196-600-300-000	SFR	417.89	236.32	236.32
196-600-310-000	SFR	417.89	236.32	236.32
196-600-320-000	SFR	417.89	236.32	236.32
196-600-330-000	SFR	417.89	236.32	236.32
196-600-340-000	SFR	417.89	236.32	236.32
196-600-350-000	SFR	417.89	236.32	236.32
196-600-360-000	SFR	417.89	236.32	236.32
196-600-370-000	SFR	417.89	236.32	236.32
196-600-380-000	SFR	417.89	236.32	236.32
196-600-390-000	SFR	417.89	236.32	236.32
196-600-400-000	SFR	417.89	236.32	236.32
196-600-410-000	SFR	417.89	236.32	236.32
196-600-420-000	SFR	417.89	236.32	236.32
196-600-430-000	SFR	417.89	236.32	236.32
196-600-440-000	SFR	417.89	236.32	236.32
196-600-450-000	SFR	417.89	236.32	236.32
196-600-460-000	SFR	417.89	236.32	236.32
196-600-470-000	SFR	417.89	236.32	236.32
196-600-480-000	SFR	417.89	236.32	236.32
196-600-490-000	SFR	417.89	236.32	236.32
196-600-500-000	SFR	417.89	236.32	236.32
196-600-510-000	SFR	417.89	236.32	236.32
196-600-520-000	SFR	417.89	236.32	236.32
196-600-530-000	SFR	417.89	236.32	236.32
196-600-540-000	SFR	417.89	236.32	236.32
196-600-550-000	SFR	417.89	236.32	236.32
196-600-560-000	SFR	417.89	236.32	236.32
196-600-570-000	SFR	417.89	236.32	236.32
196-600-580-000	SFR	417.89	236.32	236.32
196-600-590-000	SFR	417.89	236.32	236.32
196-600-600-000	SFR	417.89	236.32	236.32
196-600-610-000	SFR	417.89	236.32	236.32
196-600-620-000	SFR	417.89	236.32	236.32
196-600-630-000	SFR	417.89	236.32	236.32
196-600-640-000	SFR	417.89	236.32	236.32

CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2019/20
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-600-650-000	SFR	417.89	236.32	236.32
196-600-660-000	SFR	417.89	236.32	236.32
196-600-670-000	SFR	417.89	236.32	236.32
196-600-680-000	SFR	417.89	236.32	236.32
196-600-690-000	SFR	417.89	236.32	236.32
196-600-700-000	SFR	417.89	236.32	236.32
196-600-710-000	SFR	417.89	236.32	236.32
196-600-720-000	SFR	417.89	236.32	236.32
196-600-730-000	SFR	417.89	236.32	236.32
196-600-740-000	SFR	417.89	236.32	236.32
196-600-750-000	SFR	417.89	236.32	236.32
196-600-760-000	SFR	417.89	236.32	236.32
196-600-770-000	SFR	417.89	236.32	236.32
196-600-780-000	SFR	417.89	236.32	236.32
196-600-790-000	SFR	417.89	236.32	236.32
196-610-010-000	SFR	417.89	236.32	236.32
196-610-020-000	SFR	417.89	236.32	236.32
196-610-030-000	SFR	417.89	236.32	236.32
196-610-040-000	SFR	417.89	236.32	236.32
196-610-050-000	SFR	417.89	236.32	236.32
196-610-060-000	SFR	417.89	236.32	236.32
196-610-070-000	SFR	417.89	236.32	236.32
196-610-080-000	SFR	417.89	236.32	236.32
196-610-090-000	SFR	417.89	236.32	236.32
196-610-100-000	SFR	417.89	236.32	236.32
196-610-110-000	SFR	417.89	236.32	236.32
196-610-120-000	SFR	417.89	236.32	236.32
196-610-130-000	SFR	417.89	236.32	236.32
196-610-140-000	SFR	417.89	236.32	236.32
196-610-150-000	SFR	417.89	236.32	236.32
196-610-160-000	SFR	417.89	236.32	236.32
196-610-170-000	SFR	417.89	236.32	236.32
196-610-180-000	SFR	417.89	236.32	236.32
196-610-190-000	SFR	417.89	236.32	236.32
196-610-200-000	SFR	417.89	236.32	236.32
196-610-210-000	SFR	417.89	236.32	236.32
196-610-220-000	SFR	417.89	236.32	236.32
196-610-230-000	SFR	417.89	236.32	236.32

**CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2019/20
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-610-240-000	SFR	417.89	236.32	236.32
196-610-250-000	SFR	417.89	236.32	236.32
196-610-260-000	SFR	417.89	236.32	236.32
196-610-270-000	SFR	417.89	236.32	236.32
196-610-280-000	SFR	417.89	236.32	236.32
196-610-290-000	SFR	417.89	236.32	236.32
196-610-300-000	SFR	417.89	236.32	236.32
196-610-310-000	SFR	417.89	236.32	236.32
196-610-320-000	SFR	417.89	236.32	236.32
196-610-330-000	SFR	417.89	236.32	236.32
196-610-340-000	SFR	417.89	236.32	236.32
196-610-350-000	SFR	417.89	236.32	236.32
196-610-360-000	SFR	417.89	236.32	236.32
196-610-370-000	SFR	417.89	236.32	236.32
196-610-380-000	SFR	417.89	236.32	236.32
196-610-390-000	SFR	417.89	236.32	236.32
196-610-400-000	SFR	417.89	236.32	236.32
196-610-410-000	SFR	417.89	236.32	236.32
196-610-420-000	SFR	417.89	236.32	236.32
196-610-430-000	SFR	417.89	236.32	236.32
196-610-440-000	SFR	417.89	236.32	236.32
196-610-450-000	SFR	417.89	236.32	236.32
196-610-460-000	SFR	417.89	236.32	236.32
196-610-470-000	SFR	417.89	236.32	236.32
196-610-480-000	SFR	417.89	236.32	236.32
196-610-490-000	SFR	417.89	236.32	236.32
196-610-500-000	SFR	417.89	236.32	236.32
196-610-510-000	SFR	417.89	236.32	236.32
196-610-520-000	SFR	417.89	236.32	236.32
196-610-530-000	SFR	417.89	236.32	236.32
196-610-540-000	SFR	417.89	236.32	236.32
196-610-550-000	SFR	417.89	236.32	236.32
196-610-560-000	SFR	417.89	236.32	236.32
196-610-570-000	SFR	417.89	236.32	236.32
196-610-580-000	SFR	417.89	236.32	236.32
196-610-590-000	SFR	417.89	236.32	236.32
196-610-600-000	SFR	417.89	236.32	236.32
196-610-610-000	SFR	417.89	236.32	236.32

CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2019/20
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-610-620-000	SFR	417.89	236.32	236.32
196-610-630-000	SFR	417.89	236.32	236.32
196-610-640-000	SFR	417.89	236.32	236.32
196-610-650-000	SFR	417.89	236.32	236.32
196-610-660-000	SFR	417.89	236.32	236.32
196-610-670-000	SFR	417.89	236.32	236.32
196-610-680-000	SFR	417.89	236.32	236.32
196-610-690-000	SFR	417.89	236.32	236.32
196-610-700-000	SFR	417.89	236.32	236.32
196-610-710-000	SFR	417.89	236.32	236.32
196-610-750-000	SFR	417.89	236.32	236.32
196-610-760-000	SFR	417.89	236.32	236.32
196-610-770-000	SFR	417.89	236.32	236.32
196-610-780-000	SFR	417.89	236.32	236.32
196-610-790-000	SFR	417.89	236.32	236.32
196-610-800-000	SFR	417.89	236.32	236.32
196-610-810-000	SFR	417.89	236.32	236.32
196-610-820-000	SFR	417.89	236.32	236.32
196-610-830-000	SFR	417.89	236.32	236.32
196-610-840-000	SFR	417.89	236.32	236.32
196-610-850-000	SFR	417.89	236.32	236.32
196-610-870-000	SFR	417.89	236.32	236.32
196-620-010-000	SFR	417.89	236.32	236.32
196-620-020-000	SFR	417.89	236.32	236.32
196-620-030-000	SFR	417.89	236.32	236.32
196-620-040-000	SFR	417.89	236.32	236.32
196-620-050-000	SFR	417.89	236.32	236.32
196-620-060-000	SFR	417.89	236.32	236.32
196-620-070-000	SFR	417.89	236.32	236.32
196-620-080-000	SFR	417.89	236.32	236.32
196-620-090-000	SFR	417.89	236.32	236.32
196-620-100-000	SFR	417.89	236.32	236.32
196-620-110-000	SFR	417.89	236.32	236.32
196-620-120-000	SFR	417.89	236.32	236.32
196-620-130-000	SFR	417.89	236.32	236.32
196-620-140-000	SFR	417.89	236.32	236.32
196-620-150-000	SFR	417.89	236.32	236.32
196-620-160-000	SFR	417.89	236.32	236.32

CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2019/20
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-620-170-000	SFR	417.89	236.32	236.32
196-620-180-000	SFR	417.89	236.32	236.32
196-620-190-000	SFR	417.89	236.32	236.32
196-620-200-000	SFR	417.89	236.32	236.32
196-620-210-000	SFR	417.89	236.32	236.32
196-620-220-000	SFR	417.89	236.32	236.32
196-620-230-000	SFR	417.89	236.32	236.32
196-620-240-000	SFR	417.89	236.32	236.32
196-620-250-000	SFR	417.89	236.32	236.32
196-620-260-000	SFR	417.89	236.32	236.32
196-620-270-000	SFR	417.89	236.32	236.32
196-620-280-000	SFR	417.89	236.32	236.32
196-620-290-000	SFR	417.89	236.32	236.32
196-620-300-000	SFR	417.89	236.32	236.32
196-620-310-000	SFR	417.89	236.32	236.32
196-620-320-000	SFR	417.89	236.32	236.32
196-620-330-000	SFR	417.89	236.32	236.32
196-620-340-000	SFR	417.89	236.32	236.32
196-620-350-000	SFR	417.89	236.32	236.32
196-620-360-000	SFR	417.89	236.32	236.32
196-620-370-000	SFR	417.89	236.32	236.32
196-620-380-000	SFR	417.89	236.32	236.32
196-620-390-000	SFR	417.89	236.32	236.32
196-620-400-000	SFR	417.89	236.32	236.32
196-620-410-000	SFR	417.89	236.32	236.32
196-620-420-000	SFR	417.89	236.32	236.32
196-620-430-000	SFR	417.89	236.32	236.32
196-620-440-000	SFR	417.89	236.32	236.32
196-620-450-000	SFR	417.89	236.32	236.32
196-620-460-000	SFR	417.89	236.32	236.32
196-620-470-000	SFR	417.89	236.32	236.32
196-620-480-000	SFR	417.89	236.32	236.32
196-620-490-000	SFR	417.89	236.32	236.32
196-620-500-000	SFR	417.89	236.32	236.32
196-620-510-000	SFR	417.89	236.32	236.32
196-620-520-000	SFR	417.89	236.32	236.32
196-620-530-000	SFR	417.89	236.32	236.32
196-620-540-000	SFR	417.89	236.32	236.32

CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2019/20
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-620-550-000	SFR	417.89	236.32	236.32
196-620-560-000	SFR	417.89	236.32	236.32
196-620-570-000	GOVT*	417.89	236.32	236.32
196-630-010-000	SFR	417.89	236.32	236.32
196-630-020-000	SFR	417.89	236.32	236.32
196-630-030-000	SFR	417.89	236.32	236.32
196-630-040-000	SFR	417.89	236.32	236.32
196-630-050-000	SFR	417.89	236.32	236.32
196-630-060-000	SFR	417.89	236.32	236.32
196-630-070-000	SFR	417.89	236.32	236.32
196-630-080-000	SFR	417.89	236.32	236.32
196-630-090-000	SFR	417.89	236.32	236.32
196-630-100-000	SFR	417.89	236.32	236.32
196-630-110-000	SFR	417.89	236.32	236.32
196-630-120-000	SFR	417.89	236.32	236.32
196-630-130-000	SFR	417.89	236.32	236.32
196-630-140-000	SFR	417.89	236.32	236.32
196-630-150-000	SFR	417.89	236.32	236.32
196-630-160-000	SFR	417.89	236.32	236.32
196-630-170-000	SFR	417.89	236.32	236.32
196-630-180-000	SFR	417.89	236.32	236.32
196-630-190-000	SFR	417.89	236.32	236.32
196-630-200-000	SFR	417.89	236.32	236.32
196-630-210-000	SFR	417.89	236.32	236.32
196-630-220-000	SFR	417.89	236.32	236.32
196-630-230-000	SFR	417.89	236.32	236.32
196-630-240-000	SFR	417.89	236.32	236.32
196-630-250-000	SFR	417.89	236.32	236.32
196-630-260-000	SFR	417.89	236.32	236.32
196-630-270-000	SFR	417.89	236.32	236.32
196-630-280-000	SFR	417.89	236.32	236.32
196-630-290-000	SFR	417.89	236.32	236.32
196-630-300-000	SFR	417.89	236.32	236.32
196-630-310-000	SFR	417.89	236.32	236.32
196-630-320-000	SFR	417.89	236.32	236.32
196-630-330-000	SFR	417.89	236.32	236.32
196-630-340-000	SFR	417.89	236.32	236.32
196-630-350-000	SFR	417.89	236.32	236.32

CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2019/20
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-630-360-000	SFR	417.89	236.32	236.32
196-630-370-000	SFR	417.89	236.32	236.32
196-630-380-000	SFR	417.89	236.32	236.32
196-630-390-000	SFR	417.89	236.32	236.32
196-630-400-000	SFR	417.89	236.32	236.32
196-630-410-000	SFR	417.89	236.32	236.32
196-630-420-000	SFR	417.89	236.32	236.32
196-630-430-000	SFR	417.89	236.32	236.32
196-630-440-000	SFR	417.89	236.32	236.32
196-630-450-000	SFR	417.89	236.32	236.32
196-630-460-000	SFR	417.89	236.32	236.32
196-630-470-000	SFR	417.89	236.32	236.32
196-630-480-000	SFR	417.89	236.32	236.32
196-630-490-000	SFR	417.89	236.32	236.32
196-630-500-000	SFR	417.89	236.32	236.32
196-630-510-000	SFR	417.89	236.32	236.32
196-630-520-000	SFR	417.89	236.32	236.32
196-630-530-000	SFR	417.89	236.32	236.32
196-630-540-000	SFR	417.89	236.32	236.32
196-630-550-000	SFR	417.89	236.32	236.32
196-630-560-000	SFR	417.89	236.32	236.32
196-630-570-000	SFR	417.89	236.32	236.32
196-630-580-000	SFR	417.89	236.32	236.32
196-630-590-000	SFR	417.89	236.32	236.32
196-630-600-000	SFR	417.89	236.32	236.32
196-630-610-000	SFR	417.89	236.32	236.32
196-630-620-000	SFR	417.89	236.32	236.32
196-630-630-000	SFR	417.89	236.32	236.32
196-630-640-000	SFR	417.89	236.32	236.32
196-630-650-000	SFR	417.89	236.32	236.32
196-640-010-000	SFR	417.89	236.32	236.32
196-640-020-000	SFR	417.89	236.32	236.32
196-640-030-000	SFR	417.89	236.32	236.32
196-640-040-000	SFR	417.89	236.32	236.32
196-640-050-000	SFR	417.89	236.32	236.32
196-640-060-000	SFR	417.89	236.32	236.32
196-640-070-000	SFR	417.89	236.32	236.32
196-640-080-000	SFR	417.89	236.32	236.32

CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2019/20
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-640-090-000	SFR	417.89	236.32	236.32
196-640-100-000	SFR	417.89	236.32	236.32
196-640-110-000	SFR	417.89	236.32	236.32
196-640-120-000	SFR	417.89	236.32	236.32
196-640-130-000	SFR	417.89	236.32	236.32
196-640-140-000	SFR	417.89	236.32	236.32
196-640-150-000	SFR	417.89	236.32	236.32
196-640-160-000	SFR	417.89	236.32	236.32
196-640-170-000	SFR	417.89	236.32	236.32
196-640-180-000	SFR	417.89	236.32	236.32
196-640-190-000	SFR	417.89	236.32	236.32
196-640-200-000	SFR	417.89	236.32	236.32
196-640-210-000	SFR	417.89	236.32	236.32
196-640-220-000	SFR	417.89	236.32	236.32
196-640-230-000	SFR	417.89	236.32	236.32
196-640-240-000	SFR	417.89	236.32	236.32
196-640-250-000	SFR	417.89	236.32	236.32
196-640-260-000	SFR	417.89	236.32	236.32
196-640-270-000	SFR	417.89	236.32	236.32
196-640-280-000	SFR	417.89	236.32	236.32
196-640-290-000	SFR	417.89	236.32	236.32
196-640-300-000	SFR	417.89	236.32	236.32
196-640-310-000	SFR	417.89	236.32	236.32
196-640-320-000	SFR	417.89	236.32	236.32
196-640-330-000	SFR	417.89	236.32	236.32
196-640-340-000	SFR	417.89	236.32	236.32
196-640-350-000	SFR	417.89	236.32	236.32
196-640-360-000	SFR	417.89	236.32	236.32
196-640-370-000	SFR	417.89	236.32	236.32
196-640-380-000	SFR	417.89	236.32	236.32
196-640-390-000	SFR	417.89	236.32	236.32
196-640-400-000	SFR	417.89	236.32	236.32
196-640-410-000	SFR	417.89	236.32	236.32
196-640-420-000	SFR	417.89	236.32	236.32
196-640-430-000	SFR	417.89	236.32	236.32
196-640-440-000	SFR	417.89	236.32	236.32
196-640-450-000	SFR	417.89	236.32	236.32
196-640-460-000	SFR	417.89	236.32	236.32

**CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2019/20
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-640-470-000	SFR	417.89	236.32	236.32
196-640-480-000	SFR	417.89	236.32	236.32
196-640-490-000	SFR	417.89	236.32	236.32
196-640-500-000	SFR	417.89	236.32	236.32
196-650-010-000	SFR	417.89	236.32	236.32
196-650-020-000	SFR	417.89	236.32	236.32
196-650-030-000	SFR	417.89	236.32	236.32
196-650-040-000	SFR	417.89	236.32	236.32
196-650-050-000	SFR	417.89	236.32	236.32
196-650-060-000	SFR	417.89	236.32	236.32
196-650-070-000	SFR	417.89	236.32	236.32
196-650-080-000	SFR	417.89	236.32	236.32
196-650-090-000	SFR	417.89	236.32	236.32
196-650-100-000	SFR	417.89	236.32	236.32
196-650-110-000	SFR	417.89	236.32	236.32
196-650-120-000	SFR	417.89	236.32	236.32
196-650-130-000	SFR	417.89	236.32	236.32
196-650-140-000	SFR	417.89	236.32	236.32
196-650-150-000	SFR	417.89	236.32	236.32
196-650-160-000	SFR	417.89	236.32	236.32
196-650-170-000	SFR	417.89	236.32	236.32
196-650-180-000	SFR	417.89	236.32	236.32
196-650-190-000	SFR	417.89	236.32	236.32
196-650-200-000	SFR	417.89	236.32	236.32
196-650-210-000	SFR	417.89	236.32	236.32
196-650-220-000	SFR	417.89	236.32	236.32
196-650-230-000	SFR	417.89	236.32	236.32
196-650-240-000	SFR	417.89	236.32	236.32
196-650-250-000	SFR	417.89	236.32	236.32
196-650-260-000	SFR	417.89	236.32	236.32
196-650-270-000	SFR	417.89	236.32	236.32
196-650-280-000	SFR	417.89	236.32	236.32
196-650-290-000	SFR	417.89	236.32	236.32
196-650-300-000	SFR	417.89	236.32	236.32
196-650-310-000	SFR	417.89	236.32	236.32
196-650-320-000	SFR	417.89	236.32	236.32
196-650-330-000	SFR	417.89	236.32	236.32
196-650-340-000	SFR	417.89	236.32	236.32

CITY OF LATHROP
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APN	Land Use	Max Rate	Levy Rate	Levy
196-650-350-000	SFR	417.89	236.32	236.32
196-650-360-000	SFR	417.89	236.32	236.32
196-650-370-000	SFR	417.89	236.32	236.32
196-650-380-000	SFR	417.89	236.32	236.32
196-650-390-000	SFR	417.89	236.32	236.32
196-650-400-000	SFR	417.89	236.32	236.32
196-650-410-000	SFR	417.89	236.32	236.32
196-650-420-000	SFR	417.89	236.32	236.32
196-650-430-000	SFR	417.89	236.32	236.32
196-650-440-000	SFR	417.89	236.32	236.32
196-650-450-000	SFR	417.89	236.32	236.32
196-650-460-000	SFR	417.89	236.32	236.32
196-650-470-000	SFR	417.89	236.32	236.32
196-650-480-000	SFR	417.89	236.32	236.32
196-650-490-000	SFR	417.89	236.32	236.32
196-650-500-000	SFR	417.89	236.32	236.32
196-650-510-000	SFR	417.89	236.32	236.32
196-650-520-000	SFR	417.89	236.32	236.32
196-650-530-000	SFR	417.89	236.32	236.32
196-650-540-000	SFR	417.89	236.32	236.32
196-650-550-000	SFR	417.89	236.32	236.32
196-650-560-000	SFR	417.89	236.32	236.32
196-650-570-000	SFR	417.89	236.32	236.32
196-650-580-000	SFR	417.89	236.32	236.32
196-650-590-000	SFR	417.89	236.32	236.32
196-650-600-000	SFR	417.89	236.32	236.32
196-650-610-000	SFR	417.89	236.32	236.32
196-650-620-000	SFR	417.89	236.32	236.32
196-650-630-000	SFR	417.89	236.32	236.32
196-650-640-000	SFR	417.89	236.32	236.32
196-650-650-000	SFR	417.89	236.32	236.32
196-650-660-000	SFR	417.89	236.32	236.32
196-660-010-000	SFR	417.89	236.32	236.32
196-660-020-000	SFR	417.89	236.32	236.32
196-660-030-000	SFR	417.89	236.32	236.32
196-660-040-000	SFR	417.89	236.32	236.32
196-660-050-000	SFR	417.89	236.32	236.32
196-660-060-000	SFR	417.89	236.32	236.32

**CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
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PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-660-070-000	SFR	417.89	236.32	236.32
196-660-080-000	SFR	417.89	236.32	236.32
196-660-090-000	SFR	417.89	236.32	236.32
196-660-100-000	SFR	417.89	236.32	236.32
196-660-110-000	SFR	417.89	236.32	236.32
196-660-120-000	SFR	417.89	236.32	236.32
196-660-130-000	SFR	417.89	236.32	236.32
196-660-140-000	SFR	417.89	236.32	236.32
196-660-150-000	SFR	417.89	236.32	236.32
196-660-160-000	SFR	417.89	236.32	236.32
196-660-170-000	SFR	417.89	236.32	236.32
196-660-180-000	SFR	417.89	236.32	236.32
196-660-190-000	SFR	417.89	236.32	236.32
196-660-200-000	SFR	417.89	236.32	236.32
196-660-210-000	SFR	417.89	236.32	236.32
196-660-220-000	SFR	417.89	236.32	236.32
196-660-230-000	SFR	417.89	236.32	236.32
196-660-240-000	SFR	417.89	236.32	236.32
196-660-250-000	SFR	417.89	236.32	236.32
196-660-260-000	SFR	417.89	236.32	236.32
196-660-270-000	SFR	417.89	236.32	236.32
196-660-280-000	SFR	417.89	236.32	236.32
196-660-290-000	SFR	417.89	236.32	236.32
196-660-300-000	SFR	417.89	236.32	236.32
196-660-310-000	SFR	417.89	236.32	236.32
196-660-320-000	SFR	417.89	236.32	236.32
196-660-330-000	SFR	417.89	236.32	236.32
196-660-340-000	SFR	417.89	236.32	236.32
196-660-350-000	SFR	417.89	236.32	236.32
196-660-360-000	SFR	417.89	236.32	236.32
196-660-370-000	SFR	417.89	236.32	236.32
196-660-380-000	SFR	417.89	236.32	236.32
196-660-390-000	SFR	417.89	236.32	236.32
196-660-400-000	SFR	417.89	236.32	236.32
196-660-410-000	SFR	417.89	236.32	236.32
196-660-420-000	SFR	417.89	236.32	236.32
196-660-430-000	SFR	417.89	236.32	236.32
196-660-440-000	SFR	417.89	236.32	236.32

CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2019/20
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-660-450-000	SFR	417.89	236.32	236.32
196-660-460-000	SFR	417.89	236.32	236.32
196-660-470-000	SFR	417.89	236.32	236.32
196-660-500-000	SFR	417.89	236.32	236.32
196-660-530-000	SFR	417.89	236.32	236.32
196-660-540-000	SFR	417.89	236.32	236.32
196-660-550-000	SFR	417.89	236.32	236.32
196-660-560-000	SFR	417.89	236.32	236.32
196-670-010-000	SFR	417.89	236.32	236.32
196-670-020-000	SFR	417.89	236.32	236.32
196-670-030-000	SFR	417.89	236.32	236.32
196-670-040-000	SFR	417.89	236.32	236.32
196-670-050-000	SFR	417.89	236.32	236.32
196-670-060-000	SFR	417.89	236.32	236.32
196-670-070-000	SFR	417.89	236.32	236.32
196-670-080-000	SFR	417.89	236.32	236.32
196-670-090-000	SFR	417.89	236.32	236.32
196-670-100-000	SFR	417.89	236.32	236.32
196-670-110-000	SFR	417.89	236.32	236.32
196-670-120-000	SFR	417.89	236.32	236.32
196-670-130-000	SFR	417.89	236.32	236.32
196-670-140-000	SFR	417.89	236.32	236.32
196-670-150-000	SFR	417.89	236.32	236.32
196-670-160-000	SFR	417.89	236.32	236.32
196-670-170-000	SFR	417.89	236.32	236.32
196-670-180-000	SFR	417.89	236.32	236.32
196-670-190-000	SFR	417.89	236.32	236.32
196-670-200-000	SFR	417.89	236.32	236.32
196-670-210-000	SFR	417.89	236.32	236.32
196-670-220-000	SFR	417.89	236.32	236.32
196-670-230-000	SFR	417.89	236.32	236.32
196-670-240-000	SFR	417.89	236.32	236.32
196-670-250-000	SFR	417.89	236.32	236.32
196-670-260-000	SFR	417.89	236.32	236.32
196-670-270-000	SFR	417.89	236.32	236.32
196-670-280-000	SFR	417.89	236.32	236.32
196-670-290-000	SFR	417.89	236.32	236.32
196-670-300-000	SFR	417.89	236.32	236.32

CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2019/20
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-670-310-000	SFR	417.89	236.32	236.32
196-670-320-000	SFR	417.89	236.32	236.32
196-670-330-000	SFR	417.89	236.32	236.32
196-670-340-000	SFR	417.89	236.32	236.32
196-670-350-000	SFR	417.89	236.32	236.32
196-670-360-000	SFR	417.89	236.32	236.32
196-670-370-000	SFR	417.89	236.32	236.32
196-670-380-000	SFR	417.89	236.32	236.32
196-670-390-000	SFR	417.89	236.32	236.32
196-670-400-000	SFR	417.89	236.32	236.32
196-670-410-000	SFR	417.89	236.32	236.32
196-670-420-000	SFR	417.89	236.32	236.32
196-670-430-000	SFR	417.89	236.32	236.32
196-670-440-000	SFR	417.89	236.32	236.32
196-670-450-000	SFR	417.89	236.32	236.32
196-670-460-000	SFR	417.89	236.32	236.32
196-670-470-000	SFR	417.89	236.32	236.32
196-670-480-000	SFR	417.89	236.32	236.32
196-670-490-000	SFR	417.89	236.32	236.32
196-670-500-000	SFR	417.89	236.32	236.32
196-670-510-000	SFR	417.89	236.32	236.32
196-680-010-000	SFR	417.89	236.32	236.32
196-680-020-000	SFR	417.89	236.32	236.32
196-680-030-000	SFR	417.89	236.32	236.32
196-680-040-000	SFR	417.89	236.32	236.32
196-680-050-000	SFR	417.89	236.32	236.32
196-680-060-000	SFR	417.89	236.32	236.32
196-680-070-000	SFR	417.89	236.32	236.32
196-680-080-000	SFR	417.89	236.32	236.32
196-680-090-000	SFR	417.89	236.32	236.32
196-680-100-000	SFR	417.89	236.32	236.32
196-680-110-000	SFR	417.89	236.32	236.32
196-680-120-000	SFR	417.89	236.32	236.32
196-680-130-000	SFR	417.89	236.32	236.32
196-680-140-000	SFR	417.89	236.32	236.32
196-680-150-000	SFR	417.89	236.32	236.32
196-680-160-000	SFR	417.89	236.32	236.32
196-680-170-000	SFR	417.89	236.32	236.32

CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2019/20
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-680-180-000	SFR	417.89	236.32	236.32
196-680-190-000	SFR	417.89	236.32	236.32
196-680-200-000	SFR	417.89	236.32	236.32
196-680-210-000	SFR	417.89	236.32	236.32
196-680-220-000	SFR	417.89	236.32	236.32
196-680-230-000	SFR	417.89	236.32	236.32
196-680-240-000	SFR	417.89	236.32	236.32
196-680-250-000	SFR	417.89	236.32	236.32
196-680-260-000	SFR	417.89	236.32	236.32
196-680-270-000	SFR	417.89	236.32	236.32
196-680-280-000	SFR	417.89	236.32	236.32
196-680-290-000	SFR	417.89	236.32	236.32
196-680-300-000	SFR	417.89	236.32	236.32
196-680-310-000	SFR	417.89	236.32	236.32
196-680-320-000	SFR	417.89	236.32	236.32
196-680-330-000	SFR	417.89	236.32	236.32
196-680-340-000	SFR	417.89	236.32	236.32
196-680-350-000	SFR	417.89	236.32	236.32
196-680-360-000	SFR	417.89	236.32	236.32
196-680-370-000	SFR	417.89	236.32	236.32
196-680-380-000	SFR	417.89	236.32	236.32
196-680-390-000	SFR	417.89	236.32	236.32
196-680-400-000	SFR	417.89	236.32	236.32
196-680-410-000	SFR	417.89	236.32	236.32
196-680-420-000	SFR	417.89	236.32	236.32
196-680-430-000	SFR	417.89	236.32	236.32
196-680-440-000	SFR	417.89	236.32	236.32
196-680-450-000	SFR	417.89	236.32	236.32
196-680-460-000	SFR	417.89	236.32	236.32
196-680-470-000	SFR	417.89	236.32	236.32
196-680-480-000	SFR	417.89	236.32	236.32
196-680-490-000	SFR	417.89	236.32	236.32
196-680-500-000	SFR	417.89	236.32	236.32
196-680-510-000	SFR	417.89	236.32	236.32
196-680-520-000	SFR	417.89	236.32	236.32
196-680-530-000	SFR	417.89	236.32	236.32
196-680-540-000	SFR	417.89	236.32	236.32
196-680-550-000	SFR	417.89	236.32	236.32

CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2019/20
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-680-560-000	SFR	417.89	236.32	236.32
196-680-570-000	SFR	417.89	236.32	236.32
196-680-580-000	SFR	417.89	236.32	236.32
196-680-590-000	SFR	417.89	236.32	236.32
196-680-600-000	SFR	417.89	236.32	236.32
196-680-610-000	SFR	417.89	236.32	236.32
196-680-620-000	SFR	417.89	236.32	236.32
196-680-630-000	SFR	417.89	236.32	236.32
196-680-640-000	SFR	417.89	236.32	236.32
196-680-650-000	SFR	417.89	236.32	236.32
196-680-660-000	SFR	417.89	236.32	236.32
196-680-670-000	SFR	417.89	236.32	236.32
196-680-680-000	SFR	417.89	236.32	236.32
196-680-690-000	SFR	417.89	236.32	236.32
196-680-700-000	SFR	417.89	236.32	236.32
196-680-710-000	SFR	417.89	236.32	236.32
196-680-720-000	SFR	417.89	236.32	236.32
196-680-730-000	SFR	417.89	236.32	236.32
196-680-740-000	SFR	417.89	236.32	236.32
196-680-750-000	SFR	417.89	236.32	236.32
196-680-760-000	SFR	417.89	236.32	236.32
196-680-770-000	SFR	417.89	236.32	236.32
196-680-780-000	SFR	417.89	236.32	236.32
196-680-790-000	SFR	417.89	236.32	236.32
196-680-800-000	SFR	417.89	236.32	236.32
196-680-810-000	SFR	417.89	236.32	236.32
196-680-820-000	SFR	417.89	236.32	236.32
196-680-830-000	SFR	417.89	236.32	236.32
196-680-840-000	SFR	417.89	236.32	236.32
196-680-850-000	SFR	417.89	236.32	236.32
196-680-860-000	SFR	417.89	236.32	236.32
196-680-870-000	SFR	417.89	236.32	236.32
196-680-880-000	SFR	417.89	236.32	236.32
196-690-010-000	SFR	417.89	236.32	236.32
196-690-020-000	SFR	417.89	236.32	236.32
196-690-030-000	SFR	417.89	236.32	236.32
196-690-040-000	SFR	417.89	236.32	236.32
196-690-050-000	SFR	417.89	236.32	236.32

CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2019/20
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-690-060-000	SFR	417.89	236.32	236.32
196-690-070-000	SFR	417.89	236.32	236.32
196-690-080-000	SFR	417.89	236.32	236.32
196-690-090-000	SFR	417.89	236.32	236.32
196-690-100-000	SFR	417.89	236.32	236.32
196-690-110-000	SFR	417.89	236.32	236.32
196-690-120-000	SFR	417.89	236.32	236.32
196-690-130-000	SFR	417.89	236.32	236.32
196-690-140-000	SFR	417.89	236.32	236.32
196-690-150-000	SFR	417.89	236.32	236.32
196-690-160-000	SFR	417.89	236.32	236.32
196-690-170-000	SFR	417.89	236.32	236.32
196-690-180-000	SFR	417.89	236.32	236.32
196-690-190-000	SFR	417.89	236.32	236.32
196-690-200-000	SFR	417.89	236.32	236.32
196-690-210-000	SFR	417.89	236.32	236.32
196-690-220-000	SFR	417.89	236.32	236.32
196-690-230-000	SFR	417.89	236.32	236.32
196-690-240-000	SFR	417.89	236.32	236.32
196-690-250-000	SFR	417.89	236.32	236.32
196-690-260-000	SFR	417.89	236.32	236.32
196-690-270-000	SFR	417.89	236.32	236.32
196-690-280-000	SFR	417.89	236.32	236.32
196-690-290-000	SFR	417.89	236.32	236.32
196-690-300-000	SFR	417.89	236.32	236.32
196-690-310-000	SFR	417.89	236.32	236.32
196-690-320-000	SFR	417.89	236.32	236.32
196-690-330-000	SFR	417.89	236.32	236.32
196-690-340-000	SFR	417.89	236.32	236.32
196-690-350-000	SFR	417.89	236.32	236.32
196-690-360-000	SFR	417.89	236.32	236.32
196-690-370-000	SFR	417.89	236.32	236.32
196-690-380-000	SFR	417.89	236.32	236.32
196-690-390-000	SFR	417.89	236.32	236.32
196-690-400-000	SFR	417.89	236.32	236.32
196-690-410-000	SFR	417.89	236.32	236.32
196-690-420-000	SFR	417.89	236.32	236.32
196-690-430-000	SFR	417.89	236.32	236.32

CITY OF LATHROP
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FISCAL YEAR 2019/20
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-700-010-000	SFR	417.89	236.32	236.32
196-700-020-000	SFR	417.89	236.32	236.32
196-700-030-000	SFR	417.89	236.32	236.32
196-700-040-000	SFR	417.89	236.32	236.32
196-700-050-000	SFR	417.89	236.32	236.32
196-700-060-000	SFR	417.89	236.32	236.32
196-700-070-000	SFR	417.89	236.32	236.32
196-700-080-000	SFR	417.89	236.32	236.32
196-700-090-000	SFR	417.89	236.32	236.32
196-700-100-000	SFR	417.89	236.32	236.32
196-700-110-000	SFR	417.89	236.32	236.32
196-700-120-000	SFR	417.89	236.32	236.32
196-700-130-000	SFR	417.89	236.32	236.32
196-700-140-000	SFR	417.89	236.32	236.32
196-700-150-000	SFR	417.89	236.32	236.32
196-700-160-000	SFR	417.89	236.32	236.32
196-700-170-000	SFR	417.89	236.32	236.32
196-700-180-000	SFR	417.89	236.32	236.32
196-700-190-000	SFR	417.89	236.32	236.32
196-700-200-000	SFR	417.89	236.32	236.32
196-700-210-000	SFR	417.89	236.32	236.32
196-700-220-000	SFR	417.89	236.32	236.32
196-700-230-000	SFR	417.89	236.32	236.32
196-700-240-000	SFR	417.89	236.32	236.32
196-700-250-000	SFR	417.89	236.32	236.32
196-700-260-000	SFR	417.89	236.32	236.32
196-700-270-000	SFR	417.89	236.32	236.32
196-700-280-000	SFR	417.89	236.32	236.32
196-700-290-000	SFR	417.89	236.32	236.32
196-700-300-000	SFR	417.89	236.32	236.32
196-700-310-000	SFR	417.89	236.32	236.32
196-700-320-000	SFR	417.89	236.32	236.32
196-700-330-000	SFR	417.89	236.32	236.32
196-700-340-000	SFR	417.89	236.32	236.32
196-700-350-000	SFR	417.89	236.32	236.32
196-700-360-000	SFR	417.89	236.32	236.32
196-700-370-000	SFR	417.89	236.32	236.32
196-700-380-000	SFR	417.89	236.32	236.32

CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2019/20
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-700-390-000	SFR	417.89	236.32	236.32
196-700-400-000	SFR	417.89	236.32	236.32
196-700-410-000	SFR	417.89	236.32	236.32
196-700-420-000	SFR	417.89	236.32	236.32
196-700-430-000	SFR	417.89	236.32	236.32
196-700-440-000	SFR	417.89	236.32	236.32
196-700-450-000	SFR	417.89	236.32	236.32
196-700-460-000	SFR	417.89	236.32	236.32
196-700-470-000	SFR	417.89	236.32	236.32
196-700-480-000	SFR	417.89	236.32	236.32
196-700-490-000	SFR	417.89	236.32	236.32
196-700-500-000	SFR	417.89	236.32	236.32
196-700-510-000	SFR	417.89	236.32	236.32
196-700-520-000	SFR	417.89	236.32	236.32
196-700-530-000	SFR	417.89	236.32	236.32
196-700-540-000	SFR	417.89	236.32	236.32
196-700-550-000	SFR	417.89	236.32	236.32
196-700-560-000	SFR	417.89	236.32	236.32
196-700-570-000	SFR	417.89	236.32	236.32
196-700-580-000	SFR	417.89	236.32	236.32
196-700-590-000	SFR	417.89	236.32	236.32
196-700-600-000	SFR	417.89	236.32	236.32
196-700-610-000	SFR	417.89	236.32	236.32
196-700-620-000	SFR	417.89	236.32	236.32
196-700-630-000	SFR	417.89	236.32	236.32
196-700-640-000	SFR	417.89	236.32	236.32
196-700-650-000	SFR	417.89	236.32	236.32
196-700-660-000	SFR	417.89	236.32	236.32
196-700-670-000	SFR	417.89	236.32	236.32
196-700-680-000	SFR	417.89	236.32	236.32
196-700-690-000	SFR	417.89	236.32	236.32
196-700-700-000	SFR	417.89	236.32	236.32
196-700-710-000	SFR	417.89	236.32	236.32
196-710-010-000	SFR	417.89	236.32	236.32
196-710-020-000	SFR	417.89	236.32	236.32
196-710-030-000	SFR	417.89	236.32	236.32
196-710-040-000	SFR	417.89	236.32	236.32
196-710-050-000	SFR	417.89	236.32	236.32

**CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2019/20
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-710-060-000	SFR	417.89	236.32	236.32
196-710-070-000	SFR	417.89	236.32	236.32
196-710-080-000	SFR	417.89	236.32	236.32
196-710-090-000	SFR	417.89	236.32	236.32
196-710-100-000	SFR	417.89	236.32	236.32
196-710-110-000	SFR	417.89	236.32	236.32
196-710-120-000	SFR	417.89	236.32	236.32
196-710-130-000	SFR	417.89	236.32	236.32
196-710-140-000	SFR	417.89	236.32	236.32
196-710-150-000	SFR	417.89	236.32	236.32
196-710-160-000	SFR	417.89	236.32	236.32
196-710-170-000	SFR	417.89	236.32	236.32
196-710-180-000	SFR	417.89	236.32	236.32
196-710-190-000	SFR	417.89	236.32	236.32
196-710-200-000	SFR	417.89	236.32	236.32
196-710-210-000	SFR	417.89	236.32	236.32
196-710-220-000	SFR	417.89	236.32	236.32
196-710-230-000	SFR	417.89	236.32	236.32
196-710-240-000	SFR	417.89	236.32	236.32
196-710-250-000	SFR	417.89	236.32	236.32
196-710-260-000	SFR	417.89	236.32	236.32
196-710-270-000	SFR	417.89	236.32	236.32
196-710-280-000	SFR	417.89	236.32	236.32
196-710-290-000	SFR	417.89	236.32	236.32
196-710-300-000	SFR	417.89	236.32	236.32
196-710-310-000	SFR	417.89	236.32	236.32
196-710-320-000	SFR	417.89	236.32	236.32
196-710-330-000	SFR	417.89	236.32	236.32
196-710-340-000	SFR	417.89	236.32	236.32
196-710-350-000	SFR	417.89	236.32	236.32
196-710-360-000	SFR	417.89	236.32	236.32
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196-710-380-000	SFR	417.89	236.32	236.32
196-710-390-000	SFR	417.89	236.32	236.32
196-710-400-000	SFR	417.89	236.32	236.32
196-710-410-000	SFR	417.89	236.32	236.32
196-710-420-000	SFR	417.89	236.32	236.32
196-710-430-000	SFR	417.89	236.32	236.32

**CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2019/20
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-710-440-000	SFR	417.89	236.32	236.32
196-710-450-000	SFR	417.89	236.32	236.32
196-710-460-000	SFR	417.89	236.32	236.32
196-710-470-000	SFR	417.89	236.32	236.32
196-710-480-000	SFR	417.89	236.32	236.32
196-710-490-000	SFR	417.89	236.32	236.32
196-710-500-000	SFR	417.89	236.32	236.32
196-710-510-000	SFR	417.89	236.32	236.32
196-710-520-000	SFR	417.89	236.32	236.32
196-710-530-000	SFR	417.89	236.32	236.32
196-710-540-000	SFR	417.89	236.32	236.32
196-710-550-000	SFR	417.89	236.32	236.32
196-710-560-000	SFR	417.89	236.32	236.32
196-720-010-000	SFR	417.89	236.32	236.32
196-720-020-000	SFR	417.89	236.32	236.32
196-720-030-000	SFR	417.89	236.32	236.32
196-720-040-000	SFR	417.89	236.32	236.32
196-720-050-000	SFR	417.89	236.32	236.32
196-720-060-000	SFR	417.89	236.32	236.32
196-720-070-000	SFR	417.89	236.32	236.32
196-720-080-000	SFR	417.89	236.32	236.32
196-720-090-000	SFR	417.89	236.32	236.32
196-720-100-000	SFR	417.89	236.32	236.32
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196-720-130-000	SFR	417.89	236.32	236.32
196-720-140-000	SFR	417.89	236.32	236.32
196-720-150-000	SFR	417.89	236.32	236.32
196-720-160-000	SFR	417.89	236.32	236.32
196-720-170-000	SFR	417.89	236.32	236.32
196-720-180-000	SFR	417.89	236.32	236.32
196-720-190-000	SFR	417.89	236.32	236.32
196-720-200-000	SFR	417.89	236.32	236.32
196-720-210-000	SFR	417.89	236.32	236.32
196-720-220-000	SFR	417.89	236.32	236.32
196-720-230-000	SFR	417.89	236.32	236.32
196-720-240-000	SFR	417.89	236.32	236.32
196-720-250-000	SFR	417.89	236.32	236.32

**CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2019/20
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-720-260-000	SFR	417.89	236.32	236.32
196-720-270-000	SFR	417.89	236.32	236.32
196-720-280-000	SFR	417.89	236.32	236.32
196-720-290-000	SFR	417.89	236.32	236.32
196-720-300-000	SFR	417.89	236.32	236.32
196-720-310-000	SFR	417.89	236.32	236.32
196-720-320-000	SFR	417.89	236.32	236.32
196-720-330-000	SFR	417.89	236.32	236.32
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196-720-370-000	SFR	417.89	236.32	236.32
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196-720-470-000	SFR	417.89	236.32	236.32
196-720-480-000	SFR	417.89	236.32	236.32
196-720-490-000	SFR	417.89	236.32	236.32
196-720-500-000	SFR	417.89	236.32	236.32
196-720-510-000	SFR	417.89	236.32	236.32
196-720-520-000	SFR	417.89	236.32	236.32
196-720-530-000	SFR	417.89	236.32	236.32
Total:	902 Parcels			\$213,160.64

* Per City instruction this parcel is assessable.

RESOLUTION NO. 19-_____

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP
 APPROVING THE PRELIMINARY ENGINEER'S REPORTS FOR THE STORM
 DRAIN DISTRICTS ZONE 1 AND ZONE 1A AND DECLARING INTENTION TO
 LEVY ANNUAL ASSESSMENTS FOR FISCAL YEAR 2019/20**

WHEREAS, the City Council has, as successor in interest to the County of San Joaquin and the Lathrop County Water District, the authority to assess and collect storm drain charges for the Lathrop Storm Drain Districts Zone 1 and Zone 1A (hereafter referred to as the "Districts"), and initiated proceedings for Fiscal Year 2019/20, pursuant to the provisions of the *Benefit Assessment Act of 1982, Division 2, Title 5 of the California Government Code (commencing with Section 54703)* (hereafter referred to as the "Act") that provides for the levy and collection of assessments by the County of San Joaquin for the City of Lathrop to pay the maintenance and services of all improvements and facilities related thereto; and,

WHEREAS, the City Council has retained NBS, for the purpose of assisting with the Annual Levy of the Districts, and to prepare and file a report with the City Clerk in accordance with the Act; and,

WHEREAS, the City Council has previously called for the preparation of an Engineer's Report and Annual Levy Report (collectively referred to herein as the "Reports") for the districts known as the Lathrop Storm Drain Districts Zone 1 and Zone 1A; and

WHEREAS, the Reports has now been presented to the City Council; and

WHEREAS, the Reports includes the Districts' budgets and assessments and contains the data necessary to determine the special benefit conferred upon each property included in the Districts; and

WHEREAS, the City Council has carefully examined and reviewed the Reports as presented and amended on April 8, 2019, and is preliminarily satisfied with the Lathrop Storm Drain Districts Zone 1 and Zone 1A, and all of the budget items and charges, and is satisfied that the levy amounts, on a preliminary basis, have been spread in accordance with the special benefits received from the improvements, operation, maintenance and services performed in and provided by the District;

NOW, THEREFORE, BE IT RESOLVED that the following actions shall be taken:

Section 1 Intention: The City Council hereby declares that it is its intention to seek the Annual Levy of the District pursuant to the Act, over and including the land within the Districts' boundaries, and to levy and collect assessments on all such land to pay the annual costs of the improvements.

Section 2 Description of Improvements and any substantial changes proposed: The improvements within the District include: storm drainage and all necessary appurtenances. The Reports, attached hereto as Exhibit "A" and incorporated herein by this reference is hereby approved on a preliminary basis and ordered to be filed with this Resolution in the Office of the City Clerk as a permanent record. Such Reports shall remain open to public inspection. The Reports provides a full and complete description of all improvements and any or all substantial changes to the District or improvements within the District.

Section 3 Boundaries and Designation: The boundaries of the District are described as the boundaries previously defined in the formation documents of the original District, within the incorporated City Limits of the City, within the County of San Joaquin, State of California. Also described as:

Lathrop Storm Drain District Zone 1

Lathrop Storm Drain District Zone 1A

Section 4 Proposed Assessment Amounts: For Fiscal Year 2019/20, the proposed assessments are outlined in the Reports which detail any changes or increases in the annual assessment.

Section 5 Public Hearing(s): The City Council hereby declares its intention to conduct a Public Hearing annually concerning the levy of assessments for the Districts in accordance with *Chapter 3, Section 22626* of the Act and Articles XIII (C) and XIII (D) of the California Constitution.

Section 6 Notice: The City shall give notice of the time and place of the Public Hearing to all property owners within the Districts by causing the publishing of this Resolution once in a newspaper of local circulation for two consecutive weeks not less than ten (10) days before the date of the public hearing, and by posting a copy of this resolution on the official bulletin board customarily used by the City Council for the posting of notices.

Section 7 Notice of Public Hearing: Notice is hereby given that a Public Hearing on these matters will be held by the City Council on Monday, May 13, 2019, at 7:00 p.m. or as soon thereafter as feasible in the City Council Chambers, located at 390 Towne Centre Dr., Lathrop, California.

Section 8 Compliance with Article XIII(C) and XIII(D) of the California Constitution: The City Council hereby finds that the proposed assessments are exempt from the requirements for Article XIII(C) and XIII(D) of the California Constitution in that the amount of the assessment is unchanged and the assessment is imposed exclusively to finance the maintenance and operation expenses for flood control and drainage systems.

The foregoing resolution was passed and adopted this 8th day of April 2019, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSENT:

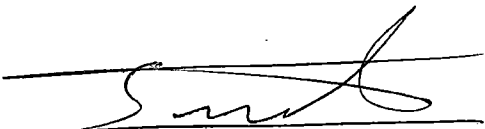
ABSTAIN:

Sonny Dhaliwal, Mayor

ATTEST:

APPROVED AS TO FORM:

Teresa Vargas, City Clerk



Salvador Navarrete, City Attorney

CITY OF LATHROP

City Zone 1 Storm Drainage Annual Engineer's Report

Fiscal Year 2019/20

OFFICE LOCATIONS:

Temecula – Corporate Headquarters
32605 Temecula Parkway, Suite 100
Temecula, CA 92592

San Francisco – Regional Office
870 Market Street, Suite 1223
San Francisco, CA 94102

California Satellite Offices
Atascadero, Davis
Huntington Beach,
Joshua Tree, Riverside
Sacramento, San Jose

www.nbsgov.com

Prepared by:



**CITY OF LATHROP
CITY ZONE 1 STORM DRAINAGE**

**390 Towne Centre Drive
Lathrop, California 95330
Phone - (209) 941-7320
Fax - (209) 941-7339**

CITY COUNCIL

Sonny Dhaliwal, Mayor

Martha Salcedo, Vice Mayor

Paul Akinjo, Councilmember

Diane Lazard, Councilmember

Jennifer Torres-O'Callaghan, Councilmember

CITY STAFF

Stephen Salvatore, City Manager

Salvador Navarrete, City Attorney

Cari James, Finance Director

Glenn Gebhardt, City Engineer

NBS

Tim Seufert, Client Services Director

Kristin Harvey, Senior Consultant

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Section 1. ENGINEER’S LETTER

WHEREAS, the City Council of the City of Lathrop (the “City”), State of California, directed NBS Government Finance Group, DBA NBS (“NBS”) to prepare and file a report presenting plans and specifications describing the general nature, location, and extent of the improvements to be maintained, and an estimate of the costs of the maintenance, operations, and servicing of the improvements for the City Zone 1 Storm Drainage (“City Zone 1” or the “District”) for Fiscal Year 2019/20. The report includes a diagram for the District showing the area and properties proposed to be assessed, an assessment of the estimated costs of the maintenance, operations, and servicing of the improvements, and the net amount to be assessed upon all assessable parcels within the District in proportion to the special benefit received;

WHEREAS, the assessment for City Zone 1 for Fiscal Year 1996/97 and thereafter of \$112.52 per unit meets the requirements of an existing assessment that is not subject to the assessment ballot procedures under Section 5(a) of Article XIII D of the California Constitution which reads: “the following assessments existing on the effective date of this article shall be exempt from the procedures and approval process...any assessment imposed exclusively to finance the capital costs or maintenance and operation expenses for sidewalks, streets, sewers, water, flood control, drainage systems or vector control”. The City may continue to levy the assessment for City Zone 1 as long as the rate does not exceed \$112.52 per unit;

NOW THEREFORE, only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated benefit received. The following assessment is made to fund the portion of the estimated costs of maintenance, operation and servicing of the improvements to be paid by the assessable real property within City Zone 1 in proportion to the special benefit received:

SUMMARY OF ASSESSMENT

Description	Amount
Total Costs	\$292,510.00
Contribution to (from) Operational Reserves	(53,368.00)
Contribution to (from) Capital Reserves	0.00
Other Revenue Sources	<u>0.00</u>
Total Costs to be Assessed (1)	\$239,142.00
Total Units to be Assessed	2,125.325
Total Assessment per Unit	\$112.52
Total Parcels to be Assessed	2,081

(1) Where applicable, the actual levy will be rounded to an even amount for San Joaquin County tax roll purposes.

I, the undersigned, respectfully submit the enclosed Engineer's Report and, to the best of my knowledge, information, and belief, the Engineer's Report, Assessments, and the District Diagram herein have been prepared and computed in accordance with the order and historical practices of the City Council of the City.

NBS Government Finance Group, DBA NBS

Section 2. OVERVIEW

Introduction

The City Council of the City of Lathrop, previously accepted responsibility for portions of County Service Area (“CSA”) No. 4, Zones A & B. Zone A and B of CSA No. 4 became City Zone 1 Storm Drainage pursuant to Ballot Measure A, upon incorporation of the City on June 6, 1989. The City was authorized by the Local Agency Formation Commission (“LAFCO”) to continue the levy and collection of storm drainage assessments, as was previously authorized by the County of San Joaquin (the “County”).

This Annual Engineer’s Report (the “Report”) describes the District and the assessment per parcel for Fiscal Year 2019/20 based on the historical and estimated cost to maintain the improvements and provide the services that benefit parcels within the District. The parcels contained within City Zone 1 receive a special benefit from the improvements and will pay only their fair share of the costs of the operations, servicing, and maintenance of the improvements within the District.

The word “parcel,” for the purposes of this Report, refers to an individual property assigned its own Assessor’s Parcel Number by the San Joaquin County Assessor’s Office. The San Joaquin County Auditor-Controller uses Assessor’s Parcel Numbers and specific fund numbers to identify, on the tax roll, properties assessed for special district benefit assessments.

Following consideration of public comments and written protests at a noticed public hearing, and following review of the Report, the City Council may confirm the Report. Following final approval of the Report and confirmation of the assessments, the City Council may order the levy and collection of assessments for Fiscal Year 2019/20. The assessment information will be submitted to the County Auditor-Controller and included on the property tax roll for each benefiting parcel for Fiscal Year 2019/20.

Effect of Proposition 218

On November 5, 1996, California voters approved Proposition 218 by a vote of 56.5% to 43.5%. The provisions of the Proposition, now California Constitutional Articles XIII C and XIII D, added substantive and procedural requirements for assessments which affect City Zone 1.

- The assessment for City Zone 1 for Fiscal Year 1996/97 and thereafter of \$112.52 per unit meets the requirements of an existing assessment that is not subject to the assessment ballot procedures under Section 5(a) of the Proposition which reads: “the following assessments existing on the effective date of this article shall be exempt from the procedures and approval process...any assessment imposed exclusively to finance the capital costs or maintenance and operation expenses for sidewalks, streets, sewers, water, flood control, drainage systems or vector control”.
- The City may continue to levy the assessment for City Zone 1 as long as the rate does not exceed \$112.52 per unit.

- Section 5 of Article XIII D reads: *“Beginning July 1, 1997, all existing, new, or increased assessments shall comply with this article.”* This requires that all proposed increases in the assessments for City Zone 1A are required to be approved by property owners following the assessment balloting procedures set forth in Section 4 of Article XIII D.

Plans and Specifications for the Improvements

City Zone 1 provides services necessary to maintain existing storm drain facilities in addition to long-term repair and renovation of the facilities. The District encompasses most of the area north of Louise Avenue, east of Interstate 5, and west of the Southern Pacific Railroad.

All improvements within the District are maintained and serviced on a regular basis. The frequency and specific maintenance operations required within the District are determined by City staff, but are generally scheduled weekly. It should be noted that extraordinary maintenance and capital asset replacement has not occurred for several years due to the lack of funding beyond that which provides for the District’s ordinary, baseline maintenance. The District has been limited to the same assessment rate since District formation because of the absence of an annual cost escalation factor.

Section 3. ESTIMATE OF COSTS

Description of Budget Items

Personnel Services - Includes employee salaries, salary related costs, and employee benefits including retirement, medical benefits, and workers compensation costs, etc.

Maintenance & Operations - Includes the following:

Advertising/Legal Notices - Includes the cost of publishing the required legal notices necessary to complete the required procedures for levying the assessments.

Alarm Service - Includes servicing the alarm at corporation yard on 7th Street.

Auto & Heavy Equipment Maintenance Parts - Includes replacement parts for City vehicles used for storm drain maintenance including tires, safety lights, and engine tune-ups.

Auto & Heavy Equipment Maintenance & Repair - Includes maintenance of City vehicles used for storm drain maintenance.

Chemicals - Includes insect repellent, weed killer, and rodent control.

Communication Equipment Repair - Includes repair of electronic components, power cords, and mobile and portable radios.

Contract - Other - Includes uniform service, hazardous waste dump fees, Sheriff's Community Corp., and the cost to recondition one pump and motor.

Contract Services - Includes professional services necessary for District maintenance, including trees and landscaping, park maintenance, equipment rental, computer technical support, the preparation of the Report, and administration.

Equipment Rental - Includes miscellaneous equipment rental, which the City does not own.

Gas, Diesel, Oil & Lubricants - Includes fuel, oil and lubricants for vehicles, and miscellaneous small equipment used for storm drain maintenance.

Insurance - Includes insurance costs for vehicles and property associated with storm drain maintenance.

Maintenance & Repair - Includes contracted maintenance and repair services such as annual fire extinguisher service and emergency repairs.

Materials & Supplies - Includes first aid supplies.

Miscellaneous Supplies - Includes office equipment and supplies, custodial supplies, parts, tools, reference materials, and additional administrative costs.

Other Maintenance & Repair - Includes items related to non-contracted maintenance and repair such as barricade batteries, paint, collection line repair, cones, signs, etc.

Printing & Typesetting - Includes the cost of preparing the required legal notices necessary to complete the required procedures for levying the assessments.

Shop Tools - Includes miscellaneous small tools necessary for storm drain maintenance such as shovels, weed eaters, and a shop vacuum.

Training, Membership, Travel & Dues - Includes continuing training for maintenance staff.

Uniforms/Protective Clothing - Includes employee uniforms including safety boots, jackets, gloves, etc.

Utilities - Gas & Electric - Includes gas and electrical power for the maintenance office at 7th Street and for the storm drain pump stations.

Water Service - Includes water for the storm drain pump stations.

Fixed Charges & Special Fees - Includes the charges per parcel to place the assessments on the County Secured Property Tax Roll.

Capital - Includes the payment for lease purchase of storm drain vehicles and portable pump equipment purchased over five year lease.

Indirect Costs - Includes overhead costs of the City related to maintenance, operation, and administration of the District.

City Zone 1 Budget

The budget for Fiscal Year 2019/20 is as follows.

Description	2019/20 Budget
Personnel Services Total	\$131,025.00
Maintenance & Operations Total	118,787.00
Capital Total	<u>0.00</u>
Budget Total	\$249,812.00
Indirect Costs	42,698.00
Equipment Replacement	<u>0.00</u>
Total District Costs	\$292,510.00
Contribution to (from) Operational Reserves	(53,368.00)
Contribution to (from) Capital Reserves	0.00
Other Revenue Sources	<u>0.00</u>
Balance to Levy (1)	\$239,142.00

(1) Where applicable, the actual levy will be rounded to an even amount for San Joaquin County tax roll purposes.

Balance to Levy

Total District Costs - Includes the personnel services, maintenance and operations, capital costs, and indirect costs determined above.

Contribution to (from) Operational Reserves - The Operational Reserves item provides funds to operate the District from the time period of July 1 (beginning of the fiscal year) through December when the County provides the City with the first installment of assessments collected from the property tax bills. This eliminates the need for the City to transfer funds from non-District accounts to pay for District charges during the first half of the fiscal year. Negative amounts shown here are transfers that are used to reduce the Balance to Levy. Using reserve amounts in this way allows the levy per unit to remain at prior period rates, although District costs have increased.

Contribution to (from) Capital Reserves - The Capital Reserve Account item provides funds to maintain reserves for extraordinary maintenance items and unexpected capital expenditures that may occur as a result of natural occurrences or other unforeseen circumstances.

Other Revenue Sources - This is the amount of funds designated for use by the District that are not from District assessments. These funds are added to the District account to reduce assessments and may be from either non-District sources including City General Fund contributions or District sources including interest earnings.

Balance to Levy - This is the total amount to be levied and collected through assessments for the current fiscal year. The Balance to Levy represents the sum of the total direct and administration costs, reserves, contributions, and other revenue sources.

The following table shows the total costs, additional revenues, and the balance to the Fiscal Year 2019/20 levy.

Description	Amount
Total District Costs	\$292,510.00
Contribution to (from) Operational Reserves	(53,368.00)
Contribution to (from) Capital Reserves	0.00
Other Revenue Sources	<u>0.00</u>
Balance to Levy (1)	\$239,142.00

(1) Where applicable, the actual levy will be rounded to an even amount for San Joaquin County tax roll purposes.

Operational & Maintenance Reserve Information

The following table shows the estimated balance of the Operational and Maintenance Reserves.

Description	Amount
Estimated Beginning Balance - June 30, 2019	\$152,988.54
Contribution to (from) Operational and Maintenance Reserves	<u>(53,368.00)</u>
Estimated Ending Balance - June 30, 2020	\$99,620.54

Section 4. METHOD OF APPORTIONMENT

Method of Apportionment

The costs of the District are apportioned by a formula or method which fairly distributes the net amount to be assessed among all assessable parcels in proportion to the estimated benefits to be received by each such parcel from the operations, servicing, and maintenance of improvements.

Properties are assessed for the estimated benefit received from the acceptance of storm water run off from private property into the storm drain system, as well as improved ingress and egress to and from the property. All assessable parcels within the District will be assessed their proportional share of the costs of operations, servicing, and maintenance of the storm drain system, based upon their relative size.

All property owners in the District benefit from streets that are kept free from standing storm water. Therefore, the costs related to those streets contributing run off into the system will be borne proportionately by all assessable parcels in the District. The assessment has been levied in accordance with the assessment methodology adopted and approved by the City Council at the time of District formation.

The method used to calculate the assessments is as follows:

$$\text{District Budget} / \text{Total Assessable District Units} = \text{Assessment Rate Per Unit}$$

$$\text{Assessment Rate Per Unit} \times \text{Parcel Units} = \text{Parcel Assessment}$$

The Units are calculated as the parcel's specific acreage. Parcels that are less than or equal to one acre are assessed as one unit. Parcels that are greater than one acre are assigned units equal to their actual acreage. The Maximum Assessment Rate Per Unit is \$112.52.

Assessment Per Unit

The following table shows the assessment per unit for the Fiscal Year 2019/20 levy.

Description	Amount
Balance to Levy (1)	\$239,142.00
Assessable District Units	2,125.325
Total Assessment Rate Per Unit	\$112.52

(1) Where applicable, the actual levy will be rounded to an even amount for County tax roll purposes.

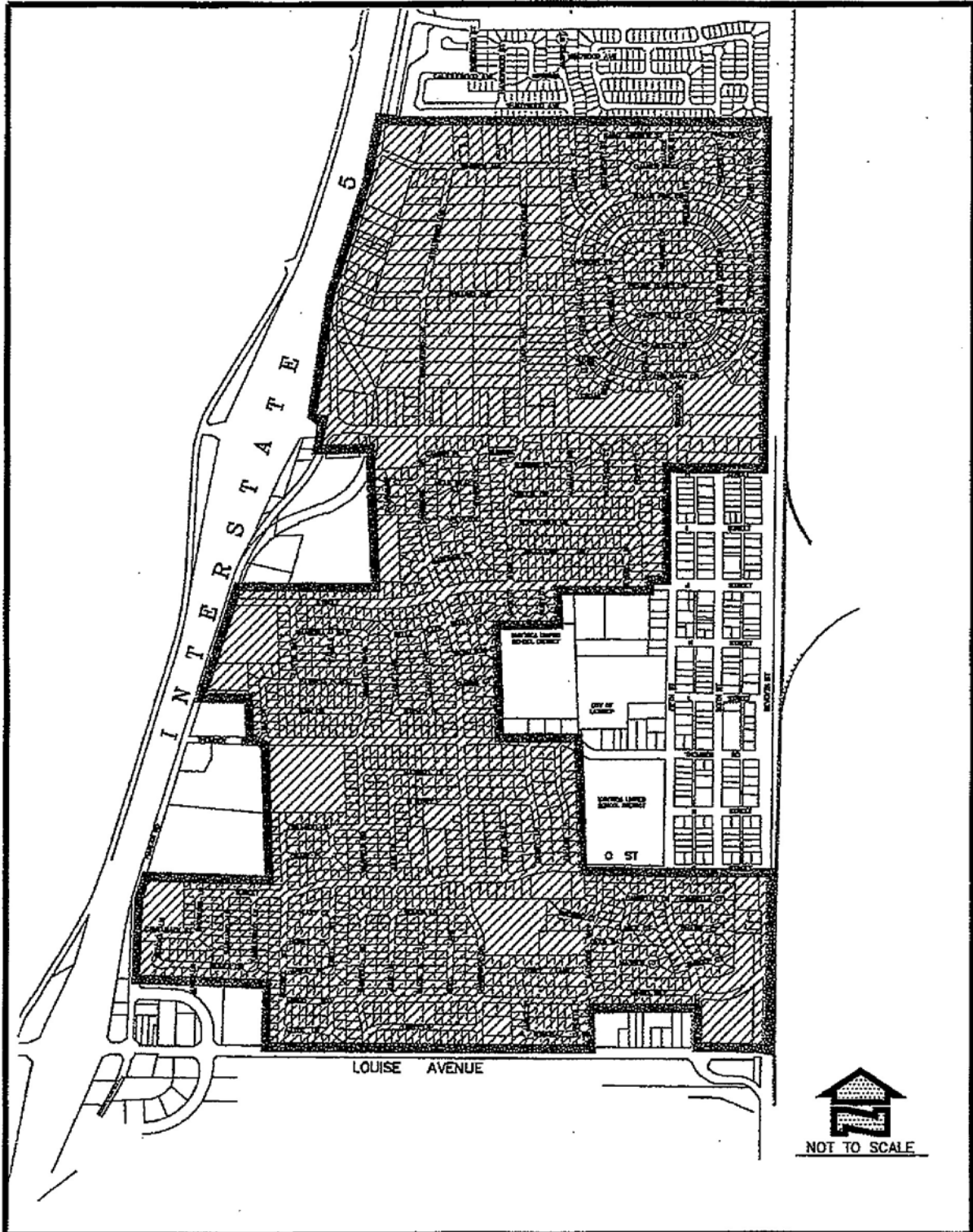
Historical Assessment Information

The following table shows the historical assessment rates for the District for the past ten years.

Description	Amount
Fiscal Year 2018/19 Assessment Per Unit	\$112.52
Fiscal Year 2017/18 Assessment Per Unit	112.52
Fiscal Year 2016/17 Assessment Per Unit	112.52
Fiscal Year 2015/16 Assessment Per Unit	112.52
Fiscal Year 2014/15 Assessment Per Unit	112.52
Fiscal Year 2013/14 Assessment Per Unit	112.52
Fiscal Year 2012/13 Assessment Per Unit	112.52
Fiscal Year 2011/12 Assessment Per Unit	112.52
Fiscal Year 2010/11 Assessment Per Unit	112.52
Fiscal Year 2009/10 Assessment Per Unit	112.52

Section 5. DISTRICT DIAGRAM

Reference is made to the District Diagram on file with the City Clerk. The following page provides the boundaries of the District. The lines and dimensions shown on maps of the County Assessor for the current year are incorporated by reference and made part of this Report.



City of Lathrop
 Storm Drain Zone 1

Date: February 1999

Section 6. **PARCEL LISTING**

The parcel listing of assessments is provided on the following pages. The description of each lot or parcel is a part of the records of the County Assessor and is incorporated by reference and made part of this Report.

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 201920
PARCEL LISTING

Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-050-020-000	SFR	0.384	1.000	\$112.52	\$112.52
Zone 1	196-050-040-000	SFR	0.237	1.000	112.52	112.52
Zone 1	196-050-050-000	SFR	1.002	1.002	112.52	112.74
Zone 1	196-050-090-000	SFR	0.999	1.000	112.52	112.52
Zone 1	196-050-100-000	SFR	0.999	1.000	112.52	112.52
Zone 1	196-050-110-000	SFR	0.633	1.000	112.52	112.52
Zone 1	196-050-120-000	SFR	0.633	1.000	112.52	112.52
Zone 1	196-050-130-000	SFR	0.647	1.000	112.52	112.52
Zone 1	196-050-140-000	SFR	0.172	1.000	112.52	112.52
Zone 1	196-050-150-000	SFR	0.995	1.000	112.52	112.52
Zone 1	196-050-160-000	SFR	1.045	1.045	112.52	117.58
Zone 1	196-050-170-000	SFR	1.037	1.037	112.52	116.68
Zone 1	196-050-180-000	SFR	0.996	1.000	112.52	112.52
Zone 1	196-050-190-000	SFR	1.041	1.041	112.52	117.12
Zone 1	196-050-230-000	SFR	0.259	1.000	112.52	112.52
Zone 1	196-050-240-000	SFR	0.383	1.000	112.52	112.52
Zone 1	196-050-250-000	SFR	0.259	1.000	112.52	112.52
Zone 1	196-050-260-000	SFR	0.279	1.000	112.52	112.52
Zone 1	196-050-270-000	SFR	0.988	1.000	112.52	112.52
Zone 1	196-050-280-000	SFR	0.968	1.000	112.52	112.52
Zone 1	196-050-290-000	MFR	0.995	1.000	112.52	112.52
Zone 1	196-050-300-000	SFR	0.974	1.000	112.52	112.52
Zone 1	196-050-310-000	SFR	0.995	1.000	112.52	112.52
Zone 1	196-050-320-000	SFR	0.972	1.000	112.52	112.52
Zone 1	196-050-330-000	SFR	0.999	1.000	112.52	112.52
Zone 1	196-050-340-000	SFR	0.990	1.000	112.52	112.52
Zone 1	196-050-350-000	SFR	1.008	1.008	112.52	113.42
Zone 1	196-050-360-000	SFR	1.013	1.013	112.52	113.98
Zone 1	196-050-370-000	SFR	0.357	1.000	112.52	112.52
Zone 1	196-050-380-000	SFR	0.199	1.000	112.52	112.52
Zone 1	196-050-390-000	SFR	0.204	1.000	112.52	112.52
Zone 1	196-050-400-000	SFR	0.528	1.000	112.52	112.52
Zone 1	196-050-410-000	SFR	0.530	1.000	112.52	112.52
Zone 1	196-050-420-000	MFR	0.530	1.000	112.52	112.52
Zone 1	196-050-430-000	SFR	0.530	1.000	112.52	112.52
Zone 1	196-050-440-000	SFR	0.530	1.000	112.52	112.52
Zone 1	196-050-450-000	SFR	0.268	1.000	112.52	112.52
Zone 1	196-050-460-000	SFR	0.259	1.000	112.52	112.52
Zone 1	196-050-490-000	SFR	0.298	1.000	112.52	112.52
Zone 1	196-050-500-000	COM	1.030	1.030	112.52	115.90
Zone 1	196-050-510-000	SFR	1.008	1.008	112.52	113.42
Zone 1	196-050-520-000	SFR	1.029	1.029	112.52	115.78
Zone 1	196-050-530-000	SFR	1.015	1.015	112.52	114.20
Zone 1	196-050-540-000	MFR	0.999	1.000	112.52	112.52
Zone 1	196-050-560-000	SFR	0.247	1.000	112.52	112.52
Zone 1	196-050-570-000	SFR	0.247	1.000	112.52	112.52
Zone 1	196-050-580-000	SFR	0.242	1.000	112.52	112.52
Zone 1	196-050-590-000	SFR	0.179	1.000	112.52	112.52
Zone 1	196-050-600-000	SFR	0.364	1.000	112.52	112.52
Zone 1	196-050-610-000	SFR	0.170	1.000	112.52	112.52
Zone 1	196-050-620-000	SFR	0.136	1.000	112.52	112.52
Zone 1	196-050-630-000	SFR	0.128	1.000	112.52	112.52
Zone 1	196-050-640-000	SFR	0.161	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 201920
PARCEL LISTING

Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-050-660-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-050-680-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-050-690-000	SFR	1.548	1.548	112.52	174.18
Zone 1	196-050-700-000	SFR	0.185	1.000	112.52	112.52
Zone 1	196-050-710-000	SFR	0.193	1.000	112.52	112.52
Zone 1	196-060-010-000	SFR	0.217	1.000	112.52	112.52
Zone 1	196-060-020-000	SFR	0.217	1.000	112.52	112.52
Zone 1	196-060-030-000	SFR	0.217	1.000	112.52	112.52
Zone 1	196-060-040-000	SFR	0.176	1.000	112.52	112.52
Zone 1	196-060-050-000	SFR	0.165	1.000	112.52	112.52
Zone 1	196-070-010-000	COM	1.790	1.790	112.52	201.40
Zone 1	196-070-070-000	SFR	0.114	1.000	112.52	112.52
Zone 1	196-070-080-000	SFR	0.114	1.000	112.52	112.52
Zone 1	196-070-090-000	SFR	0.161	1.000	112.52	112.52
Zone 1	196-070-100-000	SFR	0.166	1.000	112.52	112.52
Zone 1	196-070-110-000	SFR	0.320	1.000	112.52	112.52
Zone 1	196-070-120-000	SFR	0.240	1.000	112.52	112.52
Zone 1	196-070-130-000	COM	0.060	1.000	112.52	112.52
Zone 1	196-070-140-000	COM	1.030	1.030	112.52	115.90
Zone 1	196-070-150-000	SFR	0.350	1.000	112.52	112.52
Zone 1	196-070-160-000	COM	0.172	1.000	112.52	112.52
Zone 1	196-070-170-000	COM	0.149	1.000	112.52	112.52
Zone 1	196-070-180-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-070-190-000	COM	0.172	1.000	112.52	112.52
Zone 1	196-070-200-000	SFR	0.688	1.000	112.52	112.52
Zone 1	196-070-210-000	COM	0.819	1.000	112.52	112.52
Zone 1	196-070-220-000	COM	3.000	3.000	112.52	337.56
Zone 1	196-070-230-000	COM	0.040	1.000	112.52	112.52
Zone 1	196-070-240-000	COM	0.980	1.000	112.52	112.52
Zone 1	196-070-250-000	COM	0.703	1.000	112.52	112.52
Zone 1	196-070-270-000	GVT*	0.229	1.000	112.52	112.52
Zone 1	196-070-280-000	SFR	0.114	1.000	112.52	112.52
Zone 1	196-070-290-000	SFR	0.114	1.000	112.52	112.52
Zone 1	196-070-300-000	COM	1.628	1.628	112.52	183.18
Zone 1	196-080-010-000	SFR	0.159	1.000	112.52	112.52
Zone 1	196-080-020-000	SFR	0.265	1.000	112.52	112.52
Zone 1	196-080-030-000	SFR	0.449	1.000	112.52	112.52
Zone 1	196-080-040-000	SFR	1.120	1.120	112.52	126.02
Zone 1	196-080-050-000	SFR	1.170	1.170	112.52	131.64
Zone 1	196-080-070-000	COM	0.694	1.000	112.52	112.52
Zone 1	196-080-160-000	SFR	0.250	1.000	112.52	112.52
Zone 1	196-080-170-000	COM	0.250	1.000	112.52	112.52
Zone 1	196-080-180-000	SFR	0.247	1.000	112.52	112.52
Zone 1	196-080-190-000	SFR	0.252	1.000	112.52	112.52
Zone 1	196-080-210-000	SFR	1.000	1.000	112.52	112.52
Zone 1	196-080-220-000	SFR	0.500	1.000	112.52	112.52
Zone 1	196-080-230-000	SFR	0.500	1.000	112.52	112.52
Zone 1	196-080-240-000	SFR	1.000	1.000	112.52	112.52
Zone 1	196-080-260-000	SFR	1.500	1.500	112.52	168.78
Zone 1	196-080-270-000	SFR	0.500	1.000	112.52	112.52
Zone 1	196-080-280-000	SFR	0.318	1.000	112.52	112.52
Zone 1	196-080-290-000	COM	0.120	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 201920
PARCEL LISTING

Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-080-300-000	SFR	0.500	1.000	112.52	112.52
Zone 1	196-080-310-000	MFR	1.000	1.000	112.52	112.52
Zone 1	196-080-320-000	SFR	1.000	1.000	112.52	112.52
Zone 1	196-080-330-000	SFR	0.247	1.000	112.52	112.52
Zone 1	196-080-340-000	SFR	0.252	1.000	112.52	112.52
Zone 1	196-080-350-000	SFR	0.500	1.000	112.52	112.52
Zone 1	196-080-360-000	SFR	1.000	1.000	112.52	112.52
Zone 1	196-080-380-000	SFR	1.000	1.000	112.52	112.52
Zone 1	196-080-390-000	SFR	1.080	1.080	112.52	121.52
Zone 1	196-080-400-000	SFR	1.000	1.000	112.52	112.52
Zone 1	196-080-410-000	SFR	1.000	1.000	112.52	112.52
Zone 1	196-080-420-000	SFR	0.484	1.000	112.52	112.52
Zone 1	196-080-430-000	MFR	0.515	1.000	112.52	112.52
Zone 1	196-080-440-000	SFR	1.000	1.000	112.52	112.52
Zone 1	196-080-450-000	SFR	0.248	1.000	112.52	112.52
Zone 1	196-080-460-000	SFR	0.251	1.000	112.52	112.52
Zone 1	196-080-470-000	SFR	0.234	1.000	112.52	112.52
Zone 1	196-080-480-000	SFR	0.263	1.000	112.52	112.52
Zone 1	196-080-490-000	SFR	0.286	1.000	112.52	112.52
Zone 1	196-080-500-000	MFR	0.287	1.000	112.52	112.52
Zone 1	196-080-510-000	MFR	0.298	1.000	112.52	112.52
Zone 1	196-080-520-000	SFR	0.941	1.000	112.52	112.52
Zone 1	196-080-530-000	SFR	0.500	1.000	112.52	112.52
Zone 1	196-080-540-000	SFR	0.500	1.000	112.52	112.52
Zone 1	196-080-550-000	MFR	0.500	1.000	112.52	112.52
Zone 1	196-080-560-000	MFR	0.492	1.000	112.52	112.52
Zone 1	196-080-570-000	MFR	0.473	1.000	112.52	112.52
Zone 1	196-080-580-000	MFR	0.479	1.000	112.52	112.52
Zone 1	196-080-590-000	SFR	0.479	1.000	112.52	112.52
Zone 1	196-080-600-000	SFR	0.348	1.000	112.52	112.52
Zone 1	196-080-610-000	MFR	0.500	1.000	112.52	112.52
Zone 1	196-080-620-000	SFR	0.333	1.000	112.52	112.52
Zone 1	196-080-630-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-080-640-000	MFR	0.500	1.000	112.52	112.52
Zone 1	196-080-650-000	SFR	0.458	1.000	112.52	112.52
Zone 1	196-080-660-000	SFR	1.033	1.033	112.52	116.22
Zone 1	196-080-670-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-080-680-000	SFR	0.169	1.000	112.52	112.52
Zone 1	196-080-690-000	SFR	0.179	1.000	112.52	112.52
Zone 1	196-080-700-000	COM	1.162	1.162	112.52	130.74
Zone 1	196-080-710-000	COM	0.860	1.000	112.52	112.52
Zone 1	196-080-720-000	SFR	0.250	1.000	112.52	112.52
Zone 1	196-080-730-000	SFR	0.750	1.000	112.52	112.52
Zone 1	196-080-770-000	COM	2.020	2.020	112.52	227.28
Zone 1	196-080-780-000	COM	0.559	1.000	112.52	112.52
Zone 1	196-080-790-000	COM	0.803	1.000	112.52	112.52
Zone 1	196-080-800-000	SFR	0.696	1.000	112.52	112.52
Zone 1	196-090-010-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-020-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-030-000	SFR	0.146	1.000	112.52	112.52
Zone 1	196-090-040-000	SFR	0.152	1.000	112.52	112.52
Zone 1	196-090-050-000	SFR	0.155	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 201920
PARCEL LISTING

Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-090-060-000	SFR	0.155	1.000	112.52	112.52
Zone 1	196-090-070-000	SFR	0.155	1.000	112.52	112.52
Zone 1	196-090-080-000	SFR	0.158	1.000	112.52	112.52
Zone 1	196-090-090-000	SFR	0.173	1.000	112.52	112.52
Zone 1	196-090-100-000	SFR	0.146	1.000	112.52	112.52
Zone 1	196-090-110-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-090-120-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-130-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-140-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-150-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-160-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-170-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-180-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-190-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-200-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-210-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-220-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-230-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-240-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-090-250-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-090-260-000	SFR	0.141	1.000	112.52	112.52
Zone 1	196-090-270-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-280-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-290-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-090-300-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-090-310-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-320-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-330-000	SFR	0.145	1.000	112.52	112.52
Zone 1	196-090-340-000	SFR	0.147	1.000	112.52	112.52
Zone 1	196-090-350-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-090-360-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-370-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-380-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-390-000	SFR	0.199	1.000	112.52	112.52
Zone 1	196-090-400-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-090-410-000	SFR	0.141	1.000	112.52	112.52
Zone 1	196-090-420-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-090-430-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-090-440-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-090-450-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-090-460-000	SFR	0.141	1.000	112.52	112.52
Zone 1	196-090-470-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-090-480-000	SFR	0.206	1.000	112.52	112.52
Zone 1	196-090-490-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-090-500-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-090-510-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-520-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-090-530-000	SFR	0.152	1.000	112.52	112.52
Zone 1	196-090-540-000	SFR	0.147	1.000	112.52	112.52
Zone 1	196-090-550-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-560-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-090-570-000	SFR	0.138	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 201920
PARCEL LISTING

Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-090-580-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-090-590-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-090-600-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-090-610-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-090-620-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-090-630-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-090-640-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-090-650-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-090-660-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-090-670-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-090-680-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-090-690-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-700-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-710-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-090-720-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-090-730-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-740-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-750-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-760-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-770-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-780-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-790-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-800-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-810-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-820-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-830-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-840-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-850-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-860-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-090-870-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-090-880-000	SFR	0.159	1.000	112.52	112.52
Zone 1	196-090-890-000	SFR	0.155	1.000	112.52	112.52
Zone 1	196-100-010-000	SFR	0.158	1.000	112.52	112.52
Zone 1	196-100-020-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-100-030-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-100-040-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-100-050-000	SFR	0.164	1.000	112.52	112.52
Zone 1	196-100-060-000	SFR	0.157	1.000	112.52	112.52
Zone 1	196-100-070-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-100-080-000	SFR	0.157	1.000	112.52	112.52
Zone 1	196-100-090-000	SFR	0.166	1.000	112.52	112.52
Zone 1	196-100-100-000	SFR	0.222	1.000	112.52	112.52
Zone 1	196-100-110-000	SFR	0.185	1.000	112.52	112.52
Zone 1	196-100-120-000	SFR	0.182	1.000	112.52	112.52
Zone 1	196-100-130-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-100-140-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-100-150-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-100-160-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-100-170-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-100-180-000	SFR	0.193	1.000	112.52	112.52
Zone 1	196-100-190-000	SFR	0.150	1.000	112.52	112.52
Zone 1	196-100-200-000	SFR	0.151	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
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PARCEL LISTING

Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-100-210-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-100-220-000	SFR	0.197	1.000	112.52	112.52
Zone 1	196-100-230-000	SFR	0.177	1.000	112.52	112.52
Zone 1	196-100-240-000	SFR	0.154	1.000	112.52	112.52
Zone 1	196-100-250-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-100-260-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-100-270-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-100-280-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-100-290-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-100-300-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-100-310-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-100-320-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-100-330-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-100-340-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-100-350-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-100-360-000	SFR	0.176	1.000	112.52	112.52
Zone 1	196-100-370-000	SFR	0.160	1.000	112.52	112.52
Zone 1	196-100-380-000	SFR	0.150	1.000	112.52	112.52
Zone 1	196-100-390-000	SFR	0.150	1.000	112.52	112.52
Zone 1	196-100-400-000	SFR	0.150	1.000	112.52	112.52
Zone 1	196-100-410-000	SFR	0.150	1.000	112.52	112.52
Zone 1	196-100-420-000	SFR	0.150	1.000	112.52	112.52
Zone 1	196-100-430-000	SFR	0.150	1.000	112.52	112.52
Zone 1	196-100-440-000	SFR	0.146	1.000	112.52	112.52
Zone 1	196-100-450-000	SFR	0.147	1.000	112.52	112.52
Zone 1	196-100-460-000	SFR	0.147	1.000	112.52	112.52
Zone 1	196-100-470-000	SFR	0.147	1.000	112.52	112.52
Zone 1	196-100-480-000	SFR	0.147	1.000	112.52	112.52
Zone 1	196-100-490-000	SFR	0.141	1.000	112.52	112.52
Zone 1	196-100-500-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-100-510-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-100-520-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-100-530-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-100-540-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-100-550-000	SFR	0.147	1.000	112.52	112.52
Zone 1	196-100-560-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-100-570-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-100-580-000	SFR	0.155	1.000	112.52	112.52
Zone 1	196-100-590-000	SFR	0.155	1.000	112.52	112.52
Zone 1	196-100-600-000	SFR	0.155	1.000	112.52	112.52
Zone 1	196-100-610-000	SFR	0.155	1.000	112.52	112.52
Zone 1	196-100-620-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-100-630-000	SFR	0.153	1.000	112.52	112.52
Zone 1	196-100-640-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-100-650-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-100-660-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-100-670-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-100-680-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-100-690-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-100-700-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-100-710-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-100-720-000	SFR	0.137	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
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PARCEL LISTING

Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-100-730-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-100-740-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-100-750-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-100-760-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-100-770-000	SFR	0.141	1.000	112.52	112.52
Zone 1	196-100-780-000	SFR	0.141	1.000	112.52	112.52
Zone 1	196-120-010-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-120-020-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-120-030-000	SFR	0.145	1.000	112.52	112.52
Zone 1	196-120-040-000	SFR	0.153	1.000	112.52	112.52
Zone 1	196-120-050-000	SFR	0.145	1.000	112.52	112.52
Zone 1	196-120-060-000	SFR	0.191	1.000	112.52	112.52
Zone 1	196-120-070-000	SFR	0.158	1.000	112.52	112.52
Zone 1	196-120-080-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-120-090-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-120-100-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-120-110-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-120-120-000	SFR	0.132	1.000	112.52	112.52
Zone 1	196-120-130-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-120-140-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-120-150-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-120-160-000	SFR	0.158	1.000	112.52	112.52
Zone 1	196-120-170-000	SFR	0.131	1.000	112.52	112.52
Zone 1	196-120-180-000	SFR	0.130	1.000	112.52	112.52
Zone 1	196-120-190-000	SFR	0.130	1.000	112.52	112.52
Zone 1	196-120-200-000	SFR	0.130	1.000	112.52	112.52
Zone 1	196-120-210-000	SFR	0.130	1.000	112.52	112.52
Zone 1	196-120-220-000	SFR	0.132	1.000	112.52	112.52
Zone 1	196-120-230-000	SFR	0.133	1.000	112.52	112.52
Zone 1	196-120-240-000	SFR	0.132	1.000	112.52	112.52
Zone 1	196-120-250-000	SFR	0.134	1.000	112.52	112.52
Zone 1	196-120-260-000	SFR	0.135	1.000	112.52	112.52
Zone 1	196-120-270-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-120-280-000	SFR	0.135	1.000	112.52	112.52
Zone 1	196-120-290-000	SFR	0.201	1.000	112.52	112.52
Zone 1	196-120-300-000	SFR	0.173	1.000	112.52	112.52
Zone 1	196-120-310-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-120-320-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-120-330-000	SFR	0.141	1.000	112.52	112.52
Zone 1	196-120-340-000	SFR	0.204	1.000	112.52	112.52
Zone 1	196-120-350-000	SFR	0.173	1.000	112.52	112.52
Zone 1	196-120-360-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-120-370-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-120-380-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-120-390-000	SFR	0.141	1.000	112.52	112.52
Zone 1	196-120-410-000	SFR	0.178	1.000	112.52	112.52
Zone 1	196-120-420-000	SFR	0.202	1.000	112.52	112.52
Zone 1	196-120-430-000	SFR	0.161	1.000	112.52	112.52
Zone 1	196-120-440-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-120-450-000	SFR	0.156	1.000	112.52	112.52
Zone 1	196-120-460-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-120-470-000	SFR	0.140	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
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PARCEL LISTING

Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-120-480-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-120-490-000	SFR	0.257	1.000	112.52	112.52
Zone 1	196-120-500-000	SFR	0.252	1.000	112.52	112.52
Zone 1	196-120-510-000	SFR	0.260	1.000	112.52	112.52
Zone 1	196-120-520-000	SFR	0.271	1.000	112.52	112.52
Zone 1	196-120-530-000	SFR	0.269	1.000	112.52	112.52
Zone 1	196-120-540-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-120-550-000	SFR	0.170	1.000	112.52	112.52
Zone 1	196-120-560-000	SFR	0.166	1.000	112.52	112.52
Zone 1	196-120-570-000	SFR	0.206	1.000	112.52	112.52
Zone 1	196-120-580-000	SFR	0.245	1.000	112.52	112.52
Zone 1	196-120-590-000	SFR	0.163	1.000	112.52	112.52
Zone 1	196-120-600-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-120-610-000	SFR	0.164	1.000	112.52	112.52
Zone 1	196-120-620-000	SFR	0.147	1.000	112.52	112.52
Zone 1	196-120-630-000	SFR	0.141	1.000	112.52	112.52
Zone 1	196-120-640-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-120-650-000	SFR	0.250	1.000	112.52	112.52
Zone 1	196-120-660-000	SFR	0.249	1.000	112.52	112.52
Zone 1	196-120-670-000	SFR	0.219	1.000	112.52	112.52
Zone 1	196-130-010-000	COM	0.723	1.000	112.52	112.52
Zone 1	196-130-020-000	COM	1.192	1.192	112.52	134.12
Zone 1	196-130-030-000	SFR	0.278	1.000	112.52	112.52
Zone 1	196-130-040-000	SFR	0.173	1.000	112.52	112.52
Zone 1	196-130-050-000	SFR	0.173	1.000	112.52	112.52
Zone 1	196-130-060-000	SFR	0.173	1.000	112.52	112.52
Zone 1	196-130-070-000	SFR	0.173	1.000	112.52	112.52
Zone 1	196-130-080-000	SFR	0.188	1.000	112.52	112.52
Zone 1	196-130-090-000	SFR	0.188	1.000	112.52	112.52
Zone 1	196-130-100-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-130-110-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-130-120-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-130-130-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-130-140-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-130-150-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-130-160-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-130-170-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-130-180-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-130-190-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-130-200-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-130-210-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-130-220-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-130-230-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-130-240-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-130-250-000	SFR	0.189	1.000	112.52	112.52
Zone 1	196-130-260-000	SFR	0.141	1.000	112.52	112.52
Zone 1	196-130-270-000	SFR	0.147	1.000	112.52	112.52
Zone 1	196-130-280-000	SFR	0.153	1.000	112.52	112.52
Zone 1	196-130-290-000	SFR	0.146	1.000	112.52	112.52
Zone 1	196-130-300-000	SFR	0.136	1.000	112.52	112.52
Zone 1	196-130-310-000	SFR	0.171	1.000	112.52	112.52
Zone 1	196-130-320-000	SFR	0.139	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
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Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-130-330-000	SFR	0.164	1.000	112.52	112.52
Zone 1	196-130-340-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-130-350-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-130-360-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-130-370-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-130-380-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-130-390-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-130-430-000	SFR	0.170	1.000	112.52	112.52
Zone 1	196-130-440-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-130-450-000	SFR	0.174	1.000	112.52	112.52
Zone 1	196-130-480-000	SFR	0.231	1.000	112.52	112.52
Zone 1	196-130-490-000	SFR	0.309	1.000	112.52	112.52
Zone 1	196-130-500-000	SFR	0.179	1.000	112.52	112.52
Zone 1	196-130-510-000	SFR	0.169	1.000	112.52	112.52
Zone 1	196-130-520-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-130-530-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-130-540-000	SFR	0.174	1.000	112.52	112.52
Zone 1	196-130-550-000	SFR	0.182	1.000	112.52	112.52
Zone 1	196-130-560-000	SFR	0.328	1.000	112.52	112.52
Zone 1	196-130-570-000	SFR	0.252	1.000	112.52	112.52
Zone 1	196-130-580-000	SFR	0.275	1.000	112.52	112.52
Zone 1	196-130-590-000	SFR	0.174	1.000	112.52	112.52
Zone 1	196-130-600-000	SFR	0.157	1.000	112.52	112.52
Zone 1	196-130-610-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-130-620-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-130-630-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-130-640-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-130-650-000	SFR	0.152	1.000	112.52	112.52
Zone 1	196-130-660-000	SFR	0.160	1.000	112.52	112.52
Zone 1	196-140-040-000	SFR	0.146	1.000	112.52	112.52
Zone 1	196-140-050-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-140-060-000	SFR	0.194	1.000	112.52	112.52
Zone 1	196-140-070-000	SFR	0.183	1.000	112.52	112.52
Zone 1	196-140-080-000	SFR	0.200	1.000	112.52	112.52
Zone 1	196-140-090-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-140-100-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-140-110-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-140-120-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-140-130-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-140-140-000	SFR	0.203	1.000	112.52	112.52
Zone 1	196-140-150-000	SFR	0.212	1.000	112.52	112.52
Zone 1	196-140-170-000	SFR	0.232	1.000	112.52	112.52
Zone 1	196-140-180-000	SFR	0.160	1.000	112.52	112.52
Zone 1	196-140-200-000	SFR	0.249	1.000	112.52	112.52
Zone 1	196-140-210-000	SFR	0.180	1.000	112.52	112.52
Zone 1	196-140-220-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-140-230-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-140-240-000	SFR	0.145	1.000	112.52	112.52
Zone 1	196-140-250-000	SFR	0.185	1.000	112.52	112.52
Zone 1	196-140-260-000	SFR	0.185	1.000	112.52	112.52
Zone 1	196-140-280-000	SFR	0.272	1.000	112.52	112.52
Zone 1	196-140-290-000	SFR	0.192	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
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Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-140-300-000	SFR	0.174	1.000	112.52	112.52
Zone 1	196-140-310-000	SFR	0.201	1.000	112.52	112.52
Zone 1	196-140-320-000	SFR	0.141	1.000	112.52	112.52
Zone 1	196-140-330-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-140-340-000	SFR	0.262	1.000	112.52	112.52
Zone 1	196-140-350-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-140-360-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-140-370-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-140-380-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-140-390-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-140-400-000	SFR	0.146	1.000	112.52	112.52
Zone 1	196-140-410-000	SFR	0.154	1.000	112.52	112.52
Zone 1	196-140-420-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-140-430-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-140-440-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-140-450-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-140-460-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-140-470-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-140-480-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-140-490-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-140-500-000	SFR	0.150	1.000	112.52	112.52
Zone 1	196-140-510-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-140-520-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-140-530-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-140-540-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-140-550-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-140-560-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-140-570-000	SFR	0.158	1.000	112.52	112.52
Zone 1	196-140-580-000	SFR	0.156	1.000	112.52	112.52
Zone 1	196-140-590-000	SFR	0.154	1.000	112.52	112.52
Zone 1	196-140-600-000	SFR	0.193	1.000	112.52	112.52
Zone 1	196-140-610-000	SFR	0.184	1.000	112.52	112.52
Zone 1	196-150-010-000	SFR	0.182	1.000	112.52	112.52
Zone 1	196-150-020-000	SFR	0.162	1.000	112.52	112.52
Zone 1	196-150-030-000	SFR	0.162	1.000	112.52	112.52
Zone 1	196-150-040-000	SFR	0.162	1.000	112.52	112.52
Zone 1	196-150-050-000	SFR	0.162	1.000	112.52	112.52
Zone 1	196-150-060-000	SFR	0.162	1.000	112.52	112.52
Zone 1	196-150-070-000	SFR	0.183	1.000	112.52	112.52
Zone 1	196-150-080-000	SFR	0.203	1.000	112.52	112.52
Zone 1	196-150-090-000	SFR	0.170	1.000	112.52	112.52
Zone 1	196-150-100-000	SFR	0.170	1.000	112.52	112.52
Zone 1	196-150-110-000	SFR	0.170	1.000	112.52	112.52
Zone 1	196-150-120-000	SFR	0.167	1.000	112.52	112.52
Zone 1	196-150-130-000	SFR	0.199	1.000	112.52	112.52
Zone 1	196-150-140-000	SFR	0.236	1.000	112.52	112.52
Zone 1	196-150-150-000	SFR	0.228	1.000	112.52	112.52
Zone 1	196-150-160-000	SFR	0.168	1.000	112.52	112.52
Zone 1	196-150-170-000	SFR	0.150	1.000	112.52	112.52
Zone 1	196-150-180-000	SFR	0.153	1.000	112.52	112.52
Zone 1	196-150-190-000	SFR	0.153	1.000	112.52	112.52
Zone 1	196-150-200-000	SFR	0.153	1.000	112.52	112.52

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Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-150-210-000	SFR	0.179	1.000	112.52	112.52
Zone 1	196-150-220-000	SFR	0.182	1.000	112.52	112.52
Zone 1	196-150-230-000	SFR	0.153	1.000	112.52	112.52
Zone 1	196-150-240-000	SFR	0.153	1.000	112.52	112.52
Zone 1	196-150-250-000	SFR	0.153	1.000	112.52	112.52
Zone 1	196-150-260-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-150-270-000	SFR	0.167	1.000	112.52	112.52
Zone 1	196-150-280-000	SFR	0.227	1.000	112.52	112.52
Zone 1	196-150-290-000	SFR	0.222	1.000	112.52	112.52
Zone 1	196-150-300-000	SFR	0.173	1.000	112.52	112.52
Zone 1	196-150-310-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-150-320-000	SFR	0.153	1.000	112.52	112.52
Zone 1	196-150-330-000	SFR	0.153	1.000	112.52	112.52
Zone 1	196-150-340-000	SFR	0.153	1.000	112.52	112.52
Zone 1	196-150-350-000	SFR	0.179	1.000	112.52	112.52
Zone 1	196-150-360-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-150-370-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-150-380-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-150-390-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-150-400-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-150-410-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-150-420-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-150-430-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-150-440-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-150-450-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-150-460-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-150-470-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-150-480-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-150-490-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-150-500-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-150-510-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-150-520-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-150-530-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-150-540-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-150-550-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-150-560-000	SFR	0.178	1.000	112.52	112.52
Zone 1	196-150-570-000	SFR	0.172	1.000	112.52	112.52
Zone 1	196-150-580-000	SFR	0.187	1.000	112.52	112.52
Zone 1	196-150-590-000	SFR	0.197	1.000	112.52	112.52
Zone 1	196-150-600-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-150-610-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-150-620-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-150-630-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-150-640-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-150-650-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-150-660-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-150-670-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-150-680-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-150-690-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-150-700-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-150-710-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-150-720-000	SFR	0.137	1.000	112.52	112.52

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Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-150-730-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-150-740-000	SFR	0.172	1.000	112.52	112.52
Zone 1	196-150-750-000	SFR	0.252	1.000	112.52	112.52
Zone 1	196-150-760-000	SFR	0.172	1.000	112.52	112.52
Zone 1	196-150-770-000	SFR	0.147	1.000	112.52	112.52
Zone 1	196-150-780-000	SFR	0.156	1.000	112.52	112.52
Zone 1	196-150-790-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-150-800-000	SFR	0.163	1.000	112.52	112.52
Zone 1	196-150-810-000	SFR	0.301	1.000	112.52	112.52
Zone 1	196-160-010-000	SFR	0.173	1.000	112.52	112.52
Zone 1	196-160-020-000	SFR	0.155	1.000	112.52	112.52
Zone 1	196-160-030-000	SFR	0.172	1.000	112.52	112.52
Zone 1	196-160-040-000	SFR	0.182	1.000	112.52	112.52
Zone 1	196-160-050-000	SFR	0.294	1.000	112.52	112.52
Zone 1	196-160-060-000	SFR	0.178	1.000	112.52	112.52
Zone 1	196-160-070-000	SFR	0.150	1.000	112.52	112.52
Zone 1	196-160-080-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-160-090-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-160-100-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-160-110-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-160-120-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-160-130-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-160-140-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-160-150-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-160-160-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-160-170-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-160-180-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-160-190-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-160-200-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-160-210-000	SFR	0.174	1.000	112.52	112.52
Zone 1	196-160-250-000	SFR	0.154	1.000	112.52	112.52
Zone 1	196-160-260-000	SFR	0.154	1.000	112.52	112.52
Zone 1	196-160-270-000	SFR	0.154	1.000	112.52	112.52
Zone 1	196-160-280-000	SFR	0.154	1.000	112.52	112.52
Zone 1	196-160-290-000	SFR	0.154	1.000	112.52	112.52
Zone 1	196-160-300-000	SFR	0.154	1.000	112.52	112.52
Zone 1	196-160-310-000	SFR	0.154	1.000	112.52	112.52
Zone 1	196-160-320-000	SFR	0.154	1.000	112.52	112.52
Zone 1	196-160-330-000	SFR	0.154	1.000	112.52	112.52
Zone 1	196-160-340-000	SFR	0.154	1.000	112.52	112.52
Zone 1	196-160-350-000	SFR	0.154	1.000	112.52	112.52
Zone 1	196-160-360-000	SFR	0.177	1.000	112.52	112.52
Zone 1	196-160-370-000	SFR	0.179	1.000	112.52	112.52
Zone 1	196-160-380-000	SFR	0.154	1.000	112.52	112.52
Zone 1	196-160-390-000	SFR	0.153	1.000	112.52	112.52
Zone 1	196-160-400-000	SFR	0.152	1.000	112.52	112.52
Zone 1	196-160-410-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-160-420-000	SFR	0.150	1.000	112.52	112.52
Zone 1	196-160-430-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-160-440-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-160-450-000	SFR	0.154	1.000	112.52	112.52
Zone 1	196-160-460-000	SFR	0.161	1.000	112.52	112.52

CITY OF LATHROP
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Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-160-470-000	SFR	0.163	1.000	112.52	112.52
Zone 1	196-160-480-000	SFR	0.163	1.000	112.52	112.52
Zone 1	196-160-520-000	SFR	0.194	1.000	112.52	112.52
Zone 1	196-160-530-000	SFR	0.150	1.000	112.52	112.52
Zone 1	196-160-540-000	SFR	0.152	1.000	112.52	112.52
Zone 1	196-160-550-000	SFR	0.155	1.000	112.52	112.52
Zone 1	196-160-560-000	SFR	0.158	1.000	112.52	112.52
Zone 1	196-160-570-000	SFR	0.162	1.000	112.52	112.52
Zone 1	196-160-580-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-160-590-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-160-600-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-160-610-000	SFR	0.200	1.000	112.52	112.52
Zone 1	196-160-620-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-160-630-000	SFR	0.209	1.000	112.52	112.52
Zone 1	196-160-640-000	SFR	0.145	1.000	112.52	112.52
Zone 1	196-160-650-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-160-660-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-160-670-000	SFR	0.156	1.000	112.52	112.52
Zone 1	196-160-680-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-160-690-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-160-700-000	SFR	0.198	1.000	112.52	112.52
Zone 1	196-160-710-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-160-720-000	SFR	0.211	1.000	112.52	112.52
Zone 1	196-160-730-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-160-740-000	SFR	0.145	1.000	112.52	112.52
Zone 1	196-160-750-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-190-010-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-190-020-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-190-030-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-190-040-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-190-050-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-190-060-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-190-070-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-190-080-000	SFR	0.152	1.000	112.52	112.52
Zone 1	196-190-090-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-190-100-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-190-110-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-190-120-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-190-130-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-190-140-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-190-150-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-190-160-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-190-170-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-190-180-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-190-190-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-190-200-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-190-210-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-190-220-000	SFR	0.158	1.000	112.52	112.52
Zone 1	196-190-230-000	SFR	0.146	1.000	112.52	112.52
Zone 1	196-190-240-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-190-250-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-190-260-000	SFR	0.140	1.000	112.52	112.52

CITY OF LATHROP
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Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-190-270-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-190-280-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-190-290-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-190-300-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-190-310-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-190-320-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-190-330-000	SFR	0.156	1.000	112.52	112.52
Zone 1	196-190-340-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-190-350-000	SFR	0.156	1.000	112.52	112.52
Zone 1	196-190-360-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-190-370-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-190-380-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-190-390-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-190-400-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-190-410-000	SFR	0.147	1.000	112.52	112.52
Zone 1	196-190-420-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-190-430-000	SFR	0.190	1.000	112.52	112.52
Zone 1	196-190-440-000	SFR	0.213	1.000	112.52	112.52
Zone 1	196-190-450-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-190-460-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-190-470-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-190-480-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-190-490-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-190-500-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-190-510-000	SFR	0.156	1.000	112.52	112.52
Zone 1	196-190-520-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-190-530-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-190-540-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-190-550-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-190-560-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-190-570-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-190-580-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-190-590-000	SFR	0.160	1.000	112.52	112.52
Zone 1	196-190-600-000	SFR	0.176	1.000	112.52	112.52
Zone 1	196-190-610-000	SFR	0.179	1.000	112.52	112.52
Zone 1	196-190-620-000	SFR	0.182	1.000	112.52	112.52
Zone 1	196-190-630-000	SFR	0.161	1.000	112.52	112.52
Zone 1	196-190-640-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-190-650-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-190-660-000	SFR	0.158	1.000	112.52	112.52
Zone 1	196-190-670-000	SFR	0.180	1.000	112.52	112.52
Zone 1	196-190-680-000	SFR	0.154	1.000	112.52	112.52
Zone 1	196-190-690-000	SFR	0.206	1.000	112.52	112.52
Zone 1	196-190-700-000	SFR	0.213	1.000	112.52	112.52
Zone 1	196-190-710-000	SFR	0.159	1.000	112.52	112.52
Zone 1	196-190-720-000	SFR	0.182	1.000	112.52	112.52
Zone 1	196-190-730-000	SFR	0.156	1.000	112.52	112.52
Zone 1	196-190-740-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-190-750-000	SFR	0.191	1.000	112.52	112.52
Zone 1	196-190-760-000	SFR	0.164	1.000	112.52	112.52
Zone 1	196-190-770-000	SFR	0.164	1.000	112.52	112.52
Zone 1	196-190-780-000	SFR	0.164	1.000	112.52	112.52

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Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-190-810-000	COM	3.770	3.770	112.52	424.20
Zone 1	196-190-820-000	COM	0.675	1.000	112.52	112.52
Zone 1	196-190-830-000	COM	0.732	1.000	112.52	112.52
Zone 1	196-200-010-000	SFR	0.159	1.000	112.52	112.52
Zone 1	196-200-020-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-030-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-040-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-050-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-060-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-070-000	SFR	0.158	1.000	112.52	112.52
Zone 1	196-200-080-000	SFR	0.174	1.000	112.52	112.52
Zone 1	196-200-090-000	SFR	0.334	1.000	112.52	112.52
Zone 1	196-200-100-000	SFR	0.228	1.000	112.52	112.52
Zone 1	196-200-110-000	SFR	0.181	1.000	112.52	112.52
Zone 1	196-200-120-000	SFR	0.168	1.000	112.52	112.52
Zone 1	196-200-130-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-140-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-150-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-160-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-170-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-180-000	SFR	0.141	1.000	112.52	112.52
Zone 1	196-200-190-000	SFR	0.155	1.000	112.52	112.52
Zone 1	196-200-200-000	SFR	0.181	1.000	112.52	112.52
Zone 1	196-200-210-000	SFR	0.154	1.000	112.52	112.52
Zone 1	196-200-220-000	SFR	0.192	1.000	112.52	112.52
Zone 1	196-200-230-000	SFR	0.153	1.000	112.52	112.52
Zone 1	196-200-240-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-250-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-260-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-270-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-280-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-290-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-300-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-310-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-320-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-330-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-340-000	SFR	0.158	1.000	112.52	112.52
Zone 1	196-200-350-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-200-360-000	SFR	0.165	1.000	112.52	112.52
Zone 1	196-200-370-000	SFR	0.141	1.000	112.52	112.52
Zone 1	196-200-380-000	SFR	0.141	1.000	112.52	112.52
Zone 1	196-200-390-000	SFR	0.141	1.000	112.52	112.52
Zone 1	196-200-400-000	SFR	0.141	1.000	112.52	112.52
Zone 1	196-200-410-000	SFR	0.141	1.000	112.52	112.52
Zone 1	196-200-420-000	SFR	0.141	1.000	112.52	112.52
Zone 1	196-200-430-000	SFR	0.141	1.000	112.52	112.52
Zone 1	196-200-440-000	SFR	0.141	1.000	112.52	112.52
Zone 1	196-200-450-000	SFR	0.141	1.000	112.52	112.52
Zone 1	196-200-460-000	SFR	0.141	1.000	112.52	112.52
Zone 1	196-200-470-000	SFR	0.185	1.000	112.52	112.52
Zone 1	196-200-480-000	SFR	0.155	1.000	112.52	112.52
Zone 1	196-200-490-000	SFR	0.137	1.000	112.52	112.52

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Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-200-500-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-510-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-520-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-530-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-540-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-550-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-560-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-570-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-580-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-590-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-600-000	SFR	0.152	1.000	112.52	112.52
Zone 1	196-200-610-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-620-000	SFR	0.159	1.000	112.52	112.52
Zone 1	196-200-630-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-640-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-650-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-660-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-670-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-680-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-690-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-700-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-710-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-720-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-730-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-200-740-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-200-790-000	COM	2.230	2.230	112.52	250.92
Zone 1	196-210-010-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-210-020-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-210-030-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-210-040-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-210-050-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-210-060-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-210-070-000	SFR	0.161	1.000	112.52	112.52
Zone 1	196-210-080-000	SFR	0.181	1.000	112.52	112.52
Zone 1	196-210-090-000	SFR	0.135	1.000	112.52	112.52
Zone 1	196-210-100-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-210-110-000	SFR	0.145	1.000	112.52	112.52
Zone 1	196-210-120-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-210-130-000	SFR	0.147	1.000	112.52	112.52
Zone 1	196-210-140-000	SFR	0.177	1.000	112.52	112.52
Zone 1	196-210-150-000	SFR	0.165	1.000	112.52	112.52
Zone 1	196-210-160-000	SFR	0.150	1.000	112.52	112.52
Zone 1	196-210-170-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-210-180-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-210-190-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-210-200-000	SFR	0.171	1.000	112.52	112.52
Zone 1	196-210-210-000	SFR	0.161	1.000	112.52	112.52
Zone 1	196-210-220-000	SFR	0.157	1.000	112.52	112.52
Zone 1	196-210-230-000	SFR	0.152	1.000	112.52	112.52
Zone 1	196-210-240-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-210-250-000	SFR	0.146	1.000	112.52	112.52
Zone 1	196-210-260-000	SFR	0.149	1.000	112.52	112.52

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Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-210-270-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-210-280-000	SFR	0.146	1.000	112.52	112.52
Zone 1	196-210-290-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-210-300-000	SFR	0.156	1.000	112.52	112.52
Zone 1	196-210-310-000	SFR	0.159	1.000	112.52	112.52
Zone 1	196-220-010-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-220-020-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-220-030-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-220-040-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-220-050-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-220-060-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-220-130-000	SFR	0.521	1.000	112.52	112.52
Zone 1	196-220-140-000	SFR	0.214	1.000	112.52	112.52
Zone 1	196-220-150-000	SFR	0.133	1.000	112.52	112.52
Zone 1	196-220-160-000	SFR	0.141	1.000	112.52	112.52
Zone 1	196-220-170-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-220-180-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-220-190-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-220-200-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-220-210-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-220-220-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-220-230-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-220-240-000	SFR	0.183	1.000	112.52	112.52
Zone 1	196-220-250-000	SFR	0.164	1.000	112.52	112.52
Zone 1	196-220-260-000	SFR	0.164	1.000	112.52	112.52
Zone 1	196-220-270-000	SFR	0.164	1.000	112.52	112.52
Zone 1	196-220-280-000	SFR	0.166	1.000	112.52	112.52
Zone 1	196-220-290-000	SFR	0.159	1.000	112.52	112.52
Zone 1	196-220-300-000	SFR	0.159	1.000	112.52	112.52
Zone 1	196-220-310-000	SFR	0.159	1.000	112.52	112.52
Zone 1	196-230-010-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-230-020-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-230-030-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-230-040-000	SFR	0.158	1.000	112.52	112.52
Zone 1	196-230-050-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-230-060-000	SFR	0.158	1.000	112.52	112.52
Zone 1	196-230-070-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-230-080-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-230-090-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-230-100-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-230-110-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-230-120-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-230-130-000	SFR	0.158	1.000	112.52	112.52
Zone 1	196-230-140-000	SFR	0.156	1.000	112.52	112.52
Zone 1	196-230-150-000	SFR	0.158	1.000	112.52	112.52
Zone 1	196-230-160-000	SFR	0.177	1.000	112.52	112.52
Zone 1	196-230-170-000	SFR	0.239	1.000	112.52	112.52
Zone 1	196-230-180-000	SFR	0.181	1.000	112.52	112.52
Zone 1	196-230-190-000	SFR	0.221	1.000	112.52	112.52
Zone 1	196-230-200-000	SFR	0.186	1.000	112.52	112.52
Zone 1	196-230-210-000	SFR	0.147	1.000	112.52	112.52
Zone 1	196-230-220-000	SFR	0.146	1.000	112.52	112.52

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Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-230-230-000	SFR	0.156	1.000	112.52	112.52
Zone 1	196-230-240-000	SFR	0.158	1.000	112.52	112.52
Zone 1	196-230-250-000	SFR	0.206	1.000	112.52	112.52
Zone 1	196-230-260-000	SFR	0.173	1.000	112.52	112.52
Zone 1	196-230-270-000	SFR	0.204	1.000	112.52	112.52
Zone 1	196-230-280-000	SFR	0.159	1.000	112.52	112.52
Zone 1	196-230-290-000	SFR	0.180	1.000	112.52	112.52
Zone 1	196-230-300-000	SFR	0.157	1.000	112.52	112.52
Zone 1	196-230-310-000	SFR	0.159	1.000	112.52	112.52
Zone 1	196-230-320-000	SFR	0.164	1.000	112.52	112.52
Zone 1	196-230-330-000	SFR	0.169	1.000	112.52	112.52
Zone 1	196-230-340-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-230-350-000	SFR	0.226	1.000	112.52	112.52
Zone 1	196-230-360-000	SFR	0.193	1.000	112.52	112.52
Zone 1	196-230-370-000	SFR	0.200	1.000	112.52	112.52
Zone 1	196-230-380-000	SFR	0.162	1.000	112.52	112.52
Zone 1	196-230-390-000	SFR	0.187	1.000	112.52	112.52
Zone 1	196-230-400-000	SFR	0.161	1.000	112.52	112.52
Zone 1	196-230-410-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-230-420-000	SFR	0.169	1.000	112.52	112.52
Zone 1	196-230-430-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-230-440-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-230-450-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-230-460-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-230-470-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-230-480-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-230-490-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-230-500-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-230-510-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-230-520-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-230-530-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-230-540-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-230-550-000	SFR	0.183	1.000	112.52	112.52
Zone 1	196-230-560-000	SFR	0.159	1.000	112.52	112.52
Zone 1	196-230-570-000	SFR	0.183	1.000	112.52	112.52
Zone 1	196-270-010-000	COM	1.244	1.244	112.52	139.96
Zone 1	196-270-020-000	MHP	8.340	8.340	112.52	938.42
Zone 1	196-270-040-000	MHP	12.000	12.000	112.52	1350.24
Zone 1	196-270-220-000	MHP	4.800	4.800	112.52	540.10
Zone 1	196-270-300-000	COM	1.437	1.437	112.52	161.68
Zone 1	196-280-010-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-280-020-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-280-030-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-280-040-000	SFR	0.168	1.000	112.52	112.52
Zone 1	196-280-050-000	SFR	0.145	1.000	112.52	112.52
Zone 1	196-280-060-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-280-070-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-280-080-000	SFR	0.168	1.000	112.52	112.52
Zone 1	196-280-090-000	SFR	0.202	1.000	112.52	112.52
Zone 1	196-280-100-000	SFR	0.177	1.000	112.52	112.52
Zone 1	196-280-110-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-280-120-000	SFR	0.139	1.000	112.52	112.52

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Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-280-130-000	SFR	0.145	1.000	112.52	112.52
Zone 1	196-280-140-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-280-150-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-280-160-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-280-170-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-280-180-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-280-190-000	SFR	0.153	1.000	112.52	112.52
Zone 1	196-280-200-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-280-210-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-280-220-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-280-230-000	SFR	0.141	1.000	112.52	112.52
Zone 1	196-280-240-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-280-250-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-280-260-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-280-270-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-280-280-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-280-290-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-280-300-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-280-310-000	SFR	0.146	1.000	112.52	112.52
Zone 1	196-280-320-000	SFR	0.145	1.000	112.52	112.52
Zone 1	196-280-330-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-280-340-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-280-350-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-280-360-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-280-370-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-280-380-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-280-390-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-280-400-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-280-410-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-290-010-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-290-020-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-290-030-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-290-040-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-290-050-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-290-060-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-290-070-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-290-080-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-290-090-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-290-100-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-290-110-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-290-120-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-290-130-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-290-140-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-290-150-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-290-160-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-290-170-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-290-180-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-290-190-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-290-200-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-290-210-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-290-220-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-290-230-000	SFR	0.142	1.000	112.52	112.52

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Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-290-240-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-290-250-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-290-260-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-290-290-000	SFR	0.175	1.000	112.52	112.52
Zone 1	196-290-300-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-290-310-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-290-320-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-290-330-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-290-340-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-290-350-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-290-360-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-290-370-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-290-380-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-290-390-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-290-400-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-290-410-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-290-420-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-290-430-000	SFR	0.147	1.000	112.52	112.52
Zone 1	196-290-440-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-290-450-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-290-460-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-290-470-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-290-480-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-290-490-000	SFR	0.147	1.000	112.52	112.52
Zone 1	196-290-500-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-290-510-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-290-520-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-290-530-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-290-540-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-290-550-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-290-560-000	SFR	0.147	1.000	112.52	112.52
Zone 1	196-290-570-000	SFR	0.147	1.000	112.52	112.52
Zone 1	196-290-580-000	SFR	0.147	1.000	112.52	112.52
Zone 1	196-290-590-000	SFR	0.242	1.000	112.52	112.52
Zone 1	196-290-600-000	SFR	0.172	1.000	112.52	112.52
Zone 1	196-300-010-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-300-020-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-300-030-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-300-040-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-300-050-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-300-060-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-300-070-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-300-080-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-300-090-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-300-100-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-300-110-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-300-120-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-300-130-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-300-140-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-300-150-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-300-160-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-300-170-000	SFR	0.139	1.000	112.52	112.52

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Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-300-180-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-300-190-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-300-200-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-300-210-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-300-220-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-300-230-000	SFR	0.173	1.000	112.52	112.52
Zone 1	196-300-240-000	SFR	0.173	1.000	112.52	112.52
Zone 1	196-300-250-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-300-260-000	SFR	0.136	1.000	112.52	112.52
Zone 1	196-300-270-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-300-280-000	SFR	0.146	1.000	112.52	112.52
Zone 1	196-300-290-000	SFR	0.790	1.000	112.52	112.52
Zone 1	196-300-300-000	SFR	0.514	1.000	112.52	112.52
Zone 1	196-300-310-000	SFR	1.210	1.210	112.52	136.14
Zone 1	196-300-320-000	SFR	0.340	1.000	112.52	112.52
Zone 1	196-300-330-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-300-340-000	SFR	0.201	1.000	112.52	112.52
Zone 1	196-300-350-000	SFR	0.187	1.000	112.52	112.52
Zone 1	196-300-360-000	SFR	0.176	1.000	112.52	112.52
Zone 1	196-300-370-000	SFR	0.160	1.000	112.52	112.52
Zone 1	196-300-380-000	SFR	0.136	1.000	112.52	112.52
Zone 1	196-300-390-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-300-400-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-300-410-000	SFR	0.154	1.000	112.52	112.52
Zone 1	196-300-420-000	SFR	0.136	1.000	112.52	112.52
Zone 1	196-300-430-000	SFR	0.136	1.000	112.52	112.52
Zone 1	196-300-440-000	SFR	0.136	1.000	112.52	112.52
Zone 1	196-300-450-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-300-460-000	SFR	0.136	1.000	112.52	112.52
Zone 1	196-300-470-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-310-010-000	SFR	0.241	1.000	112.52	112.52
Zone 1	196-310-020-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-310-030-000	SFR	0.238	1.000	112.52	112.52
Zone 1	196-310-040-000	SFR	0.241	1.000	112.52	112.52
Zone 1	196-310-050-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-310-060-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-310-070-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-310-080-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-310-090-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-310-100-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-310-110-000	SFR	0.241	1.000	112.52	112.52
Zone 1	196-310-120-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-310-130-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-310-140-000	SFR	0.231	1.000	112.52	112.52
Zone 1	196-310-150-000	SFR	0.241	1.000	112.52	112.52
Zone 1	196-310-160-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-310-170-000	SFR	0.247	1.000	112.52	112.52
Zone 1	196-310-180-000	SFR	0.215	1.000	112.52	112.52
Zone 1	196-310-190-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-310-200-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-310-210-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-310-220-000	SFR	0.206	1.000	112.52	112.52

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Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-310-230-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-310-240-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-310-250-000	SFR	0.238	1.000	112.52	112.52
Zone 1	196-310-260-000	SFR	0.238	1.000	112.52	112.52
Zone 1	196-310-270-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-310-280-000	SFR	0.234	1.000	112.52	112.52
Zone 1	196-310-310-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-310-320-000	SFR	0.228	1.000	112.52	112.52
Zone 1	196-310-330-000	SFR	0.228	1.000	112.52	112.52
Zone 1	196-310-340-000	SFR	0.228	1.000	112.52	112.52
Zone 1	196-310-350-000	SFR	0.219	1.000	112.52	112.52
Zone 1	196-310-360-000	SFR	0.235	1.000	112.52	112.52
Zone 1	196-310-370-000	SFR	0.228	1.000	112.52	112.52
Zone 1	196-310-380-000	SFR	0.228	1.000	112.52	112.52
Zone 1	196-310-390-000	SFR	0.228	1.000	112.52	112.52
Zone 1	196-310-400-000	SFR	0.236	1.000	112.52	112.52
Zone 1	196-310-410-000	SFR	0.236	1.000	112.52	112.52
Zone 1	196-310-420-000	SFR	0.240	1.000	112.52	112.52
Zone 1	196-310-430-000	SFR	0.230	1.000	112.52	112.52
Zone 1	196-320-010-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-320-020-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-320-030-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-320-040-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-320-050-000	SFR	0.228	1.000	112.52	112.52
Zone 1	196-320-060-000	SFR	0.228	1.000	112.52	112.52
Zone 1	196-320-070-000	SFR	0.228	1.000	112.52	112.52
Zone 1	196-320-080-000	SFR	0.244	1.000	112.52	112.52
Zone 1	196-320-090-000	SFR	0.228	1.000	112.52	112.52
Zone 1	196-320-100-000	SFR	0.228	1.000	112.52	112.52
Zone 1	196-320-110-000	SFR	0.228	1.000	112.52	112.52
Zone 1	196-320-120-000	SFR	0.228	1.000	112.52	112.52
Zone 1	196-320-130-000	SFR	0.236	1.000	112.52	112.52
Zone 1	196-320-140-000	SFR	0.236	1.000	112.52	112.52
Zone 1	196-320-150-000	SFR	0.228	1.000	112.52	112.52
Zone 1	196-320-160-000	SFR	0.238	1.000	112.52	112.52
Zone 1	196-320-170-000	SFR	0.218	1.000	112.52	112.52
Zone 1	196-320-180-000	SFR	0.224	1.000	112.52	112.52
Zone 1	196-320-190-000	SFR	0.227	1.000	112.52	112.52
Zone 1	196-320-200-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-320-210-000	SFR	0.217	1.000	112.52	112.52
Zone 1	196-320-220-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-330-010-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-330-020-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-330-030-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-330-040-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-330-050-000	SFR	0.231	1.000	112.52	112.52
Zone 1	196-330-060-000	SFR	0.231	1.000	112.52	112.52
Zone 1	196-330-070-000	SFR	0.231	1.000	112.52	112.52
Zone 1	196-330-080-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-330-090-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-330-100-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-330-110-000	SFR	0.282	1.000	112.52	112.52

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Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-330-120-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-330-130-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-330-140-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-330-150-000	SFR	0.282	1.000	112.52	112.52
Zone 1	196-330-160-000	SFR	0.244	1.000	112.52	112.52
Zone 1	196-330-170-000	SFR	0.254	1.000	112.52	112.52
Zone 1	196-330-180-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-330-190-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-340-020-000	SFR	0.251	1.000	112.52	112.52
Zone 1	196-340-030-000	SFR	0.206	1.000	112.52	112.52
Zone 1	196-340-040-000	SFR	0.266	1.000	112.52	112.52
Zone 1	196-340-050-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-340-060-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-340-070-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-340-080-000	SFR	0.241	1.000	112.52	112.52
Zone 1	196-340-090-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-340-100-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-340-110-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-340-120-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-340-130-000	SFR	0.190	1.000	112.52	112.52
Zone 1	196-340-140-000	SFR	0.236	1.000	112.52	112.52
Zone 1	196-340-150-000	SFR	0.263	1.000	112.52	112.52
Zone 1	196-340-160-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-340-170-000	SFR	0.229	1.000	112.52	112.52
Zone 1	196-340-180-000	SFR	0.238	1.000	112.52	112.52
Zone 1	196-340-190-000	SFR	0.644	1.000	112.52	112.52
Zone 1	196-370-010-000	SFR	0.126	1.000	112.52	112.52
Zone 1	196-370-020-000	SFR	0.123	1.000	112.52	112.52
Zone 1	196-370-030-000	SFR	0.123	1.000	112.52	112.52
Zone 1	196-370-040-000	SFR	0.123	1.000	112.52	112.52
Zone 1	196-370-050-000	SFR	0.123	1.000	112.52	112.52
Zone 1	196-370-060-000	SFR	0.123	1.000	112.52	112.52
Zone 1	196-370-070-000	SFR	0.123	1.000	112.52	112.52
Zone 1	196-370-080-000	SFR	0.123	1.000	112.52	112.52
Zone 1	196-370-090-000	SFR	0.123	1.000	112.52	112.52
Zone 1	196-370-100-000	SFR	0.123	1.000	112.52	112.52
Zone 1	196-370-110-000	SFR	0.123	1.000	112.52	112.52
Zone 1	196-370-120-000	SFR	0.123	1.000	112.52	112.52
Zone 1	196-370-130-000	SFR	0.123	1.000	112.52	112.52
Zone 1	196-370-140-000	SFR	0.132	1.000	112.52	112.52
Zone 1	196-370-150-000	SFR	0.124	1.000	112.52	112.52
Zone 1	196-370-160-000	SFR	0.124	1.000	112.52	112.52
Zone 1	196-370-170-000	SFR	0.124	1.000	112.52	112.52
Zone 1	196-370-180-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-370-190-000	SFR	0.124	1.000	112.52	112.52
Zone 1	196-370-200-000	SFR	0.115	1.000	112.52	112.52
Zone 1	196-370-210-000	SFR	0.117	1.000	112.52	112.52
Zone 1	196-370-220-000	SFR	0.119	1.000	112.52	112.52
Zone 1	196-370-230-000	SFR	0.120	1.000	112.52	112.52
Zone 1	196-370-240-000	SFR	0.129	1.000	112.52	112.52
Zone 1	196-370-250-000	SFR	0.208	1.000	112.52	112.52
Zone 1	196-370-260-000	SFR	0.206	1.000	112.52	112.52

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Zone 1	196-370-270-000	SFR	0.125	1.000	112.52	112.52
Zone 1	196-370-280-000	SFR	0.173	1.000	112.52	112.52
Zone 1	196-370-290-000	SFR	0.172	1.000	112.52	112.52
Zone 1	196-370-300-000	SFR	0.173	1.000	112.52	112.52
Zone 1	196-370-310-000	SFR	0.177	1.000	112.52	112.52
Zone 1	196-370-320-000	SFR	0.172	1.000	112.52	112.52
Zone 1	196-370-330-000	SFR	0.173	1.000	112.52	112.52
Zone 1	196-370-340-000	SFR	0.119	1.000	112.52	112.52
Zone 1	196-370-350-000	SFR	0.120	1.000	112.52	112.52
Zone 1	196-370-360-000	SFR	0.120	1.000	112.52	112.52
Zone 1	196-370-370-000	SFR	0.119	1.000	112.52	112.52
Zone 1	196-370-380-000	SFR	0.123	1.000	112.52	112.52
Zone 1	196-370-390-000	SFR	0.114	1.000	112.52	112.52
Zone 1	196-370-400-000	SFR	0.114	1.000	112.52	112.52
Zone 1	196-370-410-000	SFR	0.114	1.000	112.52	112.52
Zone 1	196-370-420-000	SFR	0.114	1.000	112.52	112.52
Zone 1	196-370-430-000	SFR	0.114	1.000	112.52	112.52
Zone 1	196-370-440-000	SFR	0.114	1.000	112.52	112.52
Zone 1	196-370-450-000	SFR	0.114	1.000	112.52	112.52
Zone 1	196-370-460-000	SFR	0.114	1.000	112.52	112.52
Zone 1	196-370-470-000	SFR	0.120	1.000	112.52	112.52
Zone 1	196-370-480-000	SFR	0.125	1.000	112.52	112.52
Zone 1	196-370-490-000	SFR	0.116	1.000	112.52	112.52
Zone 1	196-370-500-000	SFR	0.116	1.000	112.52	112.52
Zone 1	196-370-510-000	SFR	0.116	1.000	112.52	112.52
Zone 1	196-370-520-000	SFR	0.116	1.000	112.52	112.52
Zone 1	196-370-530-000	SFR	0.116	1.000	112.52	112.52
Zone 1	196-370-540-000	SFR	0.116	1.000	112.52	112.52
Zone 1	196-370-550-000	SFR	0.116	1.000	112.52	112.52
Zone 1	196-370-560-000	SFR	0.116	1.000	112.52	112.52
Zone 1	196-370-570-000	SFR	0.126	1.000	112.52	112.52
Zone 1	196-370-580-000	SFR	0.129	1.000	112.52	112.52
Zone 1	196-370-590-000	SFR	0.116	1.000	112.52	112.52
Zone 1	196-370-600-000	SFR	0.116	1.000	112.52	112.52
Zone 1	196-370-610-000	SFR	0.116	1.000	112.52	112.52
Zone 1	196-370-620-000	SFR	0.116	1.000	112.52	112.52
Zone 1	196-370-630-000	SFR	0.116	1.000	112.52	112.52
Zone 1	196-370-640-000	SFR	0.116	1.000	112.52	112.52
Zone 1	196-370-650-000	SFR	0.116	1.000	112.52	112.52
Zone 1	196-370-660-000	SFR	0.116	1.000	112.52	112.52
Zone 1	196-370-670-000	SFR	0.126	1.000	112.52	112.52
Zone 1	196-370-680-000	SFR	0.123	1.000	112.52	112.52
Zone 1	196-370-690-000	SFR	0.117	1.000	112.52	112.52
Zone 1	196-370-700-000	SFR	0.117	1.000	112.52	112.52
Zone 1	196-370-710-000	SFR	0.117	1.000	112.52	112.52
Zone 1	196-370-720-000	SFR	0.117	1.000	112.52	112.52
Zone 1	196-370-730-000	SFR	0.117	1.000	112.52	112.52
Zone 1	196-370-740-000	SFR	0.117	1.000	112.52	112.52
Zone 1	196-370-750-000	SFR	0.117	1.000	112.52	112.52
Zone 1	196-370-760-000	SFR	0.119	1.000	112.52	112.52
Zone 1	196-370-770-000	SFR	0.117	1.000	112.52	112.52
Zone 1	196-370-780-000	SFR	0.135	1.000	112.52	112.52

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Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-370-790-000	SFR	0.251	1.000	112.52	112.52
Zone 1	196-370-800-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-370-810-000	SFR	0.116	1.000	112.52	112.52
Zone 1	196-370-820-000	SFR	0.117	1.000	112.52	112.52
Zone 1	196-370-830-000	SFR	0.117	1.000	112.52	112.52
Zone 1	196-370-840-000	SFR	0.117	1.000	112.52	112.52
Zone 1	196-370-850-000	SFR	0.117	1.000	112.52	112.52
Zone 1	196-370-860-000	SFR	0.117	1.000	112.52	112.52
Zone 1	196-370-870-000	SFR	0.117	1.000	112.52	112.52
Zone 1	196-370-880-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-370-890-000	SFR	0.172	1.000	112.52	112.52
Zone 1	196-370-900-000	SFR	0.172	1.000	112.52	112.52
Zone 1	196-370-910-000	SFR	0.172	1.000	112.52	112.52
Zone 1	196-370-920-000	SFR	0.172	1.000	112.52	112.52
Zone 1	196-380-010-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-380-020-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-380-030-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-380-040-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-380-050-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-380-060-000	SFR	0.197	1.000	112.52	112.52
Zone 1	196-380-070-000	SFR	0.169	1.000	112.52	112.52
Zone 1	196-380-080-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-380-090-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-380-100-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-380-110-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-380-120-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-380-130-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-380-140-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-380-150-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-380-160-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-380-170-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-380-180-000	SFR	0.145	1.000	112.52	112.52
Zone 1	196-380-190-000	SFR	0.161	1.000	112.52	112.52
Zone 1	196-380-200-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-380-210-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-380-220-000	SFR	0.160	1.000	112.52	112.52
Zone 1	196-380-230-000	SFR	0.170	1.000	112.52	112.52
Zone 1	196-380-240-000	SFR	0.180	1.000	112.52	112.52
Zone 1	196-380-250-000	SFR	0.165	1.000	112.52	112.52
Zone 1	196-380-260-000	SFR	0.158	1.000	112.52	112.52
Zone 1	196-380-270-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-380-280-000	SFR	0.182	1.000	112.52	112.52
Zone 1	196-380-290-000	SFR	0.146	1.000	112.52	112.52
Zone 1	196-380-300-000	SFR	0.153	1.000	112.52	112.52
Zone 1	196-380-310-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-380-320-000	SFR	0.161	1.000	112.52	112.52
Zone 1	196-380-330-000	SFR	0.161	1.000	112.52	112.52
Zone 1	196-380-340-000	SFR	0.166	1.000	112.52	112.52
Zone 1	196-380-350-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-380-360-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-380-370-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-380-380-000	SFR	0.137	1.000	112.52	112.52

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Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-380-390-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-380-400-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-380-410-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-380-420-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-380-430-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-380-440-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-380-450-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-380-460-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-380-470-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-380-480-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-380-490-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-390-010-000	SFR	0.255	1.000	112.52	112.52
Zone 1	196-390-020-000	SFR	0.225	1.000	112.52	112.52
Zone 1	196-390-030-000	SFR	0.213	1.000	112.52	112.52
Zone 1	196-390-040-000	SFR	0.196	1.000	112.52	112.52
Zone 1	196-390-050-000	SFR	0.183	1.000	112.52	112.52
Zone 1	196-390-060-000	SFR	0.176	1.000	112.52	112.52
Zone 1	196-390-070-000	SFR	0.172	1.000	112.52	112.52
Zone 1	196-390-080-000	SFR	0.176	1.000	112.52	112.52
Zone 1	196-390-090-000	SFR	0.252	1.000	112.52	112.52
Zone 1	196-390-100-000	SFR	0.296	1.000	112.52	112.52
Zone 1	196-390-110-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-390-120-000	SFR	0.153	1.000	112.52	112.52
Zone 1	196-390-130-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-390-140-000	SFR	0.153	1.000	112.52	112.52
Zone 1	196-390-150-000	SFR	0.150	1.000	112.52	112.52
Zone 1	196-390-160-000	SFR	0.145	1.000	112.52	112.52
Zone 1	196-390-170-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-390-180-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-390-190-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-390-200-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-390-210-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-390-220-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-390-230-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-390-240-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-390-250-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-390-260-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-390-270-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-390-280-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-390-290-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-390-300-000	SFR	0.166	1.000	112.52	112.52
Zone 1	196-390-310-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-390-320-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-390-330-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-390-340-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-390-350-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-390-360-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-390-370-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-390-380-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-390-390-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-390-400-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-390-410-000	SFR	0.149	1.000	112.52	112.52

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Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-390-420-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-390-430-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-390-440-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-390-450-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-390-460-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-390-470-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-390-480-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-390-490-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-390-500-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-390-510-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-390-520-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-390-530-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-390-540-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-390-550-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-390-560-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-390-570-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-390-580-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-390-590-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-390-600-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-390-610-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-390-620-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-390-630-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-400-010-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-400-020-000	SFR	0.172	1.000	112.52	112.52
Zone 1	196-400-030-000	SFR	0.159	1.000	112.52	112.52
Zone 1	196-400-040-000	SFR	0.134	1.000	112.52	112.52
Zone 1	196-400-050-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-400-060-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-400-070-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-400-080-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-400-090-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-400-100-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-400-110-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-400-120-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-400-130-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-400-140-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-400-150-000	SFR	0.183	1.000	112.52	112.52
Zone 1	196-400-160-000	SFR	0.182	1.000	112.52	112.52
Zone 1	196-400-170-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-400-180-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-400-190-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-400-200-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-400-210-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-400-220-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-400-230-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-400-240-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-400-250-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-400-260-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-400-270-000	SFR	0.124	1.000	112.52	112.52
Zone 1	196-400-280-000	SFR	0.105	1.000	112.52	112.52
Zone 1	196-400-290-000	SFR	0.193	1.000	112.52	112.52
Zone 1	196-400-300-000	SFR	0.144	1.000	112.52	112.52

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Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-400-310-000	SFR	0.130	1.000	112.52	112.52
Zone 1	196-400-320-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-400-330-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-410-010-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-410-020-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-410-030-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-410-040-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-410-050-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-410-060-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-410-070-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-410-080-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-410-090-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-410-100-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-410-110-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-410-120-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-410-130-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-410-140-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-410-150-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-410-160-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-410-170-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-410-180-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-410-190-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-410-200-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-410-210-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-410-220-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-410-230-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-410-240-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-420-010-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-420-020-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-420-030-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-420-040-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-420-050-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-420-060-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-420-070-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-420-080-000	SFR	0.165	1.000	112.52	112.52
Zone 1	196-420-090-000	SFR	0.163	1.000	112.52	112.52
Zone 1	196-420-100-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-420-110-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-420-120-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-420-130-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-420-140-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-420-150-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-420-160-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-420-170-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-420-180-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-420-190-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-420-200-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-420-210-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-420-220-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-420-230-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-420-240-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-420-250-000	SFR	0.149	1.000	112.52	112.52

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Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-420-260-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-420-270-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-420-280-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-420-290-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-420-300-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-420-310-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-420-320-000	SFR	0.153	1.000	112.52	112.52
Zone 1	196-430-010-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-430-020-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-430-030-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-430-040-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-430-070-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-430-080-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-430-090-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-430-100-000	SFR	0.160	1.000	112.52	112.52
Zone 1	196-430-110-000	SFR	0.173	1.000	112.52	112.52
Zone 1	196-430-120-000	SFR	0.168	1.000	112.52	112.52
Zone 1	196-430-130-000	SFR	0.181	1.000	112.52	112.52
Zone 1	196-430-140-000	SFR	0.200	1.000	112.52	112.52
Zone 1	196-430-170-000	SFR	0.127	1.000	112.52	112.52
Zone 1	196-430-180-000	SFR	0.204	1.000	112.52	112.52
Zone 1	196-430-190-000	SFR	0.203	1.000	112.52	112.52
Zone 1	196-430-200-000	SFR	0.203	1.000	112.52	112.52
Zone 1	196-430-210-000	SFR	0.203	1.000	112.52	112.52
Zone 1	196-430-220-000	SFR	0.202	1.000	112.52	112.52
Zone 1	196-430-230-000	SFR	0.202	1.000	112.52	112.52
Zone 1	196-430-240-000	SFR	0.202	1.000	112.52	112.52
Zone 1	196-430-250-000	SFR	0.201	1.000	112.52	112.52
Zone 1	196-430-260-000	SFR	0.201	1.000	112.52	112.52
Zone 1	196-430-270-000	SFR	0.200	1.000	112.52	112.52
Zone 1	196-430-280-000	SFR	0.200	1.000	112.52	112.52
Zone 1	196-430-290-000	SFR	0.200	1.000	112.52	112.52
Zone 1	196-430-300-000	SFR	0.199	1.000	112.52	112.52
Zone 1	196-430-310-000	SFR	0.185	1.000	112.52	112.52
Zone 1	196-430-320-000	COM	0.395	1.000	112.52	112.52
Zone 1	196-430-330-000	COM	0.745	1.000	112.52	112.52
Zone 1	196-440-010-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-440-020-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-440-030-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-440-040-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-440-050-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-440-060-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-440-070-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-440-080-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-440-090-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-440-100-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-440-110-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-440-120-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-440-130-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-440-140-000	SFR	0.160	1.000	112.52	112.52
Zone 1	196-440-150-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-440-160-000	SFR	0.149	1.000	112.52	112.52

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Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-440-170-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-440-180-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-440-190-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-440-200-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-440-210-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-440-220-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-440-230-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-440-240-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-440-250-000	SFR	0.162	1.000	112.52	112.52
Zone 1	196-440-260-000	SFR	0.134	1.000	112.52	112.52
Zone 1	196-440-270-000	SFR	0.136	1.000	112.52	112.52
Zone 1	196-440-280-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-440-290-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-440-300-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-440-310-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-440-320-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-440-330-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-440-340-000	SFR	0.181	1.000	112.52	112.52
Zone 1	196-440-350-000	SFR	0.199	1.000	112.52	112.52
Zone 1	196-450-010-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-450-020-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-450-030-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-450-040-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-450-050-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-450-060-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-450-070-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-450-080-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-450-090-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-450-100-000	SFR	0.238	1.000	112.52	112.52
Zone 1	196-450-110-000	SFR	0.344	1.000	112.52	112.52
Zone 1	196-450-120-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-450-130-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-450-140-000	SFR	0.141	1.000	112.52	112.52
Zone 1	196-450-150-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-450-160-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-450-170-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-450-180-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-450-190-000	SFR	0.146	1.000	112.52	112.52
Zone 1	196-450-200-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-450-210-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-450-220-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-450-230-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-450-240-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-450-250-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-450-260-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-450-270-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-450-280-000	SFR	0.156	1.000	112.52	112.52
Zone 1	196-450-290-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-450-300-000	SFR	0.159	1.000	112.52	112.52
Zone 1	196-460-010-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-460-020-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-460-030-000	SFR	0.137	1.000	112.52	112.52

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Zone 1	196-460-040-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-460-050-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-460-060-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-460-070-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-460-080-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-460-090-000	SFR	0.145	1.000	112.52	112.52
Zone 1	196-460-100-000	SFR	0.177	1.000	112.52	112.52
Zone 1	196-460-110-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-460-120-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-460-130-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-460-140-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-460-150-000	SFR	0.165	1.000	112.52	112.52
Zone 1	196-460-160-000	SFR	0.158	1.000	112.52	112.52
Zone 1	196-460-170-000	SFR	0.158	1.000	112.52	112.52
Zone 1	196-460-180-000	SFR	0.158	1.000	112.52	112.52
Zone 1	196-460-190-000	SFR	0.158	1.000	112.52	112.52
Zone 1	196-460-200-000	SFR	0.158	1.000	112.52	112.52
Zone 1	196-460-210-000	SFR	0.158	1.000	112.52	112.52
Zone 1	196-460-220-000	SFR	0.184	1.000	112.52	112.52
Zone 1	196-460-230-000	SFR	0.193	1.000	112.52	112.52
Zone 1	196-460-240-000	SFR	0.308	1.000	112.52	112.52
Zone 1	196-460-250-000	SFR	0.178	1.000	112.52	112.52
Zone 1	196-460-260-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-460-270-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-460-280-000	SFR	0.161	1.000	112.52	112.52
Zone 1	196-460-290-000	SFR	0.158	1.000	112.52	112.52
Zone 1	196-460-300-000	SFR	0.161	1.000	112.52	112.52
Zone 1	196-460-310-000	SFR	0.161	1.000	112.52	112.52
Zone 1	196-460-320-000	SFR	0.161	1.000	112.52	112.52
Zone 1	196-460-330-000	SFR	0.161	1.000	112.52	112.52
Zone 1	196-460-340-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-460-350-000	SFR	0.159	1.000	112.52	112.52
Zone 1	196-460-360-000	SFR	0.161	1.000	112.52	112.52
Zone 1	196-460-370-000	SFR	0.161	1.000	112.52	112.52
Zone 1	196-460-380-000	SFR	0.161	1.000	112.52	112.52
Zone 1	196-460-390-000	SFR	0.161	1.000	112.52	112.52
Zone 1	196-460-400-000	SFR	0.156	1.000	112.52	112.52
Zone 1	196-470-010-000	MFR	0.256	1.000	112.52	112.52
Zone 1	196-470-050-000	SFR	0.186	1.000	112.52	112.52
Zone 1	196-470-060-000	SFR	0.145	1.000	112.52	112.52
Zone 1	196-470-070-000	SFR	0.141	1.000	112.52	112.52
Zone 1	196-470-080-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-470-090-000	SFR	0.162	1.000	112.52	112.52
Zone 1	196-470-100-000	SFR	0.175	1.000	112.52	112.52
Zone 1	196-470-110-000	SFR	0.172	1.000	112.52	112.52
Zone 1	196-470-120-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-470-130-000	SFR	0.191	1.000	112.52	112.52
Zone 1	196-470-140-000	SFR	0.227	1.000	112.52	112.52
Zone 1	196-470-150-000	SFR	0.230	1.000	112.52	112.52
Zone 1	196-470-160-000	SFR	0.177	1.000	112.52	112.52
Zone 1	196-470-170-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-470-180-000	SFR	0.148	1.000	112.52	112.52

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Zone 1	196-470-190-000	SFR	0.161	1.000	112.52	112.52
Zone 1	196-470-210-000	COM	5.740	5.740	112.52	645.86
Zone 1	196-470-220-000	COM	0.055	1.000	112.52	112.52
Zone 1	196-470-230-000	SFR	0.199	1.000	112.52	112.52
Zone 1	196-470-240-000	SFR	0.315	1.000	112.52	112.52
Zone 1	196-470-250-000	MFR	0.283	1.000	112.52	112.52
Zone 1	196-470-260-000	MFR	0.308	1.000	112.52	112.52
Zone 1	196-470-270-000	MFR	0.323	1.000	112.52	112.52
Zone 1	196-470-280-000	MFR	0.327	1.000	112.52	112.52
Zone 1	196-470-290-000	MFR	0.327	1.000	112.52	112.52
Zone 1	196-470-300-000	MFR	0.326	1.000	112.52	112.52
Zone 1	196-480-010-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-480-020-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-480-030-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-480-040-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-480-050-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-480-060-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-480-070-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-480-080-000	SFR	0.156	1.000	112.52	112.52
Zone 1	196-480-090-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-480-100-000	SFR	0.156	1.000	112.52	112.52
Zone 1	196-480-110-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-480-120-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-480-130-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-480-140-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-480-150-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-480-160-000	SFR	0.186	1.000	112.52	112.52
Zone 1	196-480-170-000	SFR	0.198	1.000	112.52	112.52
Zone 1	196-480-180-000	SFR	0.236	1.000	112.52	112.52
Zone 1	196-480-190-000	SFR	0.164	1.000	112.52	112.52
Zone 1	196-480-200-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-480-210-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-480-220-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-480-230-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-480-240-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-480-250-000	SFR	0.160	1.000	112.52	112.52
Zone 1	196-480-260-000	SFR	0.158	1.000	112.52	112.52
Zone 1	196-480-270-000	SFR	0.153	1.000	112.52	112.52
Zone 1	196-480-280-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-480-290-000	SFR	0.146	1.000	112.52	112.52
Zone 1	196-480-300-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-480-310-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-480-320-000	SFR	0.169	1.000	112.52	112.52
Zone 1	196-480-330-000	SFR	0.193	1.000	112.52	112.52
Zone 1	196-480-340-000	SFR	0.232	1.000	112.52	112.52
Zone 1	196-480-350-000	SFR	0.174	1.000	112.52	112.52
Zone 1	196-480-360-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-480-370-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-480-380-000	SFR	0.174	1.000	112.52	112.52
Zone 1	196-480-390-000	SFR	0.196	1.000	112.52	112.52
Zone 1	196-480-400-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-480-410-000	SFR	0.153	1.000	112.52	112.52

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Zone 1	196-480-420-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-480-430-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-480-440-000	SFR	0.147	1.000	112.52	112.52
Zone 1	196-480-450-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-480-460-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-480-470-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-480-480-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-480-490-000	SFR	0.152	1.000	112.52	112.52
Zone 1	196-480-500-000	SFR	0.178	1.000	112.52	112.52
Zone 1	196-480-510-000	SFR	0.188	1.000	112.52	112.52
Zone 1	196-480-520-000	SFR	0.207	1.000	112.52	112.52
Zone 1	196-480-530-000	SFR	0.311	1.000	112.52	112.52
Zone 1	196-480-540-000	SFR	0.177	1.000	112.52	112.52
Zone 1	196-480-550-000	SFR	0.154	1.000	112.52	112.52
Zone 1	196-480-560-000	SFR	0.190	1.000	112.52	112.52
Zone 1	196-480-570-000	SFR	0.158	1.000	112.52	112.52
Zone 1	196-480-580-000	SFR	0.147	1.000	112.52	112.52
Zone 1	196-480-590-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-480-600-000	SFR	0.146	1.000	112.52	112.52
Zone 1	196-480-610-000	SFR	0.141	1.000	112.52	112.52
Zone 1	196-480-620-000	SFR	0.196	1.000	112.52	112.52
Zone 1	196-480-630-000	SFR	0.214	1.000	112.52	112.52
Zone 1	196-480-640-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-480-650-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-480-660-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-480-670-000	SFR	0.158	1.000	112.52	112.52
Zone 1	196-480-680-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-480-690-000	SFR	0.159	1.000	112.52	112.52
Zone 1	196-480-700-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-480-710-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-480-720-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-480-730-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-480-740-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-480-750-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-480-760-000	SFR	0.150	1.000	112.52	112.52
Zone 1	196-480-770-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-480-780-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-480-790-000	SFR	0.150	1.000	112.52	112.52
Zone 1	196-480-800-000	SFR	0.152	1.000	112.52	112.52
Zone 1	196-480-810-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-480-820-000	SFR	0.173	1.000	112.52	112.52
Zone 1	196-480-830-000	SFR	0.157	1.000	112.52	112.52
Zone 1	196-480-840-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-490-010-000	SFR	0.158	1.000	112.52	112.52
Zone 1	196-490-020-000	SFR	0.168	1.000	112.52	112.52
Zone 1	196-490-030-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-490-040-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-490-050-000	SFR	0.150	1.000	112.52	112.52
Zone 1	196-490-060-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-490-070-000	SFR	0.159	1.000	112.52	112.52
Zone 1	196-490-080-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-490-090-000	SFR	0.156	1.000	112.52	112.52

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Zone 1	196-490-100-000	SFR	0.172	1.000	112.52	112.52
Zone 1	196-490-110-000	SFR	0.165	1.000	112.52	112.52
Zone 1	196-490-120-000	SFR	0.178	1.000	112.52	112.52
Zone 1	196-490-130-000	SFR	0.193	1.000	112.52	112.52
Zone 1	196-490-140-000	SFR	0.253	1.000	112.52	112.52
Zone 1	196-490-150-000	SFR	0.305	1.000	112.52	112.52
Zone 1	196-490-160-000	SFR	0.132	1.000	112.52	112.52
Zone 1	196-490-170-000	SFR	0.145	1.000	112.52	112.52
Zone 1	196-490-180-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-490-190-000	SFR	0.168	1.000	112.52	112.52
Zone 1	196-490-200-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-490-210-000	SFR	0.164	1.000	112.52	112.52
Zone 1	196-490-220-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-490-230-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-490-240-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-490-250-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-490-260-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-490-270-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-490-280-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-490-290-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-490-320-000	SFR	0.150	1.000	112.52	112.52
Zone 1	196-490-330-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-490-340-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-490-350-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-490-360-000	SFR	0.154	1.000	112.52	112.52
Zone 1	196-490-370-000	SFR	0.214	1.000	112.52	112.52
Zone 1	196-490-380-000	SFR	0.164	1.000	112.52	112.52
Zone 1	196-490-390-000	SFR	0.233	1.000	112.52	112.52
Zone 1	196-490-400-000	SFR	0.209	1.000	112.52	112.52
Zone 1	196-490-410-000	SFR	0.211	1.000	112.52	112.52
Zone 1	196-490-420-000	SFR	0.146	1.000	112.52	112.52
Zone 1	196-490-430-000	SFR	0.152	1.000	112.52	112.52
Zone 1	196-490-440-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-490-450-000	SFR	0.202	1.000	112.52	112.52
Zone 1	196-490-460-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-490-470-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-490-480-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-490-490-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-490-500-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-490-510-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-490-520-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-490-530-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-490-540-000	SFR	0.152	1.000	112.52	112.52
Zone 1	196-490-550-000	SFR	0.160	1.000	112.52	112.52
Zone 1	196-490-560-000	SFR	0.151	1.000	112.52	112.52
Zone 1	196-490-570-000	SFR	0.153	1.000	112.52	112.52
Zone 1	196-500-090-000	SFR	0.598	1.000	112.52	112.52
Zone 1	196-510-080-000	COM	3.130	3.130	112.52	352.18
Zone 1	196-510-090-000	COM	4.570	4.570	112.52	514.22
Zone 1	196-510-100-000	COM	0.482	1.000	112.52	112.52
Zone 1	196-510-110-000	COM	1.353	1.353	112.52	152.24
Zone 1	196-520-010-000	SFR	0.140	1.000	112.52	112.52

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Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-520-020-000	SFR	0.145	1.000	112.52	112.52
Zone 1	196-520-030-000	SFR	0.152	1.000	112.52	112.52
Zone 1	196-520-040-000	SFR	0.152	1.000	112.52	112.52
Zone 1	196-520-050-000	SFR	0.152	1.000	112.52	112.52
Zone 1	196-520-060-000	SFR	0.164	1.000	112.52	112.52
Zone 1	196-520-070-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-520-080-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-520-090-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-520-100-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-520-110-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-520-120-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-520-130-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-520-140-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-520-150-000	SFR	0.165	1.000	112.52	112.52
Zone 1	196-520-160-000	SFR	0.160	1.000	112.52	112.52
Zone 1	196-520-170-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-520-180-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-520-190-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-520-200-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-520-210-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-520-220-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-520-230-000	SFR	0.236	1.000	112.52	112.52
Zone 1	196-520-240-000	SFR	0.186	1.000	112.52	112.52
Zone 1	196-520-250-000	SFR	0.141	1.000	112.52	112.52
Zone 1	196-520-260-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-520-270-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-520-280-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-520-290-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-520-300-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-520-310-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-520-320-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-520-330-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-520-340-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-520-350-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-520-360-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-520-370-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-520-380-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-520-390-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-520-400-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-520-410-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-520-420-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-520-430-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-520-440-000	SFR	0.141	1.000	112.52	112.52
Zone 1	196-520-450-000	SFR	0.160	1.000	112.52	112.52
Zone 1	196-520-460-000	SFR	0.147	1.000	112.52	112.52
Zone 1	196-520-470-000	SFR	0.147	1.000	112.52	112.52
Zone 1	196-520-480-000	SFR	0.147	1.000	112.52	112.52
Zone 1	196-520-490-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-520-510-000	SFR	0.182	1.000	112.52	112.52
Zone 1	196-520-520-000	SFR	0.247	1.000	112.52	112.52
Zone 1	196-520-530-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-520-540-000	SFR	0.143	1.000	112.52	112.52

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Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-520-550-000	SFR	0.146	1.000	112.52	112.52
Zone 1	196-520-560-000	SFR	0.154	1.000	112.52	112.52
Zone 1	196-520-570-000	SFR	0.218	1.000	112.52	112.52
Zone 1	196-530-010-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-530-020-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-530-030-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-530-040-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-530-050-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-530-060-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-530-070-000	SFR	0.169	1.000	112.52	112.52
Zone 1	196-530-080-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-530-090-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-530-100-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-530-110-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-530-120-000	SFR	0.223	1.000	112.52	112.52
Zone 1	196-530-130-000	SFR	0.180	1.000	112.52	112.52
Zone 1	196-530-140-000	SFR	0.220	1.000	112.52	112.52
Zone 1	196-530-150-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-530-160-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-530-170-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-530-180-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-530-190-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-530-200-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-530-210-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-530-220-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-530-230-000	SFR	0.159	1.000	112.52	112.52
Zone 1	196-530-240-000	SFR	0.161	1.000	112.52	112.52
Zone 1	196-530-250-000	SFR	0.181	1.000	112.52	112.52
Zone 1	196-530-260-000	SFR	0.141	1.000	112.52	112.52
Zone 1	196-530-270-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-530-280-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-530-290-000	SFR	0.194	1.000	112.52	112.52
Zone 1	196-530-300-000	SFR	0.181	1.000	112.52	112.52
Zone 1	196-530-310-000	SFR	0.208	1.000	112.52	112.52
Zone 1	196-530-320-000	SFR	0.160	1.000	112.52	112.52
Zone 1	196-530-330-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-530-340-000	SFR	0.146	1.000	112.52	112.52
Zone 1	196-530-350-000	SFR	0.145	1.000	112.52	112.52
Zone 1	196-530-360-000	SFR	0.158	1.000	112.52	112.52
Zone 1	196-530-370-000	SFR	0.182	1.000	112.52	112.52
Zone 1	196-530-380-000	SFR	0.236	1.000	112.52	112.52
Zone 1	196-530-390-000	SFR	0.205	1.000	112.52	112.52
Zone 1	196-530-400-000	SFR	0.192	1.000	112.52	112.52
Zone 1	196-530-410-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-530-420-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-530-430-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-530-440-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-530-450-000	SFR	0.153	1.000	112.52	112.52
Zone 1	196-530-460-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-530-470-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-530-480-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-530-490-000	SFR	0.137	1.000	112.52	112.52

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Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-530-500-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-530-510-000	SFR	0.154	1.000	112.52	112.52
Zone 1	196-530-520-000	SFR	0.146	1.000	112.52	112.52
Zone 1	196-530-530-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-530-540-000	SFR	0.210	1.000	112.52	112.52
Zone 1	196-530-550-000	SFR	0.173	1.000	112.52	112.52
Zone 1	196-530-560-000	SFR	0.239	1.000	112.52	112.52
Zone 1	196-530-570-000	SFR	0.155	1.000	112.52	112.52
Zone 1	196-530-580-000	SFR	0.145	1.000	112.52	112.52
Zone 1	196-530-590-000	SFR	0.147	1.000	112.52	112.52
Zone 1	196-530-600-000	SFR	0.147	1.000	112.52	112.52
Zone 1	196-540-010-000	SFR	0.189	1.000	112.52	112.52
Zone 1	196-540-020-000	SFR	0.232	1.000	112.52	112.52
Zone 1	196-540-030-000	SFR	0.200	1.000	112.52	112.52
Zone 1	196-540-040-000	SFR	0.232	1.000	112.52	112.52
Zone 1	196-540-050-000	SFR	0.207	1.000	112.52	112.52
Zone 1	196-540-060-000	SFR	0.157	1.000	112.52	112.52
Zone 1	196-540-070-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-540-080-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-540-090-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-540-100-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-540-110-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-540-120-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-540-130-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-540-140-000	SFR	0.158	1.000	112.52	112.52
Zone 1	196-540-150-000	SFR	0.159	1.000	112.52	112.52
Zone 1	196-540-160-000	SFR	0.145	1.000	112.52	112.52
Zone 1	196-540-180-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-540-190-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-540-200-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-540-210-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-540-220-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-540-230-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-540-240-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-540-250-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-540-260-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-540-270-000	SFR	0.146	1.000	112.52	112.52
Zone 1	196-540-280-000	SFR	0.145	1.000	112.52	112.52
Zone 1	196-540-290-000	SFR	0.170	1.000	112.52	112.52
Zone 1	196-540-300-000	SFR	0.146	1.000	112.52	112.52
Zone 1	196-540-310-000	SFR	0.158	1.000	112.52	112.52
Zone 1	196-540-320-000	SFR	0.150	1.000	112.52	112.52
Zone 1	196-540-330-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-540-340-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-540-350-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-540-360-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-540-370-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-540-380-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-540-390-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-540-400-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-540-410-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-540-420-000	SFR	0.139	1.000	112.52	112.52

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Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-540-430-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-540-440-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-540-450-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-540-460-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-540-470-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-540-480-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-540-490-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-540-500-000	SFR	0.159	1.000	112.52	112.52
Zone 1	196-550-010-000	SFR	0.160	1.000	112.52	112.52
Zone 1	196-550-020-000	SFR	0.263	1.000	112.52	112.52
Zone 1	196-550-030-000	SFR	0.215	1.000	112.52	112.52
Zone 1	196-550-040-000	SFR	0.178	1.000	112.52	112.52
Zone 1	196-550-050-000	SFR	0.156	1.000	112.52	112.52
Zone 1	196-550-060-000	SFR	0.145	1.000	112.52	112.52
Zone 1	196-550-070-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-550-080-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-550-090-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-550-100-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-550-110-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-550-120-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-550-130-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-550-140-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-550-150-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-550-160-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-550-170-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-550-180-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-550-190-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-550-200-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-550-210-000	SFR	0.154	1.000	112.52	112.52
Zone 1	196-550-220-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-550-230-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-550-240-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-550-250-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-550-260-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-550-270-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-550-280-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-550-290-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-550-300-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-550-310-000	SFR	0.167	1.000	112.52	112.52
Zone 1	196-560-010-000	SFR	0.147	1.000	112.52	112.52
Zone 1	196-560-020-000	SFR	0.154	1.000	112.52	112.52
Zone 1	196-560-030-000	SFR	0.154	1.000	112.52	112.52
Zone 1	196-560-040-000	SFR	0.154	1.000	112.52	112.52
Zone 1	196-560-050-000	SFR	0.154	1.000	112.52	112.52
Zone 1	196-560-060-000	SFR	0.154	1.000	112.52	112.52
Zone 1	196-560-070-000	SFR	0.154	1.000	112.52	112.52
Zone 1	196-560-080-000	SFR	0.163	1.000	112.52	112.52
Zone 1	196-560-090-000	SFR	0.196	1.000	112.52	112.52
Zone 1	196-560-100-000	SFR	0.228	1.000	112.52	112.52
Zone 1	196-560-110-000	SFR	0.247	1.000	112.52	112.52
Zone 1	196-560-120-000	SFR	0.246	1.000	112.52	112.52
Zone 1	196-560-130-000	SFR	0.281	1.000	112.52	112.52

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FISCAL YEAR 201920
PARCEL LISTING

Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-560-140-000	SFR	0.163	1.000	112.52	112.52
Zone 1	196-560-150-000	SFR	0.175	1.000	112.52	112.52
Zone 1	196-560-160-000	SFR	0.200	1.000	112.52	112.52
Zone 1	196-560-170-000	SFR	0.174	1.000	112.52	112.52
Zone 1	196-560-180-000	SFR	0.154	1.000	112.52	112.52
Zone 1	196-560-190-000	SFR	0.150	1.000	112.52	112.52
Zone 1	196-570-010-000	SFR	0.171	1.000	112.52	112.52
Zone 1	196-570-020-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-570-030-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-570-040-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-570-050-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-570-060-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-570-070-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-570-080-000	SFR	0.156	1.000	112.52	112.52
Zone 1	196-570-090-000	SFR	0.162	1.000	112.52	112.52
Zone 1	196-570-100-000	SFR	0.158	1.000	112.52	112.52
Zone 1	196-570-110-000	SFR	0.160	1.000	112.52	112.52
Zone 1	196-570-120-000	SFR	0.160	1.000	112.52	112.52
Zone 1	196-570-130-000	SFR	0.160	1.000	112.52	112.52
Zone 1	196-570-140-000	SFR	0.161	1.000	112.52	112.52
Zone 1	196-570-150-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-570-160-000	SFR	0.146	1.000	112.52	112.52
Zone 1	196-570-170-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-570-180-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-570-190-000	SFR	0.145	1.000	112.52	112.52
Zone 1	196-570-200-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-570-210-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-570-220-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-570-230-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-570-240-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-570-250-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-570-270-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-570-280-000	SFR	0.153	1.000	112.52	112.52
Zone 1	196-570-290-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-570-300-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-570-310-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-570-320-000	SFR	0.139	1.000	112.52	112.52
Zone 1	196-570-330-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-570-340-000	SFR	0.137	1.000	112.52	112.52
Zone 1	196-570-350-000	SFR	0.147	1.000	112.52	112.52
Zone 1	196-570-360-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-570-370-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-570-380-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-570-390-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-570-400-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-570-410-000	SFR	0.149	1.000	112.52	112.52
Zone 1	196-570-420-000	SFR	0.152	1.000	112.52	112.52
Zone 1	196-570-430-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-570-440-000	SFR	0.147	1.000	112.52	112.52
Zone 1	196-570-450-000	SFR	0.145	1.000	112.52	112.52
Zone 1	196-570-460-000	SFR	0.167	1.000	112.52	112.52
Zone 1	196-570-470-000	SFR	0.201	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 201920
PARCEL LISTING

Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Zone 1	196-570-480-000	SFR	0.170	1.000	112.52	112.52
Zone 1	196-570-490-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-570-500-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-570-510-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-570-520-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-570-530-000	SFR	0.144	1.000	112.52	112.52
Zone 1	196-570-540-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-570-550-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-570-560-000	SFR	0.215	1.000	112.52	112.52
Zone 1	196-570-570-000	SFR	0.176	1.000	112.52	112.52
Zone 1	196-570-580-000	SFR	0.160	1.000	112.52	112.52
Zone 1	196-570-590-000	SFR	0.138	1.000	112.52	112.52
Zone 1	196-570-600-000	SFR	0.143	1.000	112.52	112.52
Zone 1	196-570-610-000	SFR	0.152	1.000	112.52	112.52
Zone 1	196-740-010-000	SFR	0.039	1.000	112.52	112.52
Zone 1	196-740-020-000	SFR	0.039	1.000	112.52	112.52
Zone 1	196-740-030-000	SFR	0.039	1.000	112.52	112.52
Zone 1	196-740-040-000	SFR	0.039	1.000	112.52	112.52
Zone 1	196-740-050-000	SFR	0.039	1.000	112.52	112.52
Zone 1	196-740-060-000	SFR	0.039	1.000	112.52	112.52
Zone 1	196-740-070-000	SFR	0.039	1.000	112.52	112.52
Zone 1	196-740-080-000	SFR	0.039	1.000	112.52	112.52
Zone 1	196-740-090-000	SFR	0.039	1.000	112.52	112.52
Zone 1	196-760-010-000	SFR	0.119	1.000	112.52	112.52
Zone 1	196-760-020-000	SFR	0.116	1.000	112.52	112.52
Zone 1	196-760-030-000	SFR	0.116	1.000	112.52	112.52
Zone 1	196-760-040-000	SFR	0.115	1.000	112.52	112.52
Zone 1	196-760-050-000	SFR	0.116	1.000	112.52	112.52
Zone 1	196-760-060-000	SFR	0.116	1.000	112.52	112.52
Zone 1	196-760-070-000	SFR	0.116	1.000	112.52	112.52
Zone 1	196-760-080-000	SFR	0.152	1.000	112.52	112.52
Zone 1	196-760-090-000	SFR	0.168	1.000	112.52	112.52
Zone 1	196-760-100-000	SFR	0.118	1.000	112.52	112.52
Zone 1	196-760-110-000	SFR	0.115	1.000	112.52	112.52
Zone 1	196-760-120-000	SFR	0.120	1.000	112.52	112.52
Zone 1	196-760-130-000	SFR	0.123	1.000	112.52	112.52
Zone 1	196-760-140-000	SFR	0.140	1.000	112.52	112.52
Zone 1	196-760-150-000	SFR	0.115	1.000	112.52	112.52
Zone 1	196-760-160-000	SFR	0.114	1.000	112.52	112.52
Zone 1	196-760-170-000	SFR	0.114	1.000	112.52	112.52
Zone 1	196-760-180-000	SFR	0.114	1.000	112.52	112.52
Zone 1	196-760-190-000	SFR	0.120	1.000	112.52	112.52
Zone 1	196-760-200-000	SFR	0.132	1.000	112.52	112.52
Zone 1	196-760-210-000	SFR	0.114	1.000	112.52	112.52
Zone 1	196-760-220-000	SFR	0.114	1.000	112.52	112.52
Zone 1	196-760-230-000	SFR	0.114	1.000	112.52	112.52
Zone 1	196-760-240-000	SFR	0.114	1.000	112.52	112.52
Zone 1	196-760-250-000	SFR	0.142	1.000	112.52	112.52
Zone 1	196-760-260-000	SFR	0.148	1.000	112.52	112.52
Zone 1	196-760-300-000	SFR	0.167	1.000	112.52	112.52
Zone 1	196-760-310-000	SFR	0.147	1.000	112.52	112.52
Zone 1	196-760-320-000	SFR	0.260	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 201920
PARCEL LISTING

Zone	APN	Land Use	Acreage	Units	Rate	Levy**
Totals:		2,081 Parcels		2,125.325		\$239,141.44

*Per City instruction this parcel is assessable.

**Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.

CITY OF LATHROP

City Zone 1A Storm Drainage Annual Engineer's Report

Fiscal Year 2019/20

OFFICE LOCATIONS:

Temecula – Corporate Headquarters
32605 Temecula Parkway, Suite 100
Temecula, CA 92592

San Francisco – Regional Office
870 Market Street, Suite 1223
San Francisco, CA 94102

California Satellite Offices
Atascadero, Davis
Huntington Beach,
Joshua Tree, Riverside
Sacramento, San Jose

www.nbsgov.com

Prepared by:



**CITY OF LATHROP
CITY ZONE 1A STORM DRAINAGE**

**390 Towne Centre Drive
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CITY COUNCIL

Sonny Dhaliwal, Mayor

Martha Salcedo, Vice Mayor

Paul Akinjo, Councilmember

Diane Lazard, Councilmember

Jennifer Torres-O'Callaghan, Councilmember

CITY STAFF

Stephen Salvatore, City Manager

Salvador Navarrete, City Attorney

Cari James, Finance Director

Glenn Gebhardt, City Engineer

NBS

Tim Seufert, Client Services Director

Kristin Harvey, Senior Consultant

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Section 1. ENGINEER'S LETTER

WHEREAS, the City Council of the City of Lathrop (the "City"), State of California, directed NBS Government Finance Group, DBA NBS ("NBS") to prepare and file a report presenting plans and specifications describing the general nature, location, and extent of the improvements to be maintained, and an estimate of the costs of the maintenance, operations, and servicing of the improvements for the City Zone 1A Storm Drainage ("City Zone 1A" or the "District") for Fiscal Year 2019/20. The report includes a diagram for the District showing the area and properties proposed to be assessed, an assessment of the estimated costs of the maintenance, operations and servicing of the improvements, and the net amount to be assessed upon all assessable parcels within the District in proportion to the special benefit received;

WHEREAS, the assessment for City Zone 1A for Fiscal Year 1996/97 and thereafter, of \$84.72 per Maintenance Unit and \$115.20 per Availability Unit meets the requirements of an existing assessment that is not subject to the assessment ballot procedures under Section 5(a) of Article XIII D of the California Constitution which reads: *"the following assessments existing on the effective date of this article shall be exempt from the procedures and approval process...any assessment imposed exclusively to finance the capital costs or maintenance and operation expenses for sidewalks, streets, sewers, water, flood control, drainage systems or vector control."* The City may continue to levy the assessment for City Zone 1A as long as the rate does not exceed \$84.72 per Maintenance Unit and \$115.20 per Availability Unit;

NOW THEREFORE, only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated benefit received. The following assessment is made to fund the portion of the estimated costs of maintenance, operation, and servicing of said improvements to be paid by the assessable real property within City Zone 1A in proportion to the special benefit received.

SUMMARY OF ASSESSMENT

Description	Amount
Total Costs to be Assessed	\$133,299.00
Contribution to (from) Operational Reserves	0.00
Contribution to (from) Capital Reserves	(212.00)
Other Revenue Sources (1)	<u>(19,723.00)</u>
Balance to Levy	\$113,364.00
Total Maintenance Costs to be Assessed (2)	\$48,040.20
Total Maintenance Units to be Assessed	567.047
Total Maintenance Assessment per Unit	\$84.72
Total Availability Costs to be Assessed (2)	\$65,323.80
Total Availability Units to be Assessed	567.047
Total Availability Assessment per Unit	\$115.20
Total Parcels to be Assessed	153

(1) Includes General Fund contribution.

(2) Where applicable, the actual levy will be rounded down to an even cent for San Joaquin County tax roll purposes.

I, the undersigned, respectfully submit the enclosed Engineer’s Report and, to the best of my knowledge, information, and belief, the Engineer’s Report, Assessments, and the District Diagram herein have been prepared and computed in accordance with the order and historical practices of the City Council of the City.

NBS Government Finance Group, DBA NBS



Section 2. OVERVIEW

Introduction

The City Council of the City of Lathrop, previously accepted responsibility for portions of County Service Area (“CSA”) No. 4, within the Crossroads Development, known as City Zone 1A Storm Drainage. City acceptance was made at the time of incorporation of the City and approved at an election on June 6, 1989. The City was authorized by the Local Agency Formation Commission (“LAFCO”) to continue to collect assessments and service charges as were previously authorized by the County of San Joaquin (“County”).

This Annual Engineer’s Report (the “Report”) describes the District and the charge per parcel for Fiscal Year 2019/20 based on the historical and estimated cost to maintain the improvements and provide the services that benefit parcels within the District. The parcels contained within City Zone 1A receive a special benefit from the improvements and will pay only their fair share of the costs of the operations, servicing, and maintenance of the improvements within the District.

The word “parcel,” for the purposes of this Report, refers to an individual property assigned its own Assessor’s Parcel Number by the County Assessor’s Office. The County Auditor-Controller uses Assessor’s Parcel Numbers and specific fund numbers to identify, on the tax roll, properties assessed for special district benefit assessments.

Following consideration of public comments and written protests at a noticed public hearing, and following review of the Report, the City Council may confirm the Report. Following final approval of the Report and confirmation of the assessments, the City Council may order the levy and collection of assessments for Fiscal Year 2019/20. The assessment information will be submitted to the County Auditor-Controller and included on the property tax roll for each benefiting parcel for Fiscal Year 2019/20.

Effect of Proposition 218

On November 5, 1996, California voters approved Proposition 218 by a vote of 56.5% to 43.5%. The provisions of the Proposition, now California Constitutional Articles XIII C and XIII D, added substantive and procedural requirements for assessments which affect City Zone 1A.

- The assessments for City Zone 1A for Fiscal Year 1996/97 and thereafter of \$84.72 per Maintenance Unit and \$115.20 per Availability Unit meet the requirements of existing assessments that are not subject to the assessment ballot procedures under Section 5(a) of Article XIII D which reads: *“the following assessments existing on the effective date of this article shall be exempt from the procedures and approval process...any assessment imposed exclusively to finance the capital costs or maintenance and operation expenses for sidewalks, streets, sewers, water, flood control, **drainage systems** or vector control.”*
- The City may continue to levy the assessments for City Zone 1A as long as the rates do not exceed \$84.72 per Maintenance Unit and \$115.20 per Availability Unit.

- Section 5 of Article XIII D reads: *“Beginning July 1, 1997, all existing, new, or increased assessments shall comply with this article.”* This requires that all proposed increases in the assessments for City Zone 1A are required to be approved by property owners following the assessment balloting procedures set forth in Section 4 of Article XIII D.

Plans and Specifications for the Improvements

City Zone 1A provides services necessary to maintain existing storm drain facilities in addition to long term repair and renovation of the facilities. The District encompasses the area south of Louise Avenue, east of Interstate 5, and northwest of the Southern Pacific Railroad.

Due to the existence of storm drain inlets on streets within and adjacent to the Crossroads project, ingress and egress to and from the properties is enhanced. In addition, all storm drain facilities currently installed in the District are projected to be of sufficient capacity to accept storm runoff from all District properties at ultimate project build-out. Therefore all District properties will be charged for the costs related to the availability of the current system and the enhanced access to the properties afforded by that system.

Those properties that contribute run off (and therefore, debris) into the storm drain system will be assessed their proportionate share of the incremental costs of maintaining the storm drain system, based upon their relative size and amount of run off contributed. Parcels currently contributing run off into the system are those in the “Phase I” area as well as all those in the northern section of the District. Parcels that do not contribute to the system do not receive this charge.

All improvements within the District are maintained and serviced on a regular basis. The frequency and specific maintenance operations required within the District will be determined by City staff, but are generally scheduled weekly. It should be noted that extraordinary maintenance and capital asset replacement has not occurred for several years due to the lack of funding beyond that which provides for the District’s ordinary, baseline maintenance. The District has been limited to the same assessment rate since District formation because of the absence of an annual cost escalation factor.

Only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated benefit received. As properties within the District develop and contribute runoff into the system, they will be assessed for their proportionate share of the maintenance costs.

Section 3. ESTIMATE OF COSTS

Description of Budget Items

Personnel Services - Includes employee salaries, salary related costs, and employee benefits including retirement, medical benefits, and workers compensation costs, etc.

Maintenance & Operations - Includes the following:

Advertising/Legal Notices - Includes the cost of publishing the required legal notices necessary to complete the required procedures for levying the assessments.

Auto & Heavy Equipment Maintenance Parts - Includes replacement parts for City vehicles used for storm drain maintenance.

Auto & Heavy Equipment Maintenance & Repair - Includes maintenance of City vehicles used for storm drain maintenance.

Chemicals - Includes insect repellent, weed killer, and rodent control.

Communication Equipment Repair - Includes repair of mobile and portable radios.

Contract Services - Includes professional services necessary for District maintenance, including computer technical support, the preparation of the Report, and administration.

Contracts - Other - Includes uniform service, calibration services, Sheriff's Community Corp., alarm service, and annual engine service.

Contracts - Building and Ground Maintenance - Includes professional services necessary for District maintenance, including building and ground maintenance.

Gas, Diesel, Oil & Lubricants - Includes fuel, oil, and lubricants for vehicles, and miscellaneous small equipment used for storm drain maintenance and lift station.

Insurance - Includes insurance costs on property associated with storm drain maintenance.

Miscellaneous Supplies - Includes office equipment and supplies, tools, reference materials, and additional administrative costs. Includes items related to non-contracted maintenance and repair such as barricade batteries, paint, collection line repair, cones, signs, etc.

Other Maintenance & Repair - Includes contracted maintenance and repair services such as annual fire extinguisher service and emergency repairs.

Printing & Typesetting - Includes the cost of preparing the required legal notices necessary to complete the required procedures for levying the assessments.

Training, Membership, Travel & Dues - Includes continuing training for maintenance staff.

Uniforms/Protective Clothing - Includes employee uniforms including safety boots, jackets, gloves, etc.

Utilities - Gas & Electric - Includes electrical power for the storm drain pump station.

Fixed Charges & Special Fees - Includes the charges per parcel to collect the assessments on the County Secured Property Tax Roll.

Capital Costs - Includes depreciation costs of City owned equipment.

Indirect Costs - Includes overhead costs of the City related to maintenance, operation, and administration of the District.

City Zone 1A Budget

The budget for Fiscal Year 2019/20 is as follows.

Description	2019/20 Budget
Personnel Services	\$20,265.00
Maintenance & Operations Total	90,457.00
Capital Costs	<u>0.00</u>
Subtotal	\$110,722.00
Indirect Costs	22,577.00
Equipment Replacement	0.00
Capital Replacement	<u>0.00</u>
Total District Costs	\$133,299.00
Contribution to (from) Operational Reserves	0.00
Contribution to (from) Capital Reserves	(212.00)
Other Revenue Sources (1)	<u>(19,723.00)</u>
Total Balance to Levy	\$113,364.00
Maintenance Portion of Balance to Levy (2)	\$48,040.20
Availability Portion of Balance to Levy (2)	\$65,323.80

(1) Includes General Fund contribution.

(2) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.

Balance to Levy

Total District Costs - Includes the personnel services, maintenance, and operations, capital (including capital replacement costs), indirect costs and equipment, and capital replacement costs.

Contribution to (from) Operational Reserves - The Operational Reserves item provides funds to operate the District from the time period of July 1 (beginning of the fiscal year) through December when the County provides the City with the first installment of assessments collected from the property tax bills. This eliminates the need for the City to transfer funds from non-District accounts to pay for District charges during the first half of the fiscal year. Negative amounts shown here are transfers that are used to reduce the Balance to Levy. Using reserve amounts in this way allows the levy per unit to remain at prior period rates, although District costs have increased.

Contribution to (from) Capital Reserves - The Capital Reserve Account item provides funds to maintain reserves for extraordinary maintenance items and unexpected capital expenditures that may occur as a result of natural occurrences or other unforeseen circumstances.

Other Revenue Sources - This is the amount of additional funds designated for use by the District that are not from District assessments. These funds are added to the District account to reduce assessments and may be from either non-District sources including City General Fund contributions or District sources including interest earnings.

Balance to Levy - This is the total amount to be levied and collected through assessments for the current fiscal year. The Balance to Levy represents the sum of the total direct and administration costs, reserves, contributions, and other revenue sources.

The following table shows the total costs, additional revenues, and the balance to the Fiscal Year 2019/20 levy.

Description	Amount
Total District Costs	\$133,299.00
Contribution to (from) Operational Reserves	0.00
Contribution to (from) Capital Reserves	(212.00)
Other Revenue Sources (1)	<u>(19,723.00)</u>
Balance to Levy	\$113,364.00

(1) Includes General Fund contribution.

Operational & Maintenance Reserve Information

The following table shows the estimated balance of the Operational and Maintenance Reserves.

Description	Amount
Estimated Beginning Balance - June 30, 2019	\$0.00
Contribution to (from) Operational and Maintenance Reserves	<u>0.00</u>
Estimated Ending Balance - June 30, 2020	\$0.00

Section 4. METHOD OF APPORTIONMENT

Method of Apportionment

The costs of the District are apportioned by a formula or method which fairly distributes the net amount to be assessed, among all assessable parcels in proportion to the estimated special benefits to be received by each such parcel from the operations, servicing, and maintenance of the improvements. The formula reflects the composition of the parcels and the improvements and services provided, to fairly apportion the costs based on estimated special benefit to each parcel. The assessment has been levied in accordance with the assessment methodology adopted and approved by the City Council at the time of District formation.

The method used to calculate the assessments is as follows:

Maintenance Budget	/	Maintenance Benefiting Units	=	Assessment Rate Per Maintenance Unit
Assessment Rate Per Maintenance Unit	x	Parcel Maintenance Units	=	Parcel Maintenance Assessment
Availability Budget	/	Availability Benefiting Units	=	Assessment Rate Per Availability Unit
Assessment Rate Per Availability Unit	x	Parcel Availability Units	=	Parcel Availability Assessment
Parcel Maintenance Assessment	+	Parcel Availability Assessment	=	Parcel Assessment

The Maintenance Units and Availability Units are calculated as the parcel's specific acreage. Parcels that are less than one acre are assessed for one acre. Parcels that are greater than or equal to one acre are assessed based on actual acreage.

Maintenance Assessment Per Unit

The following table shows the maintenance assessment per unit for the Fiscal Year 2019/20 levy.

Description	Amount
Maintenance Portion of Balance to Levy (1)	\$48,040.20
Maintenance Units	567.047
Maintenance Assessment Per Unit	\$84.72

(1) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.

Availability Assessment Per Unit

The following table shows the availability assessment per unit for the Fiscal Year 2019/20 levy.

Description	Amount
Availability Portion of Balance to Levy (1)	\$65,323.80
Availability Units	567.047
Availability Assessment Per Unit	\$115.20

(1) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.

Total Assessment Per Unit

The following table shows the total assessment per unit for the Fiscal Year 2019/20 levy.

Description	Amount
Maintenance Assessment Per Unit	\$84.72
Availability Assessment Per Unit	115.20
Total Assessment Per Unit	\$199.92

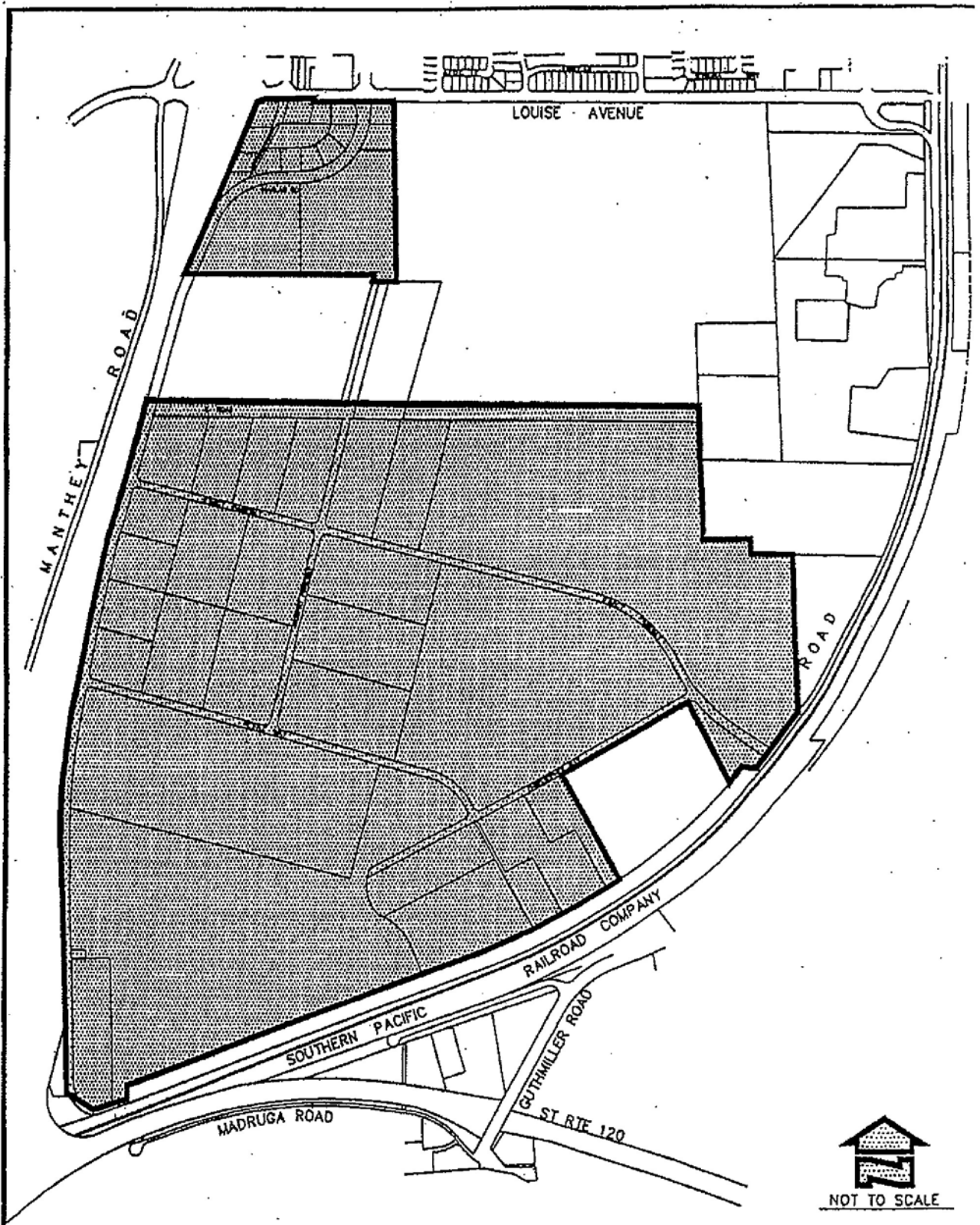
Historical Assessment Information

The following table shows the historical assessment rates for the District for the past ten years.

Fiscal Year	Maintenance Assessment Per Unit	Availability Assessment Per Unit	Total Amount
Fiscal Year 2018/19	\$84.72	\$115.20	\$199.92
Fiscal Year 2017/18	84.72	115.20	199.92
Fiscal Year 2016/17	84.72	115.20	199.92
Fiscal Year 2015/16	84.72	115.20	199.92
Fiscal Year 2014/15	84.72	115.20	199.92
Fiscal Year 2013/14	84.72	115.20	199.92
Fiscal Year 2012/13	84.72	115.20	199.92
Fiscal Year 2011/12	84.72	115.20	199.92
Fiscal Year 2010/11	84.72	115.20	199.92
Fiscal Year 2009/10	84.72	115.20	199.92

Section 5. DISTRICT DIAGRAM

Reference is made to the District Diagram on file with the City Clerk. The following page provides the boundaries of the District. The lines and dimensions shown on maps of the County Assessor for the current year are incorporated by reference and made part of this Report.



City of Lathrop
 Storm Drain Zone 1A



Date: February 15

Section 6. PARCEL LISTING

The parcel listing of assessments is provided on the following pages. The description of each lot or parcel is a part of the records of the County Assessor and is incorporated by reference and made part of this Report.

CITY OF LATHROP
CITY ZONE 1A - STORM DRAINAGE
FISCAL YEAR 2019/20
PARCEL LISTING

APN	Land Use	Acreage	Maintenance Assessment			Availability Assessment			Total Levy
			Units	Rate	Levy*	Units	Rate	Levy*	
198-130-300-000	COM	8.6300	8.6300	\$84.72	\$731.13	8.6300	\$115.20	\$994.18	\$1,725.30
198-130-390-000	INV	27.9300	27.9300	84.72	2,366.23	27.9300	115.20	3,217.54	5,583.76
198-130-420-000	IND	47.1600	47.1600	84.72	3,995.40	47.1600	115.20	5,432.83	9,428.22
198-130-540-000	INV	5.0200	5.0200	84.72	425.29	5.0200	115.20	578.30	1,003.60
198-130-550-000	INV	7.2100	7.2100	84.72	610.83	7.2100	115.20	830.59	1,441.42
198-130-560-000	INV	6.0400	6.0400	84.72	511.71	6.0400	115.20	695.81	1,207.52
198-130-570-000	INV	4.8800	4.8800	84.72	413.43	4.8800	115.20	562.18	975.60
198-130-580-000	INV	1.8300	1.8300	84.72	155.04	1.8300	115.20	210.82	365.84
198-130-610-000	INV	9.7600	9.7600	84.72	826.87	9.7600	115.20	1,124.35	1,951.22
198-130-620-000	INV	18.6700	18.6700	84.72	1,581.72	18.6700	115.20	2,150.78	3,732.50
198-130-630-000	INV	7.1900	7.1900	84.72	609.14	7.1900	115.20	828.29	1,437.42
198-130-640-000	IND	49.6400	49.6400	84.72	4,205.50	49.6400	115.20	5,718.53	9,924.02
198-190-040-000	IND	6.3100	6.3100	84.72	534.58	6.3100	115.20	726.91	1,261.50
198-190-060-000	COM	8.9900	8.9900	84.72	761.63	8.9900	115.20	1,035.65	1,797.28
198-190-190-000	IND	12.4900	12.4900	84.72	1,058.15	12.4900	115.20	1,438.85	2,497.00
198-190-200-000	IND	12.5000	12.5000	84.72	1,059.00	12.5000	115.20	1,440.00	2,499.00
198-190-210-000	IND	13.2000	13.2000	84.72	1,118.30	13.2000	115.20	1,520.64	2,638.94
198-190-300-000	IND	11.0000	11.0000	84.72	931.92	11.0000	115.20	1,267.20	2,199.12
198-190-310-000	IND	14.7200	14.7200	84.72	1,247.08	14.7200	115.20	1,695.74	2,942.82
198-190-320-000	IND	29.1100	29.1100	84.72	2,466.20	29.1100	115.20	3,353.47	5,819.66
198-190-330-000	IND	7.2800	7.2800	84.72	616.76	7.2800	115.20	838.66	1,455.42
198-210-020-000	COM	1.1690	1.1690	84.72	99.04	1.1690	115.20	134.67	233.70
198-210-030-000	COM	0.8390	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-040-000	COM	0.6390	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-050-000	COM	0.8500	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-060-000	COM	0.6890	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-070-000	COM	0.7600	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-080-000	COM	0.7390	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-090-000	COM	0.8500	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-100-000	COM	0.8300	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-140-000	COM	0.7390	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-160-000	COM	0.9930	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-170-000	COM	0.9160	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-180-000	COM	14.2800	14.2800	84.72	1,209.80	14.2800	115.20	1,645.06	2,854.86
198-210-190-000	COM	18.7000	18.7000	84.72	1,584.26	18.7000	115.20	2,154.24	3,738.50
198-210-200-000	COM	0.7740	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-210-000	COM	0.3850	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-220-000	COM	1.3390	1.3390	84.72	113.44	1.3390	115.20	154.25	267.68
198-210-230-000	COM	1.0690	1.0690	84.72	90.57	1.0690	115.20	123.15	213.70
198-220-020-000	IND	19.3900	19.3900	84.72	1,642.72	19.3900	115.20	2,233.73	3,876.44
198-220-030-000	IND	10.0100	10.0100	84.72	848.05	10.0100	115.20	1,153.15	2,001.20

CITY OF LATHROP
CITY ZONE 1A - STORM DRAINAGE
FISCAL YEAR 2019/20
PARCEL LISTING

APN	Land Use	Acreage	Maintenance Assessment			Availability Assessment			Total Levy
			Units	Rate	Levy*	Units	Rate	Levy*	
198-220-090-000	COM	27.7900	27.7900	84.72	2,354.37	27.7900	115.20	3,201.41	5,555.78
198-220-100-000	IND	11.4900	11.4900	84.72	973.43	11.4900	115.20	1,323.65	2,297.08
198-220-110-000	INV	0.7440	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-220-120-000	IND	23.0700	23.0700	84.72	1,954.49	23.0700	115.20	2,657.66	4,612.14
198-240-010-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-020-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-030-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-040-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-050-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-060-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-070-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-080-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-090-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-100-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-110-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-120-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-130-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-140-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-150-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-160-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-170-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-180-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-190-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-200-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-210-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-220-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-230-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-240-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-250-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-260-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-270-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-280-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-290-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-300-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-310-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-320-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-330-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-340-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-350-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-360-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-370-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92

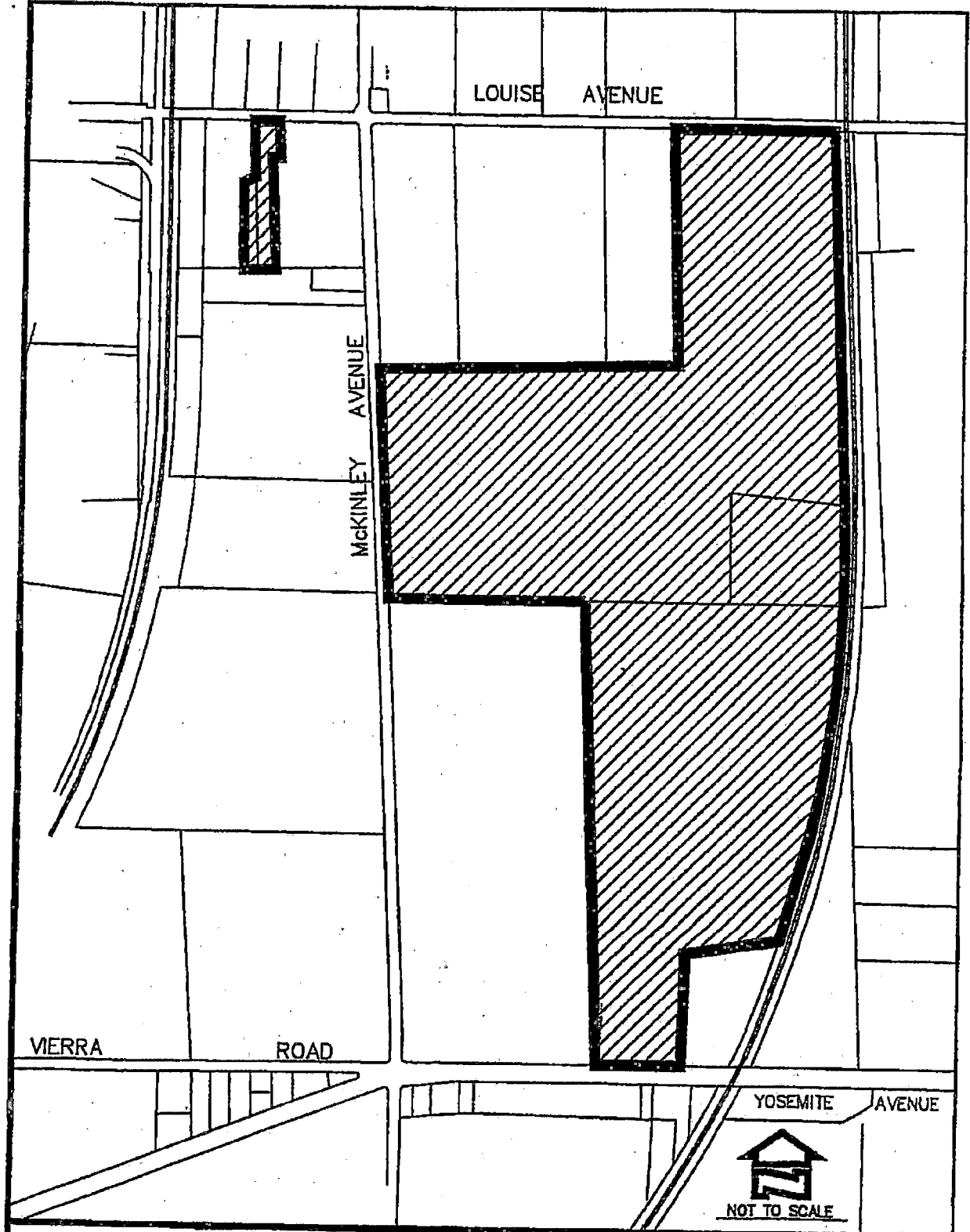
CITY OF LATHROP
CITY ZONE 1A - STORM DRAINAGE
FISCAL YEAR 2019/20
PARCEL LISTING

APN	Land Use	Acreage	Maintenance Assessment			Availability Assessment			Total Levy
			Units	Rate	Levy*	Units	Rate	Levy*	
198-240-380-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-390-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-400-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-410-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-420-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-430-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-440-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-450-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-460-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-470-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-480-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-010-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-020-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-030-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-040-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-050-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-060-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-070-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-080-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-090-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-100-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-110-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-120-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-130-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-140-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-150-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-160-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-170-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-180-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-190-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-200-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-210-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-220-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-230-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-240-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-250-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-260-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-270-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-280-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-290-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-300-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92

CITY OF LATHROP
CITY ZONE 1A - STORM DRAINAGE
FISCAL YEAR 2019/20
PARCEL LISTING

APN	Land Use	Acreage	Maintenance Assessment			Availability Assessment			Total Levy
			Units	Rate	Levy*	Units	Rate	Levy*	
198-250-310-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-320-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-330-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-340-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-350-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-360-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-370-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-380-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-390-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-400-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-410-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-420-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-430-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-440-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-450-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-460-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-470-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-480-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-490-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-500-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-510-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-520-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-530-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-540-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-550-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-560-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-570-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-580-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-590-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-600-000	INV	8.1800	8.1800	84.72	693.01	8.1800	115.20	942.34	1,635.34
Totals:	153 Parcels		567.0470		\$48,040.22	567.0470		\$65,323.81	\$113,363.90

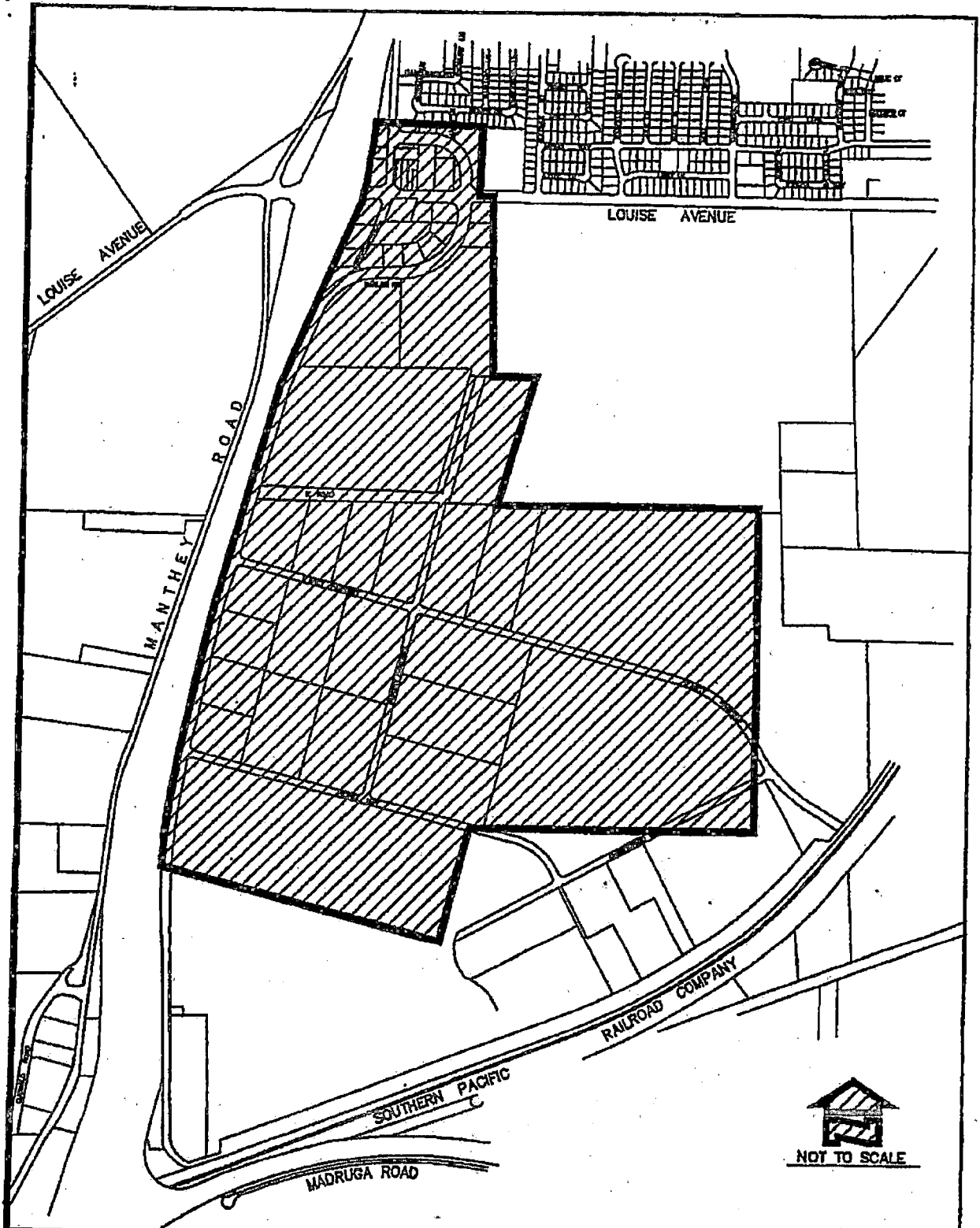
* Where applicable, the actual levy will be rounded down to an even amount for County tax roll purposes.



City of Lathrop
Industrial Lighting - Zone A



Date: February 1998



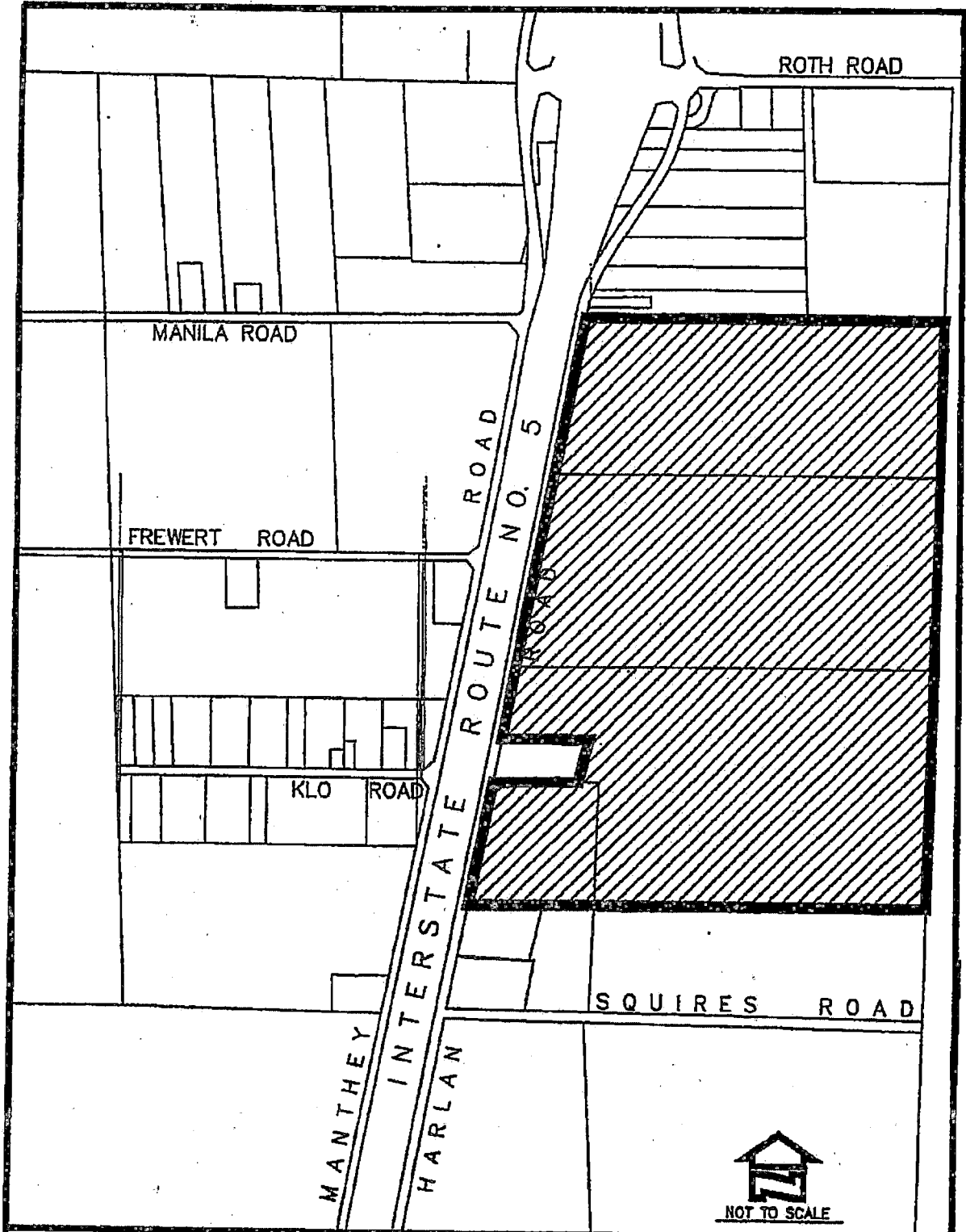
City of Lathrop
Industrial Lighting - Zone B



NOT TO SCALE



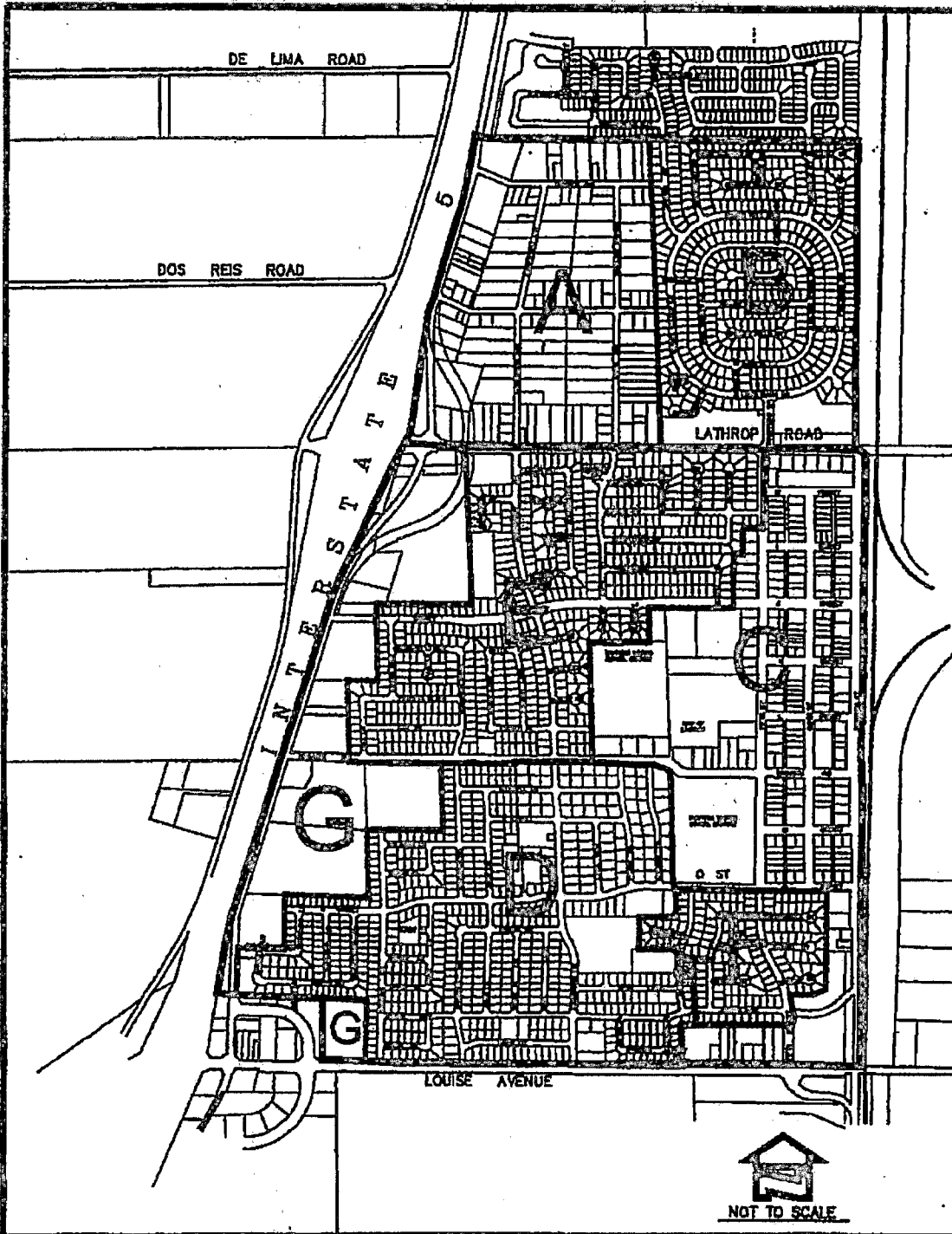
Date: February 1999



City of Lathrop
Industrial Lighting - Zone C



Date: February 1989



NOT TO SCALE

City of Lathrop
Residential Lighting District



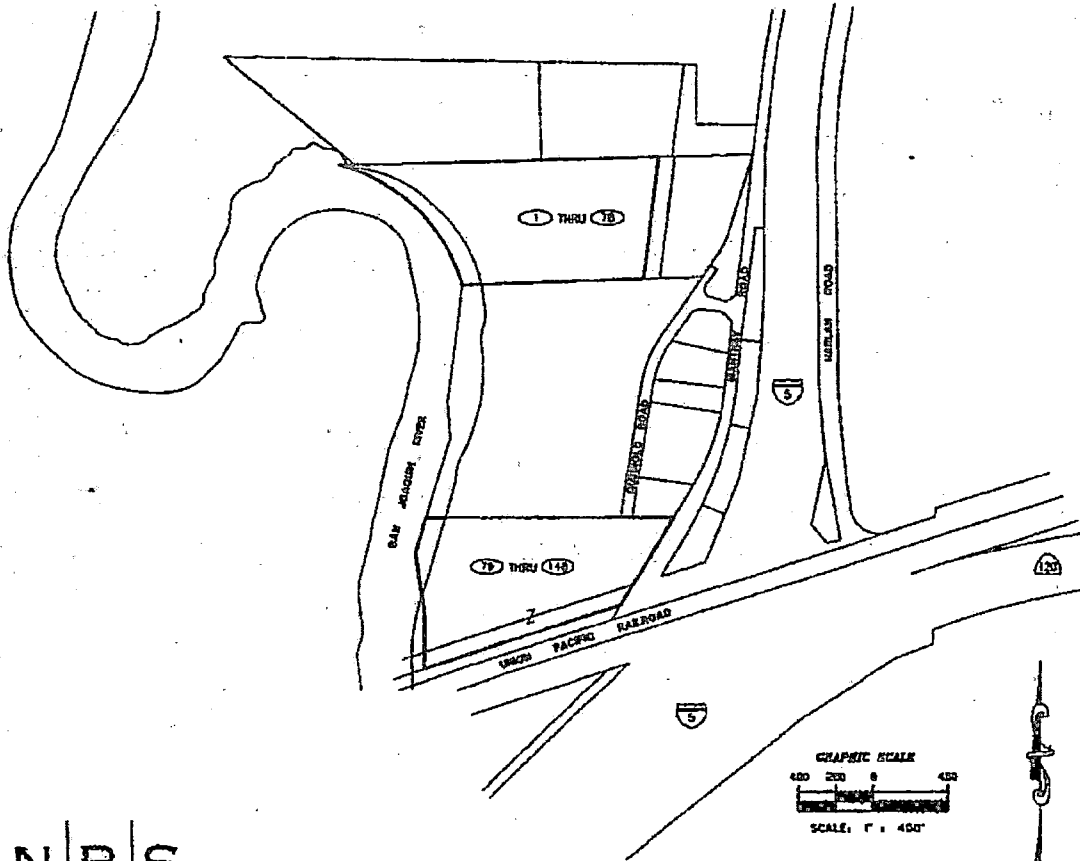
Date: March 1999

5-151

SHEET 1 OF 2

ANNEXATION DIAGRAM MOSSDALE LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT ANNEXATION NO. 1, ZONE 2 (MOSSDALE LANDING SOUTH)

CITY OF LATHROP
COUNTY OF SAN JOAQUIN
STATE OF CALIFORNIA



FILED IN THE OFFICE OF THE CITY CLERK OF THE CITY OF LATHROP
THIS 21ST DAY OF December 2006

CITY CLERK
CITY OF LATHROP
SAN JOAQUIN COUNTY, CALIFORNIA

I HEREBY CERTIFY THAT THE WITHIN MAP SHOWING THE BOUNDARIES OF THE ANNEXATION OF TERRITORY INTO MOSSDALE LANDSCAPE MAINTENANCE DISTRICT, CITY OF LATHROP, COUNTY OF SAN JOAQUIN, STATE OF CALIFORNIA, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF LATHROP AT A REGULAR MEETING THEREOF, HELD ON THE 15TH DAY OF December 2006, BY ITS RESOLUTION NO. 06-001A.

CITY CLERK
CITY OF LATHROP
SAN JOAQUIN COUNTY, CALIFORNIA

FILED THIS 9 DAY OF January 2007 AT THE HOUR OF 9:20 O'CLOCK A.M.
IN BOOK 5 AT PAGE 181 OF MAPS OF ASSESSMENT DISTRICTS IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF SAN JOAQUIN, STATE OF CALIFORNIA.

CORREY W. FREEMAN by Christina Moran
DEPUTY COUNTY RECORDER
COUNTY OF SAN JOAQUIN

NOTE: FOR A DETAILED DESCRIPTION OF THE LINES AND DIMENSIONS OF EACH PARCEL WITHIN THE DISTRICT REFER TO THE COUNTY OF SAN JOAQUIN ASSESSOR'S MAPS.

DOC # 2007-008977
01/10/07 02:08 PM:10:10
Page 1 of 2
Recorded in Public Records
County of San Joaquin
Evelyn S. Pfeiffer
Deputy Assessor/County Clerk
Print by Assessor's Office

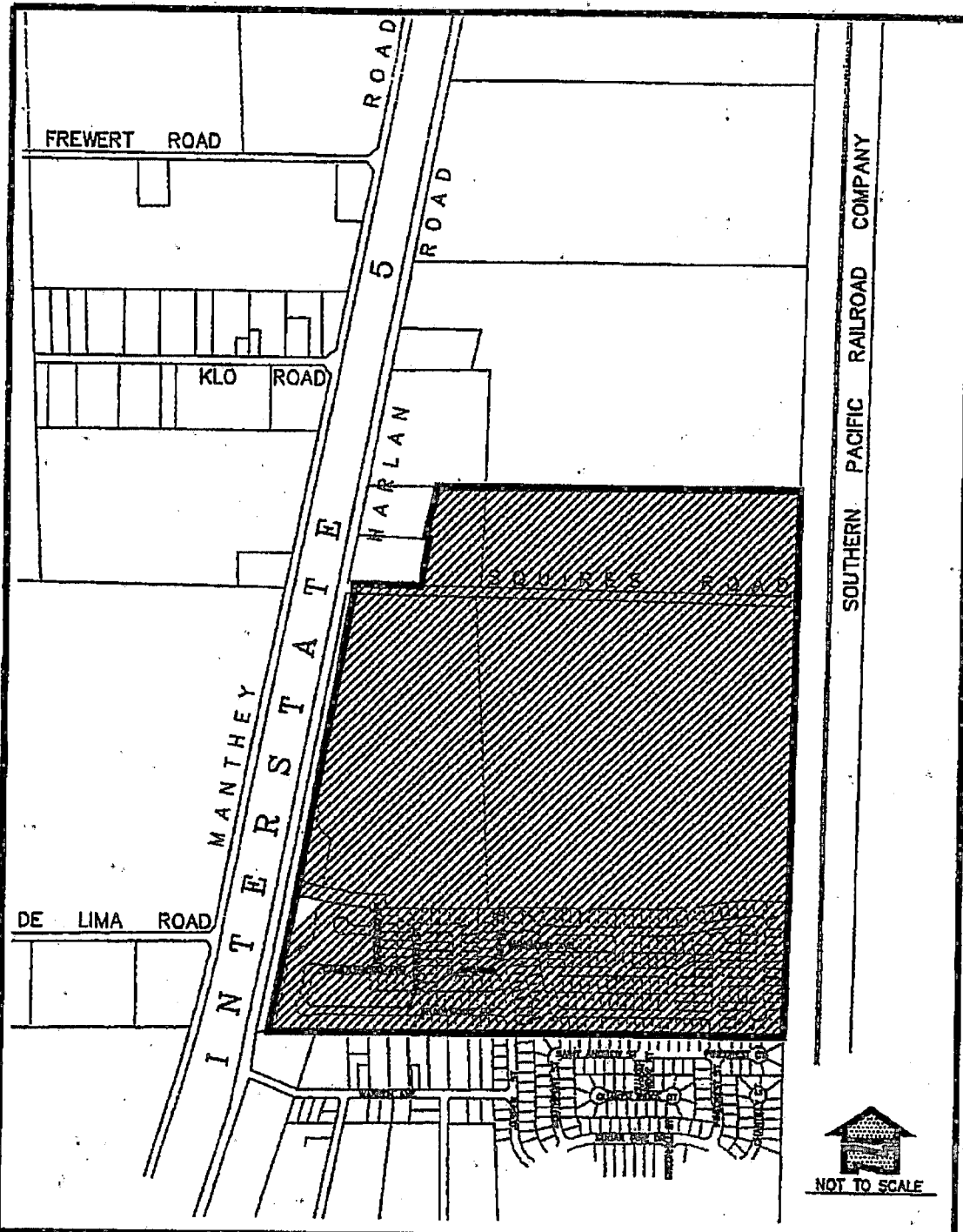
LEGEND
--- ASSESSMENT DISTRICT BOUNDARY
--- PARCEL LINES
117 ASSESSMENT MARKER

GRAPHIC SCALE
400 200 0 400
SCALE: 1" = 400'



N|B|S
2001 Agency 71 2nd, 4th & 5th
San Jose, CA 95128
Local Government Solutions

5-151

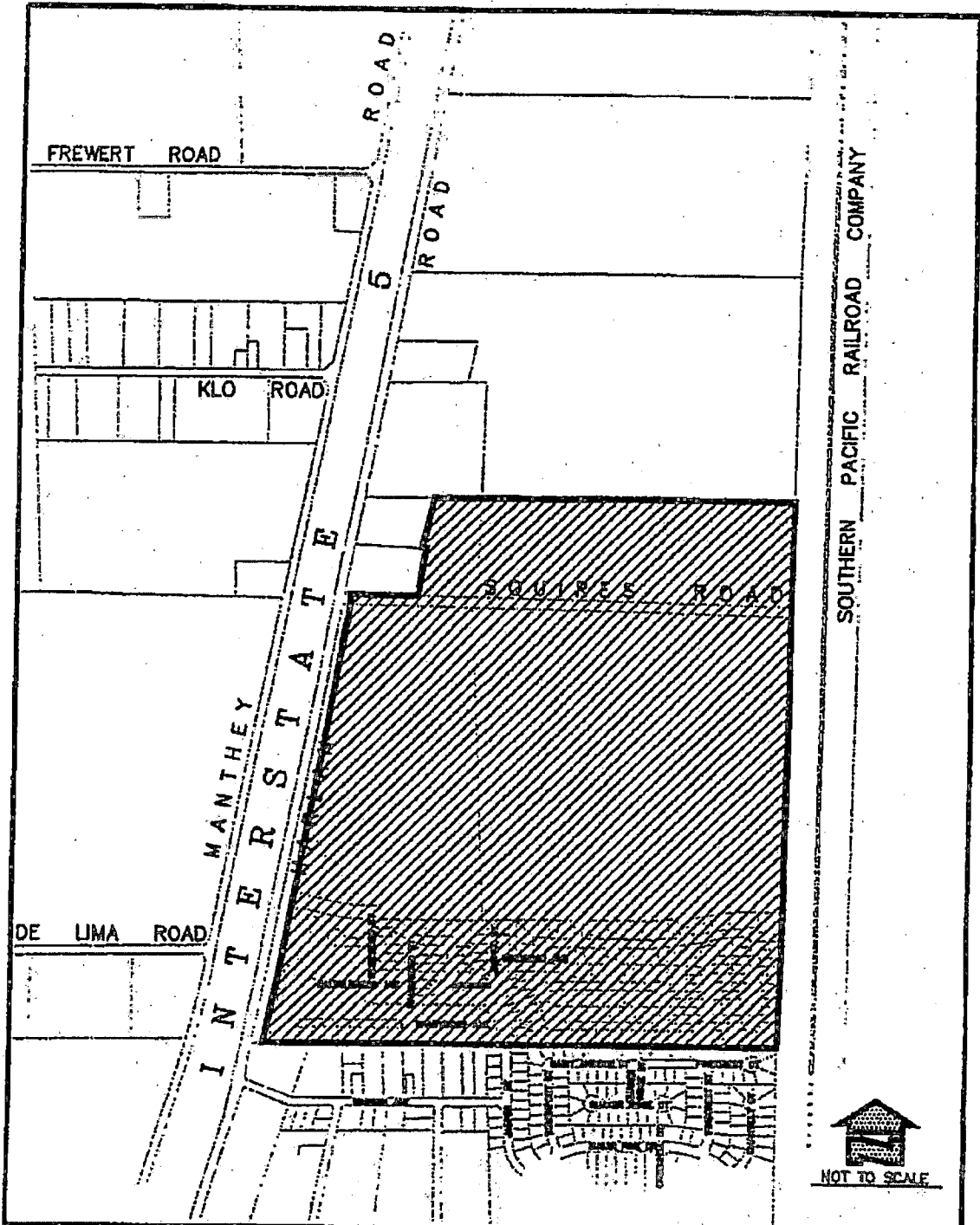


City of Lathrop

Stonebridge Landscaping District



Date: June 2001

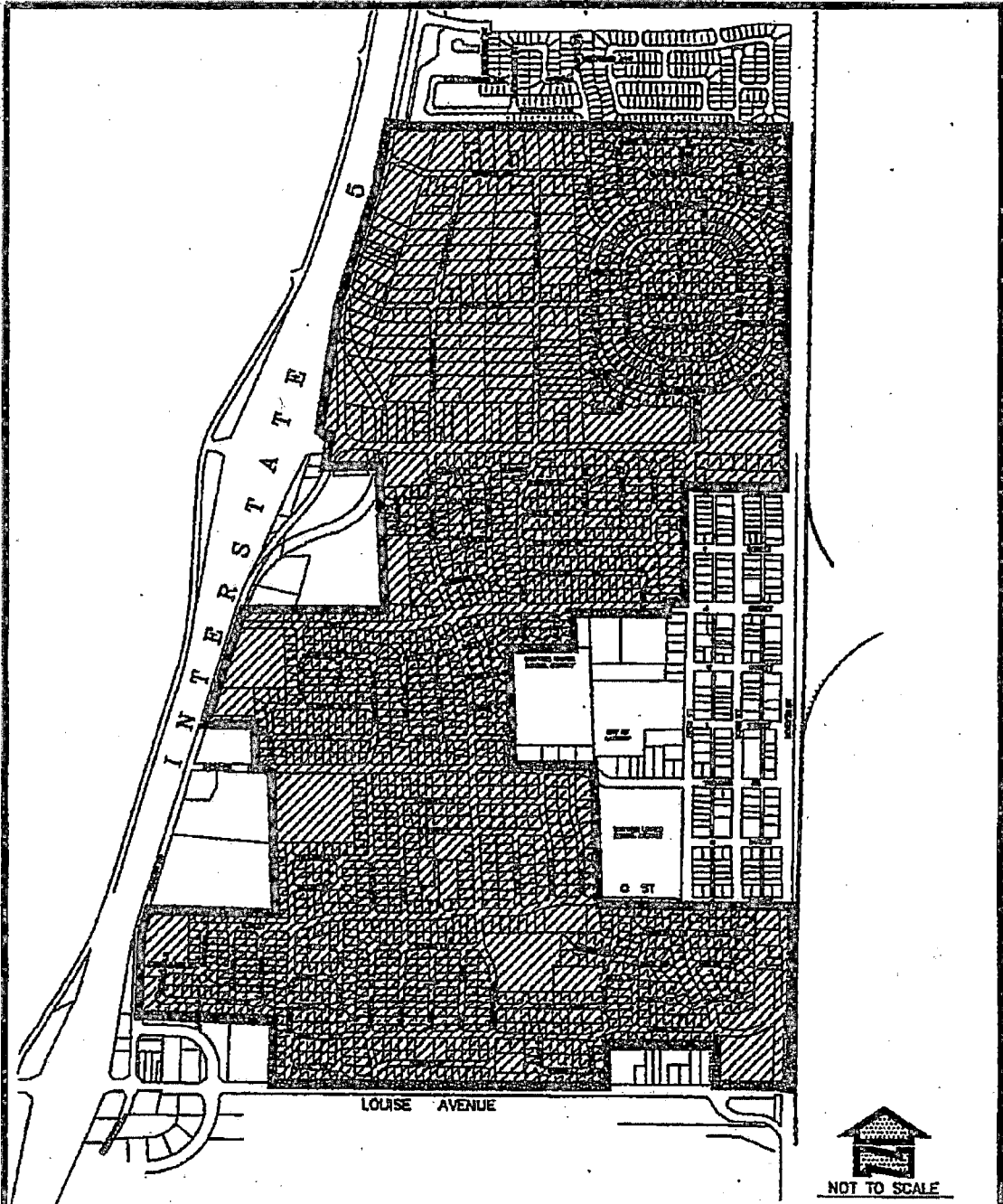


City of Lathrop

Stonebridge Drainage & Lighting District



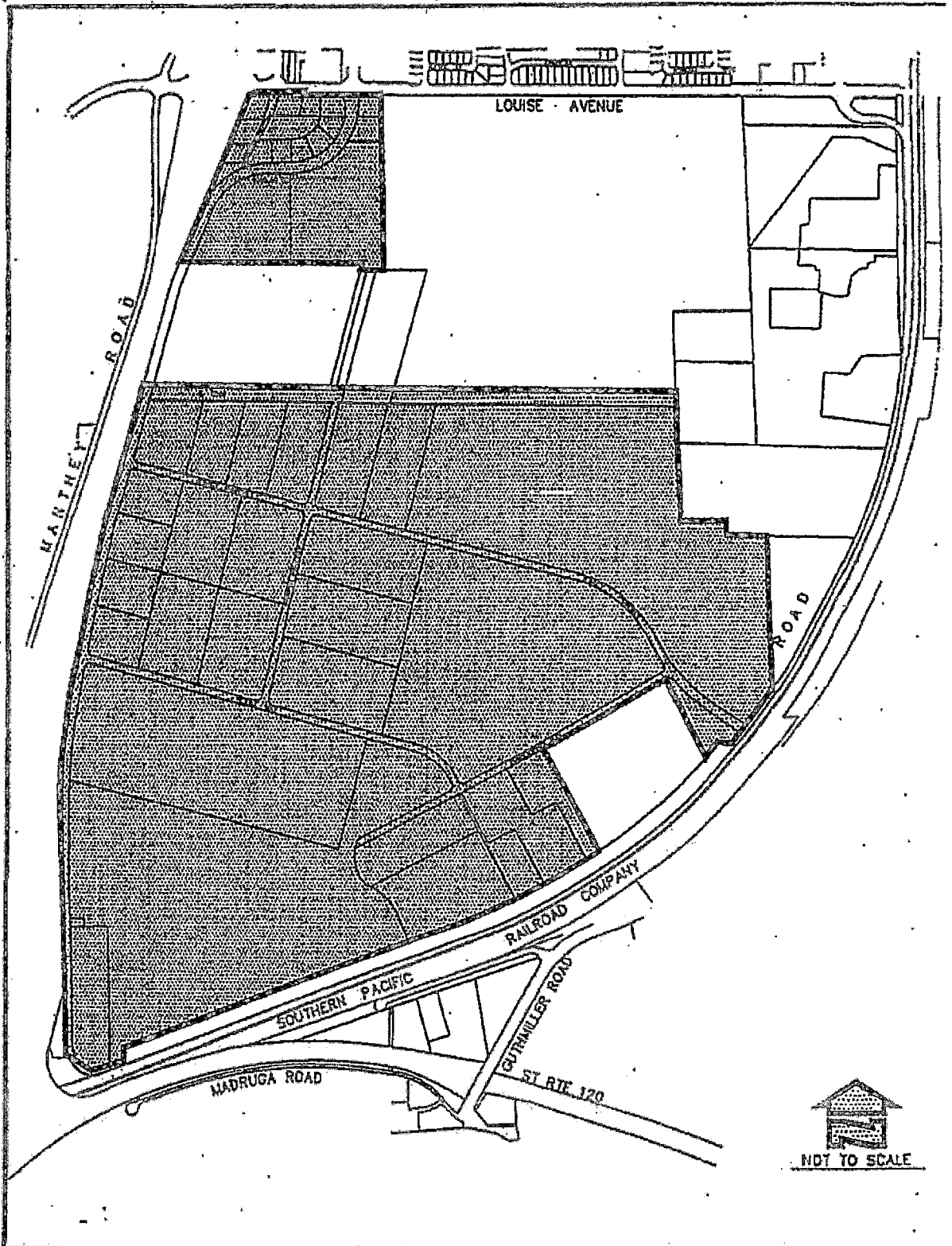
Date: February 1999



City of Lathrop
 Storm Drain Zone 1



Date: February 1999



City of Lathrop
 Storm Drain Zone 1A



NOT TO SCALE



Date: February 18

ITEM: APPROVAL OF THE PRELIMINARY ENGINEER’S REPORT AND DECLARATION OF INTENTION TO LEVY ANNUAL ASSESSMENTS FOR FISCAL YEAR 2019/20 FOR LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT NO. 93-1 (WOODFIELD PARK)

RECOMMENDATION: Adopt a Resolution Approving the Preliminary Engineer’s Report for Landscape and Lighting Maintenance District No. 93-1 (Woodfield Park) and Declaring Intention to Levy Annual Assessments for Fiscal Year 2019/20

SUMMARY:

Landscape and Lighting Maintenance District No. 93-1 (“Woodfield Park” or the “District”) was created to pay for the costs of ongoing maintenance and operations of specific park improvements within Tract 2051. This report has been separated from the report for the other maintenance districts due to the size of the district and because a City Council member currently reside within the district. (Legal guidelines generally prohibit legislative body members from voting on matters involving districts where they reside if the district(s) in question comprise less than 10% of the agency’s total residential parcels as defined by the County Assessor.)

District	FY 18/19 Actual Rate	FY 19 /20 Proposed Rate	% Change	Notes
Woodfield Park	\$123.90	\$123.90	0.00%	Rate unchanged since FY 1998/99

The revenues for the District do not meet expenditures, and while City Staff has cut costs in an effort to minimize the shortfall, a General Fund subsidy of \$18,327, coupled with the use of District’s reserves will be required to maintain current service levels (the estimated beginning Fiscal Year 2019/20 District reserves total \$20,710). In order to prevent the annual need of General Fund subsidies and the use of District’s reserves, a Proposition 218 balloting of the district’s property owners would have to be successfully completed, which would amend the assessment rate and provide for an annual escalation factor.

Tonight, City Council is being asked to approve the preliminary Engineer’s Report and to declare its intention to levy annual assessments for Fiscal Year 2019/20. After tonight’s actions, notices will be published and mailed to the affected property owners regarding the public hearing. The public hearing will be scheduled for May 13, 2019 at 7:00 p.m.

BACKGROUND:

Maintenance Districts are created to fund the costs of ongoing maintenance and operations of improvements which may include landscaping, park sites, street lighting, and storm drainage that provide special benefit to properties in given areas of the City. Special benefit is defined as that benefit, over and above the general benefit provided by the improvements, which is conferred upon parcels within a district, as identified and measured by the formation assessment engineer.

Within the City of Lathrop, there are eight maintenance assessment districts: five Landscaping and Lighting Maintenance Districts (LLMD), including Woodfield Park and three Benefit Assessment Districts (BAD); each is levied assessments according to the annual specific cost estimate associated with each individual district. Each property owner is assessed annually for a portion of the maintenance costs in their district(s). The assessments are paid by the property owner via each parcel's secured property tax bill.

On an annual basis, City Staff evaluates the anticipated costs for maintenance for the upcoming year. This analysis takes into consideration any increases in costs as well as cost savings realized. Some of the costs that are quantified include: routine maintenance and mowing contracts; equipment repair; weed abatement; shrub and tree pruning; radios and computers; irrigation parts and controllers; water; electricity; fertilizer and other chemicals; vehicles and vehicle maintenance; street lighting repairs; storm drain system maintenance; and other administrative costs to operate Woodfield Park.

An annual budget is then developed using these cost estimates. The total costs are divided among the parcels in the district based on the proportionate share of benefit received from the improvements. The proposed assessments are then reviewed and approved each year by the City Council during a public hearing process.

By law, assessments can only be increased by an amount property owners have approved in each district. Any proposed increase which exceeds the amount approved by the property owners requires the approval of the property owners via a Proposition 218 ballot process. Each of the City's districts has a maximum assessment amount. The City Council may authorize any level of assessment up to this maximum. For this reason, the City could decide to levy the maximum assessment, however if it is determined that the maximum is not needed the City can lower the actual annual assessment without jeopardizing the ongoing maximum assessment.

The preliminary Engineer's Report for Landscape and Lighting Maintenance District No. 93-1 ("Woodfield Park" or the "District") is available in the City Clerk's office and the Public Works Department for review and copies will be available at the City Council meeting by request.

The following summarizes the background information for Woodfield Park:

**CITY MANAGER'S REPORT
 APRIL 8, 2019 CITY COUNCIL REGULAR MEETING
 FISCAL YEAR 2019/20 ASSESSMENTS FOR WOODFIELD PARK**

The District was created to pay for the maintenance of Woodfield Park. This includes costs for personnel to maintain buildings and equipment and the cost for contracted park maintenance.

Expenditures exceed revenues for this district because the District was created without an annual escalation factor and, as a result has a maximum assessment rate that does not escalate to mirror increases in district expenses. As mentioned above, in order to change this, a Proposition 218 balloting of the District's property owners would have to be successfully completed.

Woodfield Park will receive \$54,763.80 in revenue from assessments. The total expenditures for this District are \$93,801, which creates a shortfall of \$39,037. The District is anticipated to begin Fiscal Year 2019/20 with a reserve fund balance of \$20,710, which will be used to offset the shortfall. However, in order to keep the same service levels in the District, a General Fund subsidy in the amount of \$18,327 would be needed to fund the remaining shortfall.

District	Actual	Proposed	Difference
	FY 2018/19 Annual Assessment Rate	FY 2019/20 Annual Assessment Rate	
LLMD No. 93-1 (Woodfield Park)	\$123.90	\$123.90	\$0.00

REASON FOR RECOMMENDATION:

Staff has prepared the budget for the service, operation and maintenance of Woodfield Park in order to establish the annual assessments. The District provides necessary services to property owners within the District boundary.

Upon adoption of the attached Resolution, the Preliminary Engineer's Report will be approved and the Council will declare its intention to levy annual assessments for Fiscal Year 2019/20 and a public hearing will be scheduled for May 13, 2019 at 7:00 p.m., to permit public testimony. Written protests will be accepted from property owners until the close of the public hearing. At the close of the public hearing, the City Council may approve the Engineer's Report as submitted or amend it and order the levy and collection of the assessments.

COUNCIL GOALS ADVANCED BY THIS AGENDA ITEM:

Promoting Community Values by maintaining Parks, Recreation, and Community Services to its required service levels.

FISCAL IMPACT:

The Woodfield Park Landscaping and Lighting District has expenditures which exceed revenues. In order to maintain the current service levels in the District, the utilization

**CITY MANAGER'S REPORT
APRIL 8, 2019 CITY COUNCIL REGULAR MEETING
FISCAL YEAR 2019/20 ASSESSMENTS FOR WOODFIELD PARK**

PAGE 4

of \$20,710 of the District's fund balance reserves; a General Fund subsidy in the amount of \$18,327 would be required to cover the remaining shortfall.


ATTACHMENTS:

- A. A Resolution Approving the Preliminary Engineer's Report for Landscape and Lighting Maintenance District No. 93-1 (Woodfield Park) and Declaring its Intention to Levy Annual Assessments for Fiscal Year 2019/20
- B. Landscape and Lighting Maintenance District No. 93-1 (Woodfield Park) District Diagram

*** Note - Preliminary Engineer's Report is available for review in the City Clerk's Office.**

**CITY MANAGER'S REPORT
APRIL 8, 2019 CITY COUNCIL REGULAR MEETING
FISCAL YEAR 2019/20 ASSESSMENTS FOR WOODFIELD PARK**

APPROVALS:



Sandra Frias
Budget Manager

3/27/19


Date

Vanessa F. Portillo

Vanessa Portillo
Deputy Finance Director

3-27-19


Date



Cari James
Director of Finance

3/27/19

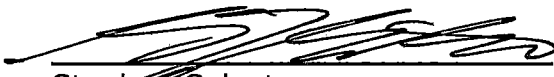
Date



Salvador Navarrete
City Attorney

3-27-19

Date



Stephen Salvatore
City Manager

4-2-19

Date

RESOLUTION NO. 19-_____

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP
 APPROVING THE PRELIMINARY ENGINEER'S REPORT FOR LANDSCAPE AND
 LIGHTING MAINTENANCE DISTRICT NO. 93-1 (WOODFIELD PARK) AND
 DECLARING INTENTION TO LEVY ANNUAL ASSESSMENTS FOR FISCAL YEAR
 2019/20**

WHEREAS, the City Council has by previous Resolutions formed the City of Lathrop Landscape and Lighting Maintenance District No. 93-1 (Woodfield Park) (hereafter referred to as the "District"), and initiated proceedings for Fiscal Year 2019/20, pursuant to the provisions of the *Landscape and Lighting Act of 1972, Part 2, Division 15 of the California Streets and Highways Code (commencing with Section 22500)* (hereafter referred to as the "Act") that provides for the levy and collection of assessments by the County of San Joaquin for the City of Lathrop to pay the maintenance and services of all improvements and facilities related thereto; and,

WHEREAS, the City Council has retained NBS for the purpose of assisting with the Annual Levy of the District, and to prepare and file a report with the City Clerk in accordance with the Act; and,

WHEREAS, the City Council has previously called for the preparation of an Engineer's Report and Annual Levy Report (collectively referred to herein as the "Report") for the district known as Landscape and Lighting Maintenance District No. 93-1 (Woodfield Park); and

WHEREAS, the Report has now been presented to the City Council; and

WHEREAS, the Report includes the District's budget and assessments and contains the data necessary to determine the special benefit conferred upon each property included in the District; and

WHEREAS, the City Council has carefully examined and reviewed the Report as presented on March 20, 2017, and is preliminarily satisfied with Landscape and Lighting Maintenance District No. 93-1 (Woodfield Park), and all of the budget items and charges, and is satisfied that the levy amounts, on a preliminary basis, have been spread in accordance with the special benefits received from the improvements, operation, maintenance and services performed in and provided by the District;

NOW, THEREFORE, BE IT RESOLVED that the following actions shall be taken:

Section 1 Intention: The City Council hereby declares that it is its intention to seek the Annual Levy of the District pursuant to the Act, over and including the land within the District boundary, and to levy and collect assessments on all such land to pay the annual costs of the improvements.

Section 2 Description of Improvements and any substantial changes proposed: The improvements within the District may include, but are not limited to: planting materials, irrigation systems, drainage systems, natural drainage areas, fencing, restroom facilities, playground equipment, picnic facilities, landscape and associated appurtenances. Services provided include all necessary service, operations, administration and maintenance required to keep the improvements in a healthy, vigorous and satisfactory condition. The Report, attached hereto as Exhibit "A" and incorporated herein by this reference is hereby approved on a preliminary basis and ordered to be filed with this Resolution in the Office of the City Clerk as a permanent record. Such Report shall remain open to public inspection. The Report provides a full and complete description of all improvements and any or all substantial changes to the District or improvements within the District.

Section 3 Boundaries and Designation: The boundaries of the District are described as the boundaries previously defined in the formation documents of the original District, within the boundaries of the City of Lathrop, within the County of San Joaquin, State of California. Also described as:

Landscape and Lighting Maintenance District No. 93-1 (Woodfield Park)

Section 4 Proposed Assessment Amounts: For Fiscal Year 2019/20, the proposed assessments are outlined in the Report, Exhibit "A", which details any changes or increases in the annual assessment.

Section 5 Public Hearing(s): The City Council hereby declares its intention to conduct a Public Hearing annually concerning the levy of assessments for the District in accordance with *Chapter 3, Section 22626* of the Act and Articles XIII (C) and XIII (D) of the California Constitution.

Section 6 Notice: The City shall give notice of the time and place of the Public Hearing to all property owners within the District by causing the publishing of this Resolution once in a newspaper of local circulation for two consecutive weeks not less than ten (10) days before the date of the public hearing, and by posting a copy of this resolution on the official bulletin board customarily used by the City Council for the posting of notices.

Section 7 Notice of Public Hearing: Notice is hereby given that a Public Hearing on these matters will be held by the City Council on Monday, May 13, 2019, at 7:00 p.m. or as soon thereafter as feasible in the City Council Chambers, located at 390 Towne Centre Dr., Lathrop, California.

Section 8 Compliance with Article XIII (C) and XIII (D) of the California Constitution: The City Council hereby finds that the proposed assessments are exempt from the requirements for Article XIII (C) and XIII (D) of the California Constitution in that the amount of the assessment is unchanged and the assessment is imposed exclusively to finance the maintenance and operation expenses for park maintenance.

The foregoing resolution was passed and adopted this 8th day of April 2019, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSENT:

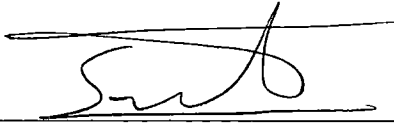
ABSTAIN:

Sonny Dhaliwal, Mayor

ATTEST:

APPROVED AS TO FORM:

Teresa Vargas, City Clerk



Salvador Navarrete, City Attorney

CITY OF LATHROP

Landscape and Lighting Maintenance District No. 93-1 Woodfield Park Maintenance Zone

Annual Engineer's Report

Fiscal Year 2019/20

OFFICE LOCATIONS:

Temecula – Corporate Headquarters
32605 Temecula Parkway, Suite 100
Temecula, CA 92592

San Francisco – Regional Office
870 Market Street, Suite 1223
San Francisco, CA 94102

California Satellite Offices
Atascadero, Davis
Huntington Beach,
Joshua Tree, Riverside
Sacramento, San Jose

www.nbsgov.com

Prepared by:



**CITY OF LATHROP
LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT NO. 93-1
WOODFIELD PARK MAINTENANCE ZONE**

**390 Towne Centre Drive
Lathrop, California 95330
Phone - (209) 941-7320
Fax - (209) 941-7339**

CITY COUNCIL

Sonny Dhaliwal, Mayor

Martha Salcedo, Vice Mayor

Paul Akinjo, Councilmember

Diane Lazard, Councilmember

Jennifer Torres-O'Callaghan, Councilmember

CITY STAFF

Stephen Salvatore, City Manager

Salvador Navarrete, City Attorney

Cari James, Finance Director

Glenn Gebhardt, City Engineer

NBS

Tim Seufert, Client Services Director

Kristin Harvey, Senior Consultant

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Section 1. ENGINEER’S LETTER

WHEREAS, the City Council of the City of Lathrop (the “City”), State of California, directed NBS Government Finance Group, DBA NBS (“NBS”) to prepare and file a report presenting plans and specifications describing the general nature, location, and extent of the improvements to be maintained, and an estimate of the costs of the maintenance, operations, and servicing of the improvements for the City of Lathrop Landscape and Lighting Maintenance District No. 93-1 (the “District”) for Fiscal Year 2019/20 including only the Woodfield Park Maintenance Zone. The report includes a diagram for the District showing the area and properties proposed to be assessed, an assessment of the estimated costs of the maintenance, operations and servicing the improvements, and the net amount to be assessed upon all assessable parcels within the District in proportion to the special benefit received;

WHEREAS, the proposed assessment rate of \$123.90 per Equivalent Dwelling Unit (“EDU”) has not increased from the previous year. The District is in compliance with the assessment balloting procedures set forth in Section 4 of Article XIII D of the California Constitution and the District was formed by consent of 100% of the land owners;

NOW THEREFORE, only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated benefit received. The following assessment is made to fund the portion of the estimated costs of maintenance, operation, and servicing of the improvements to be paid by the assessable real property within the District in proportion to the special benefit received:

SUMMARY OF ASSESSMENT

Description	Amount
Balance to Levy (1)	\$54,764.00
Total Equivalent Dwelling Units	442.00
Total Assessment Per Equivalent Dwelling Unit	\$123.90
Total Parcels to be Assessed	442

(1) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes

I, the undersigned, respectfully submit the enclosed Engineer’s Report and, to the best of my knowledge, information, and belief, the Engineer’s Report, Assessments, and the District Diagram herein have been prepared and computed in accordance with the order and historical practices of the City Council of the City.

NBS Government Finance Group, DBA NBS



Section 2. OVERVIEW

Introduction

The City previously formed several maintenance assessment districts for the purpose of providing maintenance services to benefit certain parcels in the City. Over several years, these districts have levied and collected special assessments. In 1993, the districts were consolidated, and now represent distinct zones in the District. The District was formed and the levies made pursuant to the Landscaping and Lighting Act of 1972, Part 2 of Division 15 of the California Streets and Highways Code (the “Act”). Since Fiscal Year 1998/99, only the Woodfield Park Maintenance Zone has been included in the annual assessment of the District.

This Annual Engineer’s Report (the “Report”) describes the District and the proposed charge per EDU for Fiscal Year 2019/20 based on the historical and estimated cost to maintain the improvements and provide the services that benefit parcels within the District. Maintenance and operation of the facilities provides a healthy alternative for youth and adult activities while protecting the capital investments that have been made within the District.

The word “parcel,” for the purposes of this Report, refers to an individual property assigned its own Assessor’s Parcel Number by the San Joaquin County (the “County”) Assessor’s Office. The County Auditor-Controller uses Assessor’s Parcel Numbers and specific fund numbers to identify, on the tax roll, properties assessed for special district benefit assessments.

Following consideration of public comments at a noticed public hearing and following review of the Report, the City Council may confirm the submittal of the Report and may order the levy and collection of assessments for Fiscal Year 2019/20. If approved, the assessment information will be submitted to the County Auditor-Controller, and included on the property tax roll for each benefiting parcel for Fiscal Year 2019/20.

Effect of Proposition 218

On November 5, 1996, California voters approved Proposition 218 by a vote of 56.5% to 43.5%. The provisions of the Proposition, now California Constitutional Articles XIII C and XIII D, added substantive and procedural requirements for assessments which affect the City’s landscaping and lighting maintenance assessments.

The assessment rate of \$123.90 per EDU has been in effect since Fiscal Year 1996/97 and is not proposed to increase. The District is in compliance with the assessment balloting procedures set forth in Section 4 of Article XIII D and the District was formed by consent of 100% of the land owners.

Plans and Specifications for the Improvements

The City operates, services, and maintains Woodfield Park (5.49 acres).

The District includes parcels within Tract 2051 and consists of a residential area generally located east of I-5, west of the Union Pacific Railroad, and north of Lathrop Road. Parcels within this zone receive special benefit from the Woodfield Park improvements. Specific improvements within this zone include planting materials, irrigation systems, drainage systems, natural drainage areas, fencing, restroom facilities, playground equipment, picnic facilities, and hardscape.

Section 3. ESTIMATE OF COSTS

Description of Budget Items

Personnel Services – Includes employee salaries, salary related costs, and employee benefits including retirement, medical benefits, and workers compensation costs, etc.

Maintenance & Operations – Includes the following:

Advertising/Legal Notices – Includes the cost of publishing the required legal notices necessary to complete the required procedures for levying the assessments.

Auto & Heavy Equipment Maintenance Parts – Includes replacement parts for City vehicles used for storm drain maintenance.

Auto & Heavy Equipment Maintenance & Repair – Includes maintenance of City vehicles used for storm drain maintenance.

Building Maintenance Materials & Supplies – Includes materials and supplies necessary for maintenance of restrooms, first aid kits, flashlights, fire extinguishers, employee uniforms (e.g. safety boots, jackets, and gloves), and pest control application training.

Contracts – Park Maintenance – Includes professional services necessary for District maintenance, including park maintenance, computer technical support, and alarm service.

Contract Services – Includes professional services necessary for District maintenance, including the Report and administration.

Gas, Diesel, Oil & Lubricants – Includes fuel, oil and lubricants for vehicles, and miscellaneous small equipment used for park maintenance.

Materials & Supplies – Includes materials and supplies necessary for park maintenance (e.g. sprinkler parts, pipe, sand for playgrounds, replacement plants, and trees).

Miscellaneous Equipment – Includes small equipment (e.g. blowers, roto-tiller, and hedge trimmer) and miscellaneous small tools (e.g. shovels, rakes, and hand tools) necessary for park maintenance.

Miscellaneous Supplies – Includes reference materials and additional administrative costs.

Other Maintenance & Repair – Includes contracted maintenance and repair services such as annual fire extinguisher service and emergency repairs.

Shop Tools – Includes miscellaneous small tools necessary for park maintenance such as shovels, weed eaters, and shop vacuums.

Uniforms/Protective Clothing – Includes employee uniforms including safety boots, jackets, gloves, etc.

Utility – Gas & Electric – Includes electrical power for sprinkler controllers, pumps, and park lights.

Water – Includes water for irrigation, water fountains, and restrooms.

Training, Membership, Travel & Dues – Includes continuing training for maintenance staff.

Fixed Charges & Special Fees – Includes the charges per parcel to collect the assessments on the County Secured Property Tax Roll.

Capital – Includes principal payment for lease purchase of park vehicles plus miscellaneous equipment purchased over a five year lease.

Indirect Costs – Includes overhead costs of the City related to maintenance, operation, and administration of the District.

District Budget

The budget for Fiscal Year 2019/20 is as follows.

Description	2019/20 Budget
Personnel Services	\$6,016.00
Maintenance & Operations Total	74,400.00
Capital Costs	<u>0.00</u>
Subtotal	\$80,416.00
Indirect Costs	<u>13,385.00</u>
Total District Costs	\$93,801.00

Balance to Levy

Total District Costs – Includes personnel services, maintenance and operations, capital, and indirect costs determined above.

Contribution to (from) Operational Reserves – The Operational Reserves item provides funds to operate the District from the time period of July 1 (beginning of the Fiscal Year) through December when the County provides the City with the first installment of assessments collected from the property tax bills. This eliminates the need for the City to transfer funds from non-District accounts to pay for District charges during the first half of the fiscal year. Negative amounts shown here are transfers that are used to reduce the Balance to Levy. Using reserve amounts in this way allows the Levy per EDU to remain at prior period rates, although District costs have increased.

Contribution to (from) Capital Reserves – The Capital Reserve Account item provides funds to maintain reserves for extraordinary maintenance items and unexpected capital expenditures that may occur as a result of natural occurrences or other unforeseen circumstances.

Balance to Levy – This is the total amount to be levied and collected through assessments for the current fiscal year. The Balance to Levy represents the sum of the total direct and administration costs, reserves, contributions, and other revenue sources.

The following table shows the total costs, additional revenues, and the balance to the Fiscal Year 2019/20 levy.

Description	Amount
Total District Costs	\$93,801.00
Other Revenue Sources (1)	(18,327.00)
Contribution to (from) Operational Reserves	<u>(20,710.00)</u>
Balance to Levy	\$54,764.00

(1) Includes General Fund contribution.

Operational & Maintenance Reserve Information

The following table shows the estimated balance of the Operational and Maintenance Reserves.

Description	Amount
Estimated Beginning Balance - June 30, 2019	\$20,710.00
Contribution to (from) Operational and Maintenance Reserves	<u>(20,710.00)</u>
Estimated Ending Balance - June 30, 2020	\$0.00

Section 4. METHOD OF APPORTIONMENT

Method of Apportionment

Pursuant to the Act, the costs of the District are apportioned by a formula or method which fairly distributes the net amount to be assessed among all assessable parcels in proportion to the estimated special benefit to be received by each such parcel from the maintenance, servicing, and operation of the improvements. The formula used for the Woodfield Park Maintenance Zone reflects the homogenous composition of the parcels, as well as the improvements and services provided to fairly proportion the costs based on the estimated benefits to each parcel. The assessment has been levied in accordance with the assessment methodology adopted and approved by the City Council at the time of District formation.

The basis of benefit for the District was determined to be equal for all EDUs within the Woodfield Park Maintenance Zone.

The method used to calculate the assessments within the Woodfield Park Maintenance Zone is as follows:

$$\text{Total Balance to Levy} / \text{Total EDU} = \text{Levy per EDU}$$

To determine the EDU for single-family residential parcels, the Benefit Unit Factor (BUF) is multiplied by the number of developed residential units on the parcel.

To determine the EDU for vacant (no buildings) residential parcels, the BUF is multiplied by the number of residential units that can be built on the parcel.

To determine the EDU for unimproved residential parcels, the number of potential parcels is calculated per the approved tentative map and the BUF is multiplied by that number of parcels.

All parcels in the District have been developed as single-family residential and there are currently no vacant or unimproved residential parcels.

Benefit Unit Factors

The following table shows the Benefit Unit Factors.

Property Type / Land Use	BUF per Unit or Acre
Single-Family Residential	1.0
Vacant Residential Parcels	1.0
Unimproved Residential Parcels	1.0

Assessment Per EDU

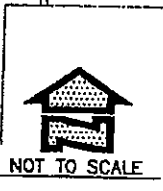
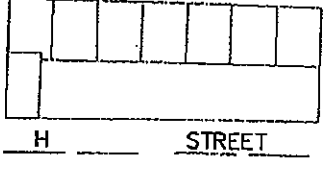
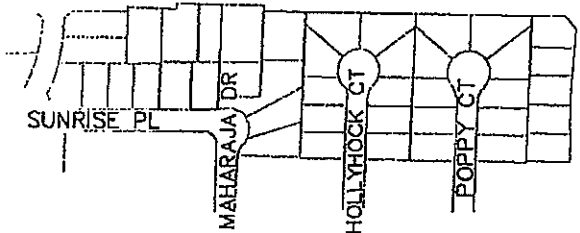
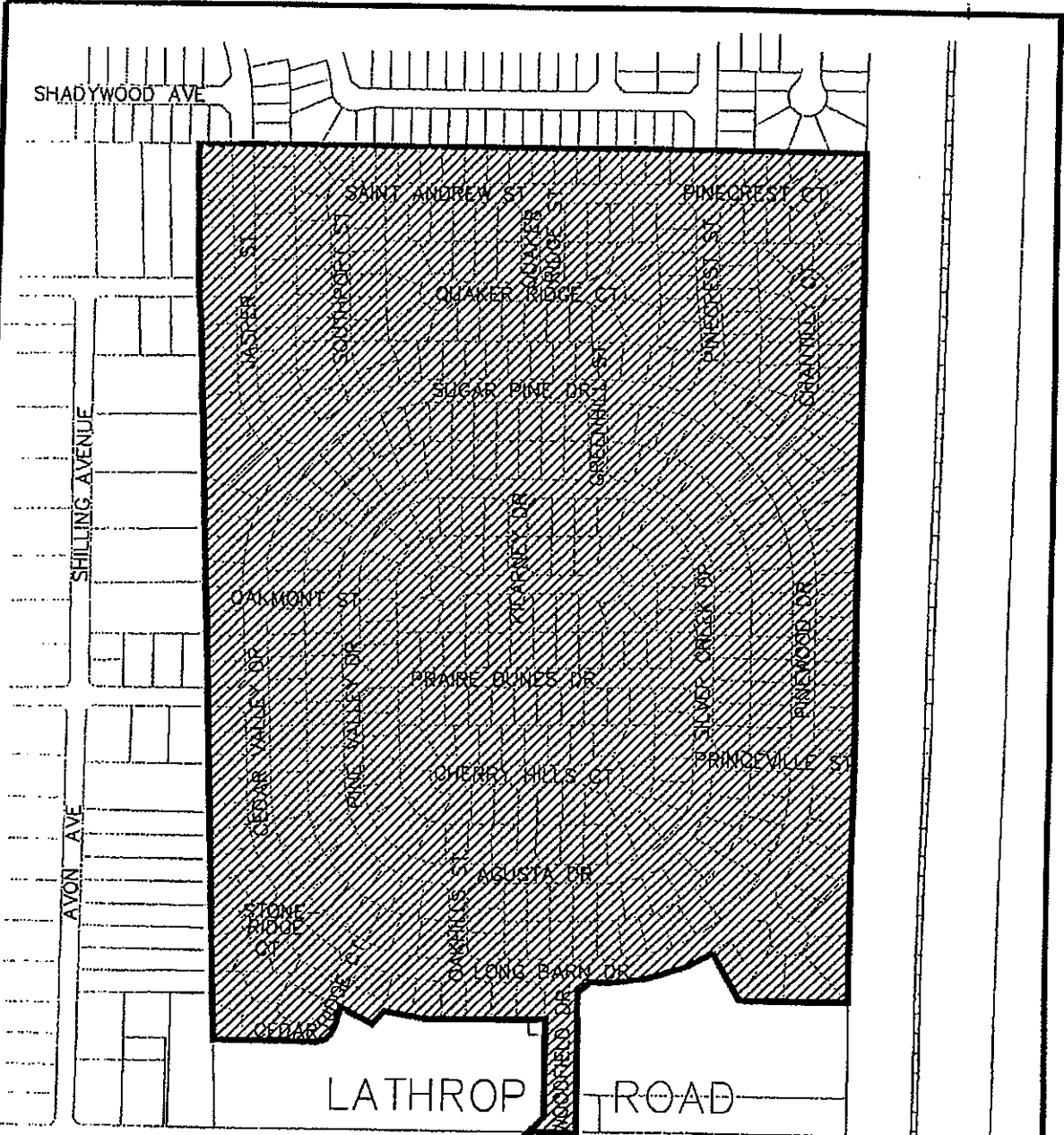
The following table shows the total assessment per EDU for the Fiscal Year 2019/20 levy.

Description	Amount
Balance to Levy (1)	\$54,764.00
Total District EDU	442.00
Total Assessment Per EDU	\$123.90

(1) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.

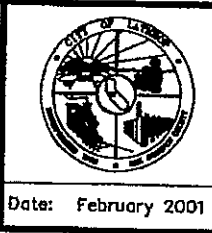
Section 5. DISTRICT DIAGRAM

Reference is made to the District Diagram on file with the City Clerk. The following page provides the boundaries of the Woodfield Park Maintenance Zone of the District. The lines and dimensions shown on maps of the County Assessor for the current year are incorporated by reference and made part of this Report.



City of Lathrop

Woodfield Park Maintenance District



Section 6. PARCEL LISTING

The parcel listing of assessments is provided on the following pages. The description of each lot or parcel is a part of the records of the County Assessor and is incorporated by reference and made part of this Report.

**CITY OF LATHROP
LANDSCAPE AND LIGHTING MAINTENANCE
DISTRICT NO. 93-1, WOODFIELD PARK ZONE
FISCAL YEAR 2019/20
PARCEL LISTING**

APN	Land Use	EDU	Rate	Levy
196-090-010-000	SFR	1.00	\$123.90	\$123.90
196-090-020-000	SFR	1.00	123.90	123.90
196-090-030-000	SFR	1.00	123.90	123.90
196-090-040-000	SFR	1.00	123.90	123.90
196-090-050-000	SFR	1.00	123.90	123.90
196-090-060-000	SFR	1.00	123.90	123.90
196-090-070-000	SFR	1.00	123.90	123.90
196-090-080-000	SFR	1.00	123.90	123.90
196-090-090-000	SFR	1.00	123.90	123.90
196-090-100-000	SFR	1.00	123.90	123.90
196-090-110-000	SFR	1.00	123.90	123.90
196-090-120-000	SFR	1.00	123.90	123.90
196-090-130-000	SFR	1.00	123.90	123.90
196-090-140-000	SFR	1.00	123.90	123.90
196-090-150-000	SFR	1.00	123.90	123.90
196-090-160-000	SFR	1.00	123.90	123.90
196-090-170-000	SFR	1.00	123.90	123.90
196-090-180-000	SFR	1.00	123.90	123.90
196-090-190-000	SFR	1.00	123.90	123.90
196-090-200-000	SFR	1.00	123.90	123.90
196-090-210-000	SFR	1.00	123.90	123.90
196-090-220-000	SFR	1.00	123.90	123.90
196-090-230-000	SFR	1.00	123.90	123.90
196-090-240-000	SFR	1.00	123.90	123.90
196-090-250-000	SFR	1.00	123.90	123.90
196-090-260-000	SFR	1.00	123.90	123.90
196-090-270-000	SFR	1.00	123.90	123.90
196-090-280-000	SFR	1.00	123.90	123.90
196-090-290-000	SFR	1.00	123.90	123.90
196-090-300-000	SFR	1.00	123.90	123.90
196-090-310-000	SFR	1.00	123.90	123.90
196-090-320-000	SFR	1.00	123.90	123.90
196-090-330-000	SFR	1.00	123.90	123.90
196-090-340-000	SFR	1.00	123.90	123.90
196-090-350-000	SFR	1.00	123.90	123.90
196-090-360-000	SFR	1.00	123.90	123.90
196-090-370-000	SFR	1.00	123.90	123.90

**CITY OF LATHROP
 LANDSCAPE AND LIGHTING MAINTENANCE
 DISTRICT NO. 93-1, WOODFIELD PARK ZONE
 FISCAL YEAR 2019/20
 PARCEL LISTING**

APN	Land Use	EDU	Rate	Levy
196-090-380-000	SFR	1.00	123.90	123.90
196-090-390-000	SFR	1.00	123.90	123.90
196-090-400-000	SFR	1.00	123.90	123.90
196-090-410-000	SFR	1.00	123.90	123.90
196-090-420-000	SFR	1.00	123.90	123.90
196-090-430-000	SFR	1.00	123.90	123.90
196-090-440-000	SFR	1.00	123.90	123.90
196-090-450-000	SFR	1.00	123.90	123.90
196-090-460-000	SFR	1.00	123.90	123.90
196-090-470-000	SFR	1.00	123.90	123.90
196-090-480-000	SFR	1.00	123.90	123.90
196-090-490-000	SFR	1.00	123.90	123.90
196-090-500-000	SFR	1.00	123.90	123.90
196-090-510-000	SFR	1.00	123.90	123.90
196-090-520-000	SFR	1.00	123.90	123.90
196-090-530-000	SFR	1.00	123.90	123.90
196-090-540-000	SFR	1.00	123.90	123.90
196-090-550-000	SFR	1.00	123.90	123.90
196-090-560-000	SFR	1.00	123.90	123.90
196-090-570-000	SFR	1.00	123.90	123.90
196-090-580-000	SFR	1.00	123.90	123.90
196-090-590-000	SFR	1.00	123.90	123.90
196-090-600-000	SFR	1.00	123.90	123.90
196-090-610-000	SFR	1.00	123.90	123.90
196-090-620-000	SFR	1.00	123.90	123.90
196-090-630-000	SFR	1.00	123.90	123.90
196-090-640-000	SFR	1.00	123.90	123.90
196-090-650-000	SFR	1.00	123.90	123.90
196-090-660-000	SFR	1.00	123.90	123.90
196-090-670-000	SFR	1.00	123.90	123.90
196-090-680-000	SFR	1.00	123.90	123.90
196-090-690-000	SFR	1.00	123.90	123.90
196-090-700-000	SFR	1.00	123.90	123.90
196-090-710-000	SFR	1.00	123.90	123.90
196-090-720-000	SFR	1.00	123.90	123.90
196-090-730-000	SFR	1.00	123.90	123.90
196-090-740-000	SFR	1.00	123.90	123.90

**CITY OF LATHROP
 LANDSCAPE AND LIGHTING MAINTENANCE
 DISTRICT NO. 93-1, WOODFIELD PARK ZONE
 FISCAL YEAR 2019/20
 PARCEL LISTING**

APN	Land Use	EDU	Rate	Levy
196-090-750-000	SFR	1.00	123.90	123.90
196-090-760-000	SFR	1.00	123.90	123.90
196-090-770-000	SFR	1.00	123.90	123.90
196-090-780-000	SFR	1.00	123.90	123.90
196-090-790-000	SFR	1.00	123.90	123.90
196-090-800-000	SFR	1.00	123.90	123.90
196-090-810-000	SFR	1.00	123.90	123.90
196-090-820-000	SFR	1.00	123.90	123.90
196-090-830-000	SFR	1.00	123.90	123.90
196-090-840-000	SFR	1.00	123.90	123.90
196-090-850-000	SFR	1.00	123.90	123.90
196-090-860-000	SFR	1.00	123.90	123.90
196-090-870-000	SFR	1.00	123.90	123.90
196-090-880-000	SFR	1.00	123.90	123.90
196-090-890-000	SFR	1.00	123.90	123.90
196-100-010-000	SFR	1.00	123.90	123.90
196-100-020-000	SFR	1.00	123.90	123.90
196-100-030-000	SFR	1.00	123.90	123.90
196-100-040-000	SFR	1.00	123.90	123.90
196-100-050-000	SFR	1.00	123.90	123.90
196-100-060-000	SFR	1.00	123.90	123.90
196-100-070-000	SFR	1.00	123.90	123.90
196-100-080-000	SFR	1.00	123.90	123.90
196-100-090-000	SFR	1.00	123.90	123.90
196-100-100-000	SFR	1.00	123.90	123.90
196-100-110-000	SFR	1.00	123.90	123.90
196-100-120-000	SFR	1.00	123.90	123.90
196-100-130-000	SFR	1.00	123.90	123.90
196-100-140-000	SFR	1.00	123.90	123.90
196-100-150-000	SFR	1.00	123.90	123.90
196-100-160-000	SFR	1.00	123.90	123.90
196-100-170-000	SFR	1.00	123.90	123.90
196-100-180-000	SFR	1.00	123.90	123.90
196-100-190-000	SFR	1.00	123.90	123.90
196-100-200-000	SFR	1.00	123.90	123.90
196-100-210-000	SFR	1.00	123.90	123.90
196-100-220-000	SFR	1.00	123.90	123.90

**CITY OF LATHROP
 LANDSCAPE AND LIGHTING MAINTENANCE
 DISTRICT NO. 93-1, WOODFIELD PARK ZONE
 FISCAL YEAR 2019/20
 PARCEL LISTING**

APN	Land Use	EDU	Rate	Levy
196-100-230-000	SFR	1.00	123.90	123.90
196-100-240-000	SFR	1.00	123.90	123.90
196-100-250-000	SFR	1.00	123.90	123.90
196-100-260-000	SFR	1.00	123.90	123.90
196-100-270-000	SFR	1.00	123.90	123.90
196-100-280-000	SFR	1.00	123.90	123.90
196-100-290-000	SFR	1.00	123.90	123.90
196-100-300-000	SFR	1.00	123.90	123.90
196-100-310-000	SFR	1.00	123.90	123.90
196-100-320-000	SFR	1.00	123.90	123.90
196-100-330-000	SFR	1.00	123.90	123.90
196-100-340-000	SFR	1.00	123.90	123.90
196-100-350-000	SFR	1.00	123.90	123.90
196-100-360-000	SFR	1.00	123.90	123.90
196-100-370-000	SFR	1.00	123.90	123.90
196-100-380-000	SFR	1.00	123.90	123.90
196-100-390-000	SFR	1.00	123.90	123.90
196-100-400-000	SFR	1.00	123.90	123.90
196-100-410-000	SFR	1.00	123.90	123.90
196-100-420-000	SFR	1.00	123.90	123.90
196-100-430-000	SFR	1.00	123.90	123.90
196-100-440-000	SFR	1.00	123.90	123.90
196-100-450-000	SFR	1.00	123.90	123.90
196-100-460-000	SFR	1.00	123.90	123.90
196-100-470-000	SFR	1.00	123.90	123.90
196-100-480-000	SFR	1.00	123.90	123.90
196-100-490-000	SFR	1.00	123.90	123.90
196-100-500-000	SFR	1.00	123.90	123.90
196-100-510-000	SFR	1.00	123.90	123.90
196-100-520-000	SFR	1.00	123.90	123.90
196-100-530-000	SFR	1.00	123.90	123.90
196-100-540-000	SFR	1.00	123.90	123.90
196-100-550-000	SFR	1.00	123.90	123.90
196-100-560-000	SFR	1.00	123.90	123.90
196-100-570-000	SFR	1.00	123.90	123.90
196-100-580-000	SFR	1.00	123.90	123.90
196-100-590-000	SFR	1.00	123.90	123.90

**CITY OF LATHROP
LANDSCAPE AND LIGHTING MAINTENANCE
DISTRICT NO. 93-1, WOODFIELD PARK ZONE
FISCAL YEAR 2019/20
PARCEL LISTING**

APN	Land Use	EDU	Rate	Levy
196-100-600-000	SFR	1.00	123.90	123.90
196-100-610-000	SFR	1.00	123.90	123.90
196-100-620-000	SFR	1.00	123.90	123.90
196-100-630-000	SFR	1.00	123.90	123.90
196-100-640-000	SFR	1.00	123.90	123.90
196-100-650-000	SFR	1.00	123.90	123.90
196-100-660-000	SFR	1.00	123.90	123.90
196-100-670-000	SFR	1.00	123.90	123.90
196-100-680-000	SFR	1.00	123.90	123.90
196-100-690-000	SFR	1.00	123.90	123.90
196-100-700-000	SFR	1.00	123.90	123.90
196-100-710-000	SFR	1.00	123.90	123.90
196-100-720-000	SFR	1.00	123.90	123.90
196-100-730-000	SFR	1.00	123.90	123.90
196-100-740-000	SFR	1.00	123.90	123.90
196-100-750-000	SFR	1.00	123.90	123.90
196-100-760-000	SFR	1.00	123.90	123.90
196-100-770-000	SFR	1.00	123.90	123.90
196-100-780-000	SFR	1.00	123.90	123.90
196-520-010-000	SFR	1.00	123.90	123.90
196-520-020-000	SFR	1.00	123.90	123.90
196-520-030-000	SFR	1.00	123.90	123.90
196-520-040-000	SFR	1.00	123.90	123.90
196-520-050-000	SFR	1.00	123.90	123.90
196-520-060-000	SFR	1.00	123.90	123.90
196-520-070-000	SFR	1.00	123.90	123.90
196-520-080-000	SFR	1.00	123.90	123.90
196-520-090-000	SFR	1.00	123.90	123.90
196-520-100-000	SFR	1.00	123.90	123.90
196-520-110-000	SFR	1.00	123.90	123.90
196-520-120-000	SFR	1.00	123.90	123.90
196-520-130-000	SFR	1.00	123.90	123.90
196-520-140-000	SFR	1.00	123.90	123.90
196-520-150-000	SFR	1.00	123.90	123.90
196-520-160-000	SFR	1.00	123.90	123.90
196-520-170-000	SFR	1.00	123.90	123.90
196-520-180-000	SFR	1.00	123.90	123.90

**CITY OF LATHROP
 LANDSCAPE AND LIGHTING MAINTENANCE
 DISTRICT NO. 93-1, WOODFIELD PARK ZONE
 FISCAL YEAR 2019/20
 PARCEL LISTING**

APN	Land Use	EDU	Rate	Levy
196-520-190-000	SFR	1.00	123.90	123.90
196-520-200-000	SFR	1.00	123.90	123.90
196-520-210-000	SFR	1.00	123.90	123.90
196-520-220-000	SFR	1.00	123.90	123.90
196-520-230-000	SFR	1.00	123.90	123.90
196-520-240-000	SFR	1.00	123.90	123.90
196-520-250-000	SFR	1.00	123.90	123.90
196-520-260-000	SFR	1.00	123.90	123.90
196-520-270-000	SFR	1.00	123.90	123.90
196-520-280-000	SFR	1.00	123.90	123.90
196-520-290-000	SFR	1.00	123.90	123.90
196-520-300-000	SFR	1.00	123.90	123.90
196-520-310-000	SFR	1.00	123.90	123.90
196-520-320-000	SFR	1.00	123.90	123.90
196-520-330-000	SFR	1.00	123.90	123.90
196-520-340-000	SFR	1.00	123.90	123.90
196-520-350-000	SFR	1.00	123.90	123.90
196-520-360-000	SFR	1.00	123.90	123.90
196-520-370-000	SFR	1.00	123.90	123.90
196-520-380-000	SFR	1.00	123.90	123.90
196-520-390-000	SFR	1.00	123.90	123.90
196-520-400-000	SFR	1.00	123.90	123.90
196-520-410-000	SFR	1.00	123.90	123.90
196-520-420-000	SFR	1.00	123.90	123.90
196-520-430-000	SFR	1.00	123.90	123.90
196-520-440-000	SFR	1.00	123.90	123.90
196-520-450-000	SFR	1.00	123.90	123.90
196-520-460-000	SFR	1.00	123.90	123.90
196-520-470-000	SFR	1.00	123.90	123.90
196-520-480-000	SFR	1.00	123.90	123.90
196-520-490-000	SFR	1.00	123.90	123.90
196-520-510-000	SFR	1.00	123.90	123.90
196-520-520-000	SFR	1.00	123.90	123.90
196-520-530-000	SFR	1.00	123.90	123.90
196-520-540-000	SFR	1.00	123.90	123.90
196-520-550-000	SFR	1.00	123.90	123.90
196-520-560-000	SFR	1.00	123.90	123.90

**CITY OF LATHROP
LANDSCAPE AND LIGHTING MAINTENANCE
DISTRICT NO. 93-1, WOODFIELD PARK ZONE
FISCAL YEAR 2019/20
PARCEL LISTING**

APN	Land Use	EDU	Rate	Levy
196-520-570-000	SFR	1.00	123.90	123.90
196-530-010-000	SFR	1.00	123.90	123.90
196-530-020-000	SFR	1.00	123.90	123.90
196-530-030-000	SFR	1.00	123.90	123.90
196-530-040-000	SFR	1.00	123.90	123.90
196-530-050-000	SFR	1.00	123.90	123.90
196-530-060-000	SFR	1.00	123.90	123.90
196-530-070-000	SFR	1.00	123.90	123.90
196-530-080-000	SFR	1.00	123.90	123.90
196-530-090-000	SFR	1.00	123.90	123.90
196-530-100-000	SFR	1.00	123.90	123.90
196-530-110-000	SFR	1.00	123.90	123.90
196-530-120-000	SFR	1.00	123.90	123.90
196-530-130-000	SFR	1.00	123.90	123.90
196-530-140-000	SFR	1.00	123.90	123.90
196-530-150-000	SFR	1.00	123.90	123.90
196-530-160-000	SFR	1.00	123.90	123.90
196-530-170-000	SFR	1.00	123.90	123.90
196-530-180-000	SFR	1.00	123.90	123.90
196-530-190-000	SFR	1.00	123.90	123.90
196-530-200-000	SFR	1.00	123.90	123.90
196-530-210-000	SFR	1.00	123.90	123.90
196-530-220-000	SFR	1.00	123.90	123.90
196-530-230-000	SFR	1.00	123.90	123.90
196-530-240-000	SFR	1.00	123.90	123.90
196-530-250-000	SFR	1.00	123.90	123.90
196-530-260-000	SFR	1.00	123.90	123.90
196-530-270-000	SFR	1.00	123.90	123.90
196-530-280-000	SFR	1.00	123.90	123.90
196-530-290-000	SFR	1.00	123.90	123.90
196-530-300-000	SFR	1.00	123.90	123.90
196-530-310-000	SFR	1.00	123.90	123.90
196-530-320-000	SFR	1.00	123.90	123.90
196-530-330-000	SFR	1.00	123.90	123.90
196-530-340-000	SFR	1.00	123.90	123.90
196-530-350-000	SFR	1.00	123.90	123.90
196-530-360-000	SFR	1.00	123.90	123.90

**CITY OF LATHROP
LANDSCAPE AND LIGHTING MAINTENANCE
DISTRICT NO. 93-1, WOODFIELD PARK ZONE
FISCAL YEAR 2019/20
PARCEL LISTING**

APN	Land Use	EDU	Rate	Levy
196-530-370-000	SFR	1.00	123.90	123.90
196-530-380-000	SFR	1.00	123.90	123.90
196-530-390-000	SFR	1.00	123.90	123.90
196-530-400-000	SFR	1.00	123.90	123.90
196-530-410-000	SFR	1.00	123.90	123.90
196-530-420-000	SFR	1.00	123.90	123.90
196-530-430-000	SFR	1.00	123.90	123.90
196-530-440-000	SFR	1.00	123.90	123.90
196-530-450-000	SFR	1.00	123.90	123.90
196-530-460-000	SFR	1.00	123.90	123.90
196-530-470-000	SFR	1.00	123.90	123.90
196-530-480-000	SFR	1.00	123.90	123.90
196-530-490-000	SFR	1.00	123.90	123.90
196-530-500-000	SFR	1.00	123.90	123.90
196-530-510-000	SFR	1.00	123.90	123.90
196-530-520-000	SFR	1.00	123.90	123.90
196-530-530-000	SFR	1.00	123.90	123.90
196-530-540-000	SFR	1.00	123.90	123.90
196-530-550-000	SFR	1.00	123.90	123.90
196-530-560-000	SFR	1.00	123.90	123.90
196-530-570-000	SFR	1.00	123.90	123.90
196-530-580-000	SFR	1.00	123.90	123.90
196-530-590-000	SFR	1.00	123.90	123.90
196-530-600-000	SFR	1.00	123.90	123.90
196-540-010-000	SFR	1.00	123.90	123.90
196-540-020-000	SFR	1.00	123.90	123.90
196-540-030-000	SFR	1.00	123.90	123.90
196-540-040-000	SFR	1.00	123.90	123.90
196-540-050-000	SFR	1.00	123.90	123.90
196-540-060-000	SFR	1.00	123.90	123.90
196-540-070-000	SFR	1.00	123.90	123.90
196-540-080-000	SFR	1.00	123.90	123.90
196-540-090-000	SFR	1.00	123.90	123.90
196-540-100-000	SFR	1.00	123.90	123.90
196-540-110-000	SFR	1.00	123.90	123.90
196-540-120-000	SFR	1.00	123.90	123.90
196-540-130-000	SFR	1.00	123.90	123.90

**CITY OF LATHROP
 LANDSCAPE AND LIGHTING MAINTENANCE
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 FISCAL YEAR 2019/20
 PARCEL LISTING**

APN	Land Use	EDU	Rate	Levy
196-540-140-000	SFR	1.00	123.90	123.90
196-540-150-000	SFR	1.00	123.90	123.90
196-540-160-000	SFR	1.00	123.90	123.90
196-540-180-000	SFR	1.00	123.90	123.90
196-540-190-000	SFR	1.00	123.90	123.90
196-540-200-000	SFR	1.00	123.90	123.90
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**CITY OF LATHROP
 LANDSCAPE AND LIGHTING MAINTENANCE
 DISTRICT NO. 93-1, WOODFIELD PARK ZONE
 FISCAL YEAR 2019/20
 PARCEL LISTING**

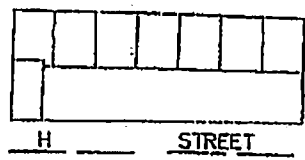
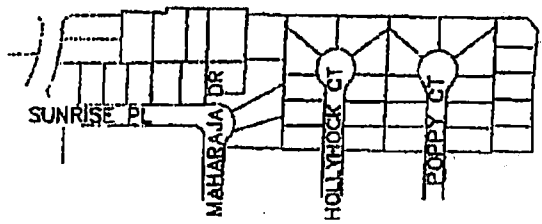
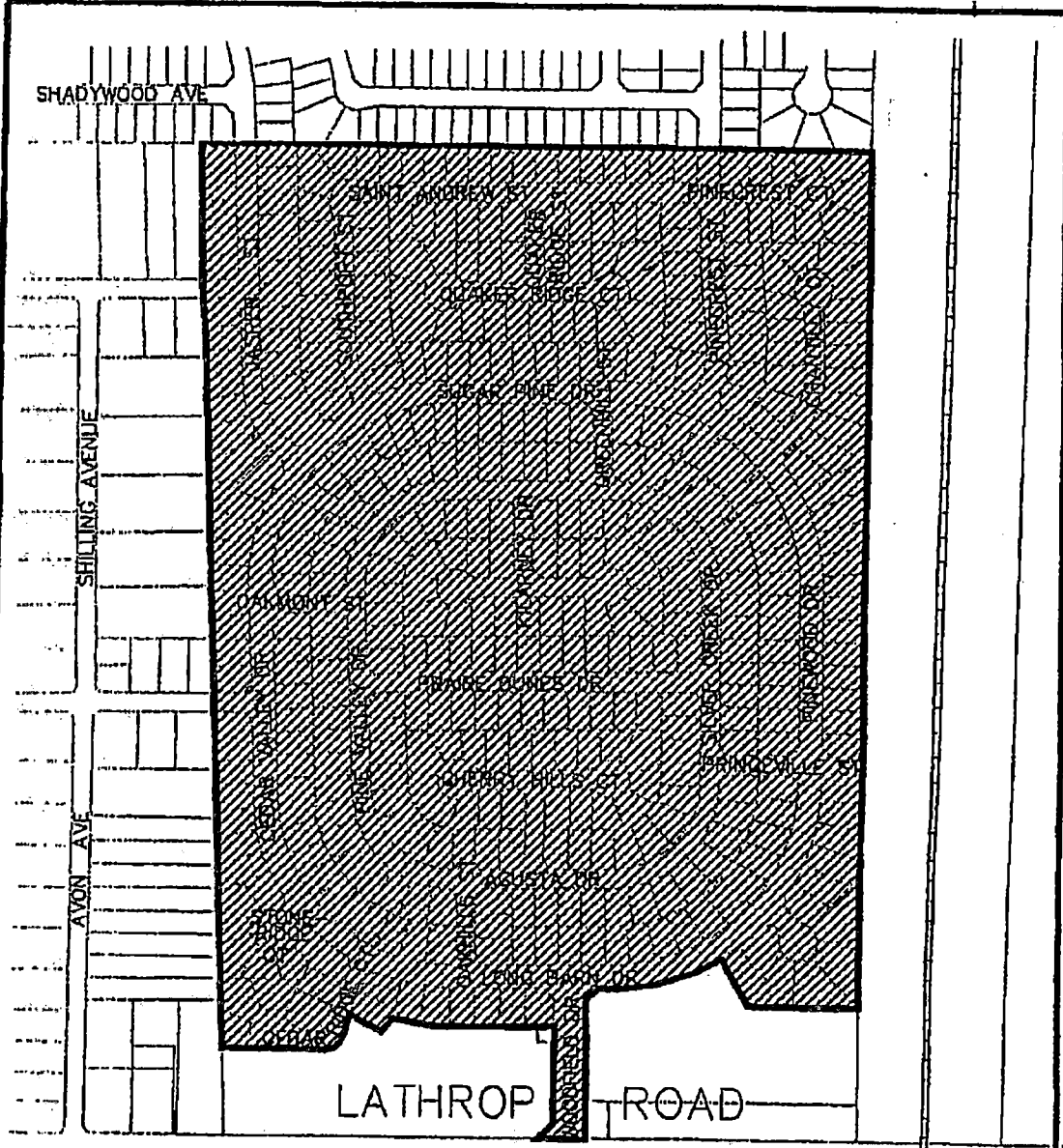
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**CITY OF LATHROP
 LANDSCAPE AND LIGHTING MAINTENANCE
 DISTRICT NO. 93-1, WOODFIELD PARK ZONE
 FISCAL YEAR 2019/20
 PARCEL LISTING**

APN	Land Use	EDU	Rate	Levy
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196-570-020-000	SFR	1.00	123.90	123.90
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196-570-240-000	SFR	1.00	123.90	123.90
196-570-250-000	SFR	1.00	123.90	123.90

**CITY OF LATHROP
LANDSCAPE AND LIGHTING MAINTENANCE
DISTRICT NO. 93-1, WOODFIELD PARK ZONE
FISCAL YEAR 2019/20
PARCEL LISTING**

APN	Land Use	EDU	Rate	Levy
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196-570-320-000	SFR	1.00	123.90	123.90
196-570-330-000	SFR	1.00	123.90	123.90
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196-570-600-000	SFR	1.00	123.90	123.90
196-570-610-000	SFR	1.00	123.90	123.90
Totals:		442.00		\$54,763.80



City of Lathrop

Woodfield Park Maintenance District



Date: February 2001

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**CITY MANAGER'S REPORT
APRIL 8, 2019, CITY COUNCIL REGULAR MEETING**

ITEM: APPROVAL OF FINAL MAP AND SUBDIVISION IMPROVEMENT AGREEMENT (SIA) FOR 36 LOTS IN TRACT 3997 VILLAGE "Y" WITHIN LAKESIDE EAST DISTRICT OF RIVER ISLANDS

RECOMMENDATION: Adopt Resolution Approving Final Map for Tract 3997 Village "Y" within the Lakeside East District, Totaling 36 Single-Family Lots, Irrevocable Offer of Dedication for portion of Norbeck Street, Garden Farms Avenue, Bosch Avenue and a Subdivision Improvement Agreement with River Islands Development, LLC

SUMMARY:

On June 1, 2015, the City approved an amendment to Vesting Tentative Map Tract 3694 (VTM 3694), Phase 1 of River Islands at Lathrop that revised conditions of approval for new development within Phase 1. On July 18, 2018, the Lathrop Planning Commission approved a Neighborhood Design Plan and Architectural Guidelines, and Design Standards (AG/DS) for the Lakeside East District (also known as "Stage 2A") within Phase 1.

On August 25, 2016, the City Community Development Department approved a Finding of Substantial Conformance for VTM 3694 for the Stage 2A sub-planning area. This action allowed minor changes in the land use pattern for VTM 3694 at the request of River Islands Development, LLC (RID).

This proposed Final Map Tract 3997 for Kiper Homes (Merchant Builder) will be the first tract map within the Village "Y" area. They are proposing thirty-six (36) 45' x 90' single-family lots. A vicinity map is included as Attachment B.

Staff recommends that the City Council approve the proposed Final Map Tract 3997 Village "Y" within the Lakeside East District, totaling 36 single-family lots, Irrevocable Offer of Dedication for Norbeck Street, Garden Farms Avenue, Bosch Avenue and a Subdivision Improvement Agreement (Attachment C) with River Islands Development, LLC

BACKGROUND:

On March 27, 2007, the City Council approved VTM 3694 and amended VTM 3694 on June 1, 2015, with updated conditions of approval. Tract 3997 as proposed by RID, as the subdivider, complies with the most current conditions of approval.

CITY MANAGER'S REPORT **PAGE 2**
APRIL 8, 2019, CITY COUNCIL REGULAR MEETING
FINAL MAP FOR TRACT 3997 VILLAGE "Y" TOTALING 36 SINGLE-FAMILY
LOTS, IOD AND A SIA WITH RIVER ISLANDS DEVELOPMENT, LLC

The land for Tract 3997 is within the geographic boundaries of VTM 3694 (Phase 1) first approved by Council on March 27, 2007, and amended on June 1, 2015, with updated conditions of approval.

On August 25, 2016, the City Community Development Department approved a Finding of Substantial Conformance for VTM 3694 for the Stage 2A sub-planning area. This action allowed minor changes in the land use pattern for VTM 3694 at RID's request.

On July 9, 2018, the City Council approved Tract 3908, a large lot final map consistent with conditions of approval for VTM 3694. This large lot final map creates large "blocks" of land that are consistent with future proposed small lot final maps associated with the Lakeside East planning District. The approval of Tract 3908 also required the posting of security for the construction of River Islands Parkway from Dell'Osso Drive to the Stage 2B boundary which provides the primary access from the existing River Islands development to Village "Y" and the rest of the Stage 2A sub-planning area.

As required by the City's subdivision ordinance, all final maps must include a Subdivision Improvement Agreement (SIA) to guarantee certain off-site and on-site improvements. As a result, the SIA for Tract 3997 requires that security (bonds, cash or equivalent) are posted to guarantee unfinished infrastructure within Village "Y" and the adjacent Norback Street, Garden Farms Avenue and Bosch Avenue.

Although the total cost of the improvements is \$1,906,595 million (\$1,521,000 street improvements plus \$385,595 landscaping), a larger percentage of these improvements have already been constructed and do not therefore need to be guaranteed. As a result, a Performance and Labor & Materials bond have been posted for Village Y (includes Tracts 3997 and 3998) in the amount of:

Unfinished Improvement Total $\$431,595 \times 120\% = \$517,914$ (Performance Bond)
 $\$517,957 \times 50\% = \$258,957$ (Labor & Materials)

The SIA also refers to the Agreement for Dedication, Inspection, and Guarantee of Streets and Public Improvements ("Off-site Agreement") that was first approved by the City on September 30, 2013, to the extent that the Off-site Agreement is still valid for certain improvements. Other than the these adjusts streets, Tract 3997 will not trigger any additional off-site improvements and the Off-site Agreement will apply to Tract 3997 as it has to all previous final maps in River Islands with no additional security for off-site improvements. Acceptance of all public improvements will be processed by staff at a later date when the unfinished improvements are complete. At that time, RID will be required to post one (1) year maintenance bonds to cover the total improvements, in the amount of \$190,660 (10% of \$1,906,595 million), as a warranty for the completed infrastructure.

CITY MANAGER’S REPORT **PAGE 3**
APRIL 8, 2019, CITY COUNCIL REGULAR MEETING
FINAL MAP FOR TRACT 3997 VILLAGE “Y” TOTALING 36 SINGLE-FAMILY
LOTS, IOD AND A SIA WITH RIVER ISLANDS DEVELOPMENT, LLC

As with all new development within Phase 1 of River Islands, Village “Y” will need to be annexed to the three different Community Facilities Districts (CFD’s) for maintenance purposes. The CFDs are for the City, RD 2062 and River Islands Public Financing Authority (RIPFA) respectively, and the annexations for Villages U, V, T, AA, BB and Y recorded with the San Joaquin County Recorder’s Office on November 2, 2018.

Finally, to provide for secondary access to Village “Y,” an Irrevocable Offer (included in Attachment D) of Dedication (IOD) for a portion of Garden Farms Avenue, Norbeck Street and Bosch Avenue. And, before Final Map Tract 3997 is recorded, RID must also satisfy the Escrow Instructions (Attachment D) that guarantee all required fees are paid.

REASON FOR RECOMMENDATION:

The applicant has completed the most of the street and utility improvements within Village “Y” and the adjacent streets with some minor improvements left remaining. RID has posted security with the City for the unfinished improvements as required by the SIA. RID shall also provide a 10% (\$190,660) maintenance bond to guarantee the full improvements (completed and uncompleted) for one year once the improvements are is completed and accepted by Council. RID has provided the tract map, the tract improvement plans, all required documents and all fees for Tract 3997.

Following is a summary of documents and fees related to this subdivision:

Documents	Status
1. Final Map ready for signature	Completed
2. Subdivision Improvement Agreement	Completed
3. Performance Security – Uncompleted Landscaping and Miscellaneous Improvements provided with Tract 3997	Completed
4. Labor and Materials Security – Uncompleted Landscaping and Miscellaneous Improvements provided with Tract 3997	Completed
5. Street Improvement, Landscape Plans	Completed
6. Street Light, Joint Trench Plans	Completed
7. Geotechnical Report	Completed
8. Agreement for Backbone Improvements and Parks (Agreement for Dedication, Inspection and Guarantee of Streets and Public Improvements)	Completed
9. Approval of 3 rd Amendment to Development Agreement that guarantees creation of CFD for City Maintenance and Shortfalls, and Guarantee of Developer CFDs for Developer/other public agency Maintenance	Completed
10. Allocation of Water and Sewer capacity	Completed

CITY MANAGER'S REPORT **PAGE 4**
APRIL 8, 2019, CITY COUNCIL REGULAR MEETING
FINAL MAP FOR TRACT 3997 VILLAGE "Y" TOTALING 36 SINGLE-FAMILY
LOTS, IOD AND A SIA WITH RIVER ISLANDS DEVELOPMENT, LLC

11. Recommendation for approval from Stewart Tract Design Review Committee	Completed
12. Submitted Certificate of Insurance, Tax Letter	Completed
13. Submitted Preliminary Guarantee of Title	Completed
14. Escrow Instructions, including IOD for portion of Norbeck Street, Garden Farms Avenue, Bosch Avenue	Completed
15. Irrevocable Offer of Dedication of Easement for Public Roadway Purposes and Public Utility Easement – Norbeck Street, Garden Farms Avenue and Bosch Avenue	Approval Pending with this item
16. Lathrop Community Facilities District (CFD's)	Annexed with FM 3989 on 10/10/18
Fees	Status
1. Final Map, Improvement Plan Check fees	Paid
2. Sierra Club Settlement fee	To be paid in escrow

The above-noted documents and fees are required by the VTM 3694 conditions of approval prior to approval of the Final Map by City Council. The guarantee is in the form of the Subdivision Improvement Agreement with security and improvement plans.

Extensive off-site improvements to serve this Tract 3997 have already been completed; including construction of levees, participation in construction of a Wastewater Treatment Plant (Consolidated Treatment Facility) and related storage ponds and sprayfields, purchase of SSJID surface water and construction of utility infrastructure to serve the proposed Tract. Additional off-site improvements that were required to serve this Final Map are detailed in the Off-site Agreement approved by the City Council in 2014.

BUDGET IMPACT:


There is no budget impact to the City. All City costs are covered by development fees, and any shortfalls in City maintenance and operating costs are covered by the CFD's for maintenance. RID is also providing funds necessary to defray any staff time required to process their request.

ATTACHMENTS:

- A. Resolution Approving Final Map for Tract 3997 Village "Y" within the Lakeside East District, Totaling 36 Single-Family Lots, Irrevocable Offer of Dedication for portion of Norbeck Street, Garden Farms Avenue, Bosch Avenue and a Subdivision Improvement Agreement with River Islands Development, LLC
- B. Village "Y" Vicinity Map
- C. Subdivision Improvement Agreement between the City of Lathrop and River Islands Development, LLC, a California limited liability company, for Tract 3997, Village "Y"
- D. Escrow Instructions for Final Map Tract 3997 Village "Y"

CITY MANAGER'S REPORT
APRIL 8, 2019, CITY COUNCIL REGULAR MEETING
FINAL MAP FOR TRACT 3997 VILLAGE "Y" TOTALING 36 SINGLE-FAMILY
LOTS, IOD AND A SIA WITH RIVER ISLANDS DEVELOPMENT, LLC

APPROVALS



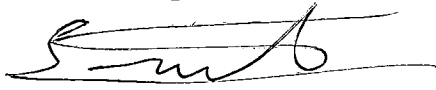
Glenn Gebhardt
City Engineer

3/28/19
Date



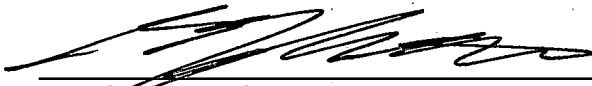
Cari James
Finance & Administrative Services Director

4/2/19
Date



Salvador Navarrete
City Attorney

4-1-19
Date



Stephen J. Salvatore
City Manager

4-3-19
Date

RESOLUTION NO. 19-

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP APPROVING FINAL MAP FOR TRACT 3997 VILLAGE "Y" WITHIN THE LAKESIDE EAST DISTRICT, TOTALING 36 SINGLE-FAMILY LOTS, IRREVOCABLE OFFER OF DEDICATION FOR PORTION OF NORBECK STREET, GARDEN FARMS AVENUE, BOSCH AVENUE AND A SUBDIVISION IMPROVEMENT AGREEMENT WITH RIVER ISLANDS DEVELOPMENT, LLC

WHEREAS, on March 27, 2007, the City Council approved Vesting Tentative Map No. 3694 (VTM 3694) with Conditions of Approval for a residential and commercial development that is consistent with the West Lathrop Specific Plan (WLSP) and the River Islands Urban Design Concept (UDC); and

WHEREAS, on June 1, 2015, the City Council approved amendments to the VTM, WLSP and UDC, with amended conditions of approval; and

WHEREAS, on August 25, 2016, the City Community Development Department approved a Finding of Substantial Conformance for VTM 3694 for the Stage 2A sub-planning area that allowed minor changes in the land use pattern for VTM 3694 and the approval final maps within Stage 2A; and

WHEREAS, Tract 3997, the proposed subdivision, is part of the Lakeside East District of River Islands as described in the UDC, consisting of 36 lots covered by VTM 3694, located on the west side of the San Joaquin River, north of Union Pacific Railroad; and

WHEREAS, in its review of Tract 3997, the Stewart Tract Design Review Committee recommended approval of Tract 3997 on January 23, 2019; and

WHEREAS, River Islands Development, LLC (RID), has completed or has guaranteed completion of all public improvements on Tract Map 3997 and the adjacent streets provide access to the subdivision, including Norberck, Garden Farms Avenue and Bosch Avenue, as identified on the approved improvement plans, and has completed or guaranteed completion of all required documents and payment of all fees; and

WHEREAS, a Subdivision Improvement Agreement between the City and RID, and provision of security by RID for unfinished and deferred improvements, are required prior to final map approval per the Lathrop Municipal Code Section 16.16.190; and

WHEREAS, a Subdivision Improvement Agreement has been signed by RID and presented to the City for approval and signature; and

WHEREAS, upon acceptance of all improvements as complete, a one-year maintenance and repair bond in the amount of \$190,660 (10% of \$1.9 million) will be required to secure the RID obligation to maintain all improvements and repair or correct any defective work; and

WHEREAS, several conditions of approval of VTM 3694 are satisfied by the 3rd Amendment to the Development Agreement between the City and Califia, LLC, which the City Council approved on October 7, 2013; and

WHEREAS, off-site improvements necessary for access to Village "Y" were guaranteed with performance and labor and materials bonds posted by RID; and

WHEREAS, City staff has confirmed that all Conditions of Approval of VTM 3694 required for approval of Final Map 3997 have been met, including those Conditions of Approval satisfied under the Subdivision Improvement Agreement and Off-Site Agreement; and

WHEREAS, the City Engineer has confirmed that the Final Map for Tract 3997 is substantially the same as it appeared on VTM 3694, is technically correct, and complies with the requirements of the Subdivision Map Act and Lathrop Municipal Code, Chapter 16.16; and

WHEREAS, RID will satisfy the escrow requirements to fund the Settlement Fee prior to recordation of the Final Map for Tract 3997; and

WHEREAS, an Irrevocable Offer to Dedication ("IOD") is necessary for future City right of way associated with Norbeck Street, Garden Farms Avenue and Bosch Avenue in order to access Tract 3997; and

WHEREAS, Capital Facilities Fees are not required until such time as the builder applies for building permits.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Lathrop approves the following actions:

1. That the Final Map for Tract 3997 Villages "Y" is hereby approved as submitted as part of the public record with the San Joaquin County Assessor/Recorder/County Clerk Office.
2. Staff is authorized to execute Irrevocable Offer of Dedication for portion of Norbeck Street, Garden Farms Avenue and Bosch Avenue and Subdivision Improvement Agreement with River Islands Development, LLC, in substantially the form as attached to the April 8, 2019 staff report.

PASSED AND ADOPTED by the City Council of the City of Lathrop this 8th day of April 2019, by the following vote:

AYES:

NOES:

ABSENT:

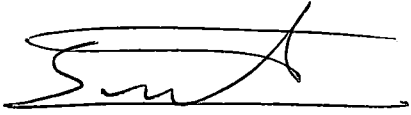
ABSTAIN:

Sonny Dhaliwal, Mayor

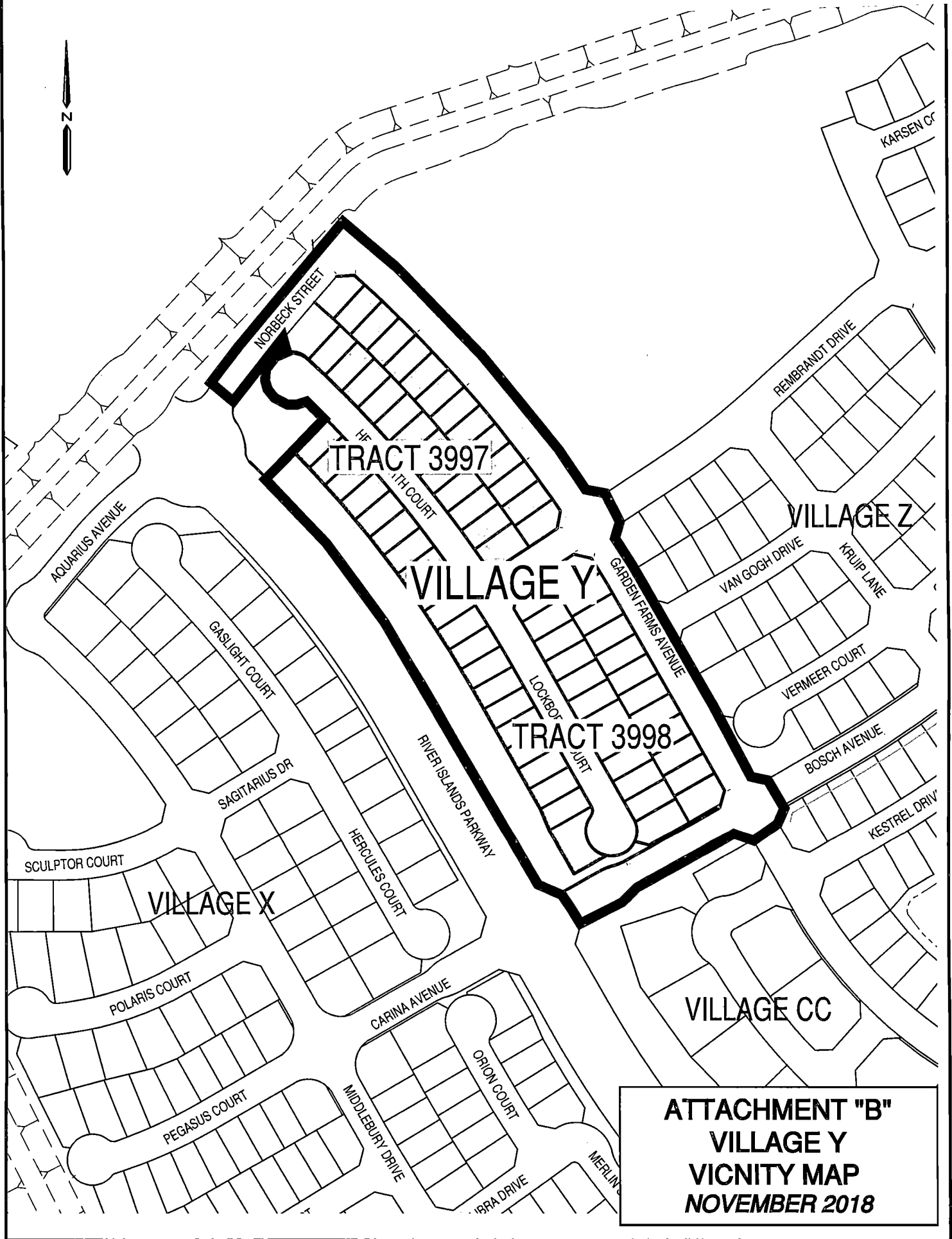
ATTEST:

APPROVED AS TO FORM:

Teresa Vargas, City Clerk



Salvador Navarrete, City Attorney



ATTACHMENT "B"
VILLAGE Y
VICINITY MAP
NOVEMBER 2018

SUBDIVISION IMPROVEMENT AGREEMENT
BETWEEN THE CITY OF LATHROP AND
RIVER ISLANDS DEVELOPMENT, LLC,
A CALIFORNIA LIMITED LIABILITY COMPANY,
FOR 36 RESIDENTIAL LOTS IN TRACT 3997 VILLAGES "Y"

RECITALS

A. This Agreement is made and entered into this **8th day of April, 2019**, by and between the CITY OF LATHROP, a municipal corporation of the State of California (hereinafter "CITY"), and River Islands Development, LLC, a California limited liability company (hereinafter "SUBDIVIDER").

B. At its meeting on May 15, 2017, CITY approved the temporary closure of Cohen and Paradise Roads associated with construction and grading activities in Stage 2 of River Islands. This approval requires SUBDIVIDER to construct a paved public roadway to connect any remaining gaps between the Paradise Road and Stewart Road intersection and the Somerston Parkway/River Islands Parkway intersection by August 1, 2020. As a result, previously provided security in the form of a Letter of Guarantee from the River Islands Public Financing Authority ("RIPFA") has guaranteed the replacement of Cohen Road and Paradise Road with a set aside of bond proceeds (Exhibit G) in the amount of \$543,600, that is available to CITY if SUBDIVIDER does not meet the deadline of August 1, 2020. Further, the amount of set aside bond proceeds shall be reduced by the City Engineer as River Islands Parkway is extended to replace these removed roadways. The closed portion of Stewart Road is not anticipated to be replaced, but it remains for now as legal access to parcels fronting Stewart Road and as emergency access. The security referenced in this recital shall remain in place for this final map and all final maps associated with this access until it is no longer necessary.

C. At its meeting on July 9, 2018, CITY approved the Tract 3908 large lot final map, which includes the Village "Y" area within Stage 2A of River Islands. The approval of Tract 3908 required security for the construction of River Islands Parkway from Dell'Osso Drive to the Stage 2B boundary. As a result, previously provided security in the form of a Letter of Guarantee from the River Islands Public Financing Authority ("RIPFA") has guaranteed the construction of River Islands Parkway from Dell'Osso Drive to the Stage 2B boundary with a set aside of bond proceeds (Exhibit H) in the amount of \$450,000, that is available to CITY if SUBDIVIDER does not meet a September 30, 2019, deadline or as may be extended by CITY. The security referenced in this recital shall remain in place for this final map and all final maps associated with it until River Islands Parkway from Dell'Osso Drive to the Stage 2B boundary is fully constructed and accepted into use by CITY.

D. Pursuant to Division 2 of Title 7 of the Government Code of the State of California and CITY's Subdivision Regulations (City of Lathrop, Code of Ordinances, Chapter 16), SUBDIVIDER is required to make dedications and improve Tract 3997. However, SUBDIVIDER has completed a significant portion of public infrastructure improvements associated with Tracts 3997 and Tract 3998 (Village "Y") located within the Lakeside East District of River Islands Phase 1, which also includes major streets necessary to access the site. The unfinished portion of improvements total \$431,595 and both performance and labor and materials security is required by the Lathrop Subdivision Ordinance and the Subdivision Map Act will be posted as outlined in this Tract 3997 (Village "Y") Subdivision Improvement Agreement.

E. SUBDIVIDER has completed the joint trench improvements for Tract 3997 and Tract 3998 and no further required security as outlined in this Agreement is required.

F. Access to Village "Y" requires an Irrevocable Offer of Dedication for Easement for Roadway Purposes ("IOD") for Norbeck Street, Garden Farms Avenue and Bosch Avenue. Therefore, this IOD shall be required in addition to the dedications of right of way required with the approval of the final map for Tract 3997 itself. This IOD is included as Exhibit I to this Agreement, and will be recorded concurrently with Final Map for Tract 3997.

NOW THEREFORE, in consideration of CITY's pending approval and acceptance of the Improvements upon their satisfactory completion, and in consideration of SUBDIVIDER's construction of Improvements in strict accordance with the terms of this Agreement, all applicable laws, statutes, ordinances, rules, and regulations currently in force and effect in CITY, the terms and conditions of which are incorporated herein by this reference, the parties hereto mutually covenant and agree as follows:

1. SUBDIVIDER shall complete construction of, or cause construction to be completed at its sole cost and expense, the Improvements for all of the lots within the Lakeside East neighborhood, to the limits identified on Exhibit A including the public landscaping, streetlight, and joint trench improvements. All improvements shall be constructed to the satisfaction and approval of the City Engineer, in a good and workmanlike manner in accordance with the above-referenced improvement plans and specifications, the improvement standards and specifications of the CITY's Department of Public Works, the applicable Ordinances of the City of Lathrop, and the California Subdivision Map Act.

2. SUBDIVIDER shall complete the Improvements, including all deferred and unfinished improvements, prior to occupancy of the last home constructed in Tract 3997 that is conveyed to a private interest not associated with the transfer of title of Tract 3997 associated with the filing of Tract 3997 (homebuilder) or prior to the completion and occupancy of the last production dwelling unit associated with Tract 3997, whichever comes first. Such occupancy shall be documented by CITY in the form of a Certificate of Occupancy or Final Building Permit.

3. CITY, or its agent(s), shall at any time during the progress of the Improvements have free access thereto and shall be allowed to examine the same and all material to be used therein. If the Improvements or any part thereof are not completed in strict compliance with the standards set forth in Paragraph 1 above, CITY may refuse to accept and may reject the defective Improvements and/or materials therein.
4. SUBDIVIDER shall secure the services of skilled personnel necessary to construct the Improvements. CITY is not skilled in these matters and relies upon the skill of SUBDIVIDER to ensure that the construction of the Improvements is in the most skillful and durable manner.
5. CITY's acceptance of the Improvements does not operate as a release of SUBDIVIDER from any guarantee hereunder.
6. SUBDIVIDER guarantees and warrants that the Improvements shall be constructed in compliance with the standards set forth in Paragraph 1 above, free from any defects in work or labor done and from any defects in materials furnished. Further, SUBDIVIDER shall repair and maintain the Improvements in good condition and in accordance with CITY specifications for one (1) year after CITY's acceptance of the Improvements. As required by this Agreement, prior to acceptance of the Improvements, SUBDIVIDER shall deposit with the City Engineer a Maintenance Bond in the amount of **\$190,660**, equal to 10% of the estimated cost of the Improvements for the Village "Y" entire area (**\$1,906,595**) as included in the Engineer's estimate attached to this Agreement as Exhibit F, to insure SUBDIVIDER's repair and maintenance of the Improvements in accordance with the terms of this Agreement. The Maintenance Bond shall be released at the end of the one-year guarantee period provided there are no claims against it are then outstanding.
7. Because some of the backbone improvements referenced in Recitals B and C are required to provide access and to Tract 3997 and are associated with adjacent tracts as otherwise described in this Agreement, as well as the "Agreement for Dedication, Inspection and Guarantee of Public Streets and Improvements ("2013 Agreement"), approved by CITY on September 30, 2013, the security required by the 2013 Agreement shall remain in place for the following:

Rehabilitation of the pavement on Stewart/Cohen and Paradise Roads within the limits of Stewart Tract, as detailed on the attached Exhibit "D" are now open to the public, and rehabilitation is guaranteed by a performance bond. Full improvement and acceptance of these streets shall be completed prior to release of security previously posted by SUBDIVIDER.
8. If SUBDIVIDER, in whole or in part, abandons the Improvements, unnecessarily, or unreasonably delays construction of the Improvements, fails to complete construction of the Improvements within the time specified in this Agreement, or fails to repair, replace or reconstruct any defects, as set forth in Paragraph 6 above, CITY may, but is not required to, proceed to complete and/or repair, replace, or reconstruct the Improvements, either by itself or by contract for such service, and CITY may cause to be forfeited such portion of any security deposited therein as is necessary to cover the costs of completion, repair, replacement, or reconstruction incurred by CITY.

Once action is taken by CITY to complete, repair, replace, and/or reconstruct the Improvements, SUBDIVIDER shall be responsible for all costs incurred by CITY, even if SUBDIVIDER subsequently completes the work.

CITY shall have recourse against SUBDIVIDER for any and all amounts necessary to complete the obligations of SUBDIVIDER in the event the security (including but not limited to any Letter of Guarantee, Certificate of Deposit, cash, bond for performance, labor and materials and repair and maintenance, letter of credit or cash deposit) therefore is insufficient to pay such amounts. All administrative costs, including reasonable attorney's fees pursuant to Government Code Section 66499.4, incurred by CITY in addition to the costs of the improvements shall be a proper charge against the security and SUBDIVIDER. In the event it becomes necessary for CITY to bring an action to compel performance of this Agreement or to recover costs of completing such improvements, SUBDIVIDER shall pay reasonable attorney's fees, costs of suit, and all other expenses of litigation incurred by CITY in connection therewith.

9. Because the Improvements are not entirely complete, SUBDIVIDER is required to only post Performance or Labor & Materials bonds to guarantee the unfinished improvements associated with Tract 3997 and Tract 3998 as included and described in Exhibit E of this Agreement. The amount of the security shall be equal to a performance bond equal to 120% of the amount of unfinished improvements as shown in Exhibit E ($\$431,595 \times 120\% = \$517,914$ – performance bond amount) as indicated in Recital D. The corresponding labor and materials bond amount shall be 50% of the performance bond amount ($\$517,914 \times 50\% = \$258,957$), also as indicated in Recital D. Further, SUBDIVIDER shall also comply with CITY's insurance requirements set forth on Exhibit C attached hereto and incorporated herein.

10. Any alteration(s) made to the plans and specifications which are a part of this Agreement or any provision of this Agreement shall not operate to release any surety or sureties from liability on any bond or bonds attached hereto and made a part thereof. The above-referenced sureties hereby consent to such alterations and waive the provisions of California Civil Code Section 2819.

11. Neither CITY nor any of its officers, employees, or agents shall be liable to SUBDIVIDER, and/or SUBDIVIDER's agents, contractors, or subcontractors for any error or omission arising out of or in connection with any work to be performed under this Agreement.

12. Neither CITY nor any of its officers, employees, or agents, shall be liable to SUBDIVIDER or to any person, entity, or organization for any injury or damage that may result to any person or property by or from any cause in, on, or about the subdivision of all or any part of the land covered by this Agreement.

13. SUBDIVIDER hereby agrees to, and shall hold CITY, its elective and appointive boards, commissions, officers, agents, and employees (collectively "Indemnitees") harmless from any liability for damage or claims which may arise from SUBDIVIDER and/or SUBDIVIDER's contractors, subcontractors, agents, or employees' operations under this Agreement, whether such operations be by SUBDIVIDER or by any SUBDIVIDER contractors, subcontractors, or by any one or more persons directly or indirectly employed by, or acting as agent for,

SUBDIVIDER or any of SUBDIVIDER's contractors or subcontractors. SUBDIVIDER shall, at its own cost and expense, defend any and all actions, suits, or legal proceedings or any type that may be brought or instituted against CITY and indemnities on any claim or demand, of any nature whatsoever, and pay or satisfy any judgment that may be rendered against CITY and the Indemnitees in any such action, suit, or legal proceedings resulting from or alleged to have resulted from SUBDIVIDER's performance or non-performance of its duties and obligations under this Agreement or from the negligent act or omission of itself, its agents, contractors, representatives, servants, or employees. The promises and Agreement to indemnify and hold harmless set forth in this section is not conditioned or dependent on whether or not any indemnity has prepared, supplied, or approved any plan or specification in connection with this work or subdivision, whether or not any such indemnity has insurance or indemnification covering any of these matters. CITY does not and shall not waive any rights against SUBDIVIDER which it may have by reason of the aforesaid hold harmless agreement because of the acceptance by CITY of any deposit with CITY by SUBDIVIDER. The aforesaid hold harmless agreement by SUBDIVIDER shall apply to all damages and claims for damages of every kind suffered, or alleged to have been suffered, by reason of any of the aforesaid operations referred to in this paragraph, regardless of whether or not CITY has prepared, supplied, or approved of plans and/or specifications for the subdivision.

14. Neither SUBDIVIDER nor any of SUBDIVIDER'd agents, contractors, or subcontractors are or shall be considered to be agents of CITY in connection with the performance of SUBDIVIDER's obligations under this Agreement.

15. Prior to acceptance of the Improvements by the City Council, SUBDIVIDER shall be solely responsible for maintaining the quality of the Improvements and maintaining safety at the project site. The SUBDIVIDER's obligation to provide the Improvements shall not be satisfied until after the City Engineer has made a written determination that all obligations of the Agreement have been satisfied, and all outstanding fees and charges have been paid, and the City Council has accepted the Improvements as complete. CITY and SUBDIVIDER have formed Community Facilities Districts ("CFDs") to finance maintenance and improvements. CITY expects to preserve the ability to use future special taxes of the CFD for payment of the cost of acquisition of the Improvements, which may require that acceptance of improvements by CITY be subject to the provisions of an acquisition agreement to be entered into by CITY and SUBDIVIDER providing that CITY expects to be paid or reimbursed acquisition costs through future CFD special taxes. SUBDIVIDER shall cooperate to facilitate such method of acquisition.

16. SUBDIVIDER shall pay service fees for the utility services from the time the Improvements are accepted by CITY to the end of the fiscal year, or up to a one (1) year period, whichever is needed to ensure an opportunity for the Improvements to be included in the next fiscal year annual assessment.

17. SUBDIVIDER shall be responsible to sweep streets within the subdivision every two weeks as directed by the City Engineer on all streets where lots are occupied and all streets providing access to occupied lots until the Improvements are accepted by CITY.

18. SUBDIVIDER shall not assign this Agreement without the prior written consent of CITY. If such consent is given, the terms of this Agreement shall apply to and bind the heirs, successors, executors, administrators, and assignees of SUBDIVIDER; and any heirs, successors, executors, administrators, and assignees of SUBDIVIDER and shall be jointly and severally liable hereunder.

19. SUBDIVIDER shall, at SUBDIVIDER's expense, obtain and maintain all necessary permits and licenses for construction of the Improvements. Prior to the commencement of Improvement construction, SUBDIVIDER shall obtain a City of Lathrop Business License. SUBDIVIDER shall comply with all local, state, and federal laws whether or not said laws are expressly stated in this Agreement.

20. This Agreement and any amendments hereto comprise the entire understanding and agreement between the parties regarding the improvements to be constructed and dedications for Tract 3997 and Tract 3998.

21. The following miscellaneous provisions are applicable to this Agreement:

a. **Controlling Law.** The parties agree that this Agreement shall be governed and construed by and in accordance with the laws of the State of California.

b. **Definitions.** The definitions and terms are as defined in this Agreement.

c. **Force Majeure.** Neither party shall be deemed to be in default on account of any delay or failure to perform its obligations under this Agreement which directly results from an Act of God or an act of a superior governmental authority.

d. **Headings.** The paragraph headings are not a part of this Agreement and shall have no effect upon the construction or interpretation of any part of this Agreement.

e. **Incorporation of Documents.** All documents referred to herein and all documents which may, from time to time, be referred to in any duly executed amendment hereto are by such reference incorporated herein and shall be deemed to be part of this Agreement.

f. **Modification of Agreement.** This Agreement shall not be modified or be binding upon the parties unless such modification is agreed to in writing and signed by the parties.

g. **Severability.** If a court of competent jurisdiction finds or rules that any provision of this Agreement is void or unenforceable, the provisions of this Agreement not so affected shall remain in full force and effect.

h. **Successors and Assigns.** Except as otherwise expressly provided herein, the provisions of this Agreement shall inure to the benefit of, and shall apply to and bind, the successors and assigns of the parties.

i. Time of the Essence. Time is of the essence of this Agreement and each of its provisions. In the calculation of time hereunder, the time in which an act is to be performed shall be computed by excluding the first day and including the last. If the time in which an act is to be performed falls on a Saturday, Sunday or any day observed as a legal holiday by CITY, the time for performance shall be extended to the following business day.

j. Venue. In the event either party brings that suit hereunder, the parties agree that trial of such action shall be vested exclusively in the state courts of California in the County of San Joaquin.

ATTACHMENTS:

- EXHIBIT A FINAL MAP - TRACT 3997
- EXHIBIT B TRACT 3997 AND VILLAGE Y AREA
- EXHIBIT C: CITY INSURANCE REQUIREMENTS
- EXHIBIT D: COHEN/PARADISE/STEWART REHABILITATION MAP
- EXHIBIT E: UNFINISHED IMPROVEMENT COST ESTIMATE
- EXHIBIT F: VILLAGE Y IMPROVEMENTS ENGINEER'S ESTIMATE
- EXHIBIT G: RIPFA LETTER OF GUARANTEE - INTERIM PUBLIC ACCESS WITHIN THE STAGE 2A DEVELOPMENT AREA
- EXHIBIT H: RIPFA LETTER OF GUARANTEE - RIVER ISLANDS PARKWAY WITHIN THE STAGE 2A DEVELOPMENT AREA
- EXHIBIT I: IRREVOCABLE OFFER OF DEDICATION FOR NORBECK STREET, GARDEN FARMS AVENUE & BOSCH AVENUE
- EXHIBIT J: UTILITY CAPACITY GUARANTEES

IN WITNESS WHEREOF, the parties hereto have executed this Agreement on this **8th** day of **April, 2019**, at Lathrop, California.

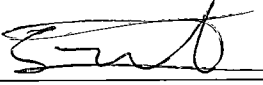
ATTEST: TERESA VARGAS
City Clerk of and for the City
of Lathrop, State of California

CITY OF LATHROP, a
municipal corporation of the
State of California

BY: _____
Teresa Vargas Date
City Clerk

BY: _____
Stephen J. Salvatore Date
City Manager

APPROVED AS TO FORM

BY:  4-7-19
Salvador Navarrete Date
City Attorney

River Islands Development, LLC,
a California limited liability company

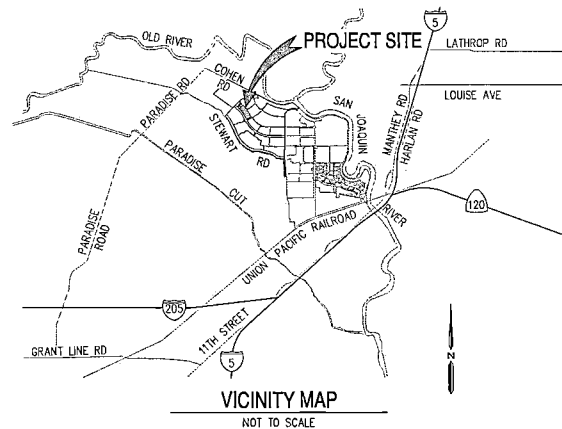
BY: _____
Susan Dell'Osso Date
President
"SUBDIVIDER"

EXHIBIT A

FINAL MAP - TRACT 3997

TRACT 3997 RIVER ISLANDS - STAGE 2A VILLAGE Y

A PORTION OF RANCHO EL PESCADERO, BEING
A SUBDIVISION OF PARCEL 11 OF TRACT 3808 (43 M&P 52),
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
SEPTEMBER 2016



OWNER'S STATEMENT

THE UNDERSIGNED, DOES HEREBY STATE THAT THEY ARE THE OWNERS OF ALL THE LAND DELINEATED AND EMBRACED WITHIN THE EXTERIOR BOUNDARY LINE OF THE HEREIN EMBODIED FINAL MAP ENTITLED, "TRACT 3997, RIVER ISLANDS, STAGE 2A, VILLAGE Y", CITY OF LATHROP, CALIFORNIA, CONSISTING OF ELEVEN (11) SHEETS, AND WE HEREBY CONSENT TO THE PREPARATION AND FILING OF THIS FINAL MAP IN THE OFFICE OF THE COUNTY RECORDER OF SAN JOAQUIN COUNTY, CALIFORNIA.

THE UNDERSIGNED DOES HEREBY DEDICATE AN EASEMENT TO THE CITY OF LATHROP FOR PUBLIC RIGHT-OF-WAY PURPOSES, THOSE PORTIONS OF SAID LANDS DESIGNATED ON SAID MAP AS REMBRANDT DRIVE, HEMSWORTH COURT, AND LOCKBORNE COURT, AS SHOWN ON THIS FINAL MAP.

THE UNDERSIGNED DOES HEREBY DEDICATE TO THE CITY OF LATHROP A NON-EXCLUSIVE EASEMENT TOGETHER WITH THE RIGHT TO CONSTRUCT, RECONSTRUCT, REPAIR AND MAINTAIN, POLES, WIRES, CABLES, PIPES, AND CONDUITS AND THEIR APPURTENANCES UPON, OVER AND UNDER THE STRIPS OF LAND AS SHOWN ON THIS FINAL MAP DESIGNATED AS "P.U.E." (PUBLIC UTILITY EASEMENT).

THE UNDERSIGNED DOES HEREBY DEDICATE TO THE CITY OF LATHROP A NON-EXCLUSIVE EASEMENT FOR THE PURPOSES OF REPAIR AND MAINTENANCE OF THE SOUND WALL FOR THE AREAS DESIGNATED AS "WALL EASEMENT" (W.E.) AS SHOWN ON THIS FINAL MAP.

THE UNDERSIGNED DOES HEREBY DEDICATE TO THE CITY OF LATHROP, IN FEE, PARCEL A FOR PURPOSES OF OPEN SPACE, INCLUDING PUBLIC UTILITIES, STORM DRAIN FACILITIES, SANITARY SEWER FACILITIES, FENCE MAINTENANCE, AND APPURTENANCES THERETO, FOR THE BENEFIT OF THE PUBLIC, AS SHOWN ON THIS FINAL MAP.

THE UNDERSIGNED DOES HEREBY RELINQUISH TO THE CITY OF LATHROP ALL ABUTTERS RIGHT OF ACCESS TO LOTS 1, 14, 15 AND 27, ALONG THE LOT LINES AS INDICATED BY THE SYMBOL /////// AS SHOWN ON THIS FINAL MAP.

THE UNDERSIGNED DOES HEREBY RESERVE PARCELS 1 AND 2 FOR FUTURE DEVELOPMENT.

OWNER: RIVER ISLANDS DEVELOPMENT, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY.

BY: _____ DATE _____
NAME: SUSAN DELL'OSSO
ITS: PRESIDENT

DATED THIS ____ DAY OF _____, 201__.

OLD REPUBLIC TITLE COMPANY, AS TRUSTEE, UNDER THE DEED OF TRUST RECORDED DECEMBER 22, 2016, AS DOCUMENT NUMBER 2016-160886, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.

BY: _____
NAME: _____
ITS: _____

ACKNOWLEDGEMENT CERTIFICATE (OWNER'S)

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT

STATE OF CALIFORNIA }
COUNTY OF SAN JOAQUIN }

ON _____, 201__ BEFORE ME, _____ WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/HEY EXECUTED THE SAME IN HIS/HER/HER AUTHORIZED CAPACITY(DIES), AND THAT BY HIS/HER/HER SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND:

SIGNATURE: _____
NAME (PRINT): _____
PRINCIPAL COUNTY OF BUSINESS: _____
MY COMMISSION NUMBER: _____
MY COMMISSION EXPIRES: _____

CITY CLERK'S STATEMENT

I, TERESA VARGAS, CITY CLERK AND CLERK OF THE CITY COUNCIL OF THE CITY OF LATHROP, STATE OF CALIFORNIA, DO HEREBY STATE THAT THE HEREIN EMBODIED MAP ENTITLED "TRACT 3997, RIVER ISLANDS, STAGE 2A, VILLAGE Y", CITY OF LATHROP, CALIFORNIA, CONSISTING OF ELEVEN (11) SHEETS, THIS STATEMENT WAS PRESENTED TO SAID CITY COUNCIL, AS PROVIDED BY LAW, AT A REGULAR MEETING THEREOF, HELD ON THE ____ DAY OF _____, 201__, AND THAT SAID CITY COUNCIL, DO THEREUPON BY RESOLUTION NO. _____, DULY PASSED AND ADOPTED AT SAID MEETING, APPROVE SAID MAP, AND AUTHORIZED ITS RECORDATION, AND ACCEPTED ON BEHALF OF THE CITY OF LATHROP, FOR PUBLIC USE, THE DEDICATION OF ALL PUBLIC UTILITY EASEMENTS, WALL EASEMENTS, PARCEL A, AND THE RELINQUISHMENT OF ACCESS RIGHTS TO LOTS 1, 14, 15, AND 27 ALONG THE LOT LINES AS INDICATED BY THE SYMBOL ///////, AND ACCEPTED THE OFFER OF DEDICATION OF ALL STREETS, AVENUES AND WAYS AS SHOWN ON SAID MAP SUBJECT TO THE IMPROVEMENTS BEING COMPLETED IN ACCORDANCE WITH CHAPTER 16, TITLE 16.16 OF THE CITY OF LATHROP MUNICIPAL CODE.

I FURTHER STATE THAT ALL BONDS AS REQUIRED BY LAW TO ACCOMPANY THE WITHIN MAP, IF APPLICABLE, HAVE BEEN APPROVED BY THE CITY COUNCIL OF LATHROP AND FILED IN MY OFFICE.

TERESA VARGAS
CITY CLERK AND CLERK OF THE CITY COUNCIL OF THE CITY OF LATHROP, COUNTY OF SAN JOAQUIN, STATE OF CALIFORNIA

ACKNOWLEDGEMENT CERTIFICATE (TRUSTEE)

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT

STATE OF CALIFORNIA }
COUNTY OF SAN JOAQUIN }

ON _____, 201__ BEFORE ME, _____ WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/HEY EXECUTED THE SAME IN HIS/HER/HER AUTHORIZED CAPACITY(DIES), AND THAT BY HIS/HER/HER SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND:

SIGNATURE: _____
NAME (PRINT): _____
PRINCIPAL COUNTY OF BUSINESS: _____
MY COMMISSION NUMBER: _____
MY COMMISSION EXPIRES: _____

EXEMPT FROM FEE PER GOVERNMENT CODE 27388.1; DOCUMENT RECORDED IN CONNECTION WITH A CONCURRENT TRANSFER SUBJECT TO THE IMPOSITION OF DOCUMENTARY TRANSFER TAX

SECRETARY OF THE PLANNING COMMISSION'S STATEMENT

THIS MAP CONFORMS TO TENTATIVE MAP NO. 3694 APPROVED BY THE PLANNING COMMISSION.

DATED THIS ____ DAY OF _____, 201__.

MARK WEISSNER, COMMUNITY DEVELOPMENT DIRECTOR
CITY OF LATHROP

CITY ENGINEER'S STATEMENT

I, GLENN GEBHARDT, HEREBY STATE THAT I AM THE CITY ENGINEER OF THE CITY OF LATHROP, CALIFORNIA AND THAT I HAVE EXAMINED THIS FINAL MAP OF "TRACT 3997, RIVER ISLANDS, STAGE 2A, VILLAGE Y", CITY OF LATHROP, CALIFORNIA, AND THAT THE SUBDIVISION SHOWN HEREON IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE VESTING TENTATIVE MAP NO. 3694, AND ANY APPROVED ALTERATIONS THEREOF. I FURTHER STATE THAT THIS FINAL MAP COMPLIES WITH ALL APPLICABLE ORDINANCES OF THE CITY OF LATHROP, AND ANY AMENDMENTS THERETO, APPLICABLE AT THE TIME OF APPROVAL OF VESTING TENTATIVE MAP.

DATED THIS ____ DAY OF _____, 201__.

GLENN GEBHARDT, R.C.E. 34681
CITY ENGINEER OF THE CITY OF LATHROP, CALIFORNIA



RECORDER'S STATEMENT

FILED THIS ____ DAY OF _____, 201__, AT _____ M.
IN BOOK ____ OF MAPS AND PLATS, AT PAGE ____ AT THE REQUEST OF OLD REPUBLIC TITLE COMPANY.

FEE: \$ _____

BY: _____ ASSISTANT/DEPUTY RECORDER
STEVE BESTOLARIDES
ASSESSOR-RECORDER-COUNTY CLERK
SAN JOAQUIN COUNTY, CALIFORNIA

CITY SURVEYOR'S STATEMENT

I, LAWRENCE GOSSETT, HEREBY STATE THAT I HAVE EXAMINED THIS FINAL MAP OF TRACT 3997, RIVER ISLANDS, STAGE 2A, VILLAGE Y, CITY OF LATHROP, CALIFORNIA, AND THAT THE SUBDIVISION SHOWN HEREON COMPLIES WITH ALL THE PROVISIONS OF CHAPTER 2 OF THE CALIFORNIA SUBDIVISION MAP ACT, AS AMENDED, AND THAT THIS FINAL MAP IS TECHNICALLY CORRECT.

DATED THIS _____ DAY OF _____, 201__.

LAWRENCE GOSSETT, P.E. 31695



SURVEYOR'S STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF RIVER ISLANDS DEVELOPMENT, LLC, ON JUNE 25, 2018. I HEREBY STATE ALL THE MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED OR THAT THEY WILL BE SET IN THOSE POSITIONS BEFORE DECEMBER 31, 2023, AND THAT THE MONUMENTS ARE, OR THAT THEY WILL BE, SUFFICIENT TO ENABLE THIS SURVEY TO BE RETRACED, AND THAT THIS FINAL MAP SUBSTANTIALLY CONFORMS TO THE CONDITIONALLY APPROVED TENTATIVE MAP.

DATED THIS _____ DAY OF _____, 201__.

DYLAN CRAWFORD, P.L.S. NO 7788



NOTES

- RIGHT TO FARM STATEMENT: PER CITY OF LATHROP MUNICIPAL CODE OF ORDINANCES, TITLE 15, CHAPTER 15.48.04, THE CITY OF LATHROP PERMITS OPERATION OF PROPERLY CONDUCTED AGRICULTURAL OPERATIONS WITHIN THE CITY LIMITS, INCLUDING THOSE THAT UTILIZE CHEMICAL FERTILIZERS AND PESTICIDES. YOU ARE HEREBY NOTIFIED THAT THE PROPERTY YOU ARE PURCHASING MAY BE LOCATED CLOSE TO AGRICULTURAL LANDS AND OPERATIONS. YOU MAY BE SUBJECT TO INCONVENIENCE OR DISCOMFORT ARISING FROM THE LAWFUL AND PROPER USE OF AGRICULTURAL CHEMICALS AND PESTICIDES AND FROM OTHER AGRICULTURAL ACTIVITIES, INCLUDING WITHOUT LIMITATIONS, CULTIVATION, FLOWING, SPRAYING, IRRIGATION, PRUNING, HARVESTING, BURNING OF AGRICULTURAL WASTE PRODUCTS, PROTECTION OF CROPS AND ANIMALS FROM DEPREDATION, AND OTHER ACTIVITIES WHICH MAY GENERATE DUST, SMOKE, NOISE, ODOR, RODENTS AND PESTS. BE AWARE ALSO, THAT THIS PROPERTY MAY BE LOCATED ADJACENT TO AGRICULTURAL OPERATIONS OUTSIDE THE CITY'S JURISDICTION. CONSEQUENTLY, DEPENDING ON THE LOCATION OF YOUR PROPERTY, IT MAY BE NECESSARY THAT YOU BE PREPARED TO ACCEPT SUCH INCONVENIENCES OR DISCOMFORT AS NORMAL AND NECESSARY ASPECT OF LIVING IN AN AGRICULTURALLY ACTIVE REGION.
- A SOILS REPORT ENTITLED "GEOTECHNICAL EXPLORATION, RIVER ISLANDS PHASE 1, LATHROP, CALIFORNIA", REFERENCED AS PROJECT NO. 5044.5.001.D1 AND DATED JULY 29, 2005, HAS BEEN PREPARED FOR THIS PROJECT BY ENGeo, INCORPORATED, JOSEF J. TOOTLE, G.E. NO. 2677, AND IS ON FILE WITH THE CITY OF LATHROP.
- TRACT 3997, RIVER ISLANDS, STAGE 2A, VILLAGE Y, CONTAINS 36 RESIDENTIAL LOTS, AND 1 LETTERED PARCEL CONTAINING 7.29 ACRES, MORE OR LESS, INCLUDING ROADWAYS THAT ARE BEING DEDICATED BY THIS FINAL MAP; AND PARCELS 1 AND 2 CONTAINING 3.55 ACRES, MORE OR LESS, ALL AS SHOWN ON THIS FINAL MAP (PLEASE REFER TO THE AREA TABLE BELOW):

TRACT 3997 AREA SUMMARY	
LOTS 1 THROUGH 36	3.53 AC±
PARCEL A	1.77 AC±
PARCELS 1 AND 2	3.55 AC±
STREET DEDICATIONS	1.99 AC±
TOTAL	10.84 AC±

- BASED ON INFORMATION CONTAINED IN THE PRELIMINARY TITLE REPORT, ORDER NUMBER 1614020234-K9 (VERSION 2), DATED SEPTEMBER 21, 2018, PROVIDED BY OLD REPUBLIC TITLE COMPANY.
- OFFSITE ACCESS IS SHOWN ON THIS FINAL MAP AS NORBECK STREET (FUTURE), GARDEN FARMS AVENUE (FUTURE), AND BOSCH AVENUE (FUTURE), AS SHOWN ON SHEETS 6 THROUGH 11, HEREIN. SAID OFFSITE ACCESS IS BEING CREATED BY SEPARATE DOCUMENT TO BE RECORDED CONCURRENTLY WITH THIS FINAL MAP.

**TRACT 3997
RIVER ISLANDS - STAGE 2A
VILLAGE Y**

A PORTION OF RANCHO EL PESCADERO, BEING
A SUBDIVISION OF PARCEL 11 OF TRACT 3908 (43 M&P 52),
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
SEPTEMBER 2018



REFERENCES

- (R1) RECORD OF SURVEY FILED AUGUST 4, 2004, IN BOOK 35 OF SURVEYS, PAGE 142, AS CORRECTED BY CERTIFICATE OF CORRECTION RECORDED JULY 15, 2005 AS DOCUMENT NUMBER 2005-171284, S.J.C.R. (35 SURVEYS 142)
- (R2) TRACT 3878, FILED MARCH 31, 2016, IN BOOK 42 OF MAPS AND PLATS, PAGE 56, S.J.C.R. (42 M&P 56)
- (R3) GRANT DEED RECORDED MARCH 30, 2001, AS DOCUMENT NUMBER 2001-046177, S.J.C.R.
- (R4) GRANT DEED RECORDED JANUARY 11, 2016, AS DOCUMENT NUMBER 2016-004077, S.J.C.R.
- (R5) GRANT DEED RECORDED JUNE 3, 2016, AS DOCUMENT NUMBER 2016-063962, S.J.C.R.
- (R6) GRANT DEED RECORDED JUNE 3, 2016, AS DOCUMENT NUMBER 2016-064006, S.J.C.R.
- (R7) GRANT DEED RECORDED JUNE 6, 2005, AS DOCUMENT NUMBER 2005-134736, S.J.C.R.
- (R8) TRACT 3826, FILED SEPTEMBER 1, 2016, IN BOOK 42 OF MAPS AND PLATS, PAGE 67, S.J.C.R. (42 M&P 67)
- (R9) TRACT 3828, FILED AUGUST 24, 2016, IN BOOK 42 OF MAPS AND PLATS, PAGE 65, AS CORRECTED BY CERTIFICATE OF CORRECTION RECORDED AUGUST 31, 2016, AS DOCUMENT NUMBER 2016-102979, S.J.C.R. (42 M&P 65)
- (R10) TRACT 3832, FILED AUGUST 24, 2016, IN BOOK 42 OF MAPS AND PLATS, PAGE 66, S.J.C.R. (42 M&P 66)
- (R11) TRACT 3834, FILED DECEMBER 21, 2016, IN BOOK 42 OF MAPS AND PLATS, PAGE 72, S.J.C.R. (42 M&P 72)
- UNFILED MAP ENTITLED "CALIFORNIA IRRIGATED FARMS, UNIT NO. 3 PESCADERO COLONY BEING RECLAMATION DISTRICT NO. 2D62, SURVEYED APRIL AND MAY 1929 BY OHM AND RAAB, DATED NOVEMBER 7, 1929, FILED IN THE OFFICE OF THE SAN JOAQUIN COUNTY SURVEYOR.
- (R13) PARCEL MAP 06-03-PM, FILED OCTOBER 23, 2005, IN BOOK 24 OF PARCEL MAPS, PAGE 51, S.J.C.R. (24 PM 51)
- (R14) TRACT 3838, FILED MARCH 15, 2017, IN BOOK 42 OF MAPS AND PLATS, PAGE 84, S.J.C.R. (42 M&P 84)
- (R15) TRACT 3893, FILED JUNE 1, 2017, IN BOOK 42 OF MAPS AND PLATS, PAGE 86, S.J.C.R. (42 M&P 86)
- (R16) TRACT 3895, FILED JUNE 20, 2017, IN BOOK 42 OF MAPS AND PLATS, PAGE 89, S.J.C.R. (42 M&P 89)
- (R17) TRACT 3838, FILED NOVEMBER 30, 2017, IN BOOK 43 OF MAPS AND PLATS, PAGE 12, AS CORRECTED BY CERTIFICATE OF CORRECTION RECORDED OCTOBER 16, 2018, AS DOCUMENT NUMBER 2018-114854, S.J.C.R. (43 M&P 12)
- (R18) TRACT 3875, FILED SEPTEMBER 22, 2017, IN BOOK 42 OF MAPS AND PLATS, PAGE 100, S.J.C.R. (42 M&P 100)
- (R19) TRACT 3831, FILED JANUARY 23, 2018, IN BOOK 43 OF MAPS AND PLATS, PAGE 16, S.J.C.R. (43 M&P 16)
- (R20) TRACT 3912, FILED FEBRUARY 7, 2018, IN BOOK 43 OF MAPS AND PLATS, PAGE 19, S.J.C.R. (43 M&P 19)
- (R21) GRANT DEED RECORDED JUNE 3, 2016, AS DOCUMENT NUMBER 2016-063963, S.J.C.R.
- (R22) TRACT 3908, RIVER ISLANDS, STAGE 2A, LARGE LOT FINAL MAP, FILED SEPTEMBER 20, 2018, IN BOOK 43 OF MAP AND PLATS, PAGE 52, S.J.C.R. (43 M&P 52)

SIGNATURE OMISSIONS

PURSUANT TO SECTION 66436 OF THE CALIFORNIA SUBDIVISION MAP ACT, THE SIGNATURES OF THE FOLLOWING PARTIES HAVE BEEN OMITTED:

- RECLAIMED ISLANDS LAND COMPANY, RESERVATION FOR OIL, GAS, MINERALS, AND OTHER HYDROCARBON SUBSTANCES LYING BELOW A DEPTH OF 500 FEET, PER DOCUMENT NUMBER 2001-046177, S.J.C.R.

LINE AND CURVE TABLES FOR COURSES SHOWN ON SHEETS 3 THROUGH 5 ONLY

LINE TABLE			LINE TABLE			CURVE TABLE			CURVE TABLE				
LINE	DIRECTION	LENGTH	LINE	DIRECTION	LENGTH	CURVE #	RADIUS	DELTA	LENGTH	CURVE #	RADIUS	DELTA	LENGTH
L1	N74°32'00"W	42.43'	L13	N54°05'19"W	34.94'	C1	2328.00'	1°07'07"	45.45'	C11	2100.00'	1°02'12"	38.00'
L2	N45°30'34"E	165.00'	L14	N54°05'19"W	43.17'	C2	17.00'	66°59'35"	19.88'	C12	2100.00'	5°47'08"	212.05'
L3	N8°39'42"W	29.10'	L15	N43°21'28"E	19.57'	C3	50.00'	193°56'26"	169.25'	C13	2163.00'	3°09'31"	119.24'
L4	N86°31'38"E	34.82'	L16	N40°39'30"E	117.83'	C4	720.00'	81°3'12"	103.30'	C14	42.00'	97°28'51"	71.46'
L5	N47°37'08"W	21.62'	L17	N54°38'13"W	14.93'	C5	2570.00'	2°22'34"	106.58'	C15	750.00'	9°31'49"	124.75'
L6	N111°3'59"E	35.74'	L18	N60°28'00"E	93.00'	C6	87.00'	15°12'13"	23.09'	C16	36.00'	67°11'41"	42.22'
L7	N33°08'53"W	60.00'	L19	N29°32'00"W	74.00'	C7	113.00'	15°12'13"	29.98'	C17	105.00'	34°13'01"	62.71'
L8	N77°31'43"W	35.74'	L20	N15°28'00"E	42.43'	C8	2100.00'	5°07'36"	187.92'	C18	30.00'	45°09'56"	23.65'
L9	N15°28'00"E	35.36'	L21	N29°32'00"W	180.52'	C9	2100.00'	28°45'05"	1053.79'				
L10	N60°28'00"E	214.00'	L22	N29°32'00"W	113.52'	C10	2100.00'	26°35'17"	974.50'				
L11	N60°28'00"E	85.55'											
L12	N68°39'11"W	61.05'											

TRACT 3997 RIVER ISLANDS - STAGE 2A VILLAGE Y

A PORTION OF RANCHO EL PESCADERO, BEING
A SUBDIVISION OF PARCEL 11 OF TRACT 3908 (43 M&P 52),
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
SEPTEMBER 2018



0' 250' 500' 1000'
SCALE 1" = 500'

THIS SHEET SHOWS TIES TO THE BASIS OF BEARINGS
AND OTHER MAPS OF RECORD. REFER TO SHEET 4 FOR
THE BOUNDARY OF TRACT 3997

LEGEND (SHEETS 3 THROUGH 5 ONLY)

- ⊙ MONUMENT TO BE SET PER (R17), UNLESS OTHERWISE NOTED
- ⊙ MONUMENT TO BE SET PER (R22)
- 3/4" IRON PIPE WITH CAP STAMPED "PLS 7788" PER (R22), UNLESS OTHERWISE NOTED
- ⊗ MONUMENT PER TRACT 3834 (R11)
- △ 2-1/2" BRASS DISK STAMPED "PLS 7788" TO BE SET PER (R22)
- BOUNDARY
- LOT LINE OR RIGHT-OF-WAY LINE
- - - EASEMENT LINE
- - - CENTERLINE
- - - MONUMENT LINE
- 200.00' (R1) MEASURED AND RECORD DATA PER REFERENCE (R1)
- (R1) DENOTES REFERENCE (R1) - SEE REFERENCE LIST ON SHEET 2
- (M-M) MONUMENT TO MONUMENT
- (R) RADIAL BEARING
- (T) TOTAL
- (B) BOUNDARY
- DN DOCUMENT NUMBER
- O.R. OFFICIAL RECORD
- MON MONUMENT
- ① EASEMENT REFERENCE NUMBER - SEE THIS SHEET

EASEMENTS

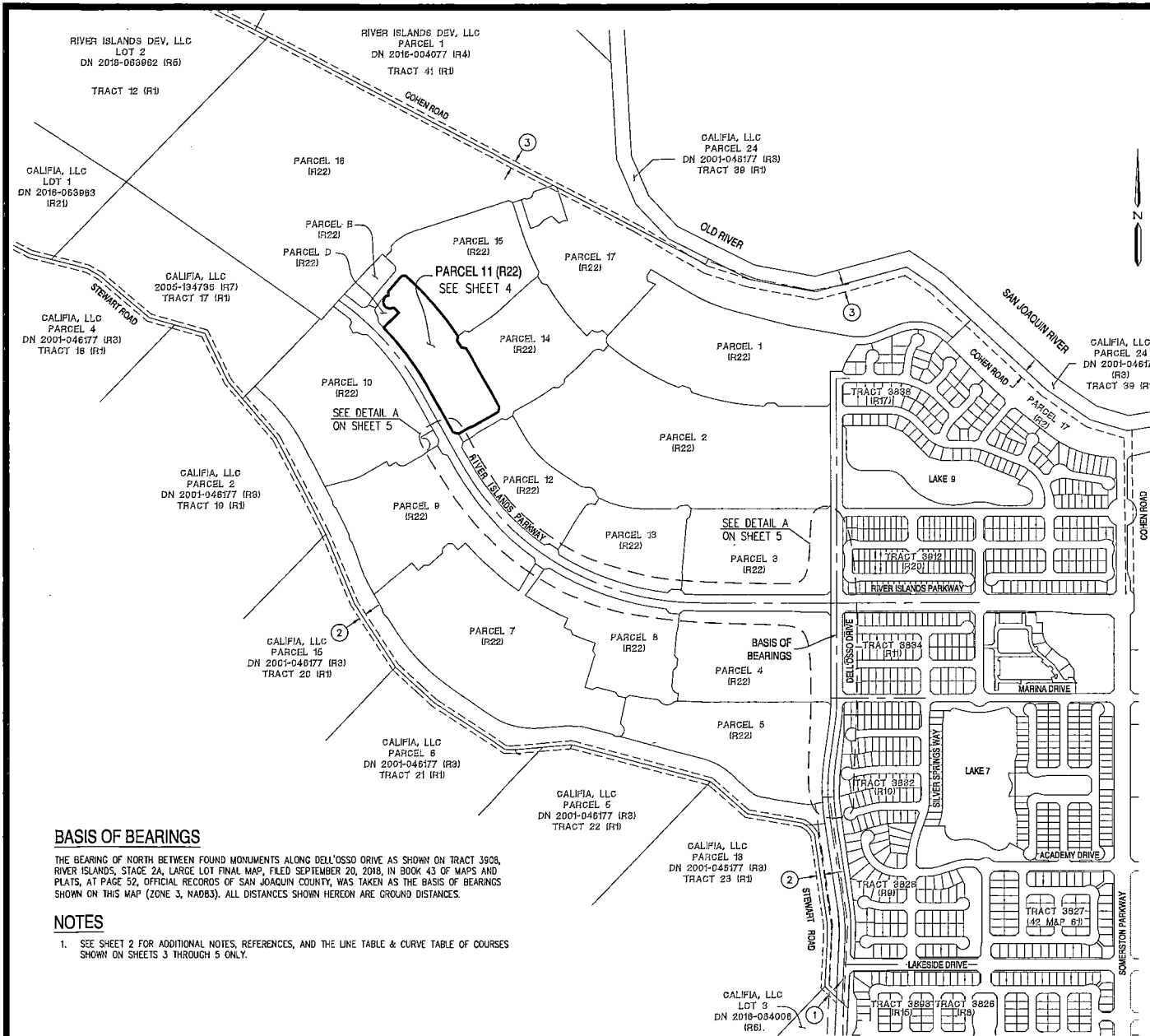
- ① 60' WIDE ROADWAY EASEMENT IN FAVOR OF CITY OF LATHROP PER 199 D.R. 212, S.J.C.R. (STEWART ROAD). (DOES NOT AFFECT THE SUBJECT PROPERTY)
- ② 60' WIDE ROADWAY EASEMENT IN FAVOR OF CITY OF LATHROP PER 199 D.R. 335, S.J.C.R. (STEWART ROAD). (DOES NOT AFFECT THE SUBJECT PROPERTY).
- ③ 60' WIDE ROADWAY EASEMENT IN FAVOR OF CITY OF LATHROP PER 408 O.R. 95, S.J.C.R. (COHEN ROAD). (DOES NOT AFFECT THE SUBJECT PROPERTY).

BASIS OF BEARINGS

THE BEARING OF NORTH BETWEEN FOUND MONUMENTS ALONG DELI'OSSO DRIVE AS SHOWN ON TRACT 3908, RIVER ISLANDS, STAGE 2A, LARGE LOT FINAL MAP, FILED SEPTEMBER 20, 2018, IN BOOK 43 OF MAPS AND PLATS, AT PAGE 52, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN ON THIS MAP (ZONE 3, NAD83). ALL DISTANCES SHOWN HEREON ARE GROUND DISTANCES.

NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES, REFERENCES, AND THE LINE TABLE & CURVE TABLE OF COURSES SHOWN ON SHEETS 3 THROUGH 5 ONLY.

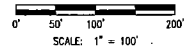


TRACT 3997

RIVER ISLANDS - STAGE 2A

VILLAGE Y

A PORTION OF RANCHO EL PESCAERO, BEING
A SUBDIVISION OF PARCEL 11 OF TRACT 3908 (43 M&P 52),
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
SEPTEMBER 2018

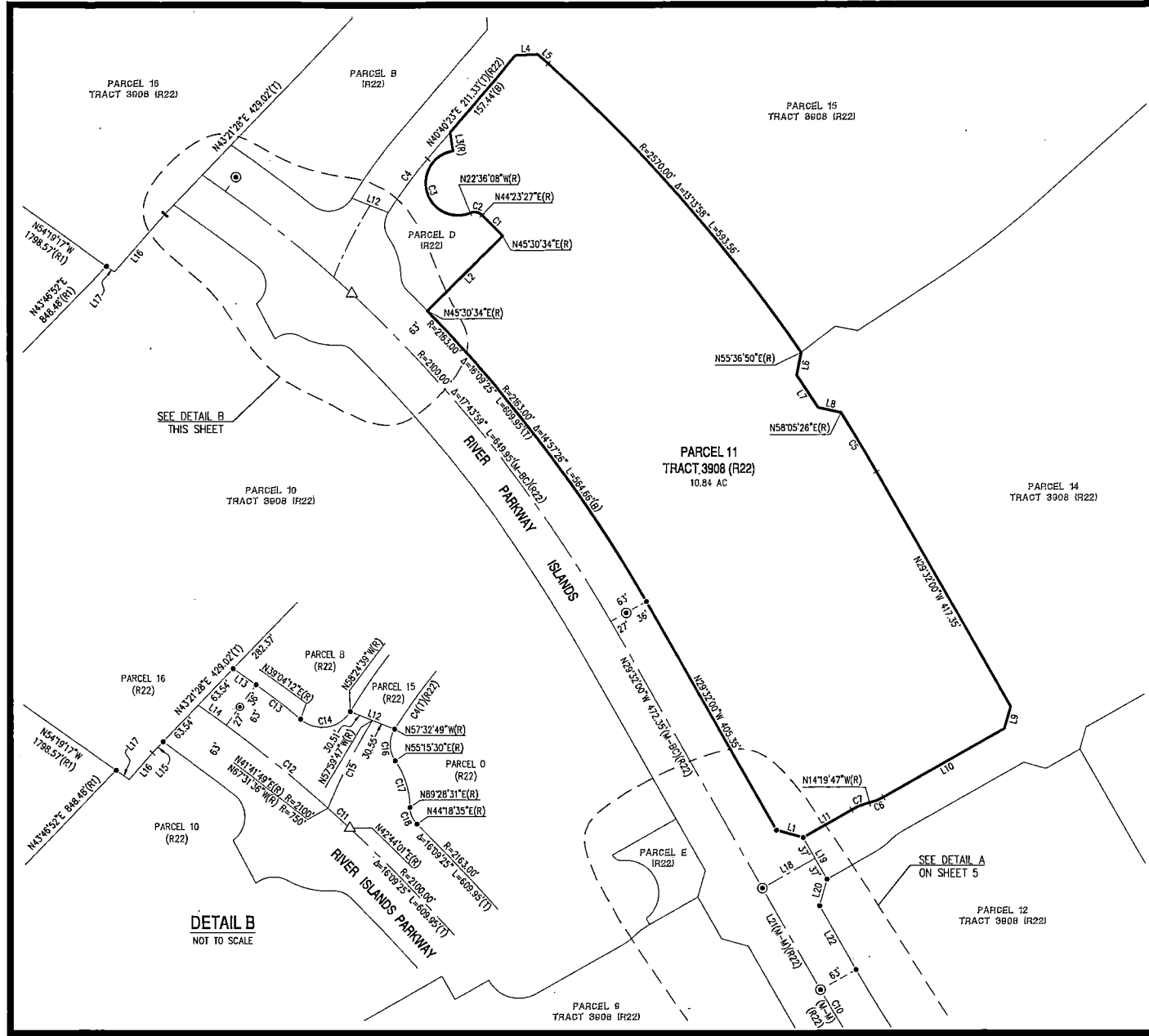


BOUNDARY SHEET

THIS SHEET SHOWS THE BOUNDARY OF TRACT 3997
BEING PARCEL 11 OF TRACT 3908 (R22)

- LEGEND** (SHEETS 3 THROUGH 5 ONLY)
- ⊙ MONUMENT TO BE SET PER (R17), UNLESS OTHERWISE NOTED
 - ⊕ MONUMENT TO BE SET PER (R22)
 - 3/4" IRON PIPE WITH CAP STAMPED "PLS 7788" PER (R22), UNLESS OTHERWISE NOTED
 - ⊗ MONUMENT PER TRACT 3834 (R11)
 - △ 2-1/2" BRASS DISK STAMPED "PLS 7788" TO BE SET PER (R22)
 - BOUNDARY
 - - - LOT LINE OR RIGHT-OF-WAY LINE
 - - - EASEMENT LINE
 - - - CENTERLINE
 - - - MONUMENT LINE
 - 200.00' (R1) MEASURED AND RECORD DATA PER REFERENCE (R1)
 - (R1) DENOTES REFERENCE (R1) - SEE REFERENCE LIST ON SHEET 2
 - (M-M) MONUMENT TO MONUMENT
 - (R) RADIAL BEARING
 - (T) TOTAL
 - (B) BOUNDARY
 - DN DOCUMENT NUMBER
 - O.R. OFFICIAL RECORD
 - MON MONUMENT
 - ① EASEMENT REFERENCE NUMBER - SEE THIS SHEET

- NOTES**
1. SEE SHEET 3 FOR LEGEND, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
 2. SEE SHEET 2 FOR ADDITIONAL NOTES, REFERENCES, AND THE LINE AND CURVE TABLES FOR SHEETS 3 THROUGH 5 ONLY.



SEE DETAIL B
THIS SHEET

SEE DETAIL A
ON SHEET 5

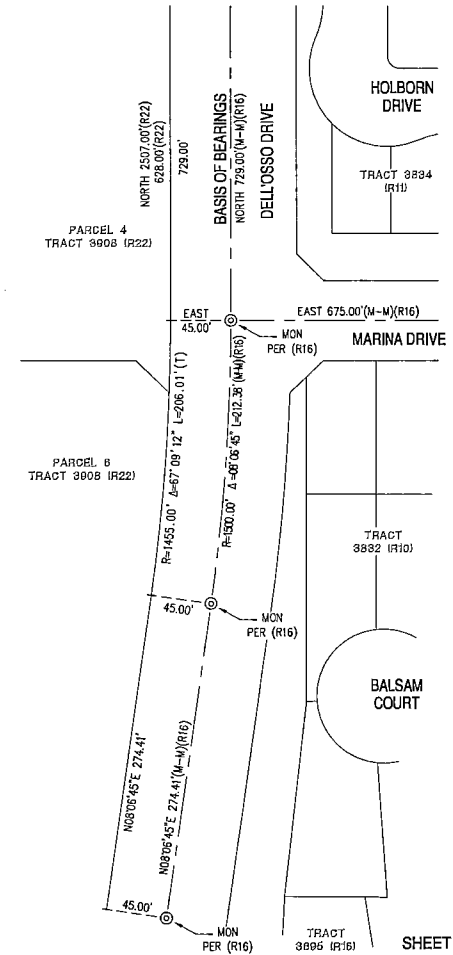
DETAIL B
NOT TO SCALE

TRACT 3997 RIVER ISLANDS - STAGE 2A VILLAGE Y

A PORTION OF RANCHO EL PESCADERO, BEING
A SUBDIVISION OF PARCEL 11 OF TRACT 3908 (43 M&P 52),
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
SEPTEMBER 2018

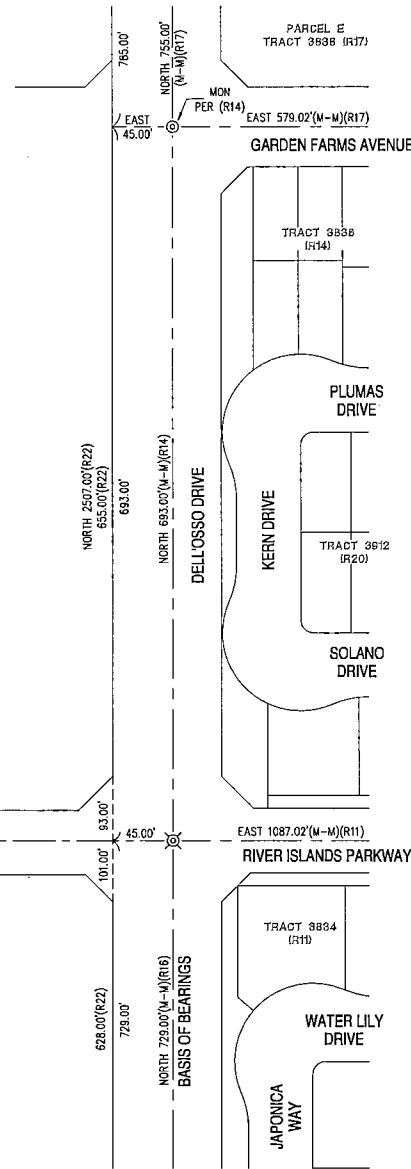


SEE BELOW LEFT

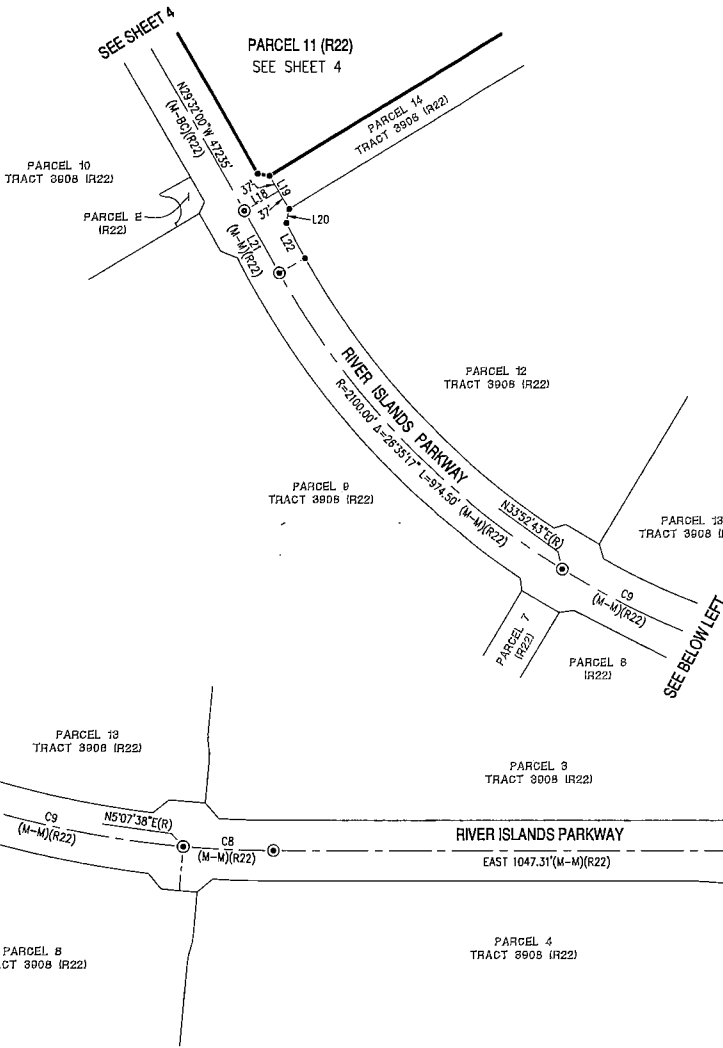


SHEET 5 OF 11

SEE ABOVE RIGHT



DETAIL A
NOT TO SCALE
(FROM SHEETS 3 AND 4)

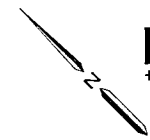
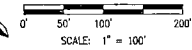


NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES, REFERENCES, AND THE LINE AND CURVE TABLES OF COURSES SHOWN ON SHEETS 3 THROUGH 5 ONLY.
2. SEE SHEET 3 FOR LEGEND, EASEMENT REFERENCE LIST, AND BASIS OF BEARINGS.

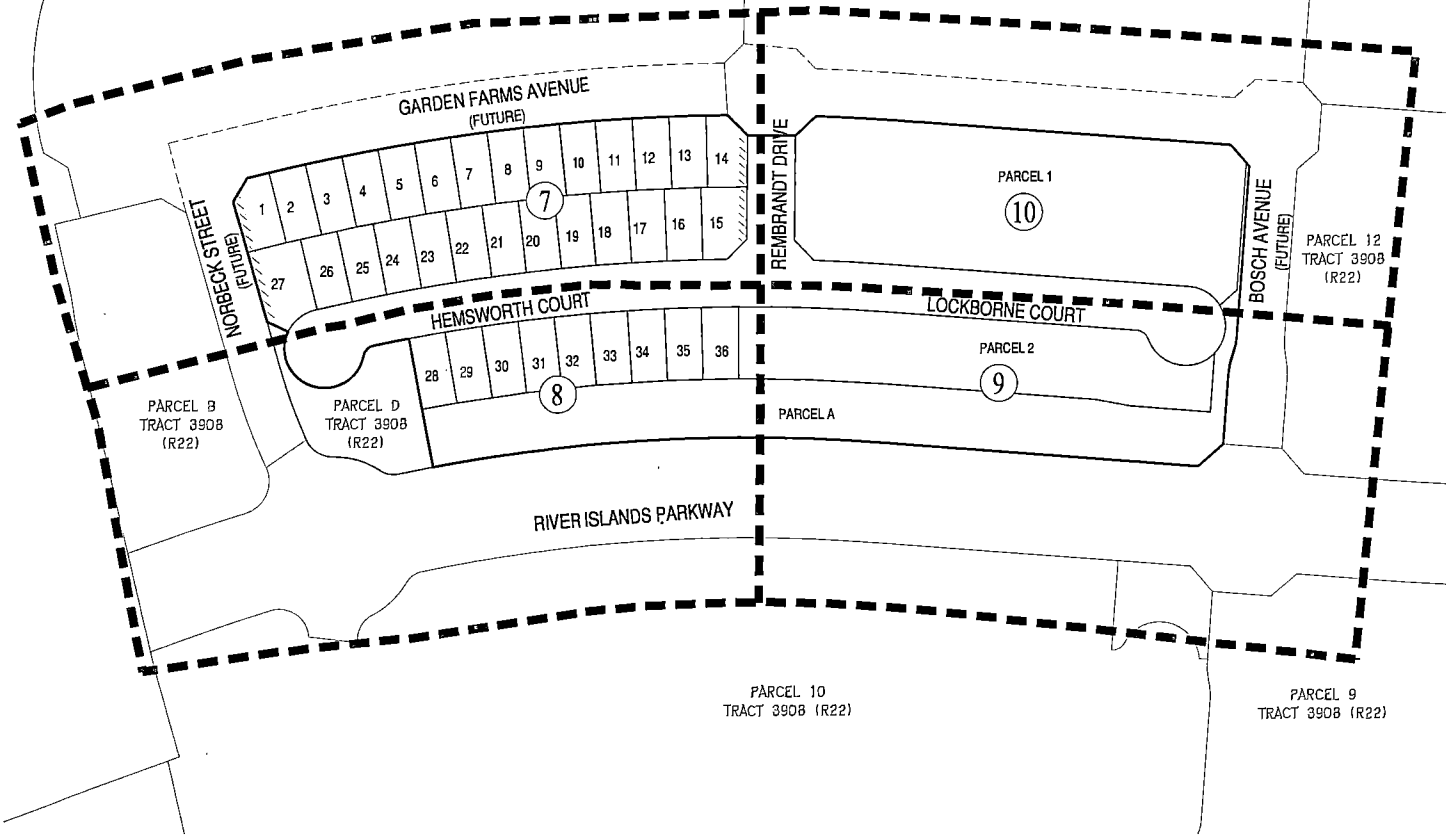
TRACT 3997
RIVER ISLANDS - STAGE 2A
VILLAGE Y

A PORTION OF RANCHO EL PESCADERO, BEING
 A SUBDIVISION OF PARCEL 11 OF TRACT 3908 (43 M&P 52),
 CITY OF LATHROP, COUNTY OF SAN JOAQUIN, CALIFORNIA
 SEPTEMBER 2018



PARCEL 15
 TRACT 3908 (R22)

PARCEL 14
 TRACT 3908 (R22)



SHEET INDEX

LEGEND

- BOUNDARY
- LOT LINE
- EXISTING ROADWAY EASEMENT
- RESTRICTED ACCESS
- SHEET LIMIT LINE
- SHEET NUMBER

LEGEND

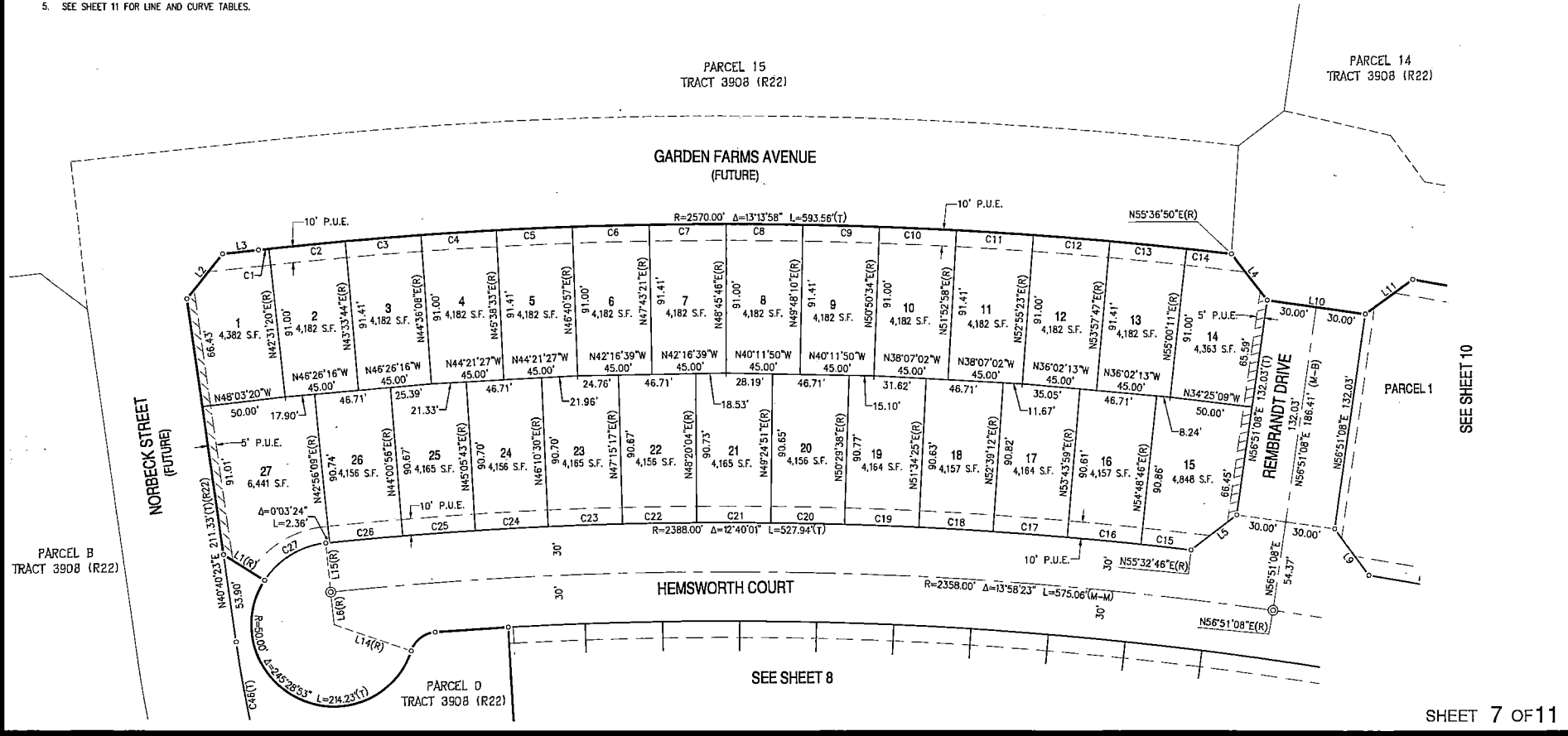
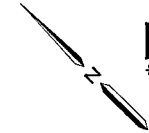
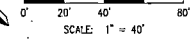
- ⊙ MONUMENT TO BE SET PER (R22)
 - ⊙ SET STANDARD CITY OF LATHROP MONUMENT WELL STAMPED "PLS 7788"
 - △ 2-1/2" BRASS DISK STAMPED "PLS 7788" TO BE SET PER (R22)
 - 3/4" IRON PIPE WITH PLASTIC PLUG "PLS 7788" PER (R22), UNLESS OTHERWISE NOTED
 - SET 3/4" IRON PIPE WITH PLASTIC PLUG "PLS 7788"
 - ⊙ SET 3.00' WITNESS CORNER (W.C.), UNLESS OTHERWISE NOTED, MEASURED ALONG LOT LINE, RADIAL LINE OR PERPENDICULAR TO STREET CENTERLINE AS NOTED. 3/4" x 24" IRON PIPE WITH PLASTIC PLUG "PLS 7788"
- | | | |
|--|---|-------------------|
| 200.00'(R1) MEASURED AND RECORD DATA PER REFERENCE (R1) | | |
| (R1) DENOTES REFERENCE (R1)- SEE REFERENCE LIST ON SHEET 2 | (M-W) MONUMENT TO MONUMENT | LOT LINE |
| (M-B) MONUMENT TO BOUNDARY | (M-BC) MONUMENT TO BEGINNING OF A CURVE | RIGHT-OF-WAY LINE |
| (T) TOTAL | (B) BOUNDARY | BOUNDARY |
| (P.U.E.) PUBLIC UTILITY EASEMENT | S.F. SQUARE FEET | EASEMENT LINE |
| | | CENTERLINE |
| | | RESTRICTED ACCESS |

NOTES

1. 1.17" BRASS DISK STAMPED "PLS 7788" TO BE SET ON CONCRETE SIDEWALK 1.00' INTO THE RIGHT-OF-WAY, ALONG PROLONGATION OF SIDE LOT LINES, OR AS NOTED.
2. 5/8" REBAR WITH CAP "PLS 7788" TO BE SET AT ALL REAR LOT CORNERS, UNLESS OTHERWISE NOTED.
3. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
4. SEE SHEET 3 FOR BASIS OF BEARINGS.
5. SEE SHEET 11 FOR LINE AND CURVE TABLES.

TRACT 3997
RIVER ISLANDS - STAGE 2A
VILLAGE Y

A PORTION OF RANCHO EL PESCADERO, BEING
 A SUBDIVISION OF PARCEL 11 OF TRACT 3908 (43 M&P 52),
 CITY OF LATHROP, COUNTY OF SAN JOAQUIN, CALIFORNIA
 SEPTEMBER 2018



LEGEND

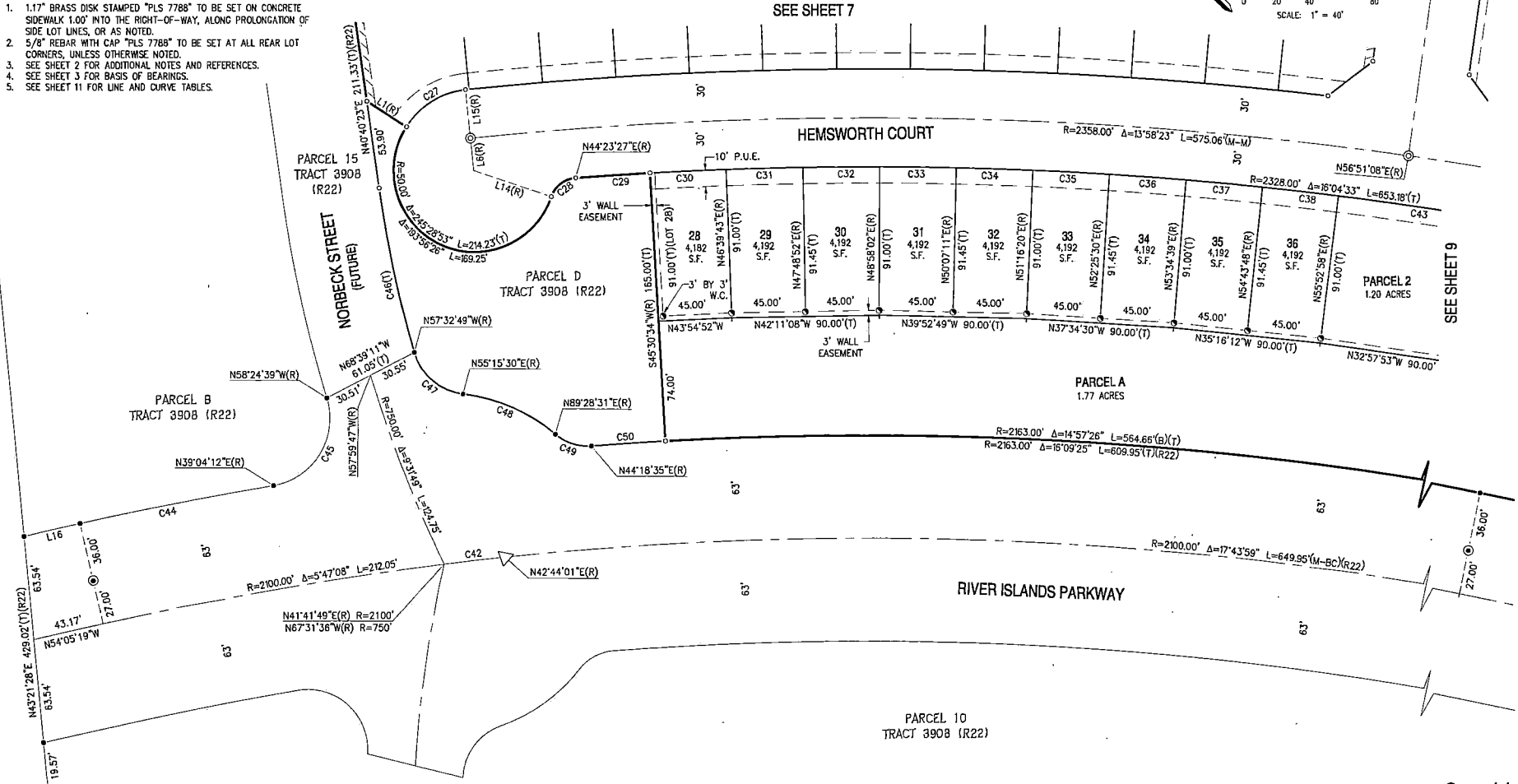
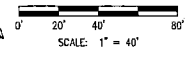
- ⊙ MONUMENT TO BE SET PER (R22)
 - ⊙ SET STANDARD CITY OF LATHROP MONUMENT WELL STAMPED "PLS 7788"
 - △ 2-1/2" BRASS DISK STAMPED "PLS 7788" TO BE SET PER (R22)
 - 3/4" IRON PIPE WITH PLASTIC PLUG "PLS 7788" PER (R22), UNLESS OTHERWISE NOTED
 - SET 3/4" IRON PIPE WITH PLASTIC PLUG "PLS 7788"
 - ⊙ SET 3.00' WITNESS CORNER (W.C.), UNLESS OTHERWISE NOTED, MEASURED ALONG LOT LINE, RADIAL LINE OR PERPENDICULAR TO STREET CENTERLINE AS NOTED. 3/4" x 24" IRON PIPE WITH PLASTIC PLUG "PLS 7788"
- | | | |
|--|------|-------------------|
| 200.00'(R1) MEASURED AND RECORD DATA PER REFERENCE (R1) | | |
| (R1) DENOTES REFERENCE (R1)- SEE REFERENCE LIST ON SHEET 2 | — | LOT LINE |
| (M-M) MONUMENT TO MONUMENT | — | RIGHT-OF-WAY LINE |
| (M-B) MONUMENT TO BOUNDARY | --- | BOUNDARY |
| (M-BC) MONUMENT TO BEGINNING OF A CURVE | ---- | EASEMENT LINE |
| (T) TOTAL | ---- | CENTERLINE |
| (B) BOUNDARY | //// | RESTRICTED ACCESS |
| P.U.E. PUBLIC UTILITY EASEMENT | | |
| S.F. SQUARE FEET | | |

NOTES

1. 1.17" BRASS DISK STAMPED "PLS 7788" TO BE SET ON CONCRETE SIDEWALK 1.00' INTO THE RIGHT-OF-WAY, ALONG PROLONGATION OF SIDE LOT LINES, OR AS NOTED.
2. 5/8" REBAR WITH CAP "PLS 7788" TO BE SET AT ALL REAR LOT CORNERS, UNLESS OTHERWISE NOTED.
3. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
4. SEE SHEET 3 FOR BASIS OF BEARINGS.
5. SEE SHEET 11 FOR LINE AND CURVE TABLES.

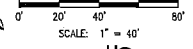
TRACT 3997
RIVER ISLANDS - STAGE 2A
VILLAGE Y

A PORTION OF RANCHO EL PESCADERO, BEING
 A SUBDIVISION OF PARCEL 11 OF TRACT 3908 (43 M&P 52),
 CITY OF LATHROP, COUNTY OF SAN JOAQUIN, CALIFORNIA
 SEPTEMBER 2018



TRACT 3997
RIVER ISLANDS - STAGE 2A
VILLAGE Y

A PORTION OF RANCHO EL PESCADERO, BEING
 A SUBDIVISION OF PARCEL 11 OF TRACT 3908 (43 M&P 52),
 CITY OF LATHROP, COUNTY OF SAN JOAQUIN, CALIFORNIA
 SEPTEMBER 2018



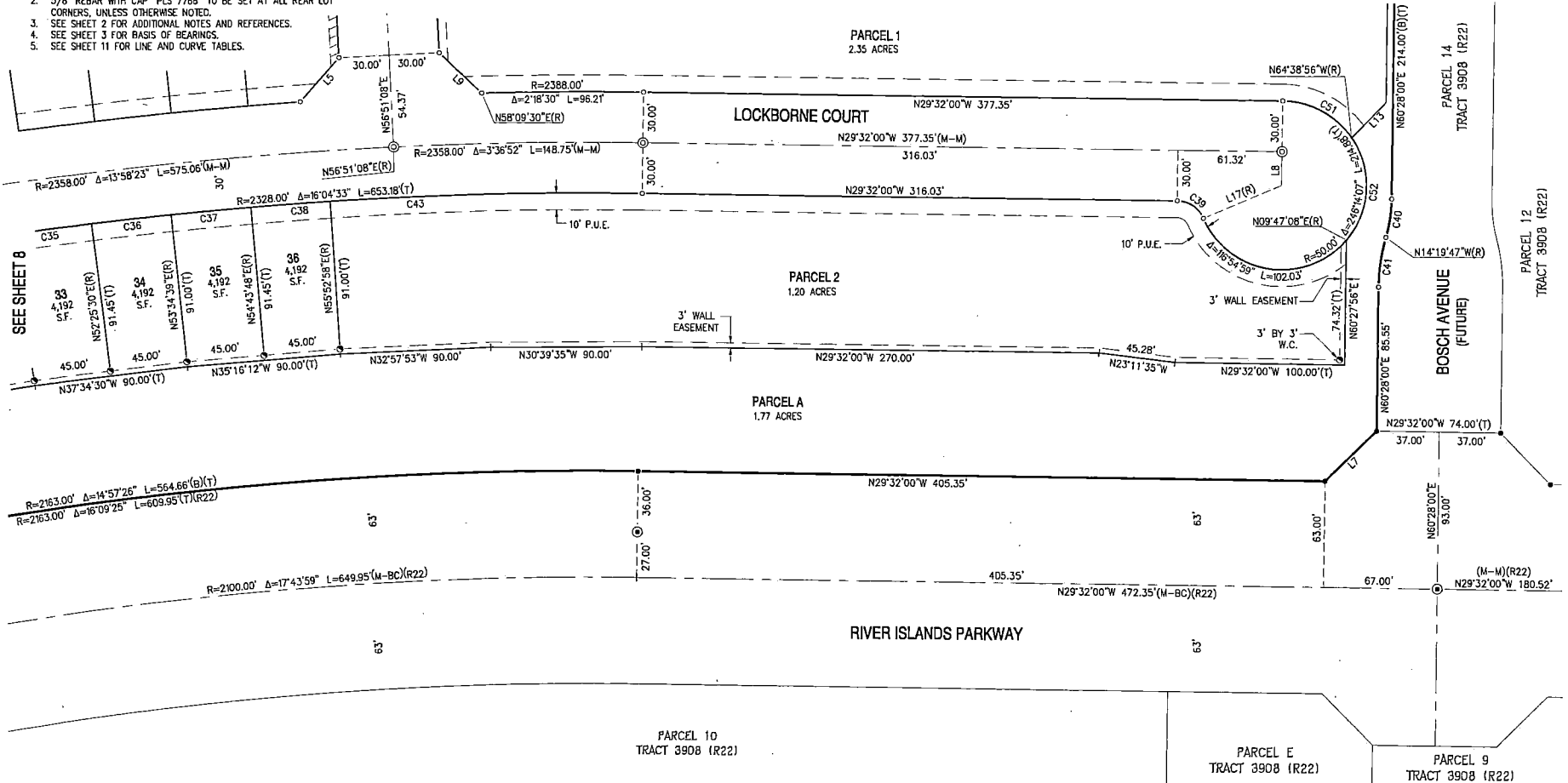
LEGEND

- ⊙ MONUMENT TO BE SET PER (R22)
 - ⊙ SET STANDARD CITY OF LATHROP MONUMENT WELL STAMPED "PLS 7788"
 - △ 2-1/2" BRASS DISK STAMPED "PLS 7788" TO BE SET PER (R22)
 - 3/4" IRON PIPE WITH PLASTIC PLUG "PLS 7788" PER (R22), UNLESS OTHERWISE NOTED
 - SET 3/4" IRON PIPE WITH PLASTIC PLUG "PLS 7788"
 - ⊙ SET 3.00' WITNESS CORNER (W.C.), UNLESS OTHERWISE NOTED, MEASURED ALONG LOT LINE, RADIAL LINE OR PERPENDICULAR TO STREET CENTERLINE AS NOTED. 3/4" x 24" IRON PIPE WITH PLASTIC PLUG "PLS 7788"
- | | |
|--|-------------------|
| 200.00'(R1) MEASURED AND RECORD DATA PER REFERENCE (R1) | LOT LINE |
| (R1) DENOTES REFERENCE (R1)- SEE REFERENCE LIST ON SHEET 2 | RIGHT-OF-WAY LINE |
| (M-M) MONUMENT TO MONUMENT | BOUNDARY |
| (M-B) MONUMENT TO BOUNDARY | EASEMENT LINE |
| (M-BC) MONUMENT TO BEGINNING OF A CURVE | CENTERLINE |
| (T) TOTAL | RESTRICTED ACCESS |
| (B) BOUNDARY | |
| P.U.E. PUBLIC UTILITY EASEMENT | |
| S.F. SQUARE FEET | |

NOTES

1. 1.17" BRASS DISK STAMPED "PLS 7788" TO BE SET ON CONCRETE SIDEWALK 1.00' INTO THE RIGHT-OF-WAY, ALONG PROLONGATION OF SIDE LOT LINES, OR AS NOTED.
2. 5/8" REBAR WITH CAP "PLS 7788" TO BE SET AT ALL REAR LOT CORNERS, UNLESS OTHERWISE NOTED.
3. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
4. SEE SHEET 3 FOR BASIS OF BEARINGS.
5. SEE SHEET 11 FOR LINE AND CURVE TABLES.

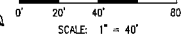
SEE SHEET 10



TRACT 3997
RIVER ISLANDS - STAGE 2A
VILLAGE Y

A PORTION OF RANCHO EL PESCADERO, BEING
 A SUBDIVISION OF PARCEL 11 OF TRACT 3908 (43 M&P 52),
 CITY OF LATHROP, COUNTY OF SAN JOAQUIN, CALIFORNIA
 SEPTEMBER 2018

O'DELL
 ENGINEERING

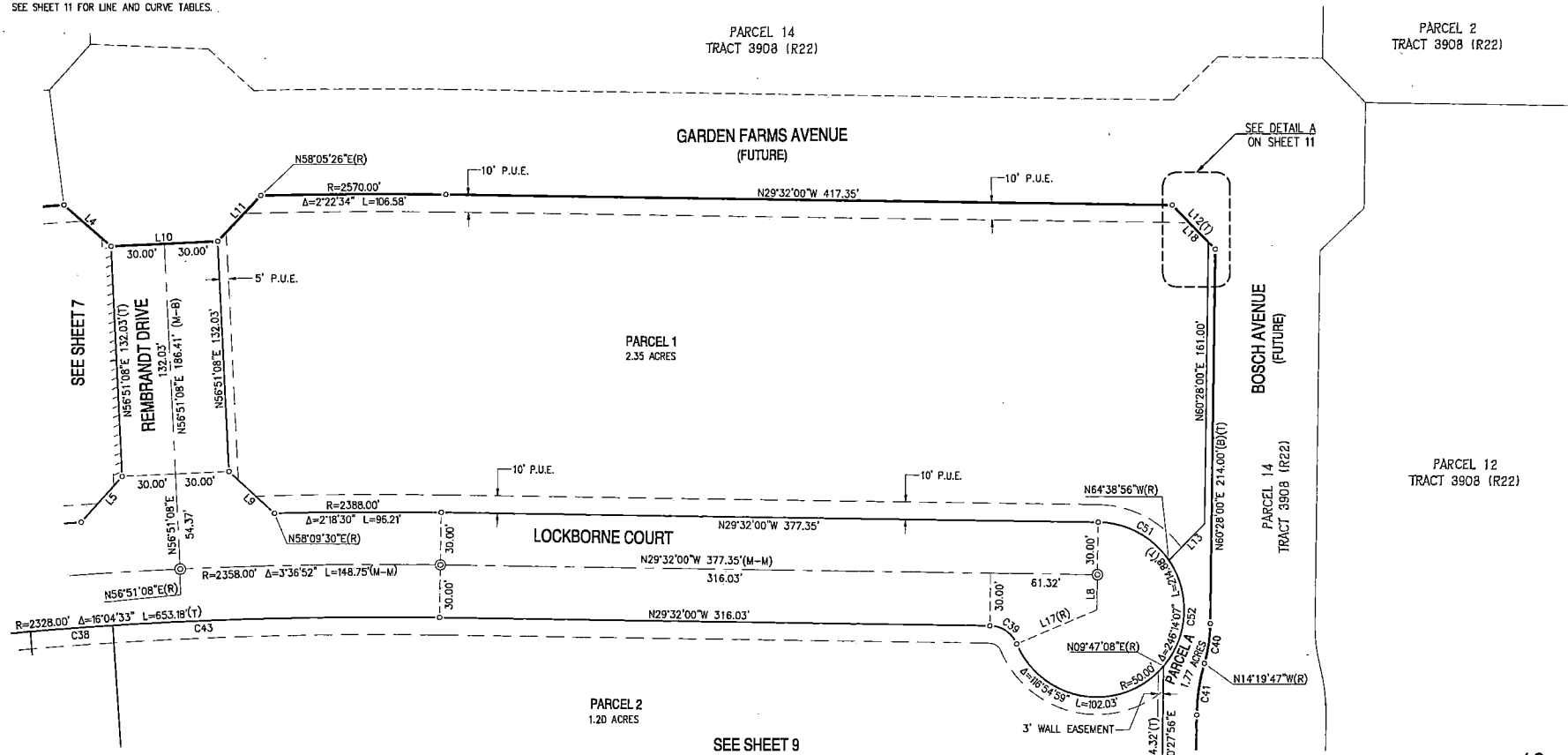


LEGEND

- | | | |
|---|---|--------------------------|
| ⊙ MONUMENT TO BE SET PER (R22) | 200.00'(R1) MEASURED AND RECORD DATA PER REFERENCE (R1) | ———— LOT LINE |
| ⊙ SET STANDARD CITY OF LATHROP MONUMENT WELL STAMPED "PLS 7788" | (R1) DENOTES REFERENCE (R1) - SEE REFERENCE LIST ON SHEET 2 | ———— RIGHT-OF-WAY LINE |
| △ 2-1/2" BRASS DISK STAMPED "PLS 7788" TO BE SET PER (R22) | (M-M) MONUMENT TO MONUMENT | ———— BOUNDARY |
| • 3/4" IRON PIPE WITH PLASTIC PLUG "PLS 7788" PER (R22), UNLESS OTHERWISE NOTED | (M-B) MONUMENT TO BOUNDARY | ----- EASEMENT LINE |
| ○ SET 3/4" IRON PIPE WITH PLASTIC PLUG "PLS 7788" | (M-BC) MONUMENT TO BEGINNING OF A CURVE | ----- CENTERLINE |
| ○ SET 3.00" WITNESS CORNER (W.C.), UNLESS OTHERWISE NOTED, MEASURED ALONG LOT LINE, RADIAL LINE OR PERPENDICULAR TO STREET CENTERLINE AS NOTED. 3/4" x 24" IRON PIPE WITH PLASTIC PLUG "PLS 7788" | (T) TOTAL | ////// RESTRICTED ACCESS |
| | (B) BOUNDARY | |
| | P.U.E. PUBLIC UTILITY EASEMENT | |
| | S.F. SQUARE FEET | |

NOTES

1. 1.17" BRASS DISK STAMPED "PLS 7788" TO BE SET ON CONCRETE SIDEWALK 1.00' INTO THE RIGHT-OF-WAY, ALONG PROLONGATION OF SIDE LOT LINES, OR AS NOTED.
2. 5/8" REBAR WITH CAP "PLS 7788" TO BE SET AT ALL REAR LOT CORNERS, UNLESS OTHERWISE NOTED.
3. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
4. SEE SHEET 3 FOR BASIS OF BEARINGS.
5. SEE SHEET 11 FOR LINE AND CURVE TABLES.



LEGEND

- ⊙ MONUMENT TO BE SET PER (R22)
 - ⊙ SET STANDARD CITY OF LATHROP MONUMENT WELL STAMPED "PLS 7788"
2-1/2" BRASS DISK STAMPED "PLS 7788" TO BE SET PER (R22)
 - 3/4" IRON PIPE WITH PLASTIC PLUG "PLS 7788" PER (R22), UNLESS OTHERWISE NOTED
 - SET 3/4" IRON PIPE WITH PLASTIC PLUG "PLS 7788"
 - ⊙ SET 3.00" WITNESS CORNER (W.C.), UNLESS OTHERWISE NOTED, MEASURED ALONG LOT LINE, RADIAL LINE OR PERPENDICULAR TO STREET CENTERLINE AS NOTED. 3/4" x 24" IRON PIPE WITH PLASTIC PLUG "PLS 7788"
- 200.00'(R1) MEASURED AND RECORD DATA PER REFERENCE (R1)
 - (R1) DENOTES REFERENCE (R1)- SEE REFERENCE LIST ON SHEET 2
 - (M-M) MONUMENT TO MONUMENT
 - (M-B) MONUMENT TO BOUNDARY
 - (M-BC) MONUMENT TO BEGINNING OF A CURVE
 - (T) TOTAL
 - (B) BOUNDARY
 - P.U.E. PUBLIC UTILITY EASEMENT
 - S.F. SQUARE FEET
- LOT LINE
 - RIGHT-OF-WAY LINE
 - BOUNDARY
 - EASEMENT LINE
 - CENTERLINE
 - /////// RESTRICTED ACCESS

NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 3 FOR BASIS OF BEARINGS.
3. SEE SHEET 7 FOR LEGEND.

LINE AND CURVE TABLES FOR COURSES SHOWN ON SHEETS 7 THROUGH 11 ONLY

CURVE TABLE			
CURVE #	RADIUS	DELTA	LENGTH
C1	2570.00'	0°08'28"	6.23'
C2	2570.00'	1°02'24"	46.65'
C3	2570.00'	1°02'24"	46.65'
C4	2570.00'	1°02'25"	46.65'
C5	2570.00'	1°02'24"	46.65'
C6	2570.00'	1°02'24"	46.65'
C7	2570.00'	1°02'26"	46.66'
C8	2570.00'	1°02'24"	46.65'
C9	2570.00'	1°02'24"	46.65'
C10	2570.00'	1°02'24"	46.65'
C11	2570.00'	1°02'25"	46.66'
C12	2570.00'	1°02'24"	46.65'
C13	2570.00'	1°02'24"	46.65'
C14	2570.00'	0°36'39"	27.40'
C15	2388.00'	0°44'00"	30.56'
C16	2388.00'	1°04'47"	45.00'
C17	2388.00'	1°04'47"	45.00'
C18	2388.00'	1°04'47"	45.00'

CURVE TABLE			
CURVE #	RADIUS	DELTA	LENGTH
C19	2388.00'	1°04'47"	45.00'
C20	2388.00'	1°04'47"	45.00'
C21	2388.00'	1°04'47"	45.00'
C22	2388.53'	1°04'47"	45.00'
C23	2388.00'	1°04'47"	45.00'
C24	2388.00'	1°04'47"	45.00'
C25	2388.00'	1°04'47"	45.00'
C26	2388.00'	1°04'47"	45.00'
C27	50.00'	51°32'27"	44.98'
C28	17.00'	66°59'35"	19.88'
C29	2328.00'	1°07'07"	45.45'
C30	2328.00'	1°09'09"	46.83'
C31	2328.00'	1°09'09"	46.83'
C32	2328.00'	1°09'10"	46.84'
C33	2328.00'	1°09'09"	46.83'
C34	2328.00'	1°09'09"	46.83'
C35	2328.00'	1°09'10"	46.84'
C36	2328.00'	1°09'09"	46.83'

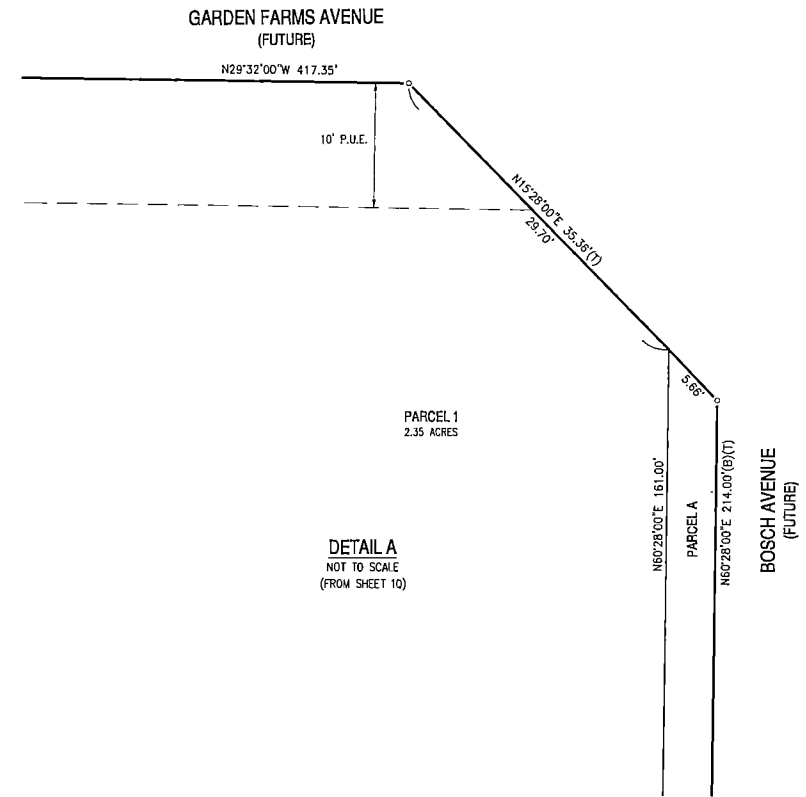
CURVE TABLE			
CURVE #	RADIUS	DELTA	LENGTH
C37	2328.00'	1°09'09"	46.83'
C38	2328.00'	1°09'10"	46.84'
C39	17.00'	66°14'07"	19.65'
C40	87.00'	15°12'13"	23.09'
C41	113.00'	15°12'13"	29.98'
C42	2100.00'	1°02'12"	38.00'
C43	2328.00'	4°35'02"	186.25'
C44	2163.00'	3°09'31"	119.24'
C45	42.00'	97°28'51"	71.46'
C46	720.00'	8°13'12"	103.30'
C47	36.00'	67°11'41"	42.22'
C48	105.00'	34°13'01"	62.71'
C49	30.00'	45°09'56"	23.65'
C50	2163.00'	1°11'59"	45.29'
C51	50.00'	54°53'04"	47.90'
C52	50.00'	74°26'04"	64.96'

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	N8°39'42"W	29.10'
L2	N86°31'38"E	34.82'
L3	N47°37'08"W	21.62'
L4	N11°13'59"E	35.74'
L5	N78°48'03"W	34.95'
L6	N42°52'45"E	20.00'
L7	N74°32'00"W	42.43'
L8	N60°28'00"E	20.00'
L9	N12°30'18"E	34.95'
L10	N33°08'53"W	60.00'
L11	N77°31'43"W	35.74'
L12	N15°28'00"E	35.36'
L13	N76°06'38"W	29.24'
L14	N22°36'09"W	50.00'
L15	N42°52'45"E	30.00'
L16	N54°05'19"W	34.94'
L17	N53°17'53"W	50.00'
L18	N15°28'00"E	29.70'

TRACT 3997
RIVER ISLANDS - STAGE 2A
VILLAGE Y

A PORTION OF RANCHO EL PESCADERO, BEING
 A SUBDIVISION OF PARCEL 11 OF TRACT 3908 (43 M&P 52),
 CITY OF LATHROP, COUNTY OF SAN JOAQUIN, CALIFORNIA
 SEPTEMBER 2018

O'DELL
 ENGINEERING



DETAIL A
 NOT TO SCALE
 (FROM SHEET 10)

EXHIBIT B
TRACT 3997 AND VILLAGE Y AREA



SCHOOL SITE

TRACT 3997

VILLAGE Y

TRACT 3998

VILLAGE Z

VILLAGE X

VILLAGE CC

EXHIBIT "B"
VILLAGE Y
VICINITY MAP
FEBRUARY 2019

EXHIBIT C

CITY INSURANCE REQUIREMENTS

1. The Subdivider shall obtain commercial general liability insurance companies licensed to do business in the State of California with an A.M. Best Company rating Insurance rating of no less than A:VII which provides coverage for bodily injury, personal injury and property damage liability in the amount of at least \$1,000,000 for each occurrence and \$2,000,000 in the aggregate.

Said insurance coverage shall be evidenced by a certificate of insurance with policy endorsements, executed by an authorized official of the insurer(s). All parties to the Subdivision Improvement Agreement must be named insured on the policy. The policy endorsements to be attached to the certificate must provide all the following:

- a. Name the City of Lathrop, its officers, City Council, boards and commissions, and members thereof, its employees and agents as additional insured as respects to any liability arising out of the activities of the named insured. A CG 2010 or CG 2026 endorsement form or the equivalent is the appropriate form.
- b. State that "the insurance coverage afforded by this policy shall be primary insurance as respects to the City of Lathrop, its officers, employees and agents. Any insurance or self-insurance maintained by the City of Lathrop, its officers, employees, or agents shall be in excess of the insurance afforded to the named insured by this policy and shall not contribute to any loss.
- c. Include a statement that, "the insurer will provide to the City of Lathrop at least thirty (30) days prior notice of cancellation or material change in coverage." The above language can be included on the additional insured endorsement form or on a separate endorsement form.
- d. The policy must contain a cross liability or severability of interest clause.
- e. Insurance must be maintained and evidence of insurance must be provided for at least five years after completion of the Agreement or the work, so long as commercially available at reasonable rates.



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
10/12/2018

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Willis Insurance Services of California, Inc. c/o 26 Century Blvd P.O. Box 305191 Nashville, TN 372305191 USA	CONTACT NAME: PHONE (A/C No, Ext): 1-877-945-7378 FAX (A/C, No): 1-888-467-2378	
	E-MAIL ADDRESS: certificates@willis.com	
INSURED River Islands Development, LLC 73 W Stewart Rd Lathrop, CA 95330	INSURER(S) AFFORDING COVERAGE NAIC #	
	INSURER A: United Specialty Insurance Company 12537	
	INSURER B:	
	INSURER C:	
	INSURER D:	
	INSURER E:	


COVERAGES **CERTIFICATE NUMBER: W8502836** **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input type="checkbox"/> LOC OTHER:	Y		ATN-SF1811644P	03/19/2018	03/19/2021	EACH OCCURRENCE \$ 2,000,000
	DAMAGE TO RENTED PREMISES (Ea occurrence) \$						
	MED EXP (Any one person) \$						
	PERSONAL & ADV INJURY \$ 1,000,000						
							GENERAL AGGREGATE \$ 2,000,000
							PRODUCTS - COMP/OP AGG \$ 2,000,000
							\$
A	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY			BTN1814514W	03/19/2018	03/19/2021	COMBINED SINGLE LIMIT (Ea accident) \$
	BODILY INJURY (Per person) \$						
	BODILY INJURY (Per accident) \$						
	PROPERTY DAMAGE (Per accident) \$						
							\$
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> OCCUR <input checked="" type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$						EACH OCCURRENCE \$ 2,000,000
	AGGREGATE \$ 3,000,000						
							\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A				PER STATUTE OTH-ER
	E.L. EACH ACCIDENT \$						
	E.L. DISEASE - EA EMPLOYEE \$						
	E.L. DISEASE - POLICY LIMIT \$						

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
 RE: Tract 3997 River Islands- Stage 2A Village Y

The City of Lathrop, its officers, City Council, boards and commissions and members thereof, its employees and agents as additional insured as respects the general liability policy. The insurance coverage afforded by this policy shall be primary insurance as respects to the City of Lathrop, its officers, employees and agents. Any insurance or self-insurance maintained by the City of Lathrop, its officers, employees, or agents shall be in excess of the

CERTIFICATE HOLDER The City of Lathrop 390 Towne Centre Drive Lathrop, CA 95330	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE 

AGENCY CUSTOMER ID: _____

LOC #: _____



ADDITIONAL REMARKS SCHEDULE

Page 2 of 2

AGENCY Willis Insurance Services of California, Inc.		NAMED INSURED River Islands Development, LLC 73 W Stewart Rd Lathrop, CA 95330	
POLICY NUMBER See Page 1		EFFECTIVE DATE: See Page 1	
CARRIER See Page 1	NAIC CODE See Page 1		

ADDITIONAL REMARKS

THIS ADDITIONAL REMARKS FORM IS A SCHEDULE TO ACORD FORM,
FORM NUMBER: 25 FORM TITLE: Certificate of Liability Insurance

insurance afforded to the named insured by this policy and shall not contribute to any loss as respects the insured's operations.

THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.

ADDITIONAL INSURED – OWNERS, LESSEES OR CONTRACTORS – SCHEDULED PERSON OR ORGANIZATION

This endorsement modifies insurance provided under the following:

COMMERCIAL GENERAL LIABILITY COVERAGE PART

SCHEDULE

Name Of Additional Insured Person(s) Or Organization(s)	Location(s) Of Covered Operations
City of Lathrop, its officers, City Council, boards and commissions and members thereof, its employees and agents 390 Towne Centre Drive Lathrop, CA 95330	River Islands @ Lathrop Development
Information required to complete this Schedule, if not shown above, will be shown in the Declarations.	

A. Section II – Who Is An Insured is amended to include as an additional insured the person(s) or organization(s) shown in the Schedule, but only with respect to liability for "bodily injury", "property damage" or "personal and advertising injury" caused, in whole or in part, by:

1. Your acts or omissions; or
2. The acts or omissions of those acting on your behalf;

in the performance of your ongoing operations for the additional insured(s) at the location(s) designated above.

However:

1. The insurance afforded to such additional insured only applies to the extent permitted by law; and
2. If coverage provided to the additional insured is required by a contract or agreement, the insurance afforded to such additional insured will not be broader than that which you are required by the contract or agreement to provide for such additional insured.

B. With respect to the insurance afforded to these additional insureds, the following additional exclusions apply:

This insurance does not apply to "bodily injury" or "property damage" occurring after:

1. All work, including materials, parts or equipment furnished in connection with such work, on the project (other than service, maintenance or repairs) to be performed by or on behalf of the additional insured(s) at the location of the covered operations has been completed; or
2. That portion of "your work" out of which the injury or damage arises has been put to its intended use by any person or organization other than another contractor or subcontractor engaged in performing operations for a principal as a part of the same project.

C. With respect to the insurance afforded to these additional insureds, the following is added to **Section III – Limits Of Insurance:**

If coverage provided to the additional insured is required by a contract or agreement, the most we will pay on behalf of the additional insured is the amount of insurance:

1. Required by the contract or agreement; or

2. Available under the applicable Limits of Insurance shown in the Declarations; whichever is less.

This endorsement shall not increase the applicable Limits of Insurance shown in the Declarations.

UNITED SPECIALTY INSURANCE COMPANY

THIS ENDORSEMENT CHANGES THE POLICY – PLEASE READ IT CAREFULLY

USIC VEN 016 11 10 07

**Named Insured: River Islands Development, LLC
Policy Number: ATN-SF1811644P**

**PRIMARY AND NON-CONTRIBUTING INSURANCE
(Third Party's Sole Negligence)**

This endorsement modifies insurance provided under the following:

**COMMERCIAL GENERAL LIABILITY COVERAGE PART
PRODUCTS/COMPLETED OPERATIONS LIABILITY COVERAGE PART**

The following is added to Section IV – Commercial General Liability Conditions, Paragraph 4:

Section IV: Commercial General Liability Conditions

4. Other Insurance:

- d. Notwithstanding the provisions of sub-paragraphs a, b, and c of this paragraph 4, with respect to the Third Party shown below, it is understood and agreed that in the event of a claim or "suit" arising out of the Named Insured's sole negligence, this insurance shall be primary and any other insurance maintained by the additional insured named as the Third Party below shall be excess and non-contributory.

The Third Party to whom this endorsement applies is:

City of Lathrop, its officers, City Council,
boards and commissions and members thereof,
its employees and agents
390 Towne Centre Drive
Lathrop, CA 95330

Absence of a specifically named Third Party above means that the provisions of this endorsement apply "as required by written contractual agreement with any Third party for whom you are performing work."

All other terms, conditions and exclusions under this policy are applicable to this Endorsement and remain unchanged.

UNITED SPECIALTY INSURANCE COMPANY

THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.

USIC VEN 078 03 11 07

Named Insured: River Islands Development, LLC

Policy Number: ATN-SF1811644P

THIRD PARTY CANCELLATION NOTICE

This endorsement shall not serve to increase our limits of insurance, as described in **SECTION III - LIMITS OF INSURANCE.**

This endorsement modifies Conditions provided under the following:

COMMERCIAL GENERAL LIABILITY COVERAGE PART

If we cancel this policy for any reason other than nonpayment of premium, we will mail notification to the persons or organizations shown in the schedule below (according to the number of days listed below) once the Named Insured has been notified.

If we cancel this coverage for nonpayment of premium, we will mail a copy of such written notice of cancellation to the name and address below at least 10 days prior to the effective date of such cancellation.

Our failure to provide such advance notification will not extend the policy cancellation date nor negate cancellation of the policy.

SCHEDULE

Name and Address of Other Person/Organization

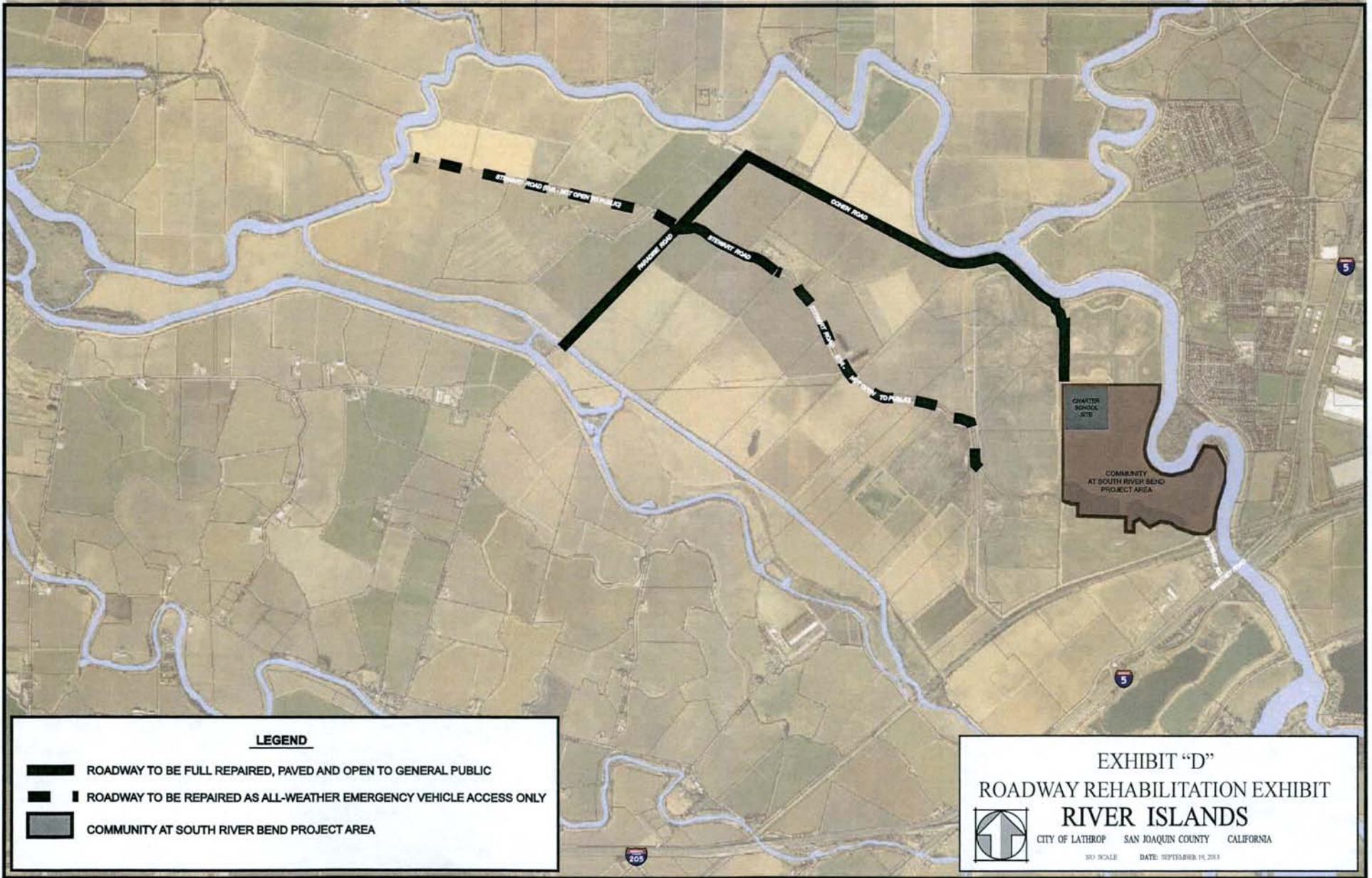
Number of Days Notice

City of Lathrop, its officers, City Council, boards and
commissions and members thereof, its employees and agents
390 Towne Centre Drive
Lathrop, CA 95330

30 Days

All other terms, conditions and exclusions under this policy are applicable to this Endorsement and remain unchanged.

EXHIBIT D
COHEN/PARADISE/STEWART REHABILITATION MAP



LEGEND




-  ROADWAY TO BE FULL REPAIRED, PAVED AND OPEN TO GENERAL PUBLIC
-  ROADWAY TO BE REPAIRED AS ALL-WEATHER EMERGENCY VEHICLE ACCESS ONLY
-  COMMUNITY AT SOUTH RIVER BEND PROJECT AREA

EXHIBIT "D"
ROADWAY REHABILITATION EXHIBIT
RIVER ISLANDS
 CITY OF LATHROP SAN JOAQUIN COUNTY CALIFORNIA
80% SCALE DATE: SEPTEMBER 19, 2013

EXHIBIT E
VILLAGE Y UNFINISHED IMPROVEMENT COST ESTIMATE

ENGINEER'S BOND ESTIMATE
COST TO COMPLETE
RIVER ISLANDS - PHASE 2A
VILLAGE Y (72 LOTS)
 CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA

January 16, 2019
 Job No.: 25502-90

Item	Description	Quantity	Unit	Unit Price	Amount
1	Set Water Boxes and SSCO Boxes <i>(25% Completion)</i>	1	LS	\$ 27,000.00	\$ 27,000.00
2	Survey Monuments <i>(0% Completion)</i>	1	LS	\$ 3,000.00	\$ 3,000.00
3	Signing & Striping <i>(0% Completion)</i>	1	LS	\$ 16,000.00	\$ 16,000.00
TOTAL COST TO COMPLETE					\$ 46,000.00

Notes:

- 1) Estimate for cost to complete based on contractor's cost to complete summary sheet and backup documents for Village Y

ENGINEER'S PRELIMINARY COST ESTIMATE
VILLAGE Y (72 LOTS)
STAGE 2A
RIVER ISLANDS
 CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA

October 26, 2018
 Job No.: 25510.79

Item	Description	Quantity	Unit	Unit Price	Amount
<u>STREETSCAPE</u>					
1	Landscape/Irrigation Improvements	77,119	SF	\$ 5.00	\$ 385,595.00
	Subtotal Streetscape				\$ 385,595.00
				TOTAL CONSTRUCTION COST (nearest \$1,000)	\$ 385,595.00

Notes:

- 1) This estimate does not include surveying, engineering, clearing, grading, erosion control, joint trench, frontyard/pkwy strip landscape and irrigation, or street trees.
- 2) Unit prices are based on estimated current construction costs and no provision for inflation is included.

EXHIBIT F

VILLAGE Y IMPROVEMENTS ENGINEER'S ESTIMATE

ENGINEER'S OPINION OF PROBABLE COST
VILLAGE Y (72 LOTS)
STAGE 2A
RIVER ISLANDS
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA

March 7, 2018
Job No.: 25502-90

Item	Description	Quantity	Unit	Unit Price	Amount
<u>STREET WORK</u>					
1	Fine Grading	171,700	SF	\$ 0.45	\$ 77,265.00
2	3" AC Paving	43,600	SF	\$ 1.50	\$ 65,400.00
3	4.5" AC Paving	51,600	SF	\$ 2.25	\$ 116,100.00
4	7" Aggregate Base	43,600	SF	\$ 1.05	\$ 45,780.00
5	8" Aggregate Base	51,600	SF	\$ 1.20	\$ 61,920.00
6	Vertical Curb and Gutter <i>(with AB cushion)</i>	1,970	LF	\$ 15.00	\$ 29,550.00
7	Rolled Curb and Gutter <i>(with AB cushion)</i>	3,410	LF	\$ 15.00	\$ 51,150.00
8	Concrete Sidewalk	29,200	SF	\$ 5.00	\$ 146,000.00
9	Driveway Approach	72	EA	\$ 600.00	\$ 43,200.00
10	Handicap Ramps	8	EA	\$ 2,500.00	\$ 20,000.00
11	Survey Monuments	11	EA	\$ 300.00	\$ 3,300.00
12	Traffic Striping & Signage	2,770	LF	\$ 5.00	\$ 13,850.00
13	Dewatering <i>(budget)</i>	2,770	LF	\$ 40.00	\$ 110,800.00
14	Barricade	2	EA	\$ 1,500.00	\$ 3,000.00
Subtotal Street Work					\$ 787,315.00
<u>STORM DRAIN</u>					
15	Catch Basins <i>(type A inlet)</i>	7	EA	\$ 2,400.00	\$ 16,800.00
16	Catch Basins <i>(type A inlet over type I manhole base)</i>	7	EA	\$ 2,800.00	\$ 19,600.00
17	Catch Basins <i>(type A inlet over type II manhole base)</i>	8	EA	\$ 5,000.00	\$ 40,000.00
18	15" Storm Drain Pipe	1,080	LF	\$ 34.00	\$ 36,720.00
19	18" Storm Drain Pipe	20	LF	\$ 46.00	\$ 920.00
20	24" Storm Drain Pipe	690	LF	\$ 65.00	\$ 44,850.00
21	30" Storm Drain Pipe	390	LF	\$ 80.00	\$ 31,200.00
22	36" Storm Drain Pipe	485	LF	\$ 95.00	\$ 46,075.00
23	42" Storm Drain Pipe	95	LF	\$ 120.00	\$ 11,400.00
24	Manholes <i>(type II)</i>	1	EA	\$ 5,000.00	\$ 5,000.00
25	Stub & Plug	4	EA	\$ 1,000.00	\$ 4,000.00
26	Connect to Existing	3	EA	\$ 1,700.00	\$ 5,100.00
Subtotal Storm Drain					\$ 261,665.00
<u>SANITARY SEWER</u>					
27	8" Sanitary Sewer Pipe	2,650	LF	\$ 28.00	\$ 74,200.00
28	Manholes	10	EA	\$ 4,000.00	\$ 40,000.00
29	Sewer Service	72	EA	\$ 600.00	\$ 43,200.00
30	Stub & Plug	4	EA	\$ 1,000.00	\$ 4,000.00
31	Connect to Existing	1	EA	\$ 3,000.00	\$ 3,000.00
Subtotal Sanitary Sewer					\$ 164,400.00

Item	Description	Quantity	Unit	Unit Price	Amount
<u>WATER SUPPLY</u>					
32	8" Water Line (including all appurtenances)	2,100	LF	\$ 32.00	\$ 67,200.00
33	10" Water Line (including all appurtenances)	640	LF	\$ 40.00	\$ 25,600.00
34	Water Service	72	EA	\$ 2,000.00	\$ 144,000.00
35	Fire Hydrants	7	EA	\$ 4,000.00	\$ 28,000.00
36	Water Plug & Stub	5	EA	\$ 1,000.00	\$ 5,000.00
37	Connect to Existing	2	EA	\$ 4,000.00	\$ 8,000.00
Subtotal Water Supply					\$ 277,800.00
<u>NON-POTABLE WATER SUPPLY</u>					
38	8" Non-Potable Water Line (including all appurtenances)	750	LF	\$ 35.00	\$ 26,250.00
39	Stub & Plug	1	EA	\$ 1,000.00	\$ 1,000.00
40	Connect to Existing	1	EA	\$ 3,000.00	\$ 3,000.00
Subtotal Non-Potable Water Supply					\$ 30,250.00
TOTAL CONSTRUCTION COST (nearest \$1,000)					\$ 1,521,000.00
COST PER LOT					\$ 21,125.00

Notes:

- 1) Unit prices are based on estimated current construction costs and no provision for inflation is included.
- 2) This estimate does not include surveying, engineering, clearing, grading, erosion control, joint trench, landscaping, irrigation, or street trees.

ENGINEER'S PRELIMINARY COST ESTIMATE
VILLAGE Y (72 LOTS)
STAGE 2A
RIVER ISLANDS
 CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA

October 26, 2018
 Job No.: 25510.79

Item	Description	Quantity	Unit	Unit Price	Amount
<u>STREETSCAPE</u>					
1	Landscape/Irrigation Improvements	77,119	SF	\$ 5.00	\$ 385,595.00
	Subtotal Streetscape				\$ 385,595.00
TOTAL CONSTRUCTION COST (nearest \$1,000)					\$ 385,595.00
COST PER LOT					\$ 5,355.00

Notes:

- 1) This estimate does not include surveying, engineering, clearing, grading, erosion control, joint trench, frontyard/pkwy strip landscape and irrigation, or street trees.
- 2) Unit prices are based on estimated current construction costs and no provision for inflation is included.

EXHIBIT G

**RIPFA LETTER OF GUARANTEE
INTERIM PUBLIC ACCESS WITHIN THE STAGE 2A DEVELOPMENT AREA**

RIVER ISLANDS PUBLIC FINANCING AUTHORITY

73 W. STEWART ROAD
LATHROP, CALIFORNIA 95330

TEL: (209) 878-7900

May 4, 2017

Glenn Gebhardt, City Engineer
City of Lathrop
390 Towne Centre Drive
Lathrop, California 95330

Subject: Letter of Guarantee - Construction of Interim Public Access within the River Islands at Lathrop Stage 2A Development Area

This Letter of Guarantee is being made in lieu of a performance bond for the construction of an interim public access (public right of way) within the Stage 2A development area of the River Islands development project. River Islands Development, LLC ("RID") has requested the permanent closure of Cohen Road from Stage 1 to Paradise Road and Paradise Road from Stewart Road to the Stage 2A levee (see Exhibit "A" attached to this Letter of Guarantee). This closure would allow the construction of the Stage 2B levee system. The closure will not allow public traffic to utilize Paradise Road to access the River Islands development area while the construction of the Stage 2B levee is occurring, but still allow emergency vehicles access to the area via all-weather access roads.

RID plans to construct River Islands Parkway from its current terminus in Stage 1, through the Stage 2A development area and into Stage 2B and reconstruct Paradise Road within Stage 2B to restore public access to the project from the Tracy/Banta area. Until these roads are constructed and dedicated to the City for public use, the City is requiring security to restore public access to Paradise Road should RID fail to perform. We are providing you this Letter of Guarantee for this purpose.

The engineer's estimate as provided by O'Dell Engineering for a 28-foot-wide paved roadway, equivalent to existing Cohen Road, in the general alignment of proposed River Islands Parkway from Stage 1 to Paradise Road through Stage 2B is \$453,000 (See Exhibit "B"). The total length of this "guarantee roadway" is 6,150 linear feet. As a result, the Authority hereby agrees to set-aside funds in the amount of \$543,600, which amount is equal to 120% of the engineer's estimate, in-lieu of a performance bond. The funds are currently held, and will be set aside, in the Improvement Fund established under the Fiscal Agent Agreement, dated as of December 1, 2015, between the Authority and Wilmington Trust, National Association, as fiscal agent. The Joint Community Facilities Agreement, dated as of November 16, 2015, between the Authority and the City allows for funds in the Improvement Fund to be used to pay costs of infrastructure improvements for the River Islands development, including roadways.

Under the terms of this Letter of Guarantee, the Authority shall hold the funds as stated herein in the Improvement Fund until August 1, 2020, or until such time that permanent roadways are

Glenn Gebhardt, City Engineer
City of Lathrop
May 4, 2017
Page 2 of 3

constructed and dedicated to the City to restore permanent public access to Paradise Road, whichever comes first. If the permanent roadways are not constructed, inspected and accepted by the City by August 1, 2020 and the deadline is not extended by the City in writing, no later than August 2, 2020, the Authority will cause one of the following to occur:

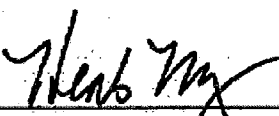
1. The Authority shall use the funds set aside in the Improvement Fund to construct a 28-foot-wide paved roadway in a new alignment, equivalent to the existing Cohen Road or, to reconstruct the existing 28-foot-wide paved Cohen and Paradise roadways in the original alignment at the City's direction. The Authority shall utilize a suitable contractor and bid the work under applicable law. The Authority and the City shall mutually agree to a timeline to which the roadways necessary to restore access are constructed, inspected and operational, not to exceed December 31, 2020-.
2. The Authority shall withdraw the funds from the set aside monies in the Improvement Fund and provide said monies to the City, to be held in a segregated account maintained by the City, to be used solely for construction or reconstruction of the applicable roadways. In such event, the City will use reasonable diligence to complete the construction of the roadways. Once permanent access has been constructed to the satisfaction of the City Engineer, and all costs related thereto have been paid, the City shall return any of the unspent funds and any investment earnings thereon to the Authority for redeposit to the Improvement Fund. Until the completion of the roadways and return of any excess funds to the Authority, the City will maintain records as to the reinvestment of the funds provided to it, and will provide the Authority with its records as to any such investment earnings upon written request of the Authority. Additionally, in the event that the City advises the Authority in writing that the funds provided to the City are not sufficient to pay all of the costs associated with the roadways necessary to restore public access, and advises the Authority as to the amount of the shortfall, the Authority will advance funds to the City from the Improvement Fund in the amount of the shortfall. In such event, and upon the written request of the Authority, the City will provide to the Authority a detailed breakdown of the costs of the construction of the remaining roadway work necessary to restore public access.
3. Since the construction of roadways within Stages 2A and 2B are phased and will continue to be constructed by RID, RD 2062 or the Authority over time, the Authority may request a reduction in the amount of funds necessary to be held from the Improvement Fund as segments of permanent public roadways are constructed and dedicated to the City. For instance, segments of River Islands Parkway through Stage 2A should be completed in late 2017/early 2018 and dedication of this segment would reduce the amount of security described herein. As a result, a reduction of \$88.40 per LF (\$543,600/6,150 LF) shall be granted for each linear foot permanently constructed and dedicated to the City.

The Authority shall retain the discretion to choose between the two options outlined above as the applicable security and to request reduction of the security as described in section 3 above. As confirmation of the acceptance of the terms and conditions of this Letter of Guarantee by the

Glenn Gebhardt, City Engineer
City of Lathrop
May 4, 2017
Page 3 of 3

City, please sign and date this letter as shown on the next page. Should you have any questions regarding this Letter of Guarantee, please contact me at (209) 879-7900.


Sincerely,

By: 
Herb Moniz, Executive Director
River Islands Public Financing Authority

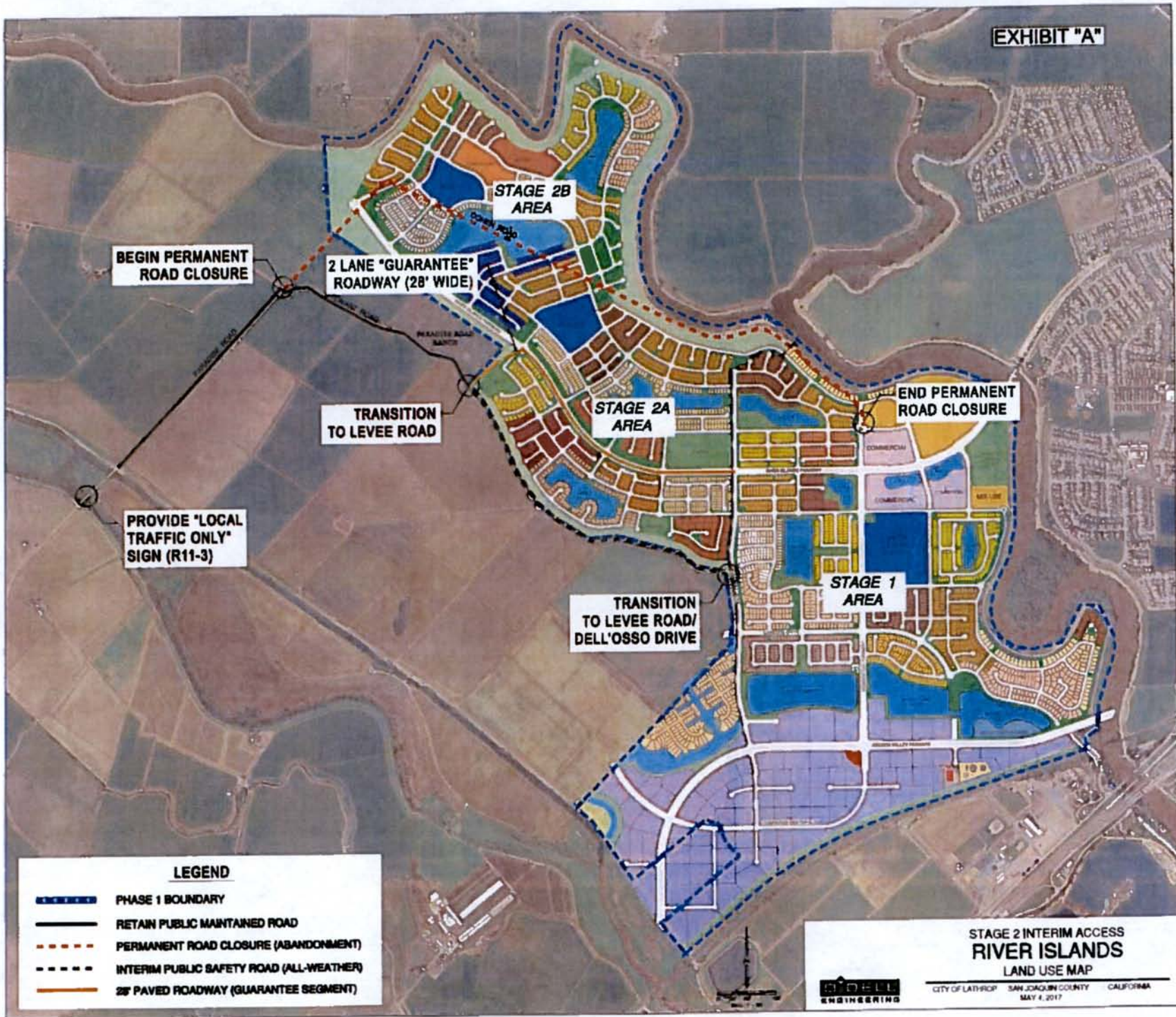
Enclosures: Exhibit "A": Location of Applicable Roadways – Cohen/Paradise
Exhibit "B": O'Dell Engineering – Engineer's Estimates

cc: Susan Dell'Osso, River Islands Development, LLC
John Zhang, O'Dell Engineering, Inc.

I Accept on Behalf of the City of Lathrop the Terms and Conditions of the foregoing Letter of Guarantee.

By: 
Glenn R. Gebhardt, City Engineer

May 15, 2017
Date



LEGEND

	PHASE 1 BOUNDARY
	RETAIN PUBLIC MAINTAINED ROAD
	PERMANENT ROAD CLOSURE (ABANDONMENT)
	INTERIM PUBLIC SAFETY ROAD (ALL-WEATHER)
	28' PAVED ROADWAY (GUARANTEE SEGMENT)

**STAGE 2 INTERIM ACCESS
RIVER ISLANDS
LAND USE MAP**

PIBELL ENGINEERING

CITY OF LATHROP SAN JOAQUIN COUNTY CALIFORNIA
MAY 4, 2017

EXHIBIT "B"



ENGINEER'S OPINION OF PROBABLE COST
INTERIM ROAD CONNECTION - STAGE 2A
GUARANTEE
RIVER ISLANDS - PHASE 1
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA

May 4, 2017

Item	Description	Quantity	Unit	Unit Price	Amount
<u>SITE PREPARATION</u>					
1	Mobilization ¹	1	LS	\$ 25,000.00	\$ 22,750.00
2	Erosion Control	1	LS	\$ 2,500.00	\$ 2,500.00
Subtotal Site Preparation					\$ 25,250.00
<u>GRADING</u>					
3	Earthwork ²	1,600	CY	\$ 5.00	\$ 8,000.00
Subtotal Grading					\$ 8,000.00
<u>MISCELLANEOUS</u>					
4	3" AC (6150 LF)	172,200	SF	\$ 1.50	\$ 258,300.00
5	6" AB (6150 LF)	172,200	SF	\$ 0.90	\$ 154,980.00
6	Conform to Existing	2	LS	\$ 3,000.00	\$ 6,000.00
Subtotal Miscellaneous					\$ 419,280.00
SUBTOTAL CONSTRUCTION COST					\$ 452,530.00
TOTAL CONSTRUCTION COST (nearest \$1,000)					\$ 453,000.00

Notes:

- 1) Mobilization assumed to be 5% of total cost.
- 2) Earthwork quantity includes 35% shrinkage.

EXHIBIT H

**RIPFA LETTER DATED, JUNE 26, 2018 OF GUARANTEE
RIVER ISLANDS PARKWAY WITHIN THE STAGE 2A DEVELOPMENT AREA**

RIVER ISLANDS PUBLIC FINANCING AUTHORITY

73 W. STEWART ROAD
LATHROP, CALIFORNIA 95330

TEL: (209) 879-7900

June 26, 2018

Glenn Gebhardt, City Engineer
City of Lathrop
390 Towne Centre Drive
Lathrop, California 95330

Subject: Letter of Guarantee - Construction of River Islands Parkway from Dell'Oso Drive to the Stage 2B Boundary (Lakeside East District) – Tract 3908

This Letter of Guarantee is being made in lieu of a performance bond for the construction of unfinished portions of River Islands Parkway from Dell'Oso Drive to the Stage 2B boundary within the Stage 2A development area of the River Islands development project (also known as the Lakeside East District). River Islands Public Financing Authority (Authority) is providing the funding for public improvements in the Stage 2A development area, including improvements to River Islands Parkway (Improvements). It is our understanding that a guarantee for construction of the River Islands Parkway Improvements through Stage 2A is required as a condition precedent to City Council approval of the Tract 3908 large lot subdivision map proposed by River Islands Development, LLC. Since the Authority is already setting aside funds for the full construction of River Islands Parkway, we are providing you this Letter of Guarantee as the required subdivision guarantee necessary for the Tract 3908 large lot final map.

The engineer's estimates as provided by O'Dell Engineering for the full cost of the of River Islands Parkway Improvements from Dell'Oso Drive to the Stage 2B boundary is \$5,264,000, and for the unfinished portions (as of June 15, 2018) of River Islands Parkway from Dell'Oso Drive to the Stage 2B boundary is \$338,004 (attached as Exhibit "A"). The Authority hereby agrees to set-aside funds in the amount of \$450,000, which amount is equal to 180% of this engineer's estimate of the unfinished improvements, in-lieu of a 100% performance bond and 50% labor and materials bond. The funds are currently held, and will be set aside, in the Improvement Fund established under the Fiscal Agent Agreement, dated as of December 1, 2015, between the Authority and Wilmington Trust, National Association, as fiscal agent. The Joint Community Facilities Agreement, dated as of November 16, 2015, between the Authority and the City allows for funds in the Improvement Fund to be used to pay costs of infrastructure improvements for the River Islands development, including River Islands Parkway. Also attached to this Letter of Guarantee is an exhibit showing the portion of River Islands Parkway being guaranteed by this letter for your reference (Exhibit "B").

Under the terms of this Letter of Guarantee, the Authority shall hold the funds as stated herein in the Improvement Fund until July 8, 2019, or until such time River Islands Parkway through Stage 2A is fully constructed, inspected and accepted into service by the City, whichever comes first. If this portion of River Islands Parkway is not constructed, inspected and accepted into service by the City by July 8, 2019 and the deadline is not extended by the City in writing, no later than September 30, 2019, the Authority will cause one of the following to occur:

1. The Authority shall use the funds set aside in the Improvement Fund to construct the River Islands Parkway Improvements. The Authority shall utilize a suitable contractor and bid the work under applicable law. The Authority and the City shall mutually agree to a timeline to which the roadway will be constructed, inspected and operational, no later than one year from the deadline noted above.
2. The Authority shall withdraw the funds from the set aside monies in the Improvement Fund and provide said monies to the City, to be held in a segregated account maintained by the City, to be used solely for construction or reconstruction of the applicable portion of River Islands Parkway. In such event, the City will use reasonable diligence to complete the construction of the River Islands Parkway. Until the completion of the River Islands Parkway and return of any excess funds to the Authority, the City will maintain records as to the reinvestment of the funds provided to it and will provide the Authority with its records as to any such investment earnings upon written request of the Authority. Additionally, in the event that the City advises the Authority in writing that the funds provided to the City are not sufficient to pay all of the costs of the construction of the River Islands Parkway and advises the Authority as to the amount of the shortfall, the Authority will advance funds to the City from the Improvement Fund in the amount of the shortfall. In such event, and upon the written request of the Authority, the City will provide to the Authority a detailed breakdown of the costs of the construction of the unfinished portions of River Islands Parkway through Stage 2A.

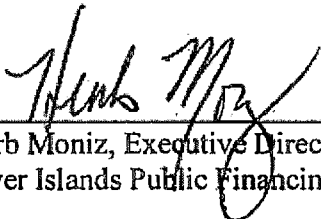
The Authority shall retain the discretion to choose between the two options outlined above. However, if any River Islands Parkway improvements remain incomplete on September 30, 2020, the Authority shall immediately resort to Option 2, and shall provide set aside moneys in the Improvement Fund as requested by the City to allow the City to complete the uncompleted improvements.

In addition, the commitment for the Authority to set aside these funds shall continue until the Improvements are constructed and accepted by the City Council, and the developer provides a one year maintenance bond in the amount of \$526,400 (10% of the full cost of the Improvements), or until the Authority provides an acceptable replacement letter of guarantee in that same amount of \$526,400 to guarantee the quality and condition of the full Improvements for one year from the date of acceptance by the City Council.

Glenn Gebhardt, City Engineer
City of Lathrop – Letter of Guarantee for Tract 3908
June 15, 2018
Page 3 of 3

As confirmation of the acceptance of the terms and conditions of this Letter of Guarantee by the City, please sign and date this letter as shown on the next page. Should you have any questions regarding this Letter of Guarantee, please contact me at (209) 879-7900.

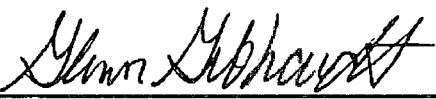
Sincerely,

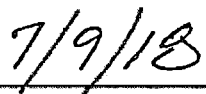
By: 
Herb Moniz, Executive Director
River Islands Public Financing Authority

Enclosures: Exhibit "A": Engineer's Estimate of full improvements from O'Dell Engineering
and Engineer's Estimate of unfinished improvements from O'Dell
Engineering
Exhibit "B": Location of guarantee on River Islands Parkway

cc: Susan Dell'Osso, River Islands Development, LLC

I Accept on Behalf of the City of Lathrop the Terms and Conditions
of the foregoing Letter of Guarantee.

By: 
Glenn R. Gebhardt, City Engineer


Date



ENGINEER'S OPINION OF PROBABLE COST
 RIVER ISLANDS - STAGE 2A
 RIVER ISLANDS PARKWAY
 CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA

March 6, 2018
 Job No.: 25503-01

Item	Description	Quantity	Unit	Unit Price	Amount
<u>STREET WORK</u>					
1	Fine Grading	621,700	SF	\$ 0.45	\$ 279,765.00
2	7" AC Paving	316,800	SF	\$ 3.50	\$ 1,108,800.00
3	11" Aggregate Base	316,800	SF	\$ 1.65	\$ 522,720.00
4	12" Lime Treatment	316,800	SF	\$ 1.10	\$ 348,480.00
5	Vertical Curb and Gutter <i>(with AB cushion)</i>	9,600	LF	\$ 15.00	\$ 144,000.00
6	Type F Median Curb <i>(with AB cushion)</i>	9,100	LF	\$ 18.00	\$ 163,800.00
7	Roundabout Concrete	2,400	SF	\$ 5.00	\$ 12,000.00
8	Concrete Sidewalk	77,400	SF	\$ 5.00	\$ 387,000.00
9	Handicap Ramps	20	EA	\$ 2,500.00	\$ 50,000.00
10	Survey Monuments	7	EA	\$ 300.00	\$ 2,100.00
11	Barricades	1	EA	\$ 1,500.00	\$ 1,500.00
12	Traffic Signing & Striping	4,710	LF	\$ 5.00	\$ 23,550.00
13	Dewatering <i>(Budget)</i>	4,710	LF	\$ 75.00	\$ 353,250.00
Subtotal Street Work					\$ 3,396,965.00
<u>STORM DRAIN</u>					
14	Catch Basins <i>(type A inlet)</i>	24	EA	\$ 2,400.00	\$ 57,600.00
15	15" Storm Drain Pipe	1,110	LF	\$ 34.00	\$ 37,740.00
16	18" Storm Drain Pipe	220	LF	\$ 46.00	\$ 10,120.00
17	24" Storm Drain Pipe	780	LF	\$ 65.00	\$ 50,700.00
18	Storm Drain Stub & Plug	9	EA	\$ 1,000.00	\$ 9,000.00
Subtotal Storm Drain					\$ 165,160.00
<u>SANITARY SEWER</u>					
19	24" Sanitary Sewer Pipe	50	LF	\$ 150.00	\$ 7,500.00
20	Manholes	24	LF	\$ 4,000.00	\$ 96,000.00
21	Connect to Existing Sanitary Sewer	2	EA	\$ 3,000.00	\$ 6,000.00
Subtotal Sanitary Sewer					\$ 109,500.00
<u>WATER SUPPLY</u>					
22	8" Water Line <i>(including all appurtenances)</i>	740	LF	\$ 32.00	\$ 23,680.00
23	10" Water Line <i>(including all appurtenances)</i>	280	LF	\$ 40.00	\$ 11,200.00
24	20" Water Line <i>(including all appurtenances)</i>	4,630	LF	\$ 100.00	\$ 463,000.00
25	Fire Hydrants	16	EA	\$ 4,000.00	\$ 64,000.00
26	Water Service	6	EA	\$ 2,000.00	\$ 12,000.00
27	Water Plug & Stub	9	EA	\$ 1,000.00	\$ 9,000.00
28	Connect to Existing Water	1	EA	\$ 4,000.00	\$ 4,000.00
Subtotal Water Supply					\$ 586,880.00

Item	Description	Quantity	Unit	Unit Price	Amount
<u>RECYCLED WATER</u>					
29	8" Recycled Water Flushing Line <i>(including all appurtenances)</i>	80	LF	\$ 45.00	\$ 3,600.00
30	12" Recycled Water Drain Line <i>(including all appurtenances)</i>	150	LF	\$ 55.00	\$ 8,250.00
31	16" Recycled Water Line <i>(including all appurtenances)</i>	4,650	LF	\$ 65.00	\$ 302,250.00
32	Recycled Water Plug & Stub	4	EA	\$ 1,000.00	\$ 4,000.00
33	Connect to Existing Recycled Water	1	EA	\$ 5,000.00	\$ 5,000.00
Subtotal Recycled Water					\$ 323,100.00
<u>NON-POTABLE WATER</u>					
34	8" Non-Potable Water Line <i>(including all appurtenances)</i>	650	LF	\$ 35.00	\$ 22,750.00
35	16" Non-Potable Water Line <i>(including all appurtenances)</i>	4,660	LF	\$ 80.00	\$ 372,800.00
36	Non-Potable Water Service	6	LF	\$ 2,000.00	\$ 12,000.00
37	Non-Potable Water Plug & Stub	7	EA	\$ 1,000.00	\$ 7,000.00
38	Connect to Existing Non-Potable Water	1	EA	\$ 3,000.00	\$ 3,000.00
Subtotal Irrigation Water					\$ 417,550.00
<u>LAKE FILL LINE</u>					
39	16" Lake Fill Line <i>(including all appurtenances)</i>	4,820	LF	\$ 50.00	\$ 241,000.00
40	3" Aeration Line <i>(including all appurtenances)</i>	4,820	LF	\$ 4.00	\$ 19,280.00
41	Lake Fill Stub & Plug	3	EA	\$ 1,000.00	\$ 3,000.00
42	Connect to Existing Lake Fill Line	1	EA	\$ 1,000.00	\$ 1,000.00
Subtotal Lake Fill Line					\$ 264,280.00
SUBTOTAL CONSTRUCTION COST					\$ 5,263,435.00
TOTAL CONSTRUCTION COST (nearest \$1,000)					\$ 5,264,000.00

Notes:

- 1) This estimate does not include surveying, engineering, clearing, grading, erosion control, joint trench, landscaping, irrigation, or street trees.
- 2) Unit prices are based on estimated current construction costs and no provision for inflation is included.



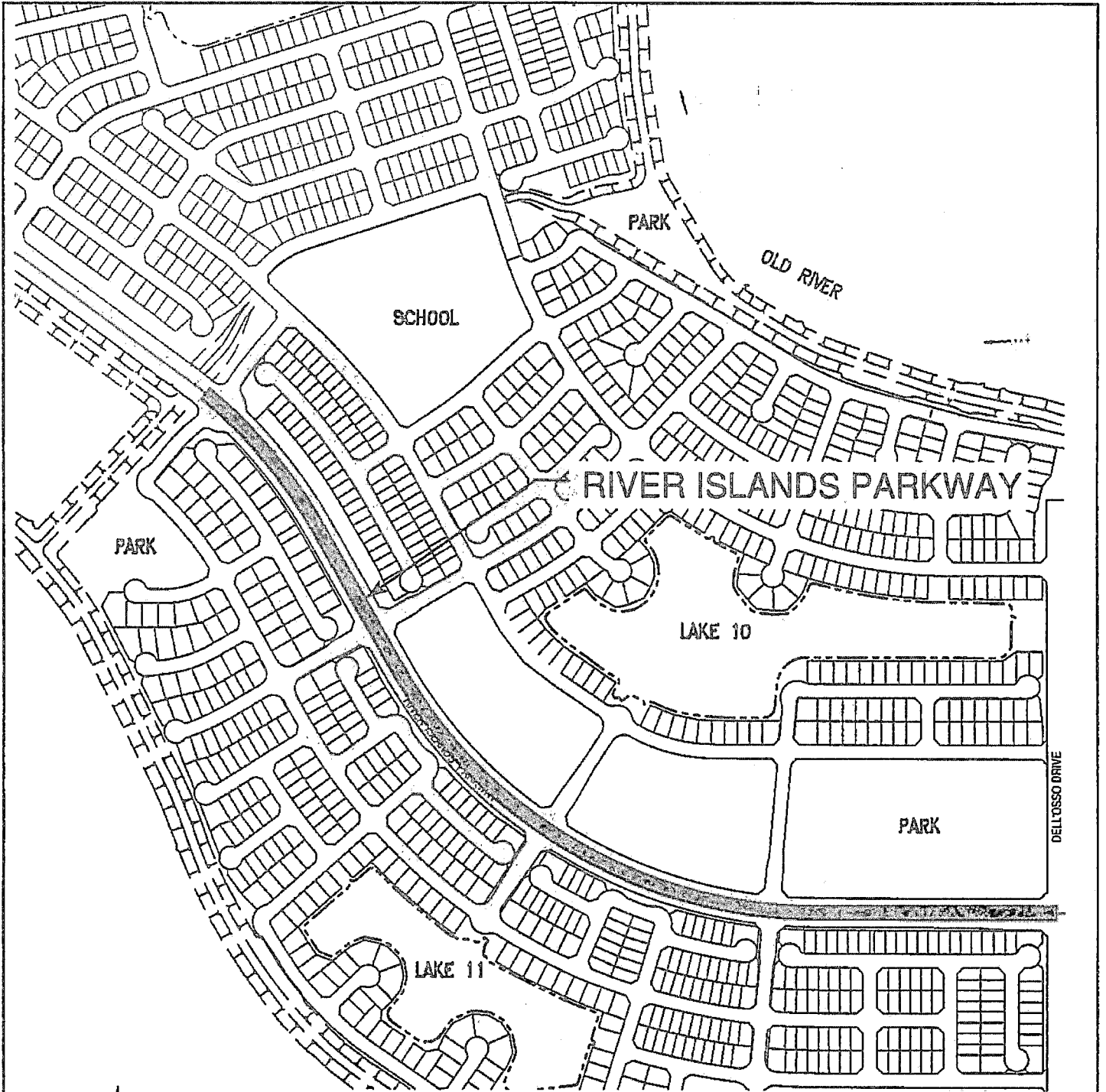
ENGINEER'S BOND ESTIMATE
COST TO COMPLETE
RIVER ISLANDS - STAGE 2A
RIVER ISLANDS PARKWAY
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA

June 13, 2018
Job No.: 25503-01

Item	Description	Quantity	Unit	Unit Price	Amount
1	Sanitary Sewer & Water Raising Iron (95% Completion)	1	LS	\$ 54,400.00	\$ 54,400.00
2	Final AC Lift (90% Completion)	1	LS	\$ 246,604.00	\$ 246,604.00
3	Final Signing, Striping & Monument (0% Completion)	1	LS	\$ 37,000.00	\$ 37,000.00
TOTAL COST TO COMPLETE					\$ 338,004.00

Notes:

- 1) Estimate for cost to complete based on contractor's cost to complete summary sheet and backup documents for Stage 2A River Islands Parkway (Dell'Osso Drive to Stage 2A/2B Levee) dated June 12, 2018.



**EXHIBIT B
RIVER ISLANDS PARKWAY
STAGE 2A
JULY 2018**

EXHIBIT I

**IRREVOCABLE OFFER OF DEDICATION FOR NORBECK STREET,
GARDEN FARMS AVENUE & BOSCH AVENUE**

*Recording Requested by and
Please Return to:*

City Clerk
City of Lathrop
390 Towne Centre Drive
Lathrop, California 95330

*This Instrument Benefits City Only.
No Fee Required.*

This Space Above for Recorder's Use Only

**IRREVOCABLE OFFER OF DEDICATION OF EASEMENT
FOR PUBLIC ROADWAY PURPOSES AND PUBLIC UTILITY EASEMENT
(TRACT 3997 – OFFSITE ROADWAY DEDICATION – NORBECK STREET,
GARDEN FARMS AVENUE & BOSCH AVENUE)**

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, River Islands Development, LLC, a California limited liability company, hereby grant(s) to the CITY OF LATHROP, a municipal corporation in the County of San Joaquin, State of California, an easement for ingress, egress and road purposes, and a public utility easement (PUE), over and across the hereinafter described real property situated in City of Lathrop and more particularly described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

This Offer of Dedication is made pursuant to Section 7050 of the Government Code of the State of California, and may be accepted at any time by the City Engineer of the City of Lathrop. This Offer of Dedication may be terminated, and right to accept such offer abandoned in the same manner as is prescribed for the vacation of streets or highways by Part 3 of Division 9, or Chapter 2 of Division 2 of the Streets and Highways Code of the State of California, whichever is applicable.

The above described easement is to be kept open, clear and free from buildings and structures of any kind. This Offer of Dedication shall be irrevocable and shall be binding on the Grantor's heirs, executors, administrators, successors and assigns.

SIGNATURES:

Signed this _____ day of _____, 2019

RIVER ISLANDS DEVELOPMENT, LLC
a California limited liability company

By: _____
Name: Susan Dell'Osso
Its: President

(Notary Acknowledgment Required for Each Signatory)

This is to certify that the interest in real property offered herein to the City of Lathrop is hereby acknowledged by the undersigned, City Clerk, on behalf of the City of Lathrop City Council to authority conferred by the Lathrop Municipal Code and the grantee(s) consent(s) to the recordation thereof by its duly authorized officer

TERESA VARGAS, CITY CLERK

By: _____

Date: _____

EXHIBIT "A"
LEGAL DESCRIPTION
OFFSITE ROADWAY DEDICATION AND ADJACENT PUBLIC UTILITY EASEMENT
(NORBECK STREET, GARDEN FARMS AVENUE & BOSCH AVENUE)

(See Attached)

EXHIBIT A
LEGAL DESCRIPTION
IRREVOCABLE OFFER OF DEDICATION FOR RIGHT-OF-WAY PURPOSES
TRACT 3997 - VILLAGE Y
OFFSITE ROADWAY DEDICATION
NORBECK STREET, GARDEN FARMS AVENUE AND BOSCH AVENUE
RIVER ISLANDS
LATHROP, CALIFORNIA

CERTAIN REAL PROPERTY SITUATE IN THE CITY OF LATHROP, COUNTY OF SAN JOAQUIN, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

BEING A PORTION OF PARCELS 14 AND 15, AS SAID PARCELS ARE SHOWN ON THAT CERTAIN MAP ENTITLED "TRACT 3908, RIVER ISLANDS, STAGE 2A, LARGE LOT FINAL MAP", FILED SEPTEMBER 20, 2018, IN BOOK 43 OF MAPS AND PLATS, AT PAGE 52, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL ONE (ROADWAY EASEMENT):

BEGINNING AT A POINT ON THE SOUTHWESTERN LINE OF SAID PARCEL 15, SAID POINT ALSO BEING ON THE NORTHEASTERN LINE OF RIVER ISLANDS PARKWAY, AT THE EASTERLY TERMINUS OF COURSE L183, LABELED AS "NORTH 68°39'11" WEST 61.05 FEET", ALL AS SHOWN ON SHEET 16 OF SAID MAP OF TRACT 3908;

THENCE, LEAVING SAID POINT OF BEGINNING, ALONG THE SOUTHWESTERN AND NORTHWESTERN LINE OF SAID PARCEL 15, RESPECTIVELY, AS SHOWN ON SAID MAP, THE FOLLOWING THREE (3) COURSES:

- 1) NORTH 68°39'11" WEST 61.05 FEET,
- 2) ALONG A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 780.00 FEET, FROM WHICH THE CENTER OF SAID CURVE BEARS SOUTH 58°24'39" EAST, THROUGH A CENTRAL ANGLE OF 09°05'02", AN ARC DISTANCE OF 123.66 FEET, AND
- 3) NORTH 40°40'23" EAST 213.12 FEET TO AN ANGLE POINT THEREIN;

THENCE, LEAVING SAID NORTHERN LINE, NORTH 42°22'52" EAST 90.99 FEET;

THENCE, SOUTH 47°37'08" EAST 105.90 FEET;

THENCE, ALONG A TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 2,636.00 FEET, THROUGH A CENTRAL ANGLE OF 13°09'27", AN ARC DISTANCE OF 605.34 FEET TO AN ANGLE POINT IN THE SOUTHEASTERN LINE OF SAID PARCEL 15, SAID ANGLE POINT ALSO BEING THE WESTERN TERMINUS OF COURSE L181, ALL AS SHOWN ON SAID MAP;

THENCE, ALONG SAID SOUTHEASTERN LINE, SOUTH 78°48'17" EAST 34.95 FEET;

THENCE, LEAVING SAID SOUTHEASTERN LINE, SOUTH 28°03'54" EAST 66.26 FEET;

THENCE, SOUTH 12°26'44" WEST 34.99 FEET;

THENCE, ALONG A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 2,630.00 FEET, FROM WHICH THE CENTER OF SAID CURVE BEARS SOUTH 58°02'21" WEST, THROUGH A CENTRAL ANGLE OF 02°25'39", AN ARC DISTANCE OF 111.43 FEET;

THENCE, SOUTH 29°32'00" EAST 417.35 FEET;

THENCE, SOUTH 74°32'00" EAST 35.36 FEET;

THENCE, SOUTH 29°32'00" EAST 60.00 FEET TO THE SOUTHEASTERN LINE OF SAID PARCEL 14, AS SHOWN ON SAID MAP, BEING THE NORTHERN TERMINUS OF COURSE L195, LABELED AS "NORTH 15°28'00" EAST 35.36 FEET", ALL AS SHOWN ON SHEET 16 OF SAID MAP;

THENCE, ALONG THE SOUTHEASTERN AND SOUTHWESTERN LINE OF SAID PARCEL 14, RESPECTIVELY, AS SHOWN ON SAID MAP, THE FOLLOWING EIGHTEEN (18) COURSES;

- 1) SOUTH 15°28'00" WEST 35.36 FEET,
- 2) SOUTH 60°28'00" WEST 60.00 FEET,
- 3) SOUTH 74°32'00" WEST 35.36 FEET,
- 4) SOUTH 60°28'00" WEST 214.00 FEET,
- 5) ALONG A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 87.00 FEET, THROUGH A CENTRAL ANGLE OF 15°12'13", AN ARC DISTANCE OF 23.09 FEET,
- 6) ALONG A REVERSE CURVE TO THE RIGHT, HAVING A RADIUS OF 113.00 FEET, THROUGH A CENTRAL ANGLE OF 15°12'13", AN ARC DISTANCE OF 29.98 FEET,
- 7) SOUTH 60°28'00" WEST 85.55 FEET,
- 8) NORTH 29°32'00" WEST 74.00 FEET,
- 9) NORTH 60°28'00" EAST 85.55 FEET,
- 10) ALONG A TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 113.00 FEET, THROUGH A CENTRAL ANGLE OF 15°12'13", AN ARC DISTANCE OF 29.98 FEET
- 11) ALONG A REVERSE CURVE TO THE LEFT, HAVING A RADIUS OF 87.00 FEET, THROUGH A CENTRAL ANGLE OF 15°12'13", AN ARC DISTANCE OF 23.09 FEET,
- 12) NORTH 60°28'00" EAST 214.00 FEET,
- 13) NORTH 15°28'00" EAST 35.36 FEET,
- 14) NORTH 29°32'00" WEST 417.35 FEET,
- 15) ALONG A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 2,570.00 FEET, THROUGH A CENTRAL ANGLE OF 02°22'34", AN ARC DISTANCE OF 106.58 FEET,
- 16) NORTH 77°31'43" WEST 35.74 FEET,
- 17) NORTH 33°08'53" WEST 60.00 FEET, AND
- 18) NORTH 11°13'59" EAST 35.74 FEET TO THE SOUTHWESTERN CORNER OF SAID PARCEL 15, AS SHOWN ON SAID MAP,

THENCE ALONG THE SOUTHWESTERN LINE OF SAID PARCEL 15, THE FOLLOWING FIVE (5) COURSES:

- 1) ALONG A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 2,570.00 FEET, FROM WHICH THE CENTER OF SAID CURVE BEARS SOUTH 55°36'50" WEST, THROUGH A CENTRAL ANGLE OF 13°13'58", AN ARC DISTANCE OF 593.56 FEET,
- 2) NORTH 47°37'08" WEST 21.62 FEET,
- 3) SOUTH 86°31'38" WEST 34.82 FEET,
- 4) SOUTH 40°40'23" WEST 211.33 FEET, AND
- 5) ALONG A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 720.00 FEET, THROUGH A CENTRAL ANGLE OF 08°13'12", AN ARC DISTANCE OF 103.30 FEET TO SAID POINT OF BEGINNING.

CONTAINING 3.32 ACRES, MORE OR LESS.

EXHIBIT A
IRREVOCABLE OFFER OF DEDICATION
FOR OFF-SITE ROADWAY PURPOSES
FOR TRACT 3997- VILLAGE Y

NOVEMBER 1, 2018
JN 25502

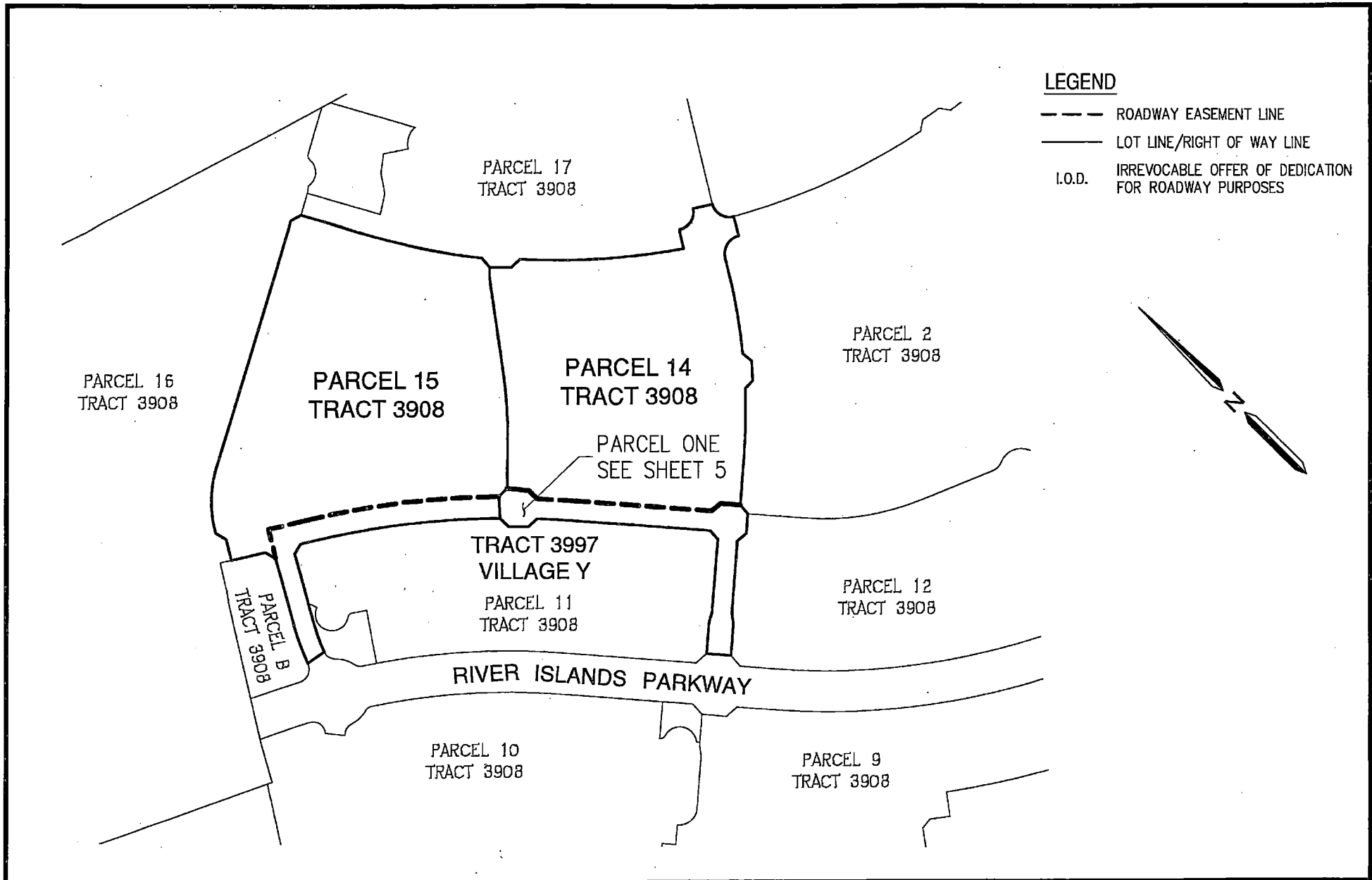
ATTACHED HERETO IS A PLAT TO ACCOMPANY LEGAL DESCRIPTION, AND BY THIS
REFERENCE MADE A PART HEREOF.

END OF DESCRIPTION

Paul Kittredge
PAUL KITTREDGE
PROFESSIONAL LAND SURVEYOR
CALIFORNIA NO. 5790

11/1/18
DATE





SCALE: 1" = 400'	
DRAWN BY: BK	
FILE:	
DATE: 09/28/2018	SHEET: 4 OF 6

EXHIBIT A
RIVER ISLANDS - STAGE 2A, VILLAGE Y
 TRACT 3997- OFFSITE ROADWAY EASEMENT
 IRREVOCABLE OFFER OF DEDICATION
 NORBECK STREET, GARDEN FARMS AVENUE AND BOSCH AVENUE
 CITY OF LATHROP SAN JOAQUIN COUNTY CALIFORNIA

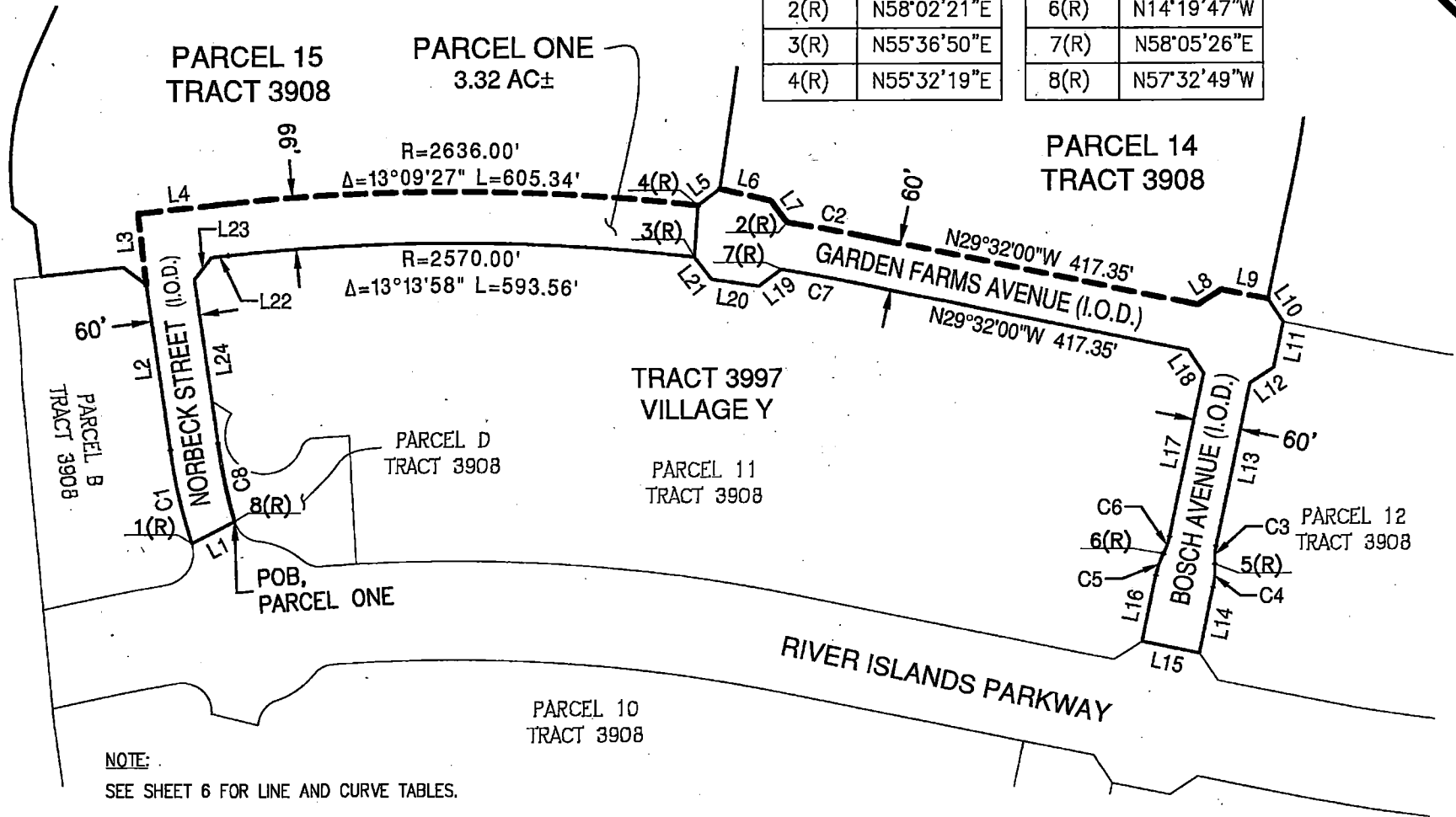
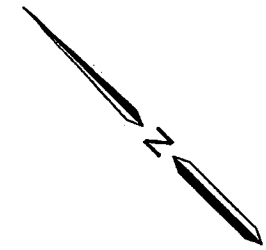


LEGEND

- ROADWAY EASEMENT LINE
- LOT LINE/RIGHT OF WAY LINE
- I.O.D. IRREVOCABLE OFFER OF DEDICATION FOR ROADWAY PURPOSES

RADIAL BEARINGS	
LINE #	DIRECTION
1(R)	N58°24'39"W
2(R)	N58°02'21"E
3(R)	N55°36'50"E
4(R)	N55°32'19"E

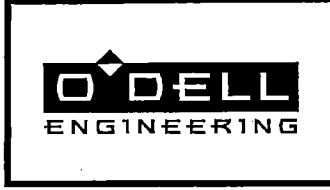
RADIAL BEARINGS	
LINE #	DIRECTION
5(R)	N44°44'13"W
6(R)	N14°19'47"W
7(R)	N58°05'26"E
8(R)	N57°32'49"W



NOTE:
SEE SHEET 6 FOR LINE AND CURVE TABLES.

SCALE: 1" = 200'	
DRAWN BY: BK	
FILE:	
DATE: 09/28/2018	SHEET: 5 OF 6

EXHIBIT A
RIVER ISLANDS - STAGE 2A, VILLAGE Y
 TRACT 3997- OFFSITE ROADWAY EASEMENT
 IRREVOCABLE OFFER OF DEDICATION
 NORBECK STREET, GARDEN FARMS AVENUE AND BOSCH AVENUE
 CITY OF LATHROP
 SAN JOAQUIN COUNTY
 CALIFORNIA



CURVE TABLE			
CURVE #	RADIUS	DELTA	LENGTH
C1	780.00'	9°05'02"	123.66'
C2	2630.00'	2°25'39"	111.43'
C3	87.00'	15°12'13"	23.09'
C4	113.00'	15°12'13"	29.98'
C5	113.00'	15°12'13"	29.98'
C6	87.00'	15°12'13"	23.09'
C7	2570.00'	2°22'34"	106.58'
C8	720.00'	8°13'12"	103.30'

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	N68°39'11"W	61.05'
L2	N40°40'23"E	213.12'
L3	N42°22'52"E	90.99'
L4	N47°37'08"W	105.90'
L5	N78°48'17"W	34.95'
L6	N28°03'54"W	66.26'
L7	N12°26'44"E	34.99'
L8	N74°32'00"W	35.36'
L9	N29°32'00"W	60.00'
L10	N15°28'00"E	35.36'
L11	N60°28'00"E	60.00'
L12	N74°32'00"W	35.36'

LINE TABLE		
LINE #	DIRECTION	LENGTH
L13	N60°28'00"E	214.00'
L14	N60°28'00"E	85.55'
L15	N29°32'00"W	74.00'
L16	N60°28'00"E	85.55'
L17	N60°28'00"E	214.00'
L18	N15°28'00"E	35.36'
L19	N77°31'43"W	35.74'
L20	N33°08'53"W	60.00'
L21	N11°13'59"E	35.74'
L22	N47°37'08"W	21.62'
L23	N86°31'38"E	34.82'
L24	N40°40'23"E	211.33'

SCALE: 1" = 200'

DRAWN BY: BK

FILE:

DATE: 09/28/2018

SHEET: 6 OF 6

EXHIBIT A
RIVER ISLANDS - STAGE 2A, VILLAGE Y
 TRACT 3997- OFFSITE ROADWAY EASEMENT
 IRREVOCABLE OFFER OF DEDICATION
 NORBECK STREET, GARDEN FARMS AVENUE AND BOSCH AVENUE
 CITY OF LATHROP
 SAN JOAQUIN COUNTY
 CALIFORNIA



EXHIBIT J
UTILITY CAPACITY GUARANTEES

In accordance with the First Amendment to the 2003 Amended and Restated Development Agreement by and Between the City of Lathrop and Califa, LLC, ("DA"), SUBDIVIDER shall provide the following guarantees for wastewater treatment and recycled water capacity to utilize an additional 120,000 gallons per day of treatment capacity from the Lathrop Consolidated Treatment Facility ("CTF") on an interim basis. As a requirement for the additional 120,000 gpd of capacity to be utilized, the following conditions were to be satisfied prior to July 1, 2019:

1. Have fully constructed, inspected and dedicated to the City the following improvements:
 - The Paradise Road Sprayfield Expansion (also known as "Sprayfield A34") to accommodate 250,000 gpd of treatment capacity
 - Recycled Water Pipeline extensions to the Sprayfield Expansion as necessary
2. Provide any outstanding funding for RWQCB permits and/or authorizations to be completed by the City to allow use of Sprayfield A34.
3. Implement terms and conditions of the Second Amendment to the Sprayfield Lease Agreement between Califa, LLC and the City, including recordation of the Second Memorandum of Lease with Option to Purchase.

With the appropriate guarantees in place, SUBDIVIDER shall be allocated and allowed to use the first 120,000 gpd of the 650,000 gpd constructed at the CTF with SUBDIVIDER funding.

**JOINT ESCROW INSTRUCTIONS
RECORDATION OF FINAL MAPS
(RIVER ISLANDS AT LATHROP)**

March 25, 2018

Via Email and First Class Mail

Old Republic Title Company
3558 Deer Park Drive, Suite 103
Stockton, CA 95219
Attn: Karen Sayles

Re: Recordation of Final Map 3997; Escrow No. 1614020234

Dear Karen:

This letter constitutes the joint escrow instructions ("**Escrow Instructions**") of River Islands Development, LLC, a California limited liability company ("**RID**"), and the City of Lathrop ("**City**") in connection with the above-referenced escrow ("**Escrow**"). The Escrow was opened in connection with recordation of the above-referenced final map ("**Final Map**"). Recordation of the Final Map is subject to the conditions set forth below. The transactions described in these Escrow Instructions are referred to as the "**Transaction**." Old Republic Title Company is referred to as "you" or "**ORTC**."

A. Date for Closings

The Final Map will be recorded at the time designated by RID as set forth below. The Final Map can only be recorded after the City has approved the map in writing. The closing date for the Transaction is intended to occur by December 31, 2019, at the time designated in writing by RID, subject to satisfaction of the conditions set forth below (each a "**Closing**"). If the Final Map has not been recorded by December 31, 2020, ORTC will return the Final Map to the City.

B. Documents to be Delivered and Recordation Documents

In connection with the Transaction, you have in your possession or will receive the following documents from City for recordation in the Official Records of San Joaquin County, California ("**Official Records**").

B.1. One original Final Map for Tract 3997, executed and acknowledged by the City.

B.2. Irrevocable Offer of Dedication of Easement for Public Roadway Purposes and Public Utility Easement (Tract 3997 – Offsite Roadway Dedication – Norbeck Street, Garden Farms Avenue and Bosch Avenue).

The documents listed in Items B.1 and B.2 above are referred to as the "**Recordation Documents**." The Recordation Documents shall be recorded in the order referred to above. The date on which the Recordation Documents are recorded in the Official Records is the Recordation Date.

JOINT ESCROW INSTRUCTIONS RECORDATION OF FINAL MAPS (RIVER ISLANDS AT LATHROP)

C. Funds and Settlement Statement

You also have received, or will receive from RID, prior to the recordation of the Recordation Documents, in immediately available funds, the following amounts, in accordance with the settlement statement prepared by you and approved in writing by both RID and City ("**Settlement Statement**"): recordation costs, escrow fees and other amounts as set forth in the Settlement Statement. Such costs, fees and other amounts are the sole responsibility of RID.

C.1 Funds to be wire transferred directly to the entity set forth below, immediately upon recordation of the Final Map, in accordance with the wire transfer instructions for each entity are set forth below:

- The amount of \$23,211.36, payable to the City pursuant to that certain Agreement to Settle Litigation Regarding River Islands at Lathrop, as amended ("**Sierra Club Agreement**"), constituting the amount of \$3,184.00 multiplied by 7.29 acres (or portion thereof) included in the Final Map, is to be transferred to the City upon recordation of the Final Map. The City's wire instructions are set forth below.

The amounts set forth in Section C are referred to as the "**Closing Funds**."

D. Closing Requirements

When the following has occurred, you are authorized to close the Escrow at the time(s) and in accordance with the process set forth below:

D.1. You have delivered copies of your Settlement Statement by email transmission to: Susan Dell'Osso (sdelloso@riverislands.com), Debbie Belmar (dbelmar@riverislands.com), Stephen Salvatore (ssalvatore@ci.lathrop.ca.us), Salvador Navarrete (snavarrete@ci.lathrop.ca.us), Cari James (cjames@ci.lathrop.ca.us) and Glenn Gebhardt (ggebhardt@ci.lathrop.ca.us), and have confirmation (by telephone or email) from Susan Dell'Osso and Stephen Salvatore or Glenn Gebhardt that the Settlement Statement is accurate and acceptable.

D.2. You have not received any instructions contrary to these Escrow Instructions.

D.3. The Recordation Documents and all other documents described herein as being held by you or delivered to you have been received by you and have been fully executed and, where applicable, acknowledged, and you have attached all legal descriptions or have confirmed that all exhibits and legal descriptions are attached.

D.4. You are prepared to record the Recordation Documents, as designated, release funds in accordance with the Settlement Statement and complete the Transaction in compliance with these Escrow Instructions.

**JOINT ESCROW INSTRUCTIONS
RECORDATION OF FINAL MAPS
(RIVER ISLANDS AT LATHROP)**

D.5. You have delivered a copy of these instructions, executed by an authorized signatory of ORTC with authority to bind ORTC, and initialed all pages, by email transmission (with original hard copy to follow by U.S. Mail) to Debbie Belmar and Glenn Gebhardt at the email addresses set forth above.

D.6. You have received confirmation (by email or other writing) from Susan Dell'Osso and Stephen Salvatore or Glenn Gebhardt to record the Recordation Documents and complete the Transaction.

E. Closing Process and Priorities

When you have fully satisfied all of the closing requirements set forth in Section D, then you are authorized and instructed to do the following in the chronological order given:

E.1. Date the Recordation Documents to be recorded.

E.2. Record the Recordation Documents in the Official Records.

E.3. Pay the costs associated with the Transaction.

E.4. Refund any funds delivered to you by RID that are not disbursed at the time of the final Closing pursuant to these Escrow Instructions to the following entity and address:

River Islands Development, LLC
73 W. Stewart Road
Lathrop, CA 95330
Attn: Susan Dell'Osso

E.5. Notify Susan Dell'Osso, Debbie Belmar, Stephen Salvatore, Glenn Gebhardt and Jose Molina (JMolina@sjgov.org) of the completion of the Transaction.

E.6. Within five (5) business days after each Recordation Date, deliver by overnight delivery via recognized, national, overnight delivery carrier to: (1) Susan Dell'Osso, River Islands Development, LLC, 73 W. Stewart Road, Lathrop, CA 95330; and (2) Mr. Salvador Navarrete, City Attorney, City of Lathrop, 390 Towne Centre Drive, Lathrop, CA 95330:

(A) A certified copy of the Recordation Documents, showing all recording information of the Recordation Documents; and

(B) A certified copy of the final Settlement Statement.

F. Additional Instructions

When assembling the final documents, signature pages from all parties shall be inserted into each respective final document in creating fully executed counterparts. Please acknowledge receipt of these instructions and your agreement to act as Escrow agent in connection with this Transaction in accordance with these Escrow Instructions,

**JOINT ESCROW INSTRUCTIONS
RECORDATION OF FINAL MAPS
(RIVER ISLANDS AT LATHROP)**

by executing and dating a copy of these Escrow Instructions where indicated below, initialing all pages and returning it to both of the undersigned.

The Escrow Instructions may be modified only in a writing signed by both of the undersigned.

Very truly yours,

Stephen J. Salvatore
City Manager
City of Lathrop

Susan Dell'Osso
President
River Islands Development, LLC

**ESCROW INSTRUCTIONS
ACKNOWLEDGEMENT AND AGREEMENT:**

Receipt of the foregoing Escrow Instructions from RID and the City is hereby acknowledged. The undersigned agrees, for itself, and on behalf of ORTC, to proceed in strict accordance with these Escrow Instructions. The undersigned represents and warrants to RID and the City that the undersigned is authorized to execute this Acknowledgement and Agreement, for itself, and on behalf of ORTC.

Old Republic Title Company

By: _____
Its: _____
Date: _____

*Recording Requested by and
Please Return to:*

City Clerk
City of Lathrop
390 Towne Centre Drive
Lathrop, California 95330

*This Instrument Benefits City Only.
No Fee Required.*

This Space Above for Recorder's Use Only

**IRREVOCABLE OFFER OF DEDICATION OF EASEMENT
FOR PUBLIC ROADWAY PURPOSES AND PUBLIC UTILITY EASEMENT
(TRACT 3997 – OFFSITE ROADWAY DEDICATION – NORBECK STREET,
GARDEN FARMS AVENUE & BOSCH AVENUE)**

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, RIVER ISLANDS DEVELOPMENT, LLC, a California limited liability company, hereby grant(s) to the CITY OF LATHROP, a municipal corporation in the County of San Joaquin, State of California, an easement for ingress, egress and road purposes, and a public utility easement (PUE), over and across the hereinafter described real property situated in City of Lathrop and more particularly described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

This Offer of Dedication is made pursuant to Section 7050 of the Government Code of the State of California, and may be accepted at any time by the City Engineer of the City of Lathrop. This Offer of Dedication may be terminated, and right to accept such offer abandoned in the same manner as is prescribed for the vacation of streets or highways by Part 3 of Division 9, or Chapter 2 of Division 2 of the Streets and Highways Code of the State of California, whichever is applicable.

The above described easement is to be kept open, clear and free from buildings and structures of any kind. This Offer of Dedication shall be irrevocable and shall be binding on the Grantor's heirs, executors, administrators, successors and assigns.

SIGNATURES:

Signed this _____ day of _____, 2019.

RIVER ISLANDS DEVELOPMENT, LLC,
a California limited liability company

By: _____
Susan Dell'Osso, President

EXHIBIT "A"
LEGAL DESCRIPTION
OFFSITE ROADWAY DEDICATION AND ADJACENT PUBLIC UTILITY EASEMENT
(NORBECK STREET, GARDEN FARMS AVENUE & BOSCH AVENUE)

(See Attached)

EXHIBIT A
LEGAL DESCRIPTION
IRREVOCABLE OFFER OF DEDICATION FOR RIGHT-OF-WAY PURPOSES
TRACT 3997 - VILLAGE Y
OFFSITE ROADWAY DEDICATION
NORBECK STREET, GARDEN FARMS AVENUE AND BOSCH AVENUE
RIVER ISLANDS
LATHROP, CALIFORNIA

CERTAIN REAL PROPERTY SITUATE IN THE CITY OF LATHROP, COUNTY OF SAN JOAQUIN, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

BEING A PORTION OF PARCELS 14 AND 15, AS SAID PARCELS ARE SHOWN ON THAT CERTAIN MAP ENTITLED "TRACT 3908, RIVER ISLANDS, STAGE 2A, LARGE LOT FINAL MAP", FILED SEPTEMBER 20, 2018, IN BOOK 43 OF MAPS AND PLATS, AT PAGE 52, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL ONE (ROADWAY EASEMENT):

BEGINNING AT A POINT ON THE SOUTHWESTERN LINE OF SAID PARCEL 15, SAID POINT ALSO BEING ON THE NORTHEASTERN LINE OF RIVER ISLANDS PARKWAY, AT THE EASTERLY TERMINUS OF COURSE L183, LABELED AS "NORTH 68°39'11" WEST 61.05 FEET", ALL AS SHOWN ON SHEET 16 OF SAID MAP OF TRACT 3908;

THENCE, LEAVING SAID POINT OF BEGINNING, ALONG THE SOUTHWESTERN AND NORTHWESTERN LINE OF SAID PARCEL 15, RESPECTIVELY, AS SHOWN ON SAID MAP, THE FOLLOWING THREE (3) COURSES:

- 1) NORTH 68°39'11" WEST 61.05 FEET,
- 2) ALONG A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 780.00 FEET, FROM WHICH THE CENTER OF SAID CURVE BEARS SOUTH 58°24'39" EAST, THROUGH A CENTRAL ANGLE OF 09°05'02", AN ARC DISTANCE OF 123.66 FEET, AND
- 3) NORTH 40°40'23" EAST 213.12 FEET TO AN ANGLE POINT THEREIN;

THENCE, LEAVING SAID NORTHERN LINE, NORTH 42°22'52" EAST 90.99 FEET;

THENCE, SOUTH 47°37'08" EAST 105.90 FEET;

THENCE, ALONG A TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 2,636.00 FEET, THROUGH A CENTRAL ANGLE OF 13°09'27", AN ARC DISTANCE OF 605.34 FEET TO AN ANGLE POINT IN THE SOUTHEASTERN LINE OF SAID PARCEL 15, SAID ANGLE POINT ALSO BEING THE WESTERN TERMINUS OF COURSE L181, ALL AS SHOWN ON SAID MAP;

THENCE, ALONG SAID SOUTHEASTERN LINE, SOUTH 78°48'17" EAST 34.95 FEET;

THENCE, LEAVING SAID SOUTHEASTERN LINE, SOUTH 28°03'54" EAST 66.26 FEET;

THENCE, SOUTH 12°26'44" WEST 34.99 FEET;

THENCE, ALONG A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 2,630.00 FEET, FROM WHICH THE CENTER OF SAID CURVE BEARS SOUTH 58°02'21" WEST, THROUGH A CENTRAL ANGLE OF 02°25'39", AN ARC DISTANCE OF 111.43 FEET;

THENCE, SOUTH 29°32'00" EAST 417.35 FEET;

THENCE, SOUTH 74°32'00" EAST 35.36 FEET;

THENCE, SOUTH 29°32'00" EAST 60.00 FEET TO THE SOUTHEASTERN LINE OF SAID PARCEL 14, AS SHOWN ON SAID MAP, BEING THE NORTHERN TERMINUS OF COURSE L195, LABELED AS "NORTH 15°28'00" EAST 35.36 FEET", ALL AS SHOWN ON SHEET 16 OF SAID MAP;

THENCE, ALONG THE SOUTHEASTERN AND SOUTHWESTERN LINE OF SAID PARCEL 14, RESPECTIVELY, AS SHOWN ON SAID MAP, THE FOLLOWING EIGHTEEN (18) COURSES;

- 1) SOUTH 15°28'00" WEST 35.36 FEET,
- 2) SOUTH 60°28'00" WEST 60.00 FEET,
- 3) SOUTH 74°32'00" WEST 35.36 FEET,
- 4) SOUTH 60°28'00" WEST 214.00 FEET,
- 5) ALONG A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 87.00 FEET, THROUGH A CENTRAL ANGLE OF 15°12'13", AN ARC DISTANCE OF 23.09 FEET,
- 6) ALONG A REVERSE CURVE TO THE RIGHT, HAVING A RADIUS OF 113.00 FEET, THROUGH A CENTRAL ANGLE OF 15°12'13", AN ARC DISTANCE OF 29.98 FEET,
- 7) SOUTH 60°28'00" WEST 85.55 FEET,
- 8) NORTH 29°32'00" WEST 74.00 FEET,
- 9) NORTH 60°28'00" EAST 85.55 FEET,
- 10) ALONG A TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 113.00 FEET, THROUGH A CENTRAL ANGLE OF 15°12'13", AN ARC DISTANCE OF 29.98 FEET
- 11) ALONG A REVERSE CURVE TO THE LEFT, HAVING A RADIUS OF 87.00 FEET, THROUGH A CENTRAL ANGLE OF 15°12'13", AN ARC DISTANCE OF 23.09 FEET,
- 12) NORTH 60°28'00" EAST 214.00 FEET,
- 13) NORTH 15°28'00" EAST 35.36 FEET,
- 14) NORTH 29°32'00" WEST 417.35 FEET,
- 15) ALONG A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 2,570.00 FEET, THROUGH A CENTRAL ANGLE OF 02°22'34", AN ARC DISTANCE OF 106.58 FEET,
- 16) NORTH 77°31'43" WEST 35.74 FEET,
- 17) NORTH 33°08'53" WEST 60.00 FEET, AND
- 18) NORTH 11°13'59" EAST 35.74 FEET TO THE SOUTHWESTERN CORNER OF SAID PARCEL 15, AS SHOWN ON SAID MAP,

THENCE ALONG THE SOUTHWESTERN LINE OF SAID PARCEL 15, THE FOLLOWING FIVE (5) COURSES:

- 1) ALONG A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 2,570.00 FEET, FROM WHICH THE CENTER OF SAID CURVE BEARS SOUTH 55°36'50" WEST, THROUGH A CENTRAL ANGLE OF 13°13'58", AN ARC DISTANCE OF 593.56 FEET,
- 2) NORTH 47°37'08" WEST 21.62 FEET,
- 3) SOUTH 86°31'38" WEST 34.82 FEET,
- 4) SOUTH 40°40'23" WEST 211.33 FEET, AND
- 5) ALONG A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 720.00 FEET, THROUGH A CENTRAL ANGLE OF 08°13'12", AN ARC DISTANCE OF 103.30 FEET TO SAID POINT OF BEGINNING.

CONTAINING 3.32 ACRES, MORE OR LESS.

EXHIBIT A
IRREVOCABLE OFFER OF DEDICATION
FOR OFF-SITE ROADWAY PURPOSES
FOR TRACT 3997- VILLAGE Y

NOVEMBER 1, 2018
JN 25502

ATTACHED HERETO IS A PLAT TO ACCOMPANY LEGAL DESCRIPTION, AND BY THIS
REFERENCE MADE A PART HEREOF.

END OF DESCRIPTION

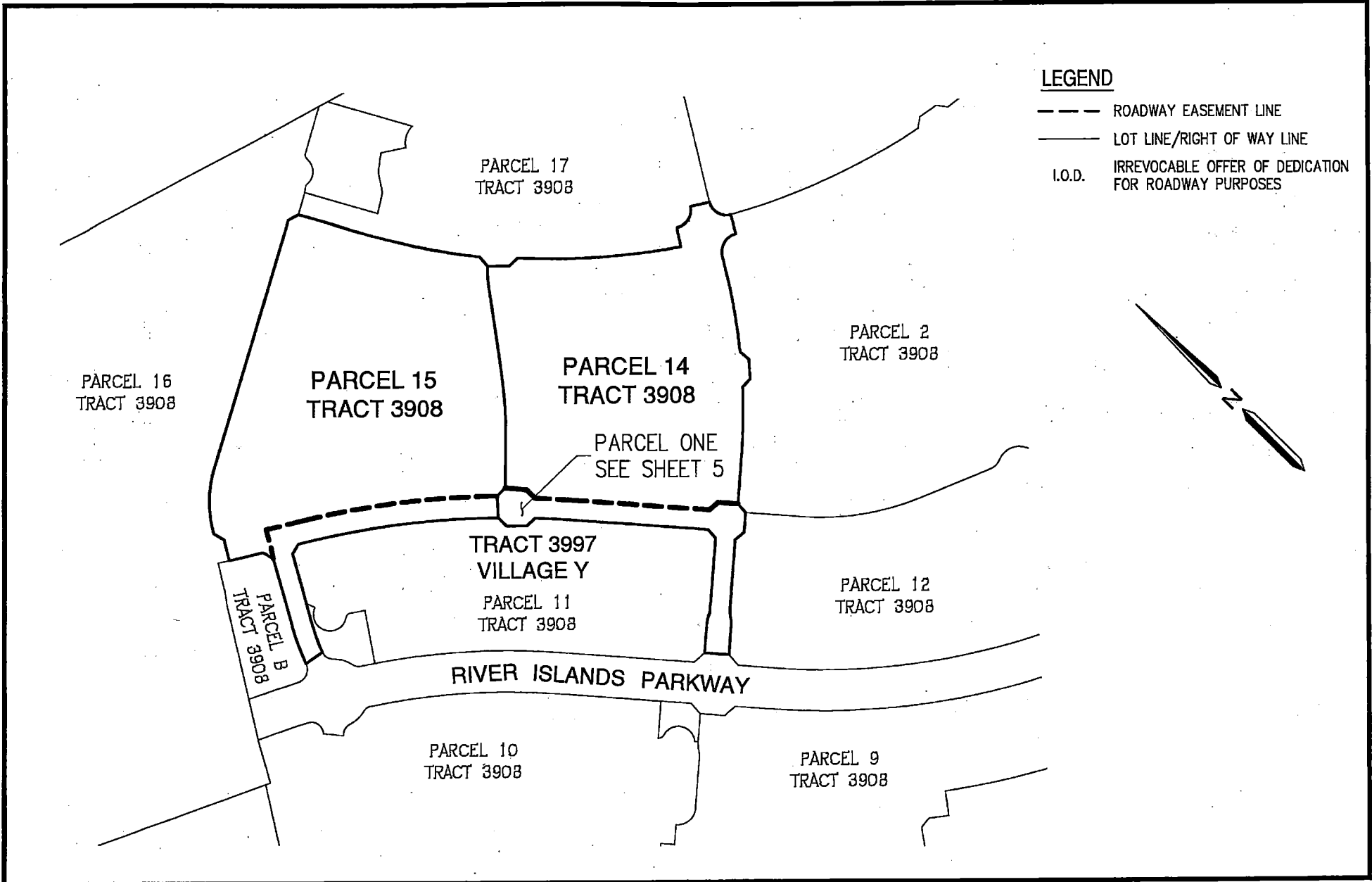
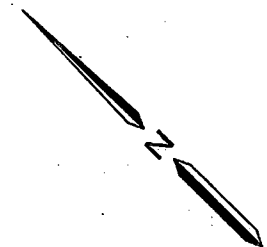
Paul Kittredge
PAUL KITTREDGE
PROFESSIONAL LAND SURVEYOR
CALIFORNIA NO. 5790

11/1/18
DATE



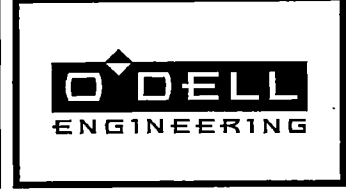
LEGEND

- ROADWAY EASEMENT LINE
- LOT LINE/RIGHT OF WAY LINE
- I.O.D. IRREVOCABLE OFFER OF DEDICATION FOR ROADWAY PURPOSES



SCALE: 1" = 400'	
DRAWN BY: BK	
FILE:	
DATE: 09/28/2018	SHEET: 4 OF 6

EXHIBIT A
RIVER ISLANDS - STAGE 2A, VILLAGE Y
 TRACT 3997- OFFSITE ROADWAY EASEMENT
 IRREVOCABLE OFFER OF DEDICATION
 NORBECK STREET, GARDEN FARMS AVENUE AND BOSCH AVENUE
 CITY OF LATHROP
 SAN JOAQUIN COUNTY
 CALIFORNIA

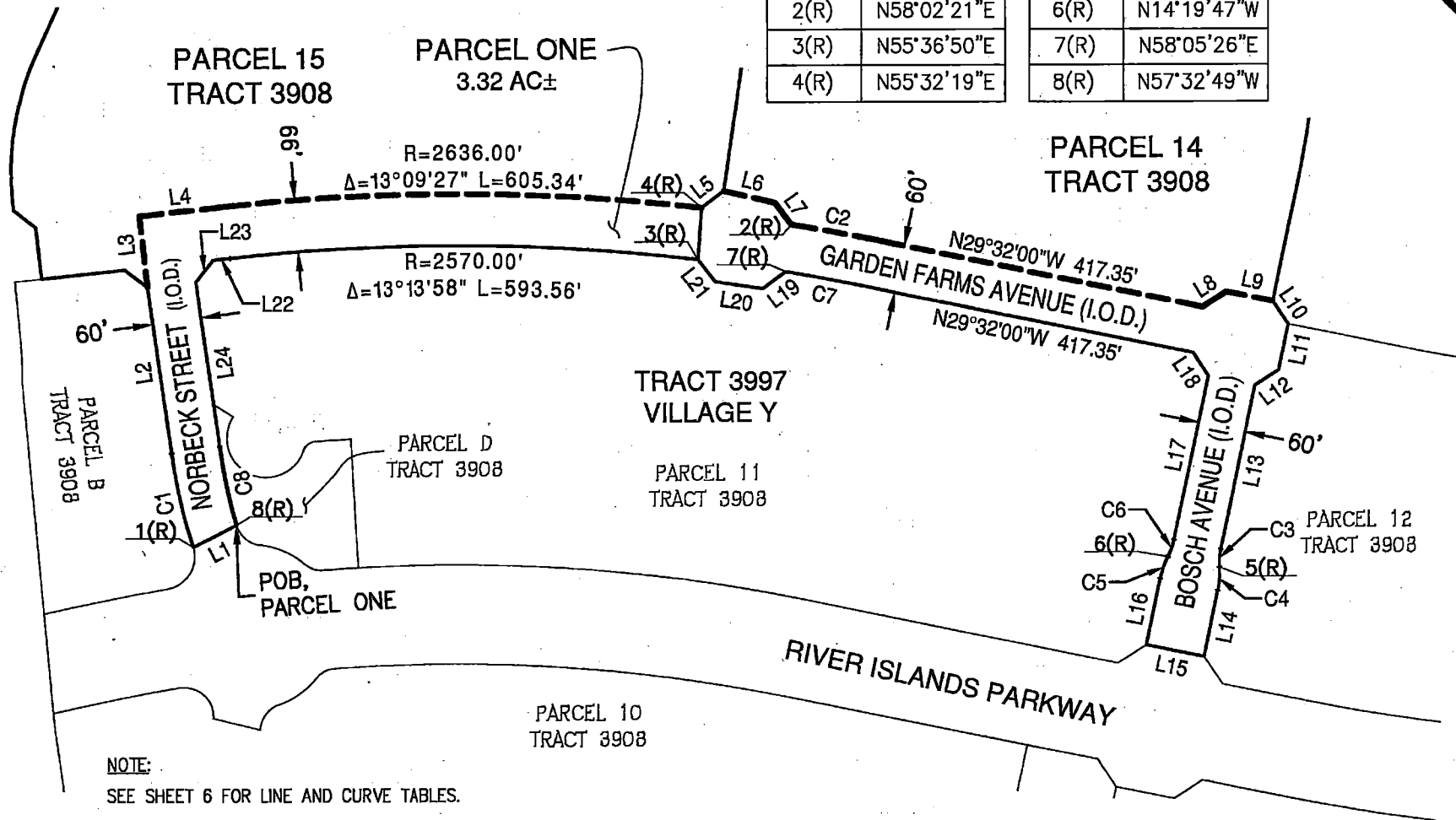
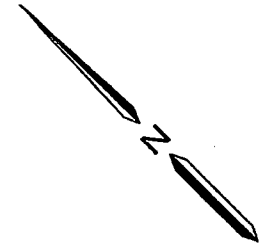


LEGEND

- ROADWAY EASEMENT LINE
- LOT LINE/RIGHT OF WAY LINE
- I.O.D. IRREVOCABLE OFFER OF DEDICATION FOR ROADWAY PURPOSES

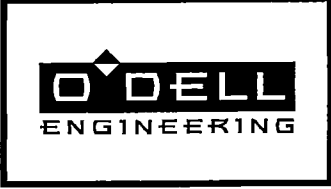
RADIAL BEARINGS	
LINE #	DIRECTION
1(R)	N58°24'39"W
2(R)	N58°02'21"E
3(R)	N55°36'50"E
4(R)	N55°32'19"E

RADIAL BEARINGS	
LINE #	DIRECTION
5(R)	N44°44'13"W
6(R)	N14°19'47"W
7(R)	N58°05'26"E
8(R)	N57°32'49"W



SCALE: 1" = 200'	
DRAWN BY: BK	
FILE:	
DATE: 09/28/2018	SHEET: 5 OF 6

EXHIBIT A
RIVER ISLANDS - STAGE 2A, VILLAGE Y
 TRACT 3997- OFFSITE ROADWAY EASEMENT
 IRREVOCABLE OFFER OF DEDICATION
 NORBECK STREET, GARDEN FARMS AVENUE AND BOSCH AVENUE
 CITY OF LATHROP SAN JOAQUIN COUNTY CALIFORNIA



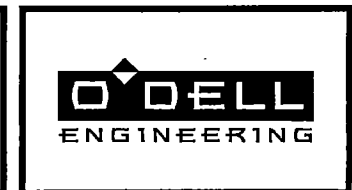
CURVE TABLE			
CURVE #	RADIUS	DELTA	LENGTH
C1	780.00'	9°05'02"	123.66'
C2	2630.00'	2°25'39"	111.43'
C3	87.00'	15°12'13"	23.09'
C4	113.00'	15°12'13"	29.98'
C5	113.00'	15°12'13"	29.98'
C6	87.00'	15°12'13"	23.09'
C7	2570.00'	2°22'34"	106.58'
C8	720.00'	8°13'12"	103.30'

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	N68°39'11"W	61.05'
L2	N40°40'23"E	213.12'
L3	N42°22'52"E	90.99'
L4	N47°37'08"W	105.90'
L5	N78°48'17"W	34.95'
L6	N28°03'54"W	66.26'
L7	N12°26'44"E	34.99'
L8	N74°32'00"W	35.36'
L9	N29°32'00"W	60.00'
L10	N15°28'00"E	35.36'
L11	N60°28'00"E	60.00'
L12	N74°32'00"W	35.36'

LINE TABLE		
LINE #	DIRECTION	LENGTH
L13	N60°28'00"E	214.00'
L14	N60°28'00"E	85.55'
L15	N29°32'00"W	74.00'
L16	N60°28'00"E	85.55'
L17	N60°28'00"E	214.00'
L18	N15°28'00"E	35.36'
L19	N77°31'43"W	35.74'
L20	N33°08'53"W	60.00'
L21	N11°13'59"E	35.74'
L22	N47°37'08"W	21.62'
L23	N86°31'38"E	34.82'
L24	N40°40'23"E	211.33'

SCALE: 1" = 200'	
DRAWN BY: BK	
FILE:	
DATE: 09/28/2018	SHEET: 6 OF 6

EXHIBIT A
RIVER ISLANDS - STAGE 2A, VILLAGE Y
 TRACT 3997- OFFSITE ROADWAY EASEMENT
 IRREVOCABLE OFFER OF DEDICATION
 NORBECK STREET, GARDEN FARMS AVENUE AND BOSCH AVENUE
 CITY OF LATHROP SAN JOAQUIN COUNTY CALIFORNIA



ITEM: **APPROVE TASK ORDER NO. 2 TO THE MASTER CONSULTANT AGREEMENT WITH VALI COOPER AND ASSOCIATES, INC. TO PROVIDE CONSTRUCTION INSPECTION SERVICES FOR RIVER ISLANDS DEVELOPMENT**

RECOMMENDATION: **Adopt a Resolution Approving Task Order No. 2 to the Master Consultant Agreement with Vali Cooper & Associates, Inc. to provide Construction Inspection Services for River Islands Development Stage 2A and 2B Improvements and Associated Budget Amendment**

SUMMARY:

Staff requested Council to approve task order No. 2 for Inspection services with Vali Cooper and Associates, Inc. (VCA) to assist the City with construction inspection services for the River Islands Development Stage 2A and 2B improvements, including Backbone Streets, River Islands Parkway and Street A improvements and associated budget ammendment.

BACKGROUND:

On July 9, 2018, City Council approved a Master Agreement with Vali Cooper and Associates, Inc. (VCA) for construction inspection services for the River Islands Development Project. Construction inspection services are needed to oversee construction of public improvements for 1,182 homes to be built within the River Islands Development Stage 2A and 2B areas. Staff is approving improvement plans for construction as the project continues to move forward. City staff recommends City Council approve Task Order No. 2 for construction inspection services with VCA to enable the project to move forward and associated budget amendment.

The cost for Task Order No. 2 is \$330,200 and is fully funded by inspection fees collected from the developer. Staff is requesting City Council adopt a resolution approving Task Orders No. 2 with VCA to provide construction inspection services for the River Islands Development Stage 2A and 2B improvements as follows.

Improvements	Costs
2A - Street A Improvements	\$ 30,050
2A - Backbone Improvements	\$ 90,150
2A - River Islands Parkways	\$ 210,000
Total for Task Order 2	\$ 330,200

CITY MANAGER'S REPORT

April 8, 2019 CITY COUNCIL REGULAR MEETING

**APPROVE TASK ORDER NO. 2 WITH VALI COOPER AND ASSOCIATES, INC.
TO PROVIDE CONSTRUCTION INSPECTION SERVICES FOR RIVER ISLANDS
STAGE 2A AND 2B IMPROVEMENTS AND ASSOCIATED BUDGET
AMENDMENT**

REASON FOR RECOMMENDATION:

Project furthers the City Council strategic goal of Economic Growth through residential development.

FISCAL IMPACT:

Funds approved in the Construction Management budget for 2018-2019 fiscal year is insufficient to cover Task Order 2 inspection services for River Islands Development. The proposed Task Order No. 2 will be fully funded by inspection fees collected from the River Islands Development, Stage 2A and 2B improvements.

Staff requests the following budget amendment

Increase Revenue	
RI Inspection Fees	
1010-50-03-341-02-09	\$330,200
Increase Appropriations	
RI Professional Services	
1010-50-03-420-01-02	\$330,200

ATTACHMENTS:

- A. Resolution Approving Task Order No. 2 and with Vali Cooper and Associates, Inc., to provide Construction inspection Services for River Islands Development Stage 2A and 2B Improvements.
- B. Task Order No. 2 to the Master Agreement between the City of Lathrop and Vali Cooper and Associates Inc.

**CITY MANAGER'S REPORT
April 8, 2019 CITY COUNCIL REGULAR MEETING
APPROVE TASK ORDER NO. 2 WITH VALI COOPER AND ASSOCIATES, INC.
TO PROVIDE CONSTRUCTION INSPECTION SERVICES FOR RIVER ISLANDS
STAGE 2A AND 2B IMPROVEMENTS AND ASSOCIATED BUDGET
AMENDMENT**

APPROVALS:



Ken Reed
Senior Construction Manager

3-28-2019

Date

For



Michael King
Assistant Public Works Director

3/28/19

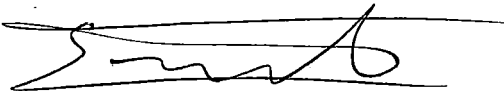
Date



Cari James
Director of Finance

3/28/19

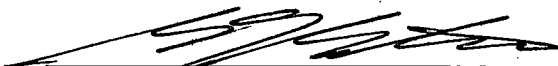
Date



Salvador Navarrete
City Attorney

3-28-19

Date



Stephen J. Salvatore
City Manager

4-2-19

Date

The foregoing resolution was passed and adopted this 8th day of April, 2019, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Sonny Dhaliwal, Mayor

ATTEST:

Teresa Vargas, City Clerk

APPROVED AS TO FORM:



Salvador Navarrete, City Attorney

**CITY OF LATHROP
TASK ORDER NO. 2**

**PURSUANT TO MASTER CONSULTING AGREEMENT DATED
JULY 9, 2018 WITH VALI COOPER AND ASSOCIATES, INC. TO
PROVIDE CONSTRUCTION INSPECTIONS SERVICES AT RIVER
ISLANDS DEVELOPMENT AREA**

THIS TASK ORDER NO. 2, dated for convenience this **8th day of April 2019** is by and made and entered into by and between **Vali Cooper & Associates, INC.** ("CONSULTANT") and the CITY OF LATHROP, a California municipal corporation ("CITY");

RECITALS:

WHEREAS, on July 9, 2018, CONSULTANT entered into a Master Agreement and Task Order No. 1 ("AGREEMENT") with the CITY, by which the CONSULTANT has agreed to provide **Construction Inspection Services at the River Islands Development area**; and

WHEREAS, CONSULTANT is specially trained, experienced, and competent to perform Construction Inspection Services, which are required by this agreement; and

WHEREAS, CITY selected the CONSULTANT pursuant to said qualifications; and

WHEREAS, CONSULTANT is willing to render such CONSTRUCTION INSPECTION SERVICES, as hereinafter defined, on the following terms and conditions;

NOW, THEREFORE, CONSULTANT and the CITY agree as follows:

AGREEMENT

(1) **Incorporation Of Master Agreement**

This Task Order No. 2 hereby incorporates by reference all terms and conditions set forth in the Master Agreement for Construction Inspection Services for the River Islands Development project, unless specifically modified by this Task Order.

(2) **Scope of Service**

CONSULTANT agrees to perform Construction Inspection Services in accordance with the scope of work and fee proposal provided by CONSULTANT, attached hereto as Exhibit "A" and incorporated herein by reference. CONSULTANT agrees to diligently perform these services in accordance with the upmost standards of its profession and to CITY'S satisfaction.

CITY OF LATHROP – TASK ORDER NO. 2 WITH VALI COOPER AND ASSOCIATES, INC. FOR CONSTRUCTION INSPECTIONS SERVICES AT RIVER ISLANDS DEVELOPMENT AREA

(3) **Effective Date and Term.**

The effective date of this **Task Order No. 2** is **April 8, 2019**, and it shall terminate no later than **June 30, 2020**.

(4) **Compensation**

CITY hereby agrees to pay CONSULTANT hourly rates and other charges not to exceed **\$330,200** for the CONSTRUCTION INSPECTION SERVICES as described in Exhibit A of Task Order No. 1 pursuant to the Master Agreement dated, July 9, 2018. CONSULTANT shall be paid any uncontested sum due and payable within thirty (30) days of receipt of billings containing all information pursuant to Paragraph 5 below. Compensation for any task must be equal to or less than the percentage of task complete. In no event shall CONSULTANT be entitled to compensation beyond what is expressed in this agreement and Exhibit "A", unless City has authorized representative has executed a written change order or authorization describing the extra work and payment terms prior to the commencement of the work.

(5) **Notice to Proceed**

Prior to commencing work under this agreement, CONSULTANT shall receive a written "Notice to Proceed" from CITY. A Notice to Proceed shall not be issued until all necessary bonds and insurance have been received. City shall not be obligated to pay CONSULTANT for any services prior to issuance of the Notice to Proceed.

(6) **Signatures**

The individuals executing this Agreement represent and warrant that they have the right, power, legal capacity, and authority to enter into and to execute this Agreement on behalf of the respective legal entities of the CONSULTANT and the CITY. This agreement shall inure to the benefit of and be binding upon the parties hereto and their respective successors and assigns.

CITY OF LATHROP – TASK ORDER NO. 2 WITH VALI COOPER AND ASSOCIATES, INC. FOR CONSTRUCTION INSPECTIONS SERVICES AT RIVER ISLANDS DEVELOPMENT AREA

Approved as to Form:

City of Lathrop
City Attorney



Salvador Navarrete

4-3-19

Date

Recommended for Approval:

City of Lathrop
Assistant Public Works Director

Michael King

Date

Accepted By:
Reso No

City of Lathrop
390 Towne Centre Drive
Lathrop, CA 95330

Stephen J. Salvatore
City Manager

Date

CONSULTANT:

Vali Cooper & Associates, Inc.
Lincoln Leaman
1760 Creekside Oaks Drive, Suite 290
Sacramento, Ca 95833

Fed ID # _____

Bus License # _____

Signature

Date

(Print Name and title)



VALI COOPER & ASSOCIATES, INC.
CONSTRUCTION & PROGRAM MANAGEMENT

City of Lathrop
River Islands, Stage 2A
Inspection Scope and Fee
Task Order #2

Date: April 2, 2019

Scope of Services: Perform inspection for installations of backbone utilities and top side improvements as directed by City of Lathrop and in accordance with Task Order #2 to Master Agreement dated 07/09/18.

- There is no overtime included for this project.
- No Haz-mat training or equipment included in this proposal.
- Hourly rates include all standard inspection and safety equipment, cell phones, computers, and other small incidentals.
- This is a Prevailing Wage project and all field inspectors will be paid in accordance with the prevailing wage rate established for the contract this work is performed under. Prevailing Wage Rates are based on DIR Prevailing Wage Determination per existing contract RFP date.
- Overtime Rates: Overtime is paid per State requirements, which generally requires payment of overtime (1.5 times hourly rate) to non-exempt employees for any hours in excess of eight (8) hours per day or forty (40) hours per week, and double time for any hours in excess of twelve (12) hours per day or work on Sunday or holidays.
- All costs for field office space, field office equipment, and technical field equipment will be billed and reimbursed at the actual lease/rental rates, with no mark-up. Cost for materials such as prints, film, developing, extensive copying, (ie. items that will become property of the client at the end of the project) and will be billed and reimbursed at the actual cost, with 5% mark-up.
- This proposal is an extension of our existing contract and proposal. All terms/conditions therein are included herein by reference.
- Breakdown of fee on following page, as provided by City of Lathrop.



VALI COOPER & ASSOCIATES, INC.
CONSTRUCTION & PROGRAM MANAGEMENT

City of Lathrop
River Islands, Stage 2A
Inspection Scope and Fee
Task Order #2

Improvements	Costs
2A - Street A Improvements	\$ 30,050
2A - Backbone Improvements	\$ 90,150
2A - River Islands Parkways	\$ 210,000
Total for Task Order 2	\$ 330,200

Lincoln Leaman, PE

Vice President

Vali Cooper & Associates

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**CITY MANAGER'S REPORT
APRIL 8, 2019, CITY COUNCIL REGULAR MEETING**

ITEM: ACCEPTANCE OF RIVER ISLANDS PUBLIC IMPROVEMENTS FOR TRACTS 3836, 3837, 3838, 3912, 3913, 3914 AND 3938

RECOMMENDATION: Adopt Resolution Accepting River Islands Public Improvements for Tracts 3836, 3837, 3838, 3912, 3913, 3914 and 3938

SUMMARY:

River Island Development, LLC (RID), has completed construction of the public improvements listed in the GASB 34 reports (Attachment "C") for Tracts 3836, 3837, 3838, 3912, 3913, 3914 and 3938 ("Tracts") in accordance with their Subdivision Improvement Agreements (SIA). These improvements have been inspected by the City Engineer and have been deemed complete. The cost to maintain these public improvements will be covered through a combination of the existing City of Lathrop (City) and RIPFA Community Facilities Districts (CFDs).

One-year maintenance bonds, based on 10% of the construction costs per tract have been provided. Staff recommends City Council accept the public improvements for the Tracts for maintenance.

BACKGROUND:

Vesting Tentative Map (VTM) 3694 was approved by City Council on March 27, 2007, and amended on June 1, 2015, with updated conditions of approval. The Tracts, as proposed by RID, the Subdivider, complies with the amended conditions of approval of VTM 3694.

The land for the Tracts are within the geographic boundaries of Vesting Tentative Map (VTM) 3694 (Phase 1B), which included a Neighborhood Design Plan, Architectural Guidelines, Design Standards (AG/DS) and Parks Master Plan for the East Village neighborhood located west of the CSRB neighborhood with RID.

The following public facilities will be maintained by the City:

1. Streets (asphalt, sidewalks, striping and signage)
2. Utilities (water, sewer and storm)

As required by the City's subdivision ordinance, all final maps included a SIA to guarantee certain public improvements associated with the final map. The public improvements listed in Attachment C for the Tracts are complete.

APRIL 8, 2019, CITY COUNCIL REGULAR MEETING

ACCEPTANCE OF PUBLIC IMPROVEMENTS FOR TRACTS 3836, 3837, 3838 3912, 3913, 3914, AND 3938

The following table is included to provide reference information for future inquires for these tracts. City Council's acceptance date for resolutions corresponding to each tract's final map, village letter, total number of lots, maintenance bond number and bond amount are provided for this reason.

Village and Final Map Tract No.	Council Acceptance Date	Resolution #	Tracts Included	No. of Lots	Maintenance Bond # & Amount
Village O/3836	1/23/2017	17-4175	3836	26	681492/\$324,600
	1/29/2018	18-4434	3912	25	
	4/13/2018	18-4337	3913	24	
	8/13/2018	18-4383	3914	26	
Village P/3837	1/23/2017	18-4361	3837	46	757324/\$141,700
Village Q/3838	4/6/2017	17-4313	3838	39	681502/\$489,800
	10/8/2018	18-4459	3938	38	

REASON FOR RECOMMENDATION:

The City Engineer has inspected the Tracts and confirmed that the improvements listed in Attachment C have been completed in accordance with City specifications. Developer will submit a lien release for the improvements being accepted. Staff has received the one-year maintenance bonds and AutoCAD files for said improvements. Staff recommends accepting the improvements identified in Attachment C for the Tracts in order for the City to provide maintenance.

FISCAL IMPACT:

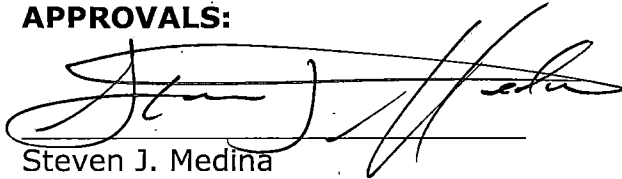
The City's maintenance costs will increase because of the additional improvements that have to be maintained. The one-year maintenance bonds cover repairs or replacements which may become necessary during the one-year period because of defective materials or workmanship in connection with the completed improvements. The City's Service Maintenance CFD 13-1 has been established to further fund City maintenance and operating costs. The developer is responsible for maintenance costs for the first year. The estimated revenues and appropriation will therefore be included in the Fiscal Year 19-20 budget. Maintenance costs that are the responsibility of RIPFA or RD 2062 will be funded by the RIPFA CFD 2013-1 and by direct assessments by RD 2062.

ATTACHMENTS:

- A. Resolution Accepting River Islands Public Improvements for Tracts 3836, 3837, 3838, 3912, 3913, 3914, and 3938
- B. Location Map
- C. GASB 34 Reports

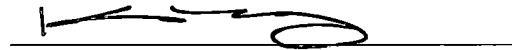
CITY MANAGER'S REPORT
APRIL 8, 2019, CITY COUNCIL REGULAR MEETING
ACCEPTANCE OF PUBLIC IMPROVEMENTS FOR TRACTS 3836, 3837, 3838
3912, 3913, 3914, AND 3938

APPROVALS:

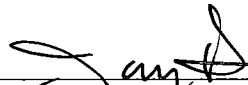


Steven J. Medina
Assistant Engineer

4/1/19
Date


Michael King
Assistant Director of Public Works

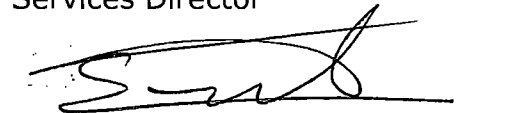
4-1-19
Date

For 
Glenn Gebhardt
City Engineer

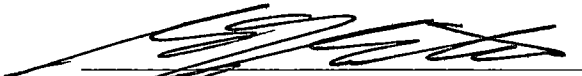
4-3-19
Date

for 
Cari James
Finance & Administrative
Services Director

4.3.19
Date


Salvador Navarrete
City Attorney

4-3-19
Date


Stephen J. Salvatore
City Manager

4.3.19
Date

RESOLUTION NO. 19-

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP ACCEPTING RIVER ISLANDS PUBLIC IMPROVEMENTS FOR TRACTS 3836, 3837, 3838, 3912, 3913, 3914, AND 3938

WHEREAS, on March 27, 2007, the City Council approved Vesting Tentative Map No. 3694 (VTM 3694) with Conditions of Approval for a residential and commercial development that is consistent with the West Lathrop Specific Plan (WLSP) and the River Islands Urban Design Concept (UDC); and

WHEREAS, the land for the 3836, 3837, 3838, 3912, 3913, 3914, and 3938 ("Tracts") are within the geographic boundaries of Vesting Tentative Map (VTM) 3694 (Phase 1B), which included a Neighborhood Design Plan, Architectural Guidelines, Design Standards (AG/DS) and Parks Master Plan for the East Village neighborhood located west of the CSRB neighborhood with River Islands Development, LLC (RID); and

WHEREAS, as required by the subdivision ordinance, all final maps included a Subdivision Improvement Agreements (SIA) to guarantee certain public improvements associated with the final map; and

WHEREAS, the public improvements for the Tracts listed on Attachment C to the staff report dated April 8, 2019, have been inspected by the City Engineer and deemed complete; and

WHEREAS, the cost to maintain these public improvements will be covered through a combination of the existing City, River Islands Public Financing Authority (RIPFA) Community Facilities Districts (CFDs) and direct assessments by RD 2062; and

WHEREAS, one-year maintenance bonds have been received to secure RID's obligation to maintain all improvements and repair or correct any defective work; and

WHEREAS, staff is recommending the acceptance of public improvements in Attachment C, referenced above, for maintenance as part of the acceptance of the public improvements for the Tracts.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Lathrop approves Public Improvements for Tracts 3836, 3837, 3838, 3912, 3913, 3914, and 3938 in the River Islands Developer at Lathrop.

The foregoing resolution was passed and adopted this 8th day of April, 2019, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSTAIN:

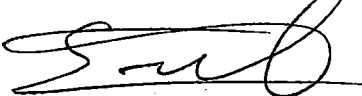
ABSENT:

Sonny Dhaliwal, Mayor

ATTEST:

Teresa Vargas, City Clerk

APPROVED AS TO FORM:



Salvador Navarrete, City Attorney

**CITY OF LATHROP
PROJECT ACCEPTANCE
(GASB 34 REPORT)**

Submitted by: O'Dell EngineeringDate: 3/20/2018Tract No.: River Islands Village O - Tract 3836 (26 Lots)

<u>Item</u>	<u>Unit</u>	<u>Qty</u>	<u>Unit Price</u>	<u>Amount</u>
4.5" AC Paving	SF	6,800	\$ 2.25	\$ 15,300.00
8" Aggregate Base	SF	6,800	\$ 1.20	\$ 8,160.00
Roll Curb and Gutter <i>(With AB Cushion)</i>	LF	460	\$ 15.00	\$ 6,900.00
Concrete Sidewalk	SF	2,300	\$ 5.00	\$ 11,500.00
Driveway Approach	EA	26	\$ 600.00	\$ 15,600.00
Signage & Striping	LF	230	\$ 5.00	\$ 1,150.00
15" Storm Drain Pipe	LF	230	\$ 34.00	\$ 7,820.00
4" Sewer Laterals	EA	26	\$ 600.00	\$ 15,600.00
8" Sanitary Sewer Pipe	LF	230	\$ 28.00	\$ 6,440.00
Sewer Manholes	EA	1	\$ 4,000.00	\$ 4,000.00
8" Water Line <i>(including all appurtenances)</i>	LF	230	\$ 32.00	\$ 7,360.00
1-1/2" Water Services	EA	26	\$ 2,000.00	\$ 52,000.00
8" GV	EA	1	\$ 1,550.00	\$ 1,550.00
	Total			\$ 153,000.00

**CITY OF LATHROP
PROJECT ACCEPTANCE
(GASB 34 REPORT)**

Submitted by: O'Dell Engineering

Date 5/7/2018

Tract No.: River Islands Village P - Tract 3837 (46 Lots)

<u>Item</u>	<u>Unit</u>	<u>Qty</u>	<u>Unit Price</u>	<u>Amount</u>
3" AC Paving	SF	30,700	\$ 1.50	\$ 46,050.00
4.5" AC Paving	SF	39,400	\$ 2.25	\$ 88,650.00
6" Aggregate Base	SF	8,750	\$ 0.90	\$ 7,875.00
7" Aggregate Base	SF	21,950	\$ 1.05	\$ 23,047.50
8" Aggregate Base	SF	39,400	\$ 1.20	\$ 47,280.00
Vertical Curb and Gutter <i>(with AB cushion)</i>	LF	970	\$ 15.00	\$ 14,550.00
Roll Curb and Gutter <i>(with AB cushion)</i>	LF	2,950	\$ 15.00	\$ 44,250.00
Median Vertical Curb <i>(with AB cushion)</i>	LF	180	\$ 18.00	\$ 3,240.00
Valley Gutter <i>(4' wide)</i>	LF	45	\$ 35.00	\$ 1,575.00
Concrete Sidewalk	SF	23,100	\$ 5.00	\$ 115,500.00
Driveway Approach	EA	42	\$ 600.00	\$ 25,200.00
Handicap Ramps	EA	7	\$ 2,500.00	\$ 17,500.00
Survey Monuments	EA	9	\$ 300.00	\$ 2,700.00
Traffic Striping & Signage	LF	1,910	\$ 5.00	\$ 9,550.00
Catch Basins <i>(type A inlet over type I manhole base)</i>	EA	12	\$ 2,800.00	\$ 33,600.00
Catch Basins <i>(type A inlet over type II manhole base)</i>	EA	1	\$ 5,000.00	\$ 5,000.00
15" Storm Drain Pipe	LF	560	\$ 34.00	\$ 19,040.00
18" Storm Drain Pipe	LF	620	\$ 46.00	\$ 28,520.00
24" Storm Drain Pipe	LF	130	\$ 65.00	\$ 8,450.00
36" Storm Drain Pipe	LF	70	\$ 95.00	\$ 6,650.00
42" Storm Drain Pipe	LF	90	\$ 120.00	\$ 10,800.00
Manholes <i>(type I)</i>	EA	1	\$ 3,000.00	\$ 3,000.00
8" Sanitary Sewer Pipe	LF	1,860	\$ 28.00	\$ 52,080.00
Sewer Service	EA	43	\$ 600.00	\$ 25,800.00
Manholes	EA	10	\$ 4,000.00	\$ 40,000.00
8" Water Line, <i>(including all appurtenances)</i>	LF	1,970	\$ 32.00	\$ 63,040.00
1-1/2" Water Services	EA	47	\$ 2,000.00	\$ 94,000.00
Fire Hydrants	EA	4	\$ 4,000.00	\$ 16,000.00
2" Water Service Stub	EA	2	\$ 2,000.00	\$ 4,000.00
Blow Off Valve	EA	2	\$ 4,000.00	\$ 8,000.00
Air Release Valve	EA	2	\$ 2,500.00	\$ 5,000.00
Resilient Valve	EA	10	\$ 1,550.00	\$ 15,500.00
			Total	\$ 885,000.00

**CITY OF LATHROP
PROJECT ACCEPTANCE
(GASB 34 REPORT)**

Submitted by: O'Dell Engineering

Date: 3/21/2018

Tract No.: River Islands Village Q - Tract 3838 (39 Lots)

<u>Item</u>	<u>Unit</u>	<u>Qty</u>	<u>Unit Price</u>	<u>Amount</u>
3" AC Paving	SF	21,300	\$ 1.50	\$ 31,950.00
4.5" AC Paving	SF	34,600	\$ 2.25	\$ 77,850.00
6" Aggregate Base	SF	21,300	\$ 0.90	\$ 19,170.00
8" Aggregate Base	SF	34,600	\$ 1.20	\$ 41,520.00
Vertical Curb and Gutter <i>(With AB Cushion)</i>	LF	400	\$ 15.00	\$ 6,000.00
Roll Curb and Gutter <i>(With AB Cushion)</i>	LF	2,910	\$ 15.00	\$ 43,650.00
Concrete Sidewalk	SF	16,400	\$ 5.00	\$ 82,000.00
Driveway Approach	EA	39	\$ 600.00	\$ 23,400.00
Handicap Ramps	EA	4	\$ 2,500.00	\$ 10,000.00
Signage & Striping	LF	1,580	\$ 5.00	\$ 7,900.00
Survey Monuments	EA	9	\$ 300.00	\$ 2,700.00
Catch Basins <i>(Type A Inlet)</i>	EA	6	\$ 2,400.00	\$ 14,400.00
Catch Basins <i>(Type A Inlet over Type I Manhole Base)</i>	EA	4	\$ 2,800.00	\$ 11,200.00
15" Storm Drain Pipe	LF	890	\$ 34.00	\$ 30,260.00
18" Storm Drain Pipe	LF	260	\$ 46.00	\$ 11,960.00
24" Storm Drain Pipe	LF	220	\$ 65.00	\$ 14,300.00
4" Sewer Laterals	EA	39	\$ 600.00	\$ 23,400.00
8" Sanitary Sewer Pipe	LF	1,510	\$ 28.00	\$ 42,280.00
Sewer Manholes	EA	9	\$ 4,000.00	\$ 36,000.00
8" Water Line <i>(including all appurtenances)</i>	LF	1,650	\$ 32.00	\$ 52,800.00
1-1/2" Water Services	EA	39	\$ 2,000.00	\$ 78,000.00
Fire Hydrants	EA	4	\$ 4,000.00	\$ 16,000.00
Blow Off Valve	EA	2	\$ 4,000.00	\$ 8,000.00
Air Release Valve	EA	2	\$ 2,500.00	\$ 5,000.00
8" Gate Valve	EA	7	\$ 1,550.00	\$ 10,850.00
Total				\$ 701,000.00

**CITY OF LATHROP
PROJECT ACCEPTANCE
(GASB 34 REPORT)**

Submitted by: O'Dell Engineering

Date: 3/20/2018

Tract No.: River Islands Village O - Tract 3912 (25 Lots)

<u>Item</u>	<u>Unit</u>	<u>Qty</u>	<u>Unit Price</u>	<u>Amount</u>
3" AC Paving	SF	10,000	\$ 1.50	\$ 15,000.00
4.5" AC Paving	SF	17,600	\$ 2.25	\$ 39,600.00
7" Aggregate Base	SF	10,000	\$ 1.05	\$ 10,500.00
8" Aggregate Base	SF	17,600	\$ 1.20	\$ 21,120.00
Vertical Curb and Gutter <i>(With AB Cushion)</i>	LF	630	\$ 15.00	\$ 9,450.00
Roll Curb and Gutter <i>(With AB Cushion)</i>	LF	1,010	\$ 15.00	\$ 15,150.00
Concrete Sidewalk	SF	8,200	\$ 5.00	\$ 41,000.00
Driveway Approach	EA	25	\$ 600.00	\$ 15,000.00
Signage & Striping	LF	830	\$ 5.00	\$ 4,150.00
Survey Monuments	EA	2	\$ 300.00	\$ 600.00
Catch Basins <i>(Type A Inlet over Type I Manhole Base)</i>	EA	4	\$ 2,800.00	\$ 11,200.00
15" Storm Drain Pipe	LF	370	\$ 34.00	\$ 12,580.00
4" Sewer Laterals	EA	25	\$ 600.00	\$ 15,000.00
8" Sanitary Sewer Pipe	LF	530	\$ 28.00	\$ 14,840.00
Sewer Manholes	EA	3	\$ 4,000.00	\$ 12,000.00
8" Water Line <i>(including all appurtenances)</i>	LF	840	\$ 32.00	\$ 26,880.00
1-1/2" Water Services	EA	25	\$ 2,000.00	\$ 50,000.00
Fire Hydrants	EA	2	\$ 4,000.00	\$ 8,000.00
8" GV	EA	2	\$ 1,550.00	\$ 3,100.00
			Total	\$ 325,000.00

**CITY OF LATHROP
PROJECT ACCEPTANCE
(GASB 34 REPORT)**

Submitted by: O'Dell Engineering

Date: 3/20/2018

Tract No.: River Islands Village O - Tract 3913 (24 Lots)

<u>Item</u>	<u>Unit</u>	<u>Qty</u>	<u>Unit Price</u>	<u>Amount</u>
3" AC Paving	SF	20,600	\$ 1.50	\$ 30,900.00
4.5" AC Paving	SF	5,800	\$ 2.25	\$ 13,050.00
7" Aggregate Base	SF	20,600	\$ 1.05	\$ 21,630.00
8" Aggregate Base	SF	2,800	\$ 1.20	\$ 3,360.00
Vertical Curb and Gutter <i>(With AB Cushion)</i>	LF	440	\$ 15.00	\$ 6,600.00
Roll Curb and Gutter <i>(With AB Cushion)</i>	LF	1,110	\$ 15.00	\$ 16,650.00
Concrete Sidewalk	SF	7,600	\$ 5.00	\$ 38,000.00
Driveway Approach	EA	24	\$ 600.00	\$ 14,400.00
Handicap Ramps	EA	2	\$ 2,500.00	\$ 5,000.00
Signage & Striping	LF	740	\$ 5.00	\$ 3,700.00
Survey Monuments	EA	3	\$ 300.00	\$ 900.00
Catch Basins <i>(Type A Inlet over Type I Manhole Base)</i>	EA	5	\$ 2,800.00	\$ 14,000.00
15" Storm Drain Pipe	LF	550	\$ 34.00	\$ 18,700.00
24" Storm Drain Pipe	LF	180	\$ 65.00	\$ 11,700.00
Storm Drain Manholes <i>(Type I)</i>	EA	1	\$ 3,000.00	\$ 3,000.00
4" Sewer Laterals	EA	24	\$ 600.00	\$ 14,400.00
8" Sanitary Sewer Pipe	LF	880	\$ 28.00	\$ 24,640.00
Sewer Manholes	EA	3	\$ 4,000.00	\$ 12,000.00
8" Water Line <i>(including all appurtenances)</i>	LF	900	\$ 32.00	\$ 28,800.00
1-1/2" Water Services	EA	24	\$ 2,000.00	\$ 48,000.00
Fire Hydrants	EA	2	\$ 4,000.00	\$ 8,000.00
Water Blow Off Valve	EA	1	\$ 4,000.00	\$ 4,000.00
8" GV	EA	4	\$ 1,550.00	\$ 6,200.00
			Total	\$ 348,000.00

**CITY OF LATHROP
PROJECT ACCEPTANCE
(GASB 34 REPORT)**

Submitted by: O'Dell Engineering

Date: 3/20/2018

Tract No.: River Islands Village O - Tract 3914 (26 Lots)

<u>Item</u>	<u>Unit</u>	<u>Qty</u>	<u>Unit Price</u>	<u>Amount</u>
3" AC Paving	SF	-	\$ 1.50	\$ -
4.5" AC Paving	SF	56,400	\$ 2.25	\$ 126,900.00
7" Aggregate Base	SF	-	\$ 1.05	\$ -
8" Aggregate Base	SF	56,400	\$ 1.20	\$ 67,680.00
Vertical Curb and Gutter <i>(With AB Cushion)</i>	LF	1,680	\$ 15.00	\$ 25,200.00
Roll Curb and Gutter <i>(With AB Cushion)</i>	LF	1,610	\$ 15.00	\$ 24,150.00
Median Vertical Curb <i>(With AB Cushion)</i>	LF	380	\$ 15.00	\$ 5,700.00
Concrete Sidewalk	SF	14,300	\$ 5.00	\$ 71,500.00
Driveway Approach	EA	26	\$ 600.00	\$ 15,600.00
Handicap Ramps	EA	7	\$ 2,500.00	\$ 17,500.00
Signage & Striping	LF	1,180	\$ 5.00	\$ 5,900.00
Survey Monuments	EA	3	\$ 300.00	\$ 900.00
Catch Basins <i>(Type A Inlet over Type I Manhole Base)</i>	EA	8	\$ 2,800.00	\$ 22,400.00
Catch Basins <i>(Type A Inlet over Type II Manhole Base)</i>	EA	2	\$ 5,000.00	\$ 10,000.00
15" Storm Drain Pipe	LF	520	\$ 34.00	\$ 17,680.00
18" Storm Drain Pipe	LF	220	\$ 46.00	\$ 10,120.00
24" Storm Drain Pipe	LF	360	\$ 65.00	\$ 23,400.00
30" Storm Drain Pipe	LF	250	\$ 80.00	\$ 20,000.00
36" Storm Drain Pipe	LF	140	\$ 95.00	\$ 13,300.00
42" Storm Drain Pipe	LF	70	\$ 120.00	\$ 8,400.00
Storm Drain Manholes <i>(Type II)</i>	EA	3	\$ 5,000.00	\$ 15,000.00
4" Sewer Laterals	EA	27	\$ 600.00	\$ 16,200.00
8" Sanitary Sewer Pipe	LF	1,750	\$ 28.00	\$ 49,000.00
Sewer Manholes	EA	8	\$ 4,000.00	\$ 32,000.00
8" Water Line <i>(including all appurtenances)</i>	LF	820	\$ 32.00	\$ 26,240.00
10" Water Line	LF	970	\$ 40.00	\$ 38,800.00
1" Water Services	EA	1	\$ 800.00	\$ 800.00
1-1/2" Water Services	EA	26	\$ 2,000.00	\$ 52,000.00
2" Water Services	EA	2	\$ 2,000.00	\$ 4,000.00
4" Water Service	EA	1	\$ 2,000.00	\$ 2,000.00
Fire Hydrants	EA	3	\$ 4,000.00	\$ 12,000.00
8" GV	EA	10	\$ 1,550.00	\$ 15,500.00
6" Non-Potable Line	LF	12	\$ 35.00	\$ 420.00
16" Non-Potable Line	LF	970	\$ 80.00	\$ 77,600.00
4" Non-Potable Service	EA	1	\$ 2,000.00	\$ 2,000.00
GV	EA	1	\$ 2,500.00	\$ 2,500.00
Butterfly Valve	EA	1	\$ 4,000.00	\$ 4,000.00
			Total	\$ 836,000.00

**CITY OF LATHROP
PROJECT ACCEPTANCE
(GASB 34 REPORT)**

Submitted by: O'Dell Engineering

Date: 3/21/2018

Tract No.: River Islands Village Q - Tract 3938 (38 Lots)

<u>Item</u>	<u>Unit</u>	<u>Qty</u>	<u>Unit Price</u>	<u>Amount</u>
3" AC Paving	SF	27,300	\$ 1.50	\$ 40,950.00
4.5" AC Paving	SF	31,700	\$ 2.25	\$ 71,325.00
6" Aggregate Base	SF	27,300	\$ 0.90	\$ 24,570.00
8" Aggregate Base	SF	31,700	\$ 1.20	\$ 38,040.00
Vertical Curb and Gutter <i>(With AB Cushion)</i>	LF	480	\$ 15.00	\$ 7,200.00
Roll Curb and Gutter <i>(With AB Cushion)</i>	LF	2,920	\$ 15.00	\$ 43,800.00
Concrete Sidewalk	SF	16,900	\$ 5.00	\$ 84,500.00
Driveway Approach	EA	38	\$ 600.00	\$ 22,800.00
Handicap Ramps	EA	6	\$ 2,500.00	\$ 15,000.00
Signage & Striping	LF	1,680	\$ 5.00	\$ 8,400.00
Survey Monuments	EA	17	\$ 300.00	\$ 5,100.00
Catch Basins <i>(Type A Inlet over Type I Manhole Base)</i>	EA	7	\$ 2,800.00	\$ 19,600.00
Catch Basins <i>(Type A Inlet over Type II Manhole Base)</i>	EA	3	\$ 5,000.00	\$ 15,000.00
15" Storm Drain Pipe	LF	170	\$ 34.00	\$ 5,780.00
24" Storm Drain Pipe	LF	710	\$ 65.00	\$ 46,150.00
30" Storm Drain Pipe	LF	230	\$ 80.00	\$ 18,400.00
36" Storm Drain Pipe	LF	250	\$ 95.00	\$ 23,750.00
4" Sewer Laterals	EA	38	\$ 600.00	\$ 22,800.00
8" Sanitary Sewer Pipe	LF	1,740	\$ 28.00	\$ 48,720.00
Sewer Manholes	EA	10	\$ 4,000.00	\$ 40,000.00
8" Water Line <i>(including all appurtenances)</i>	LF	1,740	\$ 32.00	\$ 55,680.00
1-1/2" Water Services	EA	38	\$ 2,000.00	\$ 76,000.00
Fire Hydrants	EA	3	\$ 4,000.00	\$ 12,000.00
Water Sampling Station	EA	1	\$ 3,000.00	\$ 3,000.00
Blow Off Valve	EA	2	\$ 4,000.00	\$ 8,000.00
Air Release Valve	EA	2	\$ 2,500.00	\$ 5,000.00
8" Gate Valve	EA	10	\$ 1,550.00	\$ 15,500.00
Total				\$ 777,000.00

**CITY OF LATHROP
PROJECT ACCEPTANCE
(GASB 34 REPORT)**

Submitted by: O'Dell Engineering

Date: 5/7/2018

Tract No.: River Islands - Phase 1D1 Somerston Parkway North

<u>Item</u>	<u>Unit</u>	<u>Qty</u>	<u>Unit Price</u>	<u>Amount</u>
4.5" AC Paving	SF	45,100	\$ 2.25	\$ 101,475.00
8" Aggregate Base	SF	3,930	\$ 1.20	\$ 4,716.00
10" Aggregate Base	SF	41,200	\$ 1.50	\$ 61,800.00
Roundabout Concrete	SF	1,900	\$ 5.00	\$ 9,500.00
Vertical Curb and Gutter <i>(with AB cushion)</i>	LF	2,200	\$ 15.00	\$ 33,000.00
Type F Median Curb <i>(with AB cushion)</i>	LF	2,200	\$ 18.00	\$ 39,600.00
Concrete Sidewalk	SF	14,500	\$ 5.00	\$ 72,500.00
Handicap Ramps	EA	8	\$ 2,500.00	\$ 20,000.00
Survey Monuments	EA	1	\$ 300.00	\$ 300.00
Traffic Striping & Signage	LF	1,270	\$ 5.00	\$ 6,350.00
Catch Basins <i>(type A inlet over type I manhole base)</i>	EA	6	\$ 2,800.00	\$ 16,800.00
15" Storm Drain Pipe	LF	490	\$ 34.00	\$ 16,660.00
18" Storm Drain Pipe	LF	210	\$ 46.00	\$ 9,660.00
24" Storm Drain Pipe	LF	580	\$ 65.00	\$ 37,700.00
Manholes <i>(type I)</i>	EA	1	\$ 3,000.00	\$ 3,000.00
8" Sanitary Sewer Pipe	LF	1,120	\$ 28.00	\$ 31,360.00
Manholes	EA	4	\$ 4,000.00	\$ 16,000.00
Sanitary Sewer Plug & Stub	EA	3	\$ 1,000.00	\$ 3,000.00
8" Water Line <i>(including all appurtenances)</i>	LF	120	\$ 32.00	\$ 3,840.00
10" Water Line <i>(including all appurtenances)</i>	LF	1,240	\$ 40.00	\$ 49,600.00
Fire Hydrants	EA	3	\$ 4,000.00	\$ 12,000.00
Water Plug & Stub	EA	2	\$ 1,000.00	\$ 2,000.00
Blow Off Valve	EA	2	\$ 4,000.00	\$ 8,000.00
Resilient Valve	EA	8	\$ 1,550.00	\$ 12,400.00
16" Non-Potable Water Line <i>(including all appurtenances)</i>	LF	670	\$ 80.00	\$ 53,600.00
Butterfly Valve	EA	1	\$ 4,000.00	\$ 4,000.00
			Total	\$ 629,000.00

**CITY OF LATHROP
PROJECT ACCEPTANCE
(GASB 34 REPORT)**

Submitted by: O'Dell Engineering

Date: 5/7/2018

Tract No.: River Islands - Dell'Osso Drive

<u>Item</u>	<u>Unit</u>	<u>Qty</u>	<u>Unit Price</u>	<u>Amount</u>
3" AC Paving (<i>pavement trail</i>)	SF	69,000	\$ 1.50	\$ 103,500.00
4.5" AC Paving	SF	182,600	\$ 2.25	\$ 410,850.00
4" Aggregate Base (<i>pavement trail</i>)	SF	69,000	\$ 0.60	\$ 41,400.00
10" Aggregate Base	SF	182,600	\$ 1.50	\$ 273,900.00
Roundabout Concrete	SF	1,900	\$ 5.00	\$ 9,500.00
Vertical Curb and Gutter (<i>with AB cushion</i>)	LF	9,200	\$ 15.00	\$ 138,000.00
Type F Median Curb (<i>with AB cushion</i>)	LF	530	\$ 18.00	\$ 9,540.00
Concrete Sidewalk	SF	72,650	\$ 5.00	\$ 363,250.00
Curb Cut Apron	SF	1,680	\$ 5.50	\$ 9,240.00
Handicap Ramps	EA	24	\$ 2,500.00	\$ 60,000.00
Survey Monuments	EA	11	\$ 300.00	\$ 3,300.00
Traffic Striping & Signing	LF	5,020	\$ 5.00	\$ 25,100.00
Field Inlets (<i>d < 8'</i>)	EA	12	\$ 1,200.00	\$ 14,400.00
Catch Basins (<i>type A inlet over type I manhole base</i>)	EA	2	\$ 2,800.00	\$ 5,600.00
15" Storm Drain Pipe	LF	3,120	\$ 34.00	\$ 106,080.00
18" Storm Drain Pipe	LF	30	\$ 46.00	\$ 1,380.00
Manholes (<i>type I</i>)	EA	2	\$ 3,000.00	\$ 6,000.00
8" Water Line (<i>including all appurtenances</i>)	LF	380	\$ 32.00	\$ 12,160.00
10" Water Line (<i>including all appurtenances</i>)	LF	210	\$ 40.00	\$ 8,400.00
16" Water Line (<i>including all appurtenances</i>)	LF	4,700	\$ 80.00	\$ 376,000.00
20" Water Line (<i>including all appurtenances</i>)	LF	70	\$ 100.00	\$ 7,000.00
Blow Off Valve	EA	10	\$ 4,000.00	\$ 40,000.00
Air Release Valve	EA	1	\$ 2,500.00	\$ 2,500.00
Resilient Valve	EA	16	\$ 1,550.00	\$ 24,800.00
Butterfly Valve	EA	17	\$ 4,000.00	\$ 68,000.00
Fire Hydrants	EA	11	\$ 4,000.00	\$ 44,000.00
Water Service	EA	1	\$ 2,000.00	\$ 2,000.00
1" Water Service Stub	EA	1	\$ 800.00	\$ 800.00
2" Water Service Stub	EA	5	\$ 2,000.00	\$ 10,000.00
3" Water Service Stub	EA	5	\$ 2,000.00	\$ 10,000.00
12" Recycled Water Line (<i>including all appurtenances</i>)	LF	10	\$ 55.00	\$ 550.00
16" Recycled Water Line (<i>including all appurtenances</i>)	LF	2,900	\$ 65.00	\$ 188,500.00
Blow Off Valve	EA	1	\$ 4,000.00	\$ 4,000.00
Air Release Valve	EA	1	\$ 2,500.00	\$ 2,500.00
Butterfly Valve	EA	7	\$ 4,000.00	\$ 28,000.00

8" Non-Potable Water Line <i>(including all appurtenances)</i>	LF	1,200	\$ 35.00	\$ 42,000.00
10" Non-Potable Water Line <i>(including all appurtenances)</i>	LF	60	\$ 45.00	\$ 2,700.00
12" Non-Potable Water Line <i>(including all appurtenances)</i>	LF	50	\$ 50.00	\$ 2,500.00
16" Non-Potable Water Line <i>(including all appurtenances)</i>	LF	3,740	\$ 80.00	\$ 299,200.00
2" Non-Potable Water Service Stub	EA	4	\$ 2,000.00	\$ 8,000.00
3" Non-Potable Water Service Stub	EA	5	\$ 2,000.00	\$ 10,000.00
Blow Off Valve	EA	8	\$ 4,000.00	\$ 32,000.00
Resilient Valve	EA	10	\$ 1,550.00	\$ 15,500.00
Butterfly Valve	EA	14	\$ 4,000.00	\$ 56,000.00
16" Lake Fill Line <i>(including all appurtenances)</i>	LF	2,680	\$ 65.00	\$ 174,200.00
Blow Off Valve	EA	4	\$ 4,000.00	\$ 16,000.00
Butterfly Valve	EA	9	\$ 4,000.00	\$ 36,000.00
			Total	\$ 3,104,000.00

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ITEM: **PUBLIC HEARING (PUBLISHED NOTICE) TO ESTABLISH "CITY OF LATHROP COMMUNITY FACILITIES DISTRICT NO. 2019-1 (SOUTH LATHROP CITY SERVICES)" (THE "CFD") UNDER THE MELLO-ROOS COMMUNITY FACILITIES ACT OF 1982, CONSTITUTING CHAPTER 2.5 OF PART 1 OF DIVISION 2 OF TITLE 5, COMMENCING AT SECTION 53311, OF THE CALIFORNIA GOVERNMENT CODE (THE "ACT")**

RECOMMENDATION: **Council to Consider the Following:**

- 1. Hold a Public Hearing; and**
- 2. Adopt Resolution of Formation of Community Facilities District 2019-1 (South Lathrop City Services);**
- 3. Adopt Resolution Calling for a Special Landowner Election of Community Facilities District No. 2019-1 (South Lathrop City Services);**
- 4. Adopt Resolution Declaring Results of Special Landowner Election and Direct Recording of Notice of Special Tax Lien for Community Facilities District No. 2019-1 (South Lathrop City Services); and**
- 5. First Reading and Introduction of an Ordinance Levying Special Taxes Within Community Facilities District No. 2019-1 (South Lathrop City Services)**

SUMMARY:

As part of their development agreement requirements, master developers are required to submit to the City an analysis of the costs of maintaining public improvements in their development. The purpose of the analysis is to identify annual and periodic costs of maintenance required for public improvements that the City will maintain.

Over the last several months, staff has worked with South Lathrop Land, LLC., ("SLL") to complete a maintenance and operations plan for their project.

**CITY MANAGER'S REPORT
APRIL 8, 2019 CITY COUNCIL REGULAR MEETING
ESTABLISHING COMMUNITY FACILITIES DISTRICT 2019-1**

PAGE 2

In order for the City to ensure that development continues to pay its own way, a Community Facilities District (CFD) needs to be formed to cover the maintenance and operations needs of the development.

At the March 11, 2019, City Council meeting, Council adopted Resolution 19-4522 declaring its intention to form Community Facilities District No. 2019-1 (South Lathrop City Services) (the "District") and set the Public Hearing Date for April 8, 2019. This action formally started the process of forming the CFD under the Mello-Roos Community Facilities Act of 1982.

Today is the date set for the public hearing, at which time the City Council will hear a presentation on the proposed District. At the same time, the election of the property owners is to be completed. The election results will unanimously favor the District formation, as SLL, is the only property owner within the District boundaries that will be voting. SLL has waived a number of noticing and election procedures, which are within their right to request. The waiving of these requirements, allow the City to form the District in a short period of time by adopting a formation resolution and holding the election at the same meeting. Per Government Code 53322, publication shall be complete at least seven days prior to the date of the hearing. The Notice of Public Hearing was published on March 28, 2019, in the same manner as the City's other public hearing notifications.

Staff recommends Council authorize the attached three Resolutions and introduction of the Ordinance to complete the CFD formation process and to legally authorize the future levy of a special tax to finance the costs of funding maintenance and services in the District.

BACKGROUND:

The South Lathrop Commerce Center (SLCC) is an industrial park currently being developed by SLL in the City. SLCC is entitled for approximately 4.8 million square feet of light industrial development. The first building is currently under construction and has been preleased to Wayfair as one of their western regional US hubs for distribution and fulfillment. Occupancy of the Wayfair building is anticipated for summer of 2019.

City staff, the financing team, and SLL have had several discussions to help formulate the proposed District and the Special Tax to be levied. The proposed Special Tax has been approved by SLL and will be calculated and levied as set forth in the Rate & Method of the Special Tax (Exhibit B of Attachment A).

The District will have a single tax rate formula ("Special Tax"), for funding maintenance and services in the District.

The description of the maintenance and services authorized to be paid for by the Special Tax, are related to the public improvements being constructed by SLL which, once completed will be dedicated to the City.

The maintenance and services are further described in the "Description of Services" (Exhibit A of Attachment A). The services to be provided in the District primarily include, but not be limited to:

Services

- Maintenance and operation of:
 - Public roads and streets;
 - Public frontage improvements such as curbs, gutters, paths, sidewalks, driveways, bus pads, ADA ramps, and street signs;
 - Public drainage facilities;
- Standby charges related to the ongoing maintenance, future capacity and operation of public improvements and facilities;
- City personnel necessary to provide the maintenance, operations and services;
- City related insurance costs and other related expenses for these public infrastructure improvements and the provision of reserves for repairs and replacement;

The City Council has four documents for consideration:

1. **The Resolution of Formation (Attachment A)** - This officially forms the CFD, authorizes the Special Tax to be collected and establishes an appropriations limit for the CFD (under Article XIII B of the Constitution). The exhibits to this resolution show the Services to be financed and the formula by which the Special Tax will be levied in the CFD. This includes a Description of Services (Exhibit A of Attachment A) listing the services and projects that are authorized to be funded from special tax revenues generated within the District and the Rate & Method of the Special Tax (Exhibit B of Attachment A) providing for the security for the funding of the District and showing how the revenues from the District are to be collected and also sets forth the purpose and level of the taxes from the various different types of properties.
2. **The Resolution Calling Special Landowner Election (Attachment B)** - This sets the election for the same Council meeting and provides the form of the special ballot to be used by the landowner-voter. The election may be held at the same meeting because the property owner-voters have all requested that the election be handled in this manner. Ballots have been previously mailed and are to be returned directly to the City Clerk before the City Council meeting time to vote to approve the CFD.
3. **The Resolution Declaring Results of Special Landowner Election (Attachment C)** - This is for adoption by the Council after the vote is announced by the City Clerk. It confirms the outcome by SLL, the property owner, for their election to form the CFD. Attached to it is a copy of the official Canvass and Statement of Result of Election to be completed by the City Clerk after the vote is announced.

This resolution also directs the filing of the Notice of Special Tax Lien against the lands in the CFD to allow collection of the special tax on each property therein.

4. **Ordinance Levying Special Taxes (Attachment D)** - Under the law, the Council must levy the special taxes by an ordinance. Under this ordinance, the levy is made once by the adoption of this ordinance, and, in each year thereafter, the process of determining the special taxes and processing the collection is done by the City's financial official (or a third-party consultant retained by the City) and no further Council action is needed.

Once the above actions are completed, the City Clerk is authorized to record with the County Recorder a Notice of Special Tax Lien pertaining to each of the parcels in the CFD subject to a special tax.

REASON FOR RECOMMENDATION:

The CFD is being formed and submitted to the Council for review and approval so that the property owners within the District continue meet their on-going financial requirements to the City by creating a mechanism to be able to reimburse the City for the on-going Maintenance and Services required in the District. A Community Facilities District (CFD) needs to be formed to provide the City with the funds necessary to cover the cost of maintaining the public facilities in the SLCC Development.

FISCAL IMPACT:

SLL has funded the cost to form the CFD, at no cost to the City.

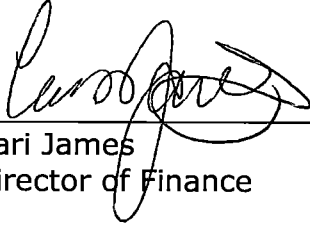
No other financial impact as the CFD will provide the financial resources to the City to be able to maintain the public improvements constructed by SLL and dedicated to the City for on-going Maintenance & Services.

ATTACHMENTS:

- A. Resolution of Formation of Community Facilities District
Exhibits to Attachment A:
 - A. Description of Services
 - B. Rate and Method of Apportionment of Special Tax
- B. Resolution Calling Special Landowner Election
- C. Resolution Declaring Results of Special Landowner Election
- D. Ordinance Levying Special Taxes Within the Community Facilities District

**CITY MANAGER'S REPORT
APRIL 8, 2019 CITY COUNCIL REGULAR MEETING
COMMUNITY FACILITIES DISTRICT 2019-1**

APPROVALS:



Cari James
Director of Finance

3/26/19
Date



Glenn Gebhardt
City Engineer

3/27/19
Date



Salvador Navarrete
City Attorney

3-27-19
Date



Stephen J. Salvatore
City Manager

4-2-19
Date

Attachment "A"

RESOLUTION NO. 19-

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP
APPROVING A RESOLUTION OF FORMATION OF COMMUNITY FACILITIES
DISTRICT**

**CITY OF LATHROP
Community Facilities District No. 2019-1
(South Lathrop City Services)**

WHEREAS, on March 11, 2019, the City Council (the "Council") of the City of Lathrop (the "City") adopted Resolution No. 19-4522 entitled "Resolution of Intention to Establish Community Facilities District No. 2019-1 (South Lathrop City Services)" (the "Resolution of Intention"), stating its intention to form "City of Lathrop Community Facilities District No. 2019-1 (South Lathrop City Services)" (the "CFD"), pursuant to Chapter 2.5 of Part 1 of Division 2 of Title 5, commencing with Section 53311, of the California Government Code (the "Act"); and

WHEREAS, the Resolution of Intention, incorporating a map of the proposed boundaries of the CFD and stating the services to be provided and the rate and method of apportionment of the special tax to be levied within the CFD to pay for the services, is on file with the City Clerk and the provisions thereof are incorporated herein by this reference as if fully set forth herein; and

WHEREAS, on this date, this Council held a noticed public hearing as required by the Act and the Resolution of Intention relative to the proposed formation of the CFD; and

WHEREAS, at the hearing all interested persons desiring to be heard on all matters pertaining to the formation of the CFD, the services to be provided therein and the levy of such special tax were heard and a full and fair hearing was held; and

WHEREAS, at the hearing evidence was presented to this Council on such matters before it, including a special report (the "Report") as to the services to be provided through the CFD and the costs thereof, a copy of which is on file with the City Clerk, and this Council at the conclusion of said hearing is fully advised in the premises; and

WHEREAS, written protests with respect to the formation of the CFD, the furnishing of specified types of services and the rate and method of apportionment of the special taxes have not been filed with the City Clerk by 50% or more of the registered voters residing within the territory of the CFD or property owners of one-half or more of the area of land within the CFD and not exempt from the proposed special taxes;

Attachment "A"

NOW, THEREFORE, be it resolved by the City Council of the City of Lathrop:

- 1.** Recitals Correct. The foregoing recitals are true and correct.

- 2.** No Majority Protest. The proposed CFD and the proposed special tax to be levied within the CFD have not been precluded by majority protest pursuant to section 53324 of the Act.

- 3.** Prior Proceedings Valid. All prior proceedings taken by this City Council in connection with the establishment of the CFD and the levy of the special tax have been duly considered and are hereby found and determined to be valid and in conformity with the Act.

- 4.** Name of CFD. The community facilities district designated "City of Lathrop Community Facilities District No. 2019-1 (South Lathrop City Services)" is hereby established pursuant to the Act.

- 5.** Boundaries of CFD. The boundaries of the CFD, as set forth in the map of the CFD recorded in the San Joaquin County Recorder's Office on March 13, 2019 in Book 6 at Page 150 of Maps of Assessment and Community Facilities Districts, are hereby approved, are incorporated herein by reference and shall be the boundaries of the CFD.

- 6.** Description of Services. The type of public services proposed to be financed by the CFD and pursuant to the Act shall consist of those items shown in Exhibit A hereto and by this reference incorporated herein (the "Services").

- 7.** Special Tax.
 - a.** Except to the extent that funds are otherwise available to the CFD to pay for the Services, a special tax (the "Special Tax") sufficient to pay the costs thereof, secured by the recordation of a continuing lien against all non-exempt real property in the CFD, is intended to be levied annually within the CFD, and collected in the same manner as ordinary *ad valorem* property taxes or in such other manner as may be prescribed by this Council.

 - b.** The proposed rate and method of apportionment of the Special Tax among the parcels of real property within the CFD, in sufficient detail to allow each landowner within the proposed CFD to estimate the maximum amount such owner will have to pay, are shown in Exhibit B attached hereto and hereby incorporated herein.

- 8.** Increased Demands. It is hereby found and determined that the Services are necessary to meet increased demands placed upon local agencies, including the City, as the result of development occurring in the CFD. The Services are in addition to those provided in the territory of the CFD as of the date hereof and will not supplant services already available within the territory of the CFD as of the date hereof.

Attachment "A"

9. Responsible Official. The Finance Director of the City of Lathrop, City Hall, 390 Town Center Drive, Lathrop, California 95330, telephone number 209-941-7327, is the officer of the City who will be responsible for preparing annually a current roll of the levy of the Special Tax obligations by assessor's parcel number and who will be responsible for estimating future levies of the Special Tax.

10. Tax Lien. Upon recordation of a notice of special tax lien pursuant to Section 3114.5 of the California Streets and Highways Code, a continuing lien to secure each levy of the Special Tax shall attach to all nonexempt real property in the CFD and this lien shall continue in force and effect until the Special Tax obligation is prepaid and permanently satisfied and the lien canceled in accordance with law or until collection of the Special Tax by the City ceases.

11. Appropriations Limit. In accordance with the Act, the annual appropriations limit, as defined by subdivision (h) of Section 8 of Article XIII B of the California Constitution, of the CFD is hereby preliminarily established at \$2,000,000 and such appropriations limit shall be submitted to the voters of the CFD as hereafter provided. The proposition establishing such annual appropriations limit shall become effective if approved by the qualified electors voting thereon and shall be adjusted in accordance with the applicable provisions of the Act and the Constitution.

12. Election. Pursuant to the provisions of the Act, the proposition of the levy of the Special Tax and the proposition of the establishment of the appropriations limit specified above shall be submitted to the qualified electors of the CFD at an election the time, place and conditions of which election shall be as specified by a separate resolution of this Council.

13. Effective Date. This resolution shall take effect upon its adoption.

* * * * *

Attachment "A"

The foregoing resolution was passed and adopted this 8th day of April 2019, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSTAIN:

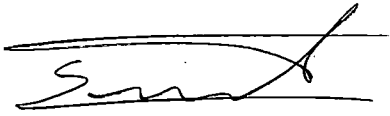
ABSENT:

Sonny Dhaliwal, Mayor

ATTEST:

APPROVED AS TO FORM:

Teresa Vargas, City Clerk



Salvador Navarrete, City Attorney

EXHIBIT "A"

CITY OF LATHROP Community Facilities District No. 2019-1 (South Lathrop City Services)

DESCRIPTION OF SERVICES

The services to be funded, in whole or in part, by the community facilities district (the "District") include all direct and incidental costs related to providing for the maintenance and operation of public infrastructure within, adjacent to and in the vicinity of the District.

More specifically, the services shall include, but not be limited to: ongoing maintenance and operation of public roads and streets, bike lanes, medians, street lights, traffic signal, traffic signs, striping and legends, frontage improvements such as curbs, gutters, sidewalks, driveways (within the public right-of-way), bus pads, ADA ramps (within the public right-of-way), street signs; landscaping (within the public right-of-way); drainage facilities including detention & retention ponds, storm drain pump station, sanitary sewer pump station, regional outfall structure, underground storm drainage pipes, underground sanitary sewer pipes, sanitary sewer treatment plants & related facilities; and the provision of any other public services authorized to be funded under Section 53313 of the California Government Code, including with respect to such services obtaining, constructing, furnishing, operating and maintaining equipment, apparatus or facilities related to providing the services and/ or equipment, apparatus, facilities or fixtures in areas to be maintained, as well as standby charges related to the ongoing maintenance and operation of the described public improvements and facilities as described above and services related thereto, paying the salaries and benefits of personnel necessary or convenient to provide the maintenance, operation and services, payment of insurance costs and other related expenses and the provision of reserves for repairs and replacements and for the future provision of services. It is expected that the services will be provided by the City, either with its own employees or by contract with third parties, or any combination thereof.

The services also include administrative expenses related to the District including but not limited to the payment or reimbursement to the City (or to property owners in the District) all costs actually incurred in connection with the establishment and administration of the District, the direct expenses incurred by the City in carrying out its duties with respect to the District (including, but not limited to, the levy and collection of the special taxes) including the fees and expenses of attorneys, any fees of the County of San Joaquin related to the District or the collection of special taxes, an allocable share of the salaries of the City staff directly related thereto and a proportionate amount of the City's general administrative overhead related thereto, any amounts paid by the City from its general fund with respect to the District or the services authorized to be financed by the District, and expenses incurred by the City in undertaking action to foreclose on properties for which the payment of special taxes is delinquent, and all other costs and expenses of the City in any way related to the District.

EXHIBIT "B"

CITY OF LATHROP Community Facilities District No. 2019-1 (South Lathrop City Services)

RATE AND METHOD OF APPORTIONMENT OF SPECIAL TAX

A Special Tax shall be levied and collected in City of Lathrop Community Facilities District No. 2019-1 (South Lathrop City Services) (the "District") each fiscal year, in an amount determined by the application of the procedures described below. All of the Taxable Property (as defined below) in the District, unless exempted by the provisions hereof, shall be taxed for the purposes, to the extent and in the manner herein provided.

I. DEFINITIONS

The terms used herein shall have the following meanings:

"Acre or Acreage" means the land area of an Assessor's Parcel as shown on an Assessor's Parcel Map or in the Assessor's Data for each Assessor's Parcel. In the event the Assessor's Parcel Map or Assessor's Data shows no acreage, the Acreage for any Assessor's parcel shall be determined by the District Administrator based upon the applicable final map, parcel map, condominium plan, or other recorded County parcel map or calculated using available spatial data and GIS. The square footage of an Assessor's Parcel is equal to the Acreage of such parcel multiplied by 43,560.

"Act" means the Mello-Roos Community Facilities Act of 1982, as amended, being Chapter 2.5, Division 2 of Title 5 of the Government Act of the State of California.

"Administrative Expenses" means the following actual or reasonably estimated costs directly related to the administration of the District: the costs of computing the Annual Special Tax Requirement and the annual Special Tax and of preparing the annual Special Tax collection schedules; the costs of collecting the Special Taxes, including any charges levied by the County Auditor's Office, Tax Collector's Office or Treasurer's Office; the costs of the City or designee in complying with the disclosure requirements of the California Government Code (including the Act), including public inquiries regarding the Special Taxes; the costs of the City or designee related to an appeal of the Special Tax; and the costs of commencing and pursuing to completion any foreclosure action arising from delinquent Special Taxes in the District. Administrative Expenses shall also include costs related to the formation of the District and of annexing territory to the District as well as any amounts advanced by the City for any administrative purposes of the District and an allocable share of the salaries of City staff and an allocable portion of City overhead costs relating to the foregoing, or costs of the City in any way related to the establishment or administration of the District.

“Annual Services Costs” means the amounts required to fund services authorized to be funded by the District.

“Annual Special Tax Requirement” means that amount with respect to the District determined by the Council or designee as required in any Fiscal Year to pay: (1) the Administrative Expenses, (2) the Annual Services Costs, (3) any amount required to establish or replenish any reserve or replacement fund established in connection with the District, and (4) reasonably anticipated delinquent Special Taxes based on the delinquency rate for Special Taxes levied in the previous Fiscal Year.

“Assessor’s Data” means Acreage or other Parcel information contained in the records of the County Assessor.

“Assessor’s Parcel” means a lot or parcel shown in an Assessor’s Parcel Map with an assigned Assessor’s Parcel number.

“Assessor’s Parcel Map” means an official map of the Assessor of the County designating parcels by Assessor’s Parcel number.

“Building Permit” means a permit for new construction of a Non-Residential structure.

“City” means the City of Lathrop, County of San Joaquin.

“Council” means the City Council of the City, acting as the legislative body of the District.

“County” means the County of San Joaquin, California.

“Developed Property” means, for each Fiscal Year, all Taxable Property for which a Building Permit was issued on or before June 1 of the prior Fiscal Year. For example, Taxable Property for which a Building Permit was issued on or before June 1 of the prior Fiscal Year (i.e., June 1, 2019), would be treated as Developed Property for Fiscal Year 2019/20.

“District” means the City of Lathrop Community Facilities District No. 2019-1 (South Lathrop City Services).

“District Administrator” means an official of the City, or designee or agent or consultant, responsible for determining the Annual Special Tax Requirement and providing for the levy and collection of Special Taxes each Fiscal Year.

“Exempt Property” means all property located within the boundaries of the District which is exempt from the Special Tax pursuant to Section V below.

“Finance Director” means the official of the City who is the chief financial officer or other comparable officer of the City or designee thereof.

"Fiscal Year" means the period starting July 1 and ending on the following June 30.

"GIS" means a geographic information system.

"Maximum Special Tax" means the maximum Special Tax authorized for levy in any Fiscal Year that may apply to Taxable Property as described in Section III.

"Non-Residential Property" means all property that is not used for people to live in, and does not include Public Property.

"Parcel" means a lot or parcel with a parcel number assigned by the Assessor of the County.

"Proportionately" means that the ratio of the actual Special Tax levied in any Fiscal Year to the Maximum Special Tax authorized to be levied in that Fiscal Year is equal for all Assessor's Parcels.

"Public Property" means property within the boundaries of the District owned by, irrevocably offered or dedicated to, or for which an easement for purposes of public right-of-way has been granted to the federal government, the State, the County, or any local government or other public agency, provided that any property leased by a public agency to a private entity and subject to taxation under Section 53340.1 of the Act shall be taxed and classified according to its use.

"Special Tax" means the amount levied in each Fiscal Year on each Assessor's Parcel of Taxable Property to fund the Annual Special Tax Requirement.

"Taxable Property" means all Non-Residential Property within the boundary of the District that are not Exempt Property, exempt from the Special Tax pursuant to the Act or Section V below.

"Undeveloped Property" means all property for which a building permit has not been issued.

II. DETERMINATION OF TAXABLE PARCELS

On July 1 of each Fiscal Year, the District Administrator shall determine the valid Assessor's Parcel Numbers for the current Fiscal Year for all Taxable Property within the District. If any Parcel numbers are no longer valid from the previous Fiscal Year, the District Administrator shall determine the new Parcel number or numbers that are in effect for the current Fiscal Year. To the extent a Parcel or Parcels of Taxable Property are subdivided, consolidated or otherwise reconfigured, the Special Tax rates shall be assigned to the new Assessor's Parcels pursuant to Section III.

III. ANNUAL SPECIAL TAX - METHOD OF APPORTIONMENT

All Taxable Property shall be subject to a Special Tax defined as follows.

The Special Tax shall be levied each Fiscal Year by the District Administrator. The Annual Special Tax Requirement shall be apportioned to each Parcel of Taxable Property within the District by the method shown below.

- First. Determine the Annual Special Tax Requirement.
- Second. Levy the Special Tax on each Parcel of Developed Property Proportionately, up to the Maximum Special Tax described in Table 1 to satisfy the Annual Special Tax Requirement.
- Third. If additional revenue is needed to meet the Annual Special Tax Requirement after the Second step, levy the Special Tax on each Parcel of Undeveloped Property Proportionately, up to the Maximum Special Tax described in Table 1 to satisfy the Annual Special Tax Requirement.

**TABLE 1
MAXIMUM SPECIAL TAXES
FISCAL YEAR 2018/19**

Property Type		Rate	Per
Developed Property	Non-Residential	\$2,315.00	Acre
Undeveloped Property	Non-Residential	\$2,315.00	Acre

On each July 1, commencing on July 1, 2020, the Maximum Special Tax rate shall be increased by 2%.

IV. FORMULA FOR PREPAYMENT OF SPECIAL TAX OBLIGATIONS

The Special Tax may not be prepaid.

V. EXEMPTIONS

Notwithstanding any other provision of this Rate and Method of Apportionment of Special Tax, no Special Taxes shall be levied on Public Property, except as otherwise provided in Sections 53317.3 and 53317.5 of the Act.

VI. INTERPRETATION OF RATE AND METHOD OF APPORTIONMENT

The City reserves the right to make minor administrative and technical changes to this document that do not materially affect the rate and method of apportioning the Special Tax. In addition, the interpretation and application of any section of this document shall be at the City's discretion.

Interpretations may be made by the City by ordinance or resolution for purposes of clarifying any vagueness or ambiguity in this Rate and Method of Apportionment of Special Tax.

VII. MANNER AND DURATION OF SPECIAL TAX

The Special Tax shall be collected in the same manner and at the same time as ordinary ad valorem property taxes, provided that the City may directly bill the Special Tax, may collect the Special Tax at a different time or in a different manner if needed to meet the financial obligations of the District, and may collect delinquent Special Taxes through foreclosure or other available methods.

A Special Tax shall continue to be levied and collected within the District to fund the Annual Special Tax Requirement in perpetuity.

VIII. APPEAL OF SPECIAL TAX LEVY

Any property owner may file a written appeal of the Special Tax with the District Administrator claiming that the amount or application of the Special Tax is not correct. The appeal must be filed not later than one calendar year after having paid the Special Taxes that are disputed, and the appellant must be current in all payments of Special Taxes. In addition, during the term of the appeal process, all Special Taxes levied must be paid on or before the payment date established when the levy was made.

The appeal must specify the reasons why the appellant claims the Special Taxes are in error. The District Administrator shall review the appeal, meet with the appellant if the District Administrator deems necessary, and advise the appellant of its determination.

If the property owner disagrees with the District Administrator's decision relative to the appeal, the owner may then file a written appeal with the City Council whose subsequent decision shall be final and binding on all interested parties. If the decision of the District Administrator or subsequent decision by the City Council requires the Special Taxes to be modified or changed in favor of the property owner, no cash refund shall be made for prior years' Special Taxes, but an adjustment shall be made to credit future Special Taxes.

This procedure shall be exclusive and its exhaustion by any property owner shall be a condition precedent to filing any legal action by such owner.

Attachment "B"

RESOLUTION NO. 19-

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP
APPROVING A RESOLUTION CALLING SPECIAL LANDOWNER ELECTION
FOR COMMUNITY FACILITIES DISTRICT**

**CITY OF LATHROP
Community Facilities District No. 2019-1
(South Lathrop City Services)**

WHEREAS, the City Council (the "Council") of the City of Lathrop (the "City") has adopted a resolution entitled "Resolution of Formation of Community Facilities District" (the "Resolution of Formation"), ordering the formation of the "City of Lathrop Community Facilities District No. 2019-1 (South Lathrop City Services)" (the "CFD"), defining the public services (the "Services") to be provided by the CFD, authorizing the levy of a special tax on property within the CFD and preliminarily establishing an appropriations limit for the CFD, all pursuant to Chapter 2.5 of Part 1 of Division 2 of Title 5, commencing with Section 53311, of the California Government Code (the "Act"); and

WHEREAS, pursuant to the provisions of the Resolution of Formation, the propositions of the levy of the special tax and the establishment of the appropriations limit shall be submitted to the qualified electors of the CFD as required by the provisions of the Act.

NOW, THEREFORE, be it resolved by the City Council of the City of Lathrop:

1. Issues Submitted. Pursuant to the Act, the issues of the levy of the special tax and the establishment of the appropriations limit shall be submitted to the qualified electors (as defined below) of the CFD at an election called therefor as provided below.

2. Qualified Electors. This Council hereby finds that fewer than 12 persons have been registered to vote within the territory of the CFD for each of the ninety (90) days preceding the close of the public hearings heretofore conducted and concluded by this Council for the purposes of these proceedings. Accordingly, and pursuant to Section 53326 of the Act, this Council finds that, for these proceedings, the qualified electors are the landowners within the CFD and that the vote shall be by such landowners or their authorized representatives, each having one vote for each acre or portion thereof such landowner owns in the CFD as of the close of the public hearing.

3. Conduct of Election. This Council hereby calls a special election to consider the issues described in Section 2, above, which election shall be held on April 8, 2019, and the results thereof canvassed at the meeting of this Council on April 8, 2019. The City Clerk is hereby designated as the official to conduct the election and to receive all ballots until the close of business on the election date.

Attachment "B"

It is hereby acknowledged that the Clerk has on file the Resolution of Formation, a map of the boundaries of the CFD, and a sufficient description to allow the Clerk to determine the electors of the CFD. Pursuant to Section 53327 of the Act, the election shall be conducted by messenger or mail-delivered ballot pursuant to Section 4000 of the California Elections Code. This Council hereby finds that paragraphs (a), (b), (c) (1) and (c)(3) of Section 4000 are applicable to this special election, except that Sections 53326 and 53327 of the Act shall govern for purposes of determining the date of the election.

4. Ballot. As authorized by Section 53353.5 of the Act, the issues described in section 1 above shall be combined into a single ballot measure, the form of which as attached hereto as Exhibit "A" is hereby approved. The City Clerk is hereby authorized and directed to cause a ballot, in substantially the form of Exhibit "A," to be delivered to each of the qualified electors of the CFD. Each ballot shall indicate the number of votes to be voted by the respective landowner to which the ballot pertains. Each ballot shall be accompanied by all supplies and written instructions necessary for the use and return of the ballot. The envelope to be used to return the ballot shall be enclosed with the ballot, have the return postage prepaid, and contain the following: (a) the name and address of the landowner, (b) a declaration, under penalty of perjury, stating that the voter is the owner of record or authorized representative of the landowner entitled to vote and is the person whose name appears on the envelope, (c) the printed name, signature and address of the voter, (d) the date of signing and place of execution of the declaration pursuant to clause (b) above, and (e) a notice that the envelope contains an official ballot.

5. Waivers. This Council hereby further finds that the provisions of Section 53326 of the Act requiring a minimum of 90 days following the adoption of the Resolution of Formation to elapse before the special election are for the protection of the qualified electors of the CFD. There is on file with the Clerk a written waiver executed by all of the qualified electors of the CFD allowing for a shortening of the time for the special election to expedite the process of formation of the CFD and waiving any requirement for notice, analysis and arguments in connection with the election. Accordingly, this Council finds and determines that the qualified electors have been fully apprised of and have agreed to the shortened time for the election and waiver of analysis and arguments, and have thereby been fully protected in these proceedings. This Council also finds and determines that the City Clerk has concurred in the shortened time for the election. Analysis and arguments with respect to the ballot measures are hereby waived, as provided in Section 53327 of the Act.

6. Accountability. Under Section 50075.1 of the Government Code, the following accountability provisions shall apply to the special taxes: (a) the construction and/or acquisition of the Services and the incidental costs thereof including any bonds, all as defined in the Resolution of Formation, shall constitute the specific single purpose; (b) the proceeds shall be applied only to the specific purposes identified in (a) above; (c) there shall be created special account(s) or

Attachment "B"

funds(s) into which the proceeds shall be deposited; and (d) there shall be caused to be prepared an annual report if required by Section 50075.3 of the Government Code.

7. Effective Date. This Resolution shall take effect upon its adoption.

* * * * *

Attachment "B"

The foregoing resolution was passed and adopted this 8th day of April 2019, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSTAIN:

ABSENT:

Sonny Dhaliwal, Mayor

ATTEST:

APPROVED AS TO FORM:

Teresa Vargas, City Clerk



Salvador Navarrete, City Attorney

Attachment "B"

EXHIBIT "A"

**CITY OF LATHROP
Community Facilities District No. 2019-1
(South Lathrop City Services)**

**OFFICIAL BALLOT
SPECIAL TAX ELECTION**

Number of Votes: _____

Property Owner: _____

This ballot is for a special, landowner election for the City of Lathrop Community Facilities District No. 2019-1 (South Lathrop City Services). You must return this ballot in the enclosed postage paid envelope to the office of the City Clerk of the City of Lathrop **no later than the hour of 7:00 p.m. on April 8, 2019, either by mail or in person.** The Clerk's office is located at 390 Town Center Drive, Lathrop, California 95330.

To vote, mark a cross (X) on the voting line after the word "YES" or after the word "NO." All marks otherwise made are forbidden. All distinguishing marks are forbidden and make the ballot void. If you wrongly mark, tear, or deface this ballot, return it to the City Clerk and obtain another.

The estimated maximum annual amount of money authorized to be raised by this measure at year 30 of the CFD term is expected to be \$1,228,621.70 based upon the projected full build-out of the CFD and the rate and duration of the special tax as set forth in the rate and method of apportionment of special taxes for the CFD.

<p>BALLOT MEASURE: Shall the measure to allow the City of Lathrop be authorized to annually levy a special tax solely on lands within the City of Lathrop Community Facilities District No. 2019-1 (South Lathrop City Services) (the "CFD") in accordance with the rate and method contained in the Resolution of Formation of the CFD adopted by the City Council of the City on April 8, 2019, commencing in the City's fiscal year 2019-20, to pay for the public services specified in the Resolution of Formation for the CFD and to pay the costs of the City in administering the CFD, and shall the annual appropriations limit of the CFD be established in the amount of \$2,000,000 be adopted?</p>	<p>YES: _____</p> <p>NO: _____</p>
---	--

By execution in the space provided below, you also confirm your written waiver of the time limit pertaining to the conduct of the election and any requirement for analysis and arguments with respect to the ballot measure.

Property Owner:

By: _____

its: _____

Attachment "C"

RESOLUTION NO. 19-

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP APPROVING A RESOLUTION DECLARING RESULTS OF SPECIAL LANDOWNER ELECTION AND DIRECTING RECORDING OF NOTICE OF SPECIAL TAX LIEN

**CITY OF LATHROP
Community Facilities District No. 2019-1
(South Lathrop City Services)**

WHEREAS, the City Council (the "Council") of the City of Lathrop (the "City") has adopted a resolution entitled "Resolution of Formation of Community Facilities District" (the "Resolution of Formation"), ordering the formation of the "City of Lathrop Community Facilities District No. 2019-1 (South Lathrop City Services)" (the "CFD"), authorizing the levy of a special tax on property within the CFD and preliminarily establishing an appropriations limit for the CFD, all pursuant to Chapter 2.5 of Part 1 of Division 2 of Title 5, commencing with Section 53311, of the California Government Code (the "Act"); and

WHEREAS, under the provisions of the Resolution of Formation and pursuant to a resolution entitled "Resolution Calling Special Landowner Election for Community Facilities District" (the "Election Resolution") heretofore adopted by this Council, the propositions of the levy of the special tax and the establishment of the appropriations limit were submitted to the qualified electors of the CFD as required by the provisions of the Act; and

WHEREAS, pursuant to the terms of the Election Resolution, which are by this reference incorporated herein, the special election has been held and the City Clerk has on file a Canvass and Statement of Results of Election, (the "Canvass") a copy of which is attached hereto as Exhibit A; and

WHEREAS, this Council has been informed of the Canvass, finds it appropriate and wishes to complete its proceedings for the CFD.

NOW, THEREFORE, be it resolved by the City Council of the City of Lathrop:

- 1. Recitals.** The foregoing recitals are all true and correct.
- 2. Issues Presented.** The issues presented at the special election were the levy of a special tax within the CFD and the approval of an annual appropriations limit of not to exceed \$2,000,000, all pursuant to the Resolution of Formation.
- 3. Canvass and Issues Approved.** The Council hereby approves the Canvass and finds that it shall be a permanent part of the record of its proceedings for the CFD.

Attachment "C"

Pursuant to the Canvass, the issues presented at the special election were approved by the qualified electors of the CFD by more than two-thirds of the votes cast at the special election.

4. Proceedings Approved. Pursuant to the voter approval, the CFD is hereby declared to be fully formed with the authority to levy the special taxes and to have the established appropriations limit, all as heretofore provided in these proceedings and in the Act. It is hereby found that all prior proceedings and actions taken by this Council with respect to the CFD were valid and in conformity with the Act.

5. Notice of Tax Lien. The City Clerk is hereby directed to complete, execute and cause to be recorded in the office of the County Recorder of the County of Stanislaus a notice of special tax lien in the form required by the Act, such recording to occur no later than fifteen (15) days following adoption of this resolution by the Council

6. Effective Date. This Resolution shall take effect upon its adoption.

* * * * *

Attachment "C"

The foregoing resolution was passed and adopted this 8th day of April 2019, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSTAIN:

ABSENT:

Sonny Dhaliwal, Mayor

ATTEST:

APPROVED AS TO FORM:

Teresa Vargas, City Clerk



Salvador Navarrete, City Attorney

Attachment "C"

EXHIBIT A

**CITY OF LATHROP
Community Facilities District No. 2019-1
(South Lathrop City Services)**

CANVASS AND STATEMENT OF RESULT OF ELECTION

I hereby certify that on _____, 2019, I canvassed the returns of the election held on _____, 2019, in the City of Lathrop Community Facilities District No. 2019-1 (South Lathrop City Services) and the total number of ballots cast in such District and the total number of votes cast for and against the measure are as follows and the totals as shown for and against the measure are full, true and correct:

	Qualified Landowner Votes	Votes Cast	YES	NO
City of Lathrop Community Facilities District No. 2019-1 (South Lathrop City Services) Special Tax Election, _____, 2019.	_____	_____	_____	_____

BALLOT MEASURE: Shall the measure to allow the City of Lathrop be authorized to annually levy a special tax solely on lands within the City of Lathrop Community Facilities District No. 2019-1 (South Lathrop City Services) (the "CFD") in accordance with the rate and method contained in the Resolution of Formation of the CFD adopted by the City Council of the City on April 8, 2019, commencing in the City's fiscal year 2019-20, to pay for the public services specified in the Resolution of Formation for the CFD and to pay the costs of the City in administering the CFD, and shall the annual appropriations limit of the CFD be established in the amount of \$2,000,000 **be adopted?**

YES: _____

NO: _____

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND on _____, 2019.

By: _____

City Clerk
City of Lathrop

ATTACHMENT "D"

ORDINANCE NO. 19-

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF LATHROP LEVYING SPECIAL TAX WITHIN COMMUNITY FACILITIES DISTRICT NO. 2019-1 (SOUTH LATHROP CITY SERVICES SERVICES)

WHEREAS, pursuant to the Mello-Roos Community Facilities Act of 1982, as amended, sections 53311, *et. seq.*, of the California Government Code (the "Act"), on March 11, 2019, this City Council (the "Council") of the City of Lathrop (the "City"), adopted its resolution entitled "Resolution of Intention to Establish Community Facilities District No. 2019-1 (South Lathrop City Services Services)" (the "Resolution of Intention"), and has conducted proceedings (the "Proceedings") to establish "City of Lathrop Community Facilities District No. 2019-1 (South Lathrop City Services Services)" (the "CFD") pursuant to the Mello-Roos Community Facilities Act, Chapter 2.5 of Part 1 of Division 2 of Title 5, commencing with Section 53311, of the California Government Code (the "Act") to finance certain services (the "Services") as provided in the Act; and

WHEREAS, pursuant to notice as specified in the Act, and as part of the Proceedings, the Council has held a public hearing under the Act relative to the determination to proceed with the formation of the CFD and the rate and method of apportionment of the special tax ("Special Tax") to be levied within the CFD to finance the Services, and at such hearing all persons desiring to be heard on all matters pertaining to the formation of the CFD and the levy of the Special Tax were heard, substantial evidence was presented and considered by this Council and a full and fair hearing was held; and

WHEREAS, upon the conclusion of the hearing, this Council adopted its "Resolution of Formation of Community Facilities District" (the "Resolution of Formation"), pursuant to which it completed the Proceedings for the establishment of the CFD, the authorization of the levy of the Special Tax within the CFD and the calling of an election within the CFD on the propositions of levying the Special Tax and establishing an appropriations limit within the CFD, respectively; and

WHEREAS, on April 8, 2019, a special election was held among the landowner voters within the CFD at which such voters approved such propositions by the two-thirds vote required by the Act, which approval has been confirmed by resolution of this Council.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LATHROP as follows:

Section 1. By the passage of this Ordinance, the Council hereby authorizes and levies the Special Tax within the CFD pursuant to the Act, at the rate and in accordance with the rate and method of apportionment of Special Tax set forth in the Resolution of Formation which rate and method is by this reference incorporated herein.

ATTACHMENT "D"

The Special Tax is hereby levied commencing in fiscal year 2019-20, and in each fiscal year thereafter to pay for the Services for the CFD, as contemplated by the Resolution of Formation and the Proceedings and all costs of administering the CFD.

Section 2. The Finance Director of the City or designee, or an employee or consultant of the City, is hereby authorized and directed each fiscal year to determine the specific Special Tax to be levied for the next ensuing fiscal year for each parcel of real property within the CFD, in the manner and as provided in the Resolution of Formation.

Section 3. Exemptions from the levy of the Special Tax shall be as provided in the Resolution of Formation and the applicable provisions of the Act. In no event shall the Special Tax be levied on any parcel within the CFD in excess of the maximum Special Tax specified in the Resolution of Formation.

Section 4. All of the collections of the Special Tax shall be used as provided in the Act and in the Resolution of Formation, including, but not limited to, the payment of costs of the Services, the payment of the costs of the City in administering the CFD, and the costs of collecting and administering the Special Tax.

Section 5. The Special Tax shall be collected in the same manner as ordinary ad valorem taxes are collected and shall have the same lien priority, and be subject to the same penalties and the same procedure and sale in cases of delinquency as provided for ad valorem taxes; provided, however, that the Council may provide for other appropriate methods of collection by resolution(s) of the Council. In addition, the provisions of Section 53356.1 of the Act shall apply to delinquent Special Tax payments. The Finance Director of the City is hereby authorized and directed to provide all necessary information to the auditor/tax collector of San Joaquin County in order to effect proper billing and collection of the Special Tax, so that the Special Tax shall be included on the secured property tax roll of San Joaquin County for fiscal year 2019-20 and for each fiscal year thereafter until no longer required to pay for the Services or until otherwise terminated by the City.

Section 6. If for any reason any portion of this ordinance is found to be invalid, or if the Special Tax is found inapplicable to any particular parcel within the CFD, by a court of competent jurisdiction, the balance of this ordinance and the application of the Special Tax to the remaining parcels within the CFD shall not be affected.

Section 7. The Mayor shall sign this Ordinance and the City Clerk shall cause the same to be published immediately after its passage at least once in a newspaper of general circulation circulated in the City.

Section 8. This Ordinance shall take legal effect 30 days from its second reading and adoption.

ATTACHMENT "D"

THIS ORDINANCE was regularly introduced at a meeting of the City Council of the City of Lathrop on the 8th day of April 2019, and was **PASSED AND ADOPTED** at a regular meeting of the City Council of the City of Lathrop on the ____ day of ____ 2019, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Sonny Dhaliwal, Mayor

ATTEST:

Teresa Vargas, City Clerk

APPROVED AS TO FORM:



Salvador Navarrete, City Attorney

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ITEM: **PUBLIC HEARING (PUBLISHED NOTICE) TO ESTABLISH "CITY OF LATHROP COMMUNITY FACILITIES DISTRICT NO. 2019-2 (CENTRAL LATHROP SPECIFIC PLAN SERVICES)" (THE "CFD") UNDER THE MELLO-ROOS COMMUNITY FACILITIES ACT OF 1982, CONSTITUTING CHAPTER 2.5 OF PART 1 OF DIVISION 2 OF TITLE 5, COMMENCING AT SECTION 53311, OF THE CALIFORNIA GOVERNMENT CODE (THE "ACT")**

RECOMMENDATION: **Council to Consider the Following:**

- 1. Hold a Public Hearing; and**
- 2. Adopt Resolution of Formation of Community Facilities District 2019-2 (Central Lathrop City Services);**
- 3. Adopt Resolution Calling for a Special Election of Community Facilities District No. 2019-2 (Central Lathrop City Services);**
- 4. Adopt Resolution Declaring Results of Special Election and Direct Recording of Notice of Special Tax Lien for Community Facilities District No. 2019-2 (Central Lathrop City Services);**
- 5. Adopt Resolution to Dissolve Community Facilities District No. 2006-2 (Central Lathrop Specific Plan Services); and**
- 6. First Reading and Introduction of an Ordinance Levying Special Taxes Within Community Facilities District No. 2019-2 (Central Lathrop City Services)**

SUMMARY:

As part of their development agreement requirements, master developers are required to submit to the City a fiscal impact analysis.

The purpose of a fiscal impact analysis is to estimate the overall financial impacts a development will have on the City. This analysis enables the City to estimate the difference between the costs of providing services to a new development and the revenue the new development will generate.

**CITY MANAGER'S REPORT
APRIL 8, 2019 CITY COUNCIL REGULAR MEETING
ESTABLISHING COMMUNITY FACILITIES DISTRICT 2019-2**

PAGE 2

Over the last several months, Staff has worked with Saybrook Fund Advisors (Saybrook) to complete a fiscal impact analysis for their project known as Stanford Crossings. The fiscal impact analysis has determined that the Stanford Crossings development will produce a shortfall to the City's General Fund. In order for the City to ensure that development continues to pay its own way, a Community Facilities District (CFD) needs to be formed to cover the shortfalls.

It is recommended Council authorize the attached Resolution of Intention to establish the City of Lathrop Community Facilities District No. 2019-2 (Central Lathrop City Services) (the "District") and to levy a special tax to finance the costs of certain public services of benefit to the properties within the District.

At the March 11, 2019, City Council meeting, Council adopted Resolution 19-4523 declaring its intention to form Community Facilities District No. 2019-2 (Central Lathrop City Services) (the "District") and set the Public Hearing Date for April 8, 2019. This action formally started the process of forming the CFD under the Mello-Roos Community Facilities Act of 1982.

Today is the date set for the public hearing, at which time the City Council will hear a presentation on the proposed District. At the same time, the election of the property owners is to be completed. The election results will unanimously favor the District formation, as the Developer, is the only property owner within the District boundaries that will be voting. The Developer has waived a number of noticing and election procedures that make it possible for the proposed district to be formed in a short period of time. Per Government Code 53322, publication shall be complete at least seven days prior to the date of the hearing. The Notice of Public Hearing was published on March 28, 2019, in the same manner as the City's other public hearing notifications.

Additionally, in January of this year, Council approved the restructuring of CFD 2006-1, which has been completed pursuant to the terms of a Restructuring Agreement entered into by the City and Saybrook related entities. In connection with that restructuring, the parties to the agreement contemplated that the District will replace the City's existing Community Facilities District 2006-1 (Central Lathrop Specific Plan Phase 1 Infrastructure Services), which was expected to be dissolved upon formation of the new District.

Staff recommends Council authorize the attached four Resolutions and Ordinance to complete the District formation process and to legally authorize the future levy of a special tax to finance the costs of funding maintenance and services in the District, and one additional resolution, which addresses the replacement of the 2006 CFD with the new District.

**CITY MANAGER'S REPORT
APRIL 8, 2019 CITY COUNCIL REGULAR MEETING
ESTABLISHING COMMUNITY FACILITIES DISTRICT 2019-2**

PAGE 3

BACKGROUND:

In 2006, the City formed two Community Facility Districts for Central Lathrop. The first, Community Facilities District (CFD) 2006-1 (Central Lathrop Specific Plan Phase 1 Infrastructure) paid for public facilities and infrastructure. The second, Community Facilities District (CFD) 2006-2 (Central Lathrop Specific Plan Services) pays annual maintenance and operation cost in the Central Lathrop development.

In 2007, the property owners failed to make payments on both CFD's. Since that time, the City has been working with its Financing Team and the property owners to restructure both CFD's. In January of this year, Council approved and concluded the restructuring of CFD 2006-1 by forming of CFD 2018-1 and 2018-2 (Central Lathrop Specific Plan Facilities).

Tonight's action will be the final approval needed to cancel CFD 2006-2 (Central Lathrop Specific Plan Services) and replace it with CFD 2019-2 (Central Lathrop City Services). This approval, will allow the developer to move forward with the sale of lots to merchant builders.

City Staff, the Financing Team and the Developer have had several discussions to help structure the proposed District and the Special Tax to be levied, which has been approved by the developer and will be calculated and levied as set forth in the Rate & Method of the Special Tax (Exhibit B of Attachment A).

The District will include approximately 1,576 planned homes, 274 high density residential units and 951,350 square feet of office and retail/commercial space, and is setup with the contemplation that additional land areas (the "Future Annexation Area") will be annexed into the District in the future upon the consent of the then owner/developer as the area develops.

The District will have a single tax rate formula, for the levy of the "Special Tax", for the purpose of funding increased costs of City services attributable to the new development. The description of the services authorized to be paid for by the Special Tax are described in the "Description of Services" (Exhibit A of Attachment A).

The services eligible to be included are:

Services

- A. Parks, Parkways, and Open Space, including but not limited to:
 - 1. Maintenance of parkway landscaping and bus shelters
 - 2. Operation and maintenance of parkway streetlights and traffic signals
 - 3. Maintenance and repair of sound walls along parkways
 - 4. Reserve for regular replacement of plants and materials
 - 5. Maintenance of community, neighborhood, and linear parks
 - 6. Maintenance of pedestrian/bike paths
 - 7. Operation and maintenance of park lighting
- B. Flood and Storm Protection, including but not limited to:
 - 1. Maintenance of the storm drain system and detention basins
 - 2. Operation and maintenance of the outfall structure and the pump lift stations for the detention basins
 - 3. Implementation of NPDES Storm Water Management Plan requirements
 - 4. Reserve for replacement of structures and pumps
- C. Police Protection, including but not limited to:
 - 1. Police services, including animal control
 - 2. Reserve for replacement of vehicles and equipment
- D. Fire Protection, including but not limited to:
 - 1. Fire services provided by the Lathrop-Manteca Fire Protection District
 - 2. Reserve for replacement of vehicles and equipment

The City Council has five documents for consideration:

- 1. **The Resolution of Formation (Attachment A)** - This officially forms the CFD, authorizes the Special Tax to be collected and establishes an appropriations limit for the CFD (under Article XIII B of the Constitution). The exhibits to this resolution show the Services authorized to be financed and the formula by which the Special Tax rate is calculated and applied. This includes a Description of Services (Exhibit A of Attachment A) listing the services and projects that are authorized to be funded from special tax revenues generated within the District and the Rate & Method of the Special Tax (Exhibit B of Attachment A) providing for the calculation of the Special Tax levies for the funding of the District and showing how the revenues from the District are to be collected and also sets forth the level of the taxes authorized to be levied on the various different types of properties.
- 2. **The Resolution Calling Special Landowner Election (Attachment B)** - This sets the election to be held at the same Council meeting and provides the form of the special ballot to be used by the landowner-voter. The election may be held at the same meeting because the property owner-voters have all asked for it and waived requirements that are otherwise applicable. Ballots have been previously mailed and are to be returned directly the City Clerk by the meeting time.

3. **The Resolution Declaring Results of Special Landowner Election (Attachment C)** - This is for adoption by the Council after the vote is announced by the City Clerk. It confirms the outcome of the property owner election for the CFD. Attached to it is a copy of the official Canvass and Statement of Result of Election to be completed by the Clerk after the vote is announced. This resolution also directs the filing of the Notice of Special Tax Lien against the lands in the CFD to allow collection of the special tax on each property.
4. **The Resolution to Dissolve Community Facilities District No. 2006-2 (Attachment D)** - This allows for the termination of the additional Special Taxes levies for CFD 2006-2 (Central Lathrop Specific Plan Services), contingent on the formation and successful landowner election authorizing CFD 2019-2 (Central Lathrop City Services) and dissolution of the 2006 CFD.
5. **Ordinance Levying Special Taxes (Attachment E)** -Under the law, the Council must levy the special taxes by an ordinance. Under this ordinance, the levy is made once by the adoption of this ordinance, and, in each year hereafter, the process of determining the special taxes and processing the collection is done by the City's financial official (or a consultant) and no further Council action is needed.

In the future, additional properties are authorized to be added to the CFD upon consent of the landowners of parcels to be added without further action of the Council, and will be similarly taxed.

Once the above actions are completed, the City Clerk is authorized to record with the County Recorder a Notice of Special Tax Lien pertaining to each of the parcels in the CFD subject to a special tax.

REASON FOR RECOMMENDATION:

Over the last several months, Staff has worked with Saybrook to complete a fiscal impact analysis for their project. The fiscal impact analysis has determined that the Stanford Crossings development will produce a shortfall to the City's General Fund. In order for the City to ensure that development continues to pay its own way, a Community Facilities District (CFD) needs to be formed to cover the shortfalls.

FISCAL IMPACT:

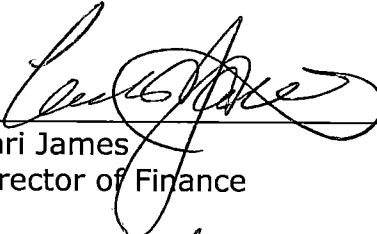
Developer has funded the cost to form the CFD.

ATTACHMENTS:

- A. Resolution of Formation of Community Facilities District
Exhibits to Attachment A:
 - A. Description of Services
 - B. Rate and Method of Apportionment of Special Tax
- B. Resolution Calling Special Landowner Election
- C. Resolution Declaring Results of Special Landowner Election
- D. Resolution to Dissolve Community Facilities District 2006-2 (Central Lathrop Specific Plan Services)
- E. Ordinance Levying Special Taxes Within the Community Facilities District

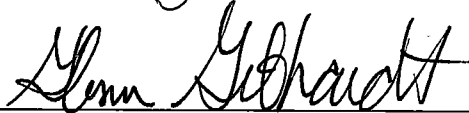
**CITY MANAGER'S REPORT
APRIL 8, 2019 CITY COUNCIL REGULAR MEETING
ESTABLISHING COMMUNITY FACILITIES DISTRICT 2019-2**

APPROVALS:



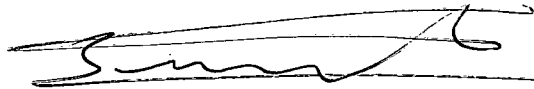
Cari James
Director of Finance

4/1/19
Date



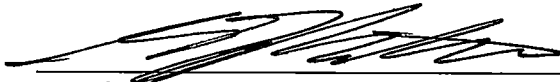
Glenn Gebhardt
City Engineer

4/1/19
Date



Salvador Navarrete
City Attorney

4-1-19
Date



Stephen J. Salvatore
City Manager

4-2-19
Date

Attachment "A"

RESOLUTION NO. 19-

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP
APPROVING A RESOLUTION OF FORMATION OF COMMUNITY FACILITIES
DISTRICT**

**CITY OF LATHROP
Community Facilities District No. 2019-2
(Central Lathrop City Services)**

WHEREAS, on March 11, 2019 the City Council (the "Council") of the City of Lathrop (the "City") adopted Resolution No. 19-4523 entitled "Resolution of Intention to Establish Community Facilities District No. 2019-2 (Central Lathrop City Services) and Future Annexation Area" (the "Resolution of Intention"), stating its intention to form "City of Lathrop Community Facilities District No. 2019-2 (Central Lathrop City Services)" (the "CFD") and a Future Annexation Area therein (the "Future Annexation Area"), pursuant to Chapter 2.5 of Part 1 of Division 2 of Title 5, commencing with Section 53311, of the California Government Code (the "Act"); and

WHEREAS, the Resolution of Intention, incorporating a map of the proposed boundaries of the CFD and the Future Annexation Area and stating the services to be provided and the rate and method of apportionment of the special tax to be levied within the CFD to pay for the services, is on file with the City Clerk and the provisions thereof are incorporated herein by this reference as if fully set forth herein; and

WHEREAS, on this date, this Council held a noticed public hearing as required by the Act and the Resolution of Intention relative to the proposed formation of the CFD and the Future Annexation Area; and

WHEREAS, at the hearing all interested persons desiring to be heard on all matters pertaining to the formation of the CFD and the Future Annexation Area, the services to be provided therein and the levy of such special tax were heard and a full and fair hearing was held; and

WHEREAS, at the hearing evidence was presented to this Council on such matters before it, including a special report (the "Report") as to the services to be provided through the CFD and the costs thereof, a copy of which is on file with the City Clerk, and this Council at the conclusion of said hearing is fully advised in the premises; and

WHEREAS, written protests with respect to the formation of the CFD, the furnishing of specified types of services and the rate and method of apportionment of the special taxes have not been filed with the City Clerk by 50% or more of the registered voters residing within the territory of the CFD or property owners of one-half or more of the area of land within the CFD and not exempt from the proposed special taxes; and

Attachment "A"

WHEREAS, written protests have not been filed with the City Clerk against the proposed annexation of the Future Annexation Area to the CFD by (i) 50% of more of the registered voters, or six registered voters, whichever is more, residing in the proposed boundaries of the CFD, or (ii) 50% or more of the registered voters, or six registered voters, whichever is more, residing in the Future Annexation Area, (iii) owners of one-half or more of the area of land in the proposed CFD or (iv) owners of one-half or more of the area of land in the Future Annexation Area.

NOW, THEREFORE, be it resolved by the City Council of the City of Lathrop:

- 1. Recitals Correct.** The foregoing recitals are true and correct.
- 2. No Majority Protest.** The proposed CFD, the proposed Future Annexation Area and the proposed special tax to be levied within the CFD have not been precluded by majority protest pursuant to section 53324 of the Act.
- 3. Prior Proceedings Valid.** All prior proceedings taken by this City Council in connection with the establishment of the CFD and the Future Annexation Area and the levy of the special tax have been duly considered and are hereby found and determined to be valid and in conformity with the Act.
- 4. Name of CFD and Future Annexation Area.** The community facilities district designated "City of Lathrop Community Facilities District No. 2019-2 (Central Lathrop City Services)" and the future annexation area designated "City of Lathrop Community Facilities District No. 2019-2 (Central Lathrop City Services) (Future Annexation Area)" are hereby established pursuant to the Act.
- 5. Boundaries of CFD.** The boundaries of the CFD and the Future Annexation Area, as set forth in the map of the CFD and the Future Annexation Area recorded in the San Joaquin County Recorder's Office on March 13, 2019 in Book 6 at Page 151 of Maps of Assessment and Community Facilities Districts, are hereby approved, are incorporated herein by reference and shall be the boundaries of the CFD and the Future Annexation Area.

Parcels within the Future Annexation Area shall be annexed to the CFD only with the unanimous approval (each, a "Unanimous Approval") of the owner or owners of each parcel or parcels at the time that parcel or those parcels are annexed, without any requirement for further public hearings or additional proceedings.
- 6. Description of Services.** The type of public services proposed to be financed by the CFD and pursuant to the Act shall consist of those items shown in Exhibit A hereto and by this reference incorporated herein (the "Services"). The City intends to provide the Services on an equal basis in the original territory of the CFD and, when it has been annexed to the CFD, the Future Annexation Area.

Attachment "A"

7. Special Tax.

a. Except to the extent that funds are otherwise available to the CFD to pay for the Services, a special tax (the "Special Tax") sufficient to pay the costs thereof, secured by the recordation of a continuing lien against all non-exempt real property in the CFD, is intended to be levied annually within the CFD, and collected in the same manner as ordinary *ad valorem* property taxes or in such other manner as may be prescribed by this Council.

b. The proposed rate and method of apportionment of the Special Tax among the parcels of real property within the CFD, in sufficient detail to allow each landowner within the proposed CFD to estimate the maximum amount such owner will have to pay, are shown in Exhibit B attached hereto and hereby incorporated herein.

c. Territory in the Future Annexation Area will be annexed into the CFD and a special tax will be levied on such territory only with the Unanimous Approval of the owner or owners of each parcel or parcels at the time that parcel or those parcels are annexed into the CFD. Except to the extent that funds are otherwise available to the CFD to pay for the Services, a special tax sufficient to pay the costs thereof, secured by the recordation of a continuing lien against all non-exempt real property in the Future Annexation Area, is intended to be levied annually within the Future Annexation Area, and collected in the same manner as ordinary *ad valorem* property taxes or in such other manner as may be prescribed by this City Council. As required by Section 53339.3(d) of the Act, the Council hereby determines that the special tax proposed to pay for Services to be supplied within the Future Annexation Area shall be equal to any special tax levied to pay for the same Services in the existing CFD, except that a higher or lower tax may be levied within the Future Annexation Area to the extent that the actual cost of providing the Services in the Future Annexation Area is higher or lower than the cost of providing those Services in the existing CFD. In so finding, the Council does not intend to limit its ability to levy a special tax within the Future Annexation Area to provide new or additional services beyond those supplied within the existing CFD.

8. Increased Demands. It is hereby found and determined that the Services are necessary to meet increased demands placed upon local agencies, including the City, as the result of development occurring in the CFD and the Future Annexation Area. The Services are in addition to those provided in the territory of the CFD and the Future Annexation Area as of the date hereof and will not supplant services already available within the territory of the CFD and the Future Annexation Area as of the date hereof.

Attachment "A"

9. Responsible Official. The Finance Director of the City of Lathrop, City Hall, 390 Town Center Drive, Lathrop, California 95330, telephone number 209-941-7327, is the officer of the City who will be responsible for preparing annually a current roll of the levy of the Special Tax obligations by assessor's parcel number and who will be responsible for estimating future levies of the Special Tax.

10. Tax Lien. Upon recordation of a notice of special tax lien pursuant to Section 3114.5 of the California Streets and Highways Code, a continuing lien to secure each levy of the Special Tax shall attach to all nonexempt real property in the CFD and this lien shall continue in force and effect until the Special Tax obligation is prepaid and permanently satisfied and the lien canceled in accordance with law or until collection of the Special Tax by the City ceases.

11. Appropriations Limit. In accordance with the Act, the annual appropriations limit, as defined by subdivision (h) of Section 8 of Article XIII B of the California Constitution, of the CFD is hereby preliminarily established at \$5,000,000 and such appropriations limit shall be submitted to the voters of the CFD as hereafter provided. The proposition establishing such annual appropriations limit shall become effective if approved by the qualified electors voting thereon and shall be adjusted in accordance with the applicable provisions of the Act and the Constitution.

12. Election. Pursuant to the provisions of the Act, the proposition of the levy of the Special Tax and the proposition of the establishment of the appropriations limit specified above shall be submitted to the qualified electors of the CFD at an election the time, place and conditions of which election shall be as specified by a separate resolution of this Council.

13. Effective Date. This resolution shall take effect upon its adoption.

* * * * *

Attachment "A"

The foregoing resolution was passed and adopted this 8th day of April 2019, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSTAIN:

ABSENT:

Sonny Dhaliwal, Mayor

ATTEST:

APPROVED AS TO FORM:

Teresa Vargas, City Clerk



Salvador Navarrete, City Attorney

EXHIBIT "A"

**CITY OF LATHROP
City of Lathrop Community Facilities District No. 2019-2
(Central Lathrop City Services)**

DESCRIPTION OF SERVICES

The following, including all related administrative costs and expenses, shall be the "Services" to be financed, in whole or in part by the captioned CFD:

- A. Parks, Parkways, and Open Space, including but not limited to:
 - 1. Maintenance of parkway landscaping and bus shelters
 - 2. Operation and maintenance of parkway streetlights and traffic signals
 - 3. Maintenance and repair of sound walls along parkways
 - 4. Reserve for regular replacement of plants and materials
 - 5. Maintenance of community, neighborhood, and linear parks
 - 6. Maintenance of pedestrian/bike paths
 - 7. Operation and maintenance of park lighting

- B. Flood and Storm Protection, including but not limited to:
 - 1. Maintenance of the storm drain system and detention basins
 - 2. Operation and maintenance of the outfall structure and the pump lift stations for the detention basins
 - 3. Implementation of NPDES Storm Water Management Plan requirements
 - 4. Reserve for replacement of structures and pumps

- C. Police Protection, including but not limited to:
 - 1. Police services, including animal control
 - 2. Reserve for replacement of vehicles and equipment

- D. Fire Protection, including but not limited to:
 - 1. Fire services provided by the Lathrop-Manteca Fire Protection District
 - 2. Reserve for replacement of vehicles and equipment

The services also include administrative expenses related to the District including but not limited to the payment or reimbursement to the City (or to property owners in the District) all costs actually incurred in connection with the establishment and administration of the District, the direct and indirect expenses incurred by the City in carrying out its duties with respect to the District (including, but not limited to, the levy and collection of the special taxes) including the fees and expenses of attorneys, any fees of the County of San Joaquin related to the District or the collection of special taxes, an allocable share of the salaries of the City staff directly related thereto and a proportionate amount of the City's general administrative overhead related thereto, any amounts paid by the City from its general fund with respect to the District or the services authorized to be financed by the District, and expenses incurred by the City in undertaking action to foreclose on properties for which the payment of special taxes is delinquent, and all other costs and expenses of the City in any way related to the District.

EXHIBIT B

CITY OF LATHROP COMMUNITY FACILITIES DISTRICT NO. 2019-2 (CENTRAL LATHROP CITY SERVICES)

RATE AND METHOD OF APPORTIONMENT OF SPECIAL TAX

A Special Tax applicable to each Assessor's Parcel in the City of Lathrop Community Facilities District No. 2019-2 (Central Lathrop City Services) shall be levied and collected according to the tax liability determined by the City or its designee, through the application of the appropriate amount or rate for Taxable Property, as described below. All of the property in the CFD, unless exempted by law or by the provisions of Section F below, shall be taxed for the purposes, to the extent, and in the manner herein provided, including property subsequently annexed to the CFD unless a separate rate and method of apportionment of special tax is adopted for the annexation area.

A. DEFINITIONS

The terms hereinafter set forth have the following meanings:

"Accessory Unit" means a second residential unit of limited size (e.g., granny cottage, second unit) that shares a Parcel with a single-family detached unit.

"Acre" means one acre of the land area of an Assessor's Parcel as shown on an Assessor's Parcel map or, if the land area is not shown on an Assessor's Parcel map, the land area shown on the applicable final map, parcel map, condominium plan, or other recorded County map.

"Act" means the Mello-Roos Community Facilities Act of 1982, as amended, being Chapter 2.5, (commencing with Section 53311), Division 2 of Title 5 of the California Government Code.

"Administrative Expenses" means any or all of the following: expenses of the City in carrying out its duties with respect to the CFD, including, but not limited to, the levy and collection of Special Taxes, the fees and expenses of its legal counsel, charges levied by the County in connection with the levy and collection of the Special Tax, costs related to property owner inquiries regarding the Special Tax, costs associated with appeals or requests for interpretation associated with the Special Tax and this RMA, costs associated with foreclosure and collection of delinquent Special Taxes and all other costs and expenses of the City and County in any way related to the establishment or administration of the CFD.

"Administrator" means the person or firm designated by the City to administer the Special Tax according to this RMA.

"Assessor's Parcel" or "Parcel" means a lot or parcel shown on a County Assessor's Parcel map with an assigned County Assessor's Parcel number.

“Authorized Services” means those services that are authorized to be funded by Special Taxes collected within the CFD, pursuant to the documents adopted by the City Council at CFD Formation.

“CFD” means the City of Lathrop Community Facilities District No. 2019-2 (Central Lathrop City Services).

“CFD Formation” means the date on which the Resolution of Formation to form the CFD was adopted by the City Council.

“City” means the City of Lathrop.

“City Council” means the City Council of the City of Lathrop.

“County” means the County of San Joaquin.

“Developed Property” means, in any Fiscal Year, the following:

- for Single Family Detached Property, all Parcels of Taxable Property for which a Final Map was recorded on or prior to June 30 of the preceding Fiscal Year
- for Multi-Family Property and Single Family Attached Property, all Parcels of Taxable Property for which a building permit for new construction of a residential structure was issued on or prior to June 30 of the preceding Fiscal Year
- for Non-Residential Property, all Parcels of Taxable Property for which a building permit for new construction of a structure was issued on or prior to June 30 of the preceding Fiscal Year.

“Development Class” means, individually, Developed Property and Undeveloped Property.

“Escalation Factor” means, in any Fiscal Year, the lesser of (i) the increase from the prior Fiscal Year, if any, in the Local Consumer Price Index (CPI) for the San Francisco-Oakland-Hayward Area for All Urban Consumers, or (ii) four percent (4%). The CPI used shall be as determined by the Bureau of Labor Statistics from April to April beginning with the period from April 2018 to April 2019.

“Final Map” means a final map, or portion thereof, approved by the City and recorded by the County pursuant to the Subdivision Map Act (California Government Code Section 66410 et seq) that creates SFD Lots. The term “Final Map” shall not include any large lot subdivision map, Assessor’s Parcel Map, or subdivision map or portion thereof, that does not create SFD Lots, including Assessor’s Parcels that are designated as remainder parcels.

“Fiscal Year” means the period starting July 1 and ending on the following June 30.

“Maximum Special Tax” means the greatest amount of Special Tax that can be levied on a Parcel in any Fiscal Year, as determined in accordance with Section C below.

“Multi-Family Property” means, in any Fiscal Year, all Parcels of Taxable Property for which a building permit or use permit has been issued or is expected to be issued for construction of a residential structure with five or more Units that share a single Assessor’s Parcel number, are offered for rent to the general public, and cannot be purchased by individual homebuyers.

“Non-Residential Property” means, collectively, Office Property and Retail Property. If a building includes both non-residential uses and Units, Section C.1 below sets forth the process to estimate the acreage of Non-Residential Property for purposes of this RMA.

“Proportionately” means, for each Development Class, that the ratio of the actual Special Tax levied in any Fiscal Year to the Maximum Special Tax authorized to be levied in that Fiscal Year is equal for all Parcels assigned to the Development Class.

“Public Property” means any property within the boundaries of the CFD that is owned by or irrevocably offered for dedication to the federal government, State of California, County, City, or other local governments or public agencies.

“Office Property” means any Parcel of Developed Property that is designated for office space to be used for professional, banking, insurance, real estate, administrative, in-office medical or dental activities, or any other non-residential use that does not fall within the definition of Retail Property, as determined by the City.

“Residential Property” means, collectively, Single Family Detached Property, Single Family Attached Property, and Multi-Family Property. If a building includes both Units and non-residential uses, the Units within the building shall be categorized as Residential Property for purposes of this RMA.

“Retail Property” means any Parcel of Developed Property designated for a commercial establishment which sells general merchandise, hard goods, personal services, and other items directly to consumers, including, but not limited to, travel agencies, hardware stores, grocery stores, automotive dealers, service stations, home furnishing stores, restaurants, bars, banks, repair shops, movie theatres, day care centers, and art galleries. The City shall make the final determination as to whether a Parcel is Retail Property.

“RMA” means this Rate and Method of Apportionment of Special Tax.

“SFD Lot” means an individual residential lot, identified and numbered on a recorded Final Map, on which a building permit was or is permitted to be issued for construction of a single family detached unit without further subdivision of the lot and for which no further subdivision of the lot is anticipated pursuant to an approved tentative map.

“Single Family Attached Property” means, in any Fiscal Year, all Parcels of Taxable Property for which a building permit was or is expected to be issued for construction of a residential structure consisting of two or more Units that share common walls, have separate Assessor’s Parcel numbers assigned to them (except for a duplex unit, which may share an Assessor’s Parcel with another duplex unit), and may be purchased by individual homebuyers (which shall still be the case even if the Units are purchased and subsequently offered for rent by the owner of the unit), including such

residential structures that meet the statutory definition of a condominium contained in Civil Code Section 1351.

“Single Family Detached Property” means, in any Fiscal Year, all Parcels of Taxable Property for which a building permit was or is expected to be issued for construction of a Unit that does not share a common wall with another Unit. An Accessory Unit that shares a Parcel with a single-family detached unit shall not be considered a separate Unit for purposes of this RMA.

“Special Tax” means a special tax levied in any Fiscal Year to pay the Special Tax Requirement.

“Special Tax Requirement” means the amount of revenue needed in any Fiscal Year to pay for: (i) Authorized Services, (ii) Administrative Expenses, and (iii) amounts needed to cure any delinquencies in the payment of Special Taxes which have occurred or (based on delinquency rates in prior years) may be expected to occur in the Fiscal Year in which the tax will be collected. In any Fiscal Year, the Special Tax Requirement shall be reduced by surplus amounts available (as determined by the City) from the levy of the Special Tax in prior Fiscal Years, including revenues from the collection of delinquent Special Taxes and associated penalties and interest.

“Taxable Property” means all of the Assessor’s Parcels within the boundaries of the CFD which are not exempt from the Special Tax pursuant to law or Section F below.

“Tax Zone” means a mutually exclusive geographic area within which the Special Tax may be levied pursuant to this RMA. *All of the property within the CFD at the time of CFD Formation is within Tax Zone 1.* Additional Tax Zones may be created when property is annexed to the CFD, and separate Maximum Special Taxes shall be identified for property within the new Tax Zone at the time of such annexation. The Assessor’s Parcels included within a new Tax Zone established when such Parcels are annexed to the CFD shall be identified by Assessor’s Parcel number in the Unanimous Approval Form that is signed by the owner(s) of the Parcels at the time of annexation.

“Unanimous Approval Form” means that form executed by the record owner of fee title to a Parcel or Parcels annexed into the CFD that constitutes the property owner’s approval and unanimous vote in favor of annexing into the CFD and the levy of the Special Tax against his/her Parcel or Parcels pursuant to this RMA.

“Undeveloped Property” means, in any Fiscal Year, all Parcels of Taxable Property that are not yet Developed Property.

“Unit” means a single family detached unit or an individual unit within a duplex, triplex, halfplex, fourplex, condominium, townhome, live/work, or apartment structure.

B. DATA FOR ADMINISTRATION OF THE SPECIAL TAX

On or about July 1 of each Fiscal Year, the Administrator shall identify the current Assessor’s Parcel numbers for all Parcels of Taxable Property within the CFD. The Administrator shall also determine: (i) within which Tax Zone each Parcel is located; (ii) which Parcels of Developed Property are Residential Property and Non-Residential Property; (iii) which Parcels of Residential

Property are Single Family Detached Property, Single Family Attached Property, and Multi-Family Property; (iv) which Parcels of Non-Residential Property are Office Property and Retail Property; (v) by reference to the condominium plan, site plan, or other document, the number of Units on each Parcel of Single Family Attached Property and Multi-Family Property; and (vi) the Special Tax Requirement for the Fiscal Year.

In any Fiscal Year, if it is determined that: (i) a parcel map for property in the CFD was recorded after January 1 of the prior Fiscal Year (or any other date after which the Assessor will not incorporate the newly-created parcels into the then current tax roll), (ii) because of the date the parcel map was recorded, the Assessor does not yet recognize the new parcels created by the parcel map, and (iii) a building permit was issued on or prior to June 30 of the prior Fiscal Year for development on one or more of the newly-created parcels, the Administrator shall calculate the Special Tax for Units, Non-Residential Property, and/or Undeveloped Property within the subdivided area and levy such Special Taxes on the master Parcel that was subdivided by recordation of the parcel map.

C. MAXIMUM SPECIAL TAX

1. Developed Property

Table 1 below identifies the Maximum Special Tax for Developed Property within Tax Zone 1; different Maximum Special Taxes may be identified for property that annexes into the CFD and is part of a separate Tax Zone.

**TABLE 1
MAXIMUM SPECIAL TAX
TAX ZONE 1**

<i>Type of Property</i>	<i>Maximum Special Tax in Tax Zone 1 (Fiscal Year 2019-20)*</i>
<u>Residential Property</u> Single Family Detached Property Single Family Attached Property Multi-Family Property	\$1,200 per Unit \$1,200 per Unit \$700 per Unit
<u>Non-Residential Property</u> Office Property Retail Property	\$2,000 per Acre \$1,500 per Acre

**** On July 1, 2020 and on each July 1 thereafter, all figures shown in Table 1 above shall be increased by the Escalation Factor.***

If, in any Fiscal Year, the Administrator determines that a Parcel of Developed Property is built or proposed to be built with both Units and non-residential uses, the Maximum Special Tax for the Parcel shall be the sum of: (i) the aggregate Maximum Special Tax for all Units on the Parcel, and (ii) the Maximum Special Tax determined for Non-Residential Property on the Parcel, the acreage of which shall be determined by dividing the net leasable or net saleable square footage of non-residential uses on the Parcel (as determined by the Administrator) by the aggregate net saleable and net leasable square footage in the building built or expected to be built on the Parcel (as determined by the Administrator), then multiplying the quotient by the acreage of the underlying land Parcel.

2. *Undeveloped Property*

The Maximum Special Tax for Undeveloped Property in Fiscal Year 2019-20 is \$3,393 per Acre, which amount shall, on July 1, 2020 and each July 1 thereafter, be increased by the Escalation Factor.

D. METHOD OF LEVY OF THE SPECIAL TAX

Each Fiscal Year, the Administrator shall determine the Special Tax Requirement to be collected in that Fiscal Year. A Special Tax shall then be levied according to the following steps:

- Step 1:** The Special Tax shall be levied Proportionately on each Parcel of Developed Property up to 100% of the Maximum Special Tax for Developed Property until the amount levied is equal to the Special Tax Requirement.
- Step 2:** If additional revenue is needed after Step 1 in order to meet the Special Tax Requirement, the Special Tax shall be levied Proportionately on each Parcel of Undeveloped Property up to 100% of the Maximum Special Tax for Undeveloped Property until the amount levied is equal to the Special Tax Requirement.

E. MANNER OF COLLECTION OF SPECIAL TAX

The Special Tax shall be collected in the same manner and at the same time as ordinary ad valorem property taxes, provided, however, that the City may directly bill, collect at a different time or in a different manner, and/or collect delinquent Special Taxes through foreclosure or other available methods. The Special Tax may be levied and collected in perpetuity.

F. EXEMPTIONS

No Special Taxes shall be levied on Public Property or any other Parcels in the CFD that are not Residential Property or Non-Residential Property, as defined herein.

G. INTERPRETATION OF SPECIAL TAX FORMULA

The City may interpret, clarify, and/or revise this RMA to correct any inconsistency, vagueness or ambiguity as it relates to the Special Tax rate, the method of apportionment, the classification of properties or any definition applicable to the CFD, by resolution or ordinance. The City, upon the request of an owner of land within the CFD which is not Developed Property, may also amend this RMA in any manner acceptable to the City, by resolution or ordinance following a public hearing, upon the affirmative vote of such owner to such amendment and without the vote of owners of any other land within the CFD, provided such amendment only affects such owner's land.

Attachment "B"

RESOLUTION NO. 19-

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP
APPROVING A RESOLUTION CALLING SPECIAL LANDOWNER ELECTION
FOR COMMUNITY FACILITIES DISTRICT**

**CITY OF LATHROP
Community Facilities District No. 2019-2
(Central Lathrop City Services)**

WHEREAS, the City Council (the "Council") of the City of Lathrop (the "City") has adopted a resolution entitled "Resolution of Formation of Community Facilities District" (the "Resolution of Formation"), ordering the formation of the "City of Lathrop Community Facilities District No. 2019-2 (Central Lathrop City Services)" (the "CFD") and a future annexation area (the "Future Annexation Area"), defining the public services (the "Services") to be provided by the CFD, authorizing the levy of a special tax on property within the CFD and preliminarily establishing an appropriations limit for the CFD, all pursuant to Chapter 2.5 of Part 1 of Division 2 of Title 5, commencing with Section 53311, of the California Government Code (the "Act"); and

WHEREAS, pursuant to the provisions of the Resolution of Formation, the propositions of the levy of the special tax and the establishment of the appropriations limit shall be submitted to the qualified electors of the CFD as required by the provisions of the Act.

NOW, THEREFORE, be it resolved by the City Council of the City of Lathrop:

1. Issues Submitted. Pursuant to the Act, the issues of the levy of the special tax and the establishment of the appropriations limit shall be submitted to the qualified electors (as defined below) of the CFD at an election called therefor as provided below.

2. Qualified Electors. This Council hereby finds that fewer than 12 persons have been registered to vote within the territory of the CFD for each of the ninety (90) days preceding the close of the public hearings heretofore conducted and concluded by this Council for the purposes of these proceedings. Accordingly, and pursuant to Section 53326 of the Act, this Council finds that, for these proceedings, the qualified electors are the landowners within the CFD and that the vote shall be by such landowners or their authorized representatives, each having one vote for each acre or portion thereof such landowner owns in the CFD as of the close of the public hearing.

Attachment "B"

3. Conduct of Election. This Council hereby calls a special election to consider the issues described in Section 2, above, which election shall be held on April 8, 2019, and the results thereof canvassed at the meeting of this Council on April 8, 2019. The City Clerk is hereby designated as the official to conduct the election and to receive all ballots until the close of business on the election date. It is hereby acknowledged that the Clerk has on file the Resolution of Formation, a map of the boundaries of the CFD, and a sufficient description to allow the Clerk to determine the electors of the CFD. Pursuant to Section 53327 of the Act, the election shall be conducted by messenger or mail-delivered ballot pursuant to Section 4000 of the California Elections Code. This Council hereby finds that paragraphs (a), (b), (c) (1) and (c)(3) of Section 4000 are applicable to this special election, except that Sections 53326 and 53327 of the Act shall govern for purposes of determining the date of the election.

4. Ballot. As authorized by Section 53353.5 of the Act, the issues described in section 1 above shall be combined into a single ballot measure, the form of which as attached hereto as Exhibit "A" is hereby approved. The City Clerk is hereby authorized and directed to cause a ballot, in substantially the form of Exhibit "A," to be delivered to each of the qualified electors of the CFD. Each ballot shall indicate the number of votes to be voted by the respective landowner to which the ballot pertains. Each ballot shall be accompanied by all supplies and written instructions necessary for the use and return of the ballot. The envelope to be used to return the ballot shall be enclosed with the ballot, have the return postage prepaid, and contain the following: (a) the name and address of the landowner, (b) a declaration, under penalty of perjury, stating that the voter is the owner of record or authorized representative of the landowner entitled to vote and is the person whose name appears on the envelope, (c) the printed name, signature and address of the voter, (d) the date of signing and place of execution of the declaration pursuant to clause (b) above, and (e) a notice that the envelope contains an official ballot.

5. Waivers. This Council hereby further finds that the provisions of Section 53326 of the Act requiring a minimum of 90 days following the adoption of the Resolution of Formation to elapse before the special election are for the protection of the qualified electors of the CFD. There is on file with the Clerk a written waiver executed by all of the qualified electors of the CFD allowing for a shortening of the time for the special election to expedite the process of formation of the CFD and waiving any requirement for notice, analysis and arguments in connection with the election. Accordingly, this Council finds and determines that the qualified electors have been fully apprised of and have agreed to the shortened time for the election and waiver of analysis and arguments, and have thereby been fully protected in these proceedings. This Council also finds and determines that the City Clerk has concurred in the shortened time for the election. Analysis and arguments with respect to the ballot measures are hereby waived, as provided in Section 53327 of the Act.

Attachment "B"

6. Accountability. Under Section 50075.1 of the Government Code, the following accountability provisions shall apply to the special taxes: (a) the construction and/or acquisition of the Services and the incidental costs thereof including any bonds, all as defined in the Resolution of Formation, shall constitute the specific single purpose; (b) the proceeds shall be applied only to the specific purposes identified in (a) above; (c) there shall be created special account(s) or funds(s) into which the proceeds shall be deposited; and (d) there shall be caused to be prepared an annual report if required by Section 50075.3 of the Government Code.

7. Effective Date. This Resolution shall take effect upon its adoption.

* * * * *

Attachment "B"

The foregoing resolution was passed and adopted this 8th day of April 2019, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSTAIN:

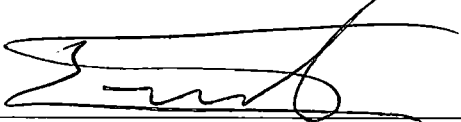
ABSENT:

Sonny Dhaliwal, Mayor

ATTEST:

APPROVED AS TO FORM:

Teresa Vargas, City Clerk



Salvador Navarrete, City Attorney

Attachment "B"

EXHIBIT "A"

**CITY OF LATHROP
Community Facilities District No. 2019-2
(Central Lathrop City Services)**

**OFFICIAL BALLOT
SPECIAL TAX ELECTION**

Number of Votes: 503

Property Owner: Lathrop Land Acquisition, LLC, a Delaware limited liability company

This ballot is for a special, landowner election for the City of Lathrop Community Facilities District No. 2019-2 (Central Lathrop City Services). You must return this ballot in the enclosed postage paid envelope to the office of the City Clerk of the City of Lathrop **no later than the hour of 7:00 p.m. on April 8, 2019, either by mail or in person.** The Clerk's office is located at 390 Town Center Drive, Lathrop, California 95330.

To vote, mark a cross (X) on the voting line after the word "YES" or after the word "NO." All marks otherwise made are forbidden. All distinguishing marks are forbidden and make the ballot void. If you wrongly mark, tear, or deface this ballot, return it to the City Clerk and obtain another.

The estimated maximum annual amount of money authorized to be raised by this measure at year 30 of the CFD term is expected to be \$5.21 million based upon the projected full build-out of the CFD and the rate and duration of the special tax as set forth in the rate and method of apportionment of special taxes for the CFD.

<p>BALLOT MEASURE: Shall the measure to allow the City of Lathrop be authorized to annually levy a special tax solely on lands within the City of Lathrop Community Facilities District No. 2019-2 (Central Lathrop City Services) (the "CFD") in accordance with the rate and method contained in the Resolution of Formation of the CFD adopted by the City Council of the City on April 8, 2019, commencing in the City's fiscal year 2019-20, to pay for the public services specified in the Resolution of Formation for the CFD and to pay the costs of the City in administering the CFD, and shall the annual appropriations limit of the CFD be established in the amount of \$5,000,000 be adopted?</p>	<p>YES: _____</p> <p>NO: _____</p>
---	--

By execution in the space provided below, you also confirm your written waiver of the time limit pertaining to the conduct of the election and any requirement for analysis and arguments with respect to the ballot measure.

Property Owner:

Lathrop Land Acquisition, LLC, a Delaware limited liability company

By: Saybrook Fund Investors, LLC, its managing member

By: _____

Jeffrey M. Wilson

Attachment "C"

RESOLUTION NO. 19-

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP APPROVING A RESOLUTION DECLARING RESULTS OF SPECIAL LANDOWNER ELECTION AND DIRECTING RECORDING OF NOTICE OF SPECIAL TAX LIEN

**CITY OF LATHROP
Community Facilities District No. 2019-2
(Central Lathrop City Services)**

WHEREAS, the City Council (the "Council") of the City of Lathrop (the "City") has adopted a resolution entitled "Resolution of Formation of Community Facilities District" (the "Resolution of Formation"), ordering the formation of the "City of Lathrop Community Facilities District No. 2019-2 (Central Lathrop City Services)" (the "CFD") and a future annexation area, authorizing the levy of a special tax on property within the CFD and preliminarily establishing an appropriations limit for the CFD, all pursuant to Chapter 2.5 of Part 1 of Division 2 of Title 5, commencing with Section 53311, of the California Government Code (the "Act"); and

WHEREAS, under the provisions of the Resolution of Formation and pursuant to a resolution entitled "Resolution Calling Special Landowner Election for Community Facilities District" (the "Election Resolution") heretofore adopted by this Council, the propositions of the levy of the special tax and the establishment of the appropriations limit were submitted to the qualified electors of the CFD as required by the provisions of the Act; and

WHEREAS, pursuant to the terms of the Election Resolution, which are by this reference incorporated herein, the special election has been held and the City Clerk has on file a Canvass and Statement of Results of Election, (the "Canvass") a copy of which is attached hereto as Exhibit A; and

WHEREAS, this Council has been informed of the Canvass, finds it appropriate and wishes to complete its proceedings for the CFD.

NOW, THEREFORE, be it resolved by the City Council of the City of Lathrop:

- 1. Recitals.** The foregoing recitals are all true and correct.
- 2. Issues Presented.** The issues presented at the special election were the levy of a special tax within the CFD and the approval of an annual appropriations limit of not to exceed \$5,000,000, all pursuant to the Resolution of Formation.

Attachment "C"

3. Canvass and Issues Approved. The Council hereby approves the Canvass and finds that it shall be a permanent part of the record of its proceedings for the CFD. Pursuant to the Canvass, the issues presented at the special election were approved by the qualified electors of the CFD by more than two-thirds of the votes cast at the special election.

4. Proceedings Approved. Pursuant to the voter approval, the CFD is hereby declared to be fully formed with the authority to levy the special taxes and to have the established appropriations limit, all as heretofore provided in these proceedings and in the Act. It is hereby found that all prior proceedings and actions taken by this Council with respect to the CFD were valid and in conformity with the Act.

5. Notice of Tax Lien. The City Clerk is hereby directed to complete, execute and cause to be recorded in the office of the County Recorder of the County of San Joaquin a notice of special tax lien in the form required by the Act, such recording to occur no later than fifteen (15) days following adoption of this resolution by the Council

6. Effective Date. This Resolution shall take effect upon its adoption.

* * * * *

Attachment "C"

The foregoing resolution was passed and adopted this 8th day of April 2019, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSTAIN:


ABSENT:

Sonny Dhaliwal, Mayor

ATTEST:

APPROVED AS TO FORM:

Teresa Vargas, City Clerk



Salvador Navarrete, City Attorney

Attachment "C"

EXHIBIT "A"

CANVASS AND STATEMENT OF RESULT OF ELECTION

**CITY OF LATHROP
Community Facilities District No. 2019-2
(Central Lathrop City Services)**

I hereby certify that on _____, 2019, I canvassed the returns of the election held on _____, 2019, in the City of Lathrop Community Facilities District No. 2019-2 (Central Lathrop City Services) and the total number of ballots cast in such District and the total number of votes cast for and against the measure are as follows and the totals as shown for and against the measure are full, true and correct:

	Qualified Landowner <u>Votes</u>	Votes <u>Cast</u>	<u>YES</u>	<u>NO</u>
City of Lathrop Community Facilities District No. 2019-2 (Central Lathrop City Services) Special Tax Election, _____, 2019.	_____	_____	_____	_____

BALLOT MEASURE: Shall the measure to allow the City of Lathrop be authorized to annually levy a special tax solely on lands within the City of Lathrop Community Facilities District No. 2019-2 (Central Lathrop City Services) (the "CFD") in accordance with the rate and method contained in the Resolution of Formation of the CFD adopted by the City Council of the City on April 8, 2019, commencing in the City's fiscal year 2019-20, to pay for the public services specified in the Resolution of Formation for the CFD and to pay the costs of the City in administering the CFD, and shall the annual appropriations limit of the CFD be established in the amount of \$5,000,000 **be adopted?**

YES: _____

NO: _____

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND on _____, 2019.

By: _____

City Clerk
City of Lathrop

Attachment "D"

RESOLUTION NO. 19-

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP TO DISSOLVE COMMUNITY FACILITIES DISTRICT NO. 2006-2 (CENTRAL LATHROP SPECIFIC PLAN SERVICES)

WHEREAS, the City Council (the "City Council") of the City of Lathrop (the "City") has previously conducted proceedings to establish Community Facilities District No. 2006-2 (Central Lathrop Specific Plan Services) (the "2006 CFD") pursuant to the Mello-Roos Community Facilities Act of 1982, as amended (the "Act"), Chapter 2.5 of Part 1 of Division 2 of Title 5, commencing at Section 53311, of the California Government Code; and

WHEREAS, the City is authorized to levy, and has levied, special taxes on land within the 2006 CFD according to a Rate and Method of Apportionment of Special Tax approved by the City Council the 2006 CFD; and

WHEREAS, land in a portion of the 2006 CFD has been acquired by Saybrook CLSP, LLC, a Delaware limited liability company, and/or Lathrop Land Acquisition, LLC, a Delaware limited liability company (together, the "Landowners"), and the Landowners and the City have restructured the special tax obligation and bonds of a community facilities district formed in 2006 for the purpose of financing capital improvements, all pursuant to a "Restructuring Agreement for the Community Facilities District No. 2006-1" (the "Restructuring Agreement"); and

WHEREAS, the City is undertaking the formation of a new community facilities district to be known as Community Facilities District No. 2019-2 (Central Lathrop City Services) (the "New CFD") and a related future annexation area, which initial boundary is coterminous with the City's Community Facilities District No. 2018-1 (Central Lathrop Specific Plan Facilities) formed pursuant to the Restructuring Agreement; and

WHEREAS, the Landowners own all of the land to be initially included within the New CFD and pursuant to the request of the Landowners, the City and the Landowners now desire to replace the 2006 CFD with the New CFD, resulting in a release of all parcels within the 2006 CFD from any further levy of a special tax of the 2006 CFD, and upon such release cause certain of the parcels formerly within the 2006 CFD to be subject an ongoing levy of a special tax of the New CFD; and

WHEREAS, the City Council hereby finds and determines that release of special tax levies of the 2006 CFD and the creation of the New CFD will best serve the interests of the City and the owners of property subject to the special taxes of the 2006 CFD; and

Attachment "D"

WHEREAS, the City Council now desires to approve the release of future special tax levies of the 2006 CFD on land within the 2006 CFD, and to waive, cancel and extinguish the special tax obligations of the 2006 CFD, subject to and effective upon the formation of the New CFD and authorization to levy a special tax within the New CFD to pay for public services authorized to be financed by the New CFD.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LATHROP, AS FOLLOWS:

1. This City Council hereby finds and determines that the foregoing recitals are true and correct.

2. Contingent upon the completion of formation and adoption by this Council of an ordinance authorizing a special tax of the New CFD to be levied for the provision of public services authorized to be financed by the New CFD, the City Manager and the Finance Director (each, an "Authorized Officer"), each acting alone, are hereby authorized to take such actions as such Authorized Officer deems necessary or appropriate to effectuate a waiver, cancellation, forgiveness and/or extinguishment of all existing and future Special Taxes, including any penalties, interest, costs, and other charges accrued thereon, arising with respect to the 2006 CFD for all land within the 2006 CFD.

3. Upon recording of a Notice of Special Tax Lien evidencing the lien of the special taxes authorized to be levied within the New CFD upon all parcels within the initial boundary of the New CFD, an Authorized Officer is authorized to cause to be recorded a Notice of Cessation of Lien for all parcels within the 2006 CFD in accordance with Section 53330.5 of the Government Code.

4. This City Council hereby further finds that the actions and determinations made herein are necessary and convenient to carry out the Restructuring Agreement, the purpose of the Act and the restructuring of special taxes to be used for paying for the public services originally contemplated to be financed by the 2006 CFD, and such actions and determinations are not otherwise prohibited by law and that the actions taken hereby are final and in accordance with the Act.

5. All proceedings heretofore taken by this Council with respect to the CFD and the actions approved in this resolution, including the actions taken herein, have been duly considered and are hereby determined to be valid and in conformity with the Act.

6. This Resolution shall take effect from and after the date of its passage and adoption.

* * * * *

Attachment "D"

The foregoing resolution was passed and adopted this 8th day of April 2019, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSTAIN:

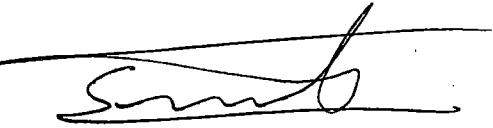
ABSENT:

Sonny Dhaliwal, Mayor

ATTEST:

APPROVED AS TO FORM:

Teresa Vargas, City Clerk



Salvador Navarrete, City Attorney

Attachment "E"

ORDINANCE NO. 19-

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF LATHROP LEVYING SPECIAL TAX WITHIN COMMUNITY FACILITIES DISTRICT NO. 2019-2 (CENTRAL LATHROP CITY SERVICES)

WHEREAS, pursuant to the Mello-Roos Community Facilities Act of 1982, as amended, sections 53311, *et. seq.*, of the California Government Code (the "Act"), on March 11, 2019, this City Council (the "Council") of the City of Lathrop (the "City"), adopted its resolution entitled "Resolution of Intention to Establish Community Facilities District No. 2019-2 (Central Lathrop City Services Services) and Future Annexation Area" (the "Resolution of Intention"), and has conducted proceedings (the "Proceedings") to establish "City of Lathrop Community Facilities District No. 2019-2 (Central Lathrop City Services Services)" (the "CFD") and a future annexation area (the "Future Annexation Area") pursuant to the Mello-Roos Community Facilities Act, Chapter 2.5 of Part 1 of Division 2 of Title 5, commencing with Section 53311, of the California Government Code (the "Act") to finance certain services (the "Services") as provided in the Act; and

WHEREAS, pursuant to notice as specified in the Act, and as part of the Proceedings, the Council has held a public hearing under the Act relative to the determination to proceed with the formation of the CFD and the Future Annexation Area and the rate and method of apportionment of the special tax ("Special Tax") to be levied within the CFD to finance the Services, and at such hearing all persons desiring to be heard on all matters pertaining to the formation of the CFD and the Future Annexation Area and the levy of the Special Tax were heard, substantial evidence was presented and considered by this Council and a full and fair hearing was held; and

WHEREAS, upon the conclusion of the hearing, this Council adopted its "Resolution of Formation of Community Facilities District" (the "Resolution of Formation"), pursuant to which it completed the Proceedings for the establishment of the CFD and the Future Annexation Area, the authorization of the levy of the Special Tax within the CFD and the calling of an election within the CFD on the propositions of levying the Special Tax and establishing an appropriations limit within the CFD, respectively; and

WHEREAS, on April 8, 2019, a special election was held among the landowner voters within the CFD at which such voters approved such propositions by the two-thirds vote required by the Act, which approval has been confirmed by resolution of this Council.

Attachment "E"

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LATHROP, AS FOLLOWS:

Section 1. By the passage of this Ordinance, the Council hereby authorizes and levies the Special Tax within the CFD (including any parcel or parcels in the Future Annexation Area that annex into the CFD at rate to be determined at the time of annexation) pursuant to the Act, at the rate and in accordance with the rate and method of apportionment of Special Tax set forth in the Resolution of Formation which rate and method is by this reference incorporated herein. The Special Tax is hereby levied commencing in fiscal year 2019-20, and in each fiscal year thereafter to pay for the Services for the CFD, as contemplated by the Resolution of Formation and the Proceedings and all costs of administering the CFD.

Section 2. The Finance Director of the City or designee, or an employee or consultant of the City, is hereby authorized and directed each fiscal year to determine the specific Special Tax to be levied for the next ensuing fiscal year for each parcel of real property within the CFD (including any parcel in the Future Annexation Area that annex into the CFD), in the manner and as provided in the Resolution of Formation.

Section 3. Exemptions from the levy of the Special Tax shall be as provided in the Resolution of Formation and the applicable provisions of the Act. In no event shall the Special Tax be levied on any parcel within the CFD in excess of the maximum Special Tax specified in the Resolution of Formation.

Section 4. All of the collections of the Special Tax shall be used as provided in the Act and in the Resolution of Formation, including, but not limited to, the payment of costs of the Services, the payment of the costs of the City in administering the CFD, and the costs of collecting and administering the Special Tax.

Section 5. The Special Tax shall be collected in the same manner as ordinary ad valorem taxes are collected and shall have the same lien priority, and be subject to the same penalties and the same procedure and sale in cases of delinquency as provided for ad valorem taxes; provided, however, that the Council may provide for other appropriate methods of collection by resolution(s) of the Council. In addition, the provisions of Section 53356.1 of the Act shall apply to delinquent Special Tax payments. The Finance Director of the City is hereby authorized and directed to provide all necessary information to the auditor/tax collector of San Joaquin County in order to effect proper billing and collection of the Special Tax, so that the Special Tax shall be included on the secured property tax roll of San Joaquin County for fiscal year 2019-20 and for each fiscal year thereafter until no longer required to pay for the Services or until otherwise terminated by the City.

Attachment "E"

Section 6. If for any reason any portion of this ordinance is found to be invalid, or if the Special Tax is found inapplicable to any particular parcel within the CFD, by a court of competent jurisdiction, the balance of this ordinance and the application of the Special Tax to the remaining parcels within the CFD shall not be affected.

Section 7. The Mayor shall sign this Ordinance and the City Clerk shall cause the same to be published immediately after its passage at least once in a newspaper of general circulation circulated in the City.

Section 8. This Ordinance shall take effect 30 days from the date of final passage.

* * * * *

Attachment "E"

THIS ORDINANCE was regularly introduced at a meeting of the City Council of the City of Lathrop on the 8th day of April 2019, and was **PASSED AND ADOPTED** at a regular meeting of the City Council of the City of Lathrop on the ____ day of ____ 2019, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Sonny Dhaliwal, Mayor

ATTEST:

Teresa Vargas, City Clerk

APPROVED AS TO FORM:



Salvador Navarrete, City Attorney

ITEM 5.3

CITY MANAGER'S REPORT APRIL 8, 2019 CITY COUNCIL REGULAR MEETING

ITEM: PUBLIC HEARING (PUBLISHED NOTICE) TO CONSIDER MUNICIPAL CODE AMENDMENT TO UPDATE VARIOUS SECTIONS OF THE LMC TO STREAMLINE PROCEDURES, MINOR CLARIFICATIONS, AND INCORPORATE UPDATED POLICIES

RECOMMENDATION: Council to Consider the Following:

1. Hold a Public Hearing; and
2. First Reading and Introduce an Ordinance Adopting Various Amendments to the Lathrop Municipal Code (LMC) to Modernize, Simplify, and Streamline Sections of Title 17, The Zoning Code and Section 10.25.040 Of Title 10, Vehicles and Traffic. The Update Includes Integration of Current City Policies, State and Federal Law, and Best Practices within the Planning Profession. The amendments to the Municipal Code include the following:
 - Chapter 17.80 (Accessory Dwelling Units)
 - Chapter 17.32 (R One Family Residential District)
 - Chapter 17.49 (Crossroads Overlay District)
 - Chapter 17.92 (Landscaping and Screening Standards)
 - Chapter 17.16 (General Requirements and Exceptions)
 - Chapter 17.68 (Manufactured Housing)
 - Chapter 17.76 (Off-Street Parking and Loading)
 - Chapter 17.59 (South Lathrop Zoning Districts)
 - New Chapter 17.125 (Appeals)
 - Chapter 17.108 (Administrative Approval of Certain Uses)
 - Chapter 17.112 (Conditional Uses)
 - Chapter 17.101 (Minor Site Plan Review)
 - Chapter 17.100 (Site Plan Review)
 - Chapter 17.120 (Variances)
 - Chapter 10.25 (Vehicles and Traffic)

SUMMARY:

The proposed text amendment is a staff-initiated proposal to modify various sections of the Lathrop Municipal Code (LMC) and to add one (1) new Chapter to modernize, simplify and streamline various Sections of Title 17, the Zoning Code and Title 10, Vehicles and Traffic. The proposed amendments include integration of current City policies, State law and best practices in the planning profession. Approval of the text amendments would allow greater flexibility and clarification to support and promote development.

BACKGROUND:

In 2009, the City adopted an Economic Development Strategic Plan to guide the City Council in making decisions regarding economic growth for the City. In 2011, the City Council indicated a desire to accelerate economic and business development efforts by creating an Economic Development Program. To implement the City's economic goals and policies, staff regularly reviews and monitors various department policies, procedures and the Zoning Ordinance for areas that need improvement. Staff determined and identified various Sections of the Zoning Ordinance, including a Section in Title 10: Vehicles and Traffic of the LMC that are ambiguous, unclear and outdated. The intent of the proposed amendments is to assist and encourage development by providing concise and clear requirements for residents, developers and staff.

The City approved a similar effort and updated certain sections of the Zoning Ordinance and LMC in 2013, 2016, and 2017. The previous updates were well received by the community and staff members that process development applications and assist residents on a daily basis. The current amendments will follow the same principles of the previous updates and include integration of current policy and procedures, apply newly adopted State and Federal law, and incorporate best practices within the planning profession. At their regular meeting of March 20, 2019, the Planning Commission voted unanimously (4-0), one absent, to recommend the City Council adopt an Ordinance regarding the proposed amendments to the Lathrop Municipal Code. Attached is the Planning Commission Resolution No. 19-03 for reference. (Attachment #17).

ANALYSIS:

Staff has determined that the following text amendments conform to the General Plan. The proposed text amendments will modify the following Sections of the LMC:

Chapter 17.80 Accessory Dwelling Units (Attachment #2)

Effective January 1, 2018, California Senate Bill 229 (SB 229) and Assembly Bill 494 (AB 494) provide another update to the Accessory Dwelling Units (ADU) law (Government Code Section 65852.2) to further address barriers to the development of ADUs.

This legislation adds that an ADU can be created through the conversion of a garage, carport or other covered parking structure, and also allows for replacement of these parking spaces. The proposed LMU amendment clarifies that replacement covered parking spaces are required when existing covered parking is converted to an ADU.

The new legislation requires the City to allow ADU's to be constructed within any residential zone, so the LMC will be amended to state that ADUs may be built in areas zoned single-family or multi-family that have an existing or even proposed single-family residence.

Chapter 17.32 R One Family Residential District (Attachment #3)

The proposed code amendment revises the street-side setback for accessory structures from five (5) feet to ten (10) feet. The 'street-side' is the long side yard of a corner lot that is adjacent to the street. Changing the setback from five-feet to 10-feet ensures that accessory structures, such as sheds and gazebos, are not constructed within the 10-foot Public Utility Easement (PUE). In most cases, the PUE makes up the first 10-feet from the back of the sidewalk onto the property. Typically nothing but utilities, landscaping, and fences are allowed within the PUE.

Chapter 17.49 Crossroads Overlay District (Attachment #4)

The proposed amendment adds "Technical and business related training facilities and schools, but not including automotive or vocational trade schools" to the list of permitted uses in the Highway commercial/highway service overlay.

This use was approved by City Council in 1996 by Ordinance No. 96-140 that approved an amendment to the Crossroads Development Agreement (DA) to add this use to the zoning ordinance; however, the use never made it from the DA into zoning ordinance. The purpose of this amendment is to codify the use, as intended by Ordinance No. 96-140.

Chapter 17.16 General Requirements and Exceptions (Attachment #5)

The purpose of this code amendment is to provide the Community Development Director with the ability to make a determination of similar use. Each Zoning District has a list of permitted uses, uses permitted with an administrative approval, and conditional uses. If a proposed use is not listed, it is not permitted. The proposed code amendment would allow the Community Development Director to make a determination that a proposed use is similar to a listed use.

In addition, the proposed code amendment would provide the Community Development Director with the authority to establish minimum lot width and depth measurements for irregularly shaped lots, such as those that are not rectangular, or contain an arc.

Chapter 17.68 Manufactured Housing (Attachment #6)

The proposed amendment would implement Program 2o of the City's 2015 General Plan Housing Element to remove the minimum floor area requirement for manufactured housing, allow manufactured housing in any residential zoning district, and remove the minimum structure width requirement.

Chapter 17.76 Off-Street Parking Loading (Attachment #7)

The purpose of this code amendment for Chapter 17.76 Off-Street Parking and Loading is to add consistency with Chapter 17.92 Landscape and Screening. The amendment would remove language related to parking lot landscaping and add a reference to Chapter 17.92. Projects are required to adhere to the City's landscape and screening standards, including parking lot landscaping, such as one (1) tree per six (6) parking spaces.

The current language in this Section requires that no less than five (5) percent of the interior of a parking lot is landscaped. Although this does not conflict with the Landscape and Screening Standards Chapter, it can cause confusion having similar requirements in two different locations.

Chapter 17.92 Landscaping and Screening Standards (Attachment #7)

To allow architectural features to exceed the maximum height of a fence; for example, decorative elements such as spires on wrought iron fences or decorative caps on fence posts.

Chapter 17.59 South Lathrop Zoning Districts (Attachment #8)

Under the Development Standards Table 17.59.060, the 50-foot minimum lot width requirement is incorrectly located under the "Minimum Setbacks" Section instead of the "Minimum Lot" standards Section. The proposed code amendment moves the minimum lot frontage requirement to the Lot Width section of the table.

New Chapter 17.125 Appeals (Attachments #9 through #14)

The proposed code amendment adds a new Chapter to the Zoning Code: Chapter 17.125: Appeals. Under the current Zoning Code, Appeals procedures are located within each entitlement type. The purpose of the new Chapter is to locate the appeals procedure in one location so that it is easier to maintain consistency and easier to locate within the Zoning Code. The code amendment also includes an Approving Authority table and Appeal Authority table to clarify the responsible party for the appeal procedure.

For consistency, Chapters 17.108 Administrative Approval of Certain Uses; 17.101 Minor Site Plan Review; 17.112 Conditional Uses; 17.101 Minor Site Plan Review; 17.100 Site Plan Review; and 17.120 Variances, will each be amended to remove their individual Appeals Procedure sections, and to add a reference to the new appeals chapter (Chapter 17.125: Appeals).

Chapter 17.120 Variances (Attachment #14)

The proposed code amendment expands the list of items that qualify for a Minor Variance. Minor variances are approved by the Community Development Director.

Chapter 10.25 Vehicles and Traffic (Attachment #15)

The proposed code amendment reduces the setback for vehicles parked in the rear yard of a residence, from ten (10) feet to three (3) feet from the rear property line, and from five (5) feet to three (3) from all structures. Under the current language, a vehicle parked in the rear yard would need to be at least ten-feet from the rear yard fence and five-feet from any structure, and 5-feet from the side yard fence. The code amendment establishes a single distance requirement of three-feet to all structures and the rear fence in order to provide an easy to understand requirement that maintains emergency access between vehicles and structures, and more room to legally park in a rear yard.

Municipal Code Amendments

According to the Lathrop Municipal Code, amendments to the Zoning Code must be reviewed by the Planning Commission with a recommendation forwarded to the City Council for approval. Before any recommendation to approve by the Planning Commission, or final approval by the City Council, the following finding must be made:

"That the proposed amendment will be consistent with applicable provisions of the General Plan".

Staff has determined that the proposed code amendments conform to the General Plan.

Public Notice

A Notice of Public Hearing was advertised in the Manteca Bulletin on March 28, 2019 and the meeting agenda was posted at our designated posting locations in the City. As of the writing of this report, no comments were received in favor or against the proposed amendments.

CEQA REVIEW:

The proposed Municipal Code Amendment is exempt according to the California Environmental Quality Act (CEQA) Article 5 §15061 (b) (3) by the "General Rule" that CEQA applies only to projects that have a potential for causing a direct physical change in the environment, or a reasonably foreseeable indirect physical change in the environment.

The amendment does not change the zoning designation on any individual property and does not affect existing land use or density. The purpose of the amendment is to modify existing language in the Municipal Code to provide flexibility and is primarily procedural in nature.

It also does not propose or require any specific development project; any specific development project undertaken in the future pursuant to the amended zoning code would be required to comply with CEQA at that time.

RECOMMENDATION:

The Planning Commission and staff recommend that the City Council consider all information provided and submitted, take and consider all public testimony and, if determined to be appropriate, take the following actions:

1. Introduce an Ordinance adopting various amendments to the Lathrop Municipal Code (LMC) to modernize, simplify, and streamline various sections of Title 17, the Zoning Code and Section 10.25.040 of Title 10, Vehicles and Traffic.
 - Chapter 17.80 (Accessory Dwelling Units): To be consistent with new State law (SB 229 and AB 494). Amendments include permitting ADUs in areas zoned to allow single-family or multifamily, clarify setbacks for accessory dwelling units constructed above a garage, and add off-street parking requirements consistent with Chapter 17.76 of the Zoning Code.
 - Chapter 17.32 (R One Family Residential District): To amend the street side setback for accessory structures from five (5) feet to ten (10) feet.
 - Chapter 17.49 (Crossroads Overlay District): To add the technical and business related training facilities and schools use to the Highway commercial/highway service overlay.
 - Chapter 17.16 (General Requirements and Exceptions): To provide the Community Development Director the ability to make a determination of similar use and to determine the lot width and lot depth measurements for lots that are not rectangular in shape, contain an arc or do not have lot lines that are at right angles to one another.
 - Chapter 17.68 (Manufactured Housing): Implement Program 2o of the City's Housing Element by amending Chapter 17.68 by removing the minimum floor area, allowing manufactured housing in any zoning district that permits residential uses and remove the minimum width requirement.
 - Chapter 17.76 (Off-street Parking and Loading): To add consistency with the Landscape and Screening Chapter.
 - Chapter 17.92 (Landscaping and Screening Standards): To allow architectural features to exceed the maximum height of fences (e.g. vertical components such as spires on wrought iron fences).
 - Chapter 17.59 (South Lathrop Zoning Districts): To modify Table 17.59.060: Nonresidential Site Development Standards to move Street Frontage to the correct location.

- New Chapter 17.125 (Appeals): To add an Appeals Chapter that will prescribe the Appeals process for decisions made by the Community Development Director and the Planning Commission.
- Chapter 17.108 (Administrative Approval of Certain Uses): To remove Appeal language and add a reference to the New Chapter 17.125: Appeals.
- Chapter 17.112 (Conditional Uses): To add a Section that references to the New Chapter 17.125: Appeals.
- Chapter 17.101 (Minor Site Plan Review): To remove Appeal language and add a reference to the New Chapter 17.125: Appeals.
- Chapter 17.100 (Site Plan Review): To remove Appeal language and add a reference to the New Chapter 17.125: Appeals.
- Chapter 17.120 (Variances): To expand the list of requirements that qualify for a Minor Variance and remove the Appeal language and add a reference to the New Chapter 17.125: Appeals.
- Chapter 10.25 (Vehicles and Traffic): To reduce the setback for vehicles parked in the rear yard of a residence, from ten-feet to three-feet from the rear property line, and from five-feet to three-feet from structures.

FISCAL IMPACT:

There is no fiscal impact to the City of Lathrop, only staff time to prepare the report.

ATTACHMENTS:

1. Ordinance Approving Various Municipal Code Amendments
2. Mark up of Chapter 17.80 Accessory Dwelling Units
3. Mark up of Chapter 17.32 R One Family Residential District
4. Mark up of Chapter 17.49 Crossroads Overlay District
5. Mark up of Chapter 17.16 General Requirements and Exceptions
6. Mark up of Chapter 17.68 Manufactured Housing
7. Mark up of Chapter 17.76 Off-Street Parking and Loading & Chapter 17.92 Landscaping and Screening Standards
8. Mark up of Chapter 17.59 South Lathrop Zoning Districts
9. New Chapter 17.125 Appeals
10. Mark up of Chapter 17.108 Administrative Approval of Certain Uses
11. Mark up of Chapter 17.112 Conditional Uses
12. Mark up of Chapter 17.101 Minor Site Plan Review
13. Mark up of Chapter 17.100 Site Plan Review
14. Mark up of Chapter 17.120 Variances
15. Mark up of Chapter 10.25 Vehicles and Traffic
16. Planning Commission Resolution No. 19-03

**CITY MANAGERS REPORT
APRIL 8, 2019 CITY COUNCIL REGULAR MEETING
MUNICIPAL CODE AMENDMENT**

APPROVALS:



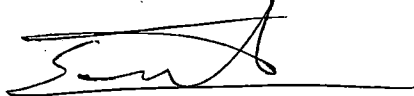
Rick Caguiat
Principal Planner

3/25/19
Date



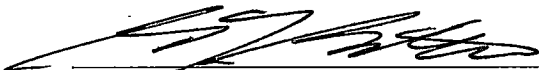
Mark Meissner
Community Development Director

3/27/19
Date



Salvador Navarrete
City Attorney

3-27-19
Date



Stephen J. Salvatore
City Manager

4.2.19
Date

ORDINANCE NO. 19-

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF LATHROP ADOPTING VARIOUS AMENDMENTS TO THE LATHROP MUNICIPAL CODE TO MODERNIZE, SIMPLIFY, AND STREAMLINE VARIOUS SECTIONS OF TITLE 17, THE ZONING CODE AND SECTION 10.25.040 OF TITLE 10, VEHICLES AND TRAFFIC

WHEREAS, the City of Lathrop Planning Commission held a duly noticed public hearing at a regular meeting on March 20, 2019, at which they adopted PC Resolution No. 19-03 recommending City Council adopt Municipal Code Text Amendment No. TA-19-16 pursuant to the Lathrop Municipal Code; and

WHEREAS, the City of Lathrop City Council held a duly noticed public hearing at a regular meeting on April 8, 2019 to review and consider Municipal Code Amendment; and

WHEREAS, the proposed code amendment is Citywide and affects all applicable properties in the City; and

WHEREAS, chapter 17.124 of the Lathrop Municipal Code mandates the transmittal of a Planning Commission recommendation to the City Council by resolution; and

WHEREAS, the proposed code amendment is exempt according to the California Environmental Quality Act (CEQA) Article 5 §15061 by the "General Rule" that CEQA applies only to projects that have a potential for causing a direct physical change in the environment, or a reasonably foreseeable indirect physical change in the environment; and

WHEREAS, the City Council finds that the proposed code amendment is consistent with applicable provisions of the Lathrop General Plan and will implement the City's Economic Development goals by providing streamline procedures, minor clarifications and incorporate updated policies; and

WHEREAS, proper notice of this public hearing was given in all respects as required by law; and

WHEREAS, the City Council has reviewed all written evidence and oral testimony presented to date.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Lathrop based on substantial evidence in the administrative record of proceedings and pursuant to its independent review and consideration, does hereby approve Municipal Code Amendment as shown Attachments "2", "3", "4", "5", "6", "7", "8", "9", "10", "11", "12", "13", "14", and "15", incorporated by reference herein.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF LATHROP DOES HEREBY ORDAIN AS FOLLOWS:

Section 1. The Lathrop Municipal Code is hereby amended as shown in Attachments "2", "3", "4", "5", "6", "7", "8", "9", "10", "11", "12", "13", "14", and "15", incorporated by reference herein.

Section 2. This ordinance is not intended to and shall not be construed or given effect in a manner that imposes upon the city or any officer or employee thereof a mandatory duty of care toward persons and property within or without the city so as to provide a basis of civil liability for damages, except as otherwise imposed by law.

Section 3. Severability. If any section, subsequent subdivision, paragraph, sentence, clause or phrase of this Ordinance is for any reason held to be unconstitutional or otherwise invalid, such a decision shall not affect the validity of the remaining portions of this Ordinance. The City Council hereby declares that it would have passed each section, subsection, subdivision, paragraph, sentence, clause or phrase of this Ordinance irrespective of the unconstitutionality or invalidity of any section, subsection, subdivision, paragraph, sentence, clause or phrase.

Section 4. Effective Date. This Ordinance shall take legal effect 30 days from and after the date of its passage.

Section 5. Publication. Within fifteen days of the adoption of this Ordinance, the City Clerk shall cause a copy of this Ordinance to be published in full accordance with Section 36933 of the Government Code.

THIS ORDINANCE was regularly introduced at a meeting of the City Council of the City of Lathrop on the 8th day of April 2019, and was PASSED AND ADOPTED at a regular meeting of the City Council of the City of Lathrop on 13th day of May 2019, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

SONNY DHALIWAL, MAYOR

ATTEST:

APPROVED AS TO FORM:

Teresa Vargas, City Clerk



Salvador Navarrete, City Attorney

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Chapter 17.80 ACCESSORY DWELLING UNITS

17.80.010 Application.

Application. This chapter provides standards by which the city shall evaluate and ministerially approve an application for the siting and construction of an accessory dwelling unit on a lot with an existing or proposed one-family residence located areas zoned to allow single-family or multifamily use in the ~~UR, RA, R, RM or PO zoning districts~~. (Ord. 18-384 § 1; Ord. 16-365 § 1; Ord. 16-355 § 1; Ord. 97-151; Ord. 92-73)

17.80.020 Developmental standards.

All accessory dwelling units shall meet the following standards:

A. **Maximum Floor Area.** An accessory dwelling unit which is detached from the existing residence shall not exceed one thousand two hundred (1,200) square feet of floor area and shall conform to the development standards of this title. An accessory dwelling unit which is attached to the proposed or existing residence shall not exceed fifty percent (50%) of the existing residence and shall conform to the setback, lot coverage and height requirements for the primary dwelling, with a maximum increase in floor area of one thousand two hundred (1,200) square feet.

B. **Development Standards.** ~~Detached a~~Accessory dwelling units shall comply with the following standards:

1. **Setbacks.** Have minimum interior side and rear setbacks of five feet and street side setback of ten (10) feet. No setback shall be required for an existing garage that is converted to an accessory dwelling unit or to a portion of an accessory dwelling unit, and a setback of no more than five feet from the side and rear lot lines shall be required for an accessory dwelling unit that is constructed above a garage.

2. **Setback from Structures.** Be set back from other structures on the parcel consistent with the city-adopted building code.

3. **Height.** Not to exceed one story or fifteen (15) feet in height, except that a detached accessory dwelling unit may be constructed above a detached garage to a maximum height of thirty (30) feet.

4. **Location.** Be constructed at the rear or interior side of an existing single-family residence, or otherwise appear secondary in nature, and not be constructed in front of the primary structure.

5. Lot Size. Accessory dwelling units are permitted on lots with a minimum area of five thousand (5,000) square feet. Only one accessory dwelling second unit is allowed per lot.

6. Compatibility. The addition of an accessory dwelling unit is compatible with the existing house as to height, style, materials, and colors.

C. Access. Doorway access shall be provided either to the side or rear of the accessory dwelling unit. Direct doorway access to the front yard is prohibited. The accessory dwelling unit shall utilize the same vehicular access which serves the existing dwelling unit.

D. Off-Street Parking. At least one additional off-street parking space shall be provided for the accessory dwelling unit or bedroom, whichever is less. The parking spaces required for the accessory dwelling unit can be in tandem to the required parking of the main residential structure, may be uncovered, and can be located within the front setback as long as all other yard requirements are met.

1. When a garage, carport, or covered parking structure is demolished in conjunction with the construction of an accessory dwelling unit or converted to an accessory dwelling unit, the parking spaces shall be replaced consistent with Chapter 17.76 of this Title.

E Off-Street Parking Exemption. Off-street parking shall not be imposed in any of the following instances:

1. The accessory dwelling unit is located within one-half mile of public transit;
2. The accessory dwelling unit is located within an architecturally and historically significant historic district;
3. The accessory dwelling unit is part of the existing primary residence or an existing accessory structure;
4. When on-street parking permits are required but not offered to the occupant of the accessory dwelling unit;
5. When there is a car share vehicle located within one block of the accessory dwelling unit.

F. Utility Service and Kitchen Facilities. Accessory dwelling units shall be provided with adequate water, sewer and other utilities (sewer allocation for one residential unit will suffice for both). The applicant shall have the option of paying installation cost and a monthly fee for a second water meter. The applicant shall also have the option of taking all sewer flow through the existing sewer lateral, or of paying the installation cost and monthly fee for a second lateral. The second unit shall also be provided with full kitchen facilities including range, oven, sink and refrigerator, as determined by the city building official.

G. Visual Appearance. An accessory dwelling unit shall be designed and constructed so as to blend with and complement the existing one-family unit to which it is attached in terms of height, roofing and siding materials, and color.

H. Mobilehomes or Manufactured Housing. Mobilehomes or manufactured housing on permanent foundations shall be permitted as an accessory dwelling unit, only if they are installed on permanent foundations, and the mobilehome complies with the 1974 National Manufactured Housing Construction and Safety Act.

I. Compliance with Other Regulations. Notwithstanding the above standards, all accessory dwelling units established under this chapter shall meet all of the requirements of the ~~UR, RA, R, RM and PO~~-zoning districts for which the accessory dwelling unit is in as to fences, walls and hedges; site area; frontage; width and depth of site; coverage; yard requirements; height of structures; distance between structures; signs; applicable building and fire codes and general provisions and exceptions. (Ord. 18-384 § 1; Ord. 16-355 § 1; Ord. 97-151; Ord. 92-73)

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Chapter 17.32 R ONE-FAMILY RESIDENTIAL DISTRICT

[...]

17.32.050 Property development standards.

- A. Fences, walls and hedges shall conform to the provisions of Chapter 17.92.
- B. Site Area. The minimum site area for the R-1-6 and R-1-6X districts shall be six thousand (6,000) square feet. The minimum site area for the R-1-5 district shall be five thousand (5,000) square feet.
- C. Frontage, Width and Depth of Site.
 - 1. Each site in a R-1-6 or R-1-6X district shall have not less than sixty (60) feet of frontage on a public street, except that those sites which front on a cul-de-sac or loop-out street may have a frontage of not less than forty (40) feet, provided the width of the site, as measured along the front yard setback line, is at least sixty (60) feet; each site in an R-1-5 district shall have not less than fifty (50) feet of frontage on a public street, except as otherwise permitted under PUD regulations of this chapter.
 - 2. The minimum width of each site in a R-1-6 or R-1-6X district shall be sixty (60) feet for an interior lot and sixty-five (65) feet for a corner lot. The minimum width of each site in an R-1-5 district shall be fifty (50) feet for an interior lot and sixty (60) feet for a corner lot, except as otherwise permitted under PUD regulations of this chapter.
 - 3. The minimum depth of each site shall be ninety (90) feet for an interior lot and eighty (80) feet for a corner lot.
- D. Density. The allowable density for the R one-family residential district shall be a minimum of one to a maximum of seven dwelling units per net acre, per the city's general plan.
- E. Number of Dwelling Units per Site. Not more than one dwelling unit shall be allowed on each site, except as may be allowed under Chapter 17.80.
- F. Coverage. The maximum site area covered by structures shall be forty-five percent (45%).
- G. Yard Requirements.
 - 1. Front Yard.

a. The minimum front yard shall be twenty (20) feet; provided, that the distance from the centerline of a public street to the rear of the required front yard shall not be less than fifty (50) feet.

b. On a site situated between sites improved with buildings where the buildings are set back less than the minimum distance required by this section, the minimum front yard shall be the average depth of the front yards on the improved sites immediately adjoining the side lines of the site.

c. Garages attached to the main building may be set within fifteen (15) feet of a front property line where the garage opening is perpendicular to the curb line requiring a curved driveway approach.

d. Porches attached to the main building shall be set back from the front property line by a minimum of fifteen (15) feet.

2. Rear Yard.

a. The minimum rear yard shall be ten (10) feet. Where construction involves more than one story, including decks, balconies and other related platforms with a floor level over six feet in height, the rear yard shall be increased by ten (10) feet for each additional story.

b. Where a garage is located within a rear yard with access from an alley, it shall be set back a minimum of eleven (11) feet from the closest alley right-of-way line to provide for adequate garage ingress and egress.

3. Side Yards. The minimum side yard shall be five feet, subject to the following conditions and exceptions:

a. On a reversed corner lot, the side yard adjoining the street shall be not less than one-half the required front yard on the adjoining key lot.

b. Street side yard setback shall be ten (10) feet.

c. Garages on the street side yard of a corner lot shall meet the requirements of the public works department standards and spacing and be set back twenty (20) feet from the property line. Where a garage is located within a side yard with access from an alley, it shall be set back a minimum of eleven (11) feet from the closest alley right-of-way line.

H. Building Height. No building or structure shall have a height greater than thirty-five (35) feet, except as may be required under Chapters 17.56 and 17.112.

I. Signs. No sign or outdoor advertising structure of any character shall be permitted, except as described in Chapter 17.84.

J. Off-Street Parking and Off-Street Loading. Off-street parking and off-street loading facilities shall be provided on the site for each use as prescribed in Chapter 17.76.

K. Accessory structures ~~and landscape features~~ shall conform to the following development standards:

1. Minimum Setback Distance from Property Line.

Height	Front*	Street Side (corner lot)	Side (interior)	Rear
≤ 8 feet	Not allowed	105 ft	0 ft	0 ft
> 8 feet to 15 feet	Not allowed	105 ft	5 ft	5 ft

* Landscape features are allowed in the front yard, rear yard, side yard and street side yard. See definition of landscape feature.

2. Setback Measurement. Minimum setback distance between property line and accessory structure shall be measured from the wall or post(s) of the supporting structural member of the structure. Overhangs are allowed consistent with the city adopted building code.

3. Separation Between Structures. All accessory structures shall maintain the minimum separation between other buildings as required under the city adopted building code.

4. Building Permit Required. A building permit shall be obtained as required under the city adopted building code.

5. Accessory structure and landscape feature are defined in Section 17.04.080 Definitions.

L. Swimming pools and hot tubs shall conform to the following development standards:

1. Swimming pools and hot tubs shall be constructed at least fifty (50) feet from the front lot line. Such pool or tub may not be located closer than three feet from any rear lot line or side lot line measured from water line.

2. Pool equipment for such pools and tubs shall not be located in a required front yard.

3. Fencing around all swimming pools shall be installed in compliance with the California Building Code. (Ord. 18-384 § 1; Ord. 16-355 § 1; Ord. 96-136; Ord. 92-96; Ord. 92-95; Ord. 92-73)

[...]

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Chapter 17.49 CROSSROADS OVERLAY DISTRICT

[...]

17.49.030 Highway commercial/highway service overlay.

A. The specified properties in the Crossroads overlay district shall include all uses permitted by Section 17.44.050 of this title and the following permitted uses:

1. Motels, hotels;
2. Eating places (including those dispensing alcoholic beverages);
3. Automobile service stations;
4. Newsstands, gift and souvenir shops, arts and crafts studios, self-service ice dispensers, laundry and dry cleaning agencies, and vending machines;
5. Factory outlet malls on parcels of no less than ten (10) acres;
6. Roadside information offices providing directions and information necessary for travelers, roadside park and rest areas, limited to temporary parking, picnic, and other outdoor recreational facilities;
7. Agriculture;
8. Commercial office space and related uses.
9. Technical and business related training facilities and schools, but not including automotive or vocational trade schools.

B. The specified properties in the Crossroads overlay district shall include all uses conditionally permitted by Section 17.44.050 of this title and the following conditional uses:

1. Banks, carwashes, new car and farm equipment sales;
2. Nightclubs, including places providing dancing;
3. Kennels for household pets when accessory to a motel or hotel;
4. Commercial recreation;
5. Barbershops, beauty shops;

6. Nurseries and greenhouses;
7. Public utility and communications equipment buildings and studios. (Ord. 18-384 § 1)

[...]

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Chapter 17.16 GENERAL REQUIREMENTS AND EXCEPTIONS

17.16.010 Temporary subdivision signs and sales offices.

Temporary subdivision signs and sales offices may be located within subdivisions for a period not to exceed two years from the date of recordation of the subdivision. Subdivision signs and sales offices shall be removed at the expense of the owner, unless, prior to the expiration of two years, a renewal of time is granted by the community development director. Upon expiration of such renewal period, subdivision signs and sales offices shall be removed at the expense of the owner. Subdivision signs shall be governed by the regulations prescribed in Chapter 17.84. A temporary subdivision sales office shall not be permitted until an application for a subdivision sales office permit shall be made to and approved by the community development director in accordance with Chapter 17.112. (Ord. 13-329 § 1; Ord. 92-73)

17.16.020 Addition and Determination of permitted uses.

A. Upon receipt of an application, or on its own initiative, the planning commission may, by resolution, add a use to the lists of permitted uses, permitted uses subject to administrative approval and conditional uses prescribed in Chapters 17.20 through 17.52, if the commission makes the following findings, as applicable:

1. That the addition of the use to the list of permitted uses will be in accordance with the purposes of the district in which the use is proposed;
2. That the use has the same basic characteristics as the uses permitted in the district;
3. That the use reasonably can be expected to conform with the required conditions for the district;
4. That the use will not be detrimental to the public health, safety or welfare, or adversely affect the character of any district in which it would be located;
5. That the use will not create more vehicular traffic than the volume normally created by the uses permitted in the district;
6. That the use will not create more odor, dirt, smoke, noise, vibration, illumination, glare, unsightliness or any other objectionable influence than the amount normally created by any of the other uses permitted in the district;
7. That the use will not create any greater hazard of fire or explosion than the hazards normally created by any of the uses permitted in the district.

B. When a use has been added to a list of permitted uses, or permitted uses subject to administrative approval or conditional uses in accordance with the procedure prescribed in this section, the use shall be deemed to be listed as a permitted use in the appropriate section and shall be added to the text of that section of this title when it is next published with a notation of the date when the use was added to the list. (Ord. 92-73)

C. When a use is not specifically listed in this Title, it shall be understood that the use may be permitted if the Community Development Director determines that the use is substantially similar to the other uses listed. It is further recognized that every use cannot be identified in this Title and, anticipating that new uses will evolve over time, this Section establishes the Community Development Director’s authority to compare a proposed use and measure it against those uses listed in this Title for determining similarity. In determining similarity, the Community Development Director shall make all of the following findings:

1. The characteristics of, and activities associated with, the proposed use are equivalent to one or more of the listed uses, and will not involve a higher level of activity or population density than the uses listed in the Zoning District;

2. The proposed use will be consistent with the purposes of the applicable Zoning District; and

3. The proposed use will be consistent with the General Plan.

Determinations shall be made in writing and shall contain the facts that support the determination. The Community Development Director shall maintain all such determinations on record. The Community Development Director’s decision may be appealed as provided in Chapter 17.125 (Appeals).

[...]

17.16.050 Lot types, yard area and setback measurements.

A. Lot Types. The following are the types of lots found within the city of Lathrop. A lot is a legally established parcel of land under single ownership having frontage upon a street.

1. “Corner lot” means a lot bounded by two or more abutting and intersecting street lines.

2. “Double frontage lot” means an interior lot bounded by two or more abutting street lines that do not intersect.

3. “Flag lot” means a lot connected to a street by an access corridor such as an alley, narrow private drive, or access easement.

4. “Interior lot” means a lot which is not a corner lot and only has one street frontage.

5. “Key lot” means the first interior lot to the rear of a reversed corner lot.

6. “Reverse corner lot” means a corner lot in which the rear property line abuts the front yard area of an adjoining interior lot (as opposed to the rear yard of another corner lot).

B. Yard Area. A yard is an area between a property line and building or structure, unobstructed and unoccupied from the ground upward. There are three general types of yards as follows:

1. Front Yard. An area extending across the full width of the lot between the front lot line and the required setback.

2. Rear Yard. An area extending the full width of the lot between a rear lot line and the required setback.

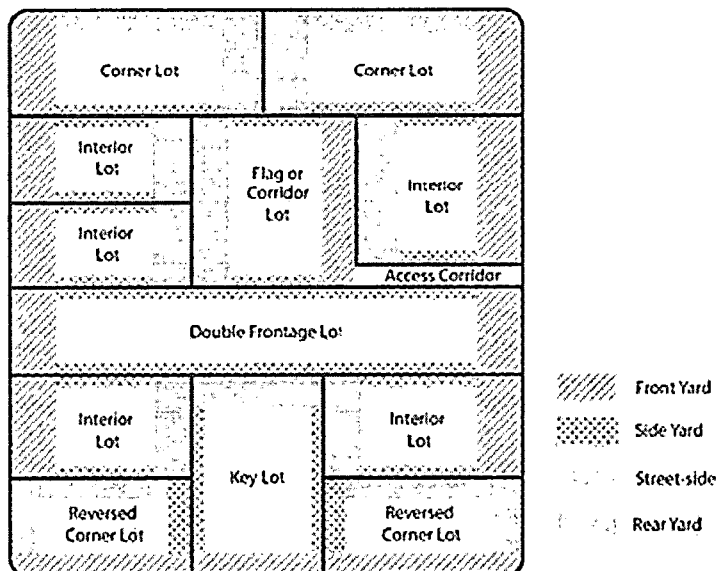
3. Side Yard. An area extending from the front yard to the rear yard between the nearest side lot line and the required setback.

4. Street Side Yard. An area extending from the front yard to the rear yard between the lot line abutting the public street and the required setback.

C. A required yard area is the yard space between the property line and the minimum setback as required by this title.

D. An actual yard is the yard space between the property line and the nearest structure located outside of the required setback area.

The following figure represents the types of lots and yard areas:



E. **Setback Measurements.** Setback distances shall be measured at right angles from the designated property line (e.g., front, interior side, street-side, rear) and the setback line shall be drawn parallel to the designated property line at the required setback distance. Designated property lines are determined as follows:

1. **Front Property Line.** The front property line shall be the narrowest property line which abuts a public street. For corner lots, the front property line shall be the shortest street frontage, regardless of where the front door is located. In the case of a flag lot, it shall be the property line that abuts the access corridor.

2. **Rear Property Line.** The rear property line shall be the property line which is opposite and most distant from the front property line and most parallel to the front property line.

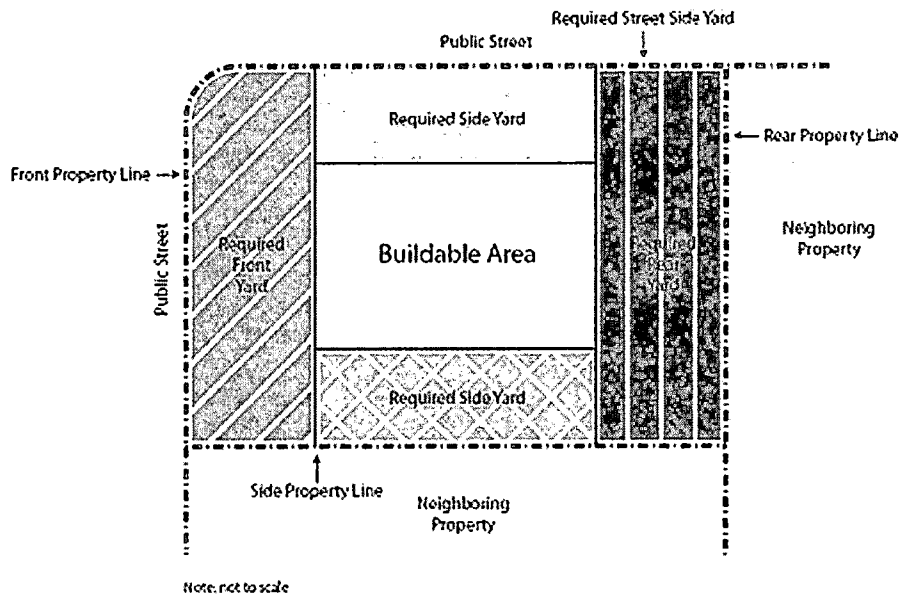
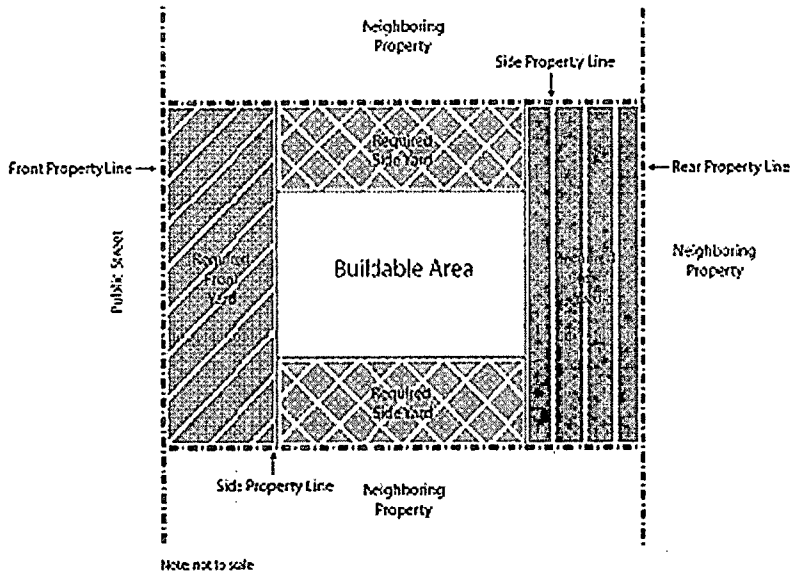
3. **Side Property Line.** The side property line shall be those property lines that are not the front or rear property lines.

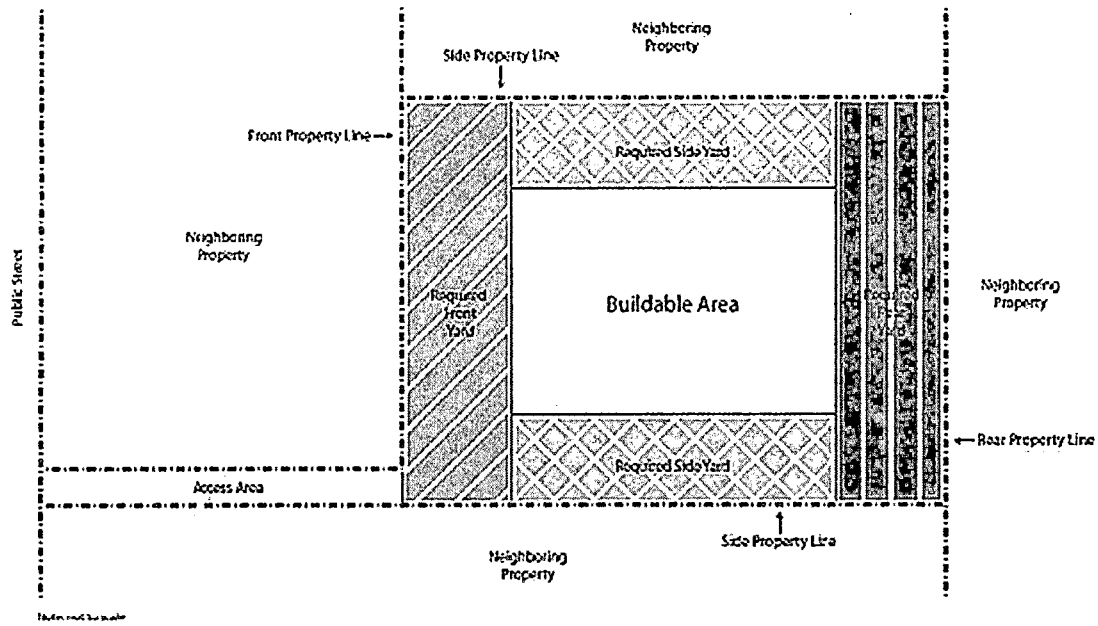
4. **Street Side Property Line.** The street side property line shall be that which abuts a public street.

5. **Easements.** When there is a landscape easement that exists between a residence and street, the setbacks shall be measured from the back of sidewalk.

F. **Irregular Shaped Lots.** The community development director shall determine the setback measurements and minimum lot width and depth for lots that are not rectangular in shape (more or less than four sides), contain an arc or do not have lot lines that are at right angles to one another.

G. _____ The following figure represents the types of property lines for interior, corner and flag lots:





(Ord. 16-355 § 1)

[...]

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Chapter 17.68 MANUFACTURED HOUSING

17.68.010 Application.

The provisions of this chapter shall apply to all single-family dwellings and mobilehomes on permanent foundations listed as permitted uses within any zoning district that permits residential uses~~UR, RA, R, RM and PO districts.~~ (Ord. 92-73)

17.68.020 Development and architectural standards.

All single-family dwellings and mobilehomes on permanent foundations shall meet the following developmental/architectural standards:

A. Garages. A garage with two vehicle spaces shall be provided for every dwelling located on a lot which is not a part of a mobilehome subdivision.

B. Minimum Floor Area. ~~There shall be no minimum floor area. The minimum floor area for every dwelling located, which is not a part of a mobilehome subdivision, shall be eight hundred (800) square feet, excluding the area of the garage.~~

C. Roof Overhang. All main buildings shall have a pitched roof with a minimum twelve (12) inch roof overhang on each of the dwelling's perimeter walls such that the overhang is architecturally integrated into the design of the dwelling unit.

D. Roofing Material. All main buildings, and all detached garages and carports located on the front half of the lot shall have a roof constituted of either wood shakes, asphalt, composition or wood shingles, clay, tile, concrete or metal tile, slate or built-up asphaltic-gravel materials.

E. Sliding Material. All main buildings and all detached garages located on the front half of the lot shall have exterior siding material consisting of either wood, masonry, concrete, stucco, Masonite or metal lap. The exterior siding material shall extend to ground level, except that when a solid concrete or masonry perimeter foundation is used, the siding material need not extend below the top of the foundation.

F. Foundations. All main buildings shall be placed on a permanent foundation which meets applicable building code requirements and/or the provisions of Sections 18551 and 18613.4 of the California Health and Safety Code, such that the floor elevation of the dwelling is reasonably compatible with the floor elevations of the surrounding dwelling units.

~~G. Minimum Width. The minimum width of a dwelling located on a lot outside of a mobilehome subdivision shall be twenty (20) feet.~~

GH. Surrender of Registration. Subsequent to applying for a building permit, and prior to occupancy of a mobilehome on a permanent foundation, the owner shall request that a certification of occupancy be issued by the building official pursuant to Section 18551 of the California Health and Safety Code. Thereafter, any vehicle license plate, certificate of ownership and certificate of registration issued by a state agency is to be surrendered to the issuing state agency. Any mobilehome on a permanent foundation must bear a California insignia or federal label pursuant to Section 18026 of the California Health and Safety Code.

HI. Tow Bars, Wheels and Axles. All mobilehome tow bars, wheels and axles shall be removed when the dwelling is installed on a residential lot.

IJ. Deviations. The planning director may approve deviations from one or more of the standards of this section on the basis of a finding that the architectural style proposed provides compensating design features, and that the proposed dwelling will be compatible and harmonious with existing structures in the vicinity. The determination of the director may be appealed to the city council in accordance with the provisions of Section 17.108.050 of this title. (Ord. 16-355 § 1; Ord. 06-263 § 1; Ord. 92-73)

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[...]

17.76.070 Screening, fencing and landscaping.

A. Where an off-street parking area in a non-residential~~C~~ district ~~adjoins~~~~ad joins~~ a residential, ~~RA, R, RM~~ or PO district, the visual interface between the parking area and such districts shall be designed and developed so as to avoid obtrusive visual impacts of the parking area on such districts.

B. ~~In a RM, PO, C or I district, not less than five percent of the interior of a parking area shall be landscaped with trees and other plant materials suitable for ornamentation. Landscaped areas shall be distributed throughout the parking area to the extent practical in consideration of the size and design of the parking area.~~ All screening, fencing, and landscaping shall be consistent with Chapter 17.92 of this title.

~~C. All screening, fencing and landscaping for all off street parking areas shall conform to Section 17.42.070. (Ord. 96 136; Ord. 92 73)~~

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Chapter 17.92 LANDSCAPING AND SCREENING STANDARDS

[...]

17.92.070 Parking, noise attenuation, and screening.

Screening and landscaping of open parking and loading areas shall be provided as follows:

- A. Parking lots located on the project site of ten (10) parking spaces or less that area adjacent to the project property lines shall include a five-foot landscape strip buffer installed continuously along the property line unless it is adjacent to an area that is designated on the general plan for residential use, zoned for residential use or where an existing residential use exists or abuts a street frontage; in such occurrences, the planting strip shall be ten (10) feet in width minimum. Parking areas of more than ten (10) parking stalls shall include a ten (10) foot landscape strip buffer installed continuously along the property line in all cases.
- B. Trees shall be planted in the landscaped area at the area of one tree per six parking spaces. The trees planted shall be selected from the criteria as described in Section 17.92.090, and approved by the community development director. Open parking areas on streets shall have a minimum five-foot planting strip. The planting strip shall be measured from the street right-of-way line allowing openings for walkways and driveways. All trees planted along a public right-of-way shall be maintained to allow a minimum clearance of ten (10) feet from grade.
- C. All parking areas and parking lots shall also be in compliance with the adopted zoning ordinance and other city ordinances, resolutions, and regulations as set forth by the city council.
- D. If a commercial, industrial, or multifamily residential project abuts a residential zone, an area designated on the general plan for residential use, or an existing residential use, a solid masonry wall eight feet in height shall be erected to the adjoining planting strip.
- E. Residential land uses that are noise impacted per the general plan noise element may incorporate effective sound attenuation measures to reduce noise to acceptable levels, including sound walls exceeding the maximum height of this title.
- F. All outside storage areas shall be screened so as not to be visible from adjacent properties and public rights-of-way. Screening shall be a minimum of six feet in height, and consist of a solid material. Outside storage is not permitted in front or street side yards, or in front of structures.
- G. Trash enclosures shall be provided for each development. Each enclosure shall consist of three solid walls and a gated fourth wall.

H. Roof mounted mechanical equipment, tanks, ventilating fans and similar equipment shall be screened from the view of adjacent properties and public rights-of-way at grade. The required screens shall be architecturally compatible with the building or structure on which they are used.

I. Industrial projects shall be allowed security fencing, which may include a maximum of two feet of barbed wire adjacent to areas that are not zoned or planned for residential use. The total height of such fencing shall not exceed eight feet in height.

J. Fence and Wall Maximum Allowed Heights and Locations. Each fence and wall on a residential property shall comply with height limits and locations shown in the table below:

Location of Fence or Wall	Maximum Height ^{1,4}
Within required front setback ²	3 feet ³
Within required street side setback <5 feet from back of sidewalk ²	3 feet ³
≥5 feet from back of sidewalk ^{2,45}	7 feet
Within required interior side and rear setback	7 feet
At the intersections of streets, alleys, and driveways ⁵⁶	3 feet

Notes:

1. As part of a discretionary entitlement, the city may grant additional height or location requirements to enclose or screen specific areas or uses for fences and walls designed for noise attenuation.
2. Setback area is measured from back of sidewalk to the fence. If no sidewalk exists, the setback is measured from the property line to the fence.
3. Height of front and street side fence may be increased to four feet if the fence remains substantially (minimum fifty percent (50%)) open and transparent (e.g., picket fence, open wood slats, open wrought iron).
4. Architectural features on fences may exceed the maximum height (e.g. vertical components such as spires on wrought iron fences). The average height of the fence, including architectural features, shall not exceed the maximum height permitted above.
54. For reversed corner lots, fences greater than three feet in height shall be set back a minimum of ten (10) feet from the back of sidewalk.
65. See definition of clear visibility triangle in Section 17.04.080.

K. Fence and Wall Design and Maintenance Standards.

1. Fencing Materials. Fences and walls shall be constructed of attractive, long-lasting materials (e.g., masonry, wood, tubular steel, or stone).

2. Prohibited Fencing Materials. Unless approved as a condition of approval or in conjunction with another entitlement, walls or fences of sheet or corrugated iron, sheet steel, concertina wire, or sheer aluminum are prohibited. Barbed wire fencing, concertina wire, serpentine wire, razor wire, and other similar fencing materials shall not be constructed or placed on top of a fence except where property is used for agricultural, open space, or industrial uses.

3. Maintenance. Fences and walls shall be continuously maintained in an orderly and good condition.

4. Temporary Fences. Nothing in this chapter shall be deemed to prohibit the erection of a temporary fence around construction projects in compliance with the city adopted building code and other applicable provision of the municipal code. (Ord. 18-384 § 1; Ord. 16-355 § 1; Ord. 92-96)

[...]

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Chapter 17.59 SOUTH LATHROP ZONING DISTRICTS

[...]

17.59.060 Development standards.

Table 17.59.060 South Lathrop Specific Plan: Nonresidential Site Development Standards

	CO-SL	IL-SL
Minimum Parcel Size (sf)	5,000	5,000
Minimum Lot		
Width	50'	50'
Depth	100'	100'
Street Frontage	50' ⁽²⁾	50' ⁽²⁾
Minimum Setbacks ⁽¹⁾		
Street Frontage	50' ⁽²⁾	50' ⁽²⁾
Front Yard	15'	15'
Side Yard	5'	0' ⁽³⁾
Rear Yard	5'	0' ⁽³⁾
Distance Between Structures	10'	10'
Maximum Lot Coverage	70%	70%
Maximum Building Height	40'	76'
Landscape Requirements ⁽⁴⁾		
Landscape Coverage (Minimum) (5)	15% ⁽⁶⁾	10% ⁽⁶⁾
Minimum Parking Requirements	Per Lathrop Zoning Ordinance, Chapter 17.76	Per Lathrop Zoning Ordinance, Chapter 17.76
Signage	Per Master Signage Program, and/or Chapter 17.84	Per Master Signage Program, and/or Chapter 17.84

Footnotes to Table 17.59.060:

- (1) Minimum standards may need to be revised based on parcel configuration and proposed land use; community development director to approve minor deviations.
- (2) Those sites with public street frontage on a curve or cul-de-sac may have frontages of not less than 40', provided that the width of the site as measured along the front yard setback line is at least 50'.
- (3) Except where abutting an adjacent structure; see distance between structures standard.
- (4) For landscape standards reference Chapter 17.92 of the Lathrop Municipal Code.
- (5) Measured as a percentage of net lot acreage.
- (6) Landscape coverage is encouraged to include recreation and open space amenities for employees and visitors consistent with Section 5.5.1.1.F, Public Spaces and Pedestrian Amenities, of the South Lathrop Specific Plan; recreation and open space amenities will count toward the landscape requirement.

(Ord. 15-348 § 4)

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Chapter 17.125 APPEALS

17.125.010 Purposes and Applicability

A. The purpose of these provisions is to prescribe the procedure through which an appeal may be made in case an interested person is dissatisfied with any order, requirement, permit, decision, determination, or disapproval, made in an administration, interpretation, or enforcement of this title.

17.125.020 Approving Authority

A. The following table identifies the Approving Authority for each entitlement.

<u>Entitlement</u>	<u>Approving Authority</u>	
	<u>Community Development Director</u>	<u>Planning Commission</u>
<u>Site Plan Review</u>		<u>X</u>
<u>Minor Site Plan Review</u>	<u>X</u>	
<u>Administrative Approval of Certain Uses</u>	<u>X</u>	
<u>Conditional Uses</u>		<u>X</u>
<u>Variances</u>		<u>X</u>
<u>Home Occupation</u>	<u>X</u>	
<u>Master Sign Program and Sign Design</u>	<u>X</u>	
<u>Architectural Design Review</u>	<u>X</u>	
<u>Determination of Similar Use</u>	<u>X</u>	

17.125.030 Appeal Authority

A. Any person dissatisfied with a determination or action of the Community Development Director or Planning Commission made pursuant to this Article may appeal such action to the designated Appeal Authority listed in the table below, within 10 days from the date of the action. Actions by the City Council are final, and no further administrative appeals are available.

<u>Approving Authority for Action Being Appealed</u>	<u>Appeal Authority</u>	
	<u>Planning Commission</u>	<u>City Council</u>
<u>Community Development Director</u>	<u>X</u>	
<u>Planning Commission</u>		<u>X</u>

17.125.040 Filing an Appeal

A. All appeals shall be submitted in writing, identifying the determination or action being appealed and specifically stating the basis or grounds of the appeal. Appeals shall be filed within 10 days from, but not including, the date of determination or action for which an appeal is made,

accompanied by a filing fee established by City Council resolution, and submitted to the Community Development Director. The time limit will extend to the following business day where the last of the specified number of days falls on a day that the City is not open for business. The filing of an appeal shall stay the issuance of any necessary subsequent permit(s) associated with any right or entitlement that will be subject of the appeal.

1. Appeal of the Community Development Director Decision

a. The applicant or any other person may appeal such decision by filing a written notice of appeal with the Community Development Director prior to the time the decision becomes final. The Community Development Director shall furnish forms of notice of appeal.

2. Appeal of Planning Commission Decision

a. The applicant or any other person aggrieved may appeal such decision by filing a written notice of appeal with the Community Development Director prior to the time the decision becomes final.

17.125.050 Notice and Schedule of Appeal Hearings

A. Unless otherwise agreed upon by the person filing the appeal and the applicant, appeal hearings should be conducted within 45 days from the date of appeal submittal. Notice of hearing for the appeal shall be provided pursuant to noticing requirements consistent with State law.

17.125.060 Appeal Hearing and Action

A. Each appeal shall be considered a de novo (new) hearing. In taking its action on an appeal, the Appeal Authority shall state the basis for its action. Only such evidence and plans as were submitted to and ruled upon by the Approving Authority may be provided to the Appeal Authority for review. The Appeal Authority may act to confirm, modify, or reverse the action of the Approving Authority, in whole or in part, or add or amend such conditions as it deems necessary. The action of the Appeal Authority is final on the date of decision and, unless expressly provided by this Chapter, may not be further appealed.

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Chapter 17.108 ADMINISTRATIVE APPROVAL OF CERTAIN USES

[...]

17.108.050 Appeals.

Appeal of the Approving Authority's action on the request for Administrative Approval entitlement shall be made in accordance with the procedures specified in Chapter 17.125: Appeals

~~A. In the event the applicant is not satisfied with any condition or conditions of approval imposed by the director, the applicant may submit an application to the planning commission for a conditional use permit in the manner prescribed in Chapter 17.112. In submitting an application for a conditional use permit, only that information and data required under Chapter 17.112 need be submitted, which is required in addition to that previously submitted as part of the application for administrative approval.~~

~~B. Except as provided in subsection C below, in the event the application for administrative approval is disapproved by the director, the application, upon written appeal from the applicant within ten (10) days following the notice of the decision date pursuant to the provisions in Section 17.108.040, shall automatically become an application for conditional use permit, and shall be processed in the manner prescribed in Chapter 17.112. The applicant shall submit such additional information and data required by the provisions of Chapter 17.112 as not previously submitted with his application for administrative approval within five days following the filing of an appeal.~~

~~C. Appeals filed in the event of director disapproval of an application for a mobilehome on a permanent foundation shall be processed as provided under subsections D, E and F of this section.~~

~~D. Within ten (10) days following the date of a decision by the director, the decision may be appealed in writing to the planning commission by the applicant or any interested party. An appeal shall be filed with the planning department, and shall state specifically wherein it is claimed that there was an error or abuse of discretion by the director, or wherein the decision is not supported by the evidence in the record.~~

~~E. The director shall give notice in writing to the applicant and to the appellant (if the applicant is not the appellant) of the time when the appeal will be considered by the commission.~~

~~F. The commission shall hear the appeal at its next regular meeting, to be held not less than fourteen (14) days after the filing of the appeal. The commission may affirm, modify or reverse a decision of the director, provided that if the decision is modified or reversed, the commission shall, on the basis of the record and such additional evidence as may be submitted, make the determination required under Section 17.112.060. (Prior code § 185.05)~~

[...]

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Chapter 17.112 CONDITIONAL USES

[...]

17.112.160 Minor revisions to a previously approved conditional use permit.

A use permit granted under the provisions of this chapter or a conforming conditional use established prior to the enactment of this chapter may be revised; provided, that such revisions are minor, as determined by the planning commission. Application for minor revisions shall be made in writing. The commission may approve such revisions without public hearing, provided that the commission can determine that the revisions will not substantially change the intensity or character of the use as previously approved by the city. (Ord. 18-384 § 1; Ord. 92-73)

17.112.170 Appeals.

Appeal of the Approving Authority's action on the request for Conditional Use entitlement shall be made in accordance with the procedures specified in Chapter 17.125: Appeals

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Chapter 17.101 MINOR SITE PLAN REVIEW

[...]

17.101.050 Appeals.

Appeal of the Approving Authority's action on the request for Minor Site Plan Review entitlement shall be made in accordance with the procedures specified in Chapter 17.125: Appeals

~~A. In the event the applicant is not satisfied with any condition or conditions of approval by the director, the applicant may submit an application to the planning commission for a conditional use permit in the manner prescribed in Chapter 17.112. In submitting an application for a conditional use permit, only that information and data required under Chapter 17.112 need be submitted, which is required in addition to that previously submitted as part of the application for minor site plan review.~~

~~B. Except as provided in subsection C below, in the event the application for minor site plan review is disapproved by the director, the application, upon written appeal from the applicant within ten (10) days following the notice of the decision date pursuant to the provisions in Section 17.100.040, shall automatically become an application for conditional use permit, and shall be processed in the manner prescribed in Chapter 17.112. The applicant shall submit such information and data required by the provisions of Chapter 17.112 as not previously submitted with his application for minor site plan review within five days following the filing of an appeal.~~

~~C. Within ten (10) days following the date of decision by the director, the decision may be appealed in writing to the planning commission by the applicant or any interested party. An appeal shall be filed with the planning department, and shall state specifically wherein it is claimed that there was an error or abuse of discretion by the director, or wherein the decision is not supported by the evidence in the record.~~

~~D. The commission shall hear the appeal at its next regular meeting, to be held not less than fourteen (14) days after the filing of the appeal. The commission may affirm, modify or reverse a decision of the director, provided that if the decision is modified or reversed, the commission shall, on the basis of the record and such additional evidence as may be submitted, make the determination required under Section 17.112.060. (Ord. 18-384 § 1)~~

[...]

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Chapter 17.100 SITE PLAN REVIEW

[...]

17.100.070 Appeals ~~to city council.~~

Appeal of the Approving Authority's action on the request for Site Plan Review entitlement shall be made in accordance with the procedures specified in Chapter 17.125: Appeals

~~A. Within ten (10) days following the date of decision on a site plan application by the planning commission, the decision may be appealed to the city council by the applicant or any other interested party. An appeal shall be filed with the city clerk. The appeal shall state specifically wherein it is claimed that there was an error or abuse of discretion by the commission or wherein its decision is not supported by the evidence in the record.~~

~~B. Within five days following the filing of an appeal, the secretary of the planning commission shall transmit to the city clerk the drawings of the site and all other data filed therewith, the findings of the planning commission and the commission's decision on the application for review and action by the city council. The city clerk shall give notice to the applicant and to the appellant (if not the applicant) of the time when the appeal will be considered by the city council.~~

~~C. The city council shall hear the appeal at its next regular meeting held not less than ten (10) days after the filing of the appeal. The council may affirm, reverse or modify a decision of the planning commission; provided, that if a decision is modified or reversed, the city council shall, on the basis of the record transmitted and such additional evidence as may be submitted, make the applicable findings prerequisite to the approval of a site plan as prescribed in Section 17.100.050.~~

~~D. A site plan which has been the subject of an appeal to the city council shall become effective immediately following the date on which the site plan is affirmed or modified by the council. (Ord. 92-73)~~

[...]

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Chapter 17.120 VARIANCES

17.120.010 Purposes.

The planning commission is empowered to grant variances only when, because of special circumstances applicable to the property, including size, shape, topography, location or surroundings, the strict application of the zoning code deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification. The power to grant variances does not extend to use regulations because the flexibility necessary to avoid results inconsistent with the objectives of the zoning code is provided by the conditional use, planned unit development and amendment provisions of this chapter. (Ord. 92-73)

17.120.020 Authority of the community development director or the city manager’s designee.

A. The community development director or the city manager’s designee shall have the authority to approve minor variance applications that are not subject to the provisions of the California Environmental Quality Act (CEQA) as codified in the Public Resources Code, including requests for minor setback, ~~and side yard~~, lot coverage, floor area ratio, off-street parking, height, landscaping, lighting, and other development standards or requirements as determined by the Community Development Director. Such applications shall be deemed “Minor Variance” applications for purposes of this code.

B. Approval by the director shall be given after written notice has been given to property owners within three hundred (300) feet of the subject properties involved. The decision of the community development director or the city manager’s designee, may be appealed to the planning commission in accordance with the procedure described in Section 16.20.050 of this code. The director may also refer action on any minor variance application to the planning commission in which the director cannot make findings required in Section 17.120.080 of this code. Such referrals shall require an applicant to follow the provisions of this chapter. (Ord. 10-298 § 1; Ord. 96-136)

[...]

17.120.090 Appeals to city council.

Appeal of the Approving Authority’s action on the request for Variance entitlement shall be made in accordance with the procedures specified in Chapter 17.125: Appeals

~~A. Within ten (10) days following the date of a decision of the planning commission on a variance application, the decision may be appealed to the city council by the applicant, or any other interested party. An appeal shall be made in writing to the city clerk, stating specifically wherein it is claimed that there was an error or abuse of discretion by the planning commission, or the commission’s decision is not supported by the evidence in the record.~~

~~_____ B. _____ Within five days of the filing of an appeal, the secretary of the planning commission shall transmit to the city clerk the file on the variance application and the commission's action thereon for review and action by the city council.~~

~~_____ C. _____ The city clerk shall give notice to the applicant and the appellant (if not the applicant), and may give notice to any other interested party of the time when the appeal will be considered by the city council. (Ord. 92-73)~~

~~17.120.100 Action by city council.~~

~~_____ A. _____ The city council shall hear the appeal at its next regular meeting following a period of ten (10) days after the appeal has been filed. The council may affirm, reverse or modify a decision of the planning commission on a variance application, provided that if a decision denying a variance is reversed or a decision approving a variance is modified, the city council shall, on the basis of the record transmitted and such additional evidence as may be submitted, make the findings prerequisite to the granting of a variance as prescribed in Section 17.120.040.~~

~~_____ B. _____ A variance which has been the subject of an appeal shall become effective immediately following the date on which the variance is granted by the city council. (Ord. 92-73)~~

~~17.120.1010 Building permit.~~

The issuance of a building permit shall be governed by the provisions of Section 17.112.090. (Ord. 92-73)

~~17.120.1120 Lapse of variance.~~

A variance shall lapse and shall become void thirty-six (36) months following the date on which the variance becomes effective, unless by condition of the variance a greater time is allowed, or unless prior to the expiration of thirty-six (36) months, a building permit is issued by the building official and construction is commenced and diligently pursued toward completion on a site which was the subject of the variance application.

A variance may be renewed for an additional twelve (12) months; provided, that prior to the expiration of twelve (12) months from the date when the variance originally became effective, a request for renewal of the variance is made in writing to the planning commission. The commission may grant or deny a request for renewal of a variance.

Notwithstanding, if a development agreement has been adopted for a subject site, the expiration date of subsequent project approvals may be set forth in the development agreement.

The period of time specified in this section shall not include any period of time in which the city is precluded from approving discretionary permits, discretionary entitlements, and/or ministerial

permits related to urban level flood protection pursuant to Government Code Section 65962. (Ord. 16-361 § 1; Ord. 97-151; Ord. 92-73)

17.120.1230 Revocation of variance.

The revocation of a variance approval shall be governed by the provisions of Section 17.112.130. (Ord. 92-73)

17.120.1340 New application.

Following the denial of a variance application or the revocation of a variance, no application for the same or substantially the same variance on the same or substantially the same site shall be filed within six months of the date of denial of the variance application or revocation of the variance. (Ord. 92-73)

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Chapter 10.25 VEHICLE PARKING IN YARDS OF RESIDENTIAL AREAS

[...]

10.25.040 Rear yard vehicle parking.

If the responsible person wishes to park vehicles in his or her rear yard, the vehicle~~he or she~~ must meet the required setbacks listed below and shall be parked on an approved surface, compacted gravel, or clean dirt. Vehicles must be set away at least three (3)~~ten (10)~~ feet from the rear yard fence and three (3) feet from all structures.~~Vehicles must also be five feet from all structures including, but not limited to, buildings, side yard fences, and other structures.~~ This is intended to grant egress and ingress of safety personnel and equipment during fire or police emergencies. Rear yards shall not be used as a storage place for vehicles to be stowed away for commercial purposes. (Ord. 09-292 § 1)

[...]

**CITY OF LATHROP
PLANNING COMMISSION RESOLUTION NO. 19-03**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LATHROP RECOMMENDING CITY COUNCIL ADOPT VARIOUS AMENDMENTS TO THE LATHROP MUNICIPAL CODE TO MODERNIZE, SIMPLIFY, AND STREAMLINE VARIOUS SECTIONS OF TITLE 17, THE ZONING CODE, AND TITLE 10, VEHICLES AND TRAFFIC (TA-19-16)

WHEREAS, the City of Lathrop Planning Commission held a duly noticed public meeting to consider the text amendment pursuant to the Lathrop Municipal Code; and

WHEREAS, the proposed text amendment is Citywide and affects all applicable properties in the City; and

WHEREAS, Chapter 17.124 of the Lathrop Municipal Code mandates the transmittal of a recommendation to the City Council by resolution; and

WHEREAS, the proposed text amendment is exempt according to the California Environmental Quality Act (CEQA) Article 5 §15061 by the "General Rule" that CEQA applies only to projects that have a potential for causing a direct physical change in the environment, or a reasonably foreseeable indirect physical change in the environment; and

WHEREAS, the Planning Commission finds that the proposed text amendment is consistent with applicable provisions of the Lathrop General Plan and will implement the City's Economic Development goals by providing streamline procedures, minor clarifications and incorporate updated policies; and

WHEREAS, proper notice of this public hearing was given in all respects as required by law; and

WHEREAS, the Planning Commission has reviewed all written evidence and oral testimony presented to date.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Lathrop based on substantial evidence in the administrative record of proceedings and pursuant to its independent review and consideration, does hereby recommend the City Council adopt Municipal Code Text Amendment No. TA-19-16 as shown in Attachments B through P, incorporated by reference herein.

PASSED AND ADOPTED by the Planning Commission of the City of Lathrop at a regular meeting on the 20th day of March, 2019 by the following vote:

AYES: Ishihara, Gatto, Ralmilay, Dresser

NOES: None


ABSTAIN: None

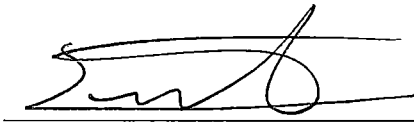
ABSENT: Rhodes


Tosh Ishihara, Chair

ATTEST:

APPROVED AS TO FORM:


Mark Meissner, Secretary


Salvador Navarrete, City Attorney

**CITY MANAGER'S REPORT
APRIL 8, 2019 CITY COUNCIL REGULAR MEETING**

**ITEM: DESIGN REVIEW AND BUDGET AMENDMENT
APPROVAL FOR CIP PK 19-03 MOSSDALE
SOUTH NEIGHBORHOOD PARK**

**RECOMMENDATION: Council to Consider a Budget Amendment for
CIP PK 19-03 to Allow Staff to Bid Project and
Return with Construction Contracts for the
Construction of Mossdale South Neighborhood
Park.**

SUMMARY:

At its October 8, 2018 meeting City Council approved the creation of CIP PK 19-03 for the design and construction of Mossdale South Neighborhood Park. That approval allocated \$20,000 for the development of the park design for this location. Staff requests Council provide direction to allow staff to request bids and return with construction contracts.

BACKGROUND:

The Mossdale Landing East Urban Design Concept identifies an approximately 4-acre site on the corner of Inland Passage and Golden Spike Trail as Mossdale South Neighborhood Park. This site is currently undeveloped and includes storm water pump station M-6. In accordance with the design concepts, this neighborhood park was intended to include a covered picnic area with barbecue, landscaped walking paths, open turf area with trees, a play structure for both toddlers and larger children, and an option for half-court basketball. The options presented for Council this evening identify these items, a couple of additional options as requested, and the associated costs for consideration.

Park Design Elements for Inclusion:

- Open turf area with trees
- Perimeter walking path
- Covered picnic area with barbecue
- Play structure for toddlers and older children
- 3 items of outdoor fitness equipment

Estimated Park Construction Costs	\$ 910,000
20% Project Contingency	\$ <u>182,000</u>

Projected estimate \$1,092,000

CITY MANAGER'S REPORT **PAGE 2**
APRIL 8, 2019 CITY COUNCIL REGULAR MEETING
DESIGN REVIEW AND BUDGET AMENDMENT APPROVAL FOR CIP PK 19-03
MOSSDALE SOUTH NEIGHBORHOOD PARK

REASON FOR RECOMMENDATION:

Staff is requesting City Council consider a budget amendment of 1,092,000 from the Culture and Leisure CFF 2260 to the General CIP Fund 3010 to fund CIP PK 19-03 to allow staff to solicit bids and return to council with a proposed construction contract for the construction of Mosssdale South Neighborhood Park.

FISCAL IMPACT:

Staff requests City Council authorize a budget amendment of 1,092,000 from the Culture and Leisure CFF 2260 to the General CIP Fund 3010 to fund CIP PK 19-03 for the for the construction of Mosssdale South Neighborhood Park as follows:

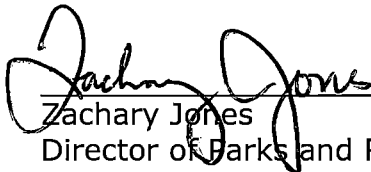
Transfer Out (Culture & Leisure CFF Funds)		
2260-99-00-990-90-10		1,092,000
Transfer In (General CIP)		
3010-99-00-393-00-00		1,092,000
Increase Expenditure		
3010-80-00-420-12-00-00	PK 19-03	1,092,000

ATTACHMENTS:

- A. Resolution approving a budget amendment to transfer funds from Culture and Leisure CFF 2260 to fund CIP PK 19-03 for the construction of Mosssdale South Neighborhood Park.
- B. Mosssdale South Neighborhood Park Design Diagram

CITY MANAGER'S REPORT
APRIL 8, 2019 CITY COUNCIL REGULAR MEETING
DESIGN REVIEW AND BUDGET AMENDMENT APPROVAL FOR CIP PK 19-03
MOSSDALE SOUTH NEIGHBORHOOD PARK

APPROVALS:



Zachary Jones
Director of Parks and Recreation

3-28-2019
Date



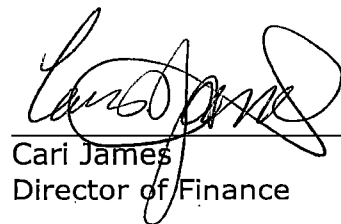
Ken Reed
Senior Construction Manager

4-1-2019
Date



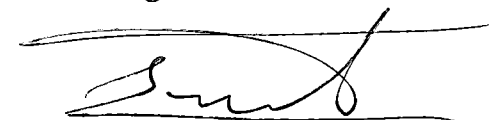
Michael King
Assistant Director of Public Works

4-2-19
Date




Cari James
Director of Finance

April 1, 2019
Date



Salvador Navarrete
City Attorney

3-28-19
Date



Stephen J. Salvatore
City Manager

4-2-19
Date

RESOLUTION NO. 19-_____

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP APPROVING A BUDGET AMENDMENT OF 1,092,000 FROM THE CULTURE AND LEISURE CFF 2260 TO THE GENERAL FUND CIP FUND 3010 TO FUND CIP PK 19-03 TO ALLOW STAFF TO SOLICIT BIDS AND RETURN TO COUNCIL WITH A PROPOSED CONSTRUCTION CONTRACT FOR THE CONSTRUCTION OF MOSSDALE SOUTH NEIGHBORHOOD PARK.

WHEREAS, on October 8, 2018 City Council approved the creation of CIP PK 19-03 for the design and construction of Mossdale South Neighborhood Park; and

WHEREAS, staff requests City Council authorize a budget amendment of 1,092,000 from the Culture and Leisure CFF 2260 to the General CIP Fund 3010 to fund CIP PK 19-03 to allow staff to solicit bids and return to council with a proposed construction contract for the construction of Mossdale South Neighborhood Park;

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Lathrop approves the funding of CIP PK 19-03 with a corresponding budget amendment of 1,092,000 from Culture and Leisure CFF 2260 into the General CIP Fund 19-03 to allow for the bidding and construction of Mossdale South Neighborhood Park;

Transfer Out (Culture & Leisure CFF Funds)		
2260-99-00-990-90-10		1,092,000
Transfer In (General CIP)		
3010-99-00-393-00-00		1,092,000
Increase Expenditure		
3010-80-00-420-12-00-00	PK 19-03	1,092,000

ATTACHMENT A

The foregoing resolution was passed and adopted this 8th day of April 2019 by the following vote of the City Council, to wit:

AYES:

NOES:

ABSTAIN:

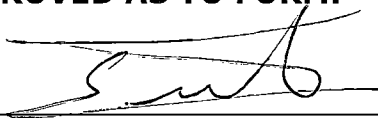
ABSENT:

Sonny Dhaliwal, Mayor

ATTEST:

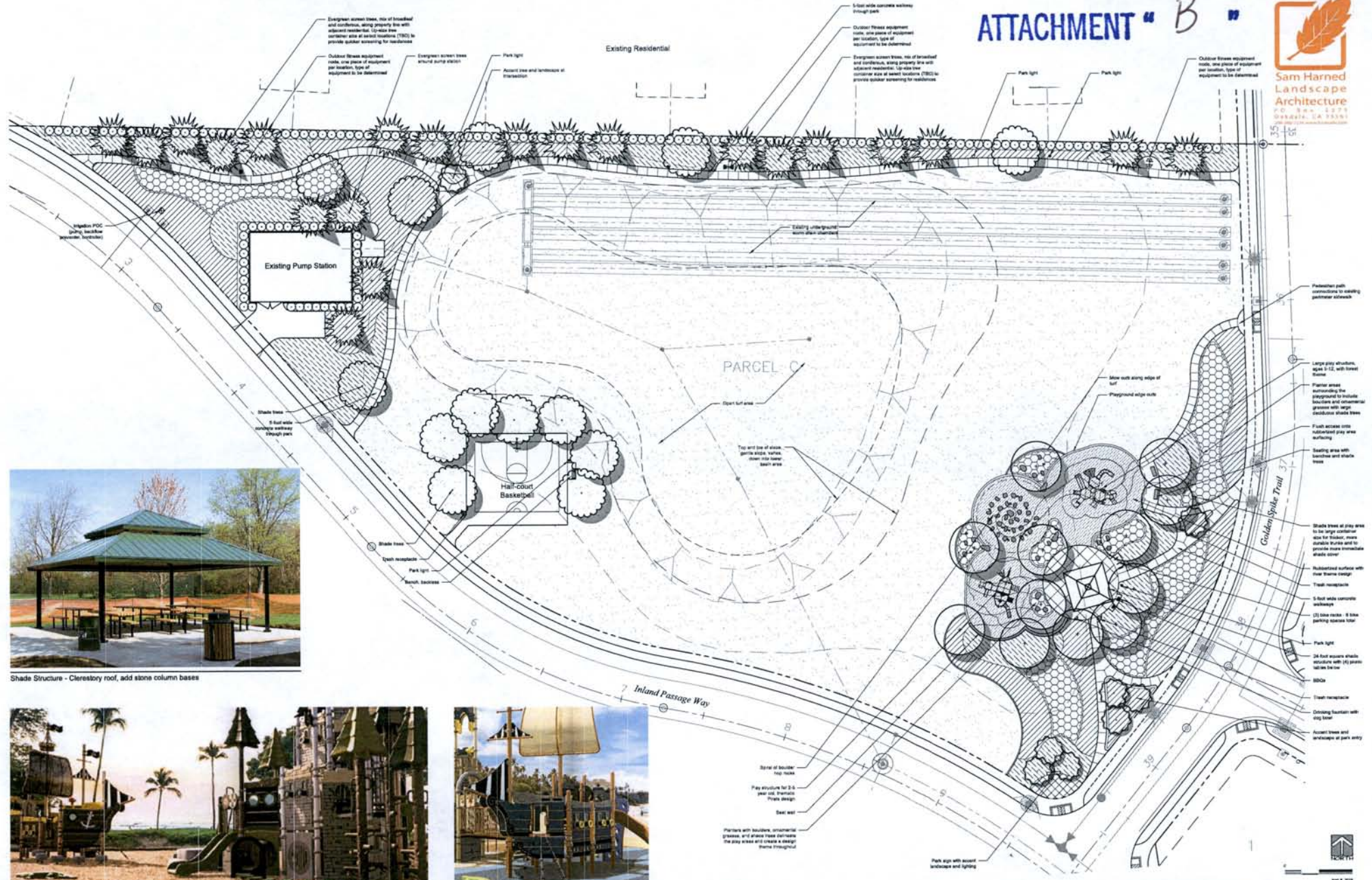
Teresa Vargas, City Clerk

APPROVED AS TO FORM:



Salvador Navarrete, City Attorney

ATTACHMENT " B "



Shade Structure - Clerestory roof, add stone column bases



Play Structure Theme and Character Images



Conceptual Site Plan - L01

Mossdale Neighborhood Park - Lathrop, CA

ITEM: CREATE CIP GG19-07 FOR CITYWIDE SURVEILLANCE SYSTEM

RECOMMENDATION: Council to Discuss and Consider the Adoption of a Resolution Approving the Creation of CIP GG19-07 for Citywide Surveillance System and Related Budget Amendment

SUMMARY:

Over the last several months, staff has been exploring the benefits of installing a citywide surveillance system as well as researching available options to purchase the system. Surveillance systems are being used by public safety agencies for crime prevention purposes while protecting the public. In an effort to utilize technology to enhance crime prevention and citizen safety, the proposed System would encompass a combination of stationary and mobile surveillance equipment.

The proposed surveillance system will be funded from Measure C and the General Fund through the Police Services Budget (available funds from vacant Police Chief position). At their January (2019) meeting, the Measure C Oversight Committee found this expense in compliance with the intent of the Measure. Staff recommends Council consider the creation of Capital Improvement Project (CIP) GG19-07, and approve a budget amendment to allocate funding for the purchase and installation of the surveillance system. In addition, the City will develop policies to ensure compliance with State laws and the safekeeping of the system and the data collected.

BACKGROUND:

The battle against crime is a difficult one, and it is never-ending. Governmental Agencies throughout the region are increasingly accessing the assistance of surveillance systems to enhance citizen safety and help prevent crime. Some neighboring cities have already deployed surveillance technology, which could allow for the sharing of information, and assist in identifying wanted criminals that may travel throughout the City of Lathrop and neighboring jurisdictions.

City staff were tasked to conduct research on existing surveillance technology. Over a period of several months, staff have researched the efficiency, benefits, challenges and opportunities provided by this technology. Staff has surveyed other agencies with surveillance technology already in place to gain in-depth knowledge on the process and its many uses concluding that Automated License Plate Recognition (ALPR) systems offer reliable crime prevention tools to law enforcement.

A typical ALPR system includes a number of components functioning together in order for the license plate information to be captured, processed, and accessed through the database software. The ALPR camera does not identify any individual or access their personal information through its analysis of license plate numbers. The data captured by the ALPR unit itself is completely anonymous and only authorized personnel who have met the minimum training, certification, and background checks required for access to criminal justice data would have access to the ALPR database.

CITY MANAGER'S REPORT
APRIL 8, 2019 CITY COUNCIL REGULAR MEETING
CREATE CIP GG19-07 FOR CITYWIDE SURVEILLANCE SYSTEM AND
RELATED BUDGET AMENDMENT

PAGE 2

ALPRs generally consist of high speed cameras placed in strategic locations (usually heavy traffic intersections) to capture images of license plates. In a matter of seconds, the device converts the plate numbers in the photos into text that is checked against law enforcement agencies' databases to retrieve potential plates suspected of being connected to criminal activity. If the data collected produces a match, law enforcement personnel is then alerted for further review and analysis of the information retrieved.

The City's standard surveillance cameras were purchased from Motorola Company. Motorola recently purchased Vigilant, the world leader in license plate identification, and owns the largest repository of license plate information. The City has tested both vendors' technology, Motorola and Vigilant. Currently, Motorola has a surveillance camera system with technology that covers multiple traffic lanes with one camera. On the other hand, Vigilant's cameras require one camera for each lane of traffic making it costly to purchase and maintain. City staff has tested the Motorola multiple traffic lane system and has found that it works well.

The proposed Motorola surveillance system uses cameras mounted on stationary locations and/or trailers to record video and license plate information. Stationary locations would include various entry points, including near highway entrances and other known roadways that are used to access the City. Staff proposes installing ALPRs at the following intersections:

- Harlan Road and Louise Avenue
- Golden Valley Parkway and River Islands Parkway
- Harlan Road and Lathrop Road
- Lathrop Road and 5th Street

Other intersection options may be Golden Valley Parkway and Lathrop Road once the traffic signal is installed and Louise Avenue and McKinley once the intersection improvements are complete. Also, one (1) trailer will be purchased to incorporate portable stations. The City's intent is to utilize the system to proactively identify crime as it occurs in the City.

The cost per intersection, including equipment and installation, is approximately \$30.5 thousand. In addition, the purchase of a mobile trailer is estimated to be \$67 thousand. The total cost for six (6) locations, including one (1) mobile trailer fully equipped with surveillance, license plate readers and solar technology, would be approximately \$250 thousand. An additional \$175 thousand is included for miscellaneous equipment and components or for the purchase of additional portable surveillance equipment as desired by Council. This cost estimate also includes ninety days (90) of local video retention, as required by the City's video retention ordinance.

Staff recommends Council consider the creation of CIP GG19-07, and approve a budget amendment to allocate funding for the purchase and installation of surveillance systems at select locations throughout the City.

**CITY MANAGER'S REPORT
APRIL 8, 2019 CITY COUNCIL REGULAR MEETING
CREATE CIP GG19-07 FOR CITYWIDE SURVEILLANCE SYSTEM AND
RELATED BUDGET AMENDMENT**

PAGE 3

REASON FOR RECOMMENDATION:

The proposed Surveillance System represents an effort to utilize technology to enhance crime prevention and citizens' safety.

FISCAL IMPACT:

The proposed surveillance system will be funded from Measure C and the General Fund through the Police Services Budget (available funds from vacant Police Chief position). The estimated cost for CIP GG19-07 is approximately \$425,000.

Budget Amendment

Decrease Expenditure 1010-40-10-425-10-00	(Salary Savings)	\$(175,000)
Increase Transfer Out 1060-99-00-990-90-10	(Measure C)	\$250,000
1010-99-00-990-90-10	(Salary Savings)	\$175,000
Increase Transfer In 3010-80-00-393-00-00	GG19-07	\$425,000
Increase Expenditure 3010-80-00-420-01-00	GG19-07	\$425,000

ATTACHMENTS:

- A. Resolution Approving Creation of CIP GG19-07 and Authorizing Related Budget Amendments

**CITY MANAGER'S REPORT
APRIL 8, 2019 CITY COUNCIL REGULAR MEETING
CREATE CIP GG19-07 FOR CITYWIDE SURVEILLANCE SYSTEM AND
RELATED BUDGET AMENDMENT**

APPROVALS:



Tony Fernandes
Information Technologies Manager

4-2-19

Date



Cari James
Director of Finance

4/2/19

Date



Salvador Navarrete
City Attorney

4-3-19

Date



Stephen Salvatore
City Manager

4.3.19

Date

RESOLUTION NO. 19-

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP
APPROVING THE CREATION OF CIP GG19-07 FOR A CITYWIDE
SURVEILLANCE SYSTEM AND RELATED BUDGET AMENDMENT**

WHEREAS, over the last several months, staff has been exploring options to purchase a citywide surveillance system; and

WHEREAS, agencies throughout the region are increasingly installing surveillance systems to enhance citizen safety and help prevent crime; and

WHEREAS, the surveillance system will assist laws enforcement with identifying stolen or wanted vehicles, sexual predators, and missing persons, to name a few; and

WHEREAS, in an effort to utilize technology to enhance crime prevention and citizen safety, the proposed System will encompass a combination of stationary and mobile surveillance equipment; and

WHEREAS, for the past eight years, Motorola Company has been the City's standard surveillance system provider; and

WHEREAS, the proposed Motorola surveillance system uses cameras mounted on stationary locations and/or trailers to record video and license plate information; and

WHEREAS, stationary locations will include various entry points, including near highway entrances and other known roadways that are used to access the City; and

WHEREAS, the cost per intersection, including equipment and installation, is estimated to be \$30,500 and the cost of a mobile trailer is estimated to be \$67,000; and

WHEREAS, the total cost for six locations, including one mobile trailer fully equipped with surveillance, license plate readers and solar would be approximately \$250,000; and

WHEREAS, an additional \$175,000 is included for the installation of electricity and wireless services as needed and the purchase of additional mobile surveillance as desired by Council; and

WHEREAS, the surveillance system will be funded \$175,000 from salary savings and \$250,000 from Measure C;

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Lathrop does hereby approve creation of CIP GG1907, for citywide surveillance system, along with the following budget amendment:

Decrease Expenses 1010-4010-425-1000	(Salary Savings)	\$(175,000)
Increase Transfer Out 1060-9900-990-9010	Measure C	\$250,000
1010-9900-990-9010	Salary Savings	\$175,000
Increase Transfer In 3010-8000-391-0000	GG19-07	\$425,000
Increase Expense 3010-8000-420-0100	GG19-07	\$425,000

The foregoing resolution was passed and adopted this 8th day of April, 2019, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSENT:


ABSTAIN:

Sonny Dhaliwal, Mayor

ATTEST:

APPROVED AS TO FORM:

Teresa Vargas, City Clerk



Salvador Navarrete, City Attorney

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**CITY MANAGER'S REPORT
APRIL 8, 2019 CITY COUNCIL REGULAR MEETING****ITEM: MAYOR'S REFERRAL****RECOMMENDATION: Appointment of One (1) Member to the Parks and Recreation Commission with Term Expiring June 30, 2021, Due to Unexpired Term Vacancy**

PARKS AND RECREATION COMMISSION – LMC CHAPTER 2.16

Existing Commissioner(s)	Date of Appointment	Reappointment Date	Term Expiration Date
Michele Anderson	1/23/17	8/13/18	6/30/21

APPLICANTS FOR CONSIDERATION:

1. Minnie Diallo
2. Taylor Papallo
3. Jennifer Hopping
4. Ajit Singh Sandhu



COMMISSION/COMMITTEE APPLICATION

Applying for: YOUTH Park & Rec

Special Requirements:

Youth Advisory Commission: Must be a Lathrop resident between 13 to 18 years of age to serve on this commission

Senior Advisory Commission: Must be 50 years of age or over and a registered voter to serve on this commission.

Planning and Parks & Recreation Commissions: Must be a Lathrop resident and a registered voter to serve on this commission.

RECEIVED

PLEASE PRINT OR TYPE THE FOLLOWING INFORMATION:

MAR 29 2019

Name: MINNIE Diallo CITY CLERK

Address: [redacted] City: Lathrop Zip: 95330

Telephone (home) [redacted] Telephone (work) _____

Telephone (cell) [redacted] Telephone (other) _____

Email: [redacted] Resident of the City of Lathrop: 20+ years

Do you have Transportation to attend the Commission meetings and Functions? Yes No

Background Information:

Are you related to a current City Employee? No

If yes, give name and relationship _____

Employment/Volunteer Information:

Highlight Church Present
Organization Date
287 Lathrop & Rev Maurice Youth Leader
Location Position(s)

Responsibilities/accomplishments: _____

Lathrop Watch 2018 - Present
Organization Date
Lathrop Admin.
Location Position(s)

Responsibilities/accomplishments: _____

Community Activities that you have been involved with (feel free to attach additional pages)

<i>Name of Organization</i>	<i>Position/Responsibilities</i>	<i>Dates</i>
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<i>Name of Organization</i>	<i>Position/Responsibilities/Accomplishments</i>	<i>Dates</i>
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Special Awards or Recognitions you have received: _____

Educational Information:

<i>Educational Institution</i>	<i>Degree/Diploma</i>	<i>Field</i>	<i>Year</i>
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<i>Educational Institution</i>	<i>Degree/Diploma</i>	<i>Field</i>	<i>Year</i>
--------------------------------	-----------------------	--------------	-------------

Additional Information (Please provide any other information which you feel would be useful to the City Council in reviewing you application.)

Please sign and date you application and submit to the Office of the City Clerk at the address below..


3/27/19

 Signature Date

Parent/Guardian Signature (Required for Youth Advisory Candidates only)

City Clerk
City of Lathrop
390 Towne Centre Drive
Lathrop, CA 95330



COMMISSION/COMMITTEE APPLICATION

RECEIVED

Applying for: Parks and Recreation Commission

MAR 28 2019

Special Requirements:

CITY CLERK

Youth Advisory Commission: Must be a Lathrop resident between 13 to 18 years of age to serve on this commission

Senior Advisory Commission: Must be 50 years of age or over and a registered voter to serve on this commission.

Planning and Parks & Recreation Commissions: Must be a Lathrop resident and a registered voter to serve on this commission.

PLEASE PRINT OR TYPE THE FOLLOWING INFORMATION:

Name: Taylor Papallo

Address: [redacted] City: Lathrop Zip: 95330

Telephone (home) n/a Telephone (work) n/a

Telephone (cell) [redacted] Telephone (other) n/a

Email: [redacted] Resident of the City of Lathrop: 1 years

Do you have Transportation to attend the Commission meetings and Functions? Yes [x] No []

Background Information:

Are you related to a current City Employee? no

If yes, give name and relationship n/a

Employment/Volunteer Information:

Spark Admissions 05/15-Present
Organization Date
telecommute (company based in Massachusetts) Senior Admissions Consultant
Location Position(s)

Responsibilities/accomplishments: guide clients through college admissions process; research admissions data; locate internship/volunteering opportunities; manage social media, company newsletter; recruit and train new hires

Freelance Editor/Translator 08/12-Present
Organization Date
Lathrop, CA Editor/Translator
Location Position(s)

Responsibilities/accomplishments: translate documents (primarily academic) from Italian to English or vice versa; review and edit documents

Community Activities that you have been involved with (feel free to attach additional pages)

Latitude Neighborhood Watch	Street Captain	10/18-Present
<i>Name of Organization</i>	<i>Position/Responsibilities</i>	<i>Dates</i>
Latitude Bocce Team	Team Member	07/18-Present
<i>Name of Organization</i>	<i>Position/Responsibilities/Accomplishments</i>	<i>Dates</i>

Special Awards or Recognitions you have received: U.S. Presidential Scholar (2009); Boston University Trustee Scholar (2005-2009)

Educational Information:

Yale University	Ph.D.	Italian	2015
<i>Educational Institution</i>	<i>Degree/Diploma</i>	<i>Field</i>	<i>Year</i>
Boston University	B.A.	Italian Studies & English	2009
<i>Educational Institution</i>	<i>Degree/Diploma</i>	<i>Field</i>	<i>Year</i>

Additional Information (Please provide any other information which you feel would be useful to the City Council in reviewing your application.)

I may be relatively new to Lathrop, but I am already actively engaged in the community and eager to play whatever role I can in the city's continued growth and prosperity. I believe my strong organizational and communications skills, honed both in the course of my doctoral degree and in my current position as an admissions consultant, as well as prior experience with event planning (I coordinated multiple conferences and graduate student seminars at Yale) and with managing a Children's Theatre service program at Boston University, make me an amply qualified candidate for the city's Parks and Recreation Commission. Furthermore, I have made friends in Lathrop, I hope to raise children here, and I truly consider it my home; you can trust that I will participate enthusiastically in helping this city thrive. Thank you.

Please sign and date your application and submit to the Office of the City Clerk at the address below..


Signature

03/28/19
Date

Parent/Guardian Signature (Required for Youth Advisory Candidates only)

**City Clerk
City of Lathrop
390 Towne Centre Drive
Lathrop, CA 95330**



COMMISSION/COMMITTEE APPLICATION

Applying for: Parks + Recreation Commission

Special Requirements:

Youth Advisory Commission: Must be a Lathrop resident between 13 to 18 years of age to serve on this commission
Senior Advisory Commission: Must be 50 years of age or over and a registered voter to serve on this commission.
Planning and Parks & Recreation Commissions: Must be a Lathrop resident and a registered voter to serve on this commission.

PLEASE PRINT OR TYPE THE FOLLOWING INFORMATION. RECEIVED

MAR 26 2019

Name: Jennifer Hopping

CITY CLERK

Address: [redacted] City: Lathrop Zip: 95330

Telephone (home) Telephone (work)

Telephone (cell) [redacted] Telephone (other)

Email: [redacted] Resident of the City of Lathrop: 5 years

Do you have Transportation to attend the Commission meetings and Functions? Yes [x] No []

Background Information:

Are you related to a current City Employee? no

If yes, give name and relationship

Employment/Volunteer Information:

Table with 2 columns: Organization, Date, Location, Position(s). Row 1: Lawrence Livermore National Lab, April 2016-present, Livermore, CA, Strategic Site Planner.

Responsibilities/accomplishments: review plans for proposed projects to make sure they meet defined site standards; develop site standards and policies for betterment of the institution.

Table with 2 columns: Organization, Date, Location, Position(s). Row 1: City of Livermore Beautification Committee Chair, 2011-2014, Livermore, CA, Chair.

Responsibilities/accomplishments: Park, roadside, median island and entrance-way beautification. Street tree, ancestral tree and public area landscaping standards. Arbor day celebration. Established annual park review.

Community Activities that you have been involved with (feel free to attach additional pages)

Junior Spartans Football	Volunteer- snack shack/homecoming	August-Nov. 2018
<i>Name of Organization</i>	<i>Position/Responsibilities</i>	<i>Dates</i>
<i>Name of Organization</i>	<i>Position/Responsibilities/Accomplishments</i>	<i>Dates</i>

Special Awards or Recognitions you have received: _____

Educational Information:

CSU East Bay	MPA	Public Admin.	2013
<i>Educational Institution</i>	<i>Degree/Diploma</i>	<i>Field</i>	<i>Year</i>
Cal Poly Pomona	BS- URP	Urban&Regional Planning	2010
<i>Educational Institution</i>	<i>Degree/Diploma</i>	<i>Field</i>	<i>Year</i>

Additional Information (Please provide any other information which you feel would be useful to the City Council in reviewing your application.)

My experience with the City of Livermore's beautification committee instilled in me a great appreciation for city parks. My entire family enjoys the Lathrop parks and I want to pay it forward. I feel that my experience with the city of Livermore paired with my education makes me a great candidate for this committee.

Please sign and date your application and submit to the Office of the City Clerk at the address below.

Signature  _____ Date 3/21/19

Parent/Guardian Signature (Required for Youth Advisory Candidates only)

City Clerk
 City of Lathrop
 390 Towne Centre Drive
 Lathrop, CA 95330



COMMISSION/COMMITTEE APPLICATION

Applying for: PARKS AND RECREATION Commission

Special Requirements:

Youth Advisory Commission: Must be a Lathrop resident between 13 to 18 years of age to serve on this commission

Senior Advisory Commission: Must be 50 years of age or over and a registered voter to serve on this commission

Planning and Parks & Recreation Commissions: Must be a Lathrop resident and a registered voter to serve on this commission

RECEIVED

PLEASE PRINT OR TYPE THE FOLLOWING INFORMATION:

MAR 18 2019

CITY CLERK

Name: AJIT SINGH SANDHU

Address: [REDACTED] City: LATHROP Zip: 95330

Telephone (home) [REDACTED] Telephone (work) _____

Telephone (cell) [REDACTED] Telephone (other) _____

Email: [REDACTED] Resident of the City of Lathrop: 10 years

Do you have Transportation to attend the Commission meetings and Functions? Yes No

Background Information:

Are you related to a current City Employee? NA

If yes, give name and relationship _____

Employment/Volunteer Information:

PRIMERICA FINANCIAL SERVICES SINCE 2004
Organization Date
7407 GREENLEAF CT. MODESTO, CA 95356 DIVISION LEADER
Location Position(s)

Responsibilities/accomplishments: AN INDEPENDENT REPRESENTATIVE OF PRIMERICA FINANCIAL SERVICES INSURENCE MARKETING

INC. SINCE 2004
Organization Date
EXECUTIVE OFFICE: DULUTH, GEORGIA DIVISION LEADER
Location Position(s)

Responsibilities/accomplishments: _____

Community Activities that you have been involved with (feel free to attach additional pages)

- ① SIKH TEMPLE FAIRFIELD SECRETARY 2000 — 2007
Name of Organization Position/Responsibilities Dates
- ② Memorial/veteran's Day Committee member Since 2015
Name of Organization Position/Responsibilities Dates
- ③ Parks & Recreation Commission (Commissioner) 2016
Name of Organization Position/Responsibilities/Accomplishments Dates
- ④ SPORTS CLUB SALADO 2002
Name of Organization Position/Responsibilities/Accomplishments Dates
- ⑤ Member of Lion Club of Lathrop 2017
Name of Organization Position/Responsibilities/Accomplishments Dates

Special Awards or Recognitions you have received: Life time achievement award for promotion & development of water sport (kayaking & canoeing) Two time appreciation certificate got by the CITY COUNCIL OF LATHROP.

Educational Information: INDIA - PUNJAB BA, Degree specialization with Public Administration & Community Development & Extension. 1971
Educational Institution Degree/Diploma Field Year

INDIA - PUNJAB Diploma Field Hockey 1972
Educational Institution Degree/Diploma Field Year

Additional Information (Please provide any other information which you feel would be useful to the City Council in reviewing you application.)

I have been imparting training to the civilian people in the field of Civil Defence, Fire Fighting & different sports & cultural activity. I have also been taking part to arranging Blood and Food Drive, Fund Raising & other community services.

Please sign and date you application and submit to the Office of the City Clerk at the address below..

Aranth 03-18-2019
Signature Date

Parent/Guardian Signature (Required for Youth Advisory Candidates only)

City Clerk
 City of Lathrop
 390 Towne Centre Drive
 Lathrop, CA 95330

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